

35/14-14-98A Rev. 4301 East-West High
way - Bethesda Chevy Chase H.S.

Perry -

11/7
2:10pm

Call Noonan

when you get back

Sandra Couch
301
Abi 5961



Engineers, Architects, and Constructors

Jacobs Facilities Inc.
4303 East West Highway
Bethesda, Maryland 20814 U.S.A.
1.301.961.5961 Fax 1.301.961.5983

John Hostinsky
Senior Construction Manager

QUALITY POLICY

We, the employees of the Jacobs Engineering Group, are dedicated to providing our clients with a competitive advantage through a continuous process of quality advancement in all areas of our performance.



Joseph J. Jacobs
Chairman



Noel G. Watson
President and CEO



MARK X. BURKE
DIRECTOR, DIVISION OF CONSTRUCTION

5701 GROSVENOR LANE
BETHESDA, MARYLAND 20814

(301) 897-3010
FAX (301) 897-3015

email: MARK_BURKE@FC.MCPS.K12.MD.US

Cell #
(443) 695-1130

Joseph P. Noonan
President

**WORCESTER
EISENBRANDT INC.**

2100 Gable Avenue
Baltimore, MD 21230

(410) 644-6580
Fax: (410) 644-5895

Sea Boy



in

Archives

DRAFT

MEMORANDUM OF AGREEMENT

This Memorandum of Agreement (MOA) is entered into this ____ day of _____, 1998, by and between the Public School Construction Program (PSCP), the Maryland Historical Trust (Trust) and Montgomery County Public Schools (MCPS).

WHEREAS, MCPS will undertake the rehabilitation and expansion of Bethesda Chevy Chase High School (BCCHS), hereinafter referred to as the Project;

WHEREAS, the Project is nonstate capital project to be funded in part by state funds from the State of Maryland PSCP;

WHEREAS, prior to the approval of the Project, PSCP as the responsible state unit is required under Article 83B, §5-618 of the Annotated Code of Maryland (the Act) to consult with the Trust;

WHEREAS, in consultation with the Trust, PSCP acknowledges that the Project has adverse effects on Building C and Building A of BCCHS, a property eligible for the Maryland Register of Historic Properties;

WHEREAS, in accordance with the Act, PSCP has consulted with the Trust to determine means of avoiding, mitigating or satisfactorily reducing the adverse effects of the Project; and the Whereas clauses form a substantive part of this Agreement;

NOW, THEREFORE, PSCP, MCPS and the Trust agree that MCPS will implement the Project in accordance with the following stipulations as a condition of state funding.

STIPULATIONS

- I. Recordation of BCCHS: MCPS will ensure that Buildings C and A of BCCHS are recorded photographically. Attachment A provides the specifications for the photographic documentation. MCPS will contract with a qualified architectural photographer to undertake the photographic documentation and submit it to Mr. Peter Kurtze of the Trust's Office of Research Survey and Registration (ORSR). ORSR must accept the photographs before construction on either building begins.
- II. Design Review: MCPS shall ensure that the design of the Project is compatible with the historic and architectural qualities of the BCCHS and is consistent with the recommended approaches to rehabilitation and new construction set forth in the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* (U.S. Dept. Of the Interior, National Park Service, 1983), and that the construction of the Project will be carried out in conformance with the architectural plans prepared by Dewberry & Davis, dated 2/7/98??. If substantial revisions occur to the Project design, additional consultation with the Trust will be necessary.

MEMORANDUM OF AGREEMENT
BETHESDA CHEVY CHASE HIGH SCHOOL
MONTGOMERY COUNTY PUBLIC SCHOOLS
Page 2

III. Public Interpretation and Recordation of the Murals: MCPS shall ensure that the Murals located in Building C will be photographically documented and available for public interpretation according to the specifications in Attachment B. Attachment B will be forthcoming. Information was not available at this time.

IV. Dispute Resolution: In the event that the MCPS and the Trust are unable to resolve any dispute under this MOA, in accordance with this Act, PSCP shall either present the disputed matter to the Maryland Advisory Council on Historic Preservation (Council) for the Council's review or permit the Trust to present the matter to the Council for review. The Council's determination shall be binding on all parties to this MOA.

The execution of the MOA and implementation of its terms evidences that PSCP has compiled with the requirements of the Act.

BY: _____ Date: _____
Montgomery County Public Schools

BY: _____ Date: _____
Maryland Historical Trust

BY: _____ Date: _____
Public School Construction Program

Attachment A

RECORDATION REQUIREMENTS
Bethesda Chevy Chase High School
Bethesda, Maryland

Buildings C and A of the Bethesda Chevy Chase High School (BCCHS) (Maryland Inventory of Historic Properties M:35-47 and M-35-47-1) are eligible for the Maryland Register of Historic Properties as an example of Georgian Revival school buildings. To provide an appropriate record of these significant structures, photographic documentation must be completed and copies of architectural drawings must be submitted to the Maryland Historical Trust before rehabilitation and demolition are begun. Documentation must be prepared in a manner satisfactory to the Office of Research, Survey and Registration (ORSR). The following documentation will be required in accordance with the "Guidelines for Completing the Maryland Inventory of Historic Properties Form, Standing Structures"

Take current black-and-white photographs which will provide appropriate visual documentation for both buildings. Exterior photographs will include general views of the building within its setting, views showing each elevation of the building, and detail views showing significant architectural features. Interior photographs will document significant spaces, including lobby areas, corridors, typical classrooms, etc., particularly where those spaces will be altered or demolished. Color slides will also be taken of representative exterior and interior views and significant features.

Black-and-white photography must be completed in large (minimum 4" x 5") format, using a view camera with full perspective correction. General photographic documentation requirements are outlined on page 12, and in appendices D and E of the Guidelines. Color slides may be completed in 35mm format.

Furnish this office with black-and-white 4" by 5" contact prints, with negatives, and 35mm color slides documenting the building. Each photograph and color slide will be identified with the following information: name of site, MHT inventory number M:35-47 or 47-1 as appropriate, site location, name of photographer, date of photograph, and a brief caption describing the view. This information will be printed legibly **in soft pencil only** on the backs of all photographic prints, and in ink on the slide mounts.

Attachment A
Recordation Requirements
Bethesda Chevy Chase High School

Negatives will be placed in archival negative sleeves and will be identified with the site name, inventory number M:35-47 or 47-1 as appropriate, name of photographer, and date taken.

One set of photographic prints, negatives, and color slides will be submitted to MHT in draft form for review. Incomplete or inadequate documentation will be returned for revision.

Photographic documentation must meet professional standards comparable to those of the Historic American Buildings Survey/Historic American Engineering Record.

In addition, copies of existing architectural drawings documenting the building, including original construction drawings (as available) will be provided. The project sponsor will consult with ORSR concerning the execution of these copies.

Once the products specified above are completed and approved by ORSR, the project may proceed. When the execution of materials is acceptable, the information will be accessioned into the Trust's library.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Mr. William H. Novak

Daytime Phone No.: (301) 897-3000

Tax Account No.: 07-502-0417728

Name of Property Owner: Montgomery County Public Schools Daytime Phone No.: (301) 897-3000

Address: 5701 Grovesnor Lane Bethesda MD 20014
Construction Street Number City State Zip Code

Manager Jacobs Facilities, Inc. Phone No.: (301) 961-5961
Contractor:

Contractor Registration No.: _____

Agent for Owner: Dewberry Design Group, Inc. Daytime Phone No.: (703) 849-0600
(Ms. Sandra Couch)

LOCATION OF BUILDING/PREMISE

House Number: 4301 Street: East-West Highway

Town/City: Bethesda Nearest Cross Street: Chelton Road

Lot: _____ Block: _____ Subdivision: _____

Liber: 564 Folio: 046 Parcel: P153

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: School

1B. Construction cost estimate: \$ 27,000,000.00

1C. If this is a revision of a previously approved active permit, see Permit # 9811170062
clarification to _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Mark X. Burke Mark X. Burke 8/21/00
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 227381 Date Filed: 8/24/00 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
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Town/City: Bethesda Nearest Cross Street: Chelton Road

Lot: Block: Subdivision:

Liber: 564 Folio: 046 Parcel: P153

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Wall (complete Section 4) Other: School

1B. Construction cost estimate: \$ 27,000,000.00

1C. If this is a revision of a previously approved active permit, see Permit # 9811170062 clarification to

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [X] WSSC 02 [] Septic 03 [] Other:

2B. Type of water supply: 01 [X] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Mark X. Burke Date: 8/21/00

Approved: W/ conditions Signature: Date: 9/27/00
Application/Permit No.: 227381 Date Piled: 8/24/00 Date Issued:

SEE REVERSE SIDE FOR INSTRUCTIONS

(Revision) 35/14-14-98A

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Howard Cutler designed the Bethesda-Chevy Chase High School (Building C), which was constructed in 1934. Thomas W. Pyle was the first principal of what was then the largest school in Maryland. Leland Junior High School, built in 1928, had served both junior and senior high students. The present high school was constructed in response to the area's population growth and was expanded in 1936, 1952, 1959, 1966, 1970, and 1976. It is one of the oldest public high school buildings in the county.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

This is a clarification of our current permit relating to the removal of two of the 26 existing roof dormers on building C. We were requested by DPS to represent this information before the HPC to clarify this work under the HPC permit previously issued on November 17, 1998.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Perry Kapsch

IN THE CIRCUIT COURT FOR MONTGOMERY COUNTY, MA

WORCESTER EISENBRANDT, INC. *

Plaintiff *

v. *

Civil No. 214076

BOARD OF EDUCATION OF MONTGOMERY *
COUNY, MARYLAND *

Judge William J. Rowan III

Defendant *

* * * * *

AFFIDAVIT OF REGINALD JETTER

I solemnly affirm under the penalties of perjury and upon personal knowledge that the contents of the following Affidavit are true:

1. My name is Reginald Jetter. I have personal knowledge of the matters set forth in this Affidavit, am over the age of eighteen (18) years, and am competent to testify to the matters set forth in this Affidavit.
2. I am employed as the Division Chief for Casework Management of the Montgomery County Maryland Department of Permitting Services. I have examined the Supplemental Affidavit of Joseph Noonan filed in these proceedings, and have examined Exhibit 1 to that Affidavit which Mr. Noonan describes as a "Stop-Work Order."
3. Exhibit 1 attached to the Affidavit of Mr. Noonan is a copy of a Notice of Violation issued by the Department of Permitting Services to the Montgomery County Public Schools in connection with renovation work being carried out at Bethesda-Chevy Chase High School in Bethesda, Maryland.



11. As of this date, work continues on the Bethesda-Chevy Chase High School renovation project and has not been stopped by the Department of Permitting Services.

12. *Conditioning HAUP*

Date

Reginald Jetter

4. Exhibit 1 to Mr. Noonan's Affidavit is not a Stop-Work Order, but rather a Notice of Violation.

5. The Notice of Violation in this case was issued as a result of concerns expressed to the Montgomery County Maryland Department of Permitting Services that the removal of certain dormers in one of the buildings involved in the Bethesda-Chevy Chase High School renovation project was not shown on a work permit issued by the Historic Preservation Commission.

6. The Montgomery County Maryland Department of Permitting Services issued the Notice of Violation, ~~to address the concerns of the staff of the Historic Preservation Commission.~~

7. Thomas Rhinehart of the Department of Permitting Services issued the Notice of Violation and delivered it to a superintendent on the job on August 4, 2000.

8. Work on this project did not stop and was not stopped by the Department of Permitting Services.

9. After the issuance of the Notice of Violation, representatives of the Montgomery County Public Schools made application to the Historic Preservation Commission for a retroactive ^{revision} ~~modification~~ to the historic area work permit, ^{so approved 9/9/98} so as to resolve any issues ^{of non-compliance} ~~concerning removal of the dormers in question.~~

10. On September 27, 2000, the Historic Preservation Commission for Montgomery County ^{approved with conditions} ~~granted~~ a retroactive revision to the historic area work permit to ^{remove} ~~authorize removal of~~ the dormers in question. 9/9/98

1. weather vane.
2. lightning - grounding cable
3. replace 8 windows.

head.
~~Olson~~ Carlson >>>>>
Bulverde Cottage
301 200 3003.

301-918 9116

III-A

**HISTORIC PRESERVATION COMMISSION
SPEAKER'S FORM**

If you wish to speak on an agenda item, please fill out this form and give it to a Historic Preservation staff person sitting at the left end of the table in the front of the auditorium prior to consideration of that item. The Historic Preservation Commission welcomes public testimony on most agenda items.

Please print using ink, and provide your full name, complete address, and name of person/organization that you officially represent (yourself, an adjacent property owner, citizens association, government agency, etc). This provides a complete record and assists with future notification on this case. **This meeting is being recorded. For audio-identification, please state your name and affiliation for the record the first time you speak on any item.**

DATE: 9/27/00

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: III A

NAME: Wayne Goldstein

COMPLETE MAILING ADDRESS: 3009 Jennings Rd.
Kensington, MD 20895

REPRESENTING (INDIVIDUAL/ORGANIZATION): Individual

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation.....7 minutes
- Comment by affected property owners on Master Plan designation.....3 minutes
- Comment by adjacent owners/interested parties.....3 minutes
- Comment by citizens association/interested groups.....5 minutes
- Comment by elected officials/government representatives.....7 minutes

III - A

HISTORIC PRESERVATION COMMISSION SPEAKER'S FORM

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DATE: 09.27.00

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: MCPs - BCC # 5

NAME: SANDRA E. COUCH, DENVERBY DESIGN GROUP

COMPLETE MAILING ADDRESS: 8401 ARLINGTON BLVD
FAUXFAK VA 22031

REPRESENTING (INDIVIDUAL/ORGANIZATION): MCPs

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation.....7 minutes
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III - A

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DATE: 9/27/00

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: B-CC High School

HPC Case No. 35/14-14-98A

NAME: William Novak

COMPLETE MAILING ADDRESS: 5701 Grosvenor Lane
Bethesda, MD 20814

REPRESENTING (INDIVIDUAL/ORGANIZATION): Montgomery County
Public Schools

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III A

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DATE: Sept. 27, 2000

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: III A Case 35/14.14.98A

NAME: Maria C. Hoey

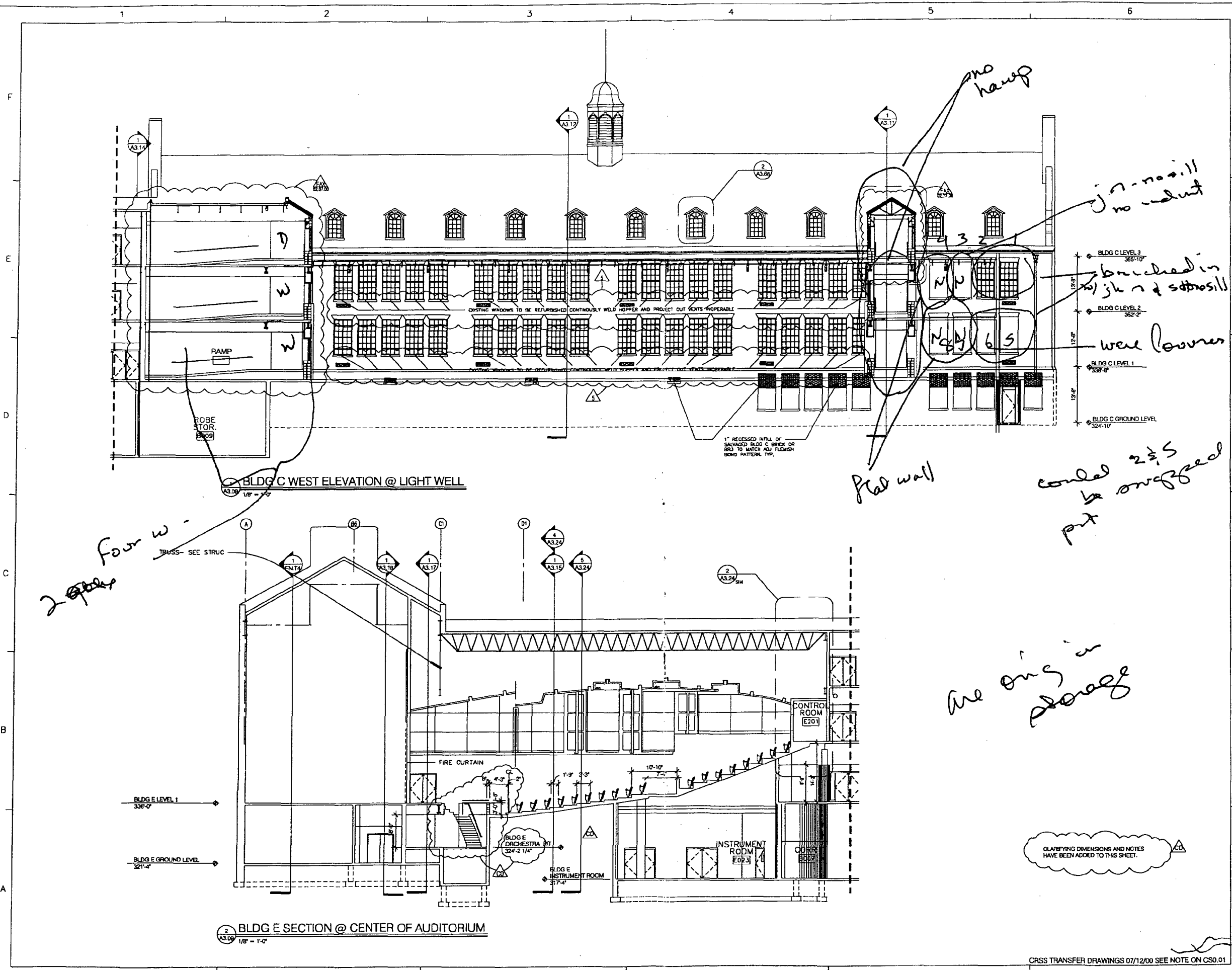
COMPLETE MAILING ADDRESS: 15613 Allnuttt Lane

Burtonsville, mo 20866

REPRESENTING (INDIVIDUAL/ORGANIZATION) Montgomery Preservation, Inc.

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation.....7 minutes
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- Comment by adjacent owners/interested parties.....5 minutes
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- Comment by elected officials/government representatives.....7 minutes



2 @ 20' - 2 @ 20'

Flat wall

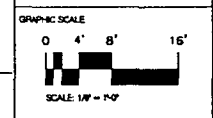
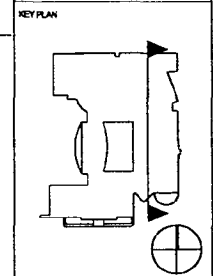
could be offered put

are only in storage

CLARIFYING DIMENSIONS AND NOTES HAVE BEEN ADDED TO THIS SHEET.

Dawberry & Davis
 824 West Diamond Avenue
 Gaithersburg, Maryland 20878
 (301) 948-0300
 Meredith Piles, Farms & Associates
 5200 Sandstone Boulevard
 Rockville, Maryland 20852
 (301) 458-8822
 Bethesda Food Systems, Inc.
 2320 Harvard Court
 Annapolis, Maryland 21401
 (410) 224-2412
 Professional Acoustical Engineers
 8115 MacArthur Boulevard, NW
 Washington, DC 20018
 (202) 244-7171
 Mount Country Lighting Associates, Inc.
 1323 Wisconsin Avenue, NW
 Washington, DC 20007
 (202) 296-8092
 Fuller & Mizer, P.C.
 5100 Wisconsin Avenue, NW Suite 515
 Washington, DC 20018
 (202) 384-2222

Bethesda-Chew Chase
 High School
 Modernization
 Montgomery County,
 Maryland
 Montgomery County
 Public Schools



050100	SHEET PERISSE		
030000	ADDENDUM NO. 5		
030288	CONSTRUCTION SET		
012288	BUILDING PERMIT		
no.	date	by	description
SUBMISSIONS			
DRAWN BY		LCP	
APPROVED BY		SEC	
CHECKED BY		SEC	

TITLE
**BUILDING C
 WEST ELEVATION/
 AUDITORIUM SECTION**

PROJECT NO.
 SCALE 1/8" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A3:09

CRSS TRANSFER DRAWINGS 07/12/00 SEE NOTE ON CS0.01

AUG 21 2000

Denbury and Davis
 204 West Chesapeake Avenue
 Gaithersburg, Maryland 20878
 DC: 344-0300

Marshall, Ross, Finner & Associates
 2200 Executive Boulevard
 Rockville, Maryland 20852
 DC: 344-8827

Brofford Food Systems, Inc.
 2725 Howard Court
 Annapolis, Maryland 21401
 DC: 334-2472

Providence Acoustical Engineers
 3115 MacArthur Boulevard, NW
 Washington, DC 20008
 DC: 344-1171

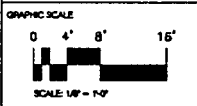
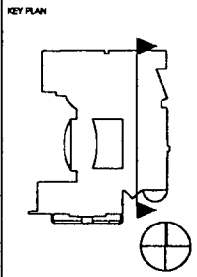
Marion County Lighting Associates, Inc.
 1820 MacArthur Avenue, NE
 Washington, DC 20002
 DC: 386-8282

Heller & Vetter, P.C.
 5120 MacArthur Avenue, NW Suite 315
 Washington, DC 20018
 DC: 344-2222

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



NO.	DATE	BY	DESCRIPTION
05/01/00			SHEET RESUB
05/02/00			ADDENDUM NO. 6
03/03/99			CONSTRUCTION SET
01/22/99			BUILDING PERMIT

TITLE
**BUILDING C
 WEST ELEVATION/
 AUDITORIUM SECTION**

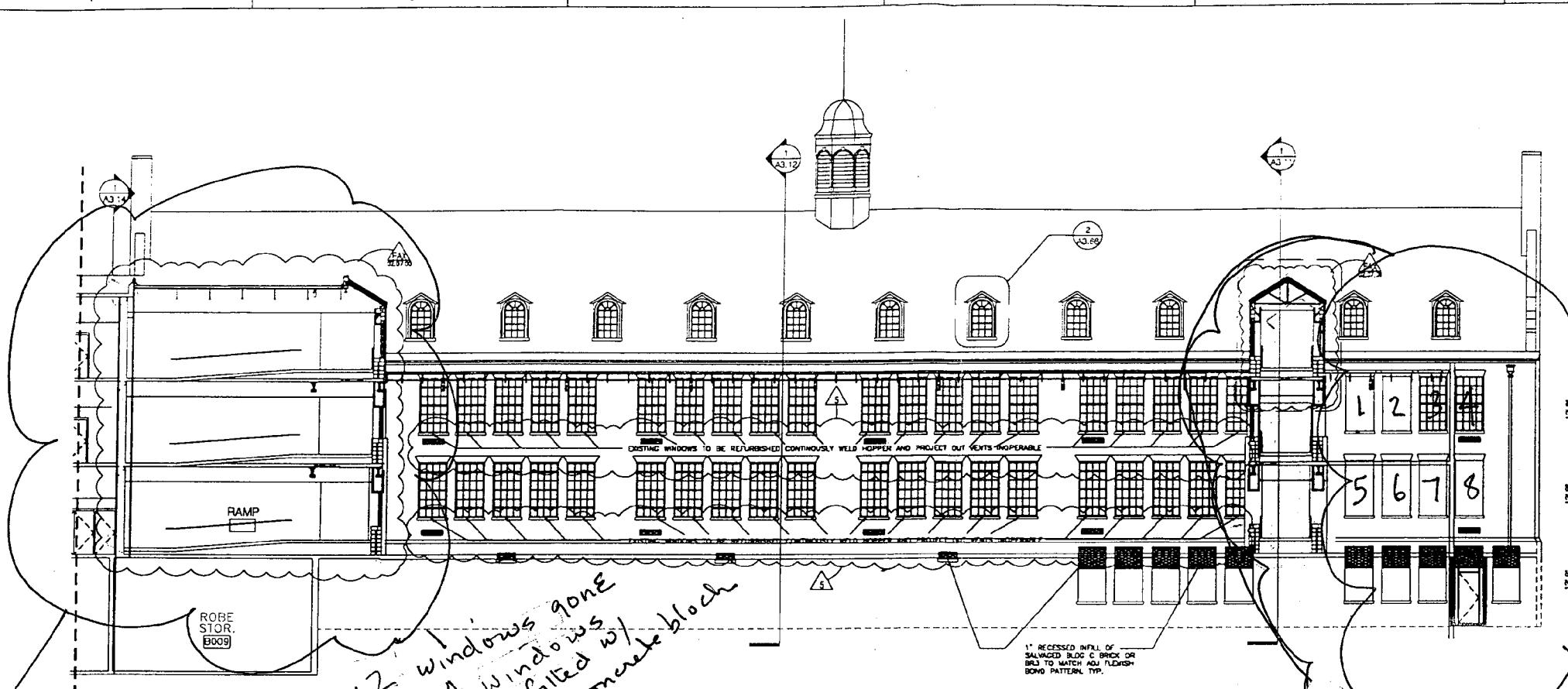
PROJECT NO.
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DISCIPLINE ARCHITECTURAL

A3.09

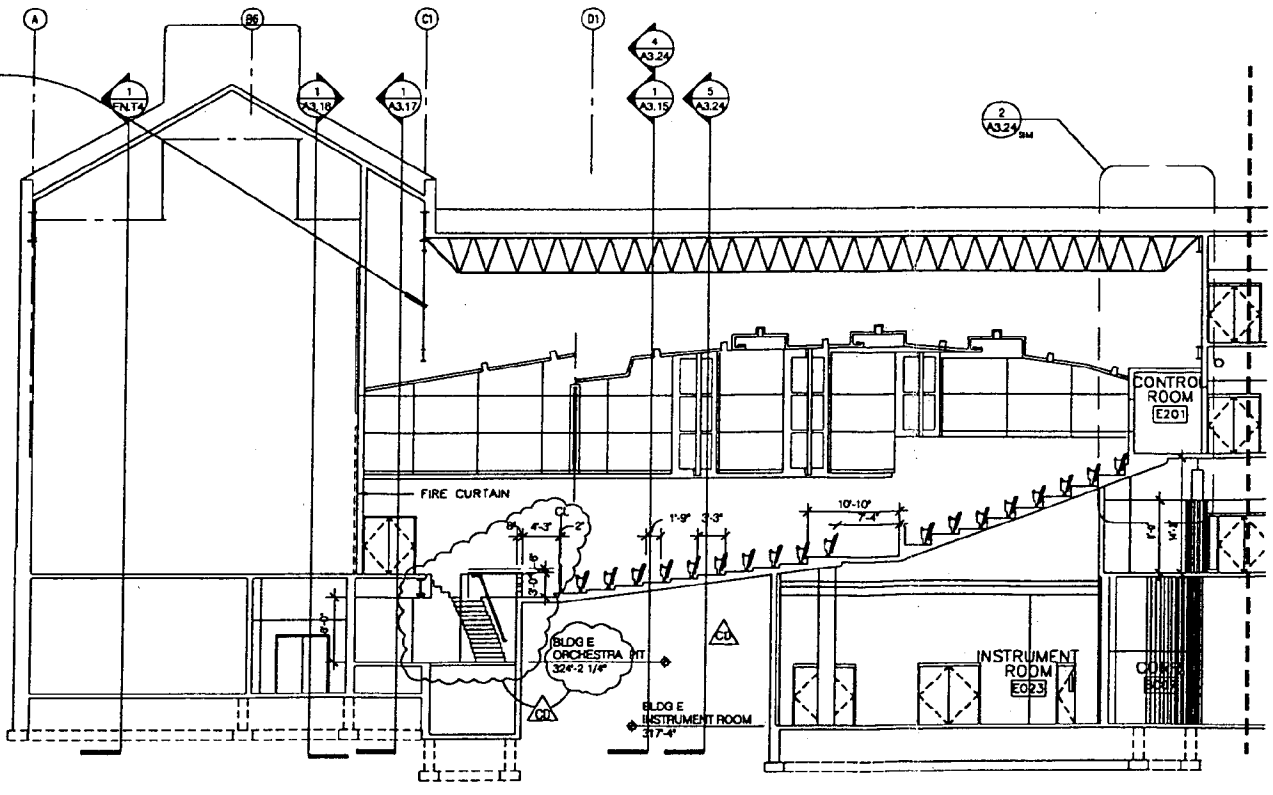
SHEET NO.

AUG 21 2000
 SEP 6 2000



1 BLDG C WEST ELEVATION @ LIGHT WELL
 A3.09 1/8" = 1'-0"

See
 A2.03



2 BLDG E SECTION @ CENTER OF AUDITORIUM
 A3.09 1/8" = 1'-0"

Windows 1, 5, 6 - flat brick with no features
 2 - bricked in with jack arch intact, no sill, no indent
 3, 4, 7, 8 - bricked in with jack arch, sill, indent all intact

CLARIFYING DIMENSIONS AND NOTES
 HAVE BEEN ADDED TO THIS SHEET.

1 2 3 4 5 6

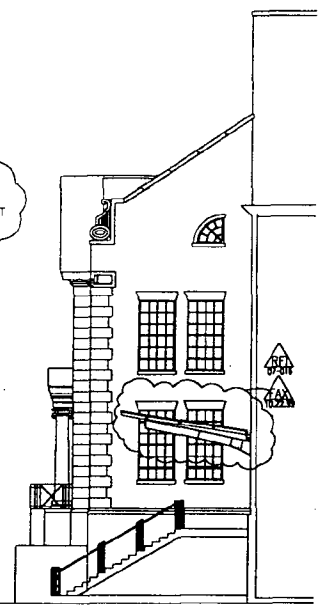
F
E
D
C
B
A

5
EXISTING WINDOWS TO BE REFURBISHED.
PROVIDE SPANDREL GLASS IN EXISTING FRAMES.
CONTINUOUSLY WELD HOPPER AND PROJECT OUT
VENTS INOPERABLE. TYPICAL THIS ELEVATION.

BLDG C LEVEL 3
366'-10"

BLDG C LEVEL 1
338'-0"

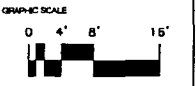
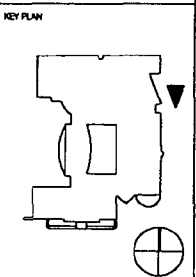
BLDG C GROUND LEVEL
324'-10"



1 PARTIAL ELEVATION
1/8\"/>

Dunberry & Davis
Architects
Dunberry and Davis
804 West Diamond Avenue
Gaithersburg, Maryland 20878
(301) 948-0300
Mendoza, Rhee, Farnas & Associates
2305 Double Boulevard
Rockville, Maryland 20852
(301) 458-8880
Burr-Field Food Systems, Inc.
2155 Renard Court
Annapolis, Maryland 21401
(301) 224-2412
Petrovics Acoustical Engineers
5115 MacArthur Boulevard, NW
Washington, DC 20216
(202) 544-1171
Morgan County Lighting Associates, Inc.
1822 Wisconsin Avenue, NW
Washington, DC 20007
(202) 268-8000
Huller & Metzler, P.C.
5105 Wisconsin Avenue, NW Suite 515
Washington, DC 20216
(202) 384-2222

Bethesda-Chevy Chase
High School
Modernization
Montgomery County,
Maryland
Montgomery County
Public Schools



NO.	DATE	BY	DESCRIPTION

DRAWN BY LCF
APPROVED BY
CHECKED BY SEC

TITLE
PARTIAL BUILDING
ELEVATIONS

PROJECT NO.
SCALE 1/8\"/>

A3.11

SHEET NO.

SEP 6 2000



Fax Transmittal

Date: 07/02/00

<input type="checkbox"/> Arlington, VA	<input checked="" type="checkbox"/> Fairfax, VA	<input type="checkbox"/> Oklahoma City, OK	<input type="checkbox"/> Tulsa, OK	<input type="checkbox"/> Washington, DC
--	---	--	------------------------------------	---

Please Deliver this Facsimile to:

Name: Mr. John Hostinsky
 With: CRSS Constructors, Inc.
 Phone: (301) 961-5961
 Fax: (301) 961-5983
 Project No: BW-034
 Project: Bethesda-Chevy Chase High School Modernization
 Reference: B-C Connection architectural details

We Transmit the following:

as per your request for review & comment your file/use
 other

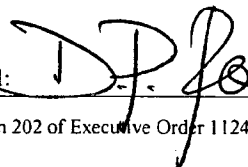
Copies	Date	Number	Description
1	02/07/00		B-C architectural connection (18 pgs)

Original will be sent by: Self

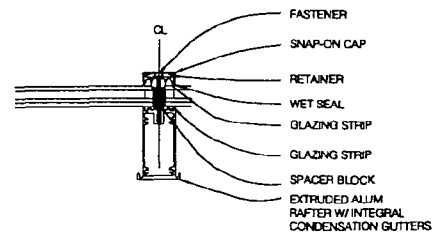
Comments: _____

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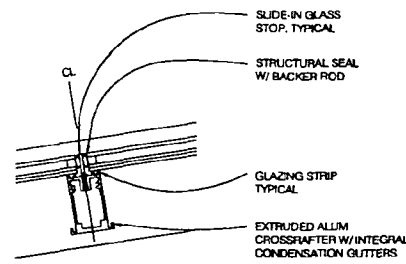
Sender: DP Rowson (703) 849-0155
 Cc: Mr. Bernie Warfield, Mr. Eric Snellings,
 Ms. Veronica Vejar, file 4.3.1.2
 Mike Jeon, Sandra Couch

Signed: 

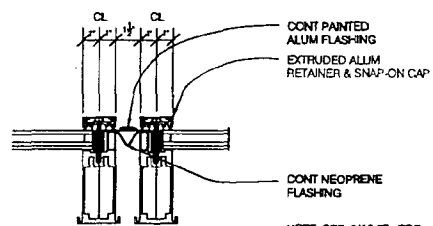
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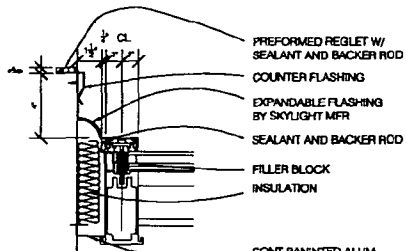
9 RAFTER TYPICAL
A3.67 3" = 1'-0"



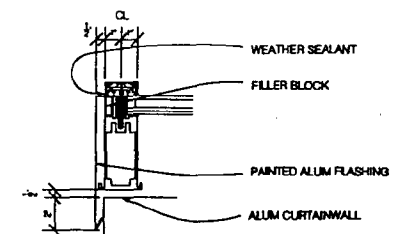
8 CROSSRAFTER TYPICAL
A3.67 3" = 1'-0"



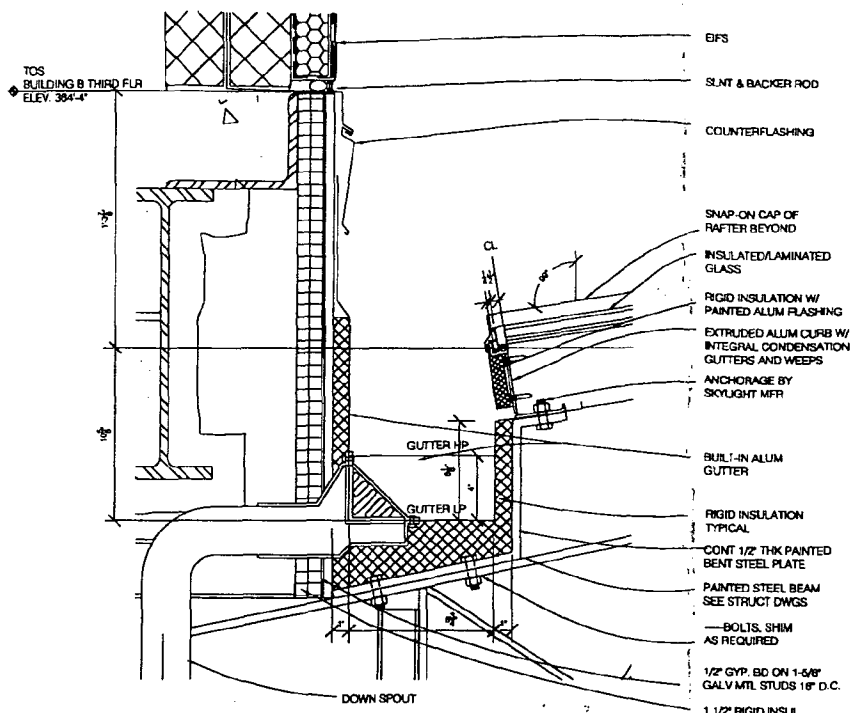
5 RAFTER EXPANSION JOINT
A3.67 3" = 1'-0"



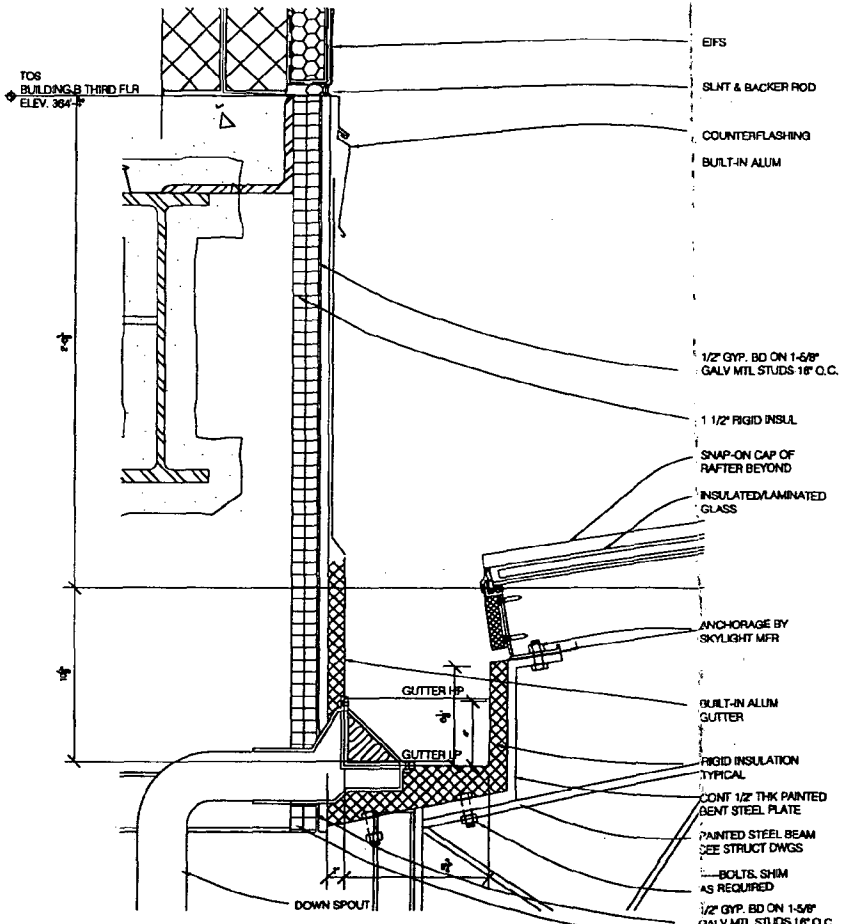
4 END RAFTER
A3.67 3" = 1'-0"



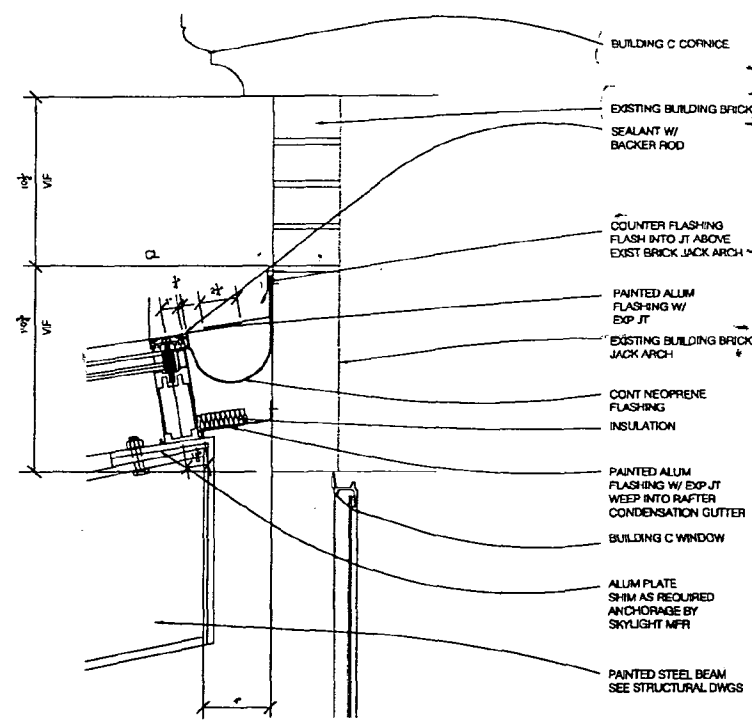
3 END RAFTER
A3.67 3" = 1'-0"



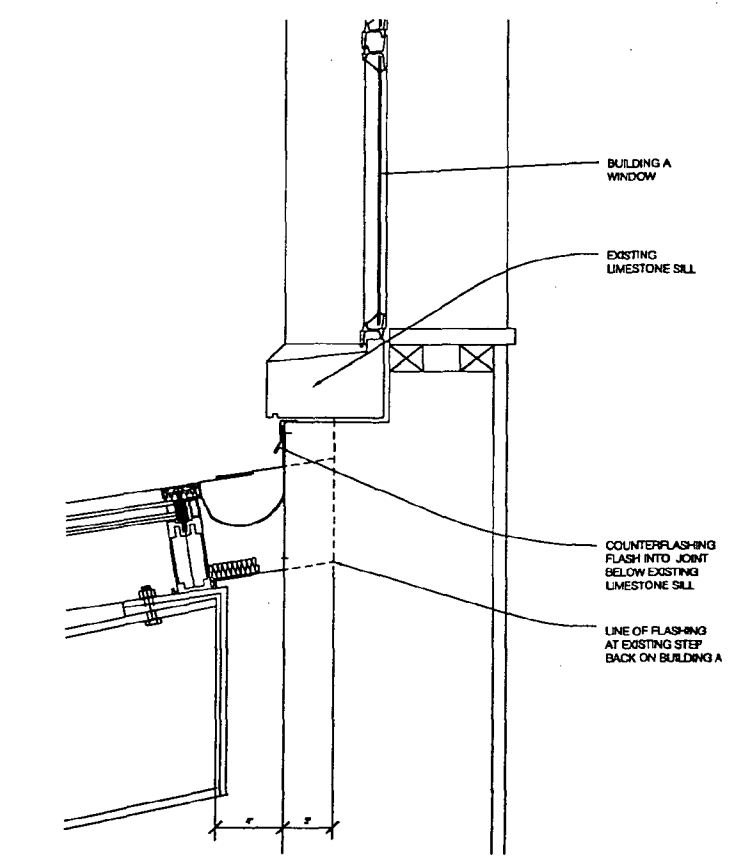
7 GUTTER AT BUILDING B/C SKYLIGHT
A3.67 3" = 1'-0"



2 GUTTER AT BUILDING B/A SKYLIGHT
A3.67 3" = 1'-0"



6 HEAD AT BUILDING B/C SKYLIGHT
A3.67 3" = 1'-0"



1 HEAD AT BUILDING B/A SKYLIGHT
A3.67 3" = 1'-0"

Dewberry & Davis
Architects
2011 24th St NW
Washington, DC 20037
(202) 334-1171

Blanchard & Davis
2011 24th St NW
Washington, DC 20037
(202) 334-1171

Polynorm Acoustical Engineers
1115 MacArthur Blvd NW
Washington, DC 20007
(202) 334-1171

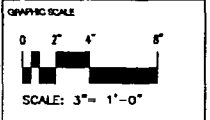
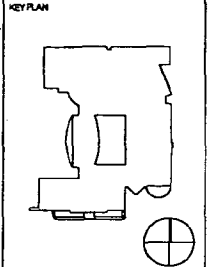
Moore & Moore, P.C.
1822 Wisconsin Avenue, NW
Washington, DC 20007
(202) 298-4000

Heller & Moore, P.C.
5100 Wisconsin Avenue, NW Suite 515
Washington, DC 20015
(202) 354-2222

Bethesda-Chevy Chase
High School
Modernization

Montgomery County,
Maryland

Montgomery County
Public Schools



NO.	DATE	BY	DESCRIPTION
01/22/00			BUILDING PERMIT
01/22/00			CONSTRUCTION SET
01/22/00			SHEET REVISION

DRAWN BY: SEC
APPROVED BY: SEC
CHECKED BY: SEC

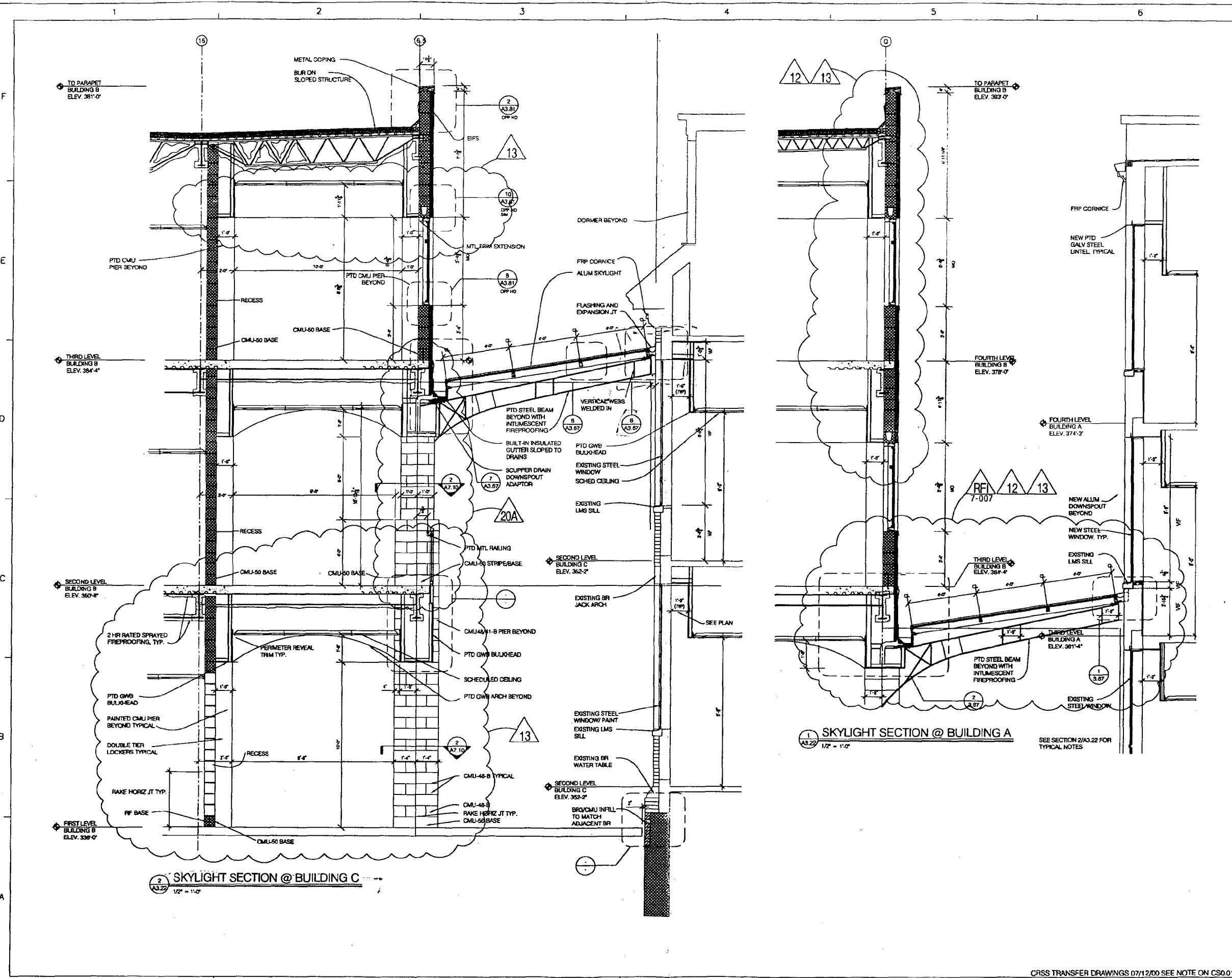
TITLE: SKYLIGHT DETAILS

PROJECT NO.:
SCALE: 3" = 1'-0"
DISCIPLINE: ARCHITECTURAL

A3.67

SHEET NO.:

SEP 6 2000



Densberry & Davis
 Architects
 201 West Diamond Avenue
 Gaithersburg, Maryland 20878
 301 948-0300

Meridita, Fibel, Farnes & Associates
 5200 Executive Boulevard
 Gaithersburg, Maryland 20878
 301 488-8880

Shirley Food Systems, Inc.
 2120 Powers Court
 Annapolis, Maryland 21401
 410 224-2412

Polymatrix Acoustical Engineers
 5115 MacArthur Boulevard, NW
 Washington, DC 20015
 202 364-7171

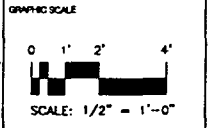
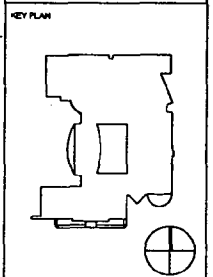
Modern Country Lighting Associates, Inc.
 1823 Wisconsin Avenue, NW
 Washington, DC 20007
 202 528-8022

Heller & Meyer, P.C.
 5100 Wisconsin Avenue, NW Suite 515
 Washington, DC 20015
 202 384-2222

Bethesda-Chevy Chase
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05/11/00	SHEET REVISION
05/27/00	ADDENDUM NO. 13
05/27/00	ADDENDUM NO. 12
05/05/00	CONSTRUCTION SET
01/22/99	BUILDING PERMIT
no date	by description

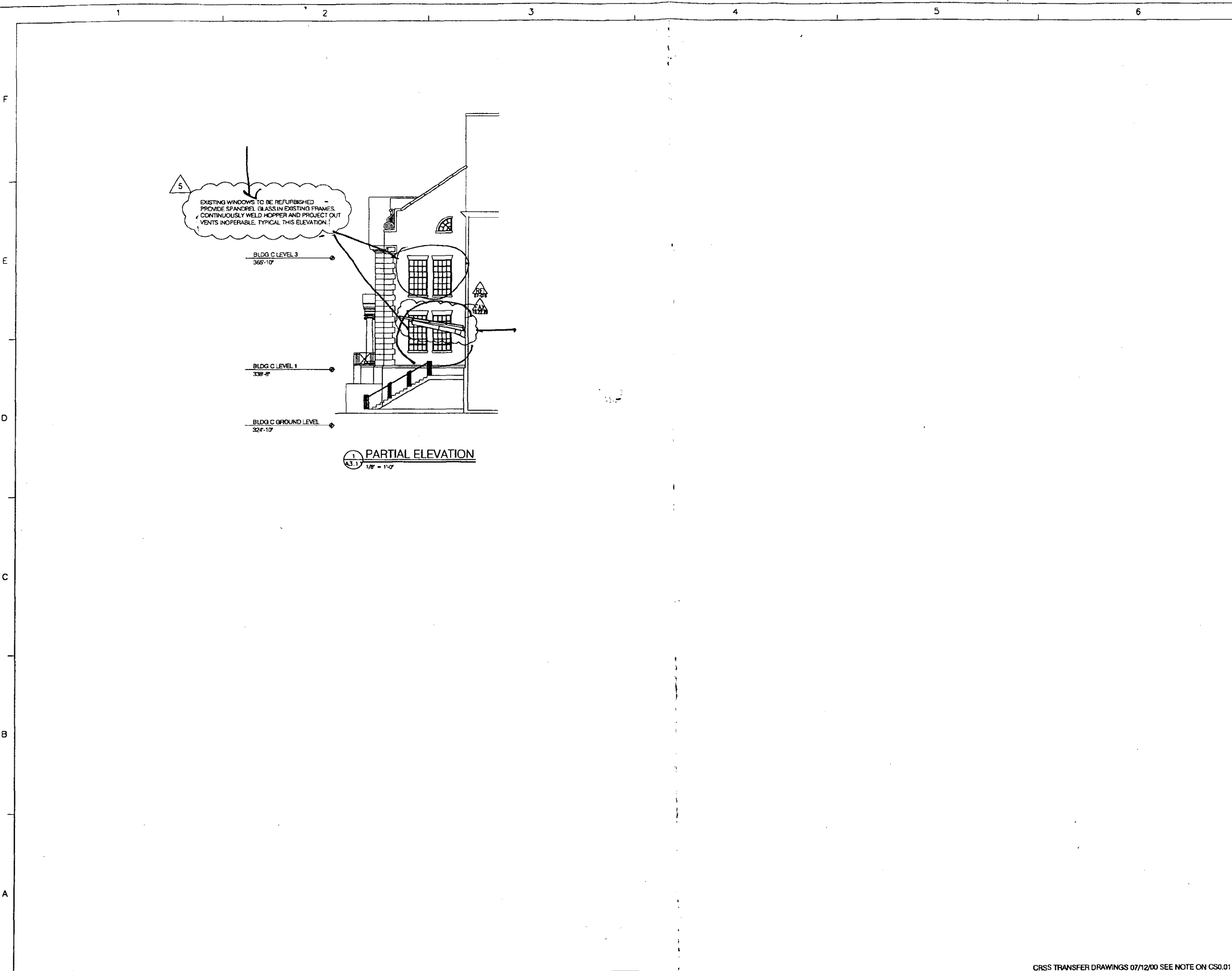
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 APPROVED BY
 CHECKED BY SEC

TITLE
 SKYLIGHT
 SECTIONS

PROJECT NO.
 SCALE 1/2" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A3.22

SEP 6 2000



Dunberry & Davis
 Architects
 504 West Diamond Avenue
 Gaithersburg, Maryland 20878
 (301) 484-0500

Meridians, Pflaum, Fenner & Associates
 6285 Executive Boulevard
 Rockville, Maryland 20852
 (301) 484-8802

Shirley Food Systems, Inc.
 2120 Remond Court
 Annapolis, Maryland 21401
 (410) 294-2412

Professional Accounting Engineers
 8118 MacArthur Boulevard, NW
 Washington, DC 20015
 (202) 244-1177

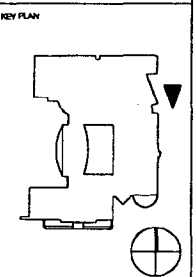
Montgomery County Lighting Associates, Inc.
 1222 Wisconsin Avenue, NW
 Washington, DC 20007
 (202) 296-8202

Holler & Metzler, P.C.
 5100 MacArthur Avenue, NW Suite 515
 Washington, DC 20015
 (202) 384-2922

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



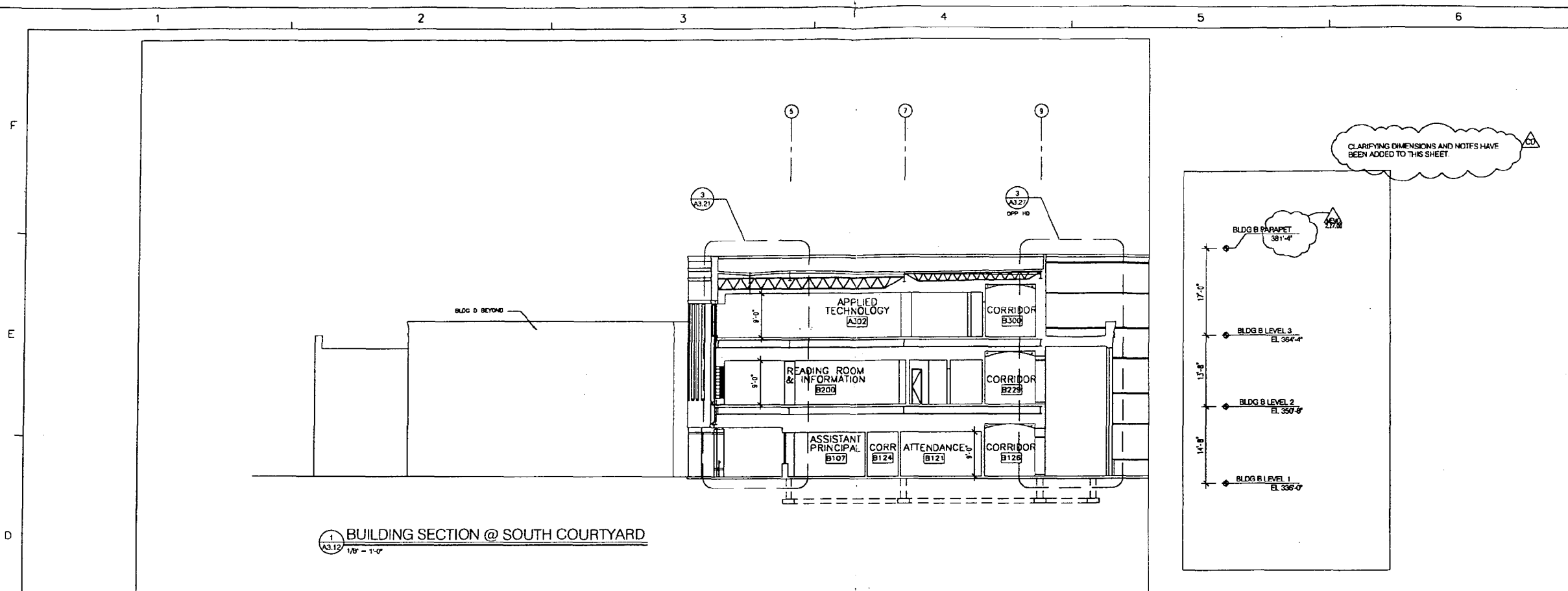
DRAWN BY: LCF
 APPROVED BY:
 CHECKED BY: SSC

TITLE
 PARTIAL BUILDING
 ELEVATIONS

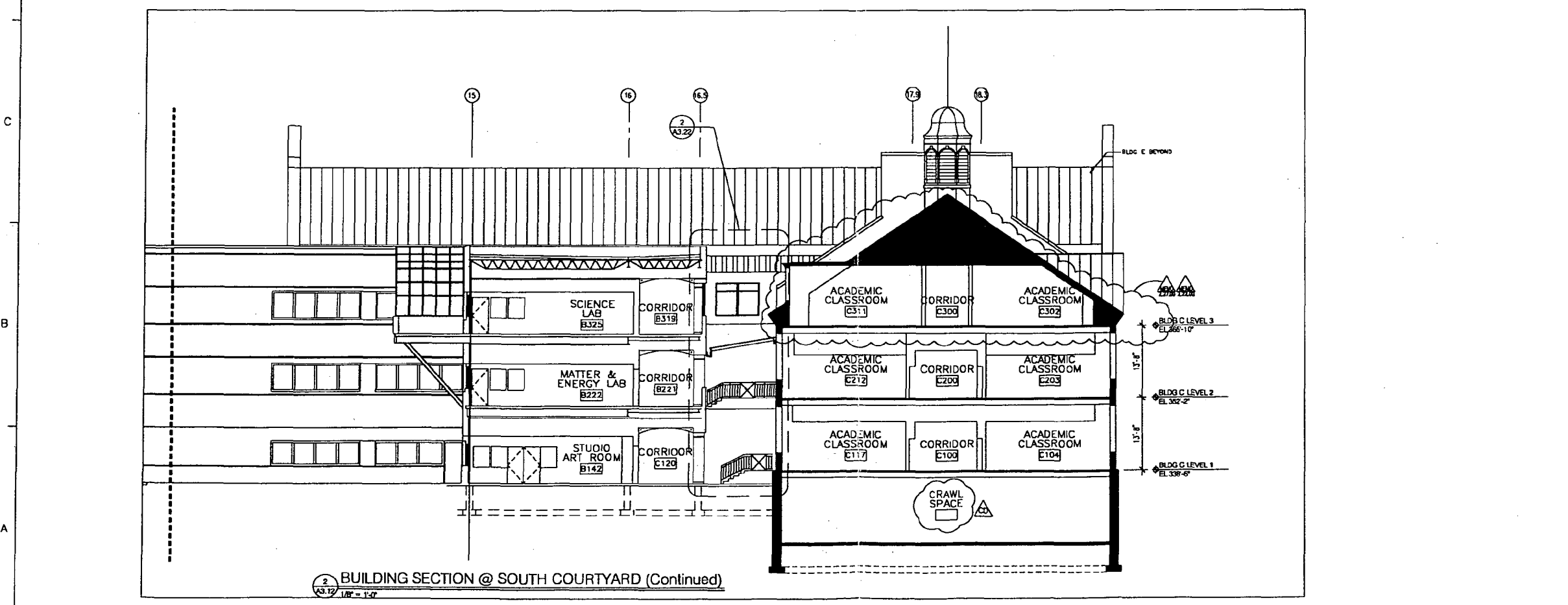
PROJECT NO.
 SCALE 1/8" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A3.11
 SHEET NO.

SEP 6 2000



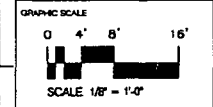
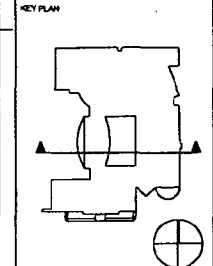
1 BUILDING SECTION @ SOUTH COURTYARD
A3.12 1/8" = 1'-0"



2 BUILDING SECTION @ SOUTH COURTYARD (Continued)
A3.12 1/8" = 1'-0"

Dowberry & Davis
Architects
Dowberry and Davis
804 West Diamond Avenue
Chesapeake, Maryland 20828
(301) 948-0300
Marston, Pines, Finner & Associates
2285 Conestoga Boulevard
Bowie, Maryland 20622
(301) 468-8882
Sheffield Food Systems, Inc.
2120 Hemlock Court
Annapolis, Maryland 21401
(410) 224-2412
Polytechnic Associates Engineers
6115 MacArthur Boulevard, NW
Washington, DC 20018
(202) 344-1171
Mason Covey Lighting Associates, Inc.
1823 Wisconsin Avenue, NW
Washington, DC 20007
(202) 386-4082
Heller & Mather, P.C.
5120 MacArthur Avenue, NW Suite 515
Washington, DC 20018
(202) 384-2222

Bethesda-Chevy Chase
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Modernization
Montgomery County,
Maryland
Montgomery County
Public Schools



NO.	DATE	BY	DESCRIPTION
05/01/00			SHEET REVISION
03/28/99			CONSTRUCTION SET
01/22/99			BUILDING PERMIT

DESIGNED BY: LCF
APPROVED BY: _____
CHECKED BY: SSC
TITLE: BUILDING SECTION
PROJECT NO.: _____
SCALE: 1/8" = 1'-0"
DISCIPLINE: ARCHITECTURAL
A3.12
SHEET NO.

AUG 21 2000

Dewberry & Davis

3401 Arlington Boulevard
 Fairfax, Virginia 22031-4666
 Phone: (703) 849-0610 Fax: (703) 849-0537

Architects
 Engineers
 Planners
 Surveyors

Transmittal

- | | | | | | |
|--|---|---|---------------------------------------|--|---|
| <input type="checkbox"/> Annapolis, MD | <input type="checkbox"/> Danville, VA | <input type="checkbox"/> Gaithersburg, MD | <input type="checkbox"/> Manassas, VA | <input type="checkbox"/> North Haven, CT | <input type="checkbox"/> Roanoke, VA |
| <input type="checkbox"/> Boston, MA | <input type="checkbox"/> Dillsburg, PA | <input type="checkbox"/> Lanham, MD | <input type="checkbox"/> Marion, VA | <input type="checkbox"/> Raleigh, NC | <input type="checkbox"/> Rochester, NY |
| <input type="checkbox"/> Dallas, TX | <input checked="" type="checkbox"/> Fairfax, VA | <input type="checkbox"/> Leesburg, VA | <input type="checkbox"/> New York, NY | <input type="checkbox"/> Richmond, VA | <input type="checkbox"/> Rutherford, NJ |

To: Dewberry Design Group

Date: January 28, 2000

Project No.:

Project: Bethesda Chevy Chase High School

Reference: Connections

Attention: Sandra Couch

We Transmit:

- as per your request
- under separate cover
- by mail
- by messenger
- by pick up
- by Federal Express

the following:

- prints
- copies
- report/proposal
- shop drawings
- reproducibles
- samples
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- computations
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- your review and comment
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- revision
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as approved by

as submitted for approval

please acknowledge receipt of enclosures

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Comments:

Attached are the roof framing plans and sections for building C north and south connections.



SEP 6 2000

Signed

I. Golshan

Iraj Golshan, P.E.



Dewberry
DESIGN GROUP
INCORPORATED

Transmittal

Date: 09.07.00

<input type="checkbox"/> Arlington, VA	<input checked="" type="checkbox"/> Fairfax, VA	<input type="checkbox"/> Oklahoma City, OK	<input type="checkbox"/> Tulsa, OK	<input type="checkbox"/> Washington, DC
--	---	--	------------------------------------	---

To: Ms. Perry Kephart
109 Spring Road
Suite 801
Silver Spring MD 20916

Project No: BW034
Project: Bethesda-Chevy Chase High School
Reference:
Copy: Mr. Bill Novak, Mr. Bernie Warfield,
Mr. Eric Snellings, Ms. Veronica Vejar,
File 4.3.1.2

Attention: 301.663.3407

Title:

We Transmit: the following: for:

- | | | | |
|---|---|--|---|
| <input type="checkbox"/> as per your request | <input type="checkbox"/> prints | <input type="checkbox"/> your approval | <input type="checkbox"/> _____ as requested by |
| <input type="checkbox"/> under separate cover | <input type="checkbox"/> specifications | <input type="checkbox"/> your review and comment | <input type="checkbox"/> _____ as approved by |
| <input type="checkbox"/> by mail | <input type="checkbox"/> change order | <input type="checkbox"/> your file/use | <input type="checkbox"/> _____ as submitted for approval by |
| <input type="checkbox"/> by messenger | <input type="checkbox"/> shop drawing | <input type="checkbox"/> revision and submission | <input type="checkbox"/> _____ |
| <input type="checkbox"/> by pick up | <input type="checkbox"/> reproduces | <input type="checkbox"/> distribution | <input type="checkbox"/> _____ |
| <input type="checkbox"/> by overnight carrier | <input type="checkbox"/> samples | <input type="checkbox"/> File | <input type="checkbox"/> please acknowledge receipt of enclosures |
| <input type="checkbox"/> by | <input type="checkbox"/> product literature | | <input type="checkbox"/> return enclosures to us |
| | <input type="checkbox"/> computations | | |
| | <input type="checkbox"/> descriptions | | |

703-849-0156 280 8085

Copies	Date	Number	Description
1	09.06.00		D:D Transmittal's plans for Roof framing (annotated)
1	09.06.00		* DDG Transmittal's details 07.02.00 for B-C connection
			annotated
1	09.06.00		Annotated dwgs CS0.01-CS0.03, A0.0-A0.4
			A1.0C, A1.1C, A1.2C, A1.3C, A1.5, A1.5C, A2.0, A2.00

Comments	Date	Description
1	09.06.00	A2.01-A2.03, A2.0C, A2.1C, A2.2C, A2.3C, A3.00-A3.04 A3.06, A3.08, A3.09, A3.12, A3.14
1	09.06.00	Sheet A3.11 of CRSS 07.12.00 transfer dwgs Sheets A3.22; A3.67 of CRSS 07.12.00 transfer dwgs

Per your request. The materials for the building connections are

If enclosures are not as noted, please notify us at once.

Signed: Sandra E. Couch Sandra E. Couch

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\\dggfxrv\PROJECT1\BW034\ADMIN\CORRESP\TRANSMIT\hostinsky.DOC\

highlighted in yellow in the * DDG transmittal's Details 07.02.00 for B-C connection.

Dewberry & Davis

8401 Arlington Boulevard
Fairfax, Virginia 22031-4666
Phone: (703) 849-0610 Fax: (703) 849-0537

Architects
Engineers
Planners
Surveyors

Transmittal

<input type="checkbox"/> Annapolis, MD	<input type="checkbox"/> Danville, VA	<input type="checkbox"/> Gaithersburg, MD	<input type="checkbox"/> Manassas, VA	<input type="checkbox"/> North Haven, CT	<input type="checkbox"/> Roanoke, VA
<input type="checkbox"/> Boston, MA	<input type="checkbox"/> Dillsburg, PA	<input type="checkbox"/> Lanham, MD	<input type="checkbox"/> Marion, VA	<input type="checkbox"/> Raleigh, NC	<input type="checkbox"/> Rochester, NY
<input type="checkbox"/> Dallas, TX	<input checked="" type="checkbox"/> Fairfax, VA	<input type="checkbox"/> Leesburg, VA	<input type="checkbox"/> New York, NY	<input type="checkbox"/> Richmond, VA	<input type="checkbox"/> Rutherford, NJ

To: Dewberry Design Group

Date: January 28, 2000

Project No.:

Project: Bethesda Chevy Chase High School

Reference: Connections

Attention: Sandra Couch

We Transmit:

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- shop drawings
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- _____

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- your approval
- your review and comment
- your file/use
- revision
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as submitted for approval

please acknowledge receipt of enclosures

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Copies	Date	Number	Description

Comments:

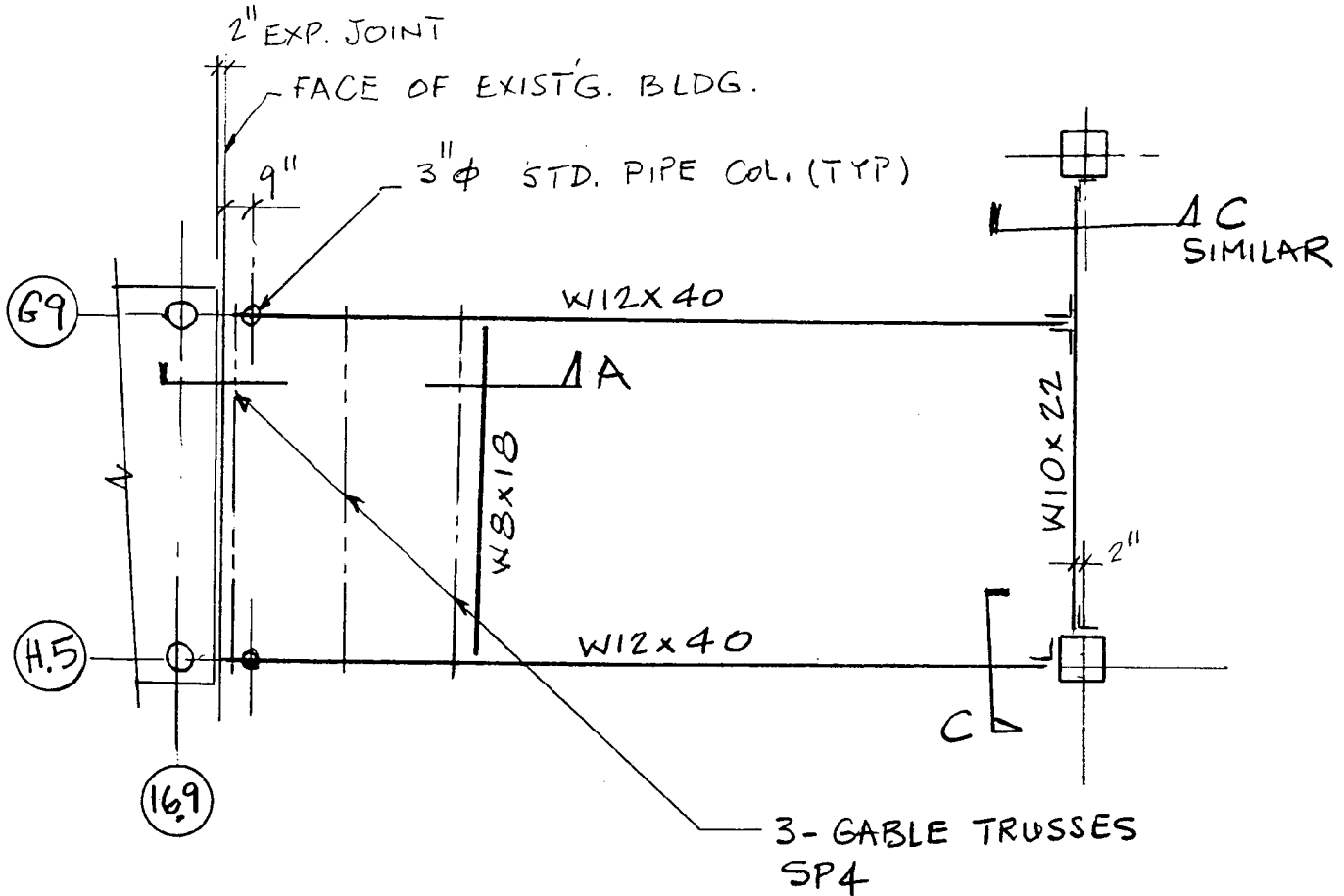
Attached are the roof framing plans and sections for building C north and south connections.

Signed I. Golshan
Iraj Golshan, P.E.



Calculation She

Designer _____ Date _____ Checker _____ Date _____
Title _____ Job No. _____
Subject _____ Sheet No. _____ of _____

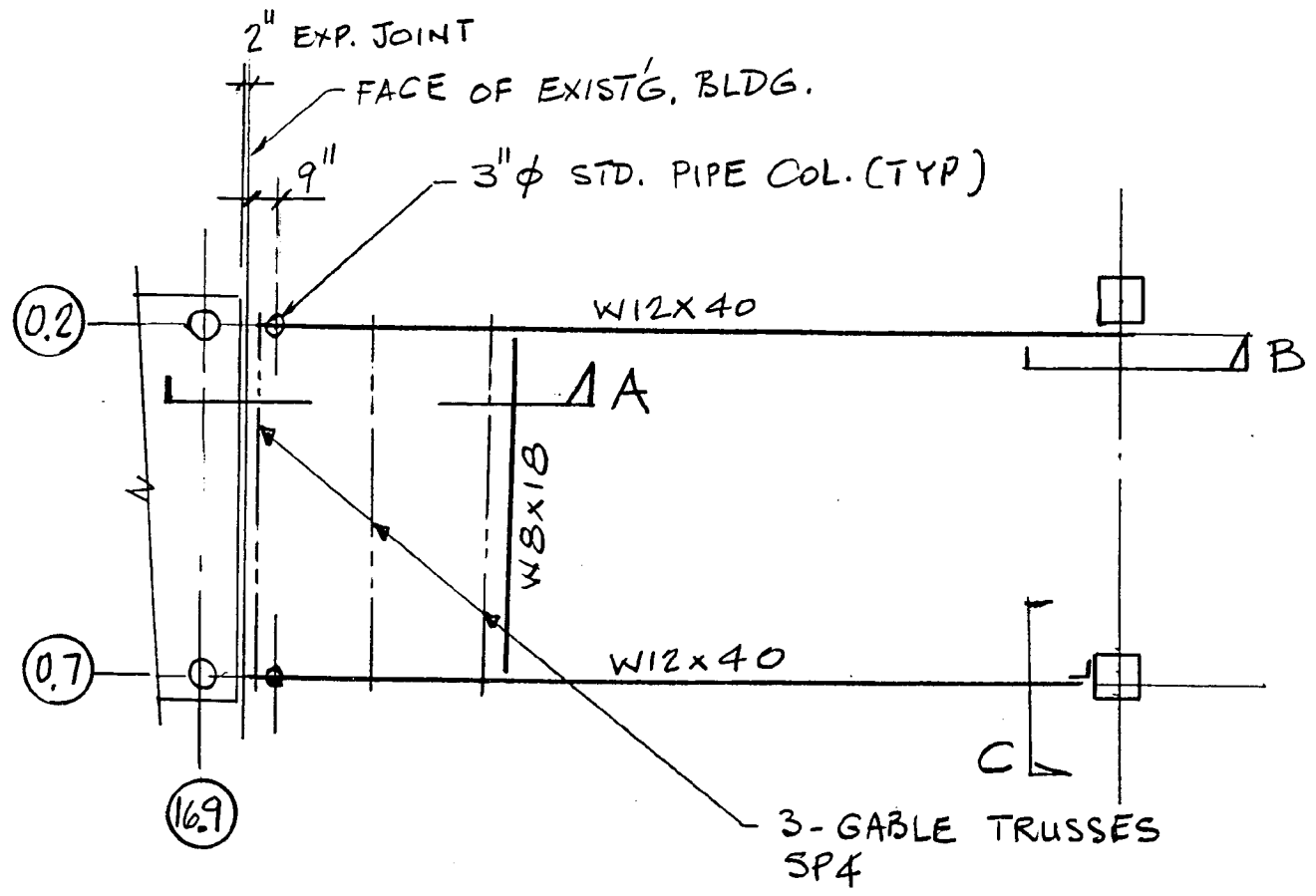


BUILDING C - NORTH CONNECTION ROOF FRAMING PLAN



Calculation She

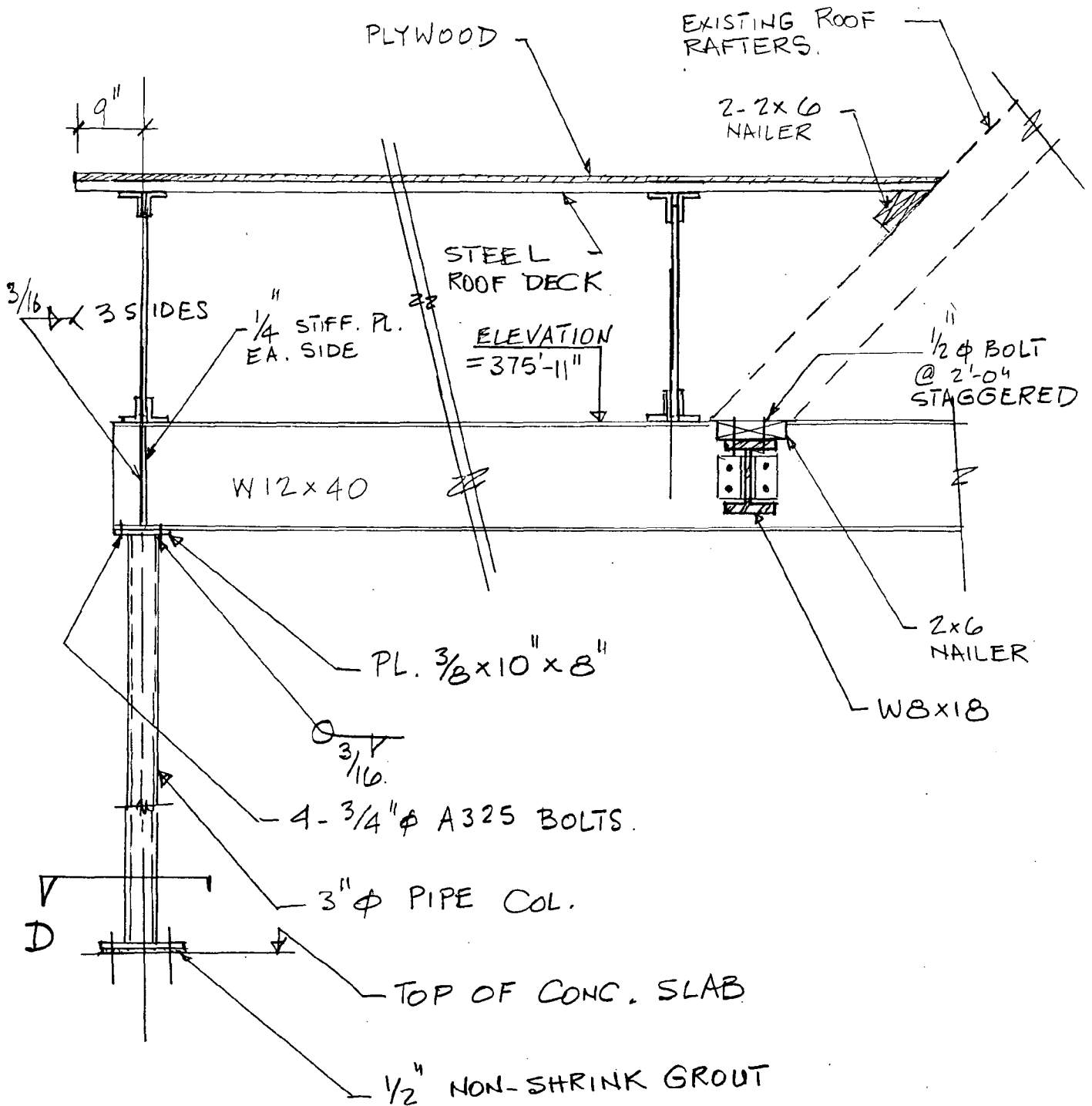
Designer _____ Date _____ Checker _____ Date _____
Title _____ Job No. _____
Subject _____ Sheet No. _____ of _____



BUILDING C - SOUTH CONNECTION ROOF FRAMING PLAN

Calculation Shee

Designer _____ Date _____ Checker _____ Date _____
Title _____ Job No. _____
Subject _____ Sheet No. _____ of _____

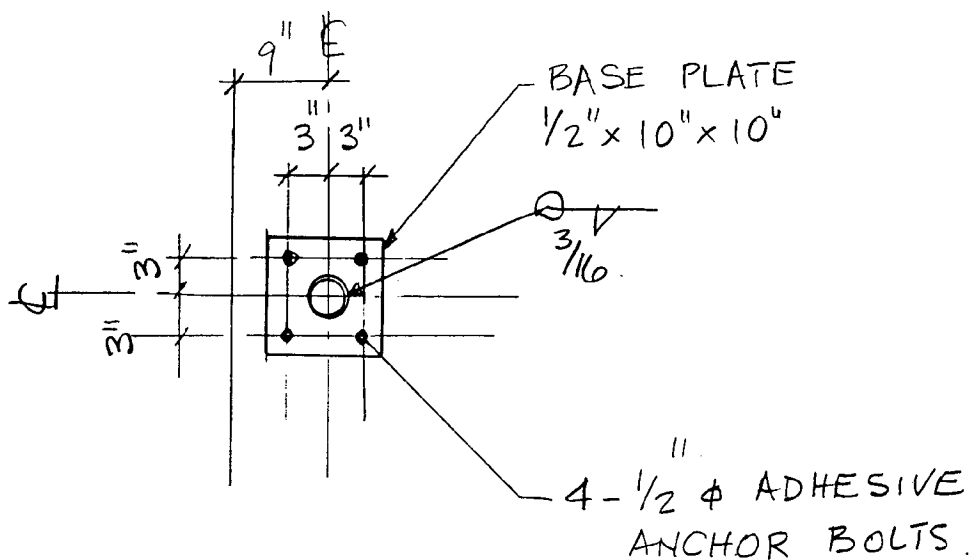


SECTION - A



Calculation Sheet

Designer _____ Date _____ Checker _____ Date _____
Title _____ Job No. _____
Subject _____ Sheet No. _____ of _____

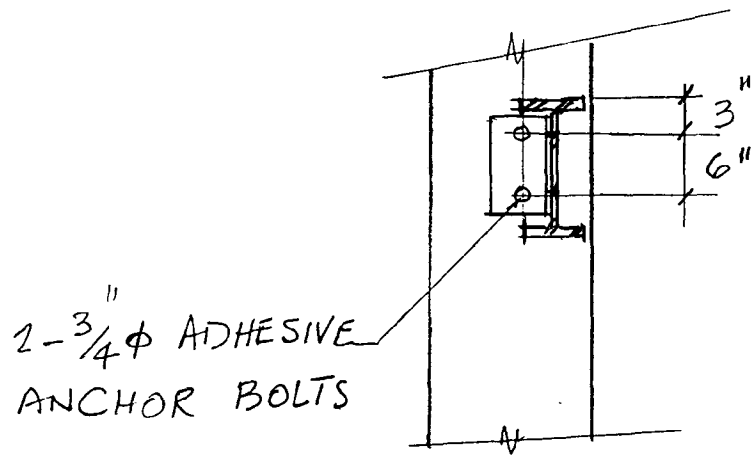


SECTION B



Calculation Shee

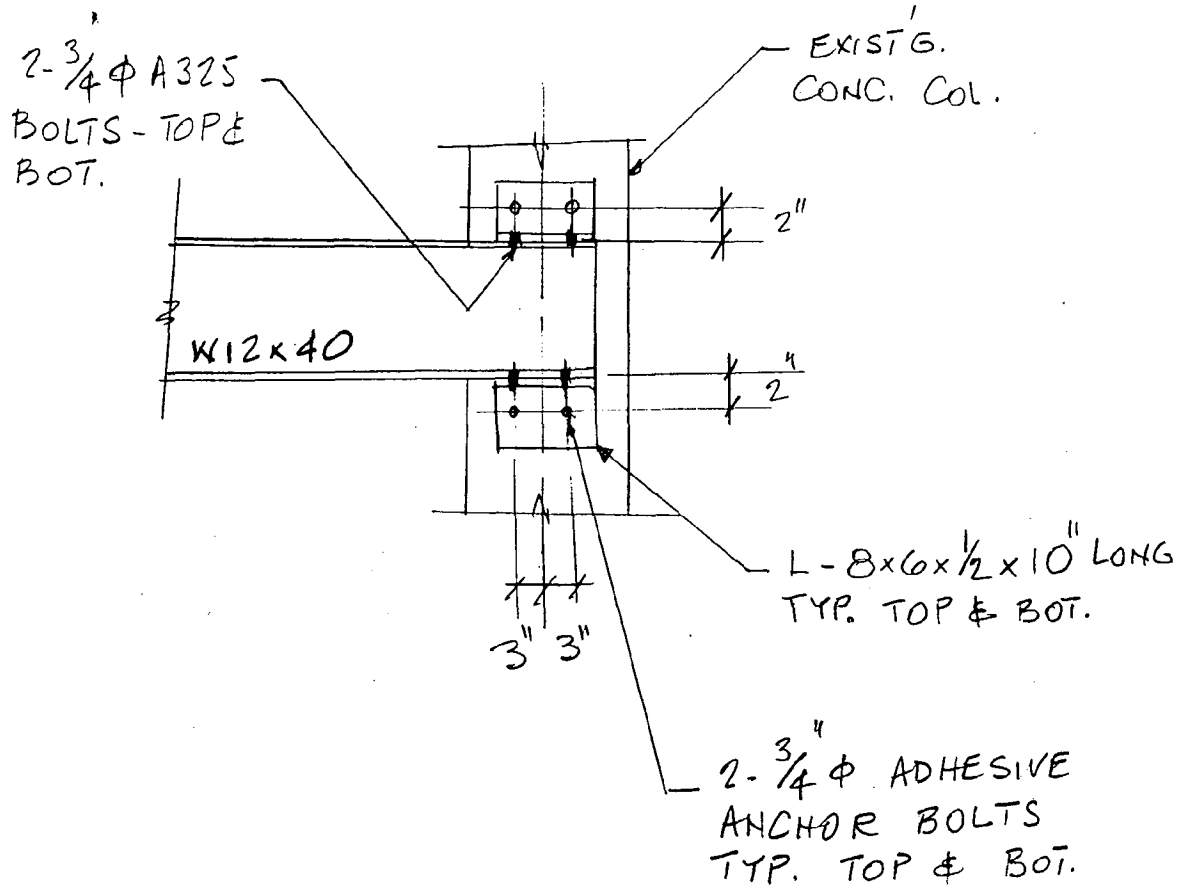
Designer _____ Date _____ Checker _____ Date _____
Title _____ Job No. _____
Subject _____ Sheet No. _____ of _____



SECTION - C

Calculation Shee

Designer _____ Date _____ Checker _____ Date _____
Title _____ Job No. _____
Subject _____ Sheet No. _____ of _____



SECTION-D



8401 Arlington Boulevard
 Fairfax, Virginia 22031-4666
 Phone (703) 849-0600
 Fax (703) 280-8085

TRANSMITTAL

To: **MS. PENNY KEPHART**
 Fax: **301.563.3412**
 Phone:
 Project: **Bethesda-Cherry Chase H.S.**
 Re:

From: **M-NCPPC**
 Pages: **2**
 Date: **08.31.00**
 Number:
 CC: **Bill Novak, Eric Snellings**

- | | | | |
|---|---|--|---|
| We Transmit: | The Following: | For: | <input type="checkbox"/> as requested by _____ |
| <input type="checkbox"/> as per your request | <input type="checkbox"/> prints | <input type="checkbox"/> your approval | |
| <input type="checkbox"/> under separate cover | <input type="checkbox"/> specifications | <input type="checkbox"/> your review and comment | <input type="checkbox"/> as approved by _____ |
| <input type="checkbox"/> by mail | <input type="checkbox"/> change order | <input type="checkbox"/> your file/use | |
| <input type="checkbox"/> by messenger | <input type="checkbox"/> shop drawing | <input type="checkbox"/> revision and submission | |
| <input type="checkbox"/> by pick up | <input type="checkbox"/> reproduces | <input type="checkbox"/> distribution | <input type="checkbox"/> submitted for approval by _____ |
| <input type="checkbox"/> by overnight carrier | <input type="checkbox"/> samples | <input type="checkbox"/> File | |
| <input checked="" type="checkbox"/> by fax | <input type="checkbox"/> product literature | | |
| | <input type="checkbox"/> computations | | <input type="checkbox"/> please acknowledge receipt of enclosures |
| | <input type="checkbox"/> descriptions | | |
| | <input type="checkbox"/> | | <input type="checkbox"/> return enclosures to us |

Copies	Date	Number	Description
1	08-31-00		# Email - BCC Resident Addresses

Comments:

Sender: **SANDRA COUCH**

Signed: Sandra E Couch

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Couch, Sandra

From: Couch, Sandra
Sent: Thursday, August 31, 2000 12:07 PM
To: 'kephart@mncppc.state.md.us'
Cc: Snellings, Eric; 'william_novak@fc.mcps.k12.md.us'
Subject: BCC- Resident Addresses

Perry:

Here are the addresses of the residents on Chelton Street between Sleaford Street and the East-West Highway that face BCC - 7605, 7607, 7609, 7701, 7703, 7805, 7807, 7809.

There are two houses on the corners of Chelton and Lynnbrook Drive whose sides face the school. Their addresses are 4315 and 4322 Lynnbrook Drive.

Sandra E. Couch

Project Manager

Dewberry Design Group Incorporated

ARCHITECTURE ENGINEERING PLANNING INTERIOR DESIGN

a Dewberry Company

703-849-0156/ F 703-280-8085

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Date: 08/31/2000
Sender: "Couch Sandra" <scouch@dewberrydesign.com>
To: KEPHART
cc: "Snellings Eric" <esnellings@dewberrydesign.com>, william_novak@fc.mcps.k12.md.us
Priority: Normal
Subject: BCC- Resident Addresses

Perry:

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*8401 Arlington Blvd.
Fairfax, VA 22031-4666*

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MEETING #30 MINUTES

Meeting Date: March 26, 1997

Meeting Time: 9:15 p.m. - 11:00 p.m.

Meeting Purpose: Montgomery County Historic Preservation Commission - Preliminary Consultation

Meeting Location: MNCPPC - MRO Auditorium

Project: Bethesda Chevy-Chase High School Modernization
MCPS No. 406-222
D&D No. BW034

Attending: Bill Novak *ggn* Mont. County Public Schools (MCPS)
Eric Snellings Dewberry & Davis (D&D)
Committee Commissioners and Staff
(Transcript available from MNCPPC)

Copies To: Dick Hawes MCPS
Mitch Brown MCPS
J. Paul Lewis D&D
Mike Snyder D&D
File BW034 2.1.2.1

<u>ITEM</u>	<u>ACTION</u>
30.01 Staff Report	
A. Staff Report was read (see attached).	
B. Slides of Building C were shown (exterior view).	
C. Specific Comments:	
1. Requested moderation of Auditorium size (mass, volume, etc.)	
2. Requested enclosed atrium be sized to provide views of Building C.	
3. Noted that students at the school were aware and interested in the project and process.	

<u>ITEM</u>	<u>ACTION</u>
4. Recommended a "window survey" to catalogue existing condition of the original windows.	
5. Noted slate roof was in bad condition.	
6. Pointed out interesting brickwork details (watertable, flemish bond, etc.)	
30.02 MCPS Comments	
A. MCPS thanked the Commission for early review of project in schematic phase.	
B. Several letters and excerpts were read.	
1. December 3, 1993 letter to William Wilder.	
2. Excerpt language provided by MCPS for historic designation - subsequently incorporated.	
C. MCPS noted that they want to be in conformance however they will request that leniency be considered on certain materials.	
1. Single pane steel windows.	
2. Slate roof construction.	
3. Wood cupola construction.	
D. MCPS will look into steel window retrofits on east facade.	MCPS
1. Windows on west facade can remain "as is" since they will be "enclosed" by the new construction of the atrium.	
E. MCPS noted slate roofs are being repaired currently, however substructure is severely damaged.	

<u>ITEM</u>	<u>ACTION</u>
<ol style="list-style-type: none">1. For 30 year cycle of repairs, the slate roofs should be removed and the substrate repaired.2. It is anticipated that considerable damage will occur to slate shingles when removed.3. "Slate look" shingles and slate "alternative" products were examined by commissioners.4. Costs of restoration of Building C may prohibit or limit ability to "equally" modernize Building A in a like manner.	
F. Cupola	
<ol style="list-style-type: none">1. Inaccessibility is the current problem with the maintenance of this building component.2. In addition, damage typically occurs to roof with repair effort to cupola.3. Split of roof materials was discussed slate on East/West Highway and Chelton Street elevations with slate look shingles on the "interior side".4. Concern over damage to slate due to chemicals used to remove graffiti was expressed.	
30.03 Review of Project Plans, Elevations, and Perspectives	
<ol style="list-style-type: none">A. A reminder of what is and what is not under review was offered.B. D&D walked the group through the large scale boards that helped to explain the project concepts.C. Comments from the Commissioners.	

ITEM

ACTION

1. Massing and position of Auditorium was noted as an issue and should be "reduced".
 - a. Connection from Auditorium to Building C needs to be re-examined.
 - b. Portico's horizontal line appears as too "deco" and should be looked at again for a better fit.
2. It was suggested that the connections to Building C should focus on glass or glazed components.
3. It was noted that the Chelton Street elevation of the Auditorium is rather stark.
4. One commissioner stated emphatically that slate should be replaced in kind.
5. Emphasis should be on Building C and it should be preserved wherever possible.
6. It was suggested that a window survey be done on the resource.
7. It was stated that less money could be spent on new buildings so that complete preservation can be performed on Building C.
8. The cupola copper roof and copper downspouts were considered important and need to be saved or replaced in kind.
9. This project can be an opportunity for teaching that public stewardship is important.
10. An attempt to keep the original materials should be made.

<u>ITEM</u>	<u>ACTION</u>
a. The slate substitute material may be acceptable.	
b. Need additional information of its longevity (does it yellow over time?). Need examples of proven results.	MCPS/D&D
11. Cornice, Dormer, and Cupola craftsmanship should be focused on and an attention to quality should be made.	
a. Coating for preservation and repair of woodwork elements should be researched.	MCPS/D&D
12. Atrium space was discussed.	
a. Width of space between Building C and the new construction may need to be larger.	
b. A study sketch of this area may be necessary to review the atrium.	MCPS/D&D
13. Copper components need to be kept/replaced.	
14. Split finishes on 2 opposite sides of the roof is not favored (visibility to student side of the building).	
15. A balance of cost and history as well as public and private interests need to be considered.	
a. A sensitivity of cost concerns needs to be observed.	
b. Burden of cost need to be "proven" with specific cost differentials by MCPS.	MCPS
c. Durability and costs need to be reviewed as well as cost specifics.	

<u>ITEM</u>	<u>ACTION</u>
16. Style of Auditorium may be more of an issue than massing and set back.	
17. MCPS clarified that to meet all of the requested items discussed a compromised Building A treatment may be required.	
a. Gutters, downspouts, windows, roofing, etc. may not "match" Building C.	
b. Commissioner noted that new construction could be "down graded" in lieu of Building A.	
c. Commissioner requested several budgets:	
1) Specific Project Budgets	MCPS
2) Overall School Board Budget	MCPS
3) Outside influences on School Board Budgets	MCPS
18. Advise to focus on "good" restoration techniques versus "bad" restoration.	
19. Suggestion to solicit funds from alumni to help fund restoration efforts for Building C was forwarded.	
20. It was noted that the standards applied to citizens will also be required of the government.	

The above Meeting Minutes indicate the writer's understanding of the items discussed and decisions/ directions rendered. Should anyone in attendance take exception to the above, notify the writer with 14 days of the receipt of this document. Should no exception be noted, this document shall serve as a record of the project development and decisions rendered.

R E V I S E D

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

495-4570

WEDNESDAY

March 26, 1997

MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

MRO AUDITORIUM

8787 GEORGIA AVENUE

SILVER SPRING, MARYLAND 20910

PLEASE NOTE: THE HPC AGENDA IS SUBJECT TO CHANGE ANYTIME AFTER PRINTING OR DURING THE COMMISSION MEETING. PLEASE CONTACT THE HISTORIC PRESERVATION COMMISSION AT THE NUMBER ABOVE TO OBTAIN CURRENT INFORMATION. IF YOUR APPLICATION IS INCLUDED ON THIS AGENDA, YOU OR YOUR REPRESENTATIVE ARE EXPECTED TO ATTEND.

I. HPC WORKSESSION - 7:00 p.m. in Third Floor Conference Room

II. HISTORIC AREA WORK PERMITS - 7:30 p.m. in the Auditorium

- A. Michael Belli, for storm windows at 7063 Carroll Avenue, Takoma Park (HPC Case No. 37/3-97K) (Takoma Park Historic District).
- B. Barbara Hutchinson, for fence at 8922 Spring Valley Road, Chevy Chase (HPC Case No. 35/38-97A) ("In the Woods", Master Plan Site # 35/38).
- C. Brode LLC, for tree removal at Lot 47, Brookeville Road (HPC Case No. 36/2-96B REVISION) (Linden Historic District).
- D. Ken Wyner, for alterations at 7313 Baltimore Avenue, Takoma Park (HPC Case No. 37/3-97L) (Takoma Park Historic District).
- E. Mark W. Raymond (Anthony Segreti, Agent), for new house construction at Lot 19, Block 4, Kensington (HPC Case No. 31/6-97C) (Kensington Historic District).

III. PRELIMINARY CONSULTATIONS - 9:15 p.m.

- A. Montgomery County Public Schools (William Novak, Agent) for renovation, demolition, new construction at Bethesda-Chevy Chase High School (Master Plan site #35/14-14)

(OVER)

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 4301 East West Highway

Meeting Date: 03/26/97

Resource: Bethesda-Chevy Chase High School
(Master Plan Site #35/14-14)

Review: Preliminary Consultation

Case Number: Not applicable

Tax Credit: Not Applicable

Public Notice: 03/12/97

Report Date: 03/19/97

Applicant: William H. Novak, Montgomery
County Public Schools

Staff: Perry Kephart

PROPOSAL: Alteration/Addition/Restoration

RECOMMEND: More study,
provide more information.

BACKGROUND

Bethesda-Chevy Chase High School was constructed in 1934. Designed by Howard Cutler to suggest Christopher Wren's academic building at William and Mary College in Williamsburg, Virginia or Harvard University in Massachusetts, the Georgian Revival two and a half story structure reflects the interest in Colonial Revival styles in the 1930's. The original building (Building C) sits at right angles to a building constructed in 1952 in the same style (Building A). The rear facades of the two older structures form two sides of a quadrangle with academic and athletic buildings constructed from the 1950's to the present.

The historic resource has been an established and familiar visual feature of the Bethesda community for many years. As an individual Master Plan site, Building C is subject to the highest level of review. Over the years, however, it has been included in renovation and expansion projects in 1936, 1952, 1959, 1966, 1970 and 1976 during which the front door was bricked in, some of the original steel windows were modified or replaced, and an elevator addition was constructed that obscured the North elevation. Building C has also suffered a substantial amount of wear and tear as part of an active high school venue with a limited maintenance budget. The West slope of the slate roof has been painted repeatedly with graffiti and then damaged by the application of paint removal solutions. The cupola and steel windows also show signs of deterioration due to inadequate maintenance. The current B-CC High School Modernization includes demolition of all the campus buildings except the historic structure and its counterpart, Building A, restoration of these buildings, and construction of new facilities on the remainder of the campus quadrangle.

PROPOSAL

1. Replace the slate roof with "slate look" asphalt shingles.



2. Replace the copper flashing and downspouts with painted aluminum downspouts to match the existing.
3. Replace the painted wood and copper roofed cupola with an aluminum and fiberglass cupola to match the existing in size and design.
4. Remove the brick infill from the doorway of the East facade and install a metal or metal and glass door appropriately designed to meet current code and the style of the historic resource.
5. Remove the existing single-glazed steel windows throughout the building and replace them with double-glazed aluminum windows of the same configuration.
6. Replace or repair existing painted wood dormers and cornice with wood and fiberglass forms to match the existing configurations.
7. Remove the non-historic elevator addition from the North facade and restore the facade to its original design with the replacement fenestration as noted above.
8. Construct a new connection between the North facade and a new four story structure to be situated on the north side of the quadrangle at a right angle to Building C.
9. Construct an addition to the West facade that will enclose the facade in a modern Neo-Italian Renaissance building.
10. Remove the existing connecting wing between Building A and the South facade of the historic building and replace it with a brick and glass contemporary connection.

STAFF DISCUSSION

As an individual Master Plan site of both architectural and historic significance, Bethesda-Chevy Chase High School should be subject to the highest level of review. At this point staff is of the opinion that the proposed modernization is, for the most part, an appropriate upgrading of the campus. The use of a contemporary design that harkens back to Italian rather than English tradition might be considered a reasonable choice as it clearly differentiates the new construction from the historic structure and because it is an appropriate tradition to follow for a public or municipal project. Staff would note, however, that the changes and additions proposed are major. Staff will first comment on the overall concept and then on the detailed changes proposed.

The overall placement of the new buildings seems appropriate, but for two concerns. First, the removal of the existing elevator addition on the North facade of Building C is positive from a preservation standpoint as it uncovers an important part of the original building. However, the further proposal to add an even larger connecting block that covers up the rear half of the facade and also protrudes to block a view of the front half is problematic. Staff would question

the overwhelming scale of the proposed connector that appears to be a 3 or 4 story flat roofed block half again the length of the main facade of the historic site. Staff understands that the connecting wing is, in fact, part of the proposed auditorium, but the design is substantially out of scale with the resource against which it is to abut. Staff would suggest that the design of this addition might be moderated to provide a less grandiose transition to the new buildings. The proposed connection between Building A and Building C is, in staff's opinion, a more successful design. Staff would also suggest that the proposed use of the Georgian Revival doorway on the new building to the far north of the historic resource is an odd choice and that maintaining the integrity and simplicity of the contemporary design used elsewhere would be more appropriate.

Secondly, staff is concerned that, with regard to the enclosure of the West facade, the proposed atrium that is to provide a break between the old and new buildings appears from the sketches to create more of a narrow, glass covered hall than a living space from which to view the West facade of the historic resource. More detailed plans that better illustrate the design may assist in ascertaining whether the atrium is to separate the two buildings and to provide a perspective, or whether the two buildings are planned to be combined as one with a hall in between, an alternative the staff would suggest is problematic.

Staff would point out that the opportunity that this modernization project offers - to teach a powerful lesson in historic preservation and about techniques for integrating old and new architecture to the students attending the school - should not be overlooked. An effective design that integrates the new buildings with the old such that it enhances both could potentially make a significant impression on the facility's young constituency.

The replacement of windows in a Master Plan site is always a controversial subject. Staff would ask that the HPC be provided with more information as to the condition of the existing windows and the specific justification for their removal, as well as detailed specifications on the new windows being proposed.

Staff visited the site and viewed first hand the degradation of the slate roof on the west slope. It is, in staff's opinion, necessary to replace most or all of this portion of the roof. Budgetary constraints would require that a less expensive replacement material be used, but staff would suggest that the alumni of the school should be apprised of the situation to determine if there is a possibility of replacing the damaged portion with slate through the generosity of the alumni constituency. Staff would also question whether it is possible to replace the west slope with asphalt composite and retain the eastern portion of the slate roof that faces the street and that appeared to be in substantially better condition.

Staff also examined the cupola to the extent possible given its location. It is clearly in need of restoration, but staff would suggest that the original workmanship and materials that are quite fine be retained if at all possible. Staff would have the same concerns regarding the cornice, dormers and copperwork.

The proposed unbricking of the main door on the front (East) facade would be a noteworthy improvement to the appearance of the historic resource. Staff would suggest that

more detail as to the configuration of the door and surround should be included in future applications or preliminary consultations.

STAFF RECOMMENDATION

Staff recommends that the applicant develop more detailed designs and drawings for this proposal and return for another preliminary consultation. Special attention should be given to the following design issues:

1. Staff would recommend that the project be modified such that the addition connecting the North facade to the new north building be less overwhelming, that is, of a more moderate design or less massive scale.
2. The design of the building enclosing the West facade be modified to allow a wider atrium, or a better perspective from the atrium of the historic resource.
3. Staff is concerned that original windows are being replaced when they may still be repaired and modified to be functional and energy efficient.
4. The replacement of the original cupola, dormers, cornice, and copper work should only be made if the original cannot be practicably restored and retained.
5. The replacement of an original slate roof that is only sixty years old with composite shingles should only be undertaken if there is no other alternative and only where needed.
6. Unbricking the main door of the historic building is a positive move, but more information is needed regarding the design and materials for the proposed door or other treatment of the opening.

①



Fax Transmittal

Date: 07/02/00

<input type="checkbox"/> Arlington, VA	<input checked="" type="checkbox"/> Fairfax, VA	<input type="checkbox"/> Oklahoma City, OK	<input type="checkbox"/> Tulsa, OK	<input type="checkbox"/> Washington, DC
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Please Deliver this Facsimile to:

Name: Mr. John Hostinsky
 With: CRSS Constructors, Inc.
 Phone: (301) 961-5961
 Fax: (301) 961-5983
 Project No: BW-034
 Project: Bethesda-Chevy Chase High School Modernization
 Reference: B-C Connection architectural details

We Transmit the following:

as per your request for review & comment your file/use
 other

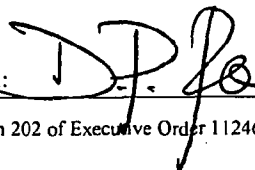
Copies	Date	Number	Description
1	02/07/00		B-C architectural connection (18 pgs)

Original will be sent by: Self

Comments:

There are [19] pages in this fax. If contents are not as noted, or transmission is incomplete, please notify sender at once.

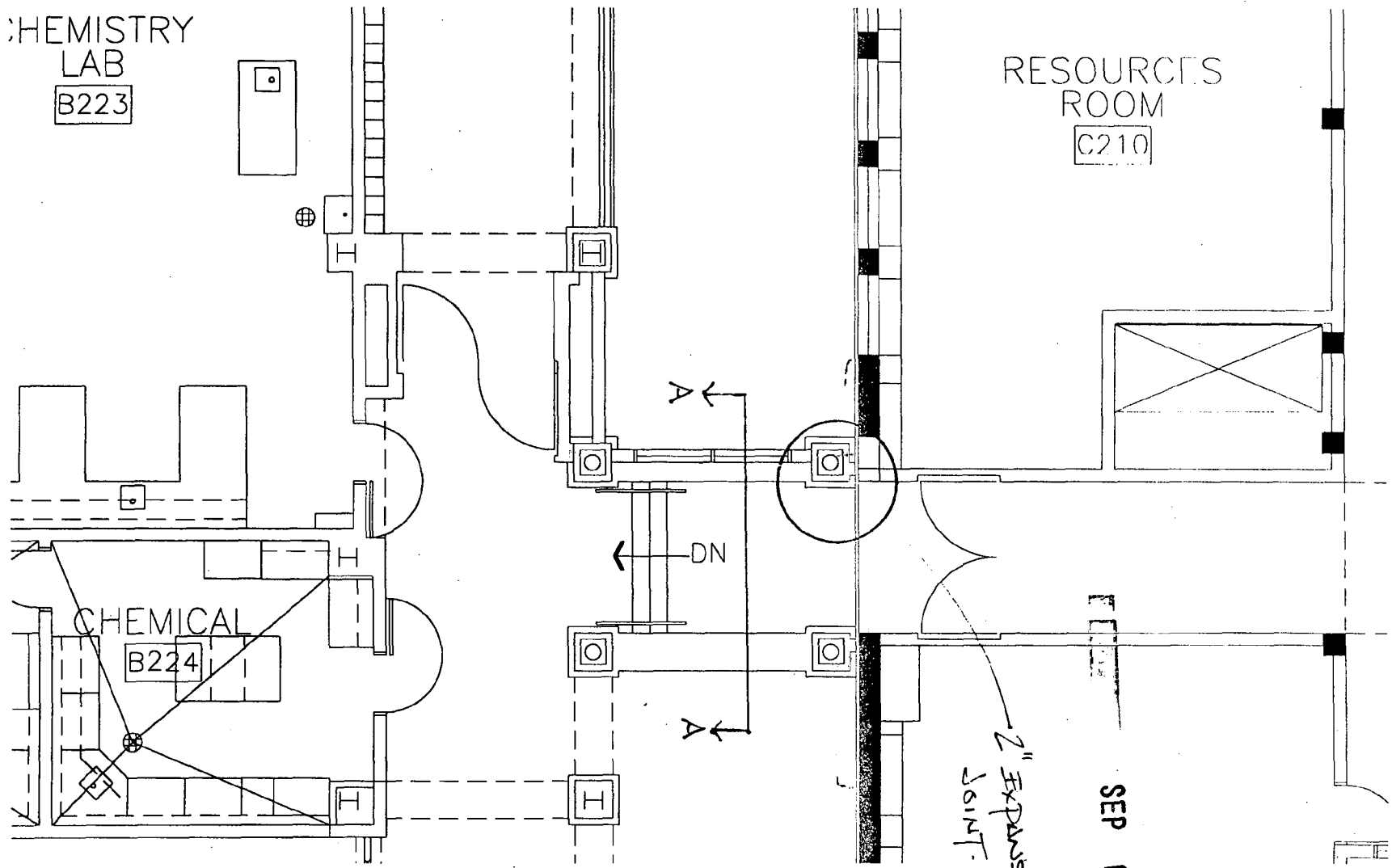
Sender: DP Rowson (703) 849-0155
 Cc: Mr. Bernie Warfield, Mr. Eric Snellings,
 Ms. Veronica Vejar, file 4.3.1.2
 Mike Jeon, Sandra Couch

Signed: 

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CHEMISTRY
LAB
B223

RESOURCES
ROOM
C210

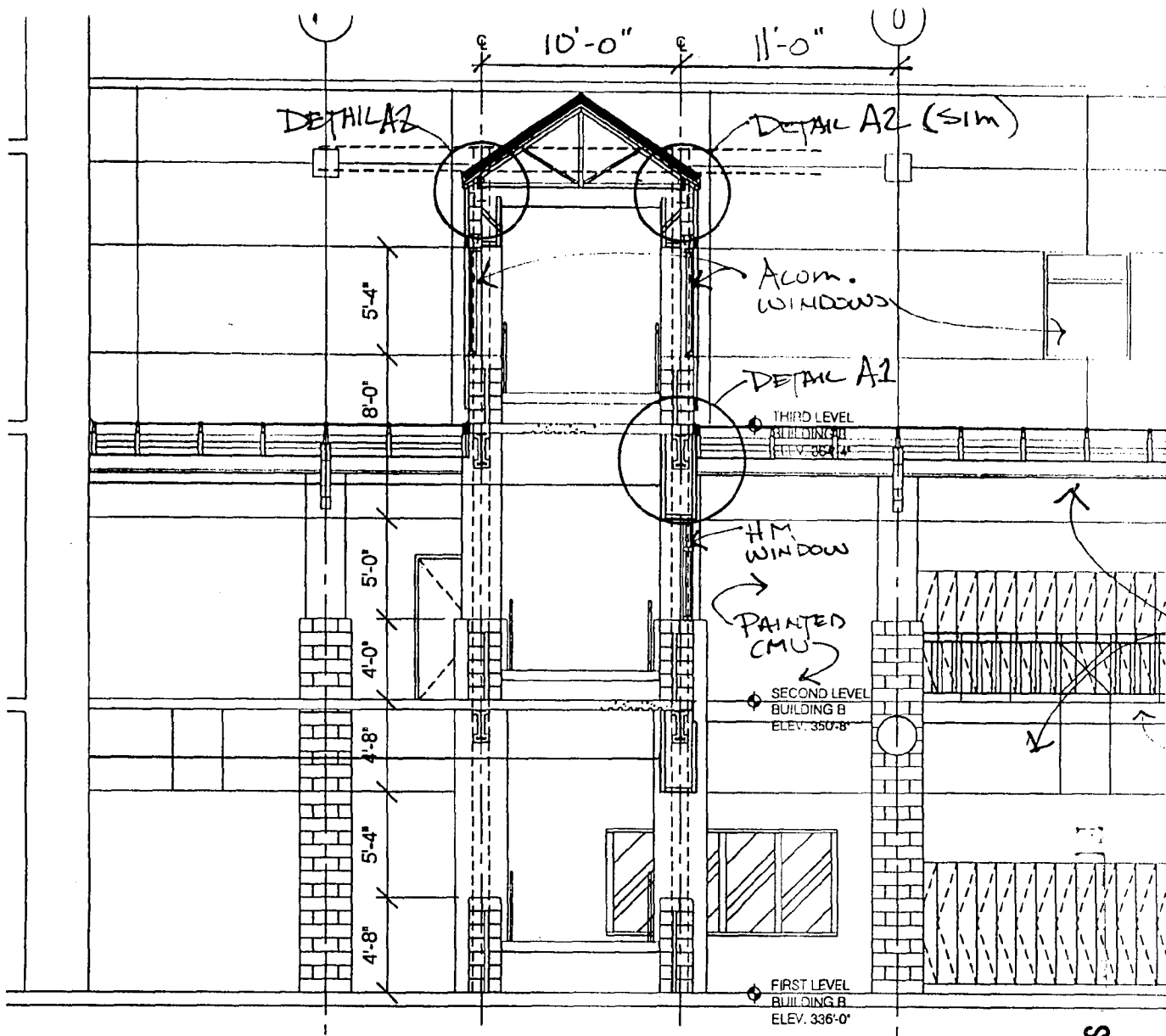


CHEMICAL
B224

2" Expansion
Joint

SEP 6 2000

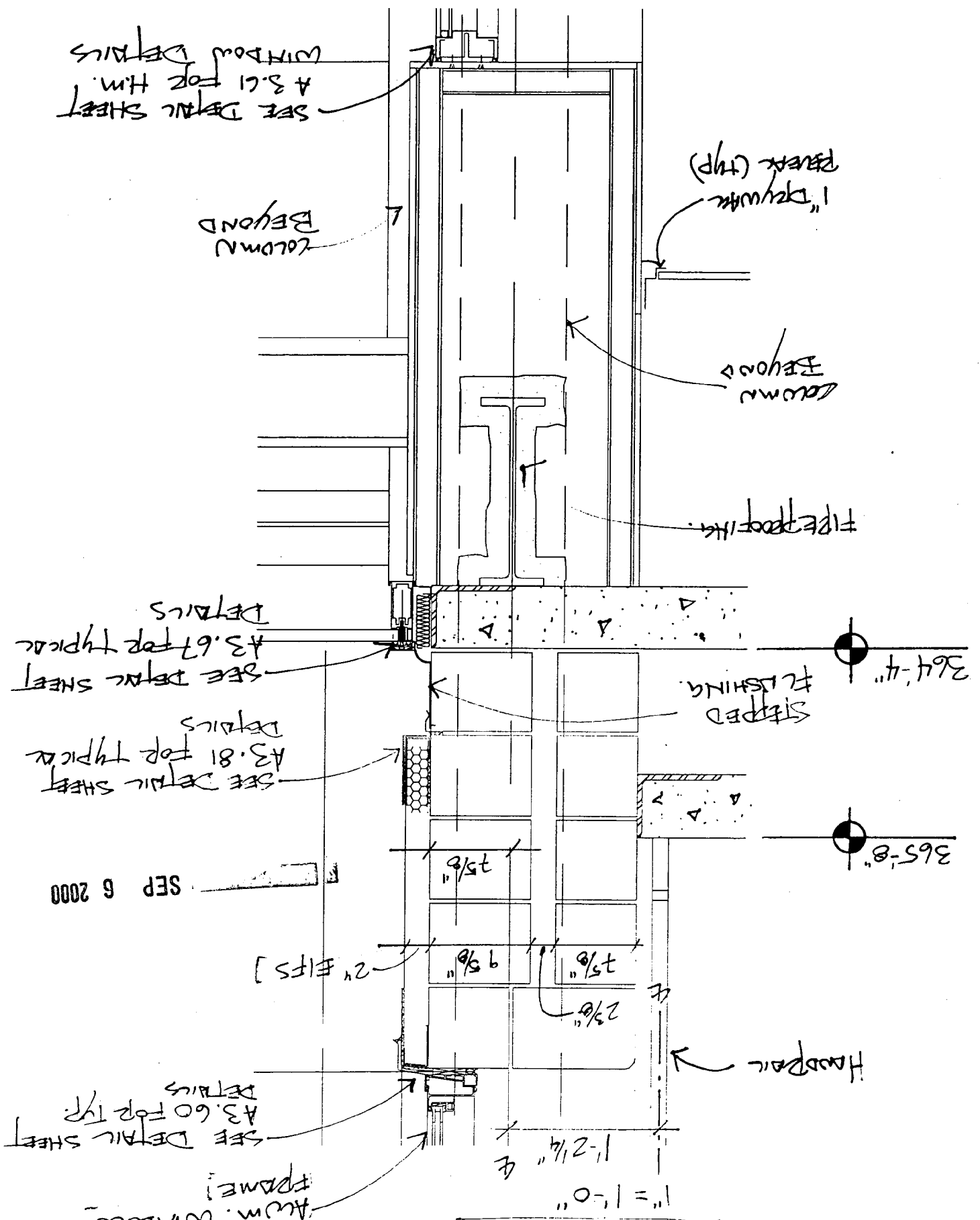
B/C CONNECTION - SOUTH END
1/8" = 1'-0"



SECTION A-A
1/8" = 1'-0"

SEP 6 2000

DETAIL A1



SEP 6 2000

SEE DETAIL SHEET A3.61 FOR TYPICAL WINDOW DETAILS

COLUMN BEYOND

1" Pyrotek (typ)

COLUMN BEYOND

FIRE PROOFING

SEE DETAIL SHEET A3.67 FOR TYPICAL DETAILS

SEE DETAIL SHEET A3.81 FOR TYPICAL DETAILS

STEPPED FLASHING

364'-4"

365'-8"

2" EIFS

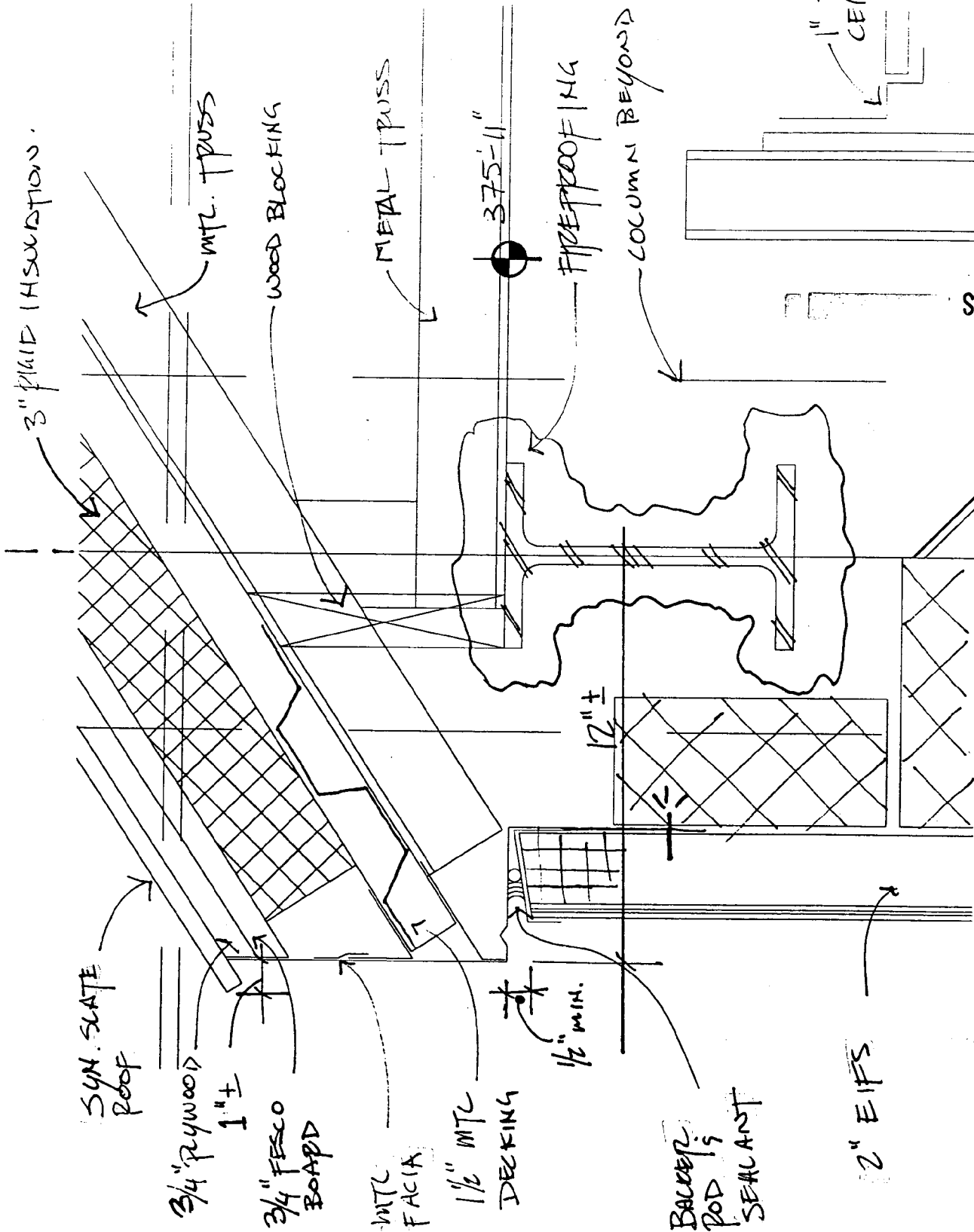
SEE DETAIL SHEET A3.60 FOR TYPICAL DETAILS

ALUM. WINDOW FRAME

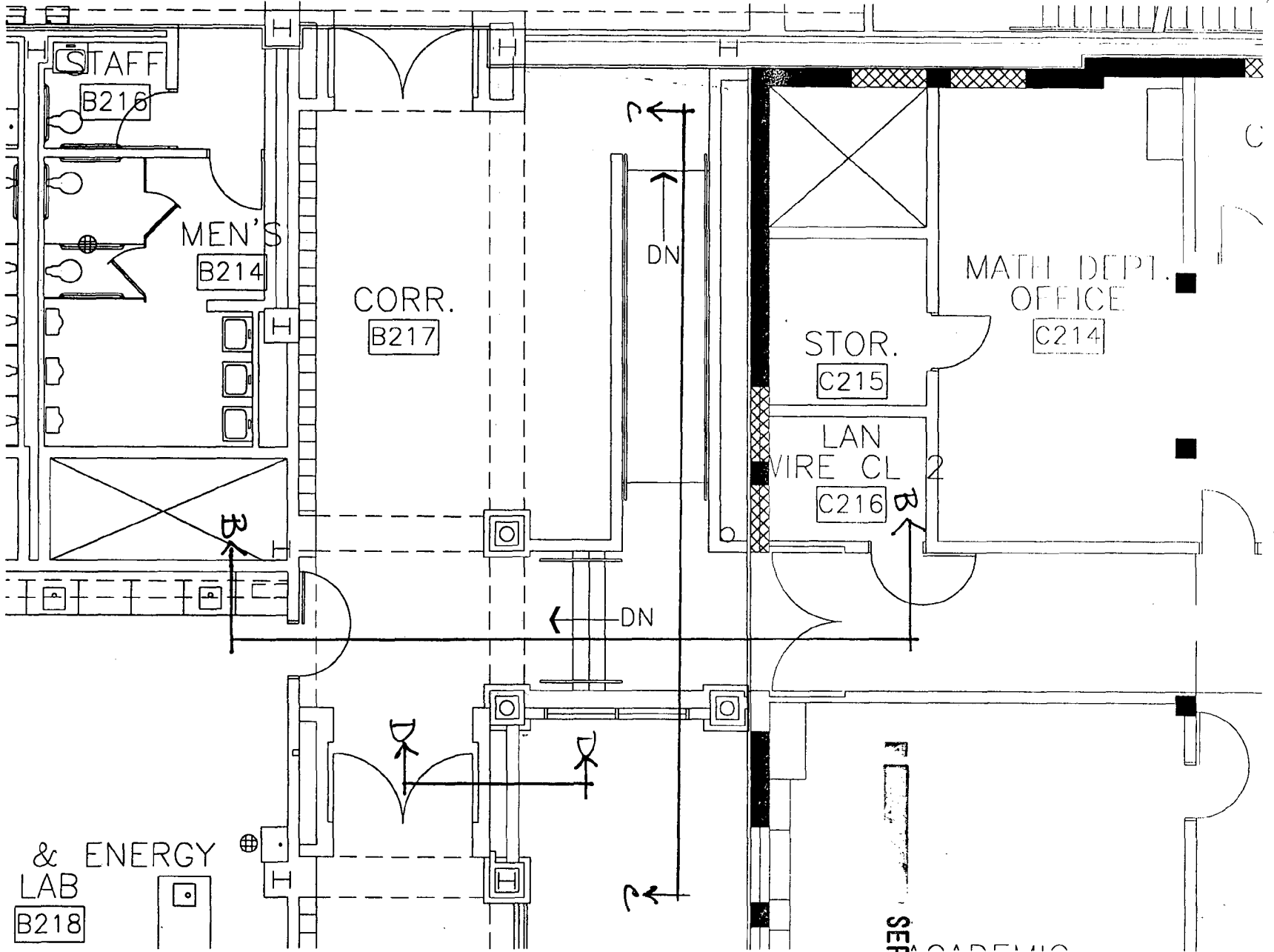
Handrail

DETAIL A2

3" = 1'-0"

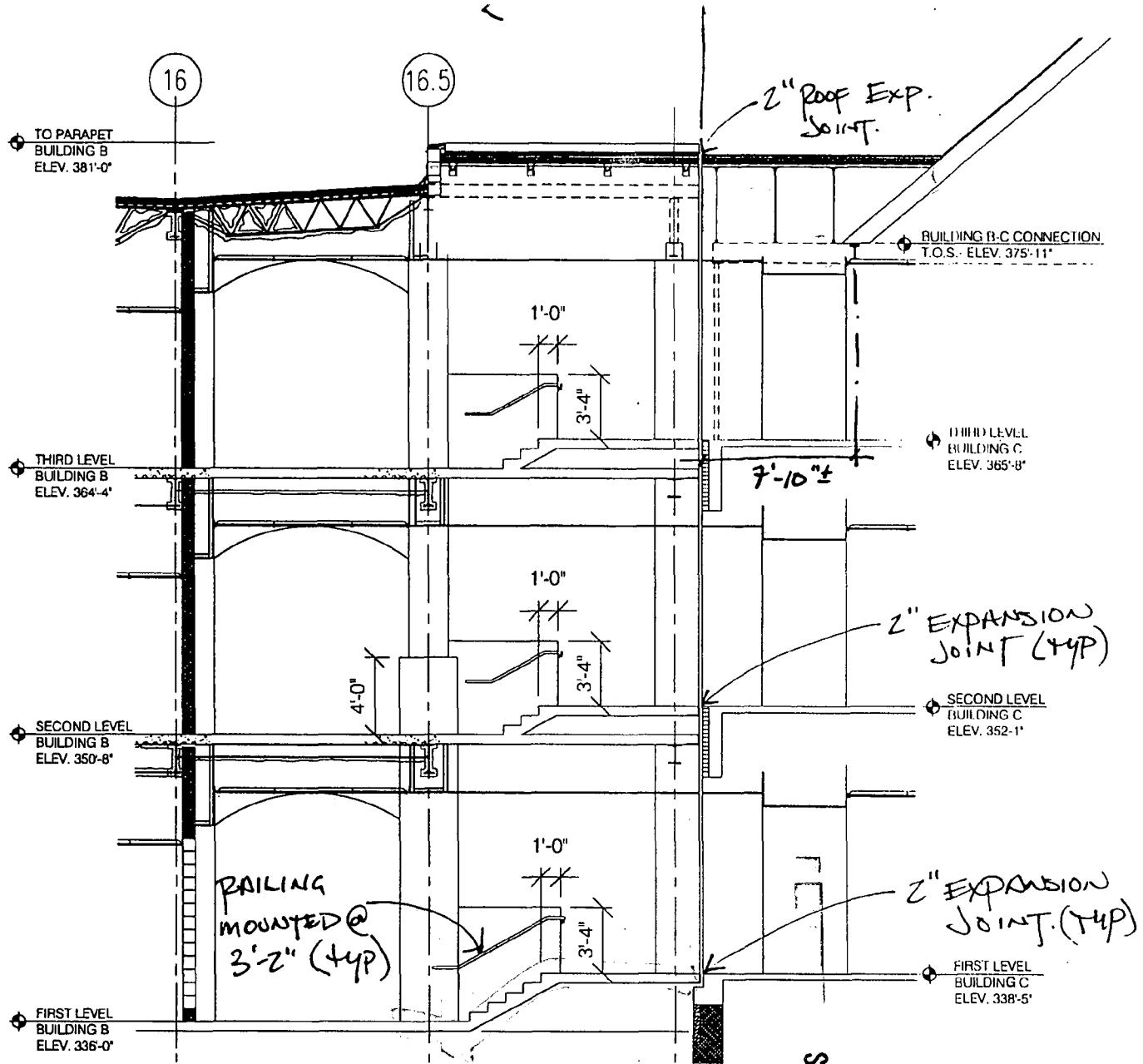


SEP 6 2000



SEP 6 2000

B/C CONNECTION - NORTH END
 $\frac{1}{8}'' = 1'-0''$



TO PARAPET
BUILDING B
ELEV. 381'-0"

THIRD LEVEL
BUILDING B
ELEV. 364'-4"

SECOND LEVEL
BUILDING B
ELEV. 350'-8"

FIRST LEVEL
BUILDING B
ELEV. 338'-0"

BUILDING B-C CONNECTION
T.O.S. ELEV. 375'-11"

THIRD LEVEL
BUILDING C
ELEV. 365'-8"

SECOND LEVEL
BUILDING C
ELEV. 352'-1"

FIRST LEVEL
BUILDING C
ELEV. 338'-5"

2" Roof Exp.
Joint.

2" EXPANSION
JOINT (TYP)

2" EXPANSION
JOINT (TYP)

RAILING
MOUNTED @
3'-2" (TYP)

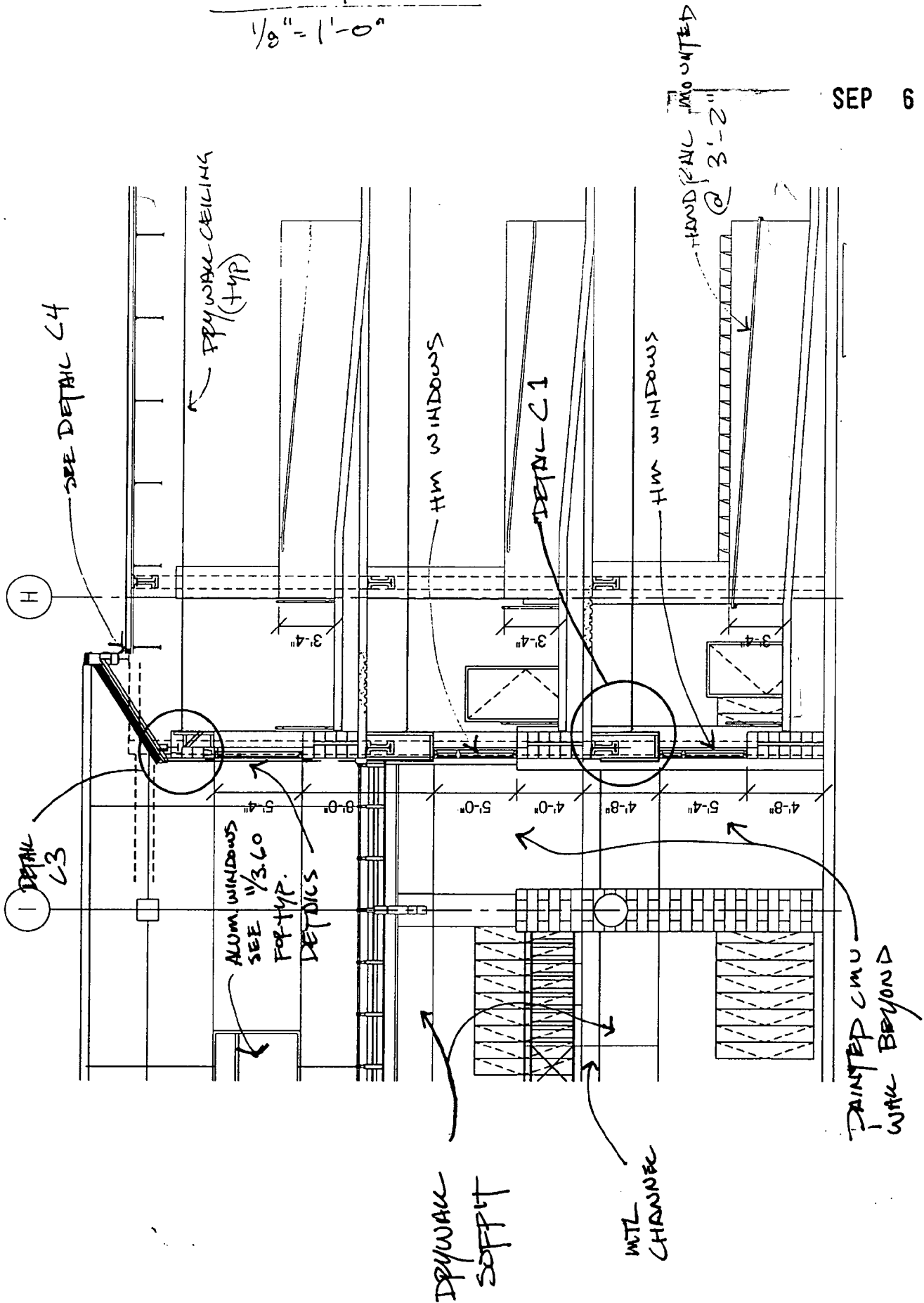
Section B
1/8" = 1'-0"

SEP 6 2000

SECTION C

1/8" = 1'-0"

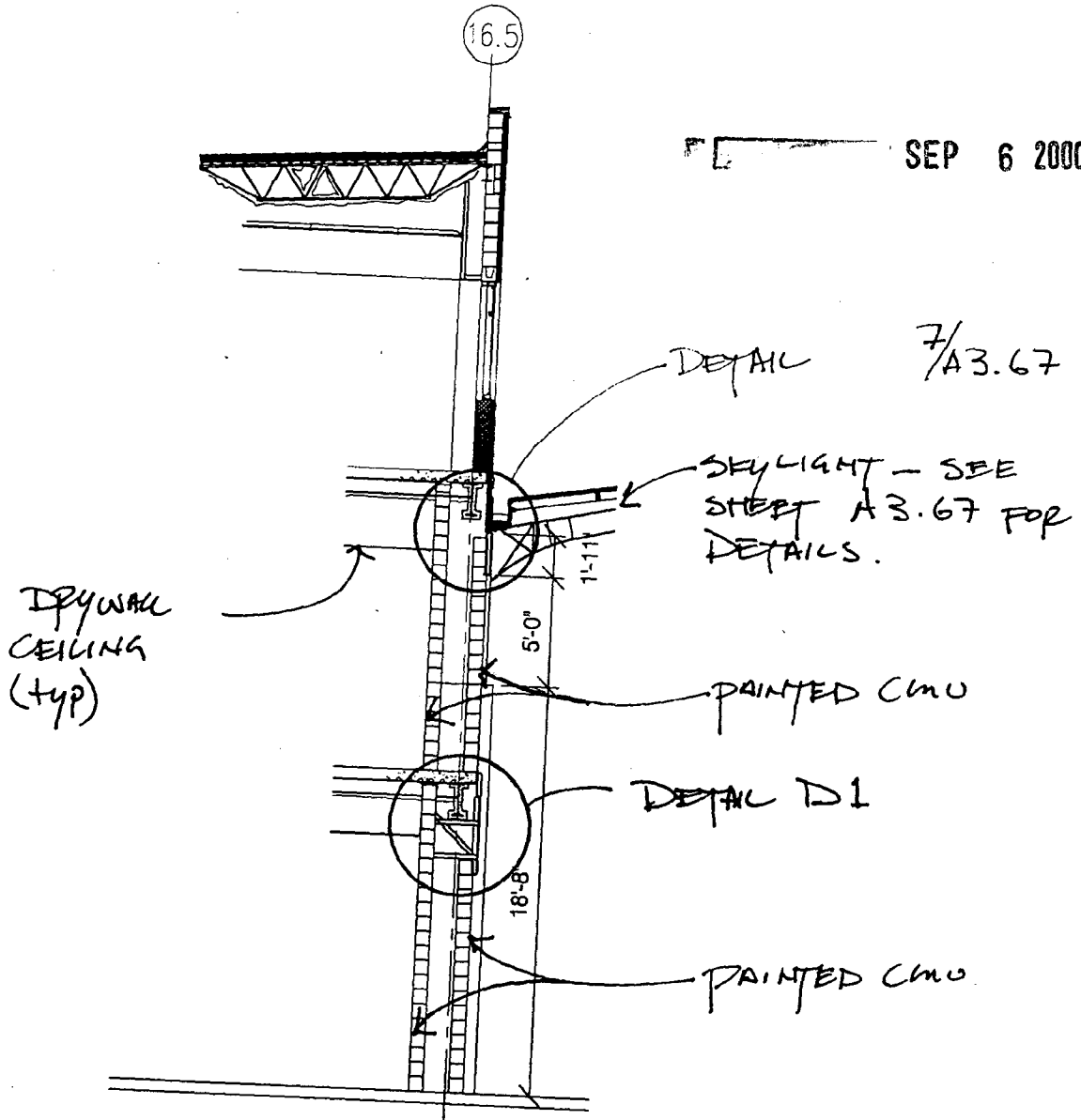
SEP 6 2000



SECTION D

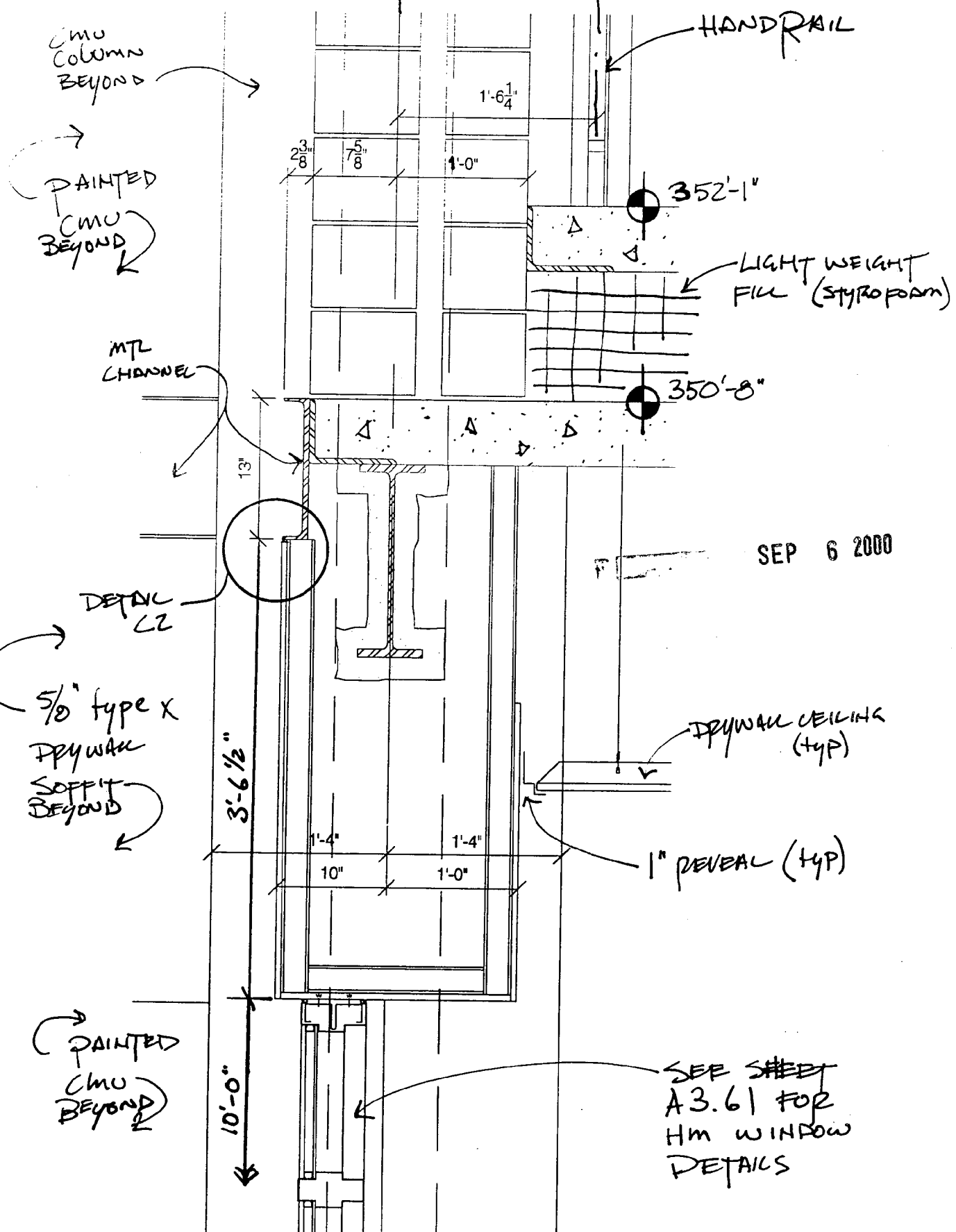
$\frac{1}{8}'' = 1'-0''$

SEP 6 2000



DETAIL C1

1" = 1'-0"

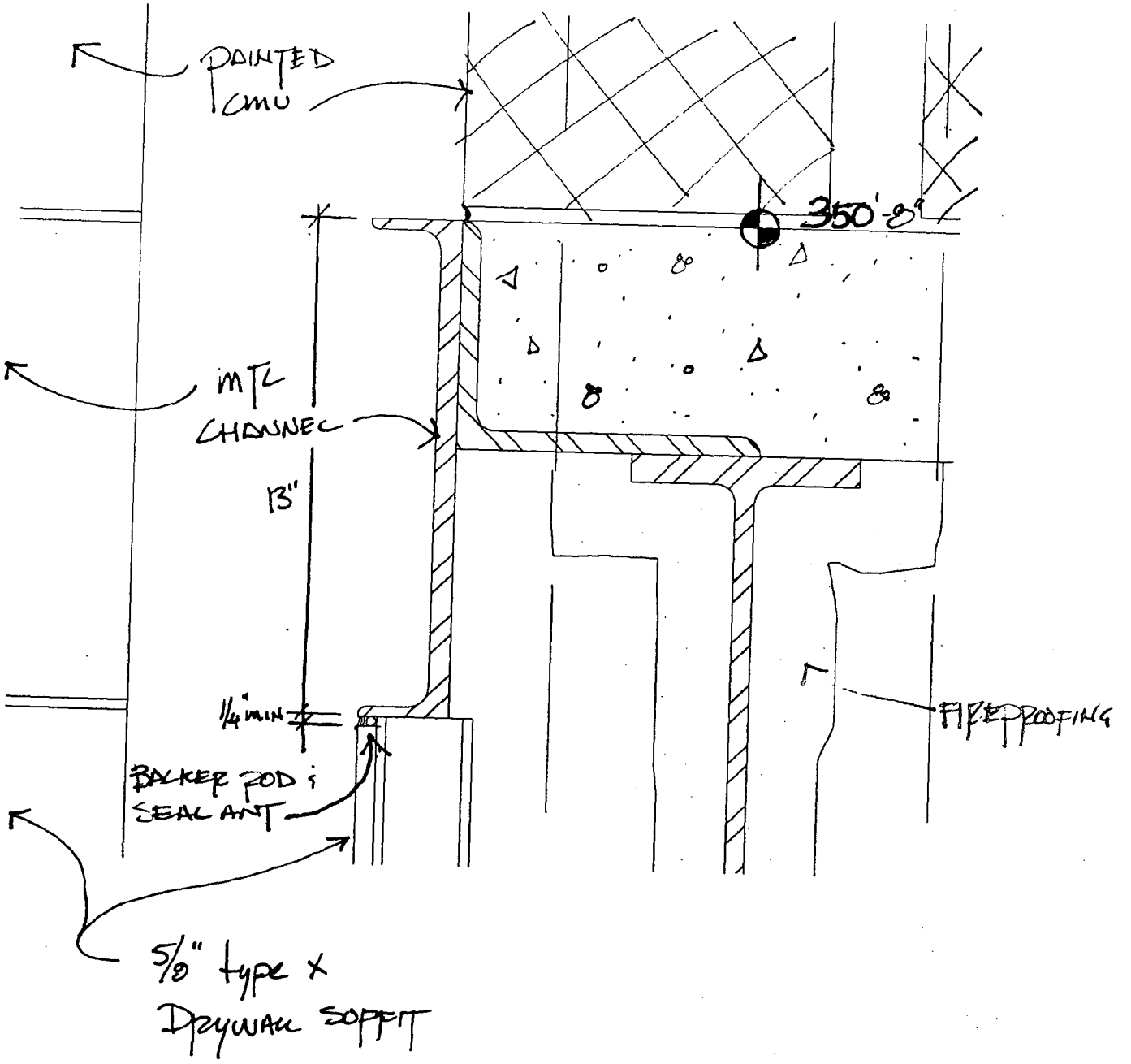


SEP 6 2000

SEE SHEET
A3.61 FOR
HM WINDOW
DETAILS

DETAIL C2
3" = 1'-0"

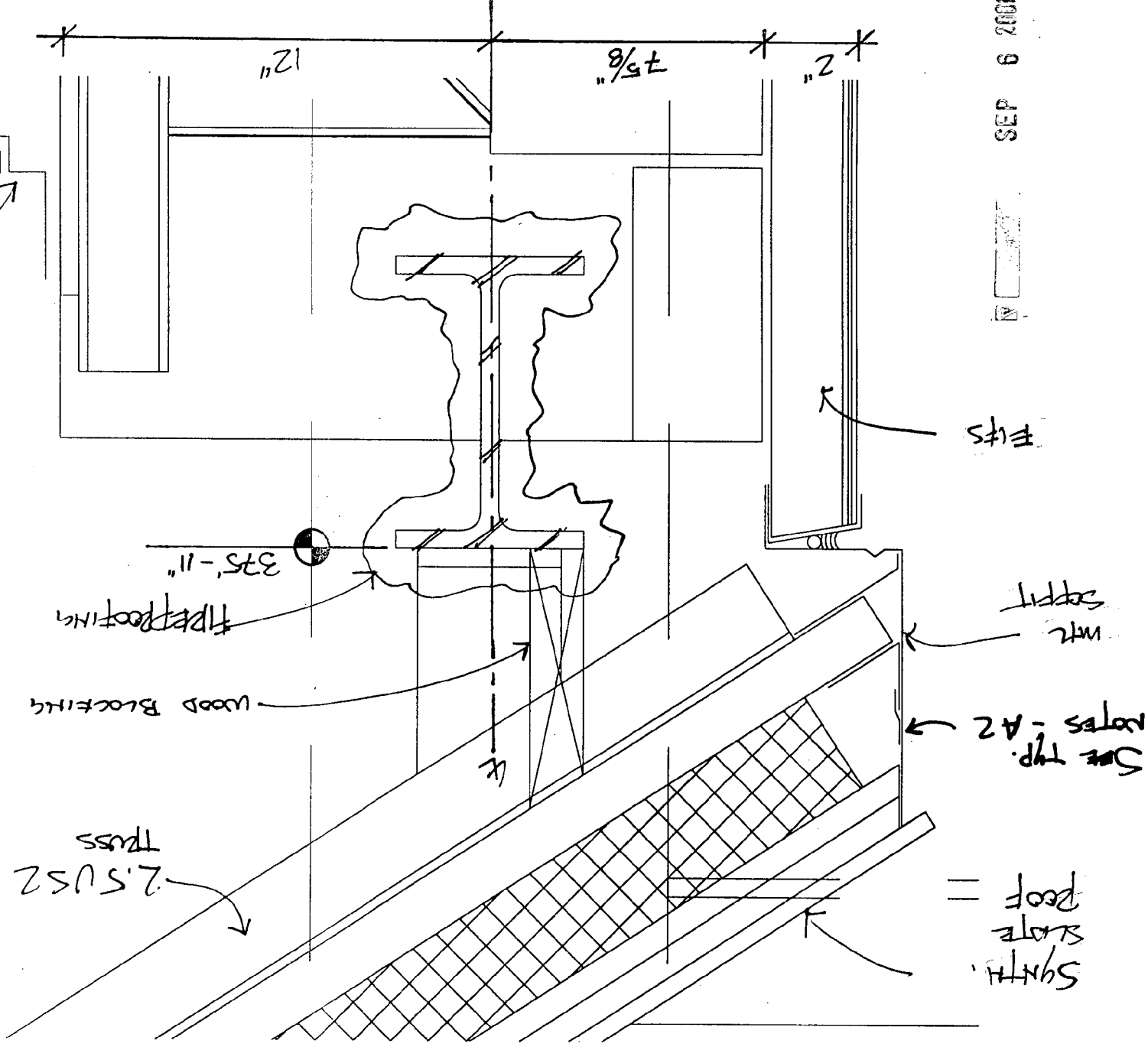
SEP 6 2000



Detail C3

3" = 1'-0"

1" square
ceiling panel
(typ)



Synth.
Slate
Roof

See Typ.
Notes - A2

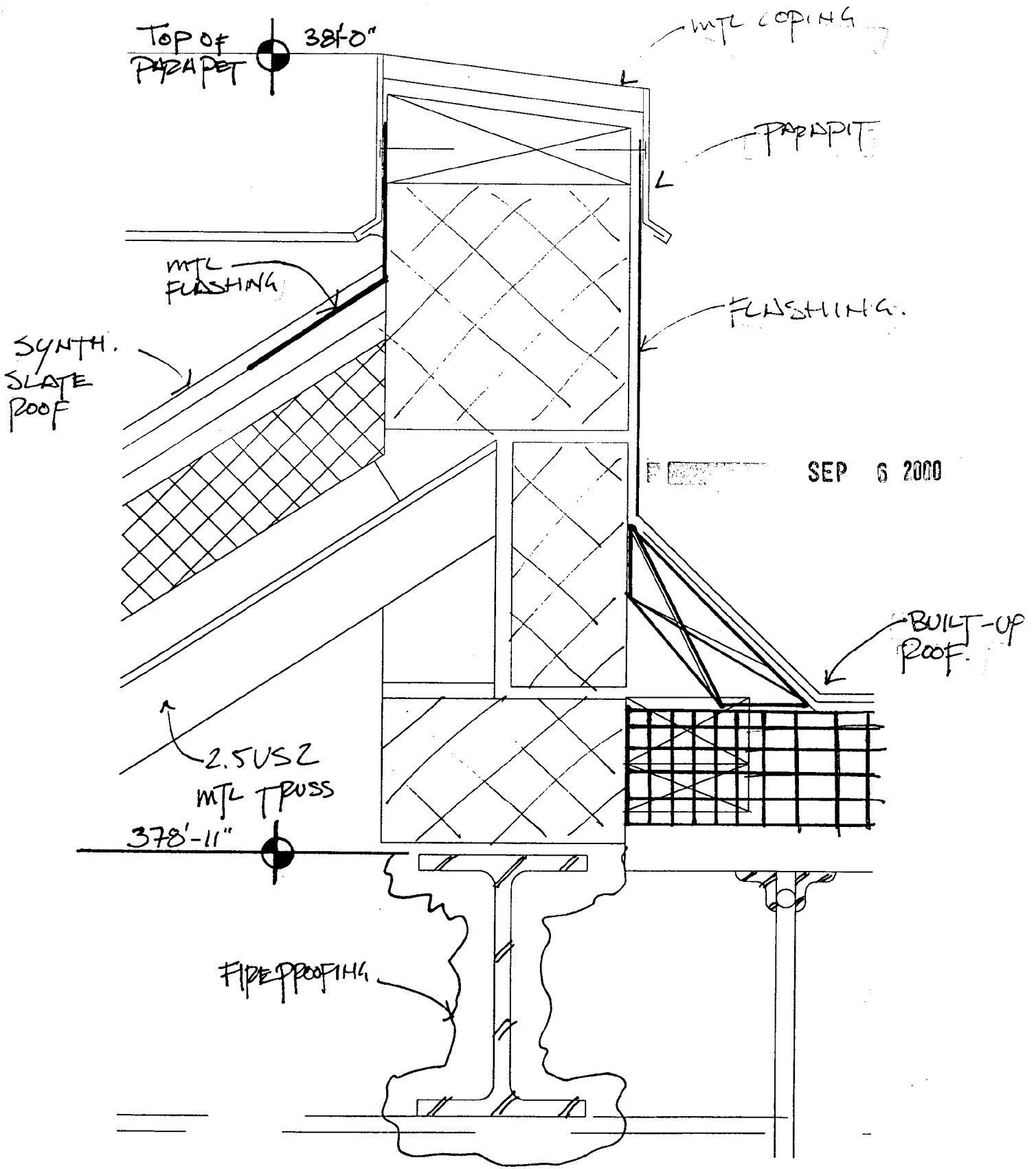
Wtr
seal

Felts

SEP 6 2000

DETAIL C4

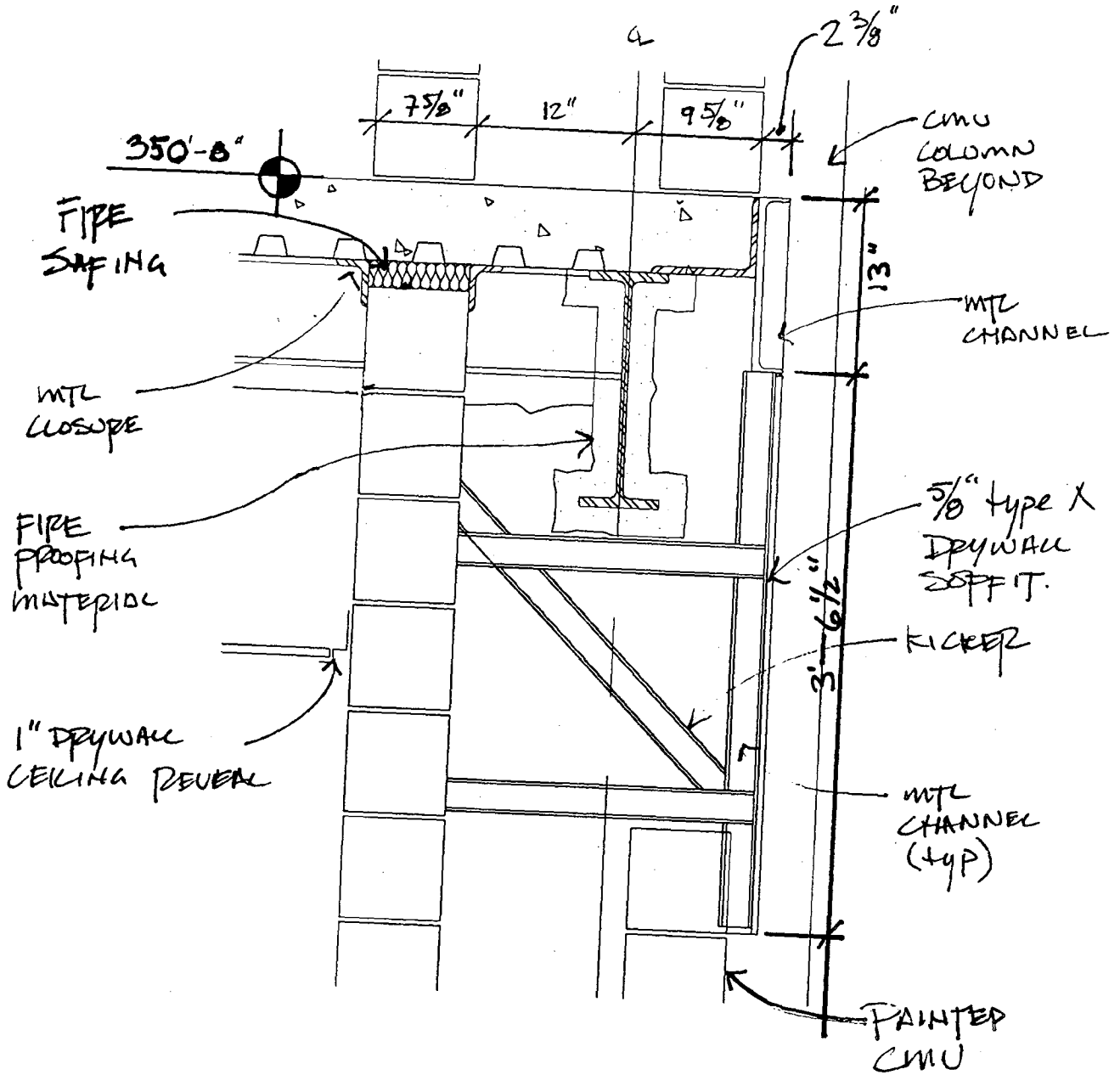
3" = 1'-0"

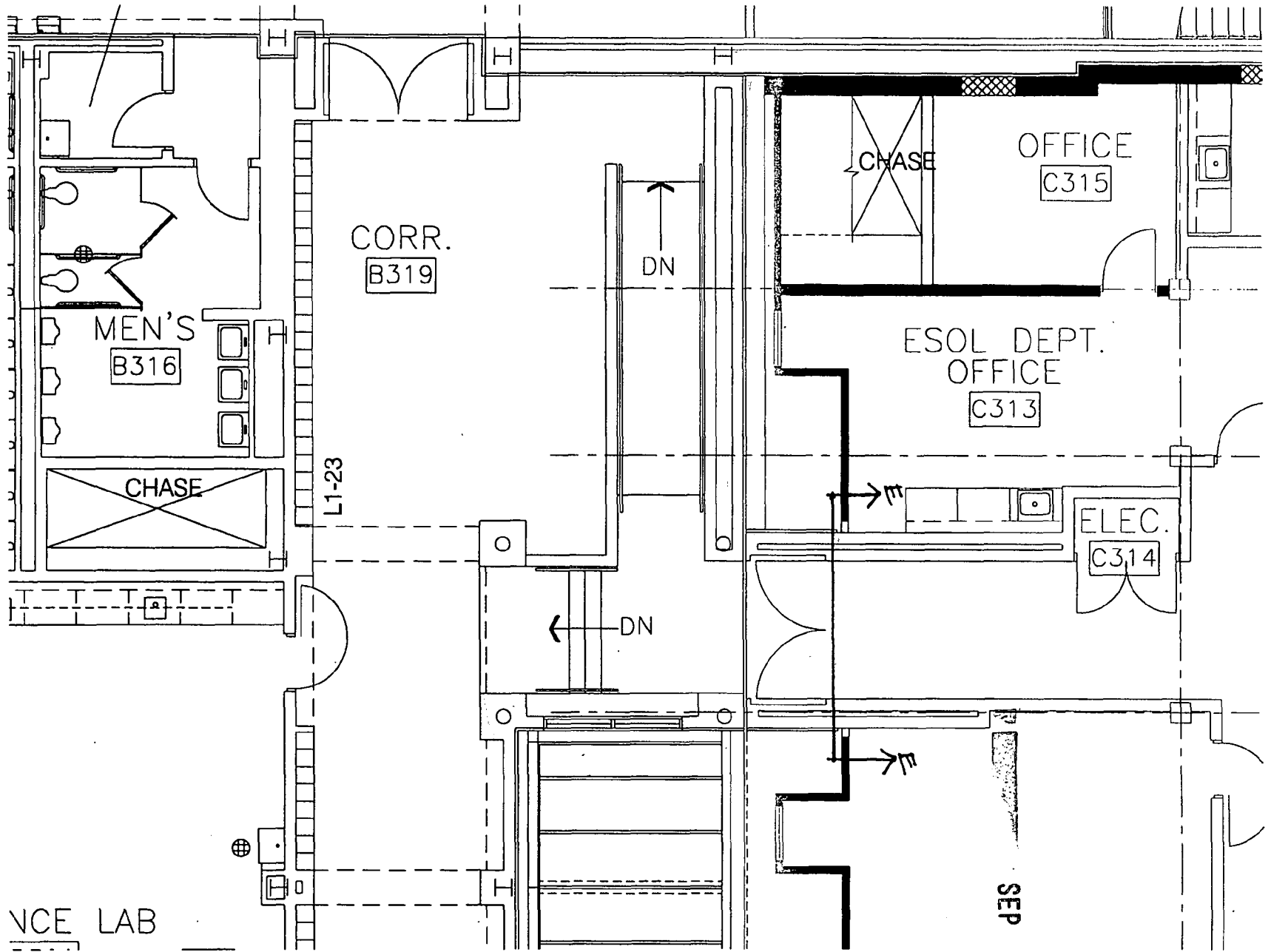


DETAIL D1

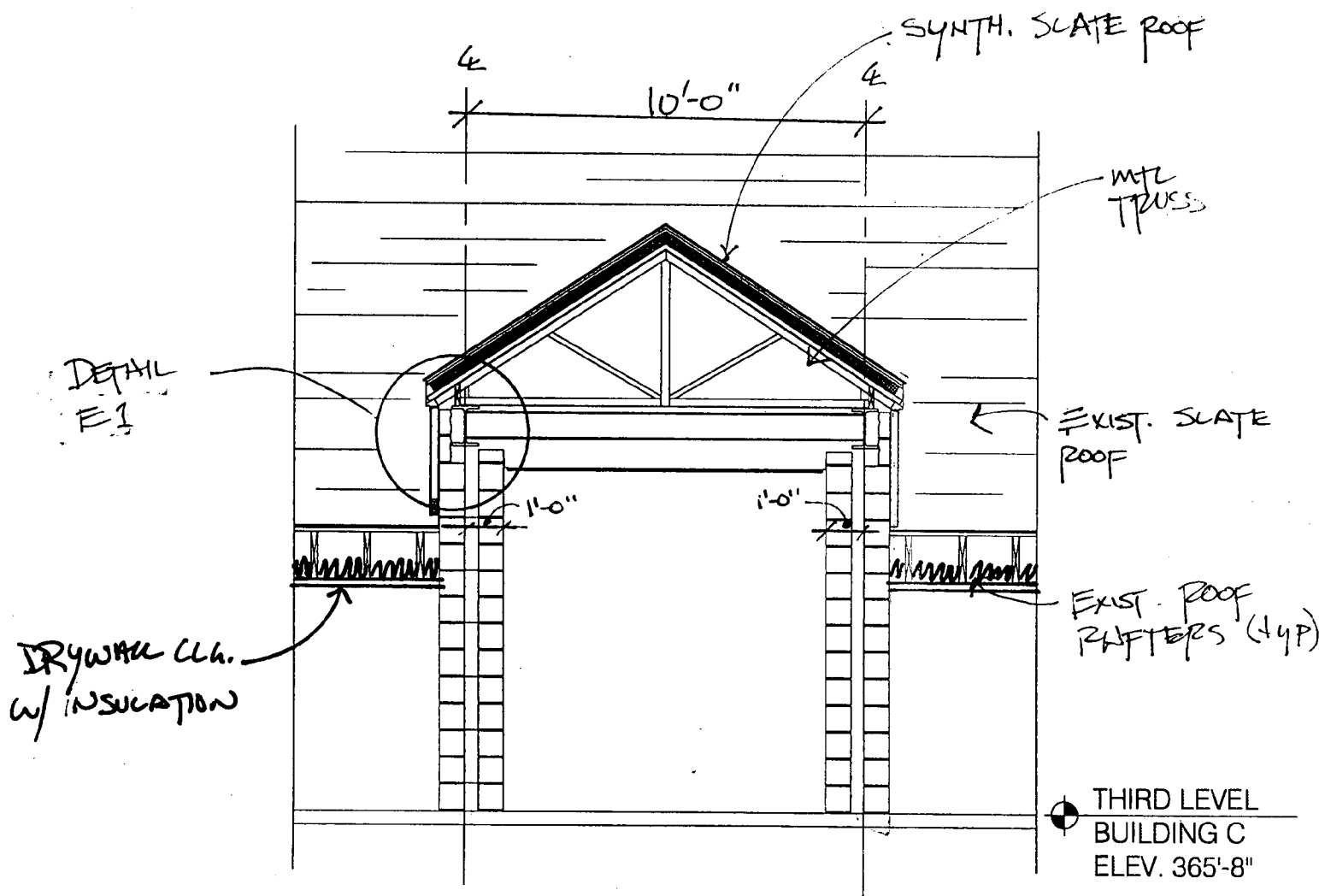
1" = 1'-0"

SEP 6 2000





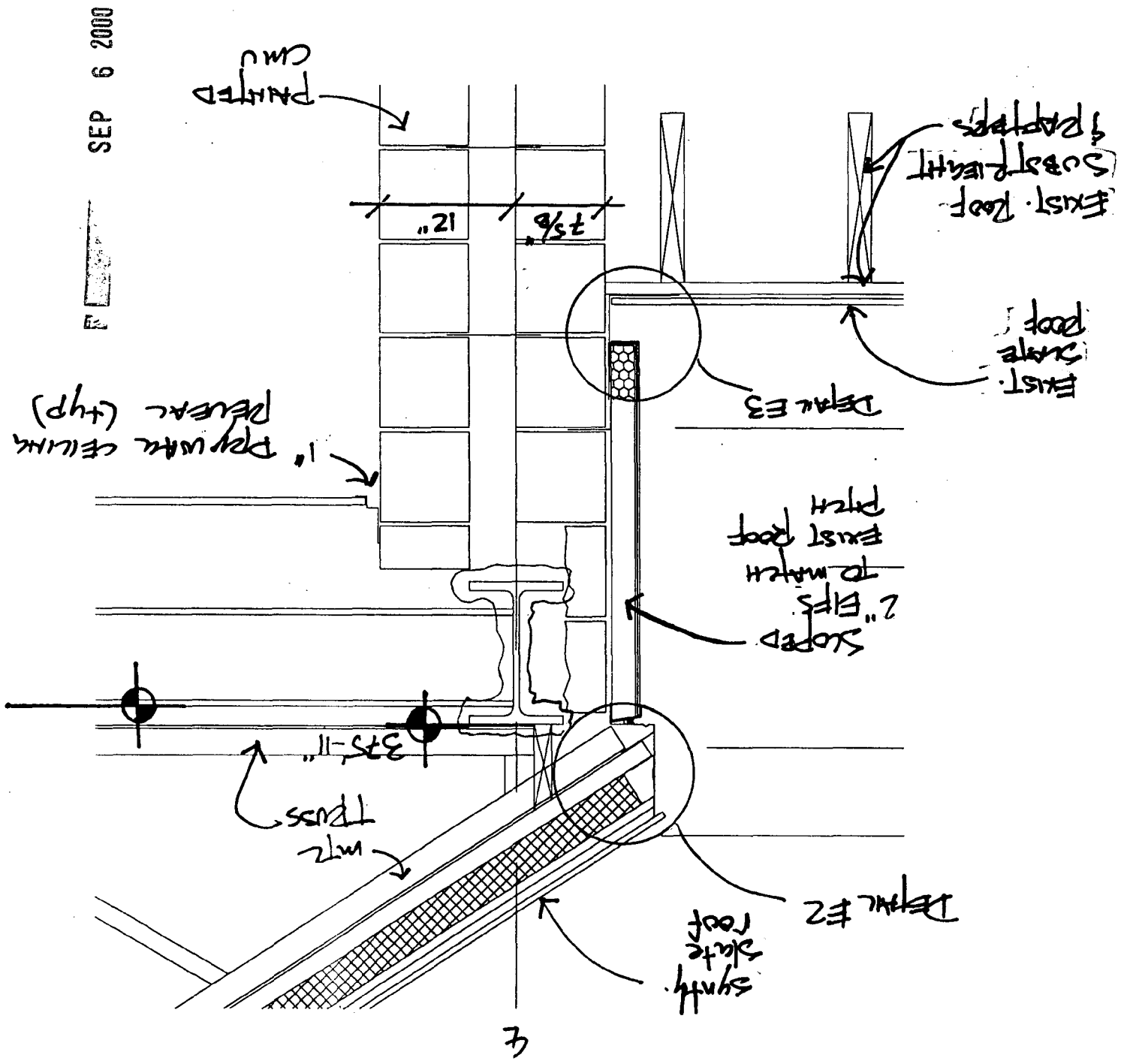
R/C CONNECTION - NORTH END
 3rd Floor
 1/8" = 1'-0"



SECTION III
 1/8" = 1'-0"

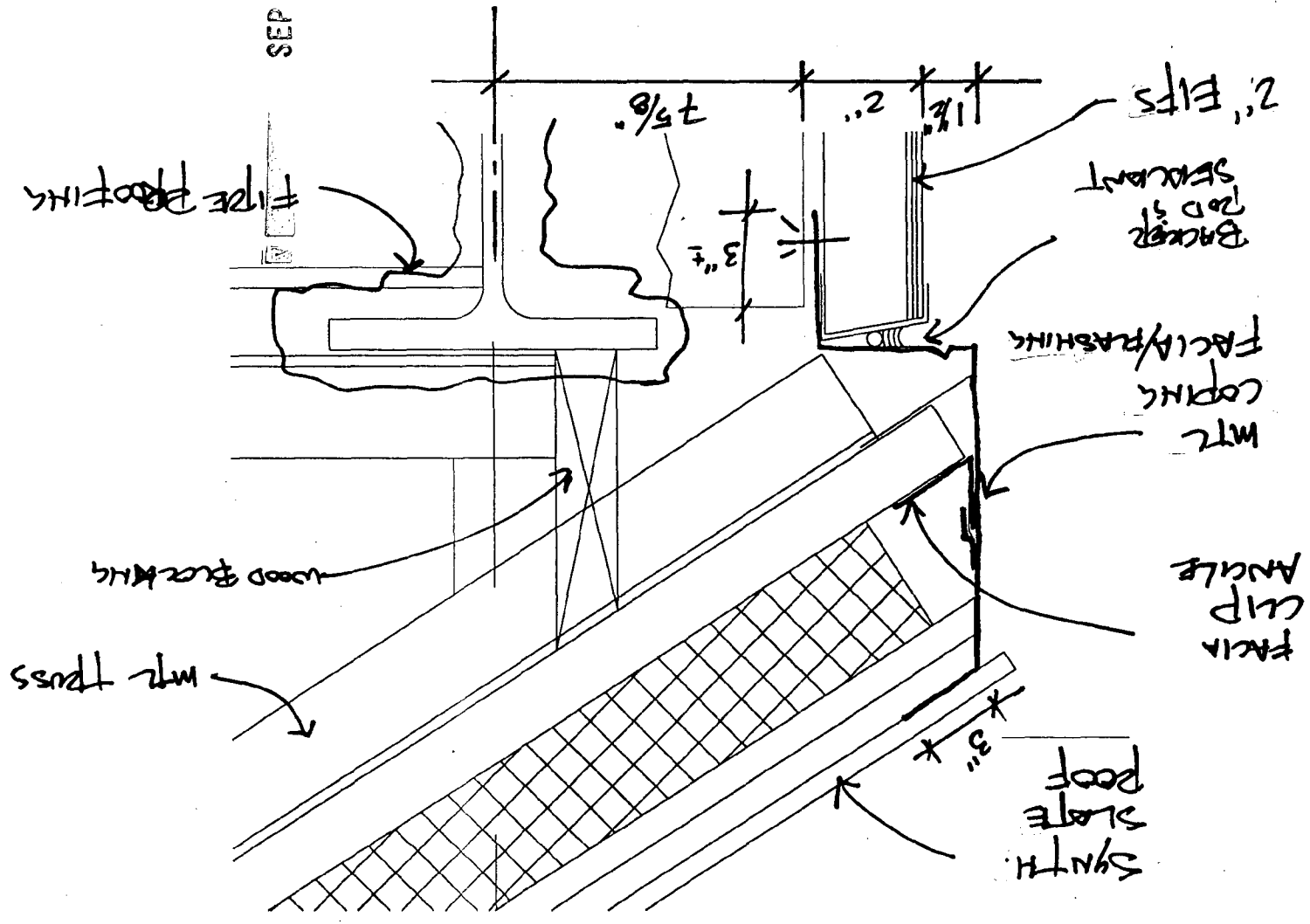
SEP 6 2000

DETAIL #1
1" = 1'-0"



DETAIL FZ
3" = 1'-0"

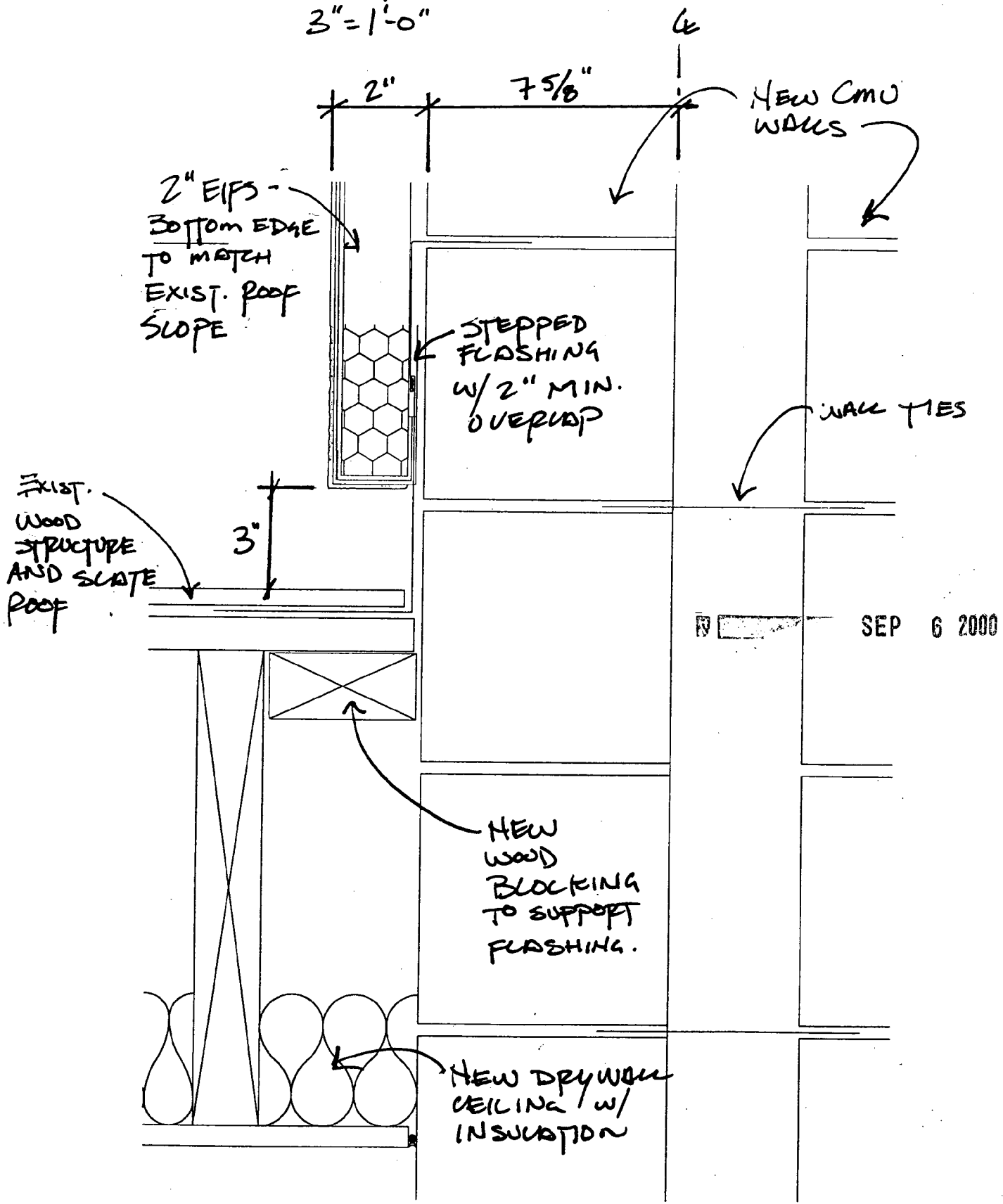
SEP 6 2000



NOTE: SEE DETAIL A2 FOR TYP. NOTES.

DETAIL # 3

3" = 1'-0"

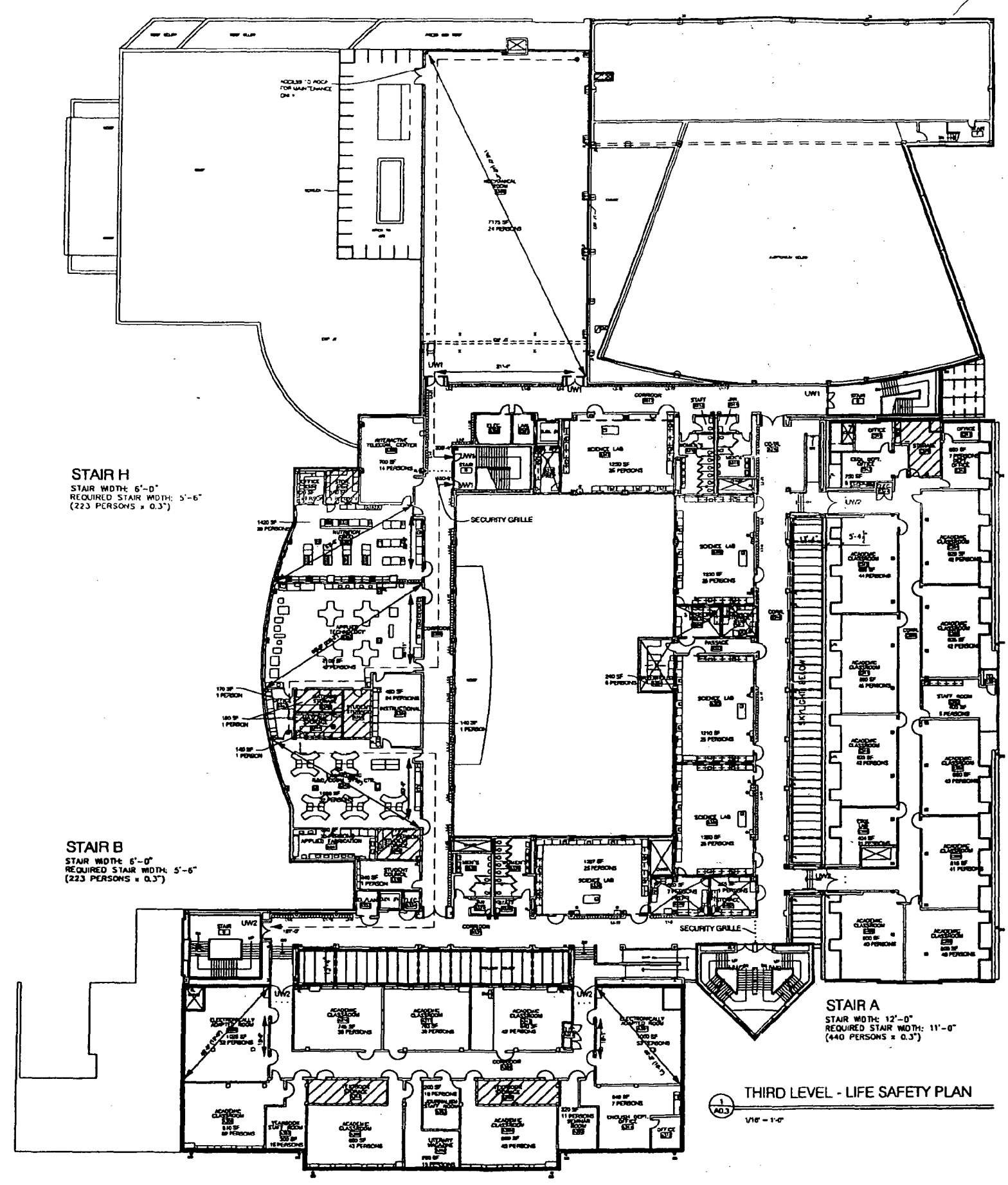




THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

November 8, 2000

\$25.00 for copying – sent invoice to Joe Noonan



LEGEND

- 1 HOUR SMOKE RATED ASSEMBLY
- 1 HOUR FIRE RATED ASSEMBLY
- 2 HOUR FIRE RATED ASSEMBLY
- UW1 36" UNIT WIDTH
- UW2 72" UNIT WIDTH
- EXIT PATH - DIRECTION AND DISTANCE
- ▨ STORAGE SPACE

SEE SHEET NO. A0.1 FOR CODE ANALYSIS

Designers & Drafters
 Consulting and Design
 604 West Diamond Avenue
 Gaithersburg, Maryland 20878
 (301) 444-0200

Montgomery, Maryland
 6740 Rockville Boulevard
 Rockville, Maryland 20850
 (301) 484-8800

Structural Steel Systems, Inc.
 2130 Forest Court
 Annapolis, Maryland 21401
 (410) 293-3412

Polymers Associates Engineers
 4115 MacArthur Boulevard, NW
 Washington, DC 20014
 (202) 344-1171

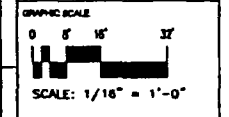
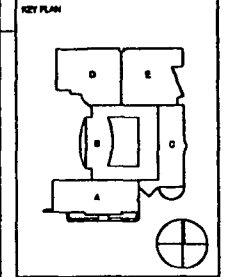
North County Lighting Associates, Inc.
 1022 MacArthur Avenue, NW
 Washington, DC 20007
 (202) 298-8000

Fisher & Mize, P.C.
 3100 MacArthur Avenue, NW, Suite 510
 Washington, DC 20014
 (202) 584-2222

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



NO.	DATE	BY	DESCRIPTION

DESIGNED BY	BY
APPROVED BY	BY
CHECKED BY	BY

TITLE

**THIRD LEVEL
 LIFE SAFETY PLAN**

PROJECT NO.

SCALE 1/16" = 1'-0"

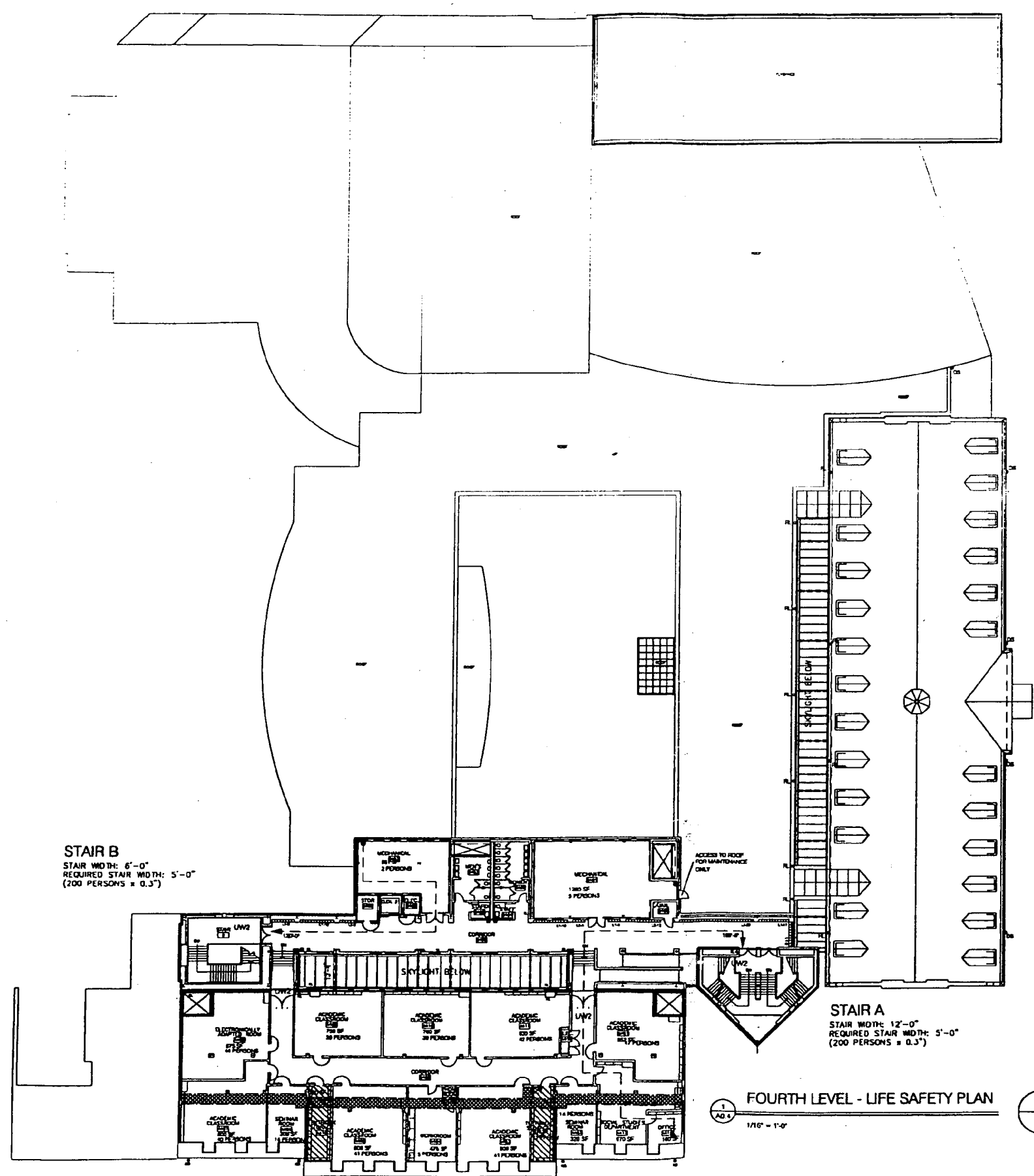
DISCIPLINE ARCHITECTURAL

A0.3

DATE

SEP 9 2000

AUG 21 2000



STAIR B
 STAIR WIDTH: 6'-0"
 REQUIRED STAIR WIDTH: 5'-0"
 (200 PERSONS @ 0.3')

STAIR A
 STAIR WIDTH: 12'-0"
 REQUIRED STAIR WIDTH: 5'-0"
 (200 PERSONS @ 0.3')

FOURTH LEVEL - LIFE SAFETY PLAN

1/16" = 1'-0"

LEGEND

- 1 HOUR SMOKE RATED ASSEMBLY
- 1 HOUR FIRE RATED ASSEMBLY
- 2 HOUR FIRE RATED ASSEMBLY
- 1'W1 36" UNIT WIDTH
- 1'W2 72" UNIT WIDTH
- ➔ EXIT PATH - DIRECTION AND DISTANCE
- ▨ STORAGE SPACE

SEE SHEET NO. A0.1 FOR CODE ANALYSIS

Dowberry & Davis
 354 West Diamond Avenue
 Gaithersburg, Maryland 20878
 301-444-5300

Montgomery County, Maryland
 1115 Executive Boulevard
 Gaithersburg, Maryland 20878
 301-444-5300

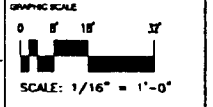
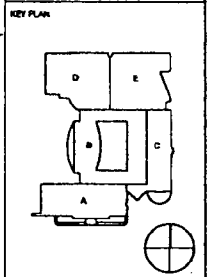
Montgomery County, Maryland
 1115 Executive Boulevard
 Gaithersburg, Maryland 20878
 301-444-5300

Montgomery County, Maryland
 1115 Executive Boulevard
 Gaithersburg, Maryland 20878
 301-444-5300

Bethesda-Chevy Chase High School Modernization

Montgomery County, Maryland

Montgomery County Public Schools



DATE	BY	DESCRIPTION

TITLE
FOURTH LEVEL LIFE SAFETY PLAN

PROJECT NO. 1/16" = 1'-0"
 SCALE ARCHITECTURAL

A0.4

CRSS TRANSFER DRAWINGS 07/12/00 SEE NOTE ON CS0.01

AUG 21 2000
 SEP 8 2000

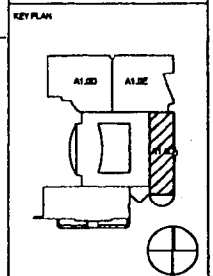
SEE FURNITURE PLANS FOR CASEWORK ELEVATIONS

- 1 WHERE MASONRY INFILL IS EXPOSED AT LEVEL 1 PROVIDE BRICK TO MATCH ADJ EXT
- 2 WHERE MASONRY INFILL ABOVE DOOR IS EXP AT LEVEL 1 PROVIDE BRICK TO MATCH ADJ EXT

CLARIFYING DIMENSIONS HAVE BEEN ADDED TO THIS SHEET

Downberry & Davis
 Architects
 2001 North Rockville Road
 Rockville, Maryland 20850
 Telephone: (301) 484-4400
 Fax: (301) 484-4401
 www.downberryanddavis.com

Bethesda-Chevy Chase High School Modernization
 Montgomery County, Maryland
 Montgomery County Public Schools



NO.	DATE	BY	DESCRIPTION

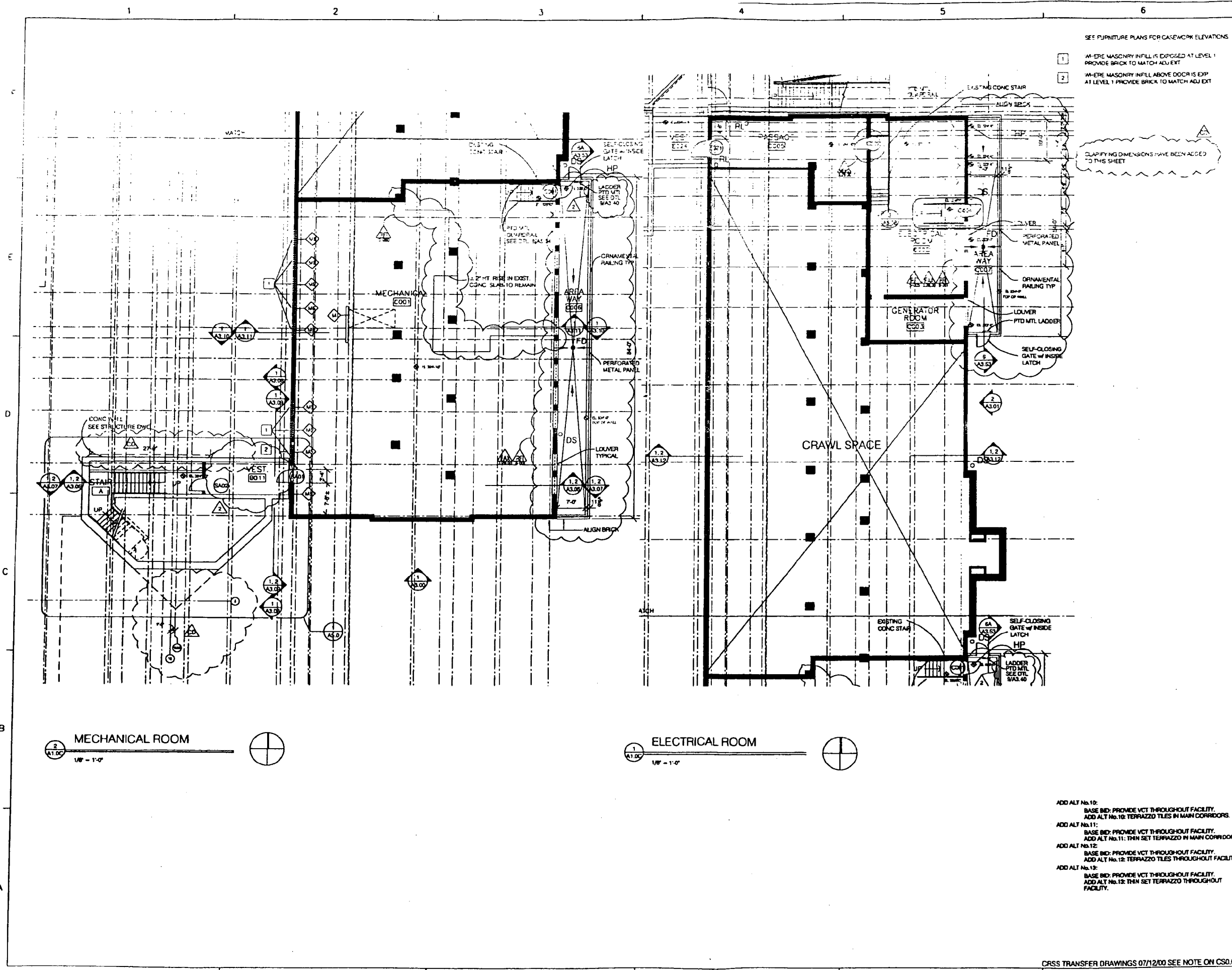
DESIGNED BY _____
 CHECKED BY **SEC**

TITLE
**BUILDING C
 GROUND LEVEL
 FLOOR PLAN**

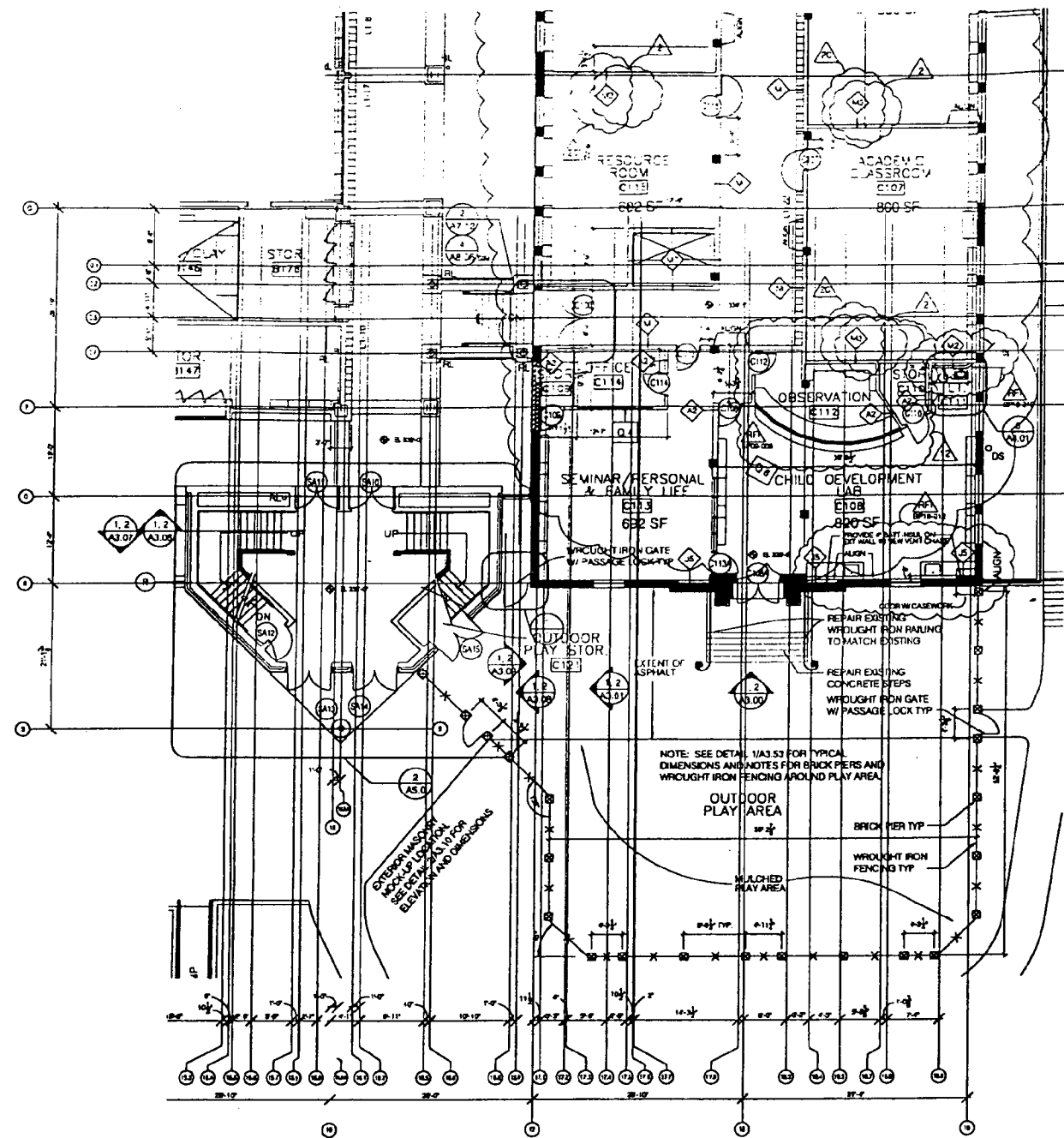
PROJECT NO.
 SCALE 1/8" = 1'-0"
 DISCIPLINE ARCHITECTURAL
A1.0C
 SHEET NO.

CRSS TRANSFER DRAWINGS 07/12/00 SEE NOTE ON CS0.01

AUG 21 2000
 SEC 0 2000



- ADD ALT No.10:
 BASE BID: PROVIDE VCT THROUGHOUT FACILITY.
 ADD ALT No.10: TERRAZZO TILES IN MAIN CORRIDORS.
- ADD ALT No.11:
 BASE BID: PROVIDE VCT THROUGHOUT FACILITY.
 ADD ALT No.11: THIN SET TERRAZZO IN MAIN CORRIDORS.
- ADD ALT No.12:
 BASE BID: PROVIDE VCT THROUGHOUT FACILITY.
 ADD ALT No.12: TERRAZZO TILES THROUGHOUT FACILITY.
- ADD ALT No.13:
 BASE BID: PROVIDE VCT THROUGHOUT FACILITY.
 ADD ALT No.13: THIN SET TERRAZZO THROUGHOUT FACILITY.



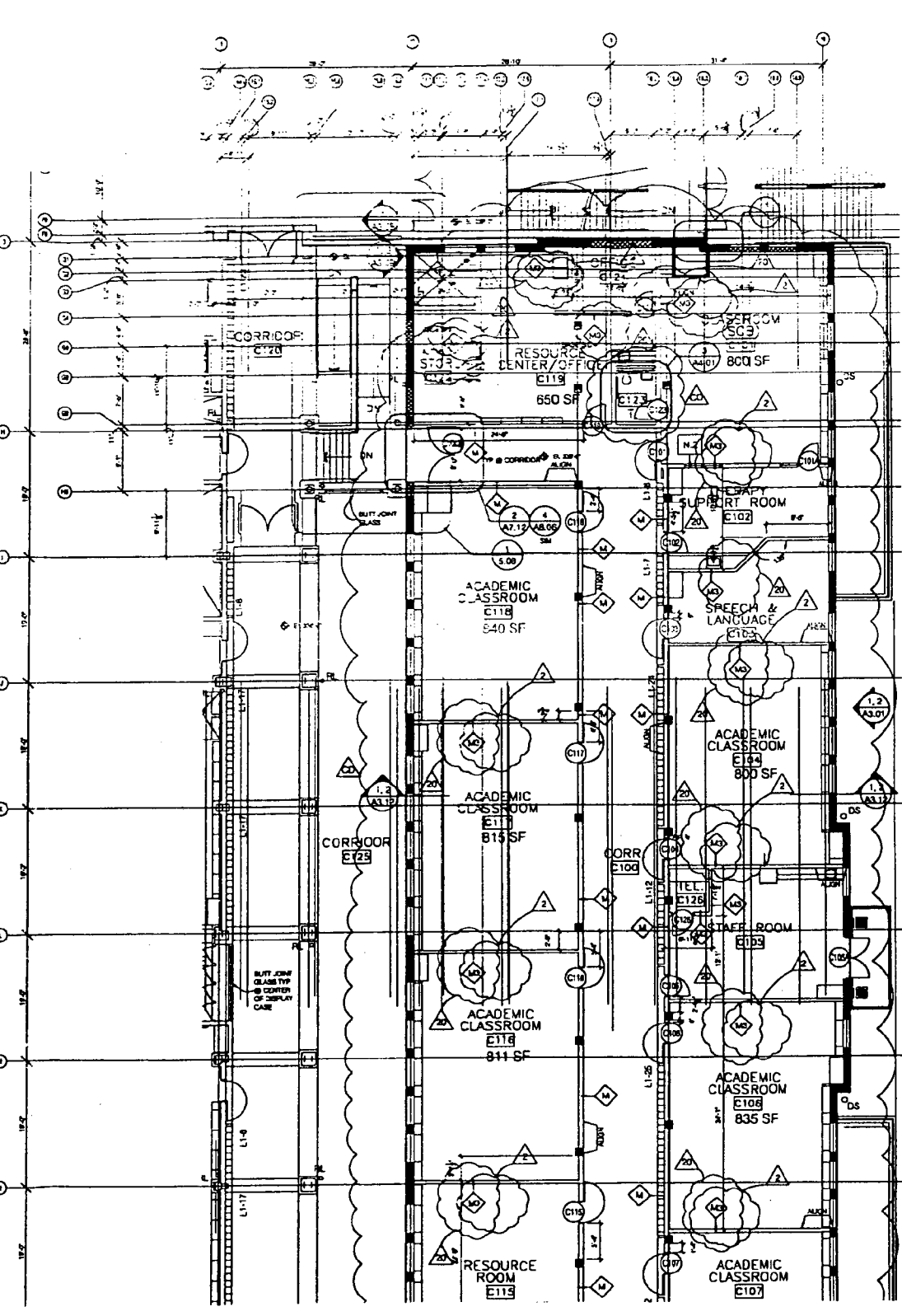
CHILD DEVELOPMENT
1/8" = 1'-0"

SEE FURNITURE PLANS FOR CASEWORK ELEVATIONS

**BUILDING C
FIRST LEVEL PLAN NOTES**

L1 - 12Wx12Dx72H DOUBLE TIER LOCKER UNITS

CLARIFYING DIMENSIONS AND WALL TYPES HAVE BEEN ADDED TO THIS SHEET.



SPECIAL EDUCATION AND ACADEMIC CLASSROOMS
1/8" = 1'-0"

Dunberry & Davis
Architects
100 West Charming Avenue
Bethesda, Maryland 20814
(301) 462-0000

Montgomery Public Schools
1070 Executive Boulevard
Rockville, Maryland 20852
(301) 468-8883

Montgomery County
11700 Rockville Pike
Rockville, Maryland 20850
(301) 224-4142

Professional Engineer
1115 MacArthur Boulevard, NW
Washington, DC 20024
(202) 398-6600

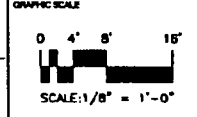
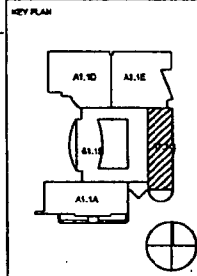
Montgomery County
1800 American Avenue, NW
Washington, DC 20007
(202) 398-6600

John A. Moore, P.E.
1100 American Avenue, NW Suite 111
Washington, DC 20007
(202) 398-2277

Bethesda-Chevy Chase
High School
Modernization

Montgomery County,
Maryland

Montgomery County
Public Schools



05/01/02	SHEET RESOLVE
07/14/02	ADDENDA 20
05/21/02	ADDENDA 13
03/19/02	ADDENDA 2
05/02/02	CONSTRUCTION SET
01/22/02	BUILDING PERMIT
05/28/02	BUILDING PERMIT

DRAWN BY _____
APPROVED BY _____
CHECKED BY SEC

TITLE
**BUILDING C
FIRST LEVEL
FLOOR PLAN**

PROJECT NO. _____
SCALE: 1/8" = 1'-0"
DISCIPLINE: ARCHITECTURAL

A1.1C

SHEET NO.

CRSS TRANSFER DRAWINGS 07/12/00 SEE NOTE ON CS0.01

SEP 6 2002

AUG 21 2002

E. L. L...

Donnelly & Davis
 Donnelly and Davis
 550 West Maryland Avenue
 Catonsville, Maryland 21033
 DC 1 948-1333

McIntosh, Phipps, Turner & Associates
 6900 Executive Square
 Rockville, Maryland 20852
 DC 1 466-8822

Shirley Mac Systems, Inc.
 2100 Research Court
 Annapolis, Maryland 21401
 DC 1 224-2412

Professional Association of Engineers
 6118 Montgomery Avenue, NW
 Washington, DC 20015
 DC 202-462-1111

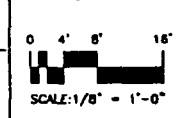
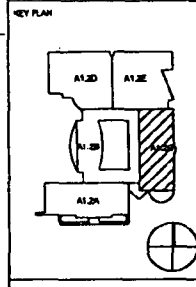
Modern Building Systems Association, Inc.
 1503 Arundel Avenue, NW
 Washington, DC 20007
 DC 202-294-8300

John A. Walker, P.E.
 3100 Wisconsin Avenue, NW, S.W. 11
 Washington, DC 20007
 DC 202-384-7777

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



05/1/00	B-CET FEMALE
07/1/00	ADDENDA 3D
08/02/00	CONSTRUCTION SET
01/22/00	BUILDING PERMIT
1/2	DATE
1/2	BY
1/2	DESCRIPTION

DESIGN BY _____
 APPROVED BY _____
 CHECKED BY SEC

TITLE
**BUILDING C
 SECOND LEVEL
 FLOOR PLAN**

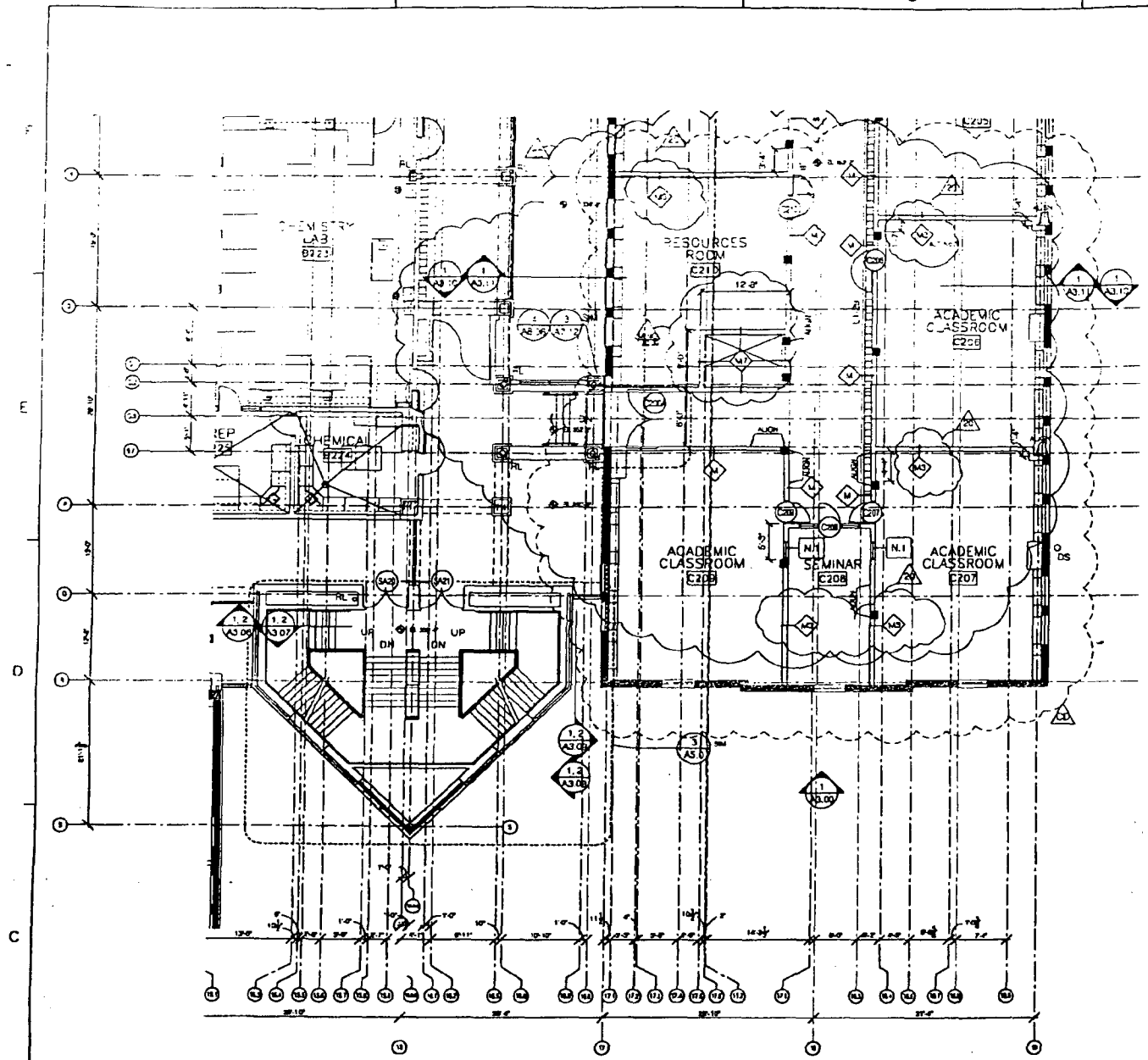
PROJECT NO. _____
 SCALE: 1/8" = 1'-0"
 DISCIPLINE: ARCHITECTURAL

A1.2C

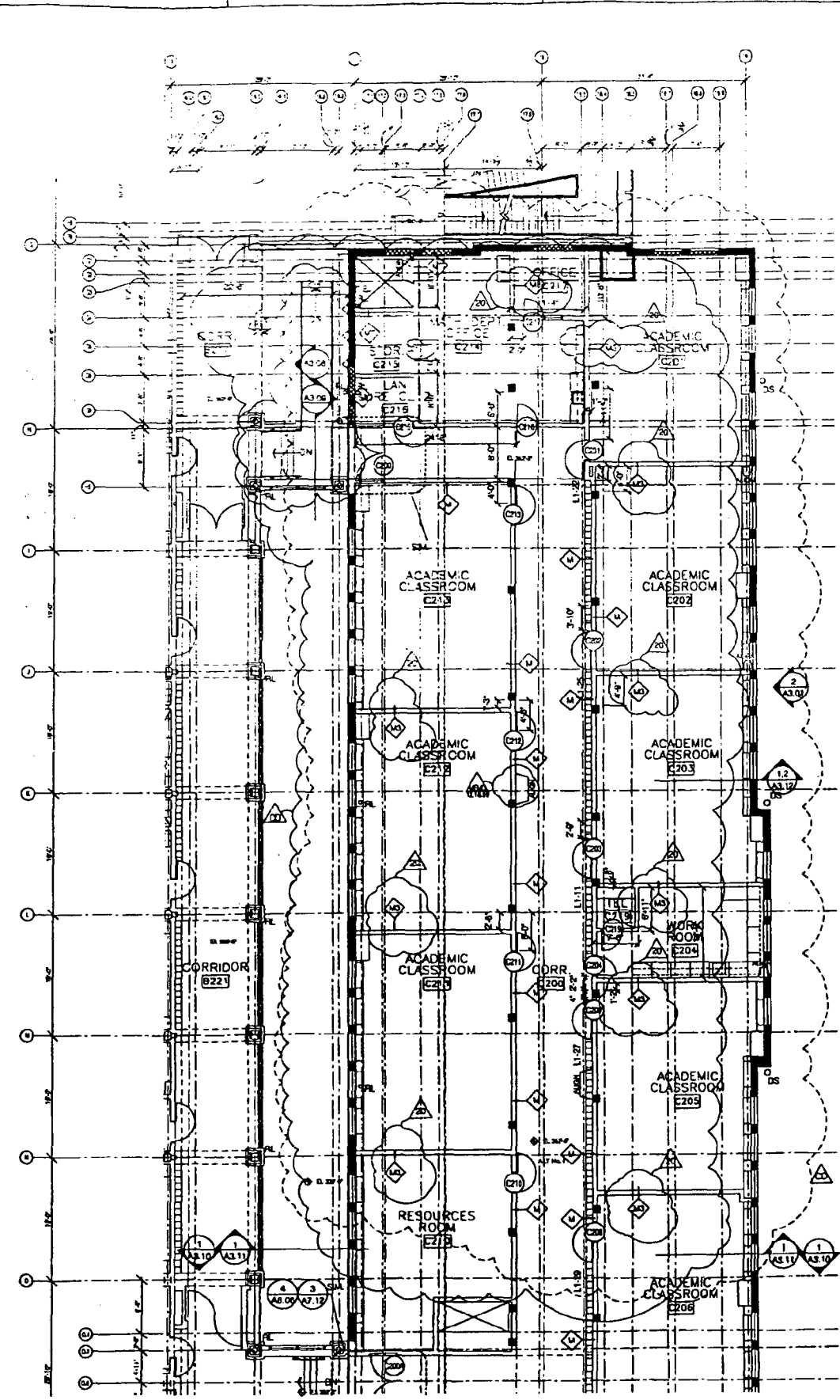
SHEET NO.

AUG 21 2000

SEP 6 2000



ACADEMIC CLASSROOMS
 1/8" = 1'-0"



ACADEMIC CLASSROOMS
 1/8" = 1'-0"

SEE FURNITURE PLANS FOR CASEWORK ELEVATIONS

**BUILDING C
 SECOND LEVEL PLAN NOTES**

L1 - 12Wx12Dx7/8" DOUBLE TIER LOCKER UNITS

ADD ALT No.1:
 BASE BID: PROVIDE GYPSUM WALLS BETWEEN CLASSROOMS AND OFFICES.
 ADD ALT No.1: PROVIDE CMU WALLS AND ASSOCIATED ELECTRICAL CONDUIT.

ADD ALT No.10:
 BASE BID: PROVIDE VCT THROUGHOUT FACILITY.
 ADD ALT No.10: TERRAZZO TILES IN MAIN CORRIDORS

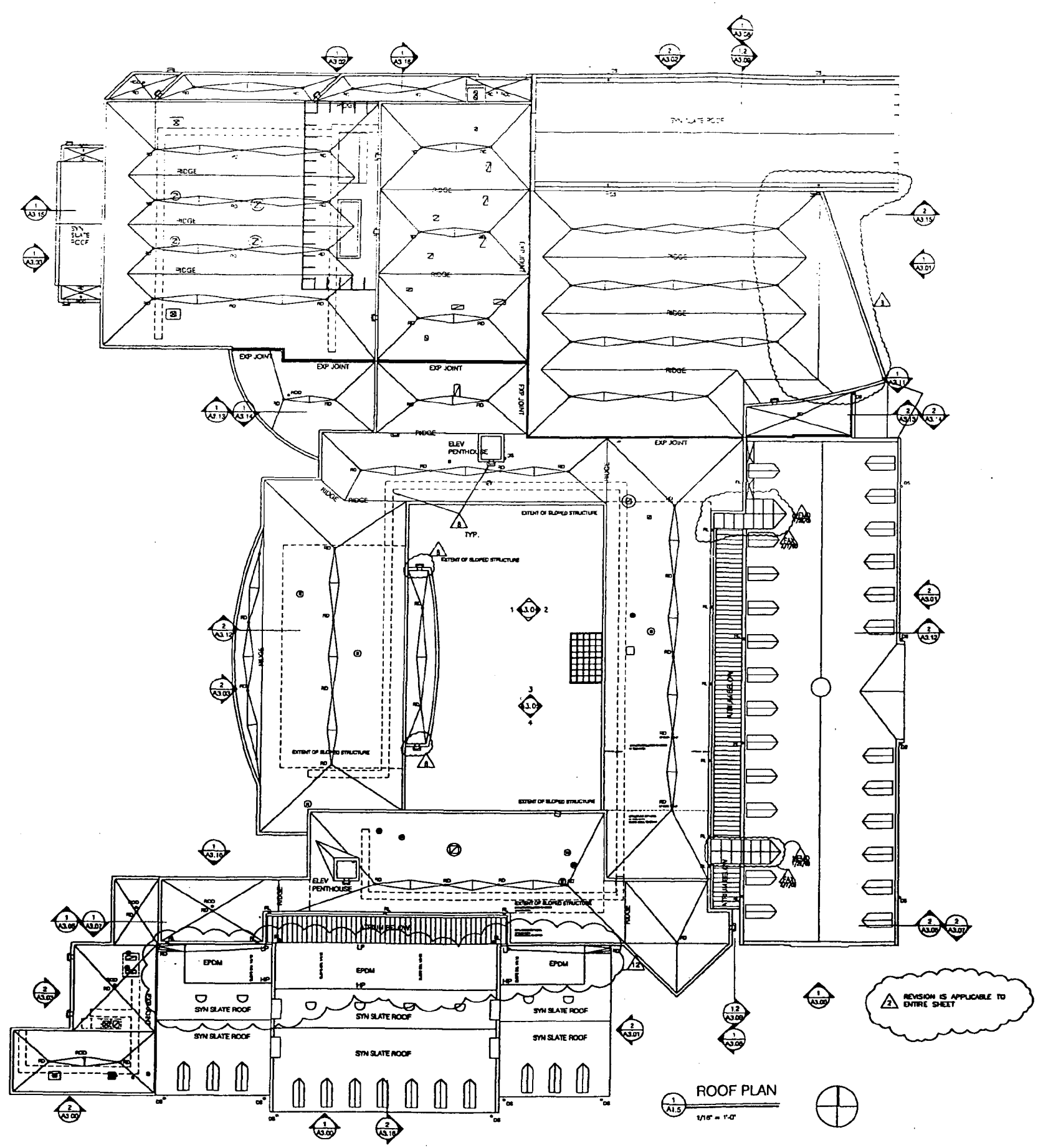
ADD ALT No.11:
 BASE BID: PROVIDE VCT THROUGHOUT FACILITY.
 ADD ALT No.11: THIN SET TERRAZZO IN MAIN CORRIDORS

ADD ALT No.12:
 BASE BID: PROVIDE VCT THROUGHOUT FACILITY.
 ADD ALT No.12: TERRAZZO TILES THROUGHOUT FACILITY.

ADD ALT No.13:
 BASE BID: PROVIDE VCT THROUGHOUT FACILITY.
 ADD ALT No.13: THIN SET TERRAZZO THROUGHOUT FACILITY.

CLARIFYING DIMENSIONS AND WALL TYPES HAVE BEEN ADDED TO THIS SHEET.

CRSS TRANSFER DRAWINGS 07/12/00 SEE NOTE ON CS0.01



ROOF PLAN
1/16" = 1'-0"

Dowberry & Davis
 Architects and Engineers
 801 West Choptank Avenue
 Gettysburg, Maryland 20894
 301-788-2000

Montgomery Public Schools & Associates
 6700 East-West Boulevard
 Rockville, Maryland 20850
 301-484-8800

St. Paul Real Estate Services, Inc.
 2130 Home & Court
 Annapolis, Maryland 21401
 410-261-2112

Thygeson Associates, Inc.
 1113 MacArthur Boulevard, NW
 Washington, DC 20016
 202-744-7111

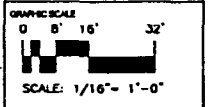
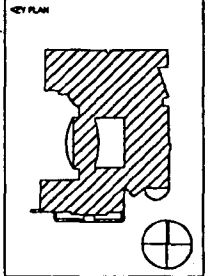
Montgomery County Lighting Association, Inc.
 1823 MacArthur Avenue, NW
 Washington, DC 20007
 202-338-8900

Walker & Lindsey, P.C.
 5100 MacArthur Avenue, NW Suite 510
 Washington, DC 20016
 202-364-2222

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



NO.	DATE	BY	DESCRIPTION

DRAWN BY _____
 APPROVED BY _____
 CHECKED BY _____

TITLE
 ROOF PLAN

PROJECT NO.
 SCALE 1/16" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A1.5

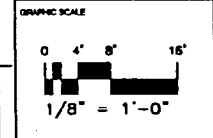
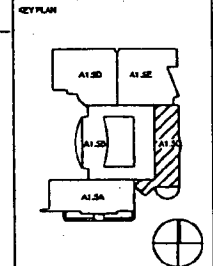
SHEET NO.

CROSS TRANSFER DRAWINGS 07/12/00 SEE NOTE ON CS0.01

SEP. 0 2000
 AUG 2 1 2000

Dawberry and Davis
 854 West Thacker Avenue
 Gaithersburg, Maryland 20878
 (301) 948-0000
 Members: "Real" Firms & Associates
 8500 Executive Boulevard
 Rockville, Maryland 20850
 (301) 498-9800
 Skanska Tech Services, Inc.
 2729 Parkview Court
 Annapolis, Maryland 21403
 (301) 224-2412
 Thomas & Associates Engineers
 1113 MacArthur Boulevard, Suite 100
 Huntley, Illinois 60142
 (708) 244-7700
 Hines Construction Group, Inc.
 1823 Westpark Avenue, Suite 100
 Huntley, Illinois 60142
 (815) 309-2000
 Miller & White, Inc.
 3130 Woodbridge Avenue, Suite 300
 Washington, D.C. 20018
 (202) 384-7777

Bethesda-Chevy Chase
 High School
 Modernization
 Montgomery County,
 Maryland
 Montgomery County
 Public Schools



NO.	DATE	DESCRIPTION

CREATED BY _____
 APPROVED BY _____
 CHECKED BY _____

TITLE
**BUILDING C
 ROOF PLAN**

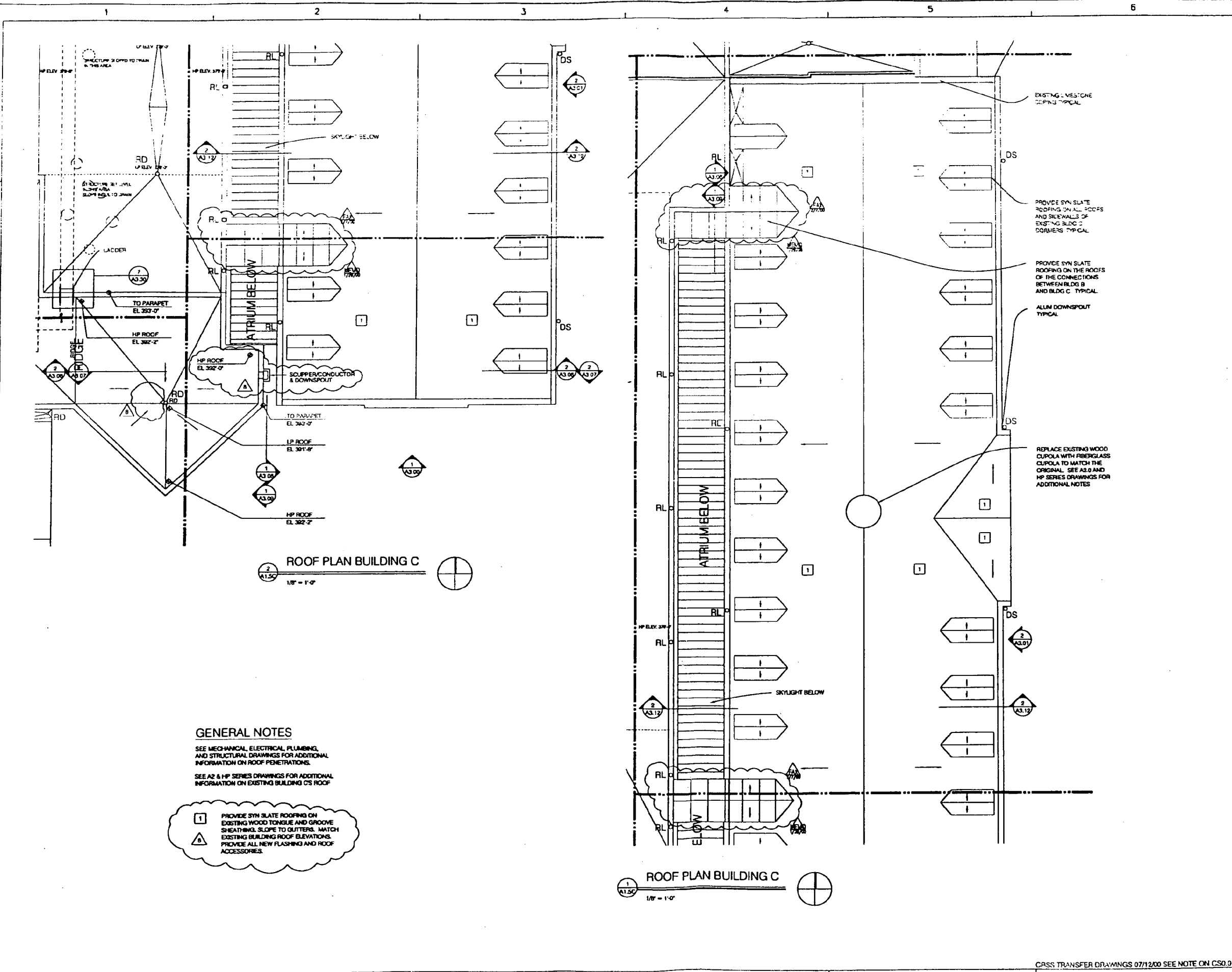
PROJECT NO.
 SCALE 1/8" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A1.5C

3-CUT NO.

SEP 6 2000

AUG 21 2000



GENERAL NOTES
 SEE MECHANICAL, ELECTRICAL, PLUMBING,
 AND STRUCTURAL DRAWINGS FOR ADDITIONAL
 INFORMATION ON ROOF PENETRATIONS.
 SEE A2 & HP SERIES DRAWINGS FOR ADDITIONAL
 INFORMATION ON EXISTING BUILDING C'S ROOF

1 PROVIDE SYN SLATE ROOFING ON
 EXISTING WOOD TONGUE AND GROOVE
 SHEATHING. SLOPE TO GUTTERS. MATCH
 EXISTING BUILDING ROOF ELEVATIONS.
 PROVIDE ALL NEW FLASHING AND ROOF
 ACCESSORIES.

2

ROOF PLAN BUILDING C
 1/8" = 1'-0"

ROOF PLAN BUILDING C
 1/8" = 1'-0"

SEE SHEET A2.0 FOR DEMOLITION NOTES

Dunberry & Davis
 Architects and Engineers
 804 Andover Avenue
 Gaithersburg, Maryland 20878
 (301) 948-0200

Montgomery Public Schools
 6745 Reservoir Road
 Gaithersburg, Maryland 20878
 (301) 948-4600

Montgomery County
 1111 University Blvd.
 Rockville, Maryland 20850
 (301) 586-1111

Montgomery County
 1111 University Blvd.
 Rockville, Maryland 20850
 (301) 586-1111

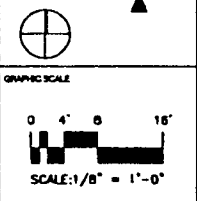
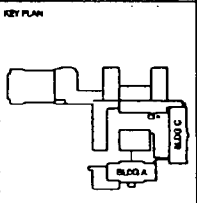
Montgomery County
 1111 University Blvd.
 Rockville, Maryland 20850
 (301) 586-1111

Montgomery County
 1111 University Blvd.
 Rockville, Maryland 20850
 (301) 586-1111

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



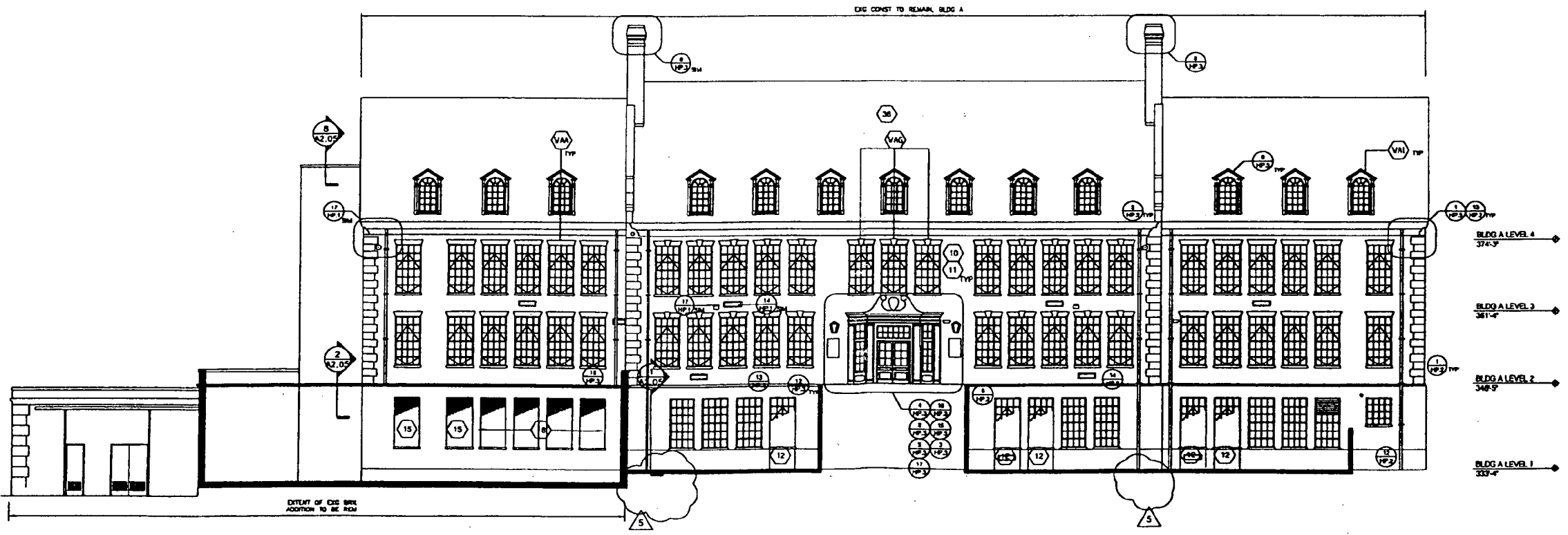
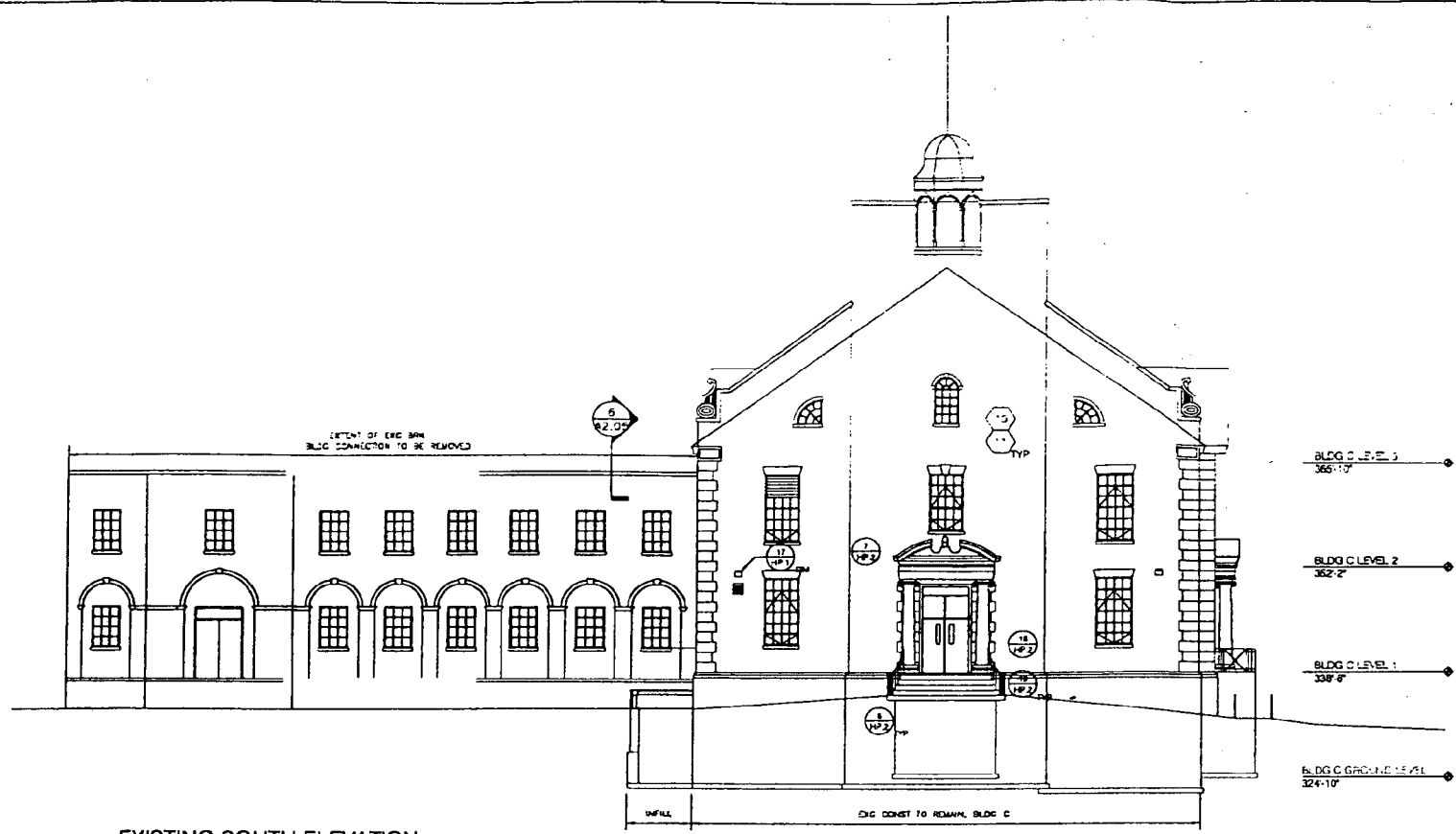
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08/07/08	SHEET PREPARE	
08/07/08	ARCHITECT NO. 1	
08/07/08	CONSTRUCTION SET	
08/07/08	BUILDING PERMIT	
NO.	BY	REVISION

DRAWN BY: LCF
 APPROVED BY:
 CHECKED BY: SEC

TITLE
EXISTING SOUTH BUILDING ELEVATIONS

PROJECT NO.
 SCALE 1/8" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A2.00



SEP 9 2008

AUG 21 2008

SEE SHEET A2.0 FOR DEMOLITION NOTES

Dewberry & Davis
ARCHITECTS

1000 North ...
1000 North ...
1000 North ...
1000 North ...
1000 North ...

1000 North ...
1000 North ...
1000 North ...
1000 North ...
1000 North ...

1000 North ...
1000 North ...
1000 North ...
1000 North ...
1000 North ...

Bethesda-Chevy Chase
High School
Modernization

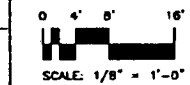
Montgomery County,
Maryland

Montgomery County
Public Schools

KEY PLAN



GRAPHIC SCALE



NO.	DATE	BY	DESCRIPTION

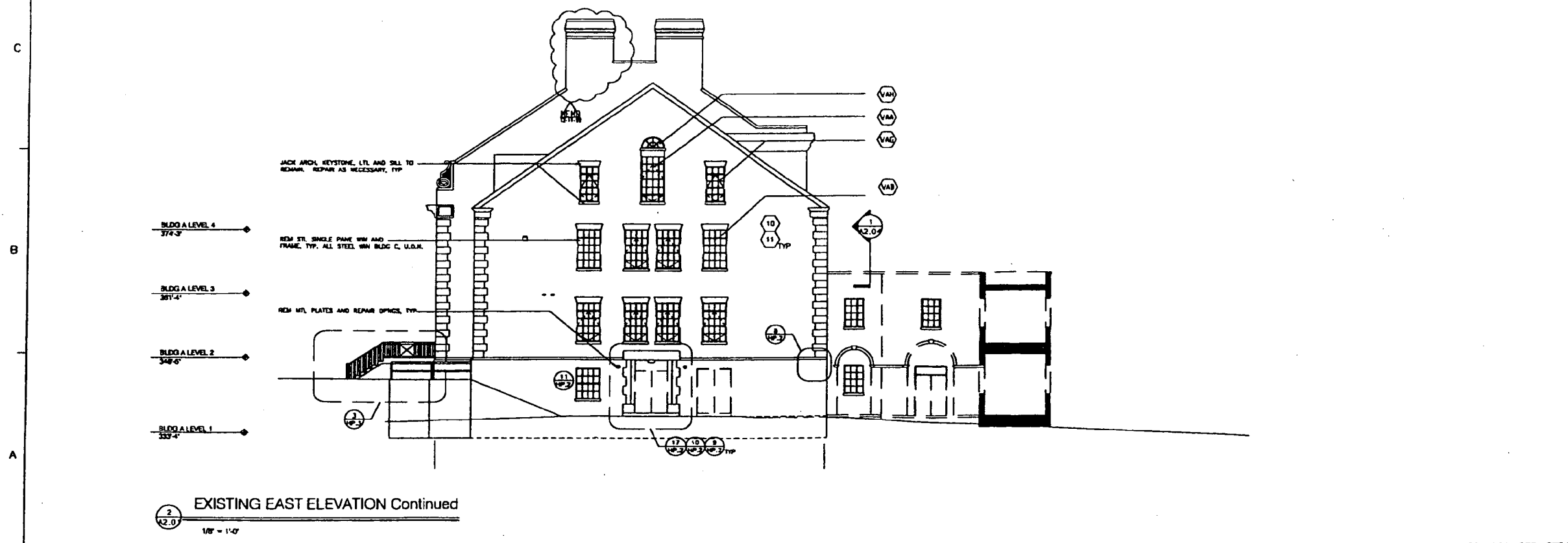
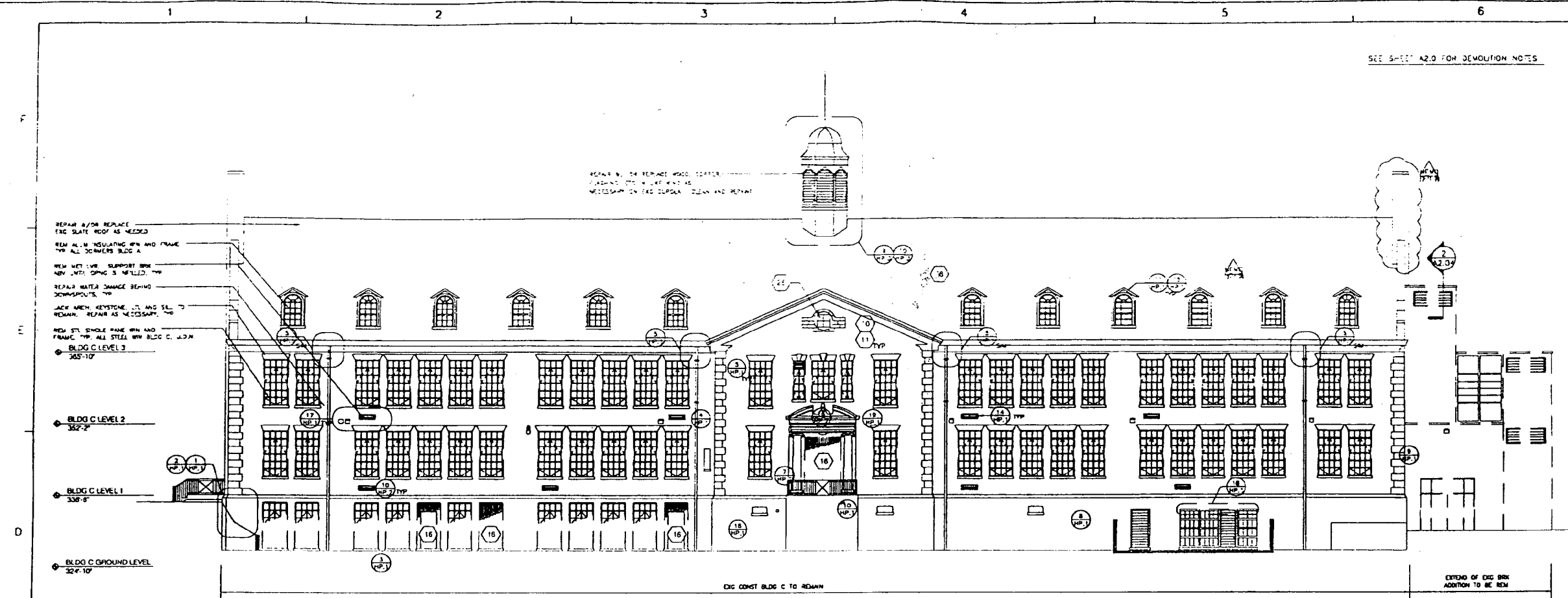
DRAWN BY: LCF
APPROVED BY: SEC
CHECKED BY: SEC

TITLE
EXISTING EAST BUILDING ELEVATIONS

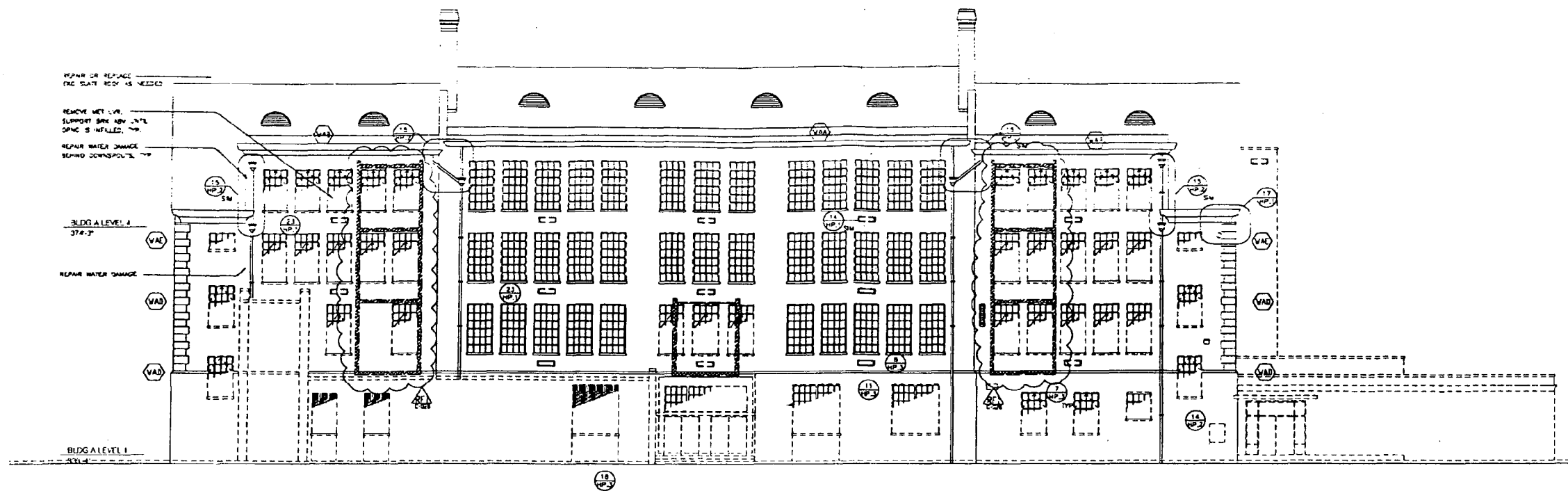
PROJECT NO.
SCALE: 1/8" = 1'-0"
DISCIPLINE: ARCHITECTURAL

A2.01

SHEET NO.

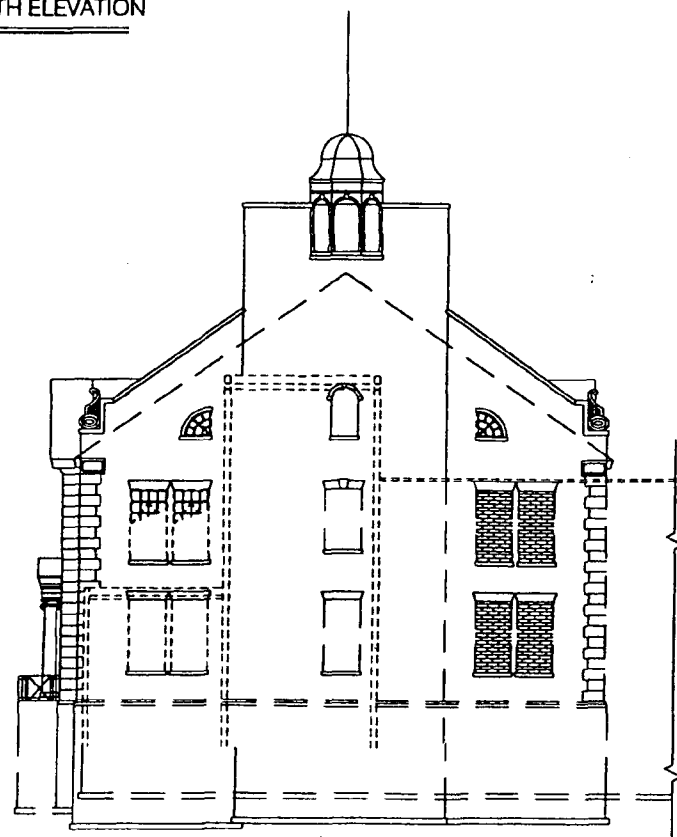


AUG 21 2009
 SEP 8 2009



EXISTING NORTH ELEVATION

1/8" = 1'-0"



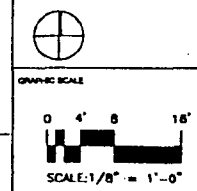
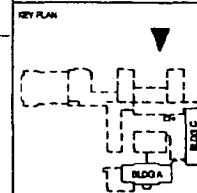
EXISTING NORTH ELEVATION Continued

1/8" = 1'-0"

Dawsonberry & Davis
 Architects
 300 West Chesapeake Avenue
 Gaithersburg, Maryland 20878
 TEL: 301-281-2200
 Fax: 301-281-2201
 Website: www.dawsonberry.com

Montgomery County, Maryland
 Public Schools
 1111 Woodloch Avenue, #100
 Gaithersburg, MD 20878
 TEL: 301-331-1111

Bethesda-Chevy Chase High School Modernization
 Montgomery County, Maryland
 Montgomery County Public Schools



NO.	DATE	BY	DESCRIPTION

DRAWN BY: LCF
 APPROVED BY: SEC
 CHECKED BY: SEC

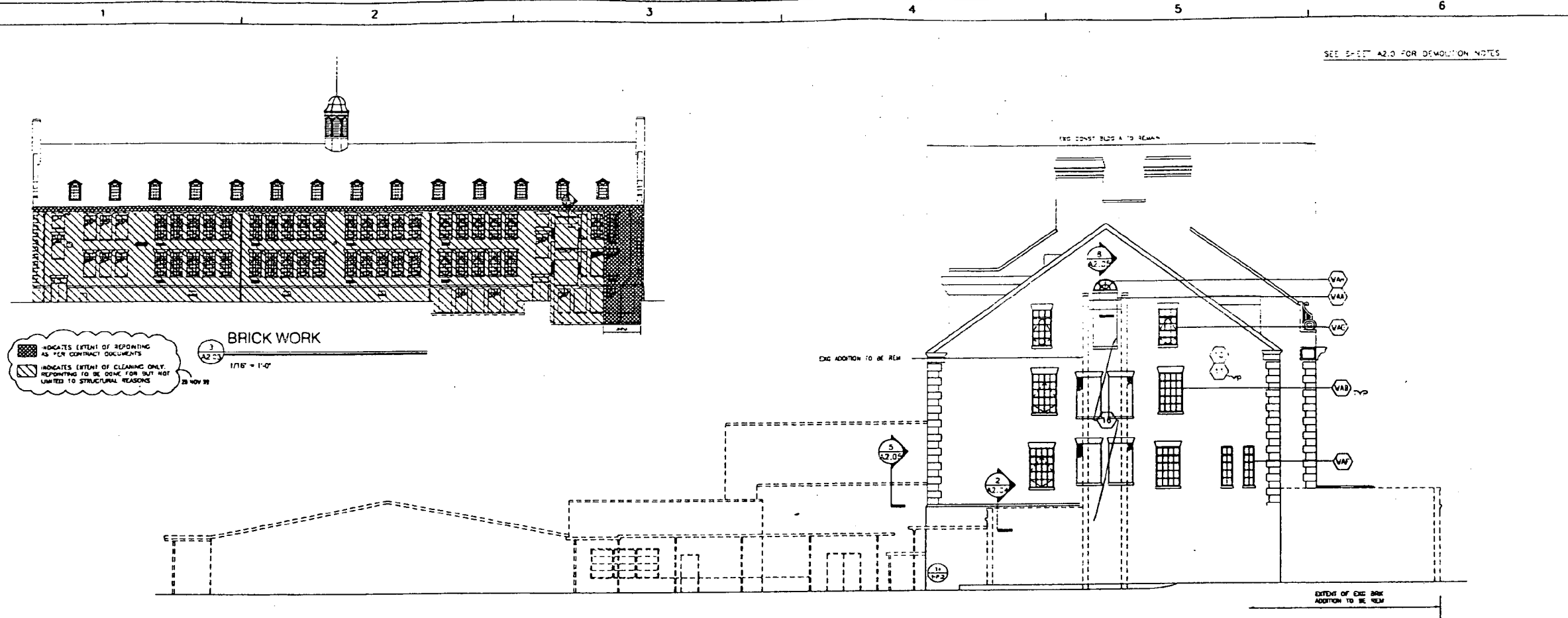
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PROJECTING: SCALE: 1/8" = 1'-0"
 DISCIPLINE: ARCHITECTURAL

A2.02

SEP 6 2000

AUG 21 2000



INDICATES EXTENT OF REPORTING AS PER CONTRACT DOCUMENTS

INDICATES EXTENT OF CLEANING ONLY. REPORTING TO BE DONE FOR BUT NOT LIMITED TO STRUCTURAL REASONS

BRICK WORK

1/8" = 1'-0"

EXISTING WEST ELEVATION

1/8" = 1'-0"

EXISTING WEST ELEVATION Continued

1/8" = 1'-0"

Dawberry & Davis

Architects and Engineers

2500 Rockville Pike
Bethesda, Maryland 20814
301-461-2200

Members: P.E., F.A.S.A., A.A.A.A.
D&D Architects, Inc.
2500 Rockville Pike
Bethesda, Maryland 20814
301-461-2200

Professional Engineers
1111 Wisconsin Avenue, N.W.
Washington, D.C. 20005
202-331-1111

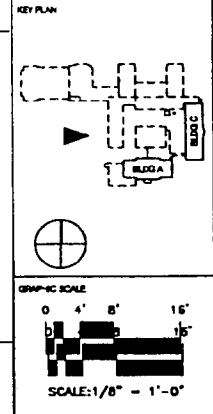
Member: P.E., F.A.S.A., A.A.A.A.
D&D Engineers, Inc.
1000 Wisconsin Avenue, N.W.
Washington, D.C. 20007
202-331-1111

Member: P.E., F.A.S.A., A.A.A.A.
D&D Architects, Inc.
1100 Wisconsin Avenue, N.W. Suite 315
Washington, D.C. 20005
202-331-1111

Bethesda-Chew Chase
High School
Modernization

Montgomery County,
Maryland

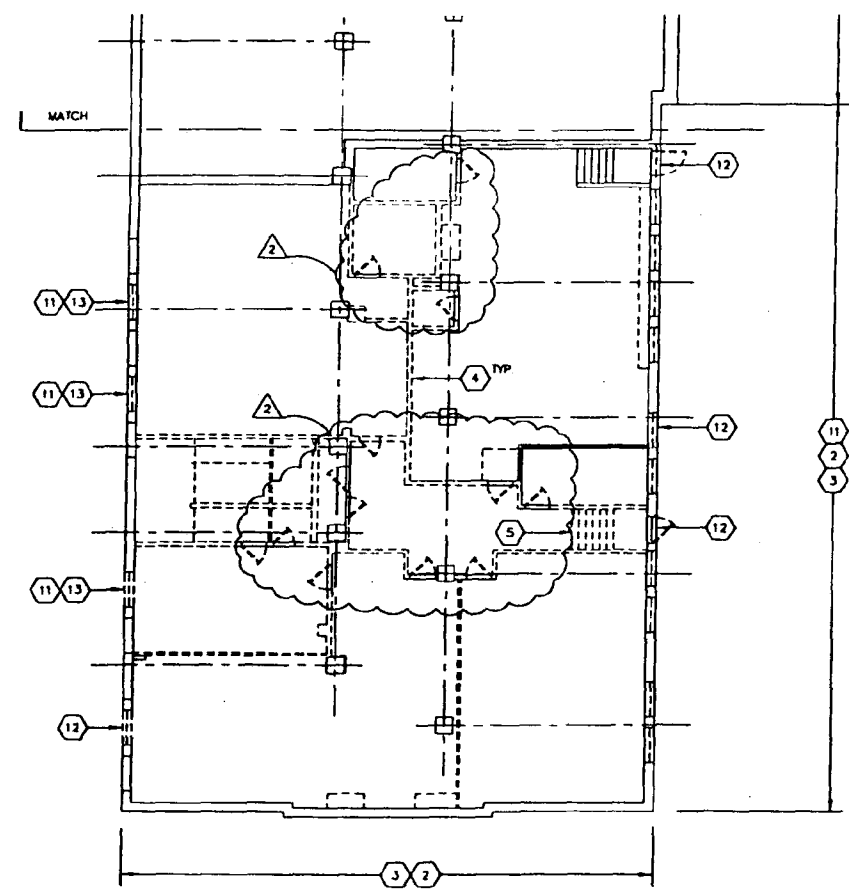
Montgomery County
Public Schools



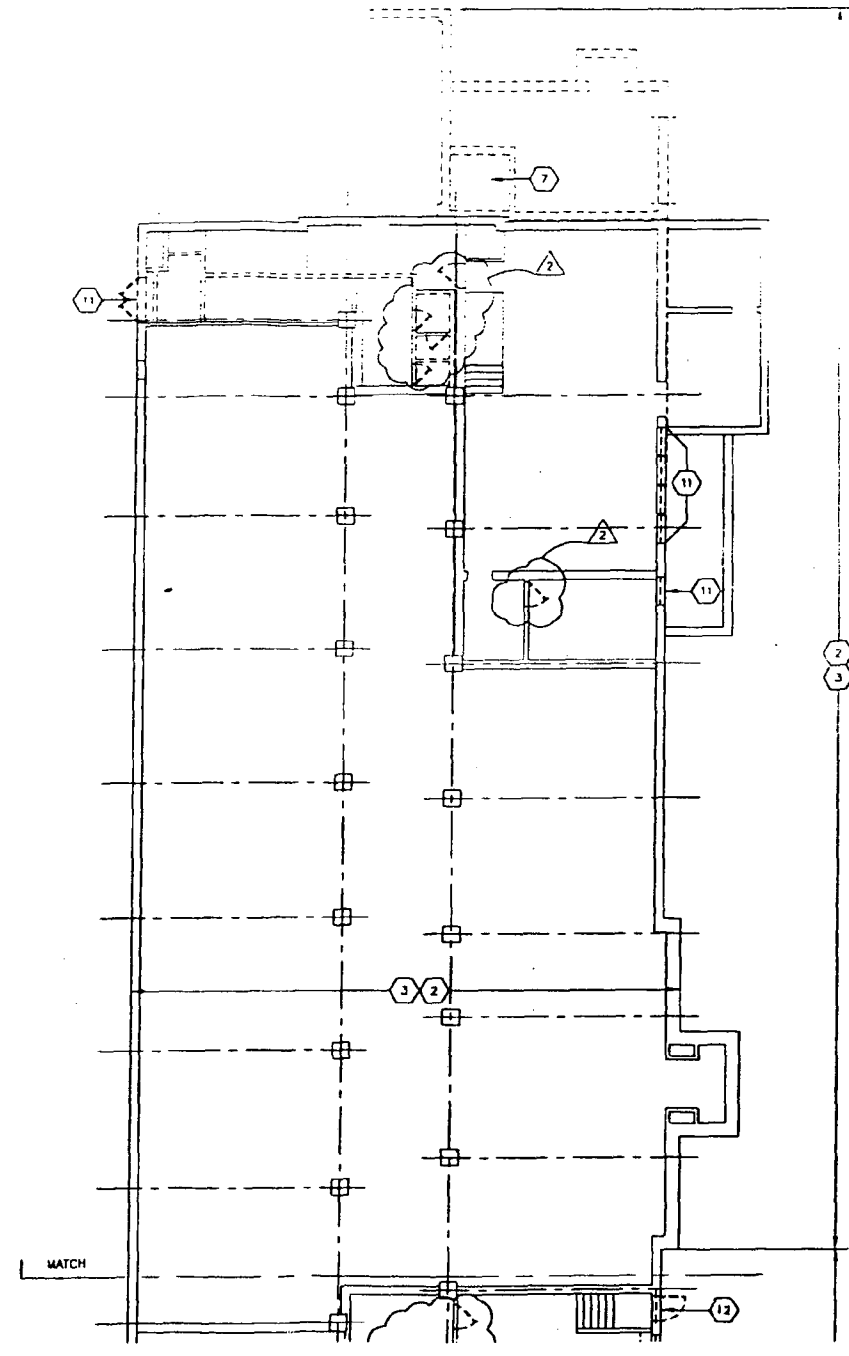
DESIGNED BY	SHEET NUMBER
DRAWN BY	CONSTRUCTION SET
CHECKED BY	BUILDING PERMIT
DATE	DESCRIPTION
SUBMISSION	
DRAWN BY	LCF
APPROVED BY	
CHECKED BY	SEC
TITLE	
EXISTING WEST ELEVATIONS	
PROJECT NO.	
SCALE 1/8" = 1'-0"	
DISCIPLINE ARCHITECTURAL	
A2.03	
SHEET NO.	

SEP 6 2000

AUG 21 2000



MECHANICAL ROOM-DEMO-PLAN
 1/8" = 1'-0"



ELECTRICAL ROOM-DEMO-PLAN
 1/8" = 1'-0"

SEE SHEET NO. A2.0 FOR EXISTING BUILDING
 KEYNOTES AND GENERAL NOTES

Dunham & Davis
 354 West Chiswick Avenue
 Gaithersburg, Maryland 20878
 301-948-2000

Mundell, O'Neil, Farmer & Associates
 8545 Oakton Boulevard
 22064, Fairfax, VA 22031
 703-461-8800

Brookland Frost Systems, Inc.
 2175 Noyes Court
 44700, Cleveland, OH 44121
 216-224-3412

THORNTON ASSOCIATES, LIGHTING
 5115 Melrose Boulevard NW
 Washington, DC 20015
 202-334-1711

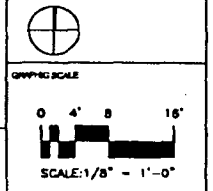
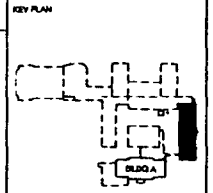
Montgomery County Lighting Association, Inc.
 1823 Alconer Avenue, NW
 Washington, DC 20007
 202-334-4000

Heller & Miller, P.C.
 5130 Annapolis Avenue, NW Suite 510
 Washington, DC 20015
 202-384-2022

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



REVISION	DATE	BY	DESCRIPTION

DRAWN BY _____
 APPROVED BY _____
 CHECKED BY _____

TITLE
**BUILDING C
 GROUND LEVEL
 DEMOLITION PLAN**

PROJECT NO.
 SCALE: 1/8" = 1'-0"
 DISCIPLINE: ARCHITECTURAL

A2.0C

AUG 21 2000
 SEP 5 2000

SEE SHEET NO A2.0 FOR EXISTING BUILDING
KEYNOTES AND GENERAL NOTES

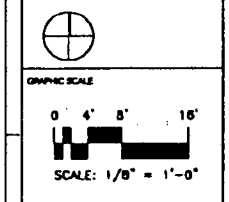
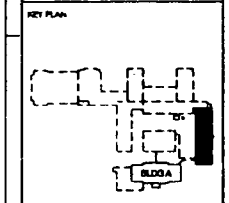
Densberry & Davis
 10000 Rockville Pike
 Suite 200
 Rockville, Maryland 20850
 Tel: 301-761-1000
 Fax: 301-761-1001
 www.densberry.com

Montgomery County Public Schools
 10000 Rockville Pike
 Suite 200
 Rockville, Maryland 20850
 Tel: 301-761-1000
 Fax: 301-761-1001
 www.densberry.com

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



NO.	DATE	BY	REVISION

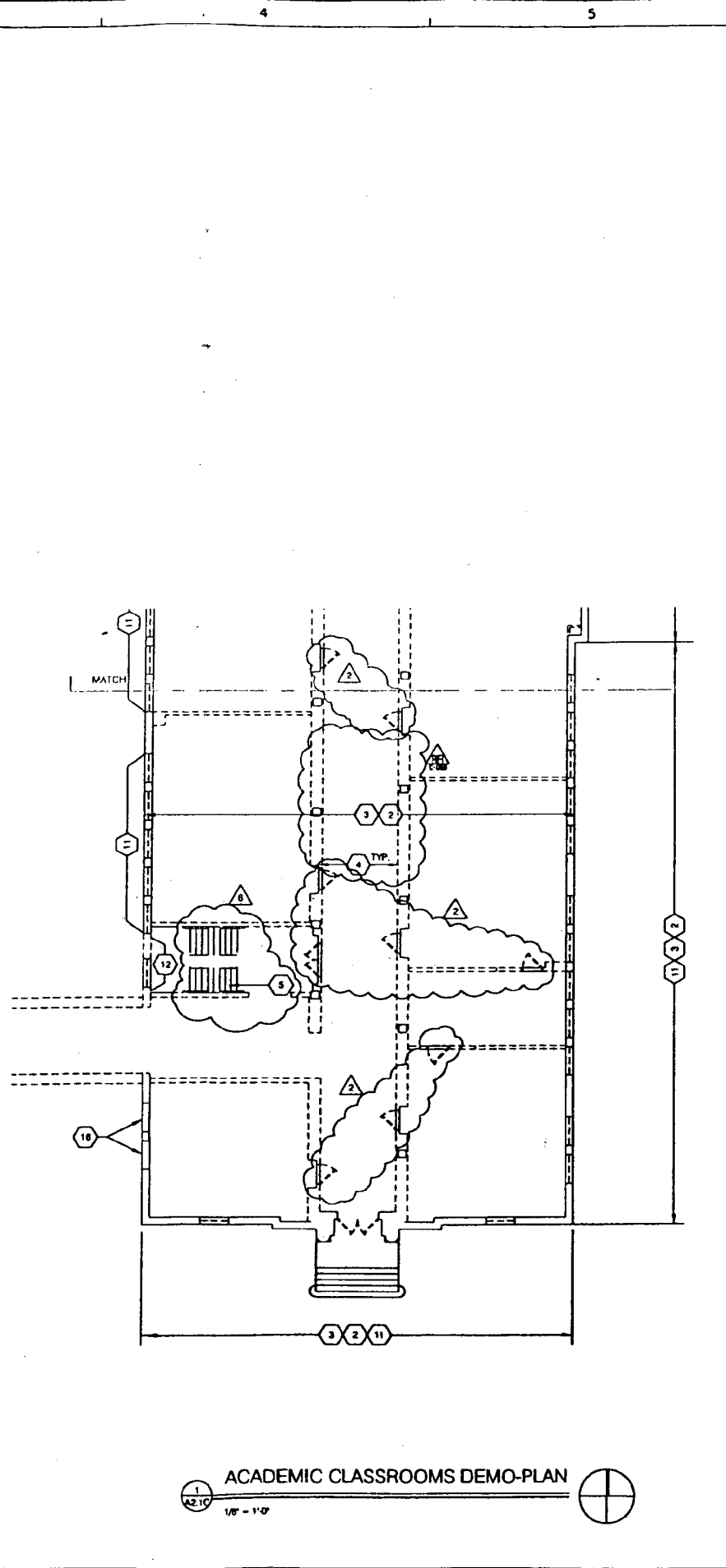
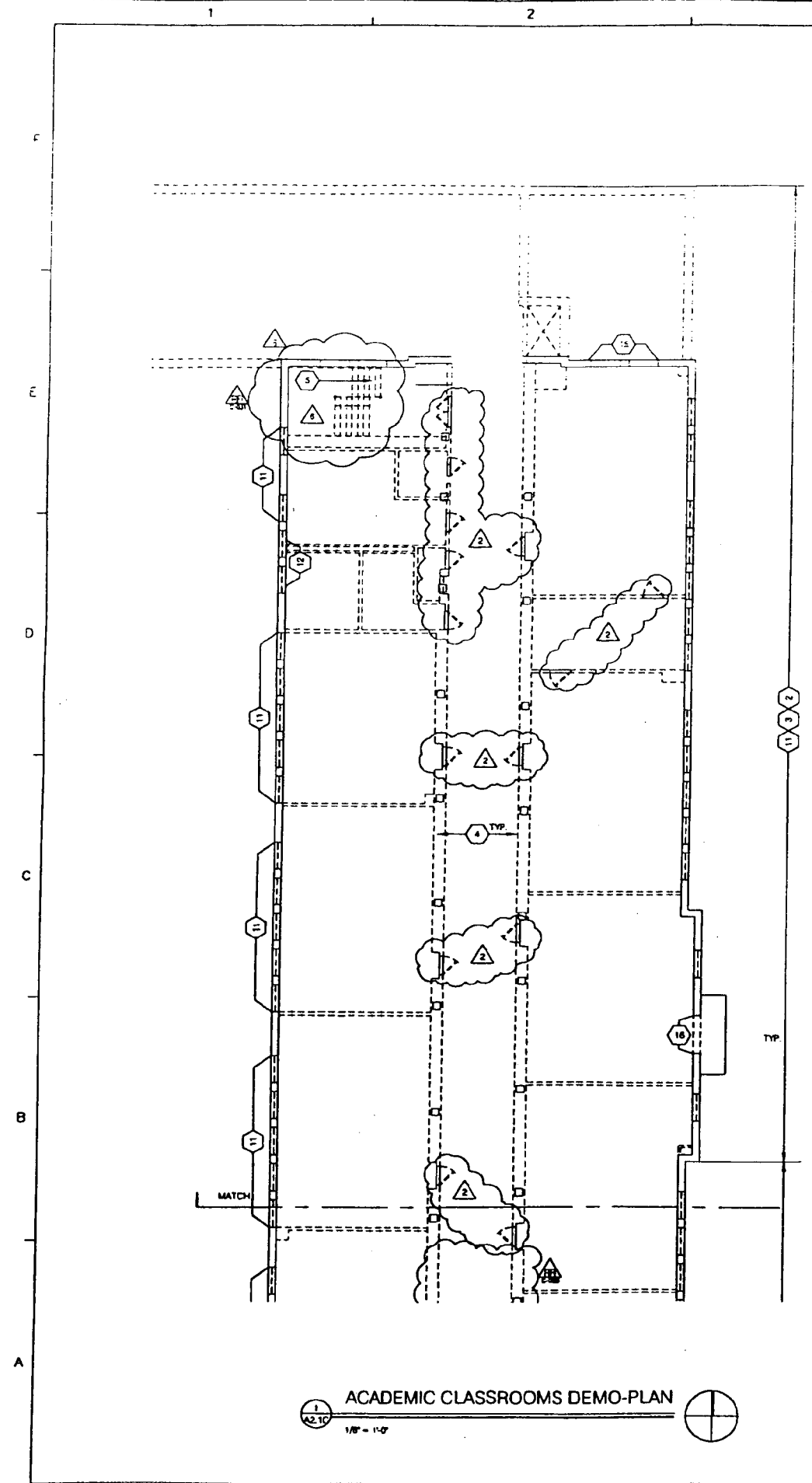
DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: **SEC**

TITLE
**BUILDING C
 FIRST LEVEL
 DEMOLITION PLAN**

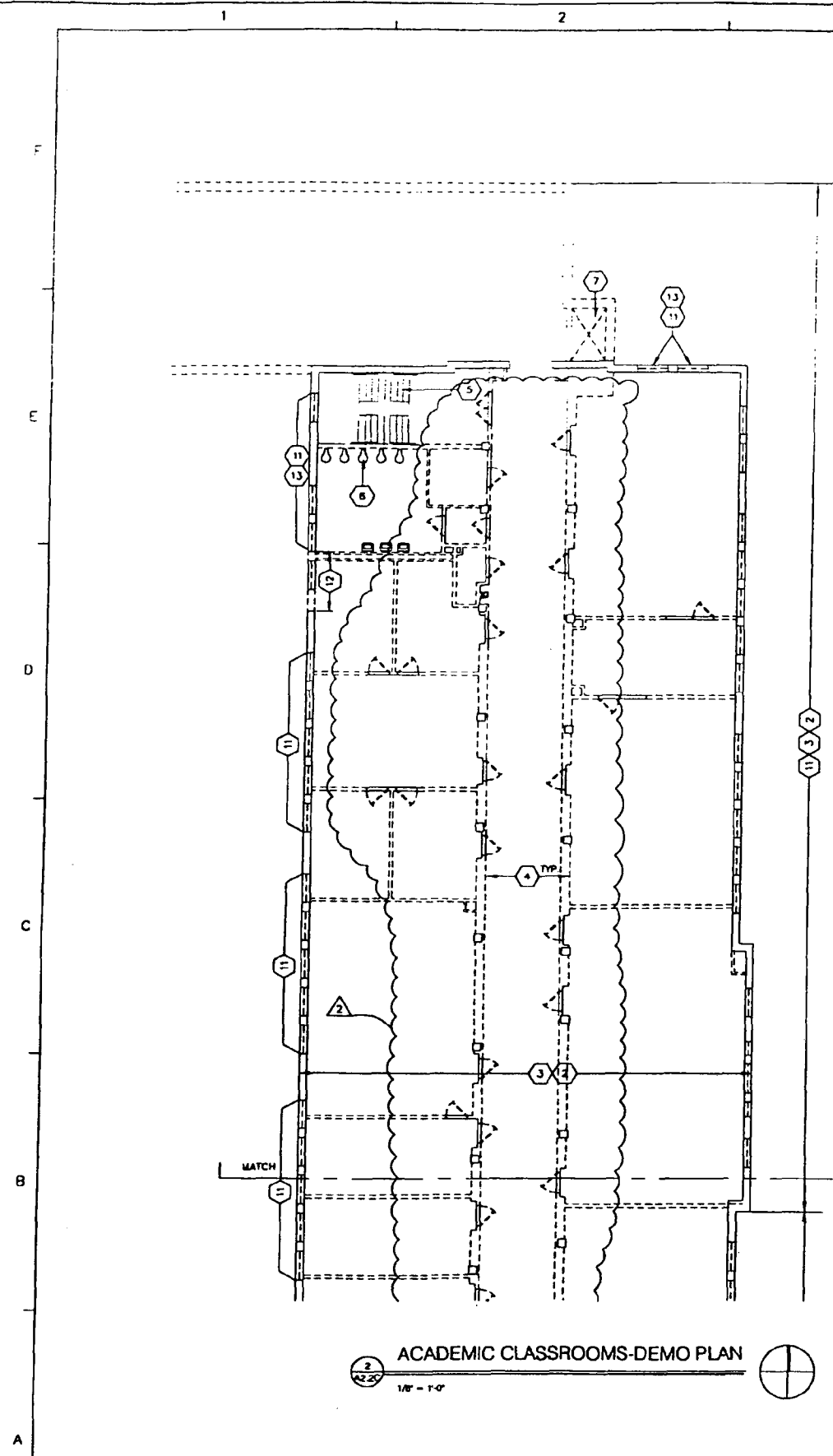
PROJECT NO.
A2.1C

SCALE: 1/8" = 1'-0"
 DISCIPLINE: ARCHITECTURAL

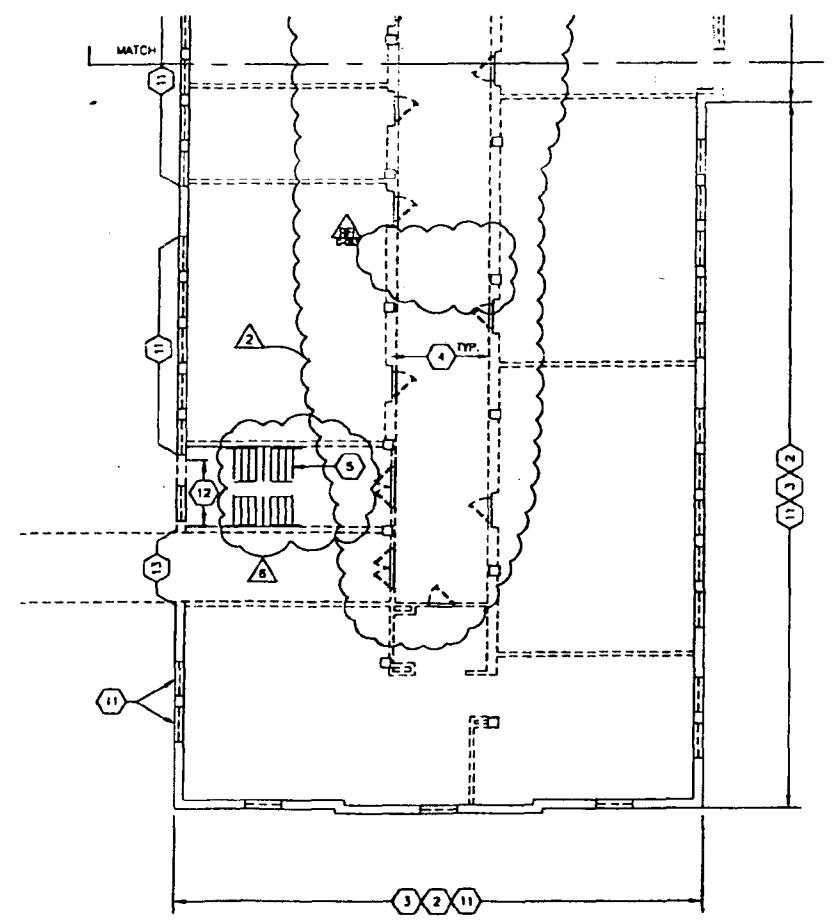
SHEET NO.



SEP 6 2000



2
A2.2C
1/8" = 1'-0"



1
A2.2C
1/8" = 1'-0"

SEE SHEET NO. A2.0 FOR EXISTING BUILDING KEYNOTES AND GENERAL NOTES

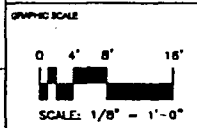
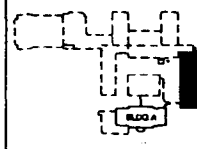
- Dowling & Davis**
- Dowling and Davis
100 West F Street Avenue
Bethesda, Maryland 20814
202-344-3300
- Montgomery Public Schools
1000 Rockville Avenue
Rockville, Maryland 20851
301-440-4100
- Shelton & Smith Systems, Inc.
1710 Woodmont Court
Arlington, Maryland 21417
301-274-2117
- Architectural Record Systems
1115 Massachusetts Avenue
Washington, DC 20004
202-346-1111
- Montgomery County Lighting Association, Inc.
1000 Wisconsin Avenue, NW
Washington, DC 20007
202-366-8000
- Miller & Meyer P.C.
3110 Wilson Boulevard, Suite 510
Arlington, VA 22204
703-441-1000

Bethesda-Chevy Chase
High School
Modernization

Montgomery County,
Maryland

Montgomery County
Public Schools

KEY PLAN



NO.	DATE	BY	DESCRIPTION

DESIGNED BY _____
 APPROVED BY _____
 CHECKED BY **SEC**

TITLE
 BUILDING C
 SECOND LEVEL
 DEMOLITION PLAN

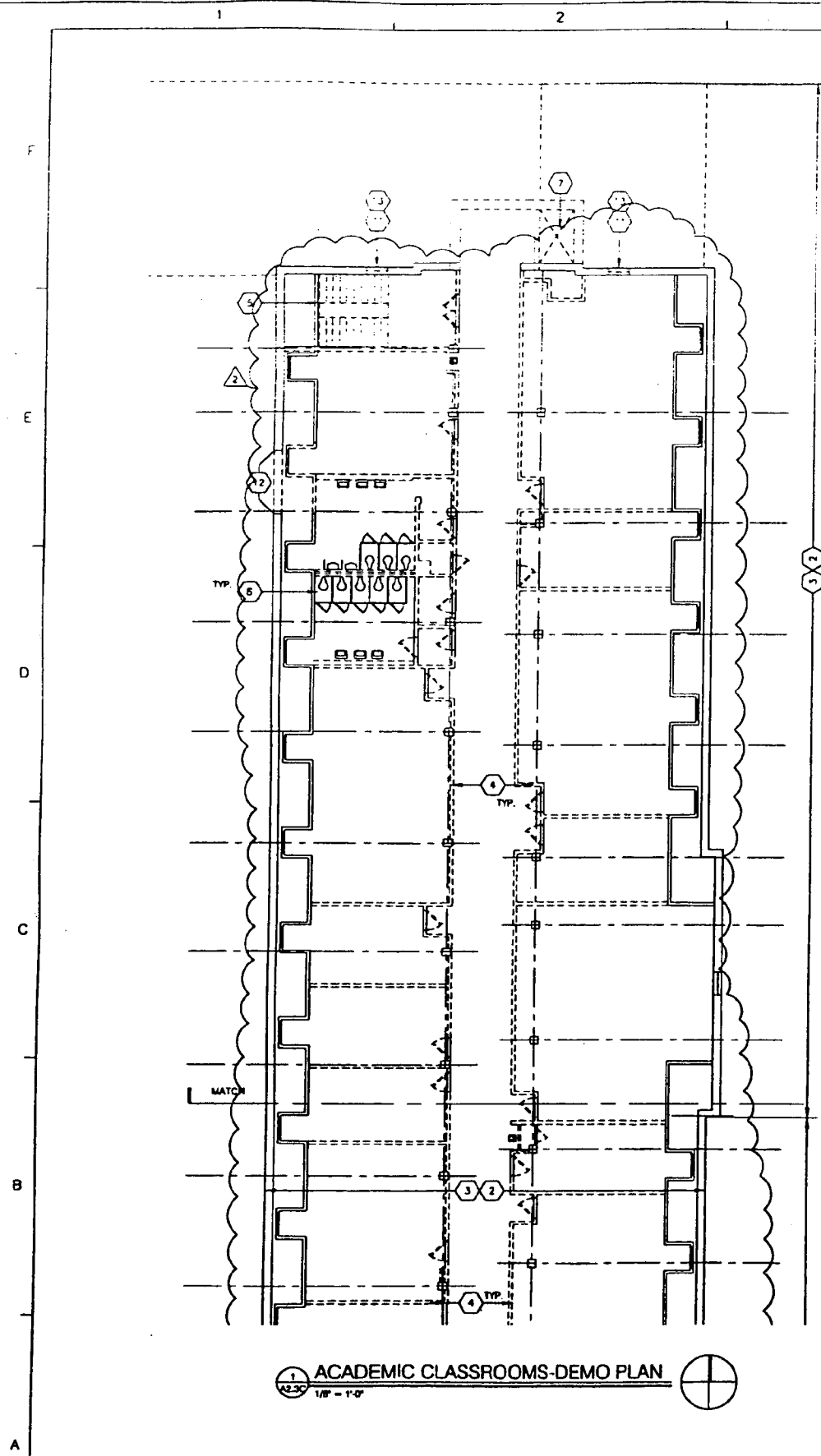
PROJECT NO.
 SCALE 1/8" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A2.2C

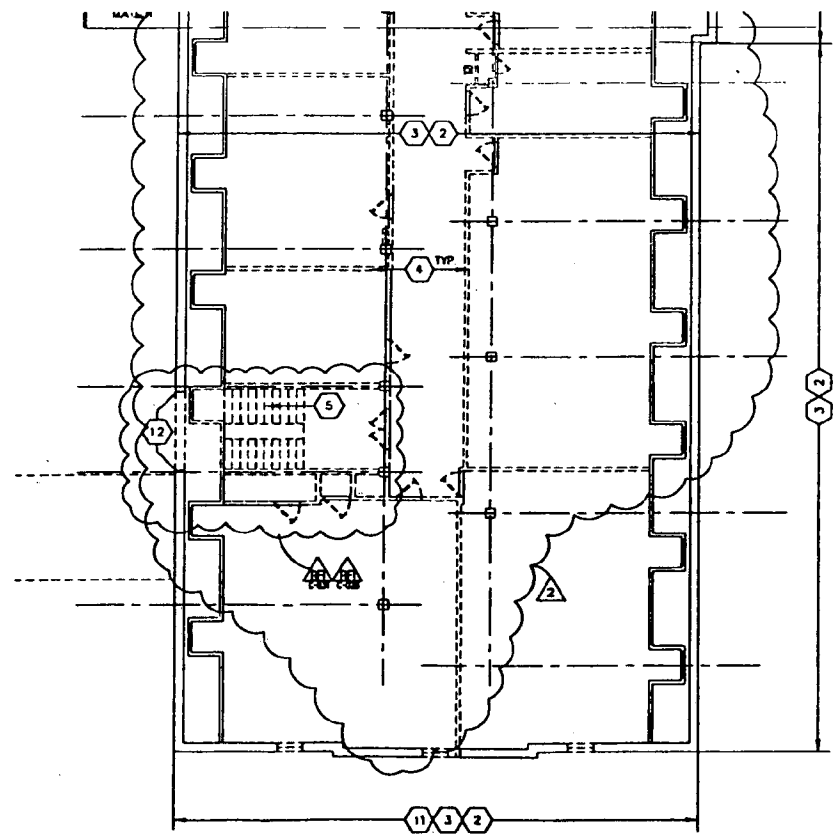
CRSS TRANSFER DRAWINGS 06/07/00 SEE NOTE ON CS0.01

SEP 9 2000

AUG 21 2000



1 ACADEMIC CLASSROOMS-DEMO PLAN
 1/8" = 1'-0"

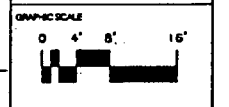
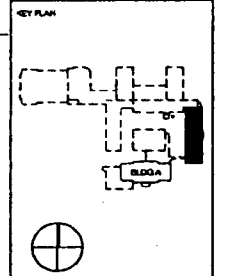


2 ACADEMIC CLASSROOMS-DEMO PLAN
 1/8" = 1'-0"

SEE SHEET NO A2.3 FOR EXISTING BUILDING
 KEYNOTES AND GENERAL NOTES

Dewberry & Davis
 Architects
 600 West North Avenue
 Gaithersburg, Maryland 20878
 (301) 948-0000
 Maryland, Illinois, Virginia & Associates
 6500 Sully Road
 Rockville, Maryland 20850
 (301) 948-0000
 3rd Floor
 200 West North Avenue
 Gaithersburg, Maryland 20878
 (301) 948-0000
 Professional Engineers
 1115 Massachusetts Avenue, NE
 Washington, DC 20002
 (202) 544-1111
 Morgan T. Jerny Lighting Associates, Inc.
 1000 Wisconsin Avenue, NW
 Washington, DC 20007
 (202) 638-4000
 Huber & Voigt, P.C.
 1100 Wisconsin Avenue, NW, Suite 810
 Washington, DC 20005
 (202) 638-2777

Bethesda-Chevy Chase
 High School
 Modernization
 Montgomery County,
 Maryland
 Montgomery County
 Public Schools



NO.	DATE	BY	DESCRIPTION

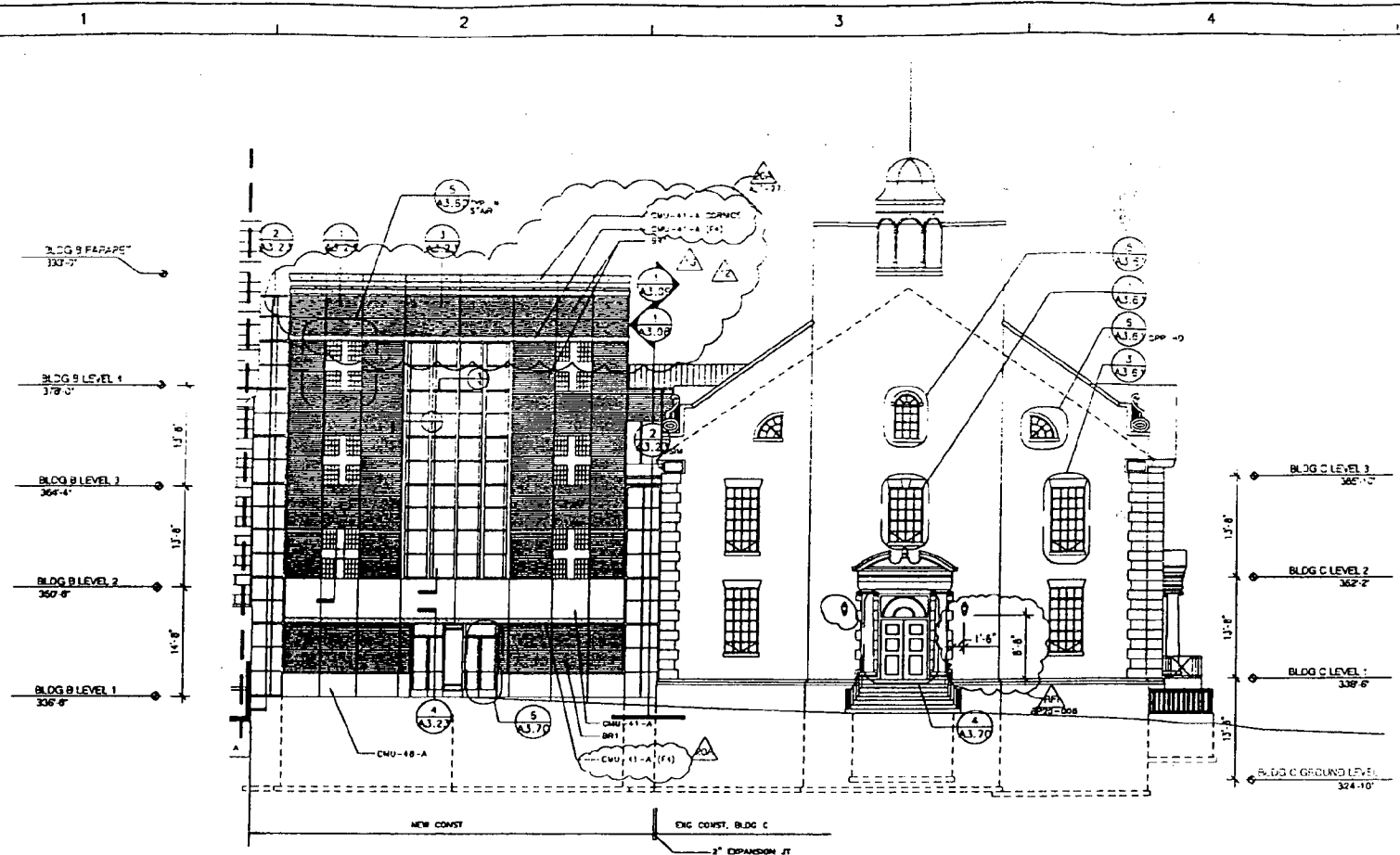
DRAWN BY _____
 APPROVED BY _____
 CHECKED BY _____

TITLE
**BUILDING C
 THIRD LEVEL
 DEMOLITION PLAN**

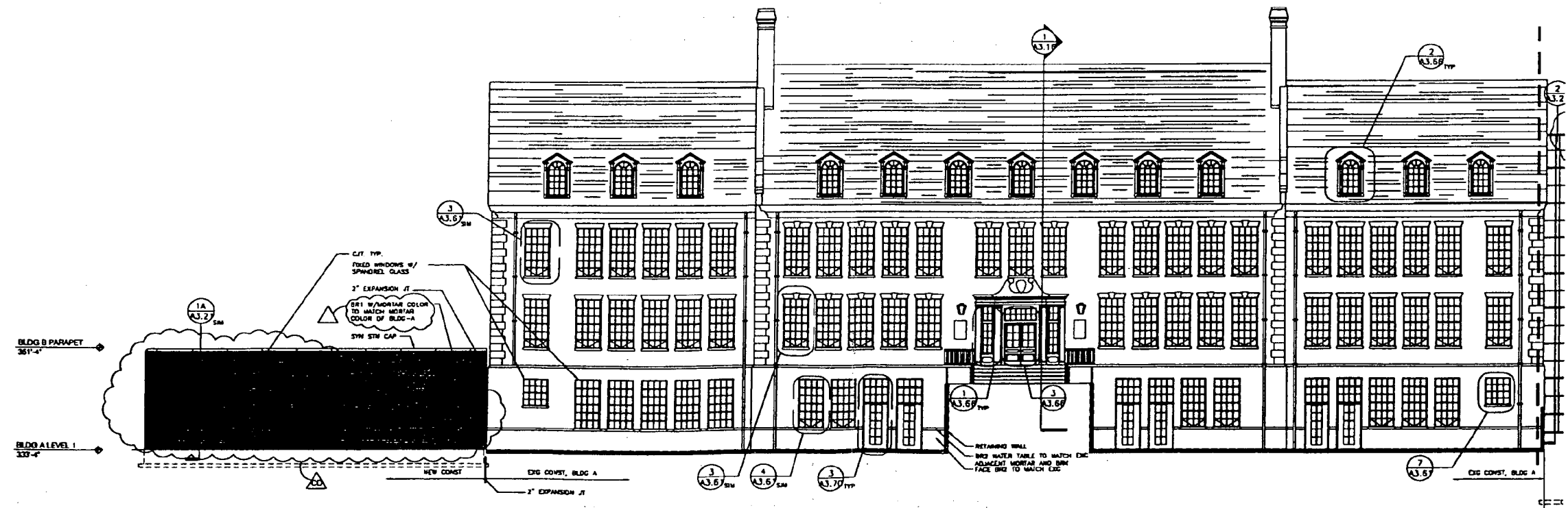
PROJECT NO.
 SCALE 1/8" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A2.3C

AUG 2 1999
 10:00 AM
 1000



1 SOUTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION Continued
1/8" = 1'-0"

Dougherty & Davis
Architects

Company and Date:
501 and 20th Street
Cathayville, Maryland 20614
(301) 271-2200

Architect: Doug. F. Davis & Associates
1900 Jackson Boulevard
Northville, Maryland 20832
(301) 483-8800

Architect of Record:
P.O. Box 3000
Bethesda, Maryland 20814
(301) 271-1112

Professional Seal:
1115 Wisconsin Avenue, NW
Washington, DC 20037
(202) 241-1111

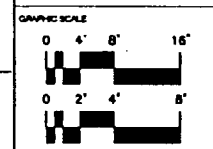
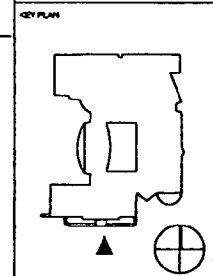
Modern Country Lighting Associates, Inc.
1403 Wisconsin Avenue, NW
Washington, DC 20007
(202) 288-4800

John S. Miller, P.C.
1115 Wisconsin Avenue, NW, Suite 113
Washington, DC 20037
(202) 241-2222

Bethesda-Chevy Chase
High School
Modernization

Montgomery County,
Maryland

Montgomery County
Public Schools



OWNER	SHEET RESUME
DESIGNER	SHEET RESUME
CONTRACTOR	CONSTRUCTION SET
PERMITTING	BUILDING PERMIT
DATE	BY

DRAWN BY: LCF
APPROVED BY: SEC
CHECKED BY: SEC

TITLE
SOUTH BUILDING ELEVATION

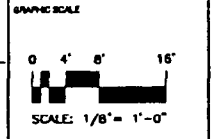
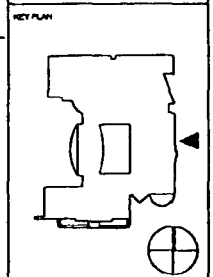
PROJECT NO.
SCALE 1/8" = 1'-0"
DISCIPLINE ARCHITECTURAL

A3.00

POST 0 2000 SEP 0 2000

Dowberry & Davis
 Architects
 1001 Rockville Pike
 Rockville, Maryland 20850
 Tel: 301-984-8800
 Fax: 301-984-8801
 www.dowberry.com

Bethesda-Chevy Chase
 High School
 Modernization
 Montgomery County,
 Maryland
 Montgomery County
 Public Schools

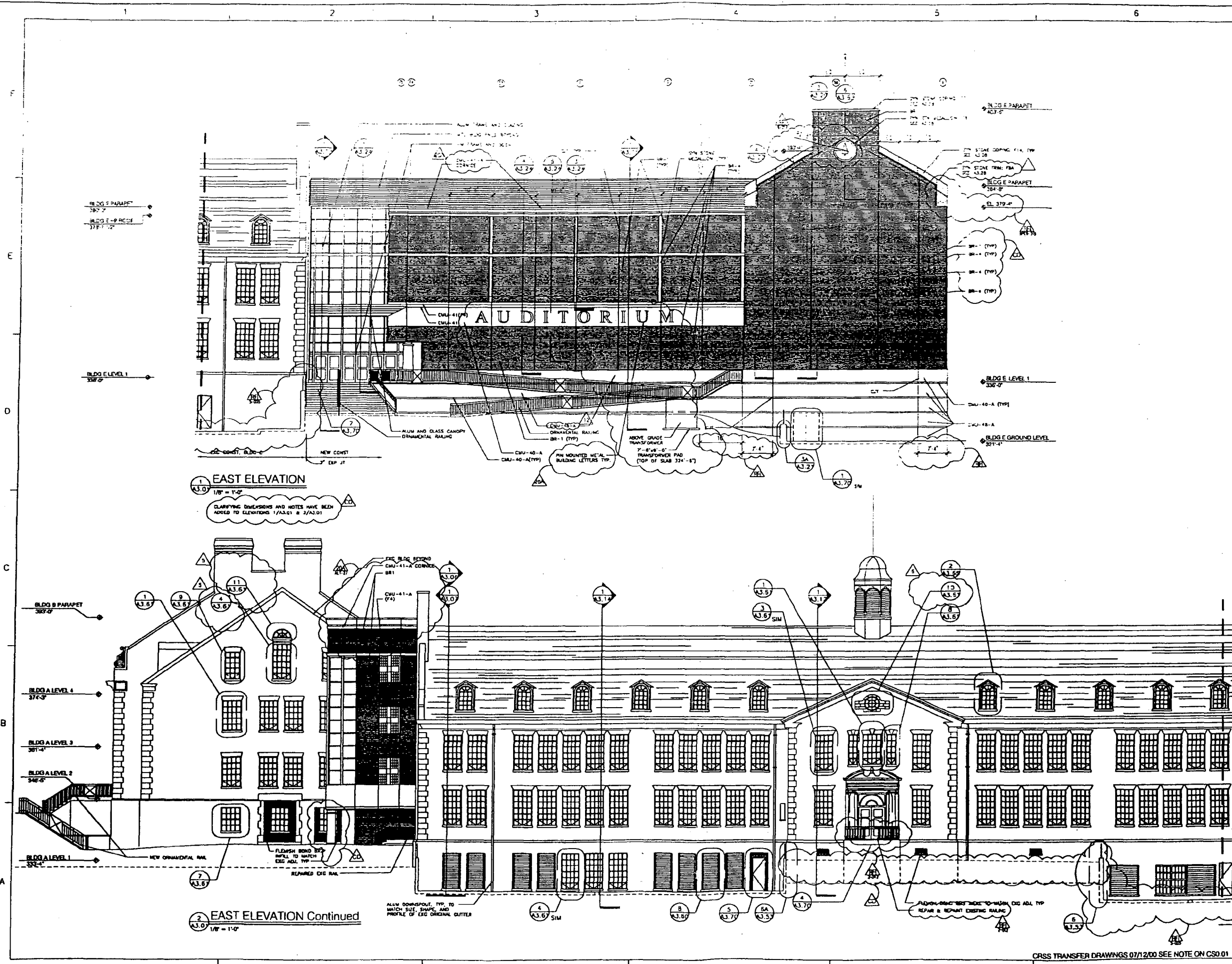


DESIGNED	SHEET NUMBER
DRAWN	SHEET TITLE
CHECKED	CONSTRUCTION SET
DATE	BUILDING PERMIT
BY	DESCRIPTION

DESIGNED BY: LCF
 APPROVED BY: [Signature]
 CHECKED BY: SEC

TITLE
EAST BUILDING ELEVATIONS

PROJECT NO.
 SCALE: 1/8" = 1'-0"
 DISCIPLINE: ARCHITECTURAL
A3.01
 SHEET NO.



CROSS TRANSFER DRAWINGS 07/12/00 SEE NOTE ON CS0.01

1000 2 1 2000
 1000 2 1 2000
 1000 2 1 2000

Dunberry & Davis
 Architects
 501 West Third Street
 Gaithersburg, Maryland 20878
 301.948.0200

Montgomery Public Schools
 6700 Corporate Boulevard
 Rockville, Maryland 20850
 301.745.8800

McCrackin Construction, Inc.
 7700 Rockville Road
 Rockville, Maryland 20851
 301.724.2412

Thomas & Associates Engineers
 1111 Massachusetts Avenue, NE
 Washington, DC 20002
 202.744.7171

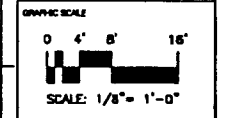
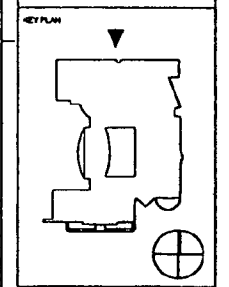
Modern County Lighting Associates, Inc.
 1023 W. North Street, N. Lee
 Washington, DC 20007
 202.236.4000

Hyder & Moore, P.C.
 1100 Massachusetts Avenue, NW
 Washington, DC 20004
 202.384.7227

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



NO.	DATE	BY	REVISION

DRAWN BY: LCF
 APPROVED BY: SSC
 CHECKED BY: SSC

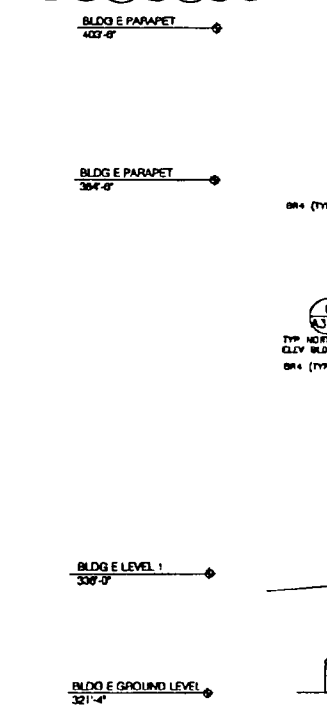
TITLE
NORTH BUILDING ELEVATIONS

PROJECT NO.
 SCALE: 1/8" = 1'-0"
 DISCIPLINE: ARCHITECTURAL

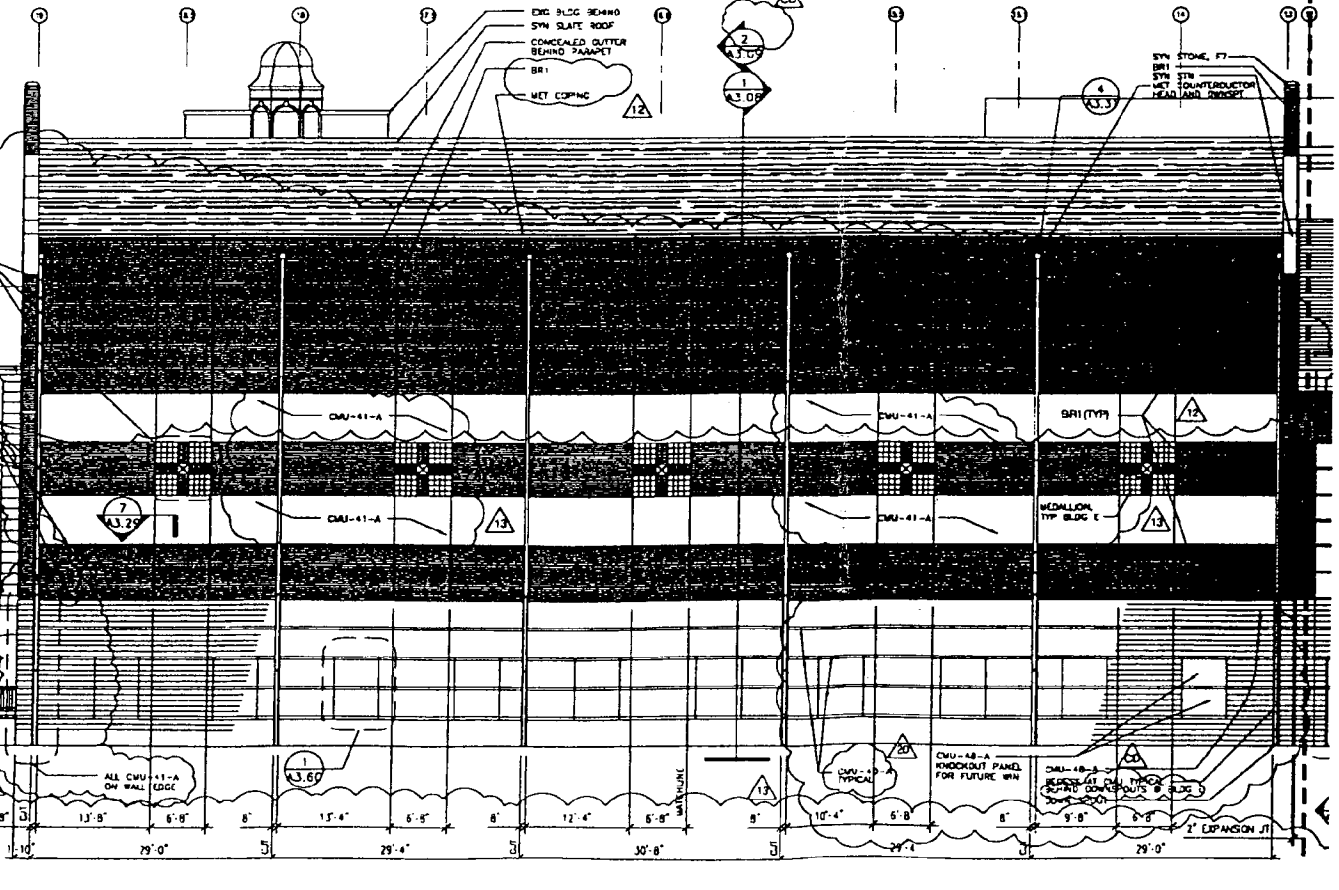
A3.02

1 NORTH ELEVATION
 1/8" = 1'-0"

CLIPPING DIMENSIONS AND NOTES HAVE BEEN ADDED TO ELEVATIONS 1/A3.02 & 2/A3.02



2 NORTH ELEVATION Continued
 1/8" = 1'-0"



0007 0 0 0000

0007 0 0 0000

0007 0 0 0000

Dewberry & Davis
 Architects
 400 West North Street
 Gaithersburg, Maryland 20878
 (301) 948-0000

Montgomery County Public Schools
 6700 Executive Boulevard
 Rockville, Maryland 20850
 (301) 498-4800

Architectural Firm
 2170 Rensselaer Court
 Gaithersburg, Maryland 20878
 (301) 224-2412

Structural Engineer
 1113 MacArthur Boulevard, NW
 Washington, DC 20024
 (202) 746-2127

MECHANICAL ENGINEER
 1823 Wisconsin Avenue, NW
 Washington, DC 20007
 (202) 298-8800

Interior Designer
 1110 Wisconsin Avenue, NW Suite 111
 Washington, DC 20007
 (202) 341-2227

SEP 3 2000

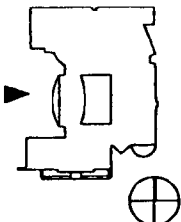
AUG 4 2000

Bethesda-Chevy Chase
 High School
 Modernization

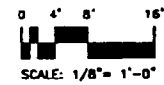
Montgomery County,
 Maryland

Montgomery County
 Public Schools

KEY PLAN



GRAPHIC SCALE



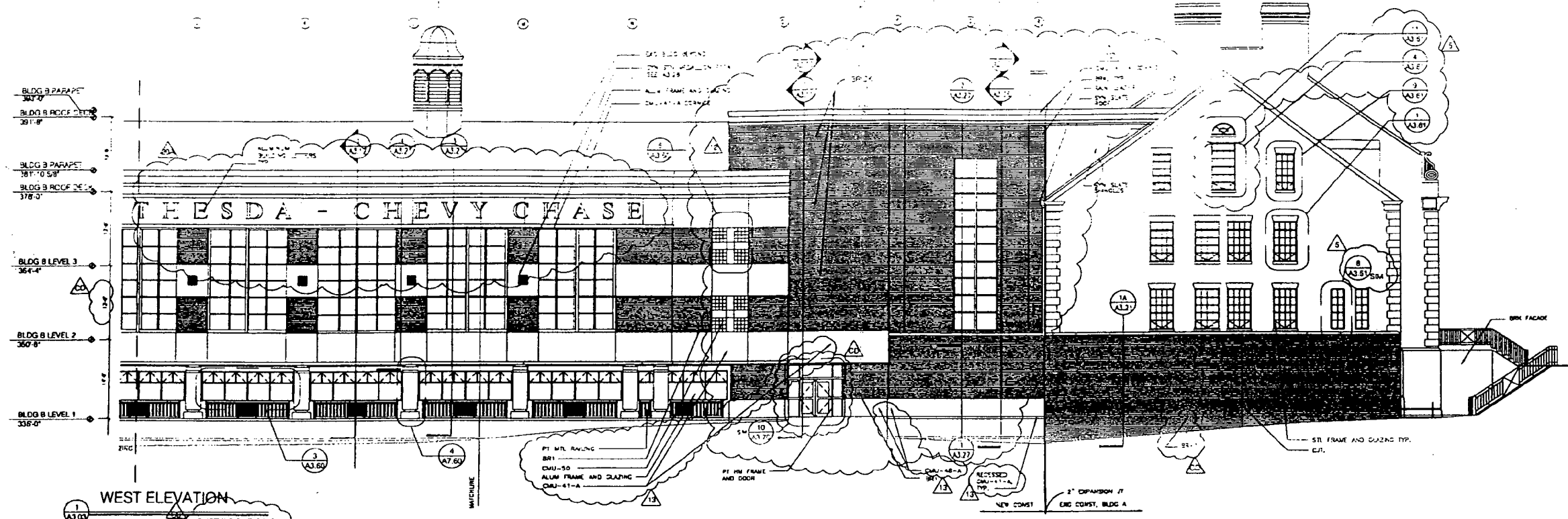
REVISED	SHEET NUMBER
ISSUED	ADDENDUM 00A
ISSUED	ADDENDUM 13
ISSUED	ADDENDUM 12
ISSUED	SHEET NUMBER
ISSUED	ADDENDUM 1
ISSUED	CONSTRUCTION SET
ISSUED	BUILDING PERMIT
NO. CHG. BY	REVISION
SUBMISSION	
DESIGNED BY	LCF
APPROVED BY	
CHECKED BY	SEC

TITLE
**WEST BUILDING
 ELEVATIONS**

PROJECT NO.
 SCALE 1/8" = 1'-0"
 DISCIPLINE ARCHITECTURAL

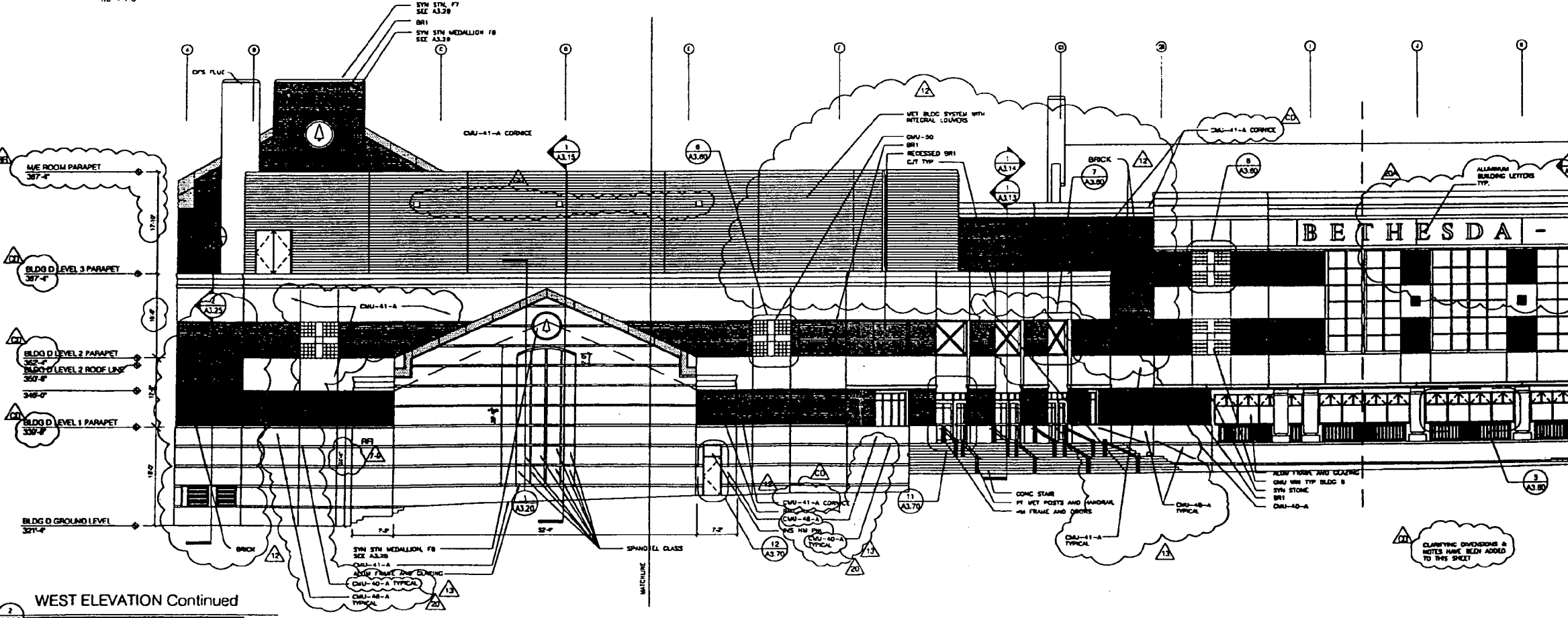
A3.03

SHEET NO.



WEST ELEVATION

1/8" = 1'-0"



WEST ELEVATION Continued

1/8" = 1'-0"

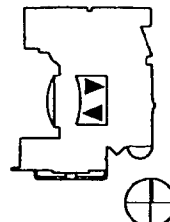
CSSS TRANSFER DRAWINGS 07/12/00 SEE NOTE ON CS0.01

Bethesda-Chevy Chase High School Modernization

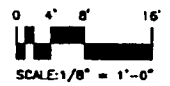
Montgomery County, Maryland

Montgomery County Public Schools

KEY PLAN



GRAPHIC SCALE



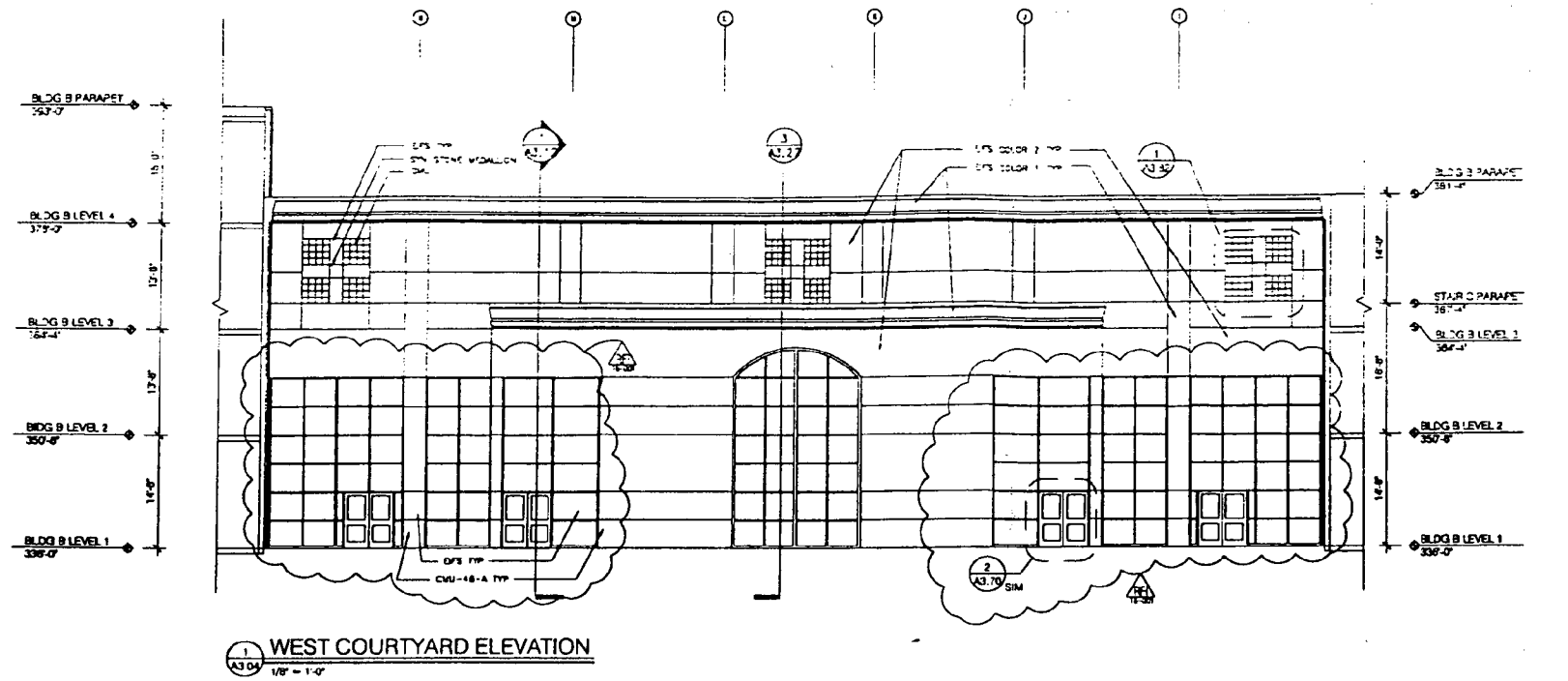
NO.	DATE	BY	DESCRIPTION

DESIGNED BY: LCF
 APPROVED BY: SEC
 CHECKED BY: SEC

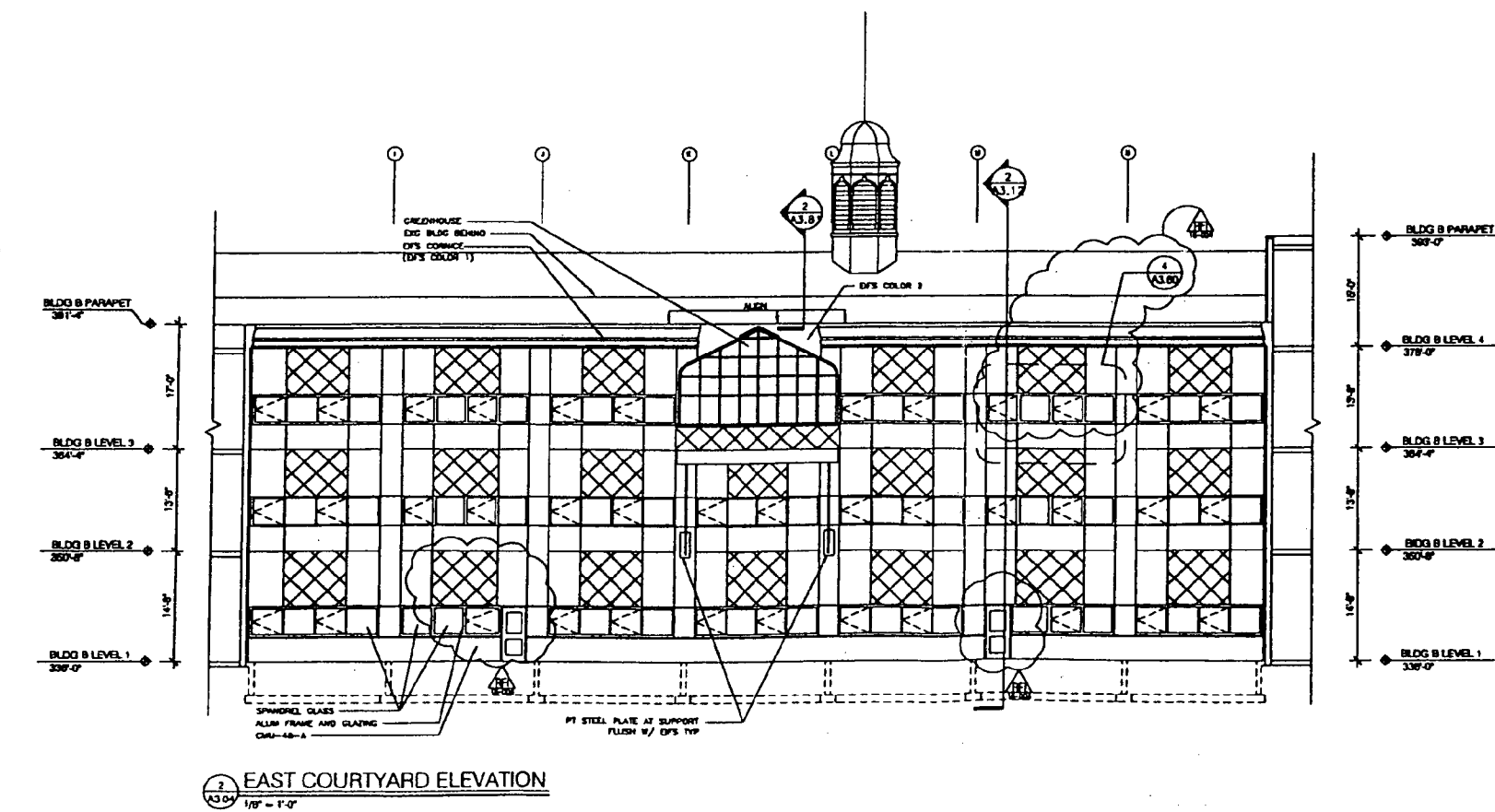
TITLE EAST AND WEST COURTYARD ELEVATIONS

PROJECT NO.
SCALE: 1/8" = 1'-0"
DISCIPLINE: ARCHITECTURAL

A3.04



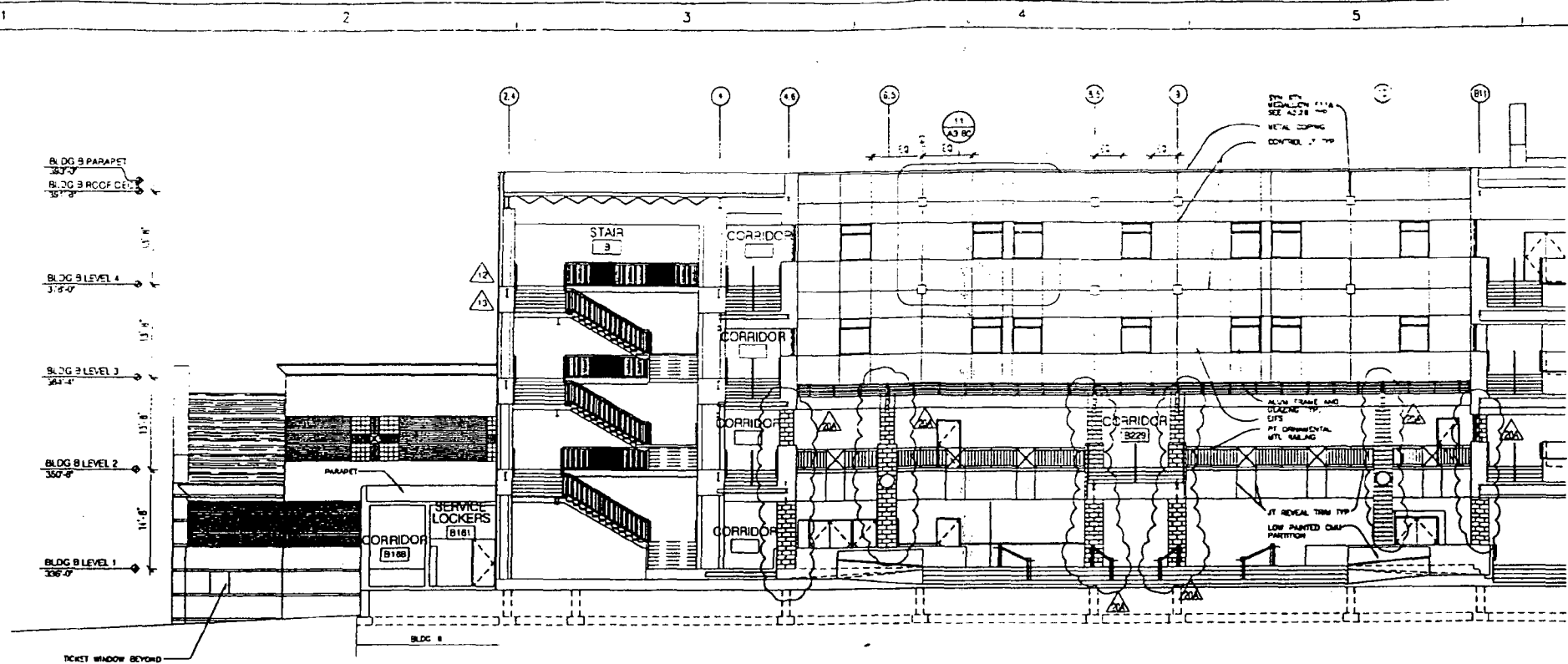
1 WEST COURTYARD ELEVATION
1/8" = 1'-0"



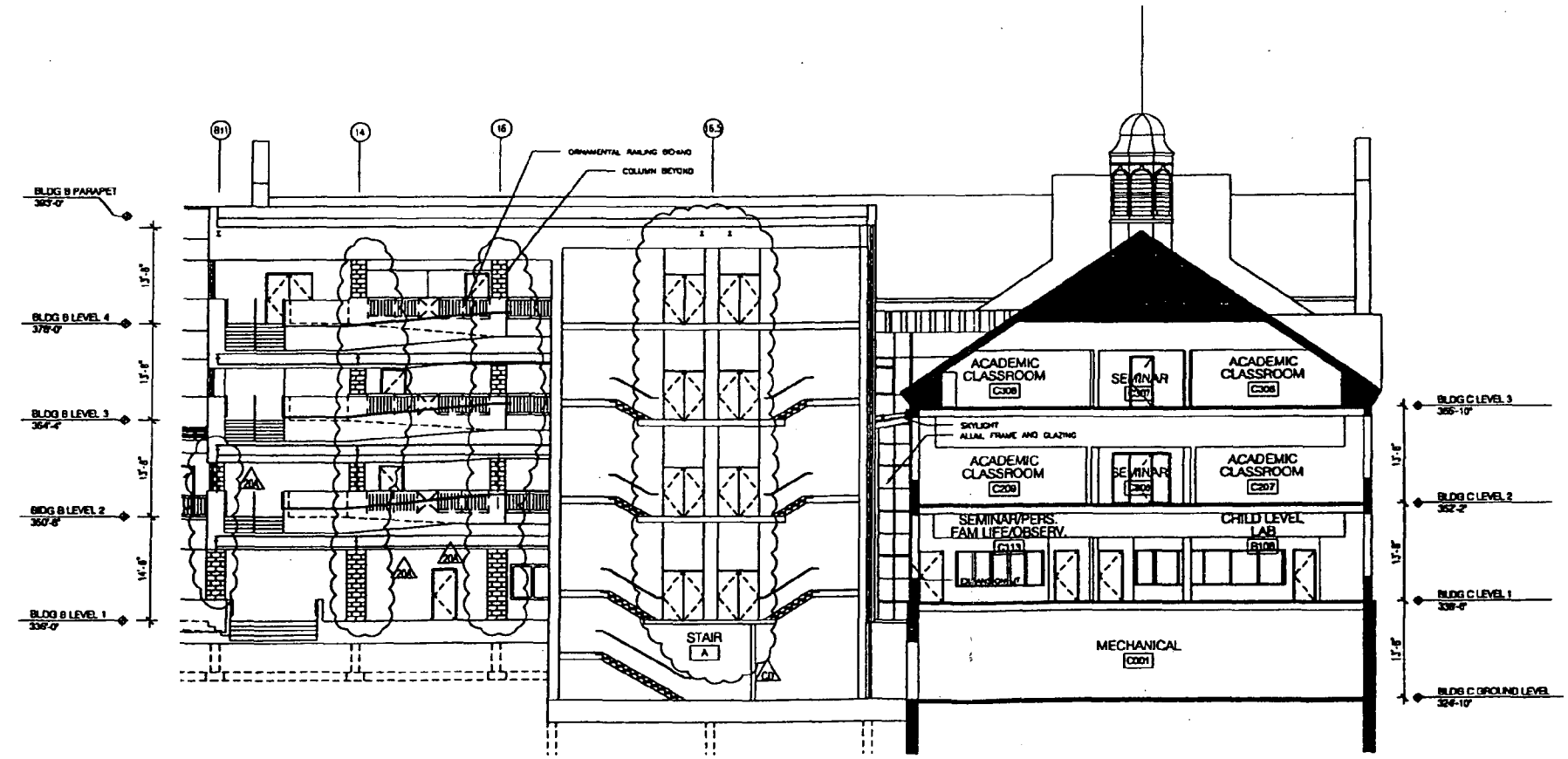
2 EAST COURTYARD ELEVATION
1/8" = 1'-0"

SEP 3 2000

AUG 21 2000



BUILDING B NORTH ELEVATION @ LIGHT WELL
 1
 A3.06
 1/8" = 1'-0"



BUILDING B NORTH ELEVATION (Continued)
 2
 A3.06
 1/8" = 1'-0"

CLARIFYING DIMENSIONS & NOTES HAVE BEEN ADDED TO THIS SHEET

Draughtery & Davis
 Drafting and Design
 800 West Chesapeake Avenue
 Gaithersburg, Maryland 20878
 (301) 344-2222
 Maryland: Project Engineer & Associate
 BDCS Building Equipment
 Potomac, Maryland 20854
 (301) 488-8822

Shorland Food Systems, Inc.
 7120 Herold Court
 Annapolis, Maryland 21411
 (410) 294-2412

Plumbers Associates, Engineers
 4115 Neaume Road, Suite 100
 Washington, DC 20018
 (202) 344-7171

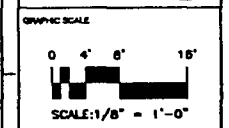
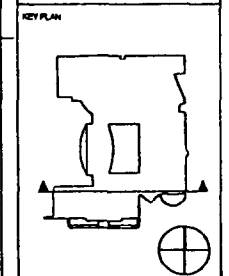
North Country Lighting Association, Inc.
 1823 Wisconsin Avenue, NW
 Washington, DC 20007
 (202) 346-6022

Haber & Miller, P.C.
 3100 Wisconsin Avenue, NW, Suite 310
 Washington, DC 20018
 (202) 344-2222

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



DATE	BY	REVISION
05/01/08	SEC	SHEET RESERVE
07/18/08	SEC	ADDENDUM 20A
07/18/08	SEC	ADDENDUM 13
07/18/08	SEC	ADDENDUM 12
08/07/08	SEC	SHEET RESERVE
08/07/08	SEC	CONSTRUCTION SET
08/07/08	SEC	BUILDING PERMIT

NO. DATE BY REVISION

DESIGNED BY: _____
 CHECKED BY: SEC

TITLE
**BUILDING B
 NORTH LIGHTWELL
 ELEVATION & SECTION**

PROJECT NO.
 SCALE 1/8" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A3.06

SHEET NO.

AUG 21 2008
 11:00 AM
 11:00 AM

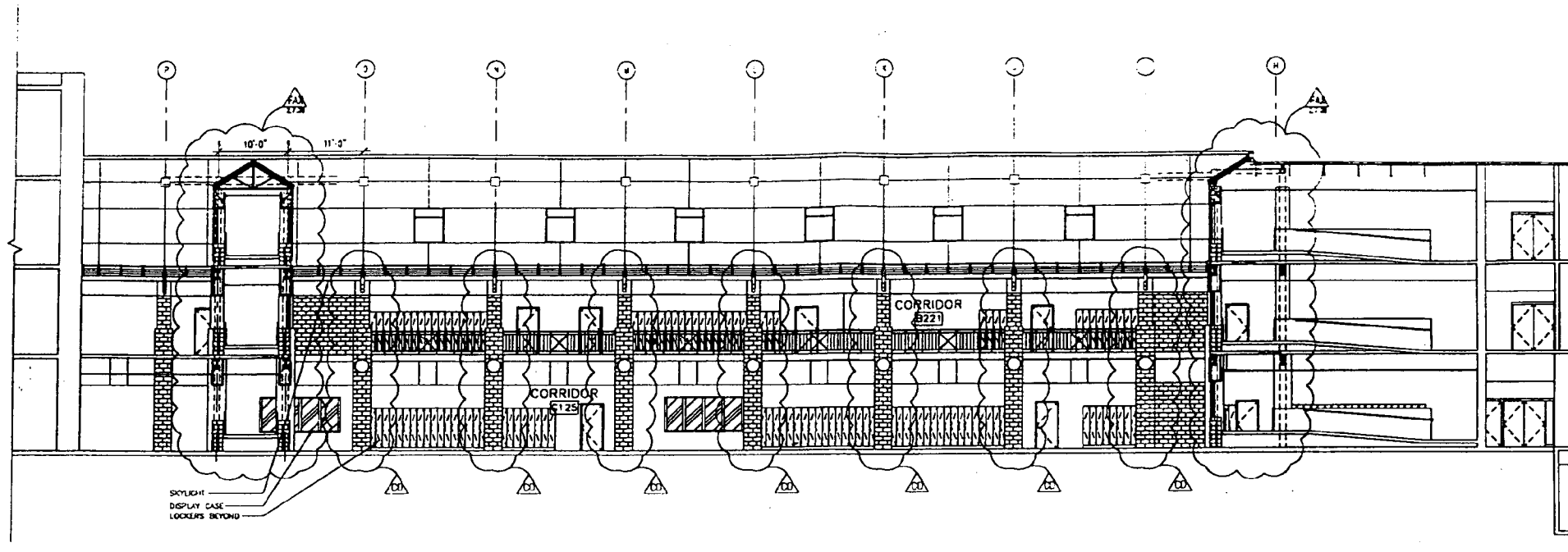
BLDG B PARAPET
363'-0"
ROOF DECK
351'-0"

BLDG B LEVEL 4
378'-0"

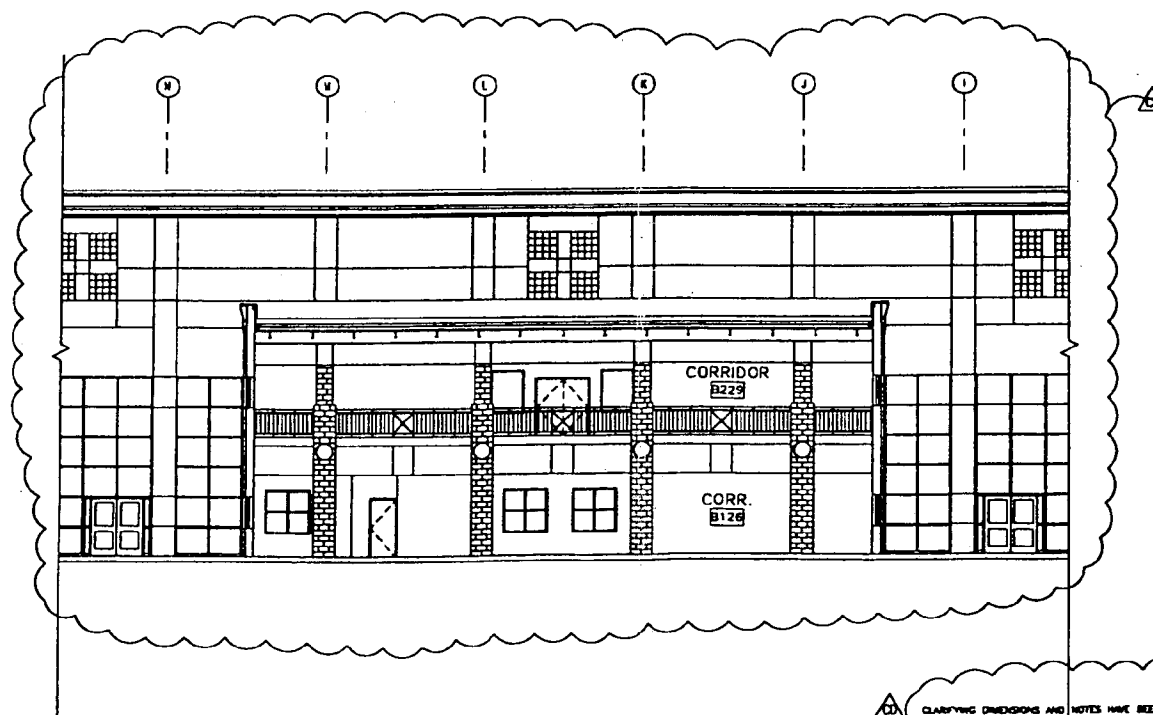
BLDG B LEVEL 3
364'-0"

BLDG B LEVEL 2
350'-0"

BLDG B LEVEL 1
336'-0"



BLDG B EAST ELEVATION @ LIGHT WELL
1/8" = 1'-0"



BLDG B EAST ELEVATION @ STAIRWELL C
1/8" = 1'-0"

Dawberry & Davis
Architects

Design and Draft
501 West Channing Avenue
Bethesda, Maryland 20814
(301) 462-0200

Montgomery, Plans, Formas & Associates
3800 Calverton Boulevard
Rockville, Maryland 20851
(301) 458-8800

Shaw-Walsh Text Systems, Inc.
2128 Parkland Court
Annapolis, Maryland 21401
(301) 224-2412

Physicians Associates Engineers
3113 Woodlawn Boulevard, NE
Washington, DC 20018
(202) 244-7171

Urban Country Lighting Associates, Inc.
1620 Wisconsin Avenue, NW
Washington, DC 20007
(202) 298-6000

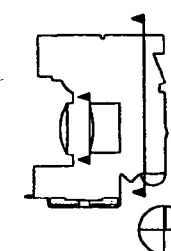
Miller & Miller, P.C.
3100 Wisconsin Avenue, NW Suite 310
Washington, DC 20018
(202) 364-2222

Bethesda-Chevy Chase
High School
Modernization

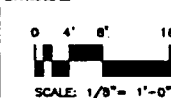
Montgomery County,
Maryland

Montgomery County
Public Schools

KEY PLAN



GRAPHIC SCALE



NO.	DATE	BY	DESCRIPTION

DRAWN BY: LCF
APPROVED BY: _____
CHECKED BY: SEC

TITLE
BUILDING B
EAST ELEVATION

PROJECT NO.
SCALE 1/8" = 1'-0"
DISCIPLINE ARCHITECTURAL

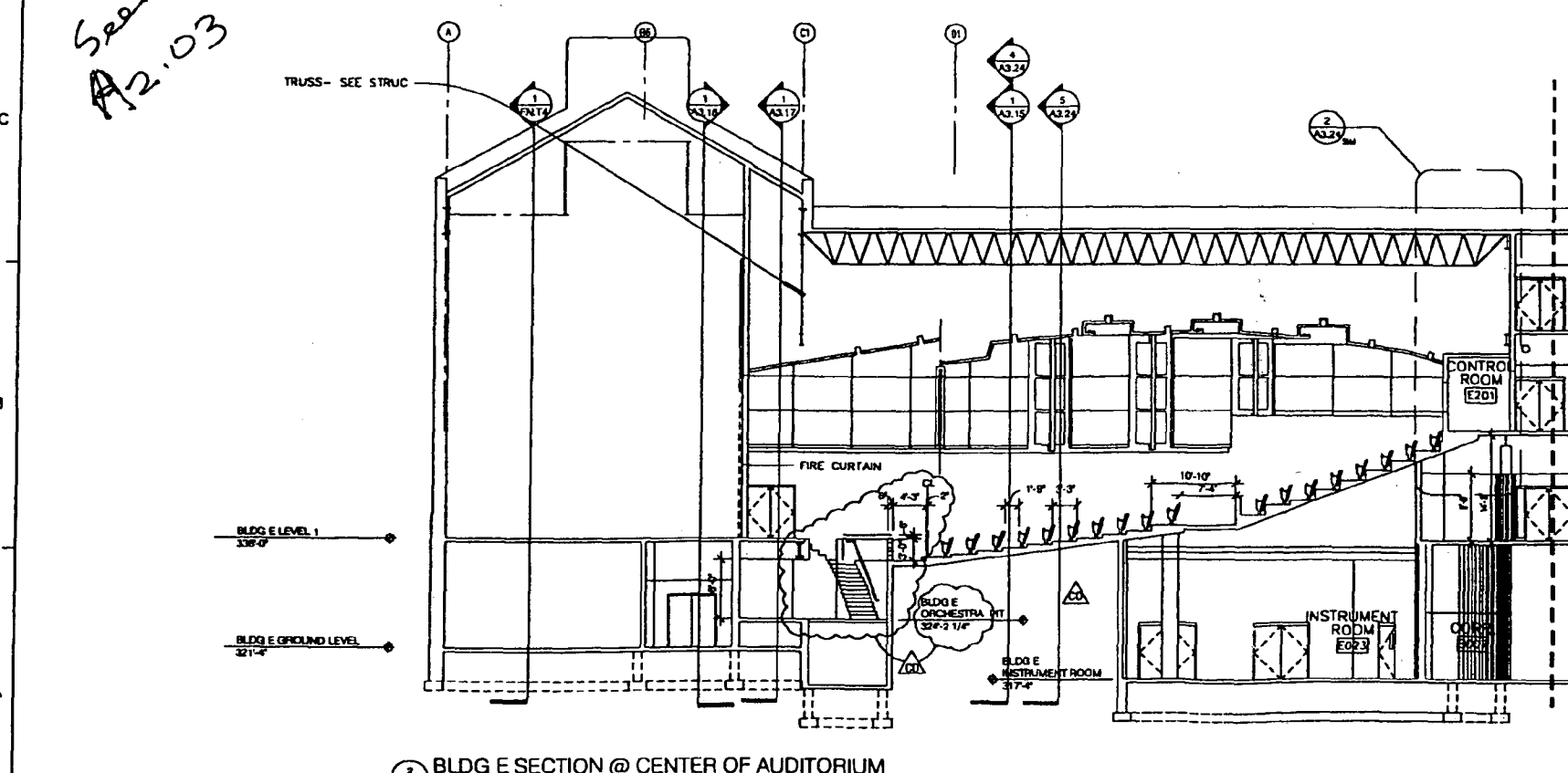
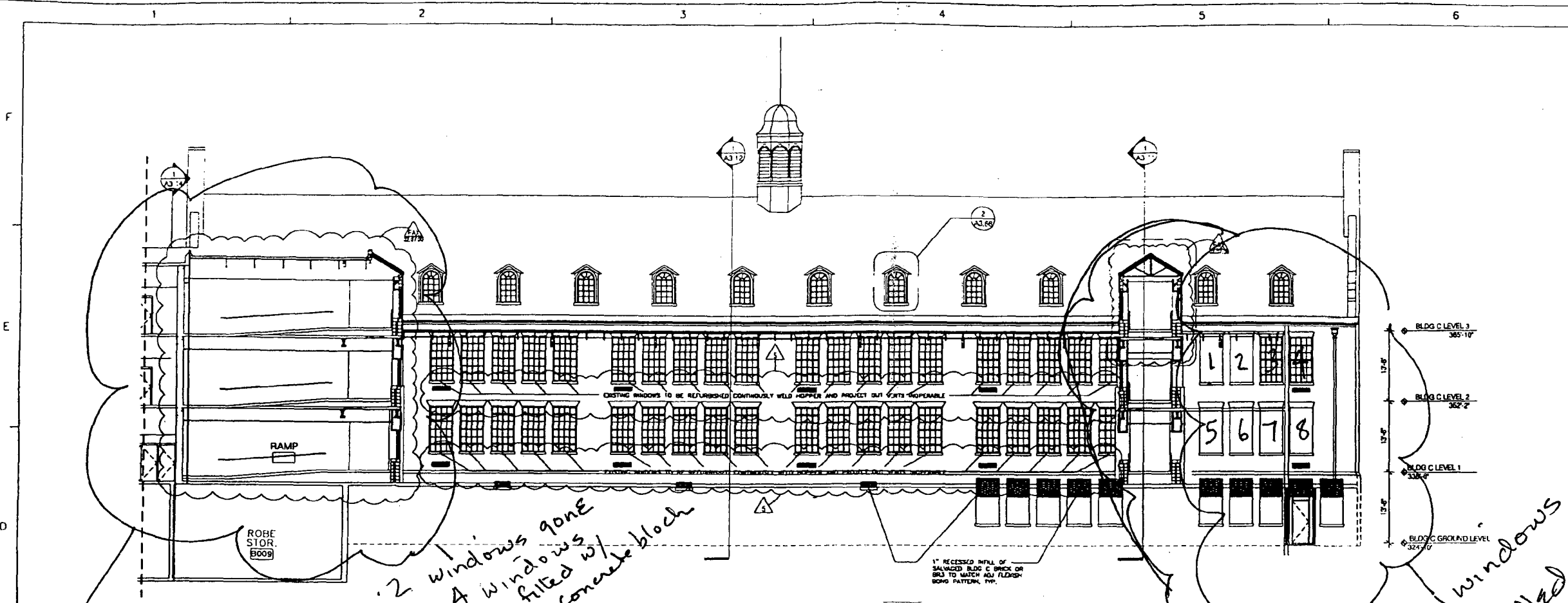
A3.08

PROJECT NO.

CROSS TRANSFER DRAWINGS 07/12/00 SEE NOTE ON CS0.01

Aug 21 2000

SEP 0 2000

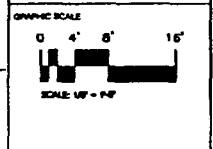
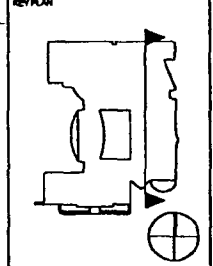


Handwritten notes:
 - Windows 1, 5, 6 - Flat brick wall no features
 - 2 - bricked in jack arch intact no sill, no indent
 - 3, 4, 7, 8 - bricked in with jack arch, sill, indent all intact

Clarifying dimensions and notes have been added to this sheet.

Dowberry & Davis
 Architects
 400 West Chesapeake Avenue
 Gaithersburg, Maryland 20878
 Tel: 301-281-0333
 Fax: 301-281-0334
 Maryland: 1000 F Street, Suite 300
 Rockville, Maryland 20854
 Tel: 301-484-8822
 Fax: 301-484-8823
 Maryland: 7200 Systems, Inc.
 7170 The West Club
 Annapolis, Maryland 21401
 Tel: 410-291-2172
 Fax: 410-291-2173
 Maryland: 1115 MacArthur Boulevard, Suite 100
 Washington, DC 20016
 Tel: 202-384-7111
 Fax: 202-384-7112
 Maryland: 1000 F Street, Suite 300
 Rockville, Maryland 20854
 Tel: 301-484-8822
 Fax: 301-484-8823

Bethesda-Chevy Chase
 High School
 Modernization
 Montgomery County,
 Maryland
 Montgomery County
 Public Schools



DESIGNER	SHEET NUMBER
DRAWN	APPENDIX NO. 8
CHECKED	CONSTRUCTION SET
DATE	BUILDING PERMIT
SUBMISSIONS	
DATE	BY
DATE	BY
DATE	BY
DATE	BY

DESIGNED BY LCF
 APPROVED BY SEC
 CHECKED BY SEC

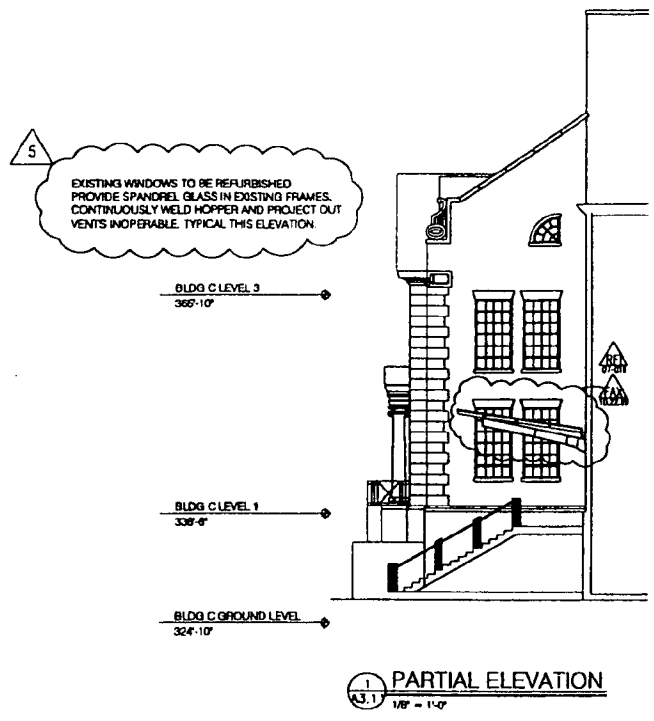
TITLE
 BUILDING C
 WEST ELEVATION/
 AUDITORIUM SECTION

PROJECT NO.
 SCALE 1/8" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A3.09

AUG 21 2000
 SEP 8 2000

F
E
D
C
B
A

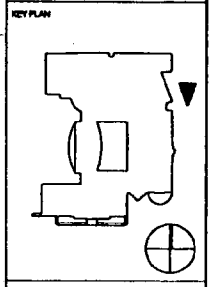


- Densberry & Davis**
Architects
- Densberry and Davis
804 West Diamond Avenue
Cockeysville, Maryland 20816
DC 7 344-0330
 - Merrill, Rice, Farnes & Associates
4200 Executive Boulevard
Bethesda, Maryland 20814
DC 7 484-8882
 - Shorrock Field Systems, Inc.
2120 Ravenel Court
Arlington, Maryland 21101
DC 7 234-3412
 - Polycor Inc. Architectural Engineers
6114 MacArthur Boulevard, NW
Washington, DC 20019
DC 2 244-7171
 - Montgomery County Lighting Associates, Inc.
1825 MacArthur Avenue, NW
Washington, DC 20007
DC 2 264-8000
 - Heller & Mator, P.C.
5100 MacArthur Avenue, NW Suite 614
Washington, DC 20019
DC 2 244-2022

Bethesda-Chevy Chase
High School
Modernization

Montgomery County,
Maryland

Montgomery County
Public Schools



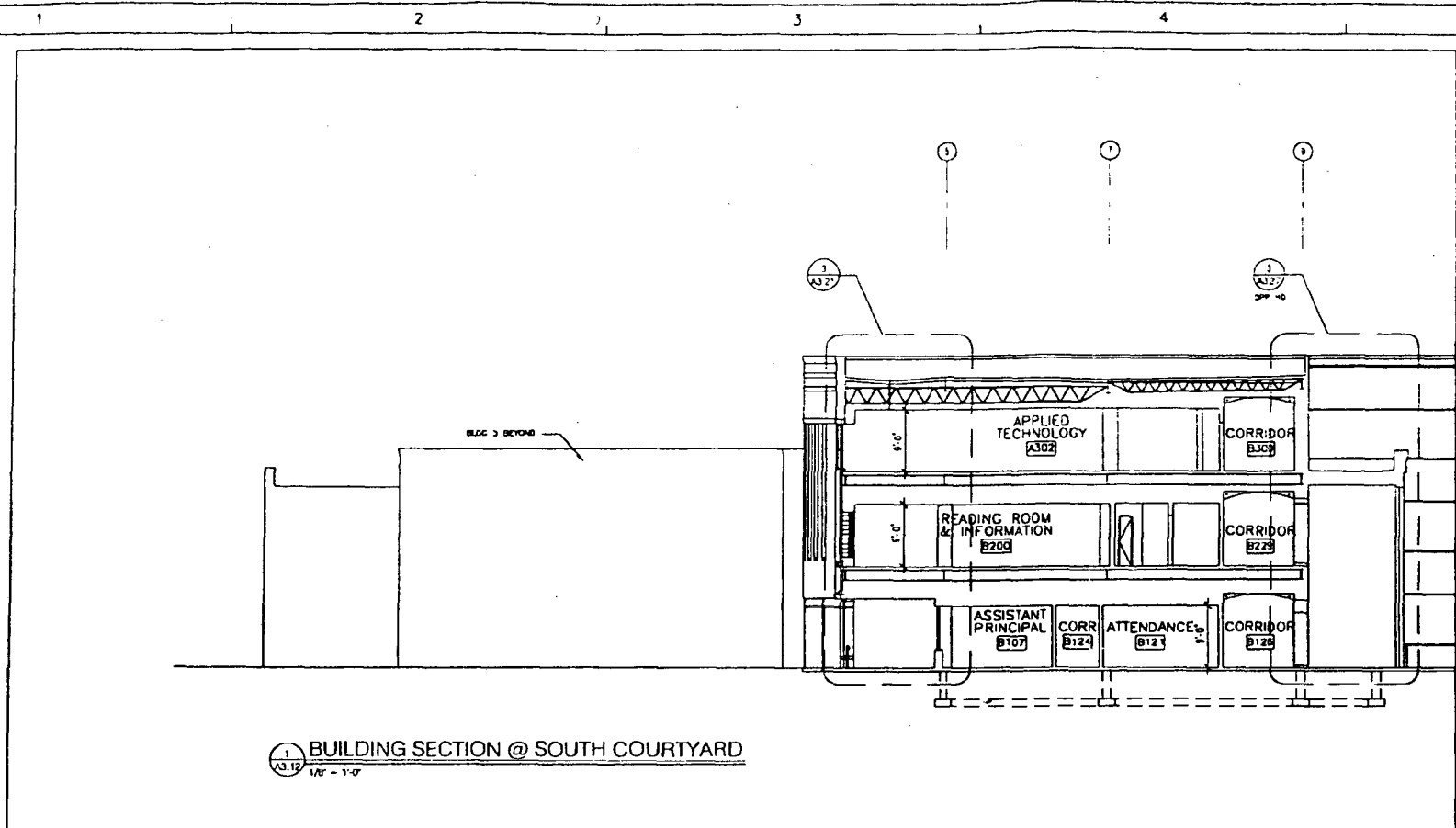
DRAWN BY LCF
APPROVED BY
CHECKED BY

TITLE
PARTIAL BUILDING
ELEVATIONS

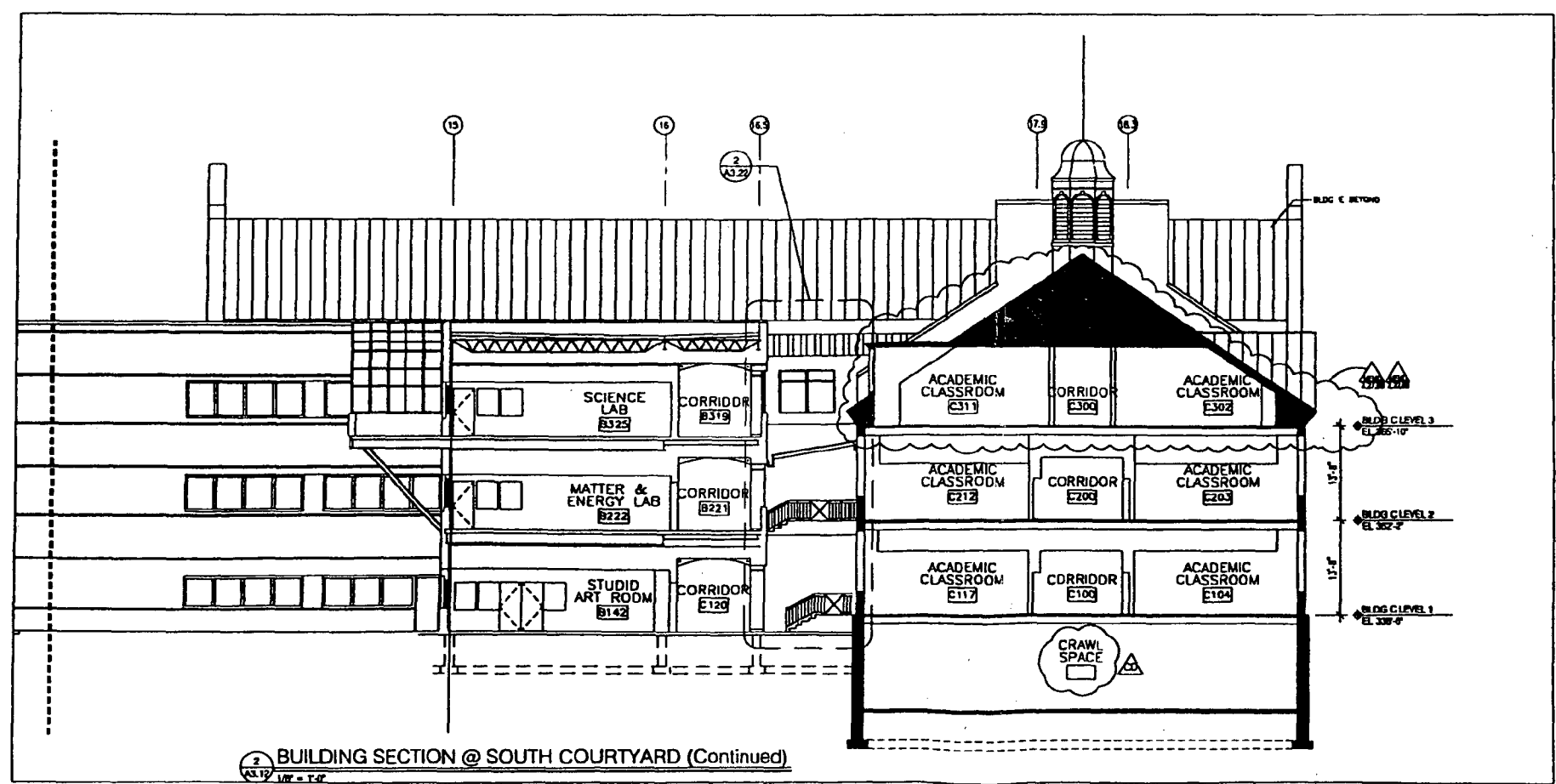
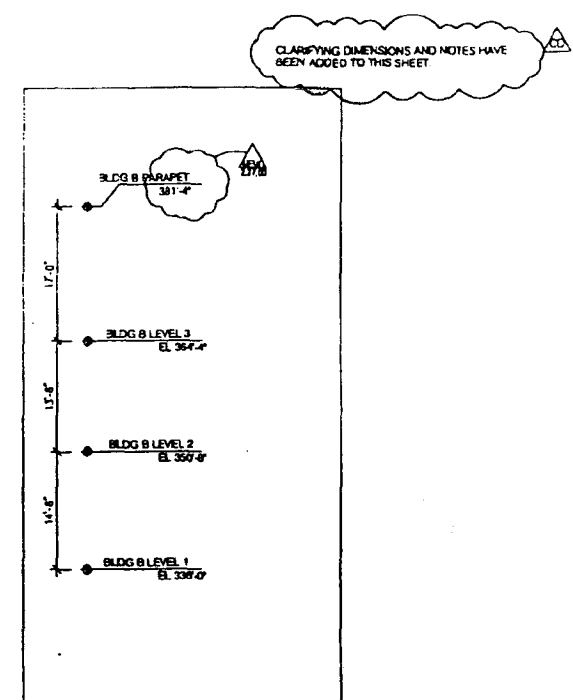
PROJECT NO.
SCALE 1/8" = 1'-0"
DISCIPLINE ARCHITECTURAL

A3.11

SEP 6 2000



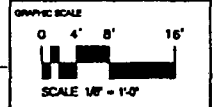
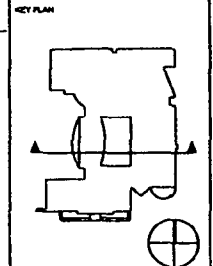
1 BUILDING SECTION @ SOUTH COURTYARD
A3.12 1/8" = 1'-0"



2 BUILDING SECTION @ SOUTH COURTYARD (Continued)
A3.12 1/8" = 1'-0"

Dawberry & Davis
 201 West Charming Avenue
 Gaithersburg, Maryland 20878
 (301) 948-0333
 Architects, Planners, Engineers & Associates
 6200 Executive Boulevard
 Gaithersburg, Maryland 20878
 (301) 498-8800
 Structural Steel Systems, Inc.
 7130 Rowland Court
 Annapolis, Maryland 21401
 (410) 224-3412
 Physics Architectural Engineers
 4118 MacArthur Boulevard, NW
 Washington, DC 20014
 (202) 366-7171
 Mason County Lighting Associates, Inc.
 100 MacArthur Avenue, NW
 Washington, DC 20017
 (202) 261-4000
 Heller & Kaiser, P.C.
 1100 MacArthur Avenue, NW Suite 315
 Washington, DC 20016
 (202) 261-2222

Bethesda-Chevy Chase
 High School
 Modernization
 Montgomery County,
 Maryland
 Montgomery County
 Public Schools



NO.	DATE	BY	REVISION

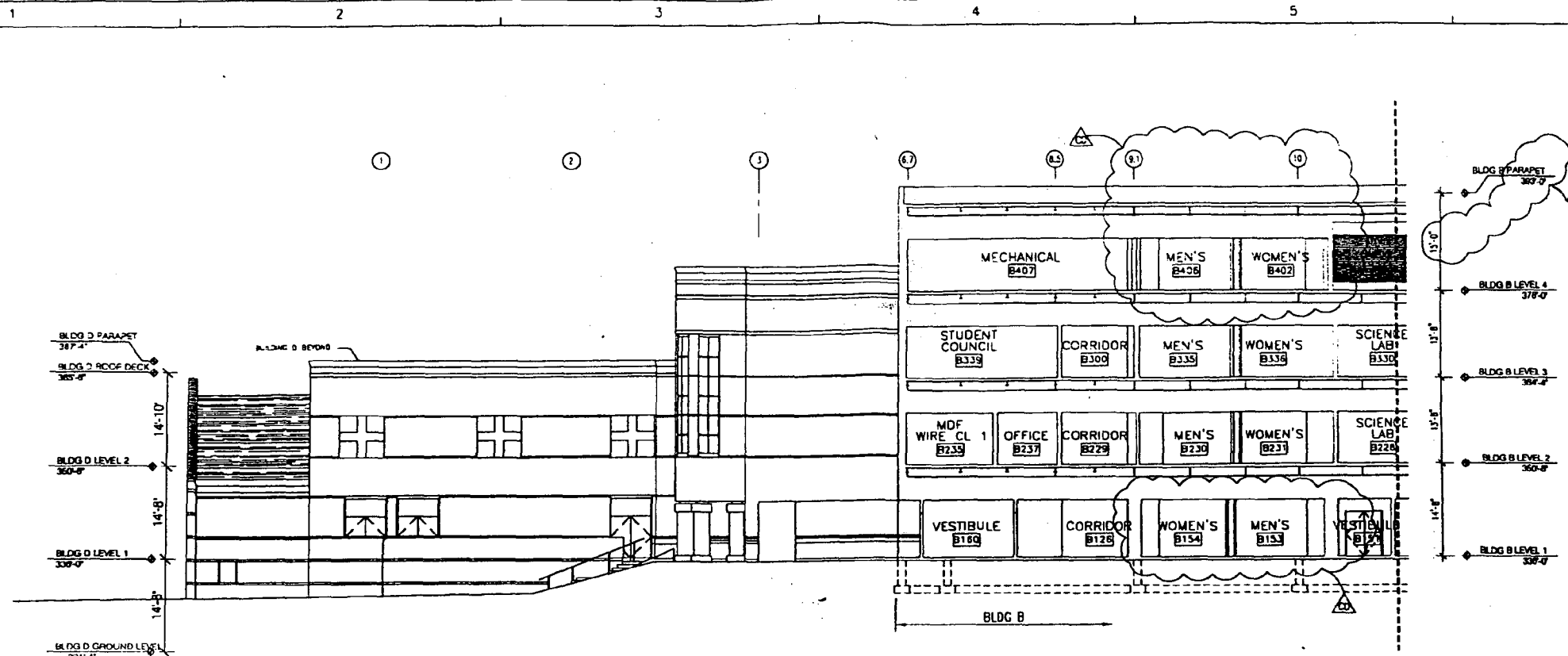
TITLE
BUILDING SECTION

PROJECT NO.
 SCALE 1/8" = 1'-0"
 DISCIPLINE ARCHITECTURAL

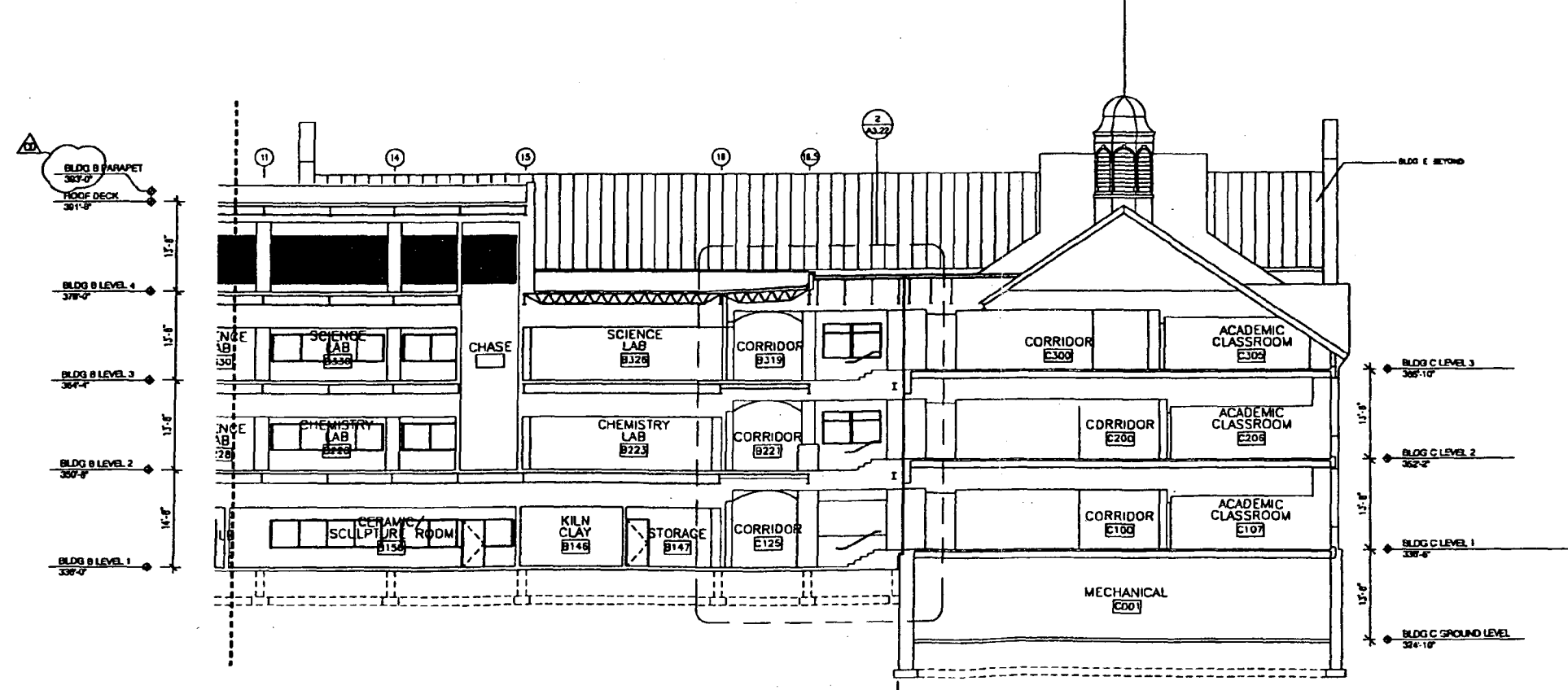
A3.12

CRSS TRANSFER DRAWINGS 07/12/00 SEE NOTE ON CS0.01

AUG 21 2000
 SEP 6 2000



SECTION @ BUILDING B & C CONNECTION
 1
 A3.14
 1/8" = 1'-0"



SECTION @ BUILDING B & C CONNECTION (Continued)
 2
 A3.14
 1/8" = 1'-0"

CLARIFYING DIMENSIONS AND NOTES HAVE BEEN ADDED TO THIS DRAWING

Dowberry & Davis
 2000
 2000

Design and Draw
 2000
 2000

Montgomery County
 2000
 2000

Montgomery County
 2000
 2000

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools

KEY PLAN

GRAPHIC SCALE
 0 4' 8' 16'
 SCALE: 1/8" = 1'-0"

DESIGN	DATE	BY
CONSTRUCTION SET		
BUILDING PERMIT		

DRIVEN BY LCF
 APPROVED BY JSC
 CHECKED BY JSC

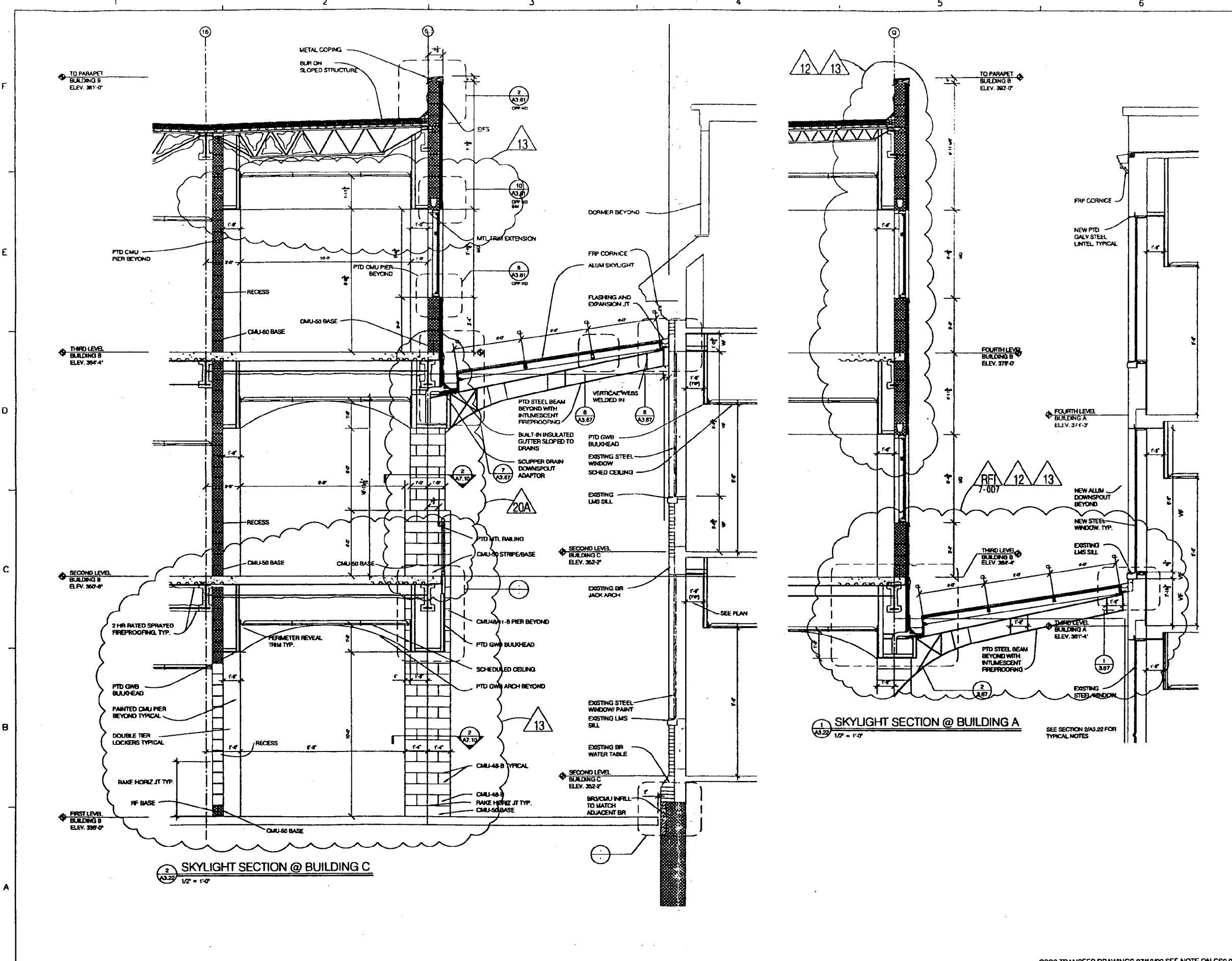
TITLE
 BUILDING SECTION

PROJECT NO.
 SCALE 1/8" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A3.14

SHEET NO.

AUG 21 2000



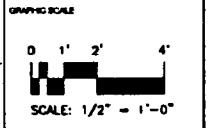
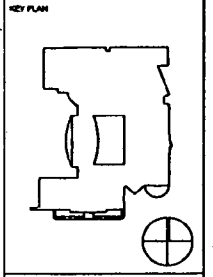
2 SKYLIGHT SECTION @ BUILDING C
A3.22 1/2" = 1'-0"

1 SKYLIGHT SECTION @ BUILDING A
A3.22 1/2" = 1'-0"

SEE SECTION 2/A3.22 FOR TYPICAL NOTES

Dewberry & Davis
 Conway and Davis
 804 West Chesapeake Avenue
 Gaithersburg, Maryland 20878
 (301) 948-0200
 Meredith, Pines, Farrell & Associates
 6205 Smeetham Boulevard
 Rockville, Maryland 20852
 (301) 485-8800
 Structural Food Systems, Inc.
 7120 Pleasant Court
 Annapolis, Maryland 21401
 (301) 224-2412
 Polytechnic Associates Engineers
 8713 MacArthur Boulevard, NW
 Washington, DC 20018
 (202) 244-7171
 Mount Country Lighting Associates, Inc.
 1820 Wisconsin Avenue, NW
 Washington, DC 20007
 (202) 298-8202
 Foster & Mather, P.C.
 8120 Wisconsin Avenue, NW Suite 310
 Washington, DC 20018
 (202) 384-2222

Bethesda-Chevy Chase
 High School
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 Maryland
 Montgomery County
 Public Schools



NO.	DATE	BY	DESCRIPTION

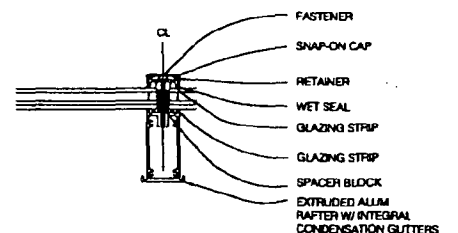
DRAWN BY SEC
 APPROVED BY
 CHECKED BY SEC

TITLE
 SKYLIGHT
 SECTIONS

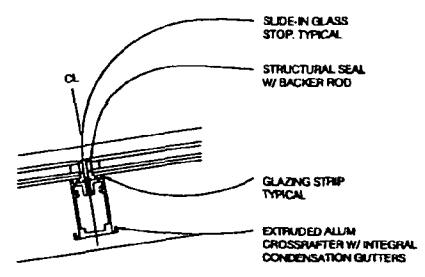
PROJECT NO.
 SCALE 1/2" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A3.22

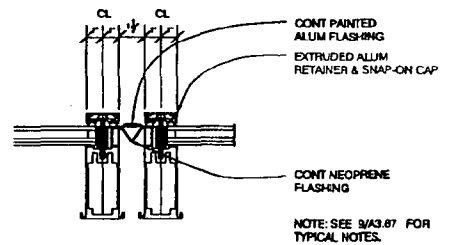
SEP 8 2000



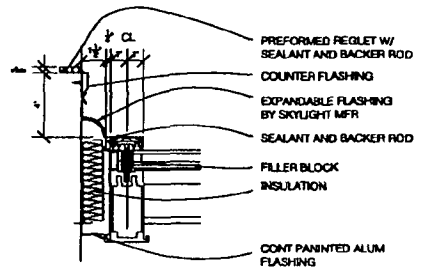
9 Rafter Typical
A3.67 3" = 1'-0"



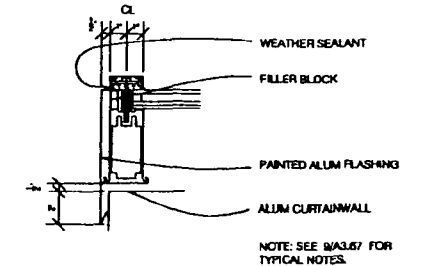
8 Crossrafter Typical
A3.67 3" = 1'-0"



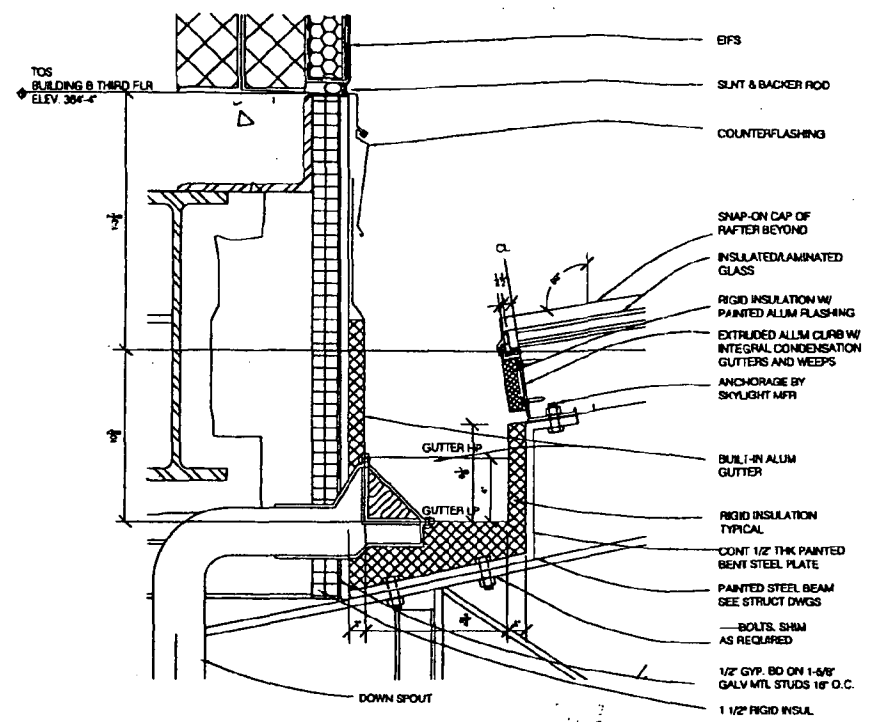
5 Rafter Expansion Joint
A3.67 3" = 1'-0"



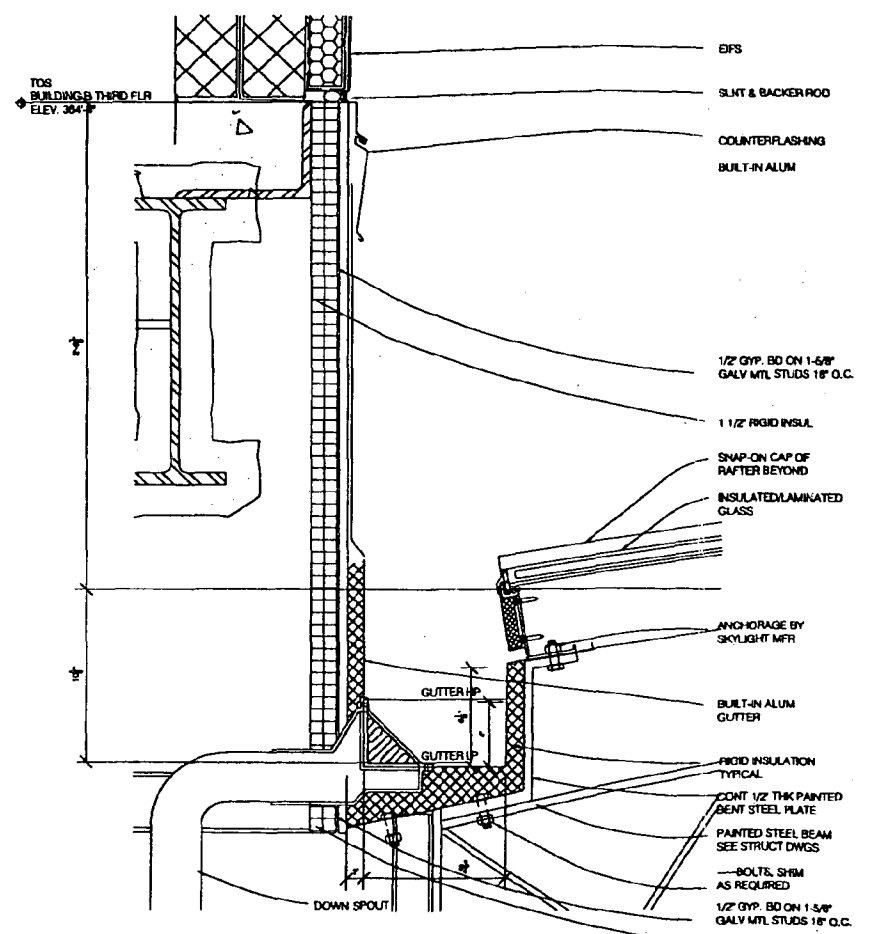
4 End Rafter
A3.67 3" = 1'-0"



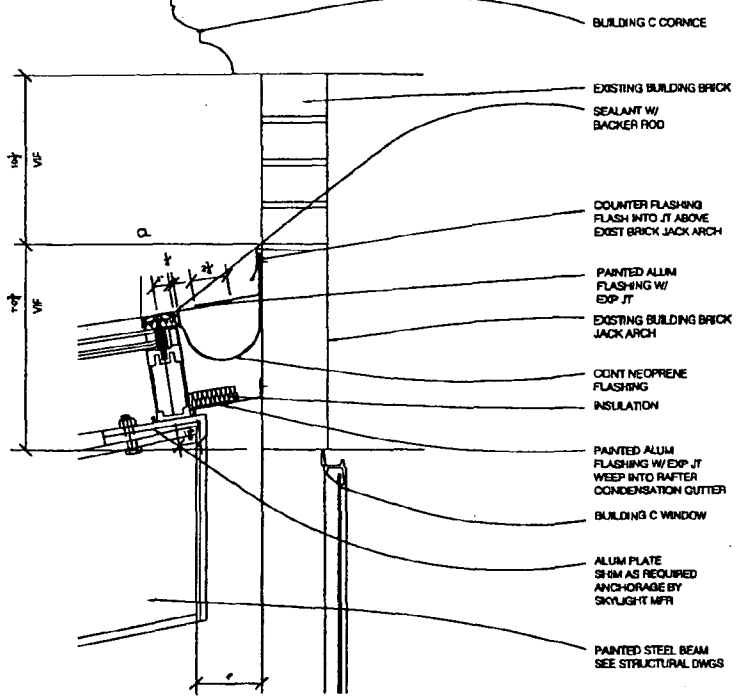
3 End Rafter
A3.67 3" = 1'-0"



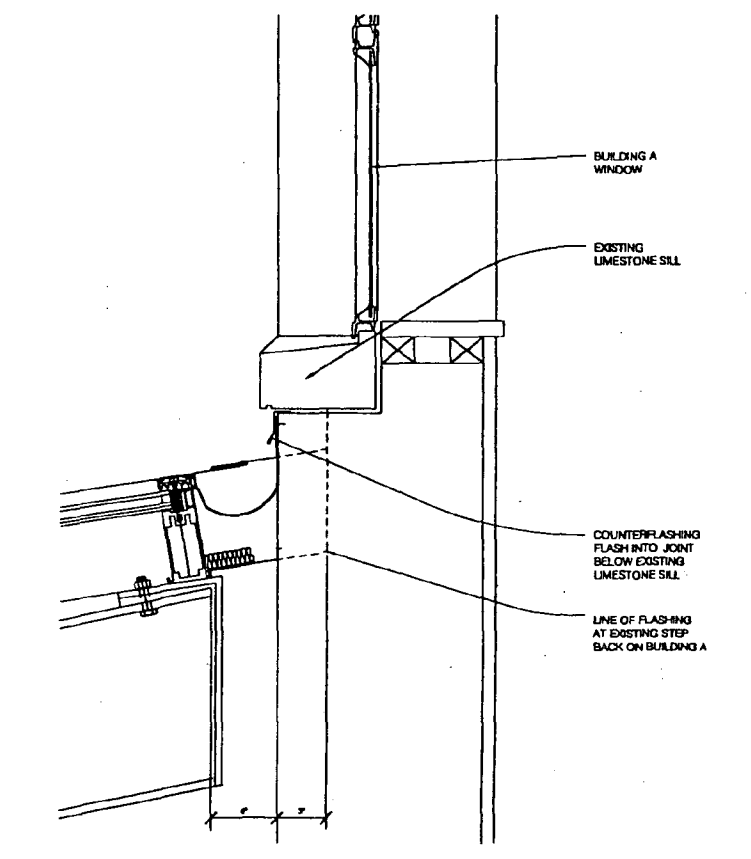
7 Gutter at Building B/C Skylight
A3.67 3" = 1'-0"



2 Gutter at Building B/A Skylight
A3.67 3" = 1'-0"



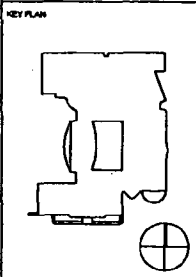
6 Head at Building B/C Skylight
A3.67 3" = 1'-0"



1 Head at Building B/A Skylight
A3.67 3" = 1'-0"

Overberry & Davis
Architects
604 West Diamond Avenue
Bethesda, Maryland 20814
(301) 948-0322
Members, RIBA, FARRIS & ASSOCIATES
6225 Chesapeake Boulevard
Rockville, Maryland 20852
(301) 488-8882
Bridfield Food Systems, Inc.
2130 Rowland Court
Annapolis, Maryland 21401
(410) 294-3412
Petersen's Architectural Engineers
6115 MacArthur Boulevard, NW
Washington, DC 20014
(202) 844-1171
Montgomery County Lighting Association, Inc.
1483 Wisconsin Avenue, NW
Washington, DC 20007
(202) 298-4052
Holler & Miller, P.C.
6125 Wisconsin Avenue, NW Suite 616
Washington, DC 20014
(202) 244-2229

Bethesda-Chevy Chase
High School
Modernization
Montgomery County,
Maryland
Montgomery County
Public Schools



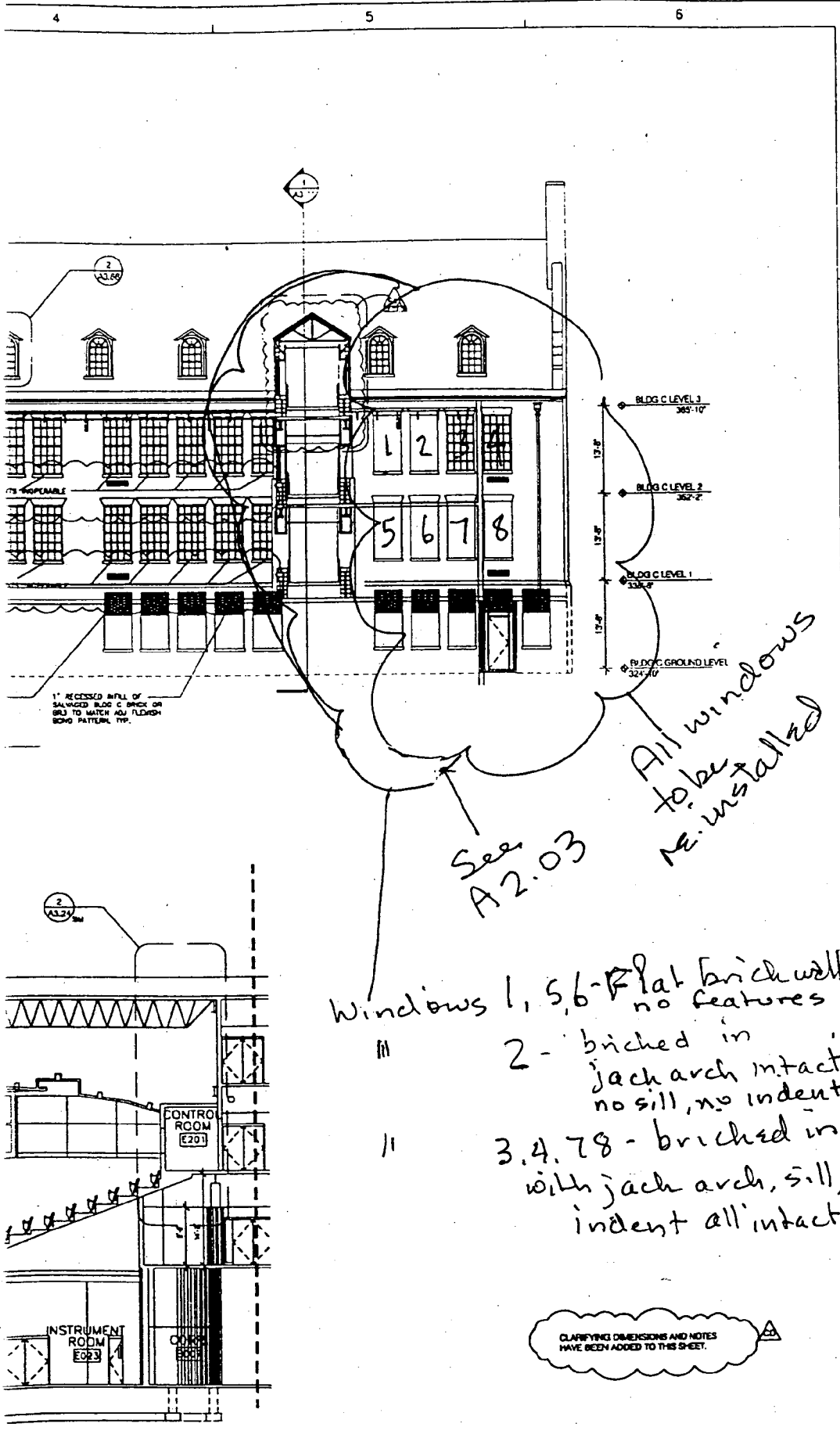
GRAPHIC SCALE
0 2' 4' 8'
SCALE: 3" = 1'-0"

NO.	DATE	BY	DESCRIPTION

DESIGNED BY: SEC
CHECKED BY: SEC
CONSTRUCTION SET BY: SEC
BUILDING PERMIT BY: SEC

TITLE: SKYLIGHT DETAILS
PROJECT NO.:
SCALE: 3" = 1'-0"
DISCIPLINE: ARCHITECTURAL
SHEET NO.: A3.67

SEP 6 2000



Densberry & Davis
 Architects
 1115 MacArthur Boulevard, NW
 Washington, DC 20024
 (202) 361-7171

Design and Draw:
 101 West Diamond Avenue
 Gaithersburg, Maryland 20878
 (301) 948-0300

Montgomery Public Schools
 4700 Executive Boulevard
 Gaithersburg, Maryland 20878
 (301) 948-2882

Workshop Tool Systems, Inc.
 7179 Newland Court
 Annapolis, Maryland 21412
 (301) 224-2112

Professional Architect, Engineer
 1115 MacArthur Boulevard, NW
 Washington, DC 20024
 (202) 361-7171

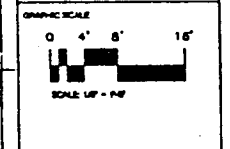
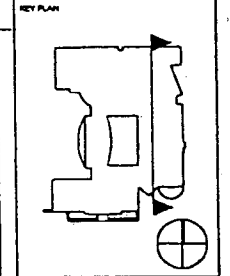
Montgomery County Planning Association, Inc.
 1833 MacArthur Avenue, NW
 Washington, DC 20027
 (202) 384-4040

Miller & Miller, P.C.
 1100 MacArthur Avenue, NW Suite 515
 Washington, DC 20024
 (202) 361-2222

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



NO.	DATE	BY	DESCRIPTION

DESIGNED BY: LCP
 APPROVED BY: _____
 CHECKED BY: SEC

TITLE
**BUILDING C
 WEST ELEVATION/
 AUDITORIUM SECTION**

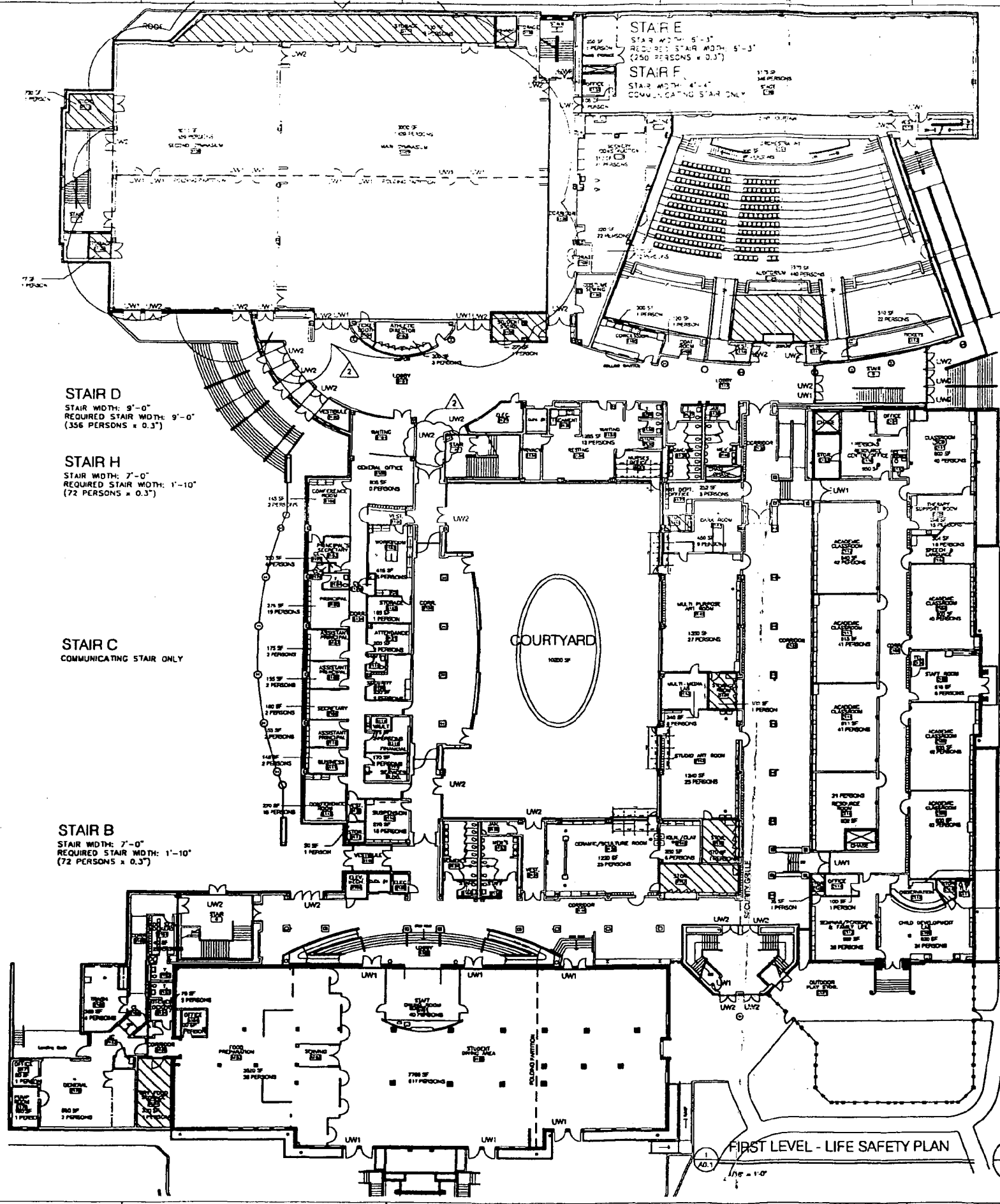
PROJECT NO.
 SCALE: 1/8" = 1'-0"
 DISCIPLINE: ARCHITECTURAL

A3.09

SHEET NO.

AUG 21 2009
 002 3 2009
 SEP 3 2009

CLARIFYING DIMENSIONS AND NOTES
 HAVE BEEN ADDED TO THIS SHEET.



STAIR D
 STAIR WIDTH: 9'-0"
 REQUIRED STAIR WIDTH: 9'-0"
 (356 PERSONS x 0.3')

STAIR H
 STAIR WIDTH: 7'-0"
 REQUIRED STAIR WIDTH: 7'-0"
 (72 PERSONS x 0.3')

STAIR C
 COMMUNICATING STAIR ONLY

STAIR B
 STAIR WIDTH: 7'-0"
 REQUIRED STAIR WIDTH: 7'-0"
 (72 PERSONS x 0.3')

STAIR E
 STAIR WIDTH: 5'-3"
 REQUIRED STAIR WIDTH: 5'-3"
 (250 PERSONS x 0.3')

STAIR F
 STAIR WIDTH: 4'-4"
 COMMUNICATING STAIR ONLY

STAIR G
 STAIR WIDTH: 3'-6"
 REQUIRED STAIR WIDTH: 3'-0"
 (TOTAL OCCUPANT LOAD < 50)

COURTYARD
 1000 SF

FIRST LEVEL - LIFE SAFETY PLAN

LEGEND

- 1 HOUR SNACK RATED ASSEMBLY
- 1 HOUR FIRE RATED ASSEMBLY
- 2 HOUR FIRE RATED ASSEMBLY
- 16" UNIT WIDTH
- 24" UNIT WIDTH
- EXIT PATH - DIRECT ON AND DISTANCE
- STORAGE SPACE

CODE ANALYSIS

APPLICABLE CODES:
 1997 INTERNATIONAL BUILDING CODE
 1997 INTERNATIONAL LIFE SAFETY CODE
 1997 INTERNATIONAL PLUMBING CODE
 1997 INTERNATIONAL MECHANICAL CODE
 1997 INTERNATIONAL ELECTRICAL CODE
 1997 INTERNATIONAL FIRE CODE

USE GROUP: E - EDUCATIONAL

CONSTRUCTION TYPE: III, FULLY SPRINKLERED

HEIGHT AND AREA LIMITATIONS: NOT LIMITED (BOCA TABLE 501)

MEANS OF EGRESS: (BOCA CHAPTER 10, NFPA CHAPTERS 1 AND 10-2)
 MAXIMUM EXIT ACCESS TRAVEL DISTANCE:
 200 FEET (BOCA TABLE 1003.2 w/ SPRINKLER SYSTEM)
 250 FEET (NFPA CHAPTER 10-2.2 w/ SPRINKLER SYSTEM)

MAXIMUM LENGTH OF DEAD END:
 20 FEET (BOCA CHAPTER 10-1.2)
 25 FEET (NFPA CHAPTER 10-2.1.1)

MINIMUM WIDTH OF CORRIDOR:
 5 FEET (BOCA CHAPTER 10-1.3.1)
 5 FEET (NFPA CHAPTER 10-2.2.1.1)

MINIMUM WIDTH OF EGRESS DOOR:
 32 INCHES (BOCA CHAPTER 10-1.3.2)
 32 INCHES (NFPA CHAPTER 10-2.1.3.1)

MINIMUM NUMBER OF EXITS:
 2 IF OCCUPANCY > 50 OR TRAVEL DISTANCE > 75 FEET (BOCA TABLE 1017.2)
 2 IF OCCUPANCY > 50 (NFPA 1027.1) (NFPA CHAPTER 10-2.5.1)
 2 IF OCCUPANCY > 50 (NFPA 1027.1) (NFPA CHAPTER 10-2.5.1)
 2 IF OCCUPANCY > 100 (BOCA CHAPTER 10-1.7.2)

OCCUPANT LOAD: (BOCA CHAPTER 10, NFPA CHAPTERS 1 AND 10-2)
 STAIRWAYS: EGRESS WIDTH PER OCCUPANT:
 3.3 INCHES PER PERSON (BOCA TABLE 1009.2 w/ SPRINKLER SYSTEM)
 3.3 INCHES PER PERSON (NFPA CHAPTER 10-2.3 NO ALLOWANCE FOR SPRINKLER SYSTEM)

DOOR, RAMP AND CORRIDOR EGRESS WIDTH PER OCCUPANT:
 3.3 INCHES PER PERSON (BOCA TABLE 1006.2 w/ SPRINKLER SYSTEM)
 3.3 INCHES PER PERSON (NFPA CHAPTER 10-2.3 NO ALLOWANCE FOR SPRINKLER SYSTEM)

DESIGN OCCUPANT LOAD CRITERIA: (BOCA TABLE 1001.1.2, NFPA CHAPTER 10-1.7)
 CLASSROOM 30 (sq) SPPERSOON
 LABS, VOCATIONAL ROOMS 30 (sq) SPPERSOON
 MEDIA CENTER (LIBRARY, READING AREA) 30 (sq) SPPERSOON
 MEDIA CENTER (JUNIOR, SENIOR) 30 (sq) SPPERSOON
 STORAGE MECHANICAL ROOMS 30 (sq) SPPERSOON
 CATERING 15 (sq) SPPERSOON
 KITCHEN 100 (sq) SPPERSOON
 OFFICE AREAS 100 (sq) SPPERSOON
 AUDITORIUM NUMBER OF FIXED SEATS
 STAGE 15 (sq) SPPERSOON
 GYMNASIUM 30 (sq) SPPERSOON
 MAIN AND SECOND GYMNASIUM 15 (sq) SPPERSOON
 AUXILIARY GYMNASIUM 15 (sq) SPPERSOON

FRAGILE RATINGS:
 (BOCA TABLE 601.1, NFPA CHAPTER 10-1.1) (NFPA CHAPTER 10-2)

EXTERIOR BEARING WALLS: 3 HOUR

EXTERIOR NON-BEARING WALLS: 1 HOUR (BOCA TABLE 701.2)
 FIRE SEPARATION > 10 FEET (15 FEET) 1 HOUR (BOCA TABLE 701.2)
 FIRE SEPARATION > 15 FEET 2 HOUR (BOCA TABLE 701.2)

FIRE WALLS: 2 HOUR

STAIRS > 4 STORIES: 1 HOUR

STAIRS < 4 STORIES: 2 HOUR

90 DEGREE CORNERS: 2 HOUR (BOCA TABLE 701.2)
 2 HOUR (BOCA TABLE 701.2 w/ SPRINKLER)

DOOR ACCESS CORRIDORS: 1 HOUR

SHOCK SENSITIVE: 1 HOUR

HYDRON HEATING RADIATORS: 2 HOUR

REPARTITIONING > 1 FLOOR: 2 HOUR

REPARTITIONING < 1 FLOOR (ON ROOF): 2 HOUR

FLOOR CONSTRUCTION: 2 HOUR

ROOF CONSTRUCTION: 1.5 HOUR

(1) 18 FEET TO LOWEST MEMBERS: 1 HOUR

(2) 18 FEET TO 40 FEET TO LOWEST MEMBERS: 0 HOUR

(3) 30 FEET TO LOWEST MEMBERS: 0 HOUR

BOCA TABLE 901.1.1)

LOBBY COLLECTION ROOMS: 1 HOUR AND AUTOMATIC FIRE SUPPRESSION SYSTEM

BOILER ROOM: 1 HOUR OR AUTOMATIC FIRE SUPPRESSION SYSTEM

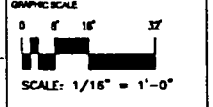
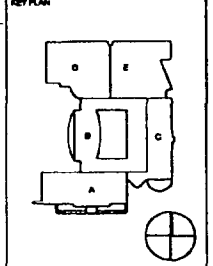
STORAGE RUM < 100 SF, > 30 SF: 1 HOUR OR AUTOMATIC FIRE SUPPRESSION SYSTEM w/ SMOKE PARTITION

STORAGE RUM > 100 SF: AUTOMATIC FIRE SUPPRESSION SYSTEM w/ SMOKE PARTITION

PHYSICAL PLANT MAINTENANCE < 30 SF: 2 HOUR OR 1 HOUR AND AUTOMATIC FIRE SUPPRESSION SYSTEM

Dowberry & Davis
 2000 North ...
 2000 North ...
 2000 North ...
 2000 North ...
 2000 North ...

Bethesda-Chevy Chase High School Modernization
 Montgomery County, Maryland
 Montgomery County Public Schools



NO.	DATE	BY	REVISION

DESIGNED BY: SEC
 APPROVED BY: SEC
 CHECKED BY: SEC

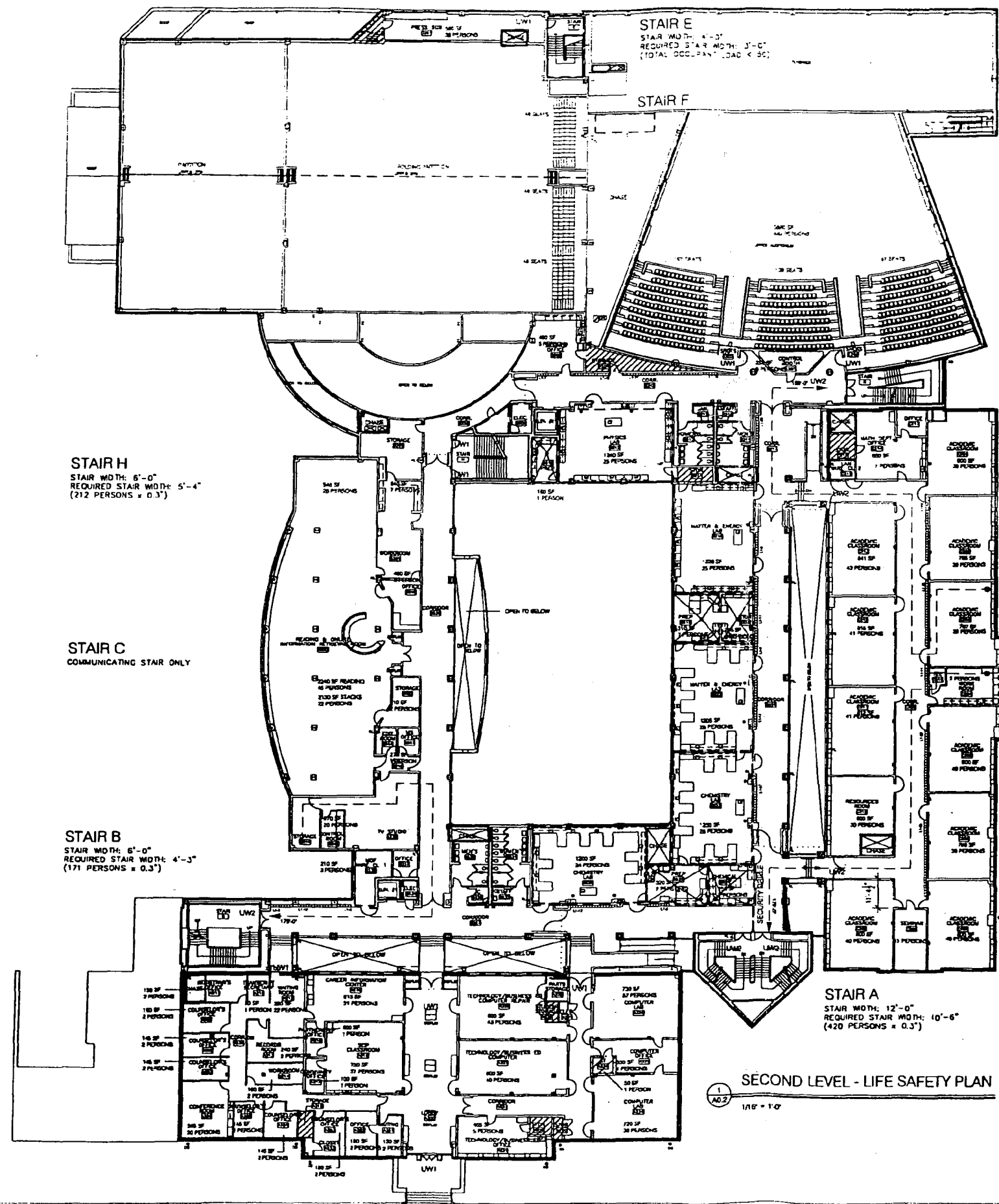
TITLE
 FIRST LEVEL LIFE SAFETY PLAN

PROJECT NO.
 SCALE: 1/16" = 1'-0"
DISCIPLINE: ARCHITECTURAL

A0.1

CROSS TRANSFER DRAWINGS 07/12/00 SEE NOTE ON CS0.01

AUG 21 2000



SECOND LEVEL - LIFE SAFETY PLAN

1/8" = 1'-0"

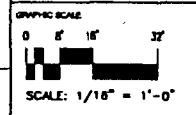
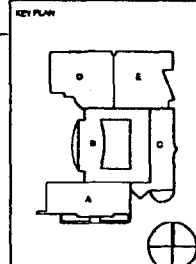
LEGEND

- 1 HOUR SMOKE RATED ASSEMBLY
- 1 HOUR FIRE RATED ASSEMBLY
- 2 HOUR FIRE RATED ASSEMBLY
- UW1 36" UNIT WIDTH
- UW2 72" UNIT WIDTH
- EXIT PATH - DIRECTION AND DISTANCE
- ▨ STORAGE SPACE

SEE SHEET NO. A0.1 FOR CODE ANALYSIS

Dowberry & Davis
 2000
 2001
 2002
 2003
 2004
 2005
 2006
 2007
 2008
 2009
 2010
 2011
 2012
 2013
 2014
 2015
 2016
 2017
 2018
 2019
 2020

Bethesda-Chevy Chase
 High School
 Modernization
 Montgomery County,
 Maryland
 Montgomery County
 Public Schools



NO.	DATE	BY	DESCRIPTION

DESIGNED BY: SEC
 APPROVED BY: SEC
 CHECKED BY: SEC

TITLE
 SECOND LEVEL
 LIFE SAFETY PLAN

PROJECT NO.
 SCALE 1/16" = 1'-0"
 DISCIPLINE ARCHITECTURAL

A0.2

SEP 5 2000

AUG 21 2000

BETHESDA - CHEVY CHASE HIGH SCHOOL MODERNIZATION

MONTGOMERY COUNTY, MARYLAND

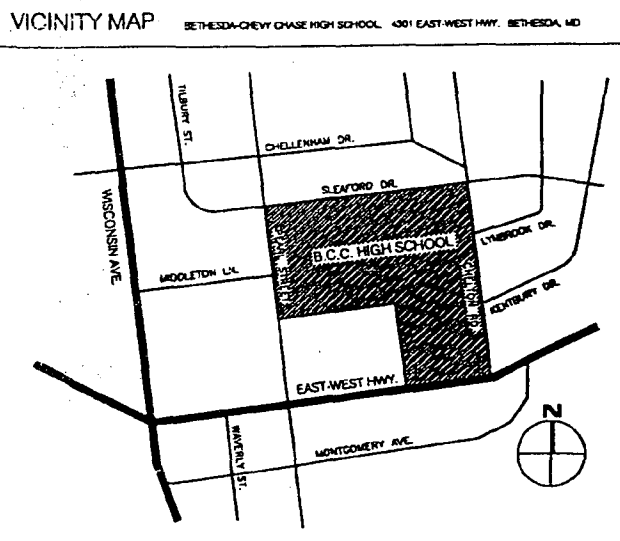
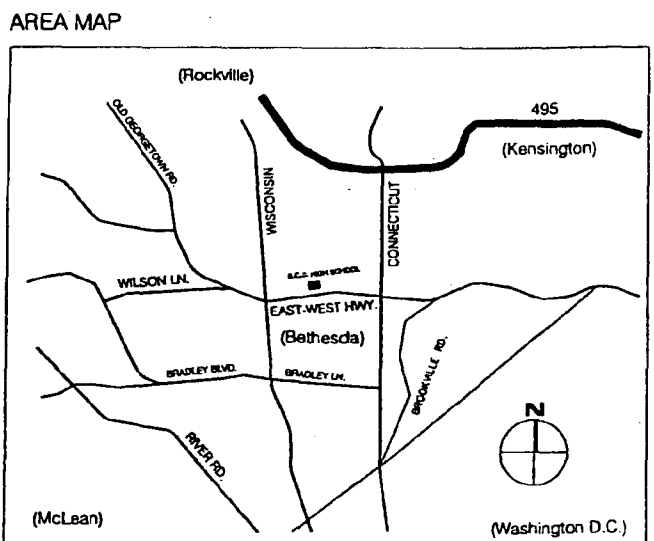
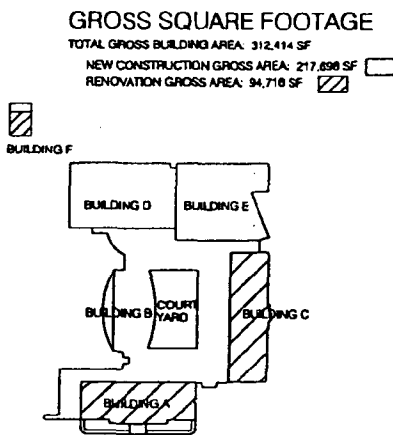
MONTGOMERY COUNTY PUBLIC SCHOOLS

Board of Education Members

Mr. Reginald M. Felton	President
Mrs. Patricia O'Neill	Vice President
Mr. Steven Abrams	Member
Mr. Kermit V. Burnett	Member
Mrs. Beatrice B. Gordon	Member
Mrs. Nancy J. King	Member
Ms. Mona M. Signer	Member
Mr. Geonard F. Butler, Jr.	Student Member

Montgomery County School Administration

Dr. Paul L. Vance	Superintendent of Schools
Mr. Vivian A. D'Souza	Acting Director, Dept. of Facilities Management
Mr. Richard G. Hawes	Director, Division of Construction
Mr. Mitchael M. Brown	Assistant Director, Division of Construction
Mr. Michael P. Shpur	Architect, Division of Construction
Mr. William H. Novak	Facilities Designer, Division of Construction



PROFESSIONAL CERTIFICATION

These contract documents for the Bethesda - Chevy Chase High School Modernization were prepared under my supervision and to the best of my knowledge, information, and belief, they comply with the relevant building codes of the State of Maryland

/s/ _____ (date) _____

Maryland Registration No. _____

CONFORMED DRAWING SET

These conformed drawings are for the convenience of the Contractor and are not the Contract Documents. While all attempts have been made to include all changes, clarifications and new information added to the Contract Documents through Addenda, all information may not be and is not guaranteed to be in this conformed set. The Contractor is responsible for the work as required in the Contract Documents.

CONFORMED DRAWING SET 05/01/00

Donahy & Davis

Contractors and Designers
 4817 Old Orchard Road
 Gaithersburg, Maryland 20878
 301.746.4200

Architects, Planners, Engineers & Associates
 4200 Connecticut Avenue
 Bethesda, Maryland 20814
 301.461.4442

Interior Design Services
 1770 North Capitol
 Washington, Maryland 20012
 202.462.1212

Financial Advisory Services
 1117 Woodley Road, Apartment 204
 Washington, DC 20015
 202.462.0119

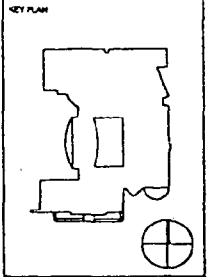
Interior Design Services
 1000 Connecticut Avenue, Suite 200
 Washington, DC 20037
 202.526.8800

Master & Young, P.C.
 5110 MacArthur Avenue, NW, Suite 510
 Washington, DC 20014
 202.462.0119

Bethesda-Chevy Chase High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



GRAPHIC SCALE

NO.	DATE	BY	REVISION
01	05/01/00	DL	ISSUE FOR CONSTRUCTION SET BUILDING PERMIT
02	05/01/00	DL	REVISION

OWNER BY: GCM
 APPROVED BY: [Signature]
 CHECKED BY: [Signature]

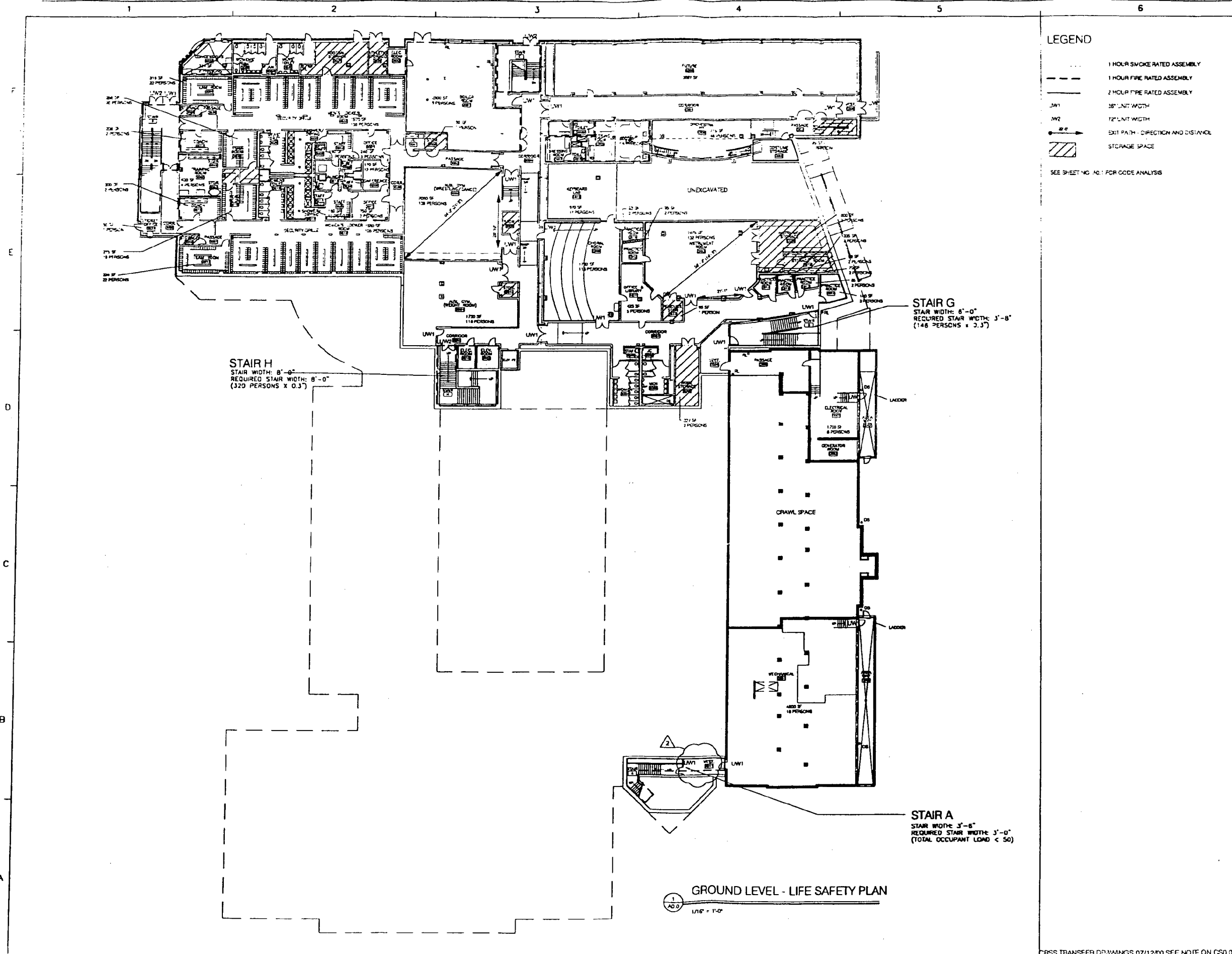
TITLE
 COVER SHEET
 VOLUME I

PROJECT NO.
 SCALE NONE
 DISCIPLINE

CS0.01

SHEET NO.

AUG 21 2000 SEP 6 2000



Dunberry & Davis
 500 East Capitol Avenue
 Annapolis, Maryland 21403
 (410) 293-2000

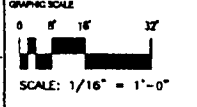
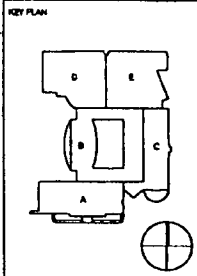
Montgomery County, Maryland
 1000 Montgomery Avenue, Suite 310
 Gaithersburg, MD 20878
 (301) 291-1100

Montgomery County Public Schools
 1000 Montgomery Avenue, Suite 310
 Gaithersburg, MD 20878
 (301) 291-1100

Bethesda-Chevy Chase
 High School
 Modernization

Montgomery County,
 Maryland

Montgomery County
 Public Schools



NO.	DATE	BY	DESCRIPTION

DRAWN BY: SEC
 APPROVED BY:
 CHECKED BY: SEC

TITLE

**GROUND LEVEL
 LIFE SAFETY PLAN**

PROJECT NO.

SCALE 1/16" = 1'-0"

DISCIPLINE ARCHITECTURAL

A0.0

SHEET NO.

AUG 21 2000
 SEP 6 2000

staff
check on code issue for admission
should be able to get a rebuttal
get BOCA to issue ruling
H-A

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 4722 Dorset Avenue Meeting Date: 9/27/00
Applicant: Laura Will & Joe Lipscomb Report Date: 9/13/00
Resource: Wiley/Ringland House, in Somerset Historic District (35/36) Public Notice: 9/6/00
Review: NATIONAL REGISTER OF HISTORIC PLACES EVALUATION Tax Credit: N/A
Case Number: N/A Staff: Robin Ziek

cc Callers to Council & CR

PROPOSAL: Nominate the Wiley/Ringland House to the National Register of Historic Places

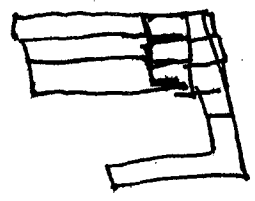
RECOMMEND: Endorse the nomination

emphasis on work order & doors to be removed

The staff report for this project was mailed to you last week, to comply with the Maryland Historical Trust's noticing requirements for the National Register nominations. Please call our office at 301-563-3400 if you have any questions.

Wayne Goldstein
70-BCC
VP MPI
Mariettozy
P. MPI
shud deny & fine

Bill Novak
Sandra Couch



*Wayne go w/ us to school board
bad example to students*

1) second story - for fire code.

*response
BN - were misunderstanding
GK - in complicated project things change -*

Atrium S-2
1 door } LW
 } SB
letter to each.
DPS & BOE.

A letter to each
member of BOE
from hpc - indicating
the situation

#2 by end of ~~ed~~ 2000

OK - part of
approval includes
than 2nd floor
has to come out -
to take out need HAP.
if you proceed they
do so at own risk

need verification that
it has correct code.

all amend accepted was site visits &
adherence to

SB Spulode. SV 2nd
w/ all conditions

EE. amend
- add language to stay
express the dilemma
city put hpc in by
issuing permit not
so approved
- & language to PSchool

to express the
disregard
acted irresponsible
had model to young
people -

did can be
expelled but
the Pub School
is getting what
they want

September 27, 2000

MEMORANDUM

TO: Historic Preservation Commission

FROM: Perry Kephart
Historic Preservation Planner

RE: **Recommendation of Additional Conditions for**
HPC Case No. 35/14-14-98A(RETROACTIVE REVISION)
Bethesda Chevy Chase High School
4301 East West Highway, Bethesda

As the result of a second visit to the construction site and a discussion with John Hostinsky, Senior Construction Manager, staff is recommending adding three more conditions for approval of the Retroactive Revision to the B-CC HAWP that is scheduled to be reviewed by the Historic Preservation Commission this evening (for a total of five conditions). These are being added to the HAWP for clarification.

3. **The eight windows in the south end of the west façade are to be replaced entirely including jack arch, sill, framing and sash using either clear or opaque glass.** The applicant suggested that this could be done, as partial mitigation for the window and dormer loss elsewhere on the west façade.
4. **Lightning protection including a grounding cable for the cupola is to be installed during rehabilitation of the cupola.** Mr. Hostinsky pointed out that the roof sheathing below the cupola showed fire damage, probably from an earlier lightning strike, and recommended that a grounding cable be installed to protect the historic building.
5. **The wind vane removed from Building C is to be reinstalled as part of the cupola rehabilitation project.** The wind vane is shown in the attached photograph and in the historic drawing and photograph on Circle 29 and Circle 33 of the 9/20/00 Staff Report. Applicant said the wind vane is in storage and that they plan to reinstall it. Staff has added this condition to be sure the installation is included in the approved project.

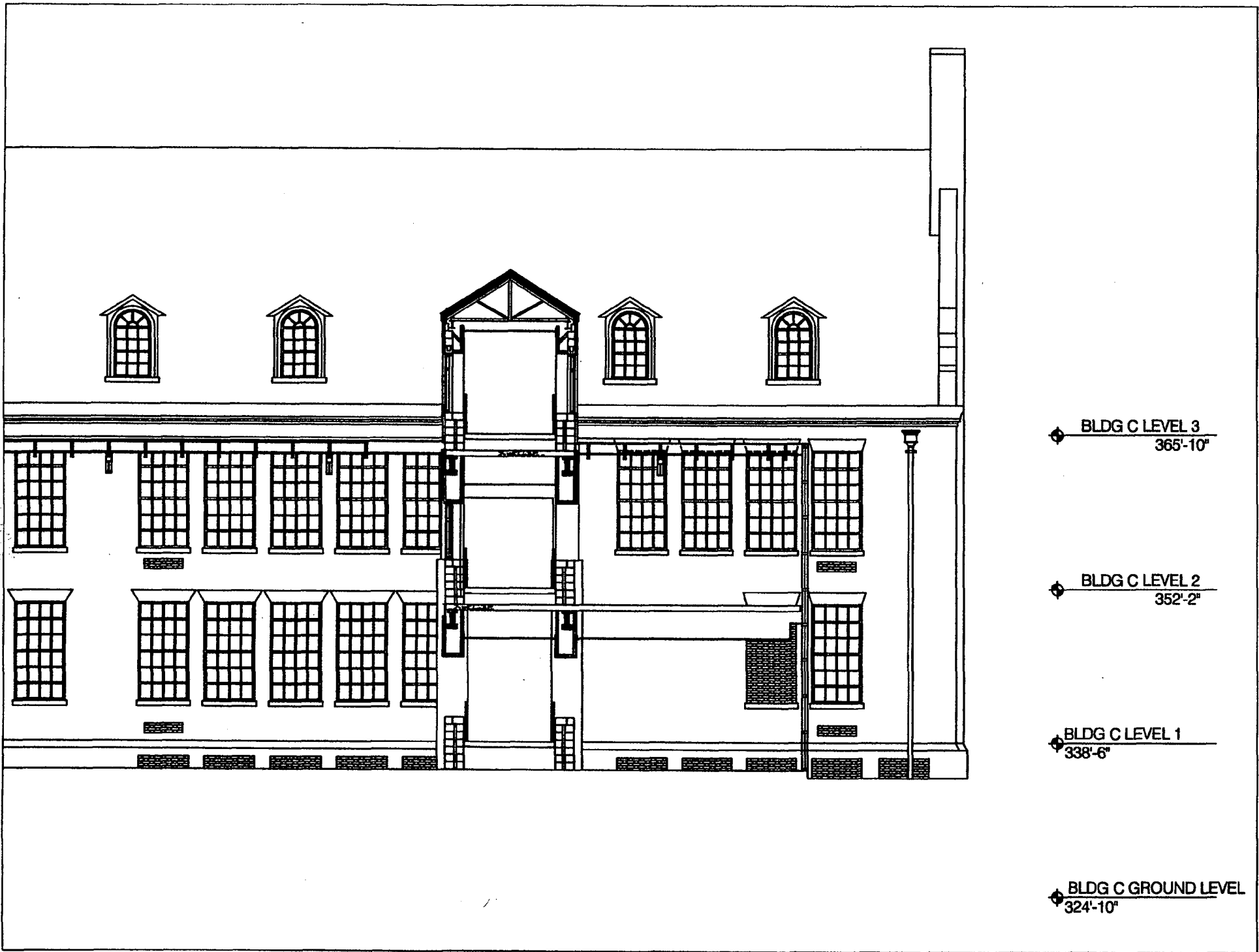


35-14-14

Bethesda Chevy Chase HS

by Robert Rivers

1992



◆ BLDG C LEVEL 3
365'-10"

◆ BLDG C LEVEL 2
352'-2"

◆ BLDG C LEVEL 1
338'-6"

◆ BLDG C GROUND LEVEL
324'-10"

BETHESDA-CHEVY CHASE H.S. — BUILDING C
09.27.00

September 27, 2000

MEMORANDUM

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Historic Preservation Planner

RE: **Recommendation of Additional Conditions for**
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35-14.14

Bethesda-Chevy Chase HS

by Robert Rivers

1992

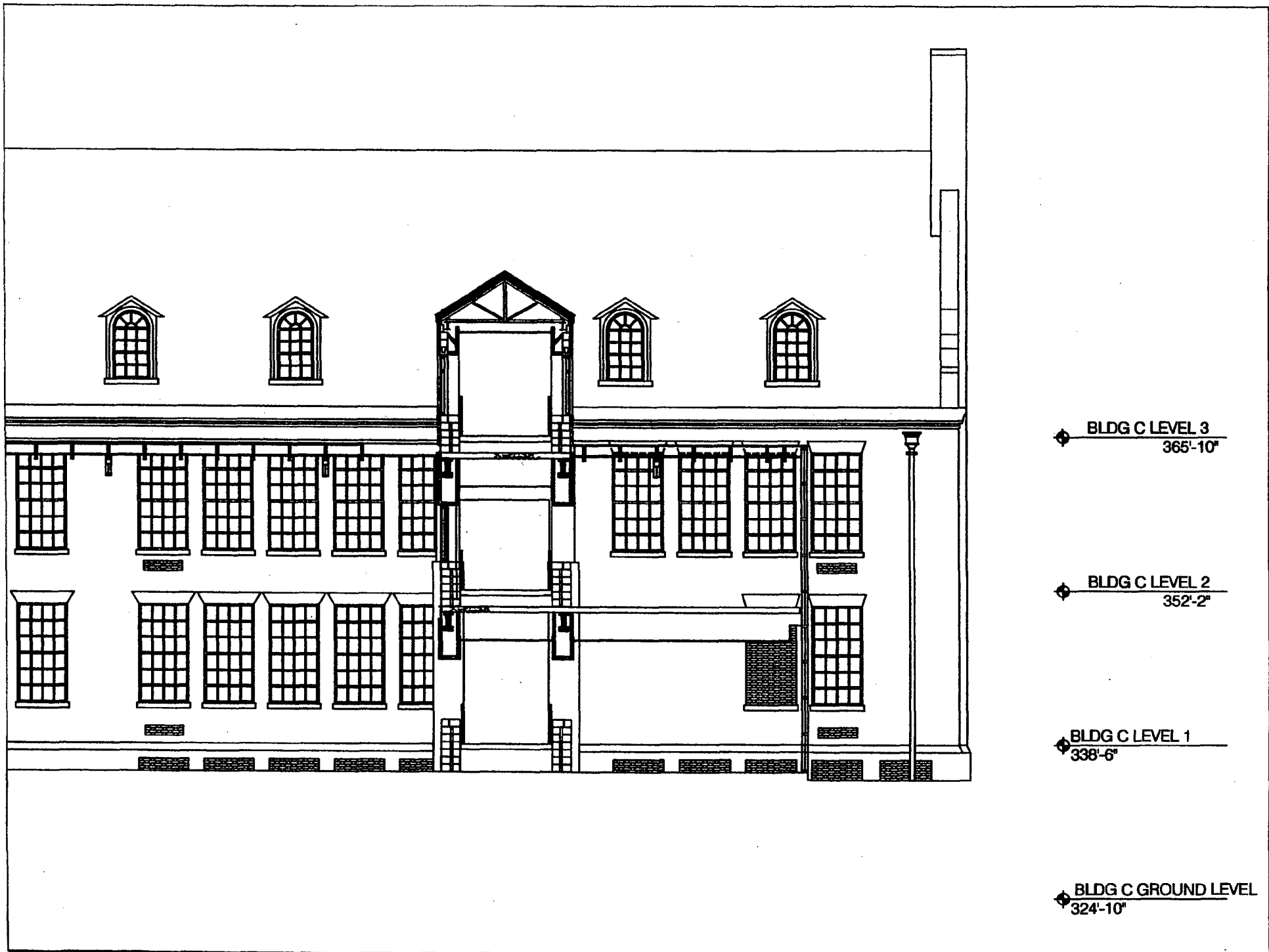
~~FA~~ DPS:

Did you get a copy of The Computer generated
HAWP?

I saw one for the Hoobler case
and it had none of The 13!
Conditions noted at all!!

BIG PROBLEM!

Where will a field inspector see
The HPC conditions?



◆ BLDG C LEVEL 3
365'-10"

◆ BLDG C LEVEL 2
352'-2"

◆ BLDG C LEVEL 1
338'-6"

◆ BLDG C GROUND LEVEL
324'-10"

09.27.00

BETHESDA · CHEVY CHASE H.S. — BUILDING C

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	4301 East West Highway	Meeting Date:	09/27/00
Applicant:	Montgomery County Public Schools (William H. Novak)	Report Date:	09/20/00
Resource:	Bethesda-Chevy Chase High School	Public Notice:	09/13/00
Review:	HAWP	Tax Credit:	None
Case Number:	35/14-14-98A (RETROACTIVE REVISION)		
Staff:	Perry Kephart		
PROPOSAL:	Remove dormers, walls, doors, wall and roof sections; modify west facade; build retaining wall.		
RECOMMEND:	Approve with conditions.		

CONDITIONS

- 1. The surface material for the retaining wall is to be some other material than brick, the actual material to be approved by HPC or by HPC staff.**
- 2. The applicant is to compile and submit for the HPC files a record of the site using existing historic photography and documentation.**

DESCRIPTION

SIGNIFICANCE: Individual *Master Plan* Site
STYLE: Georgian Revival
DATE: 1934

Designed as a WPA project by Howard Cutler to suggest Christopher Wren's academic building at William and Mary College in Williamsburg, Virginia or Harvard University in Massachusetts, the Georgian Revival two and half story brick structure reflects the interest in Colonial Revival styles in the 1930's. The original building (Building C) sits at right angles to a building constructed in 1952 in the same style (Building A).

BACKGROUND

All the buildings except Building A and Building C have been demolished and a new campus is being constructed at this time. As part of this project, the exterior of Building C is being rehabilitated. A new building, Building B, is being constructed adjacent to the west facade of Building C with a light well between the two buildings. Rehabilitation of Building C was the subject of a Historic Area Work Permit on September 9, 1998. At that time the Montgomery

County Public Schools were given approval to make alterations with the conditions that the slate roof be repaired or replaced in kind, and that the cupola, cornices, and dormers were to be repaired and not replaced. The alterations consisted of gutter replacements - deteriorated copper inset gutters were to be replaced with painted aluminum, and window replacements (with metal windows of the same configuration as existing) as needed.

No connections between Building B and Building C were discussed at that time. Subsequently, two dormers (of 14) on the west facade have been removed as have windows on the two lower levels in order to construct connecting hallways/bridges between the two buildings. The interior of Building C has been gutted and redesigned with the only access to the third level classrooms by means of these connecting hallway/bridges.

The skylight for the light well was shown on the approved drawings to be at roof level. The current plan places it just above the second story windows. The flashing is to be attached at the height of the jack arches with the supporting beams set so their ends hang a few inches in front of the top panes of glass of the second story windows. (See A3.22)

On the east side, a retaining wall has been partially constructed in front of the ground level windows up to the level of the ground floor.

In the north wall, the elevator addition was removed and the original windows were found to be in place. These were left, but with the interior filled with concrete block. This has been masked from the outside with spandrel glass. (See A3.11)

PROPOSAL

Applicant proposes to:

1. Demolish two dormers and related sections of roof at north and south ends of west facade.
2. Construct masonry fire wall in front of north end of west facade.
3. Install three-story connecting passages between Buildings B & C with dormeresque roof configurations at north and south ends of west facade. Use building materials and glass openings to match those on Building B, including stucco finishes for the exterior, 1/1 windows on each level, and slate substitute roofing.
4. Remove 10 windows, two doors, and wall sections at north and south ends of west facade.
5. Fill in 6 window frames and two door frames (those removed in #4) with concrete block.
6. Install doorways on three levels at the north and south ends of west facade.
7. Rehabilitate south end of west facade. Rebuild wall and replace two windows where the old connecting section was removed and install eight windows in previously bricked in openings.
8. Attach the cantilevered skylight for the light well to the west facade at the height of the

second level jack arches using flashing with steel supports at window level.

9. Construct a brick-faced concrete retaining wall with a black metal top railing in front of the east facade. The wall is at the height of the first floor, but varies in height due to the changes in grade in front of the building.

STAFF DISCUSSION

The applicant appeared before the HPC for two preliminary consultations and several HAWP hearings. The applicant presented schematic elevation and plans to the HPC for approval that were substantially different from the permit set. The approved plans did not include the design now being used for connectors between the the historic building (Building C) and the new Building B that called for demolition of two dormers, two roof sections, four windows, wall sections and two doors - although retention of the dormers was a specific condition for approval. A retaining wall in front of the east facade was also not approved. For reasons that are not clear, although it is a general condition for approval for all building projects, no permit set of plans were submitted to be stamped by staff. The outcome was that a building permit was issued for work not approved by HPC.

Subsequently, when this first (bid) set plans was modified, the new plans were also not brought to the HPC for review. A stop work order was issued when it was discovered that the work was not in compliance with the approved Historic Area Work Permit.

Staff visited the site with the applicant. This Retroactive Revision to the HAWP is the result of discussions with the applicant. The loss of the dormers and wall sections is not being rectified, but the applicant has proposed to remove the brick in the eight south end windows and install glass and metal to match the existing. It was explained to staff that the connecting bridges and the north end fire wall were designed and installed to meet fire code requirements.

The design and materials for the connecting sections matches that of the new building and is well differentiated from the historic structure. Except for the loss of substantial original material, the connectors are a reasonable solution for the need to integrate the two buildings and to meet fire code.

If the new fire wall at the north end of the light well was not already in place, staff would recommend that it be redesigned to avoid obscuring the historic structure. As the wall is in place, staff would recommend that it be retroactively approved.

At this point, the demolition proposed above has already occurred. No photography or documentation of the site was done in anticipation of the removal of original materials, although some photographic record exists in the form of window surveys and as part of the analysis that was made when the project was being planned. We also have xeroxed copies of original drawings from the 1930's and a 1939 photograph of the west facade.

The eight windows proposed to be replaced at the south end of the west facade are currently either bricked in or completely removed. The applicant proposes to install new windows to replicate the windows shown in the original plans.

Placement of the skylight below the level approved by the HPC was also a fire code adjustment. The historic material is being affected by the attachment of flashing at the level of the

jack arches on the second-story, but this should be a reversible change. The placement of the supporting beams for the skylight in front of the windows is unsightly, but moving the skylight a few inches higher in order to fix the problem is probably not feasible.

As to the east facade retaining wall, the applicant has indicated that it would be problematic to remove the wall that is already in place and is integral to the design for the bus drop-off lane being installed in this area. The retaining wall completely hides the ground floor facade of the building, but staff would recommend that it be approved in its present location as it is at a reasonable distance from the building, and does not mask the predominant features of the building which are above ground level. Staff is concerned that the brick material proposed for the wall facing places substantial amounts of new brick in front of the weathered old brick of the historic resource. We would recommend that the applicant use another surface such as stone, parging, or some other material as facing to clearly differentiate the wall from the historic structure.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

With the conditions:

1. **The surface material for the retaining wall is to be a material other than brick, the actual material to be approved by HPC or by HPC staff.**
2. **The applicant is to compile and submit for the files a record of the site using existing historic photography and documentation.**

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: William H Novak

Daytime Phone No.: (301) 279-3446

Tax Account No.: 07-502-0417728

Name of Property Owner: Montgomery County Public Schools Daytime Phone No.: (301) 279-3133

Address: 850 Hungerford Drive, Rockville, Maryland 20850
Street Number City State Zip Code

Contractor: To be determined Phone No.: n/a

Contractor Registration No.: n/a

Agent for Owner: Dewberry & Davis Daytime Phone No.: (703) 849-0600
(Mr. Eric Snellings)

LOCATION OF BUILDING/PREMISE

House Number: 4301 Street: East-West Highway

Town/City: Bethesda Nearest Cross Street: Chelton Road

Lot: _____ Block: _____ Subdivision: _____

Liber: 564 Folio: 046 Parcel: P153

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: School

1B. Construction cost estimate: \$ 27,000,000.00

1C. If this is a revision of a previously approved active permit, see Permit # n/a

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Richard G. Hawes
Signature of owner or authorized agent

9/10/78
Date

Approved: 9 conditions For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: [Signature] Date: 10/28/98

Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

SRS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Howard Cutler designed the Bethesda-Chevy Chase High School (Building C), which was constructed in 1934. Thomas W. Pyle was the first principal of what was then the largest school in Maryland. Leland Junior High School, built in 1928, had served both junior and senior high students. The present high school was constructed in reponse to the area's population growth and was expanded in 1936, 1952, 1959, 1966, 1970, and 1976. It is one of the oldest public high school buildings in the County.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The architecture of the modernization project is intended to be harmonious with the historic character of the 1934 structure, the surrounding community and natural settings. The effect of this modernization project on the historic resource will not substantially alter the apperance of the building from East West Highway or Chelton Street. The effect on the North elevation will return the facade back to its original appearance.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

SR6



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 10-28-98

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation *GW*

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied

Approved with Conditions: _____

- 1) West facade of chaotic addition to be approved by staff.
- 2) Copula, dormers, cornices to be repaired & not replaced.
- 3) Design for main door restoration to be approved by staff.
- 4) Slate roof to be repaired & not replaced or replaced with slate & not slate substitute.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Montgomery County Public Schools (William H. Towl)
Address: 4301 East West Highway Bethesda

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

September 27, 2000

MEMORANDUM

TO: Historic Preservation Commission

FROM: Perry Kephart
Historic Preservation Planner

RE: **Recommendation of Additional Conditions for**
HPC Case No. 35/14-14-98A(RETROACTIVE REVISION)
Bethesda Chevy Chase High School
4301 East West Highway, Bethesda

As the result of a second visit to the construction site and a discussion with John Hostinsky, Senior Construction Manager, staff is recommending adding three more conditions for approval of the Retroactive Revision to the B-CC HAWP that is scheduled to be reviewed by the Historic Preservation Commission this evening (for a total of five conditions). These are being added to the HAWP for clarification.

3. **The eight windows in the south end of the west façade are to be replaced entirely including jack arch, sill, framing and sash using either clear or opaque glass.** The applicant suggested that this could be done, as partial mitigation for the window and dormer loss elsewhere on the west façade.
4. **Lightning protection including a grounding cable for the cupola is to be installed during rehabilitation of the cupola.** Mr. Hostinsky pointed out that the roof sheathing below the cupola showed fire damage, probably from an earlier lightning strike, and recommended that a grounding cable be installed to protect the historic building.
5. **The wind vane removed from Building C is to be reinstalled as part of the cupola rehabilitation project.** The wind vane is shown in the attached photograph and in the historic drawing and photograph on Circle 29 and Circle 33 of the 9/20/00 Staff Report. Applicant said the wind vane is in storage and that they plan to reinstall it. Staff has added this condition to be sure the installation is included in the approved project.



35-14-14

Bethesda-Chevy Chase HS
by Robert Rivers
1992

Sandra Couch
will fax
short list of
adjacent addresses

Name	Address	Salutation
Bernard M. & M. E. Marciante	8924 Bradmoor Dr. Bethesda, Maryland 20817	Mr & Mrs. Marciante
Jayarajan Chanmugam	7305 Durbin Terr. Bethesda, Maryland 20817	Mr. Chanmugam
Thomas J. & M. Riegert	8927 Bradmoor Dr. Bethesda, Maryland 20817	Mr. & Mrs. Riegert
Mildred A. Post	905 Old Foundry Rd. Newton, NJ 07860	Ms. Post
Elvio & E Levri	611 Aster Blvd. Rockville, MD 20850	Mr. & Mrs. Levri
Tin T. Nwe	8932 Bradmoor Dr. Bethesda, Maryland 20817	Mr. Nwe
Jean G. Radspieler	8934 Bradmoor Dr. Bethesda, Maryland 20817	Ms. Radspieler
Arsen & H. Serengulian	803 Blossom Dr. Rockville, MD 20850	Mr. & Mrs. Serengulian
V. Edward & F. A. Olson	8938 Bradmoor Dr. Bethesda, Maryland 20817	Mr. & Mrs. Olson
Michael M. & S. L. Kling	8940 Bradmoor Dr. Bethesda, Maryland 20817	Mr. & Mrs. Kling
Guy R. Kirby et al Trust	8920 Ridge Pl. Bethesda, Maryland 20817	Mr. Kirby
Jay H. & K. L. Miller	8924 Ridge Pl. Bethesda, Maryland 20817	Mr. & Mrs. Miller
Eunice M. Martin	5509 Alderbrook Ct., #T3 Rockville, MD 20851	Ms. Martin
Sherry-Lynne Stargel	9005 Ewing Dr. Bethesda, Maryland 20817	Ms. Stargel
Alfred P. & T. B. Forline	9006 Ewing Dr. Bethesda, Maryland 20817	Mr. & Mrs. Forline
Deborah H. Conti	9008 Ewing Dr. Bethesda, Maryland 20817	Ms. Conti

Name	Address	Salutation
Steven Brenner	9010 Ewing Dr. Bethesda, Maryland 20817	Mr. Brenner
Ilias & M. Triantos	9012 Ewing Dr. Bethesda, Maryland 20817	Mr. & Mrs. Triantos
Eric A. Mercurio	9100 Ewing Dr. Bethesda, Maryland 20817	Mr. Mercurio
Jefferson M. & A. L. Slack	9104 Ewing Dr. Bethesda, Maryland 20817	Mr. & Mrs. Slack
Eugenie D. Vink	9106 Ewing Dr. Bethesda, Maryland 20817	Mr. Vink
Robert & Diana Allen	9108 Ewing Dr. Bethesda, Maryland 20817	Mr. & Mrs. Allen
Edward C. & F. P. N. Defabo	9110 Ewing Dr. Bethesda, Maryland 20817	Mr. & Mrs. Defabo
Virginia M. Richardson	9202 Ewing Dr. Bethesda, Maryland 20817	Ms. Richardson
Robert S. & G. P. Watson	9204 Ewing Dr. Bethesda, Maryland 20817	Mr. & Mrs. Watson
Philip L. & L. Altman	9206 Ewing Dr. Bethesda, Maryland 20817	Mr. & Mrs. Altman
Susan L. Coyle	9208 Ewing Dr. Bethesda, Maryland 20817	Ms. Coyle
Richard Hirschler & Katalin Gimes	9210 Ewing Dr. Bethesda, Maryland 20817	Mr. Hirschler & Ms. Gimes
Alina Truhan et al	9212 Ewing Dr. Bethesda, Maryland 20817	Ms. Truhan
Antoine R. & R. R. Yared	6100 Johnson Ave. Bethesda, Maryland 20817	Mr. & Mrs. Yared
Stephen J. & F. Meltzer	6101 Johnson Ave. Bethesda, Maryland 20817	Mr. & Mrs. Meltzer
Robert Dowlut & Alice M. Beard	9200 Bulls Run Pkwy Bethesda, Maryland 20817	Mr. Dowlut & Ms. Beard

Name	Address	Salutation
Thomas S. Rees & Martha D. Sewall	9201 Bulls Run Pkwy Bethesda, Maryland 20817	Mr. Rees & Ms. Sewall
Kenneth R. Spring & Carole A. Purcell	9292 Bulls Run Pkwy Bethesda, Maryland 20817	Mr. Spring & Ms. Purcell
Margaret F. Aronson	9100 Bulls Run Pkwy Bethesda, Maryland 20817	Ms. Aronson
Ralph & N. R. Arosemena	9102 Bulls Run Pkwy Bethesda, Maryland 20817	Mr. & Mrs. Arosemena
Richard D. & P. A. Kessel	9104 Bulls Run Pkwy Bethesda, Maryland 20817	Mr. & Mrs. Kessel
Della L. & C. L. MacKert	9106 Bulls Run Pkwy Bethesda, Maryland 20817	Mr. & Mrs. MacKert
Adrienne Metheny	93 Robinwood Dr. Little Rock, AR 72227	Ms. Metheny
Michael K. & E. S. Wong	6519 Winnepag Rd. Bethesda, Maryland 20817	Mr. & Mrs. Wong
John E. & B. D. Palevich	6200 Swords Way Bethesda, Maryland 20817	Mr. & Mrs. Palevich
Robert S. & M. A. Adelstein	6201 Swords Way Bethesda, Maryland 20817	Mr. & Mrs. Adelstein
Donovan L. & A. C. Gay	6202 Swords Way Bethesda, Maryland 20817	Mr. & Mrs. Gay
Anthony A. & G. R. Florence	6203 Swords Way Bethesda, Maryland 20817	Mr. & Mrs. Florence
William L. Massey	6201 Leeke Forest Ct. Bethesda, Maryland 20817	Mr. Massey
Claude Jackson & Amy Barkin	6200 Leeke Forest Ct. Bethesda, Maryland 20817	Mr. Jackson & Ms. Barkin
Gianfranco Pecorari & Nancy Heffron	6202 Leeke Forest Ct. Bethesda, Maryland 20817	Mr. Pecorari & Ms. Heffron
James R. & M. F. Myers	6203 Leeke Forest Ct. Bethesda, Maryland 20817	Mr. & Mrs. Myers

Name	Address	Salutation
Jorn & M. Larsen-Basse	6200 Perthshire Ct. Bethesda, Maryland 20817	Mr. & Mrs. Larsen-Basse
James M. Keller et al	6201 Perthshire Ct. Bethesda, Maryland 20817	Mr. Keller
Kenneth C. & K. M. Rogers	6202 Perthshire Ct. Bethesda, Maryland 20817	Mr. & Mrs. Rogers
Thomas A. & J. A. Wilson	6203 Perthshire Ct. Bethesda, Maryland 20817	Mr. & Mrs. Wilson
Sidney D. Fellman et al Trustee	6205 Perthshire Ct. Bethesda, Maryland 20817	Mr. Fellman
Charles F. & B. G. Doran	8544 Brickyard Rd. Potomac, Maryland 20854	Mr. & Mrs. Doran
Stephanie J. Weddle	9208 Adelaide Dr. Bethesda, Maryland 20817	Ms. Weddle
Laurence C. Newcomb & Susan R. Eiss	9210 Adelaide Dr. Bethesda, Maryland 20817	Mr. Newcomb & Ms. Eiss
Peter W. Mertz & Tracey A. Brown	9217 Adelaide Dr. Bethesda, Maryland 20817	Mr. Mertz & Ms. Brown
Howard C. Bowman	9219 Adelaide Dr. Bethesda, Maryland 20817	Mr. Bowman
James A. & J. S. Seal	9200 Adelaide Dr. Bethesda, Maryland 20817	Mr. & Mrs. Seal
Joseph D. & B. A. Schuetz	9201 Adelaide Dr. Bethesda, Maryland 20817	Mr. & Mrs. Schuetz
Baptist Home for Children	6301 Greentree Rd. Bethesda, Maryland 20817	Sir or Madam

Name	Address	Salutation
PTSA ----	----	----
John Whittler	5309 Camberley Ave. Bethesda, Maryland 20814	Mr. Whittler
Marney Jacobs	6009 Avon Drive Bethesda, Maryland 20814	Ms. Jacobs
Patty Kessel	9104 Bulls Run Parkway Bethesda, Maryland 20817	Ms. Kessel
Patricia Skelly	4407 Brookfield Drive Kensington, Maryland 20895	Ms. Skelly
Linda Berns	6102 Dunleer Ct. Bethesda, Maryland 20817	Ms. Berns
Allan Fried	5450 Whitley Park Terrace Bethesda, Maryland 20814	Mr. Fried
Marie McCormack	9302 Friars Road Bethesda, Maryland 20817	Ms. McCormack