

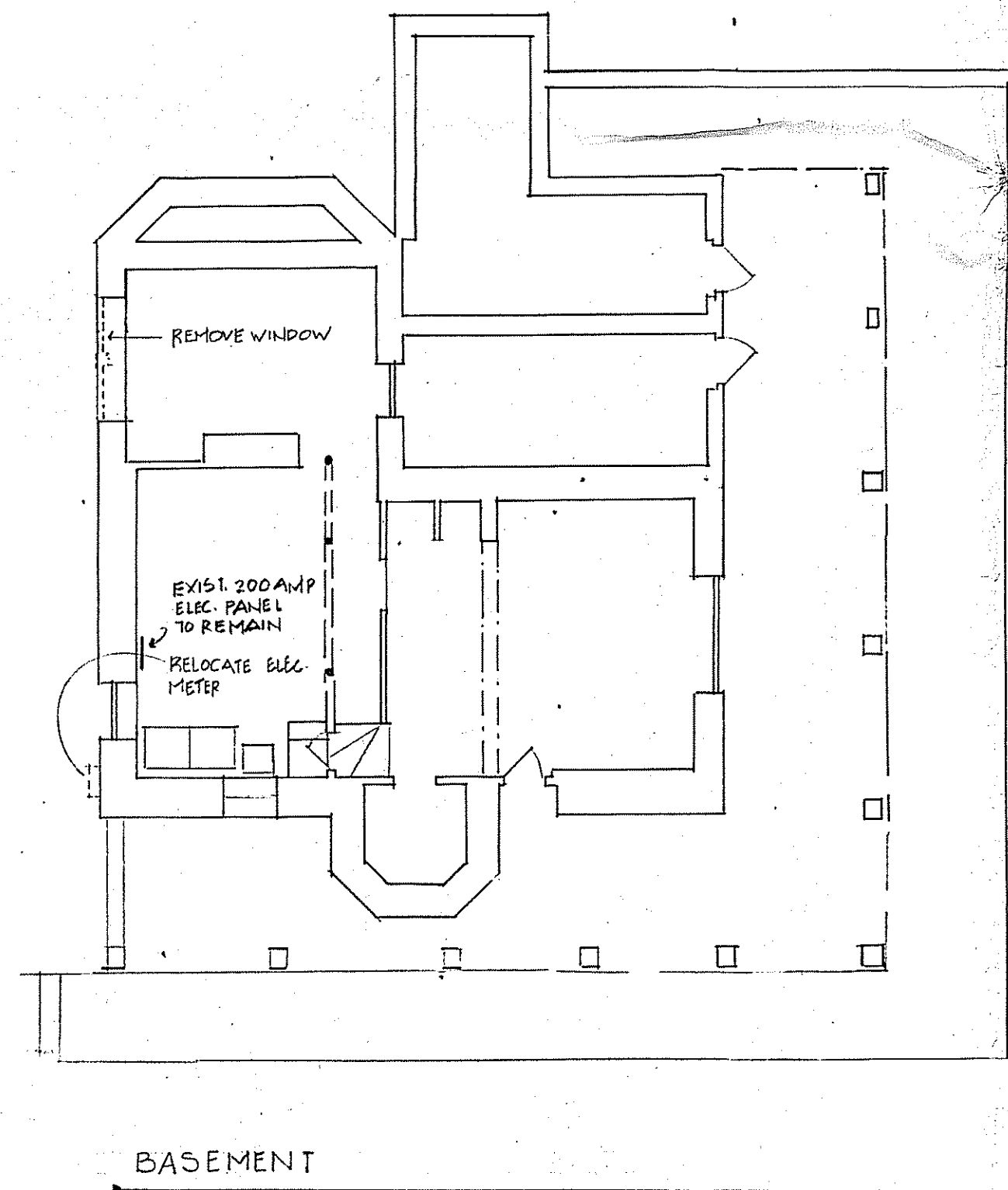
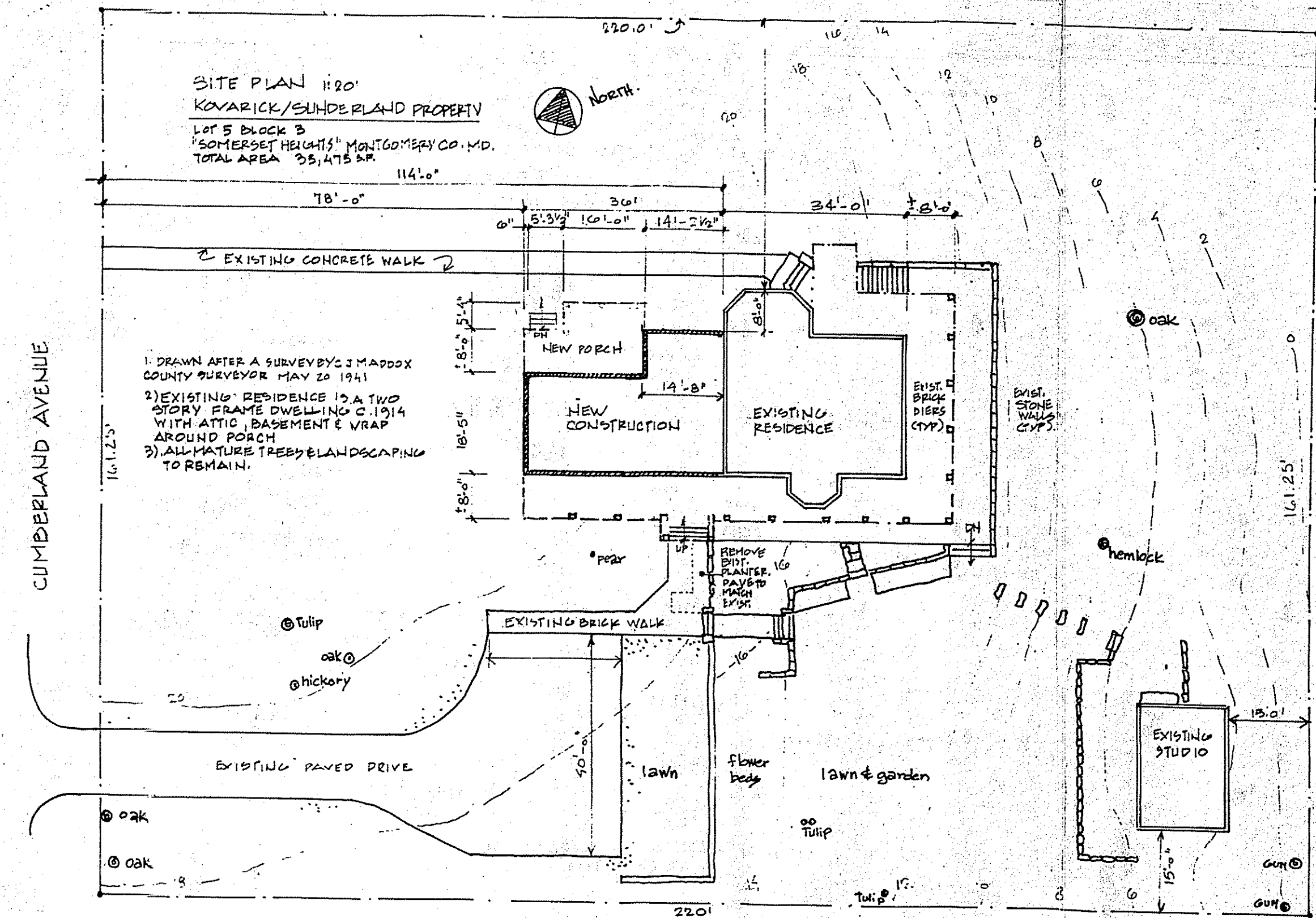
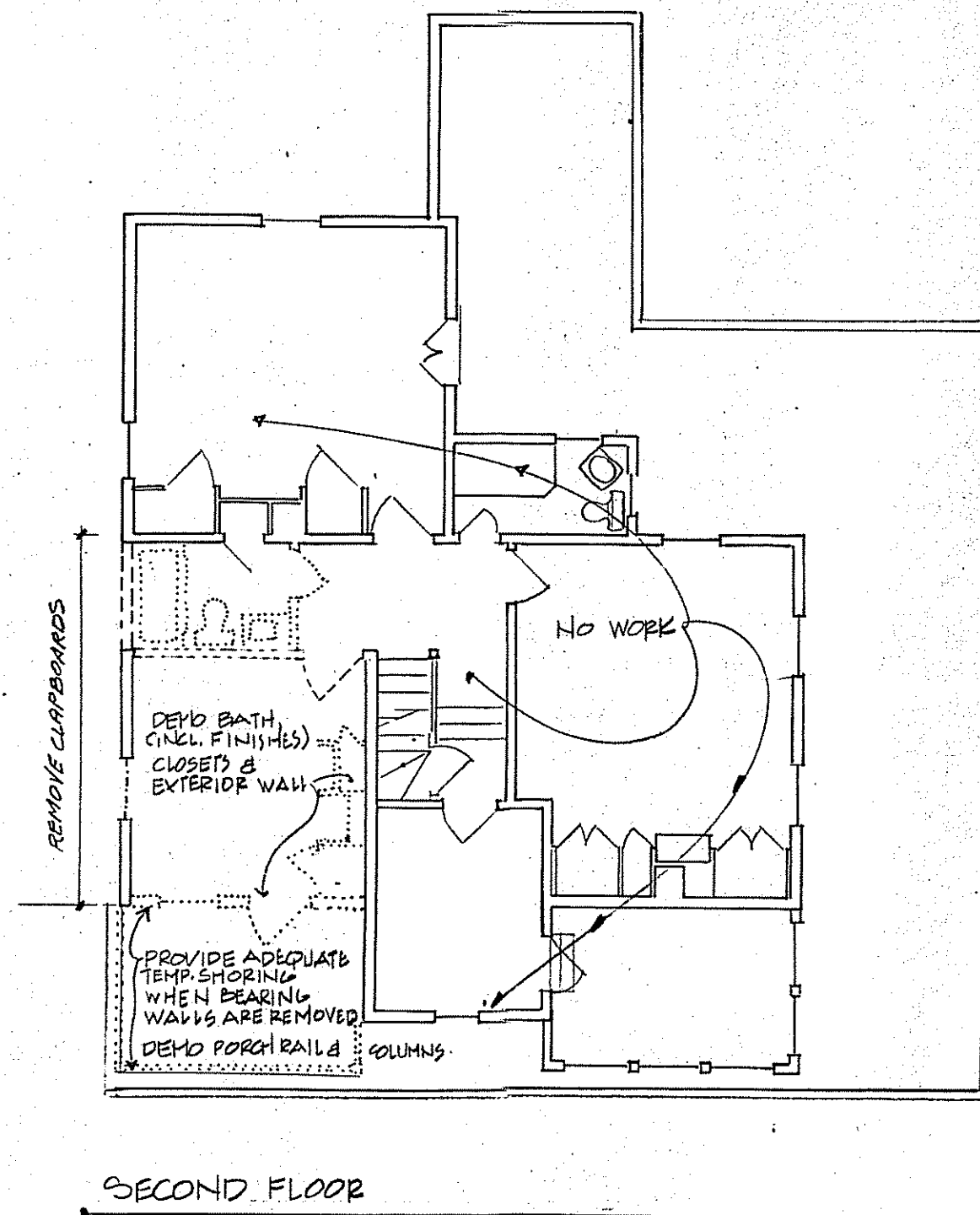
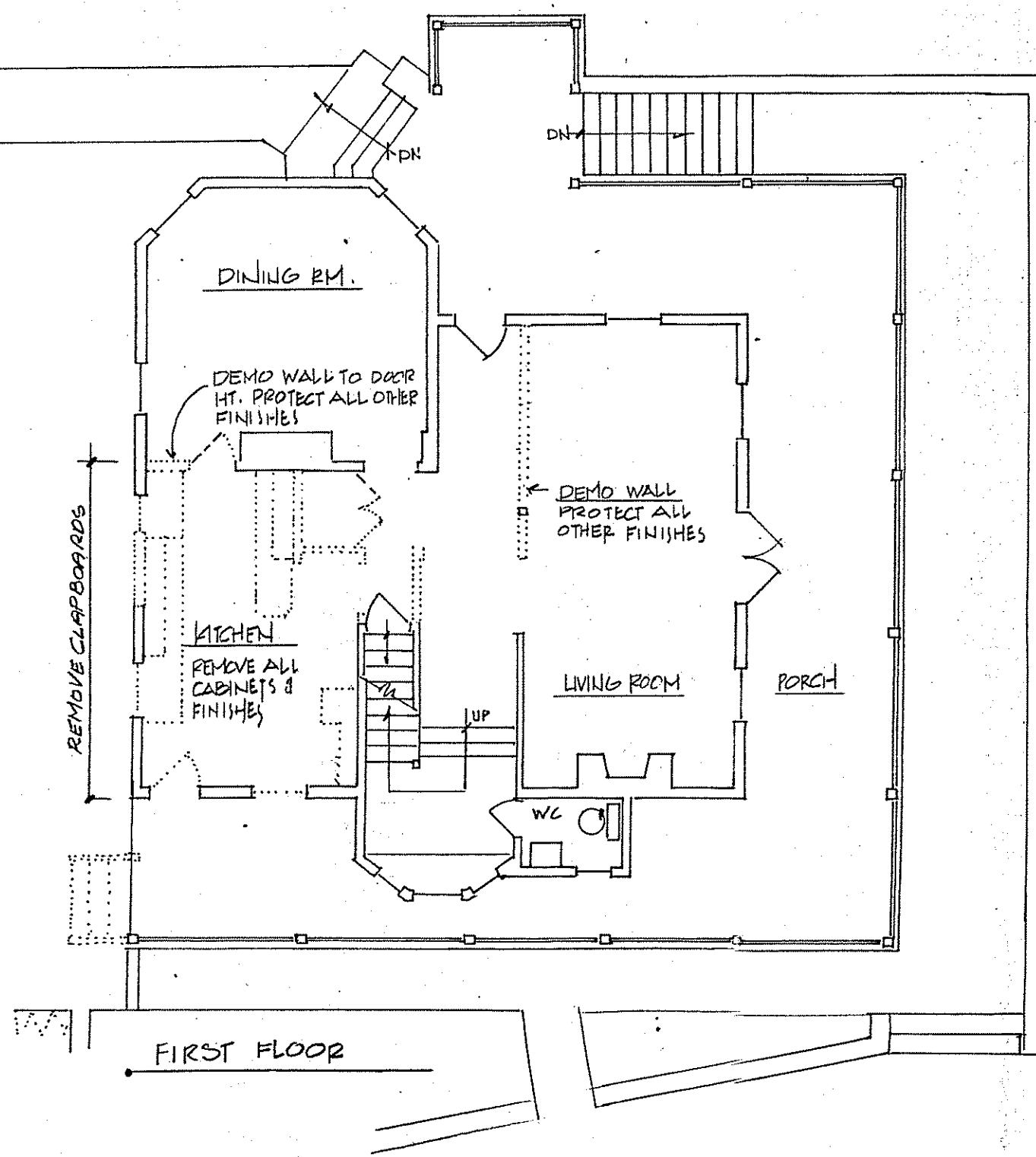
35/36-98A 4718 Cumberland Ct.
Chevy Chase (Somerset HD)

MARTIN JAY ROSENBLUM, R.A. & ASSOCIATES

Architecture Preservation Historical Research Restoration

MARTIN JAY ROSENBLUM, R.A.

346 South Fifteenth Street, Philadelphia, PA 19102
(215) 985-4285 Fax (215) 985-2476



DEMOLITION NOTES

- CAREFULLY REMOVE DOORS & WINDOWS INDICATED. SET ASIDE TO EVALUATE FOR POSSIBLE RE-USE
- VERIFY WITH OWNER IF ANY EXISTING KITCHEN CABINETS TO BE SAVED FOR RE-USE AS BASEMENT STORAGE.
- SAVE SUFFICIENT EXTERIOR SIDING FROM DEMO OF NORTH FACADE TO USE AS PATCHING MATERIAL @ AREA OF NEW ENTRANCE
- PROVIDE ADEQUATE BRACING & SHORING WHEN REMOVING EXTERIOR BEARING WALL @ 2ND FLR. PORCH.

INDEX TO DRAWINGS			
C S	COVER SHEET	SITE PLAN	
A 0	BASEMENT PLAN		E 0 BASEMENT ELECTRICAL
A 1	FIRST FLOOR PLAN & MISC. INTERIOR ELEVATIONS		E 1 FIRST FLOOR ELECTRICAL
A 2	SECOND FLOOR PLAN		E 2 SECOND FLOOR ELECTRICAL
A 3	EXTERIOR ELEVATIONS NORTH & SOUTH WINDOW SCHEDULE		
A 4	EXTERIOR ELEVATIONS EAST & WEST		
A 5	FIREPLACE & STAIR DETAILS		P 1 PLUMBING RISER DIAGRAM
A 6	BUILDING SECTIONS @ 1/4" = 1'-0"		

1 DEMOLITION PLANS @ 1/8" = 1'-0"

Contractor shall verify all dimensions and existing conditions before proceeding with the Work and report any discrepancies to Architect.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 3/26/98

Martin Jay Rosenblum, R.A. & Associates
300 South Street
Philadelphia, PA 19106
(215) 985-4285

SITE PLAN - INDEX - DEMOLITION
SUNDERLAND KOWARICK RESIDENCE
4718 CUMBERLAND AVENUE
CHEVY CHASE MARYLAND

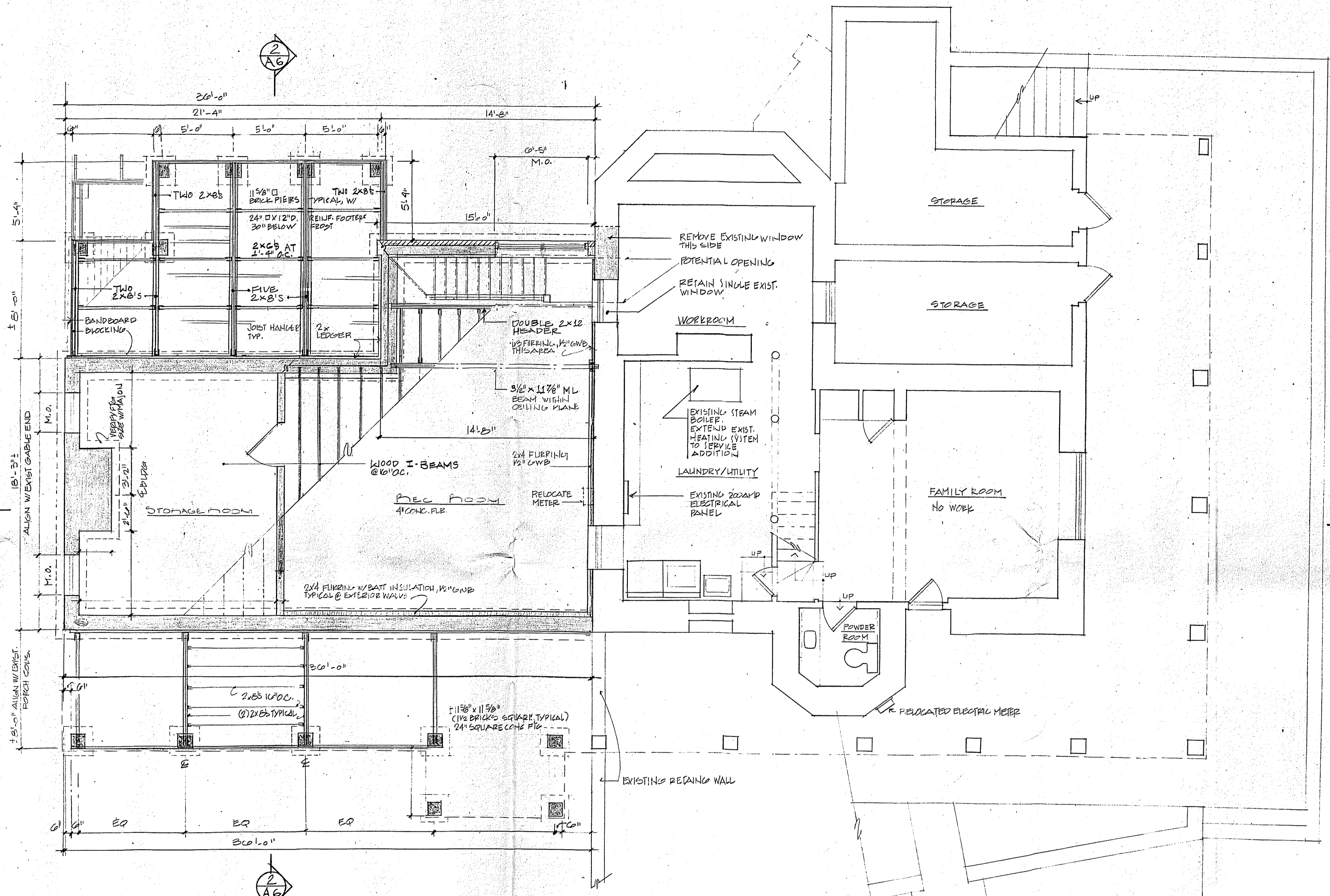
Date: 3-23-98

Revisions:

Drawn by:

Checked by:

C S



1 AG
1/4" = 1'-0"
 --- NEW CONSTRUCTION
 --- EXISTING STRUCTURE

APPROVED
 Montgomery County
 Historic Preservation Commission
 [Signature] 3/26/98

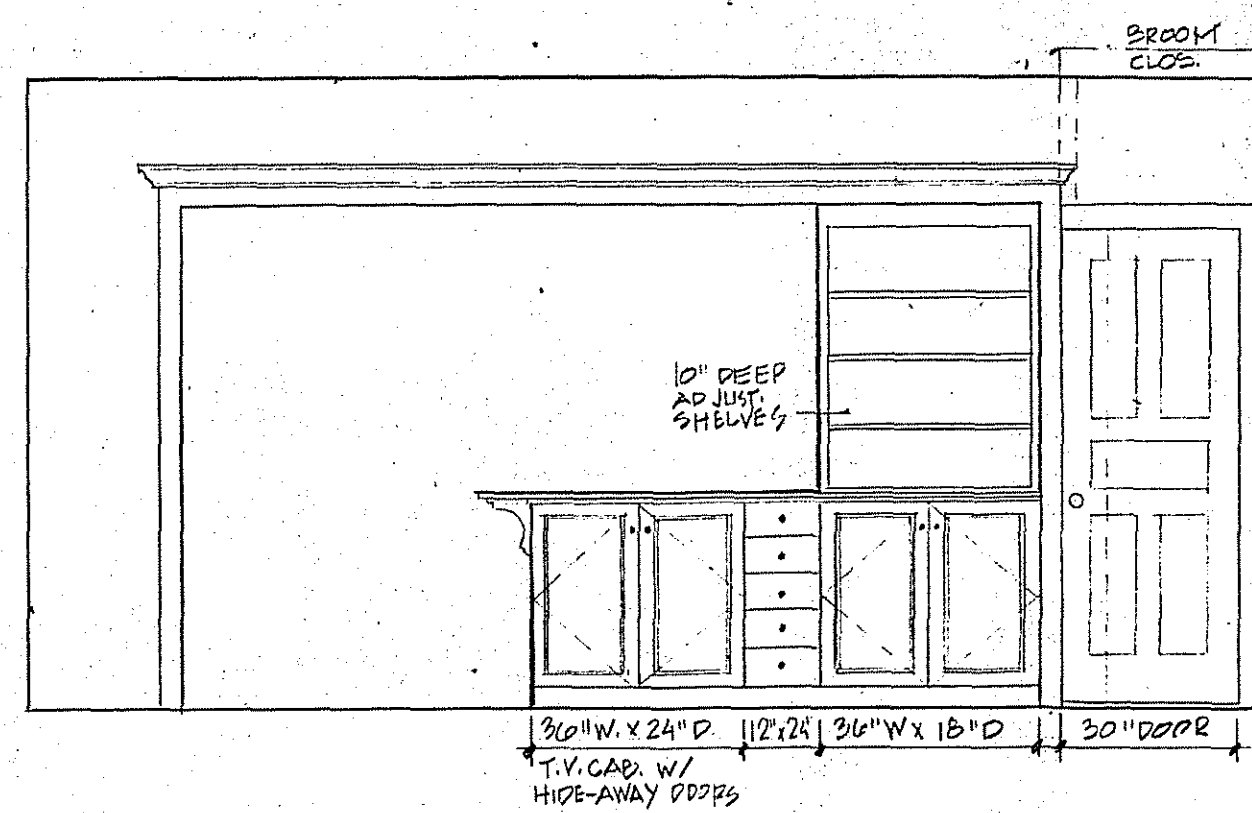
Martin Jay Rosenblum, R.A. & Associates
 246 South Broad Street
 Philadelphia, PA 19107
 (215) 985-4285

BASEMENT PLAN
 SUNDERLAND RESIDENCE
 4718 CUMBERLAND AVENUE
 CHEVY CHASE, MARYLAND

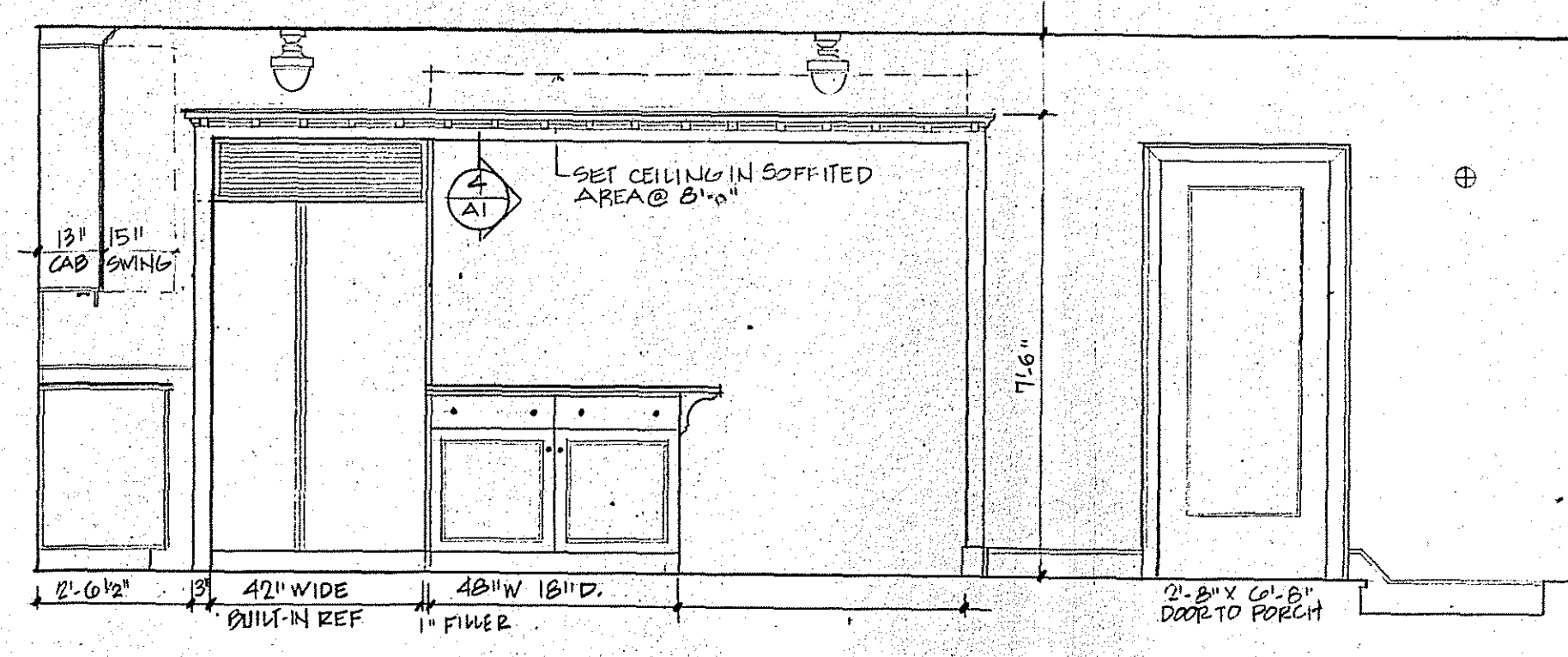
Date:	3.23.98
Revisions:	
Drawn by:	LAW
Checked by:	MJR



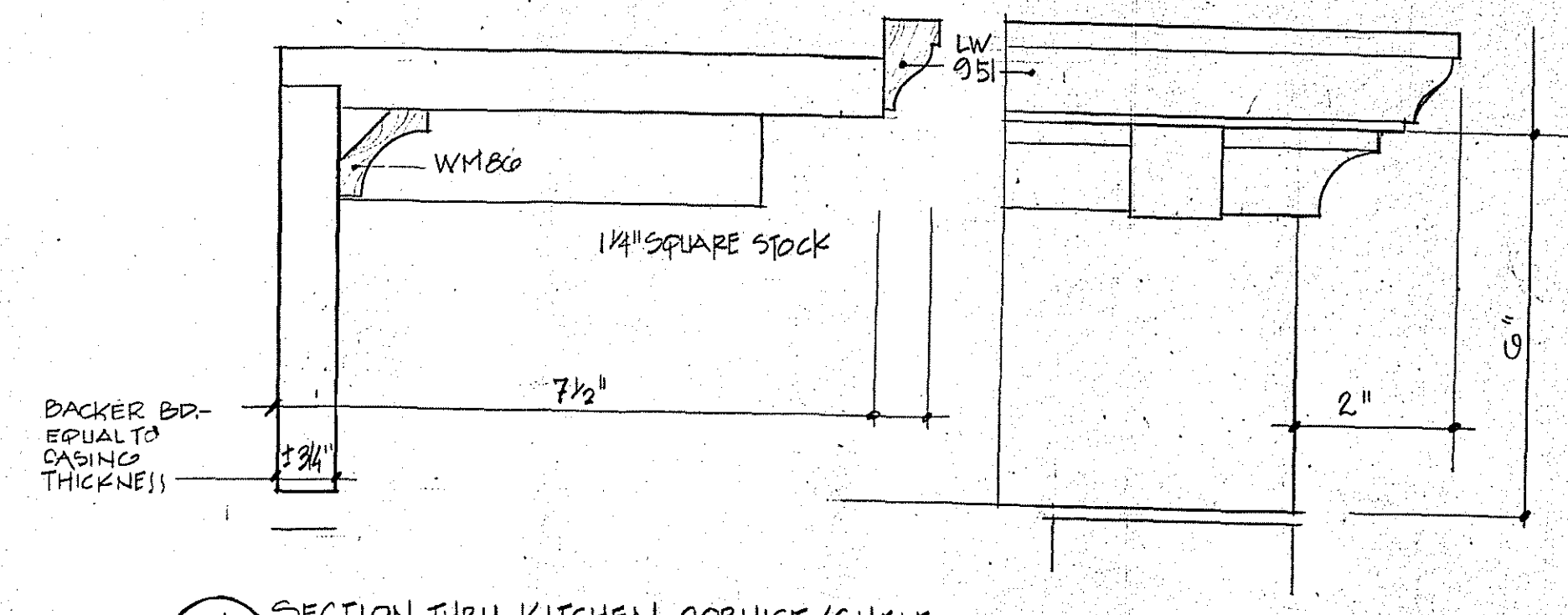
Contractor shall verify all dimensions and existing conditions before proceeding with the work and report any discrepancies to architect.



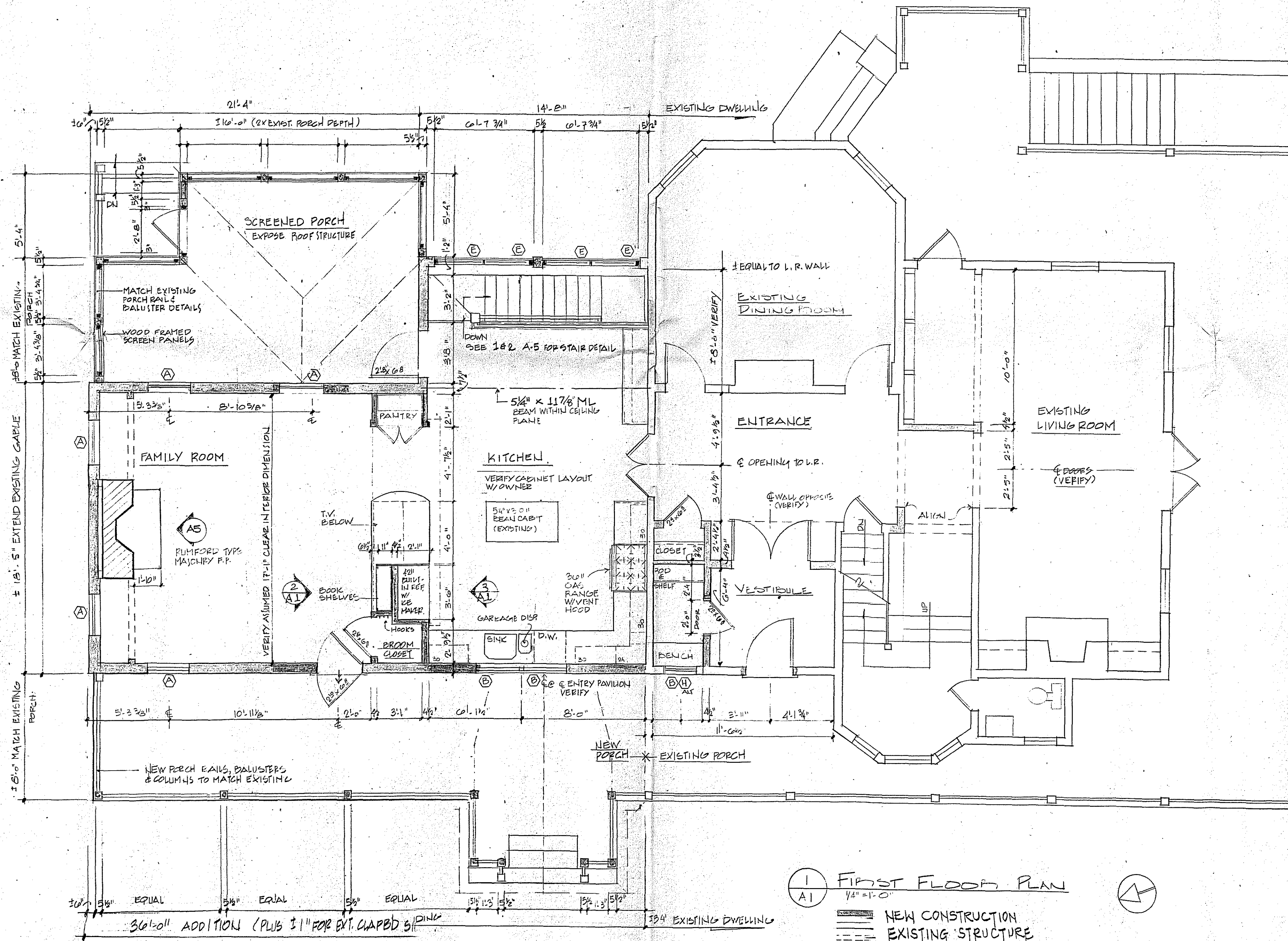
2 FAMILY ROOM CABINET ELEVATION
A1 3/8" = 1'-0"



3 KITCHEN ELEVATION
A1 3/8" = 1'-0"



4 SECTION THRU KITCHEN CORNICE/SHELF
A1 HALF SIZE



1 FIRST FLOOR PLAN
A1 1/8" = 1'-0"

- NEW CONSTRUCTION
- - - EXISTING STRUCTURE
- - - EXISTING STRUCTURE TO BE REMOVED

Contractor shall verify all dimensions and existing conditions before proceeding with the Work and report any discrepancies to Architect.

Martin Jay Rosenblum, R.A. & Associates
346 South Fifthth Street
Philadelphia, PA 19102
(215) 965-4285

FIRST FLOOR PLAN
SUNDERLAND RESIDENCE
4718 CUMBERLAND AVENUE
CHEVY CHASE, MARYLAND

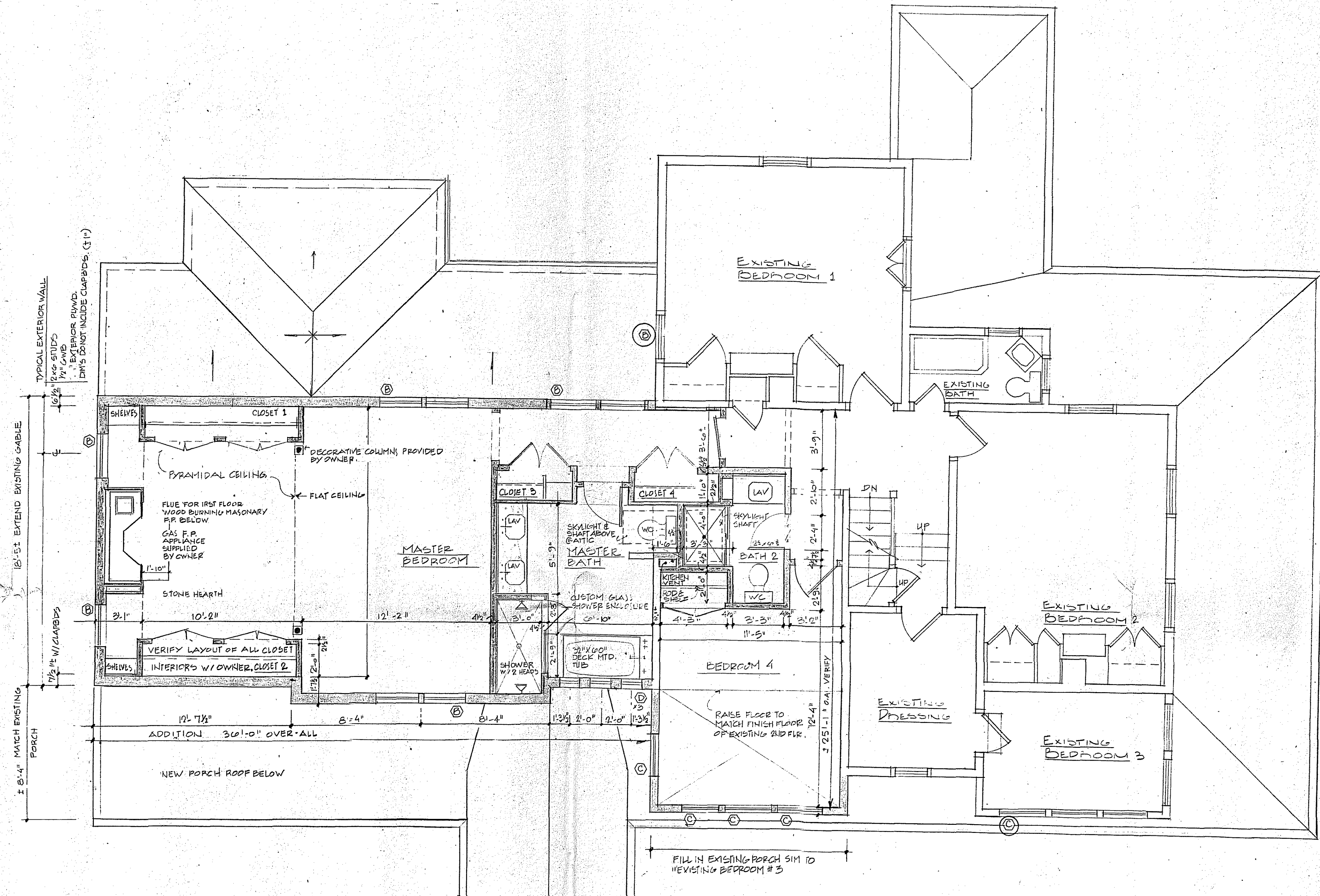
Date: 23 MARCH 198

Revisions:

Drawn by: LAW/PEL

Checked by: MJP

A1



1 SECOND FLOOR PLAN.
1/4" = 1'-0"

Contractor shall verify all dimensions and existing conditions before proceeding with the work and report any discrepancies to architect.

Martin Jay Rosenblum, R.A. & Associates
 1000 Pennsylvania Street
 Philadelphia, PA 19102
 (215) 984-4285

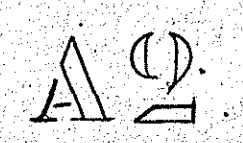
SECOND FLOOR PLAN
 SUNDERLAND RESIDENCE
 4718 CUMBERLAND AVENUE
 CHEVYCHASE, MARYLAND

Date: 23 MARCH 1988

Revisions

Drawn by: LAW/HEC

Checked by: MJR





2 SOUTH ELEVATION EVERYTHING SHOWN ON THIS FACADE IS EXISTING EXCEPT AS NOTED
 1/4" = 1'-0"

WINDOW SCHEDULE				
MARK.	LIGHTS	APPROXIMATE SIZE	TYPE	REMARKS
A	2/2	2'-10" x	DOUBLE HUNG	MATCH EXISTING FIRST FLOOR WINDOWS DESIGNATED (A)
B	2/2	2'-10" x 5'-2"	DOUBLE HUNG	MATCH EXISTING SECOND FLOOR WINDOW TYPE DESIGNATED (B)
C	CA/CA	2'-10" x 4'-6"	DOUBLE HUNG	MATCH EXISTING SECOND FLOOR WINDOW TYPE DESIGNATED (C)
D	1	1'-6" x 2'-8"	CASEMENT	NEW NOVELTY WINDOW
E	2/4	3'-0" x 7'-6"	DOUBLE HUNG	VARIATION OF WINDOW TYPES (A) & (B). TEMPERED GLASS @ LOWER SASH.
F	2	3'-0" x 1'-6"	AWNING	BASEMENT WINDOW TO ALIGN W/ (E) WINDOW TYPE
G	2			BASEMENT WINDOW TO ALIGN W/ (A) WINDOW TYPE
H	UNKNOWN	1'-6" x 2'-6" (MAX)	FIXED	APPROPRIATE NEW OR ANTIQUE NOVELTY WINDOW FOR CLOSET LOCATION. ALTERNATE TO "B" TYPE WINDOW.

WINDOW NOTES:

1. ALL NEW WINDOWS SHALL BE MADE OF PAINTABLE WOOD, CONSTRUCTED WITH EITHER TRUE DIVIDED LIGHTS AND SORM / OR SIMULATED DIVIDED LIGHTS W/ SHADOW BARS. PREFERRED MANUFACTURERS ARE ROZZI & MARVIN.
2. ANY WINDOWS REMOVED DURING DEMOLITION ARE TO BE EVALUATED & RE-USED IF POSSIBLE



1 NORTH ELEVATION
 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 3/26/18

Contractor shall verify all dimensions and existing conditions before proceeding with the work and report any discrepancies to architect.

Martin Jay Rosenblum, R.A. & Associates
 346 South Fifteenth Street
 Philadelphia, PA 19102
 (215) 985-4285

NORTH & SOUTH

EXTERIOR ELEVATIONS ~

SUNDERLAND RESIDENCE
 4718 CUMBERLAND AVENUE
 CHEVY CHASE, MARYLAND

Date: 3-23-18

Revisions

Drawn by: LAW/HCC

Checked by: MJR

Scale: 1/4" = 1'-0"

Scale: 1/4" = 1'-0"

Scale: 1/4" = 1'-0"

Scale: 1/4" = 1'-0"

Scale: 1/4" = 1'-0"

Scale: 1/4" = 1'-0"





2 EAST ELEVATION
A4 1/4" = 1'-0"



1 WEST ELEVATION
A4 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 2/26/98

Contractor shall verify all dimensions and existing conditions before proceeding with the work and report any discrepancies to architect.

Martin Jay Rosenblum, R.A. & Associates
244 N. 11th Street
Philadelphia, PA 19102
(215) 965-0285

~ EAST & WEST

EXTERIOR ELEVATIONS

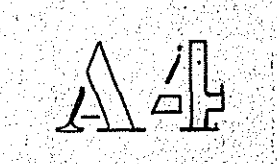
SUNDERLAND RESIDENCE
4718 CUMBERLAND AVENUE
CHEVY CHASE, MARYLAND

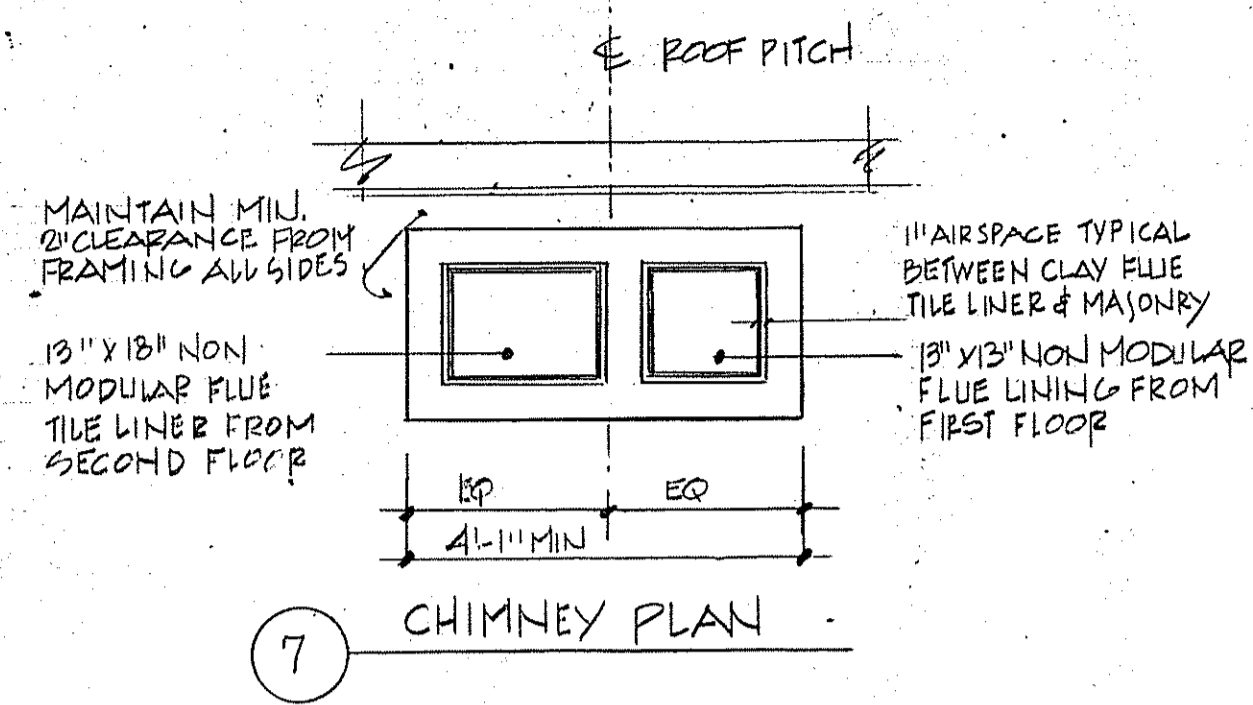
Date: 3-23-98

Revisions

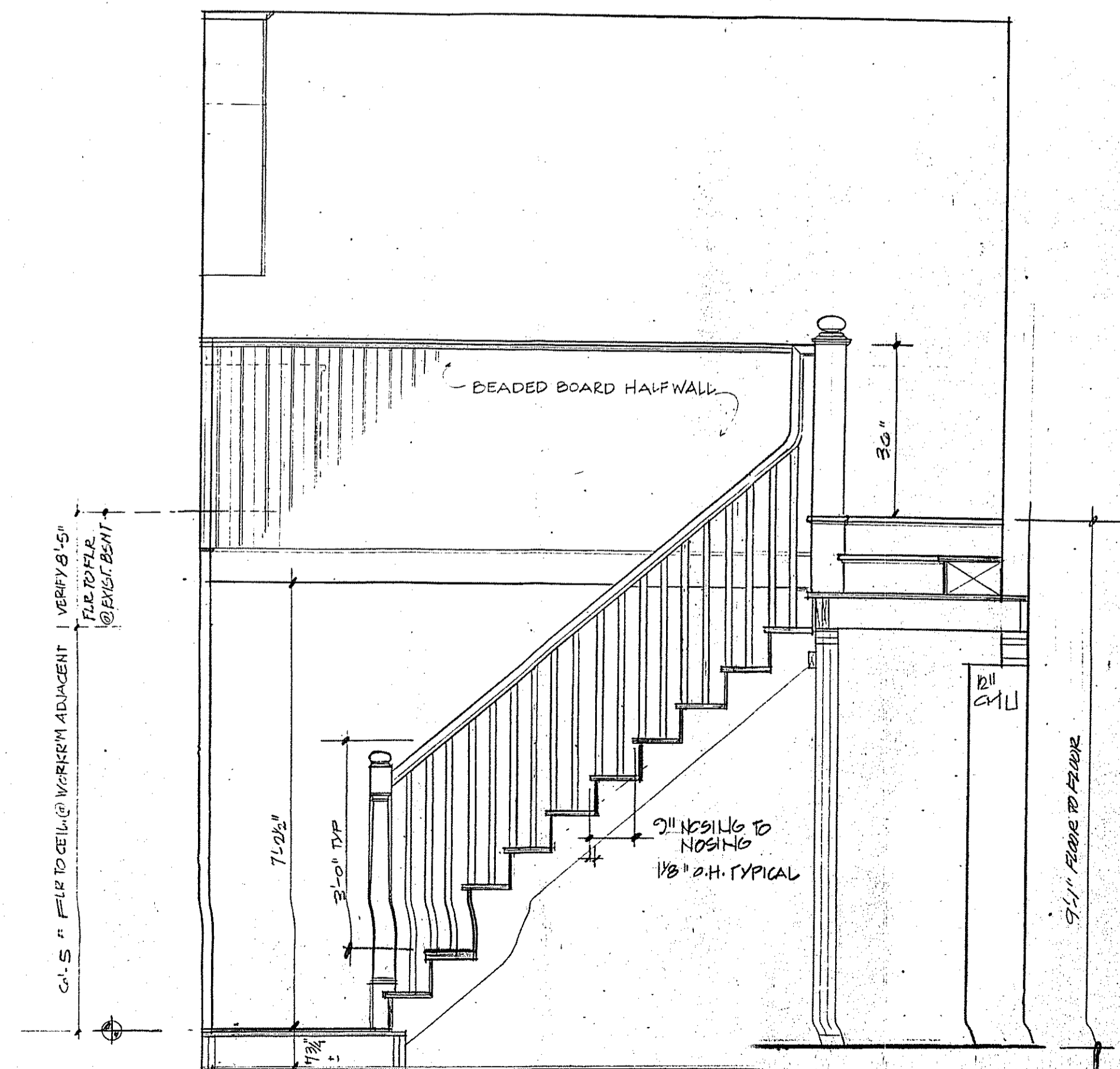
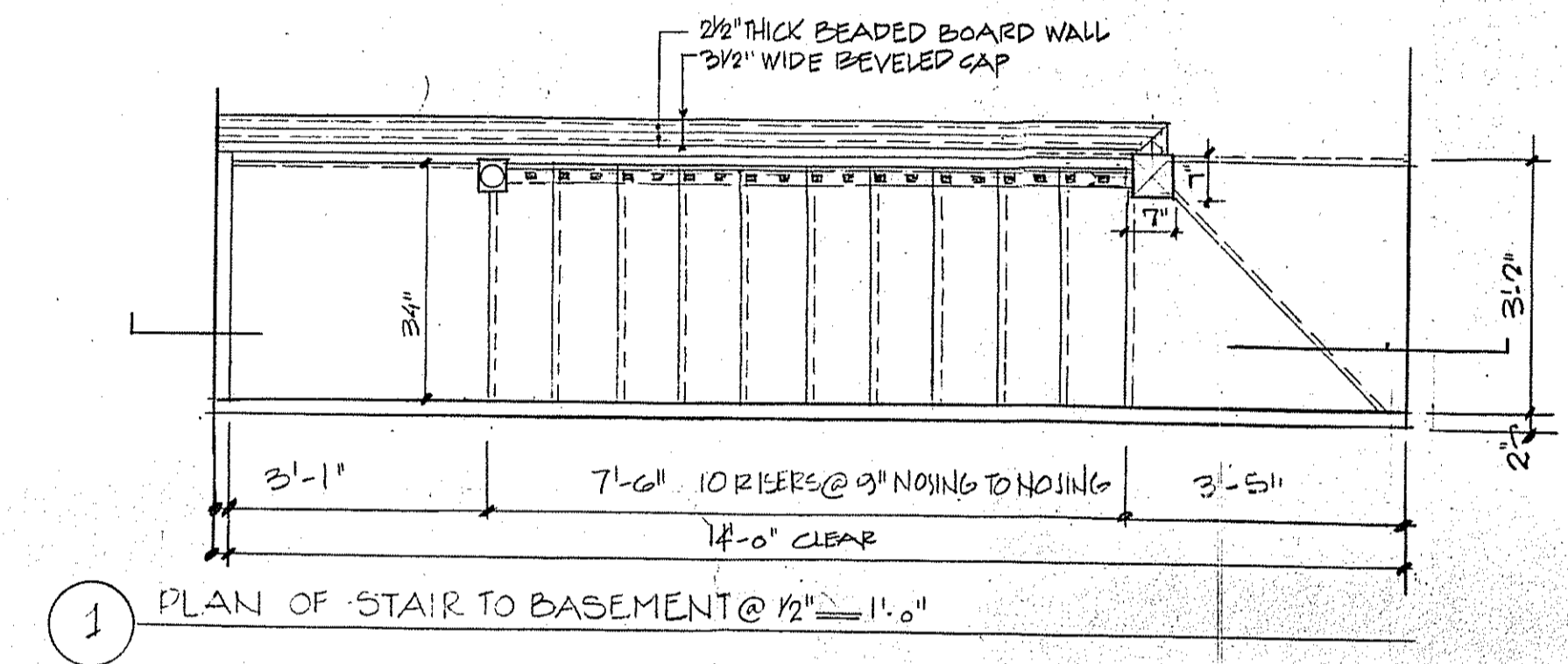
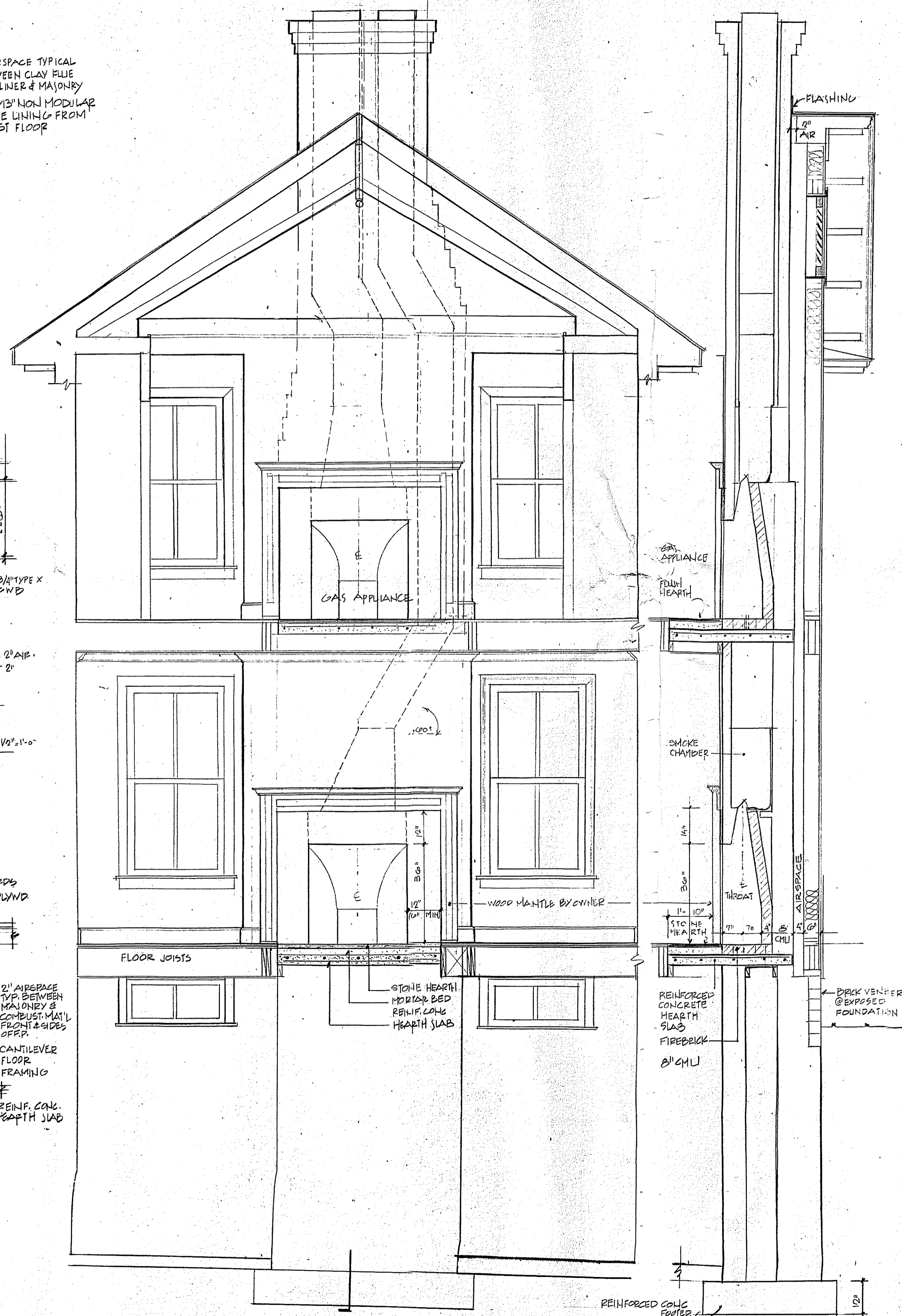
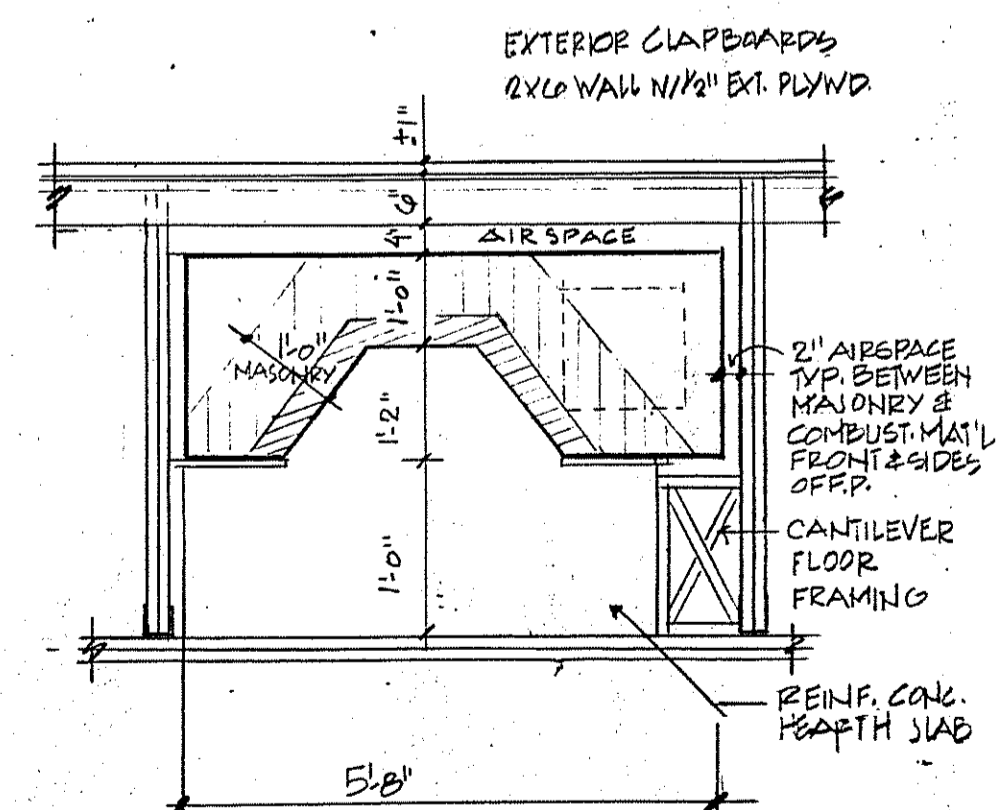
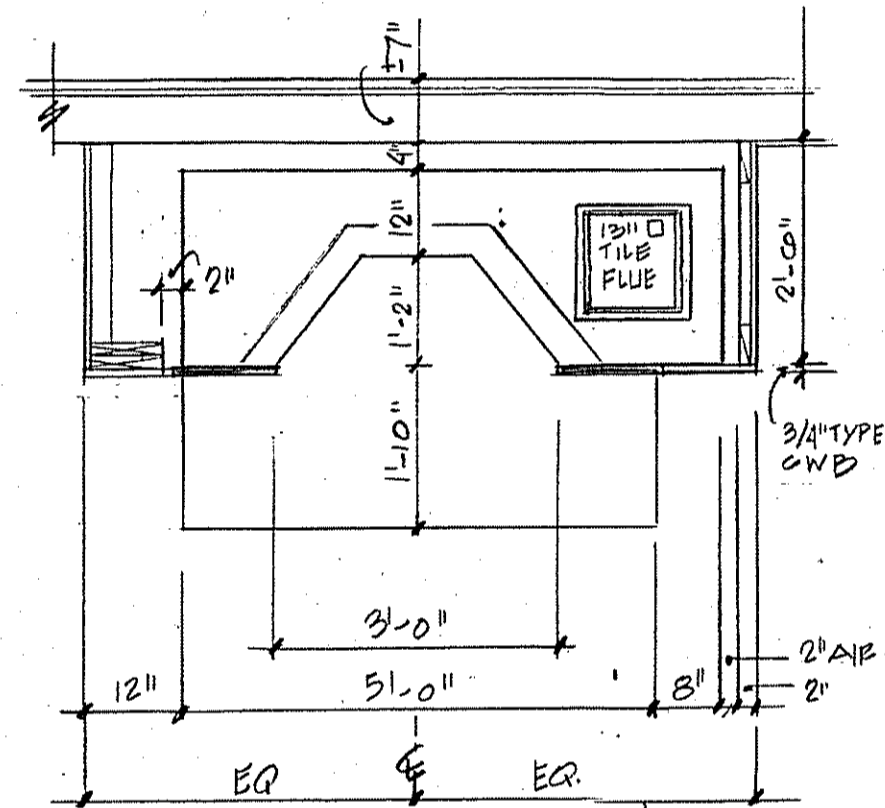
Drawn by: LAW/PEC

Checked by: M.J.R.





NOTE:
SECOND FLOOR FIREPLACE TO BE CONSTRUCTED TO FUNCTION AS A RUMFORD TYPE WOOD BURNING F.P. AND FITTED & PREPARED FOR GAS LOG APPLIANCE TO BE SUPPLIED BY OWNER



Contractor shall verify all dimensions and existing conditions before proceeding with the Work and report any discrepancies to Architect.

Martin Jay Rosenblum, R.A. & Associates
246 South River Street
Philadelphia, PA 19102
(215) 985-0285

STAIR DETAILS

FIREPLACE DETAILS

SUNDERLAND RESIDENCE
4718 CUMBERLAND AVENUE
CHEVY CHASE MARYLAND

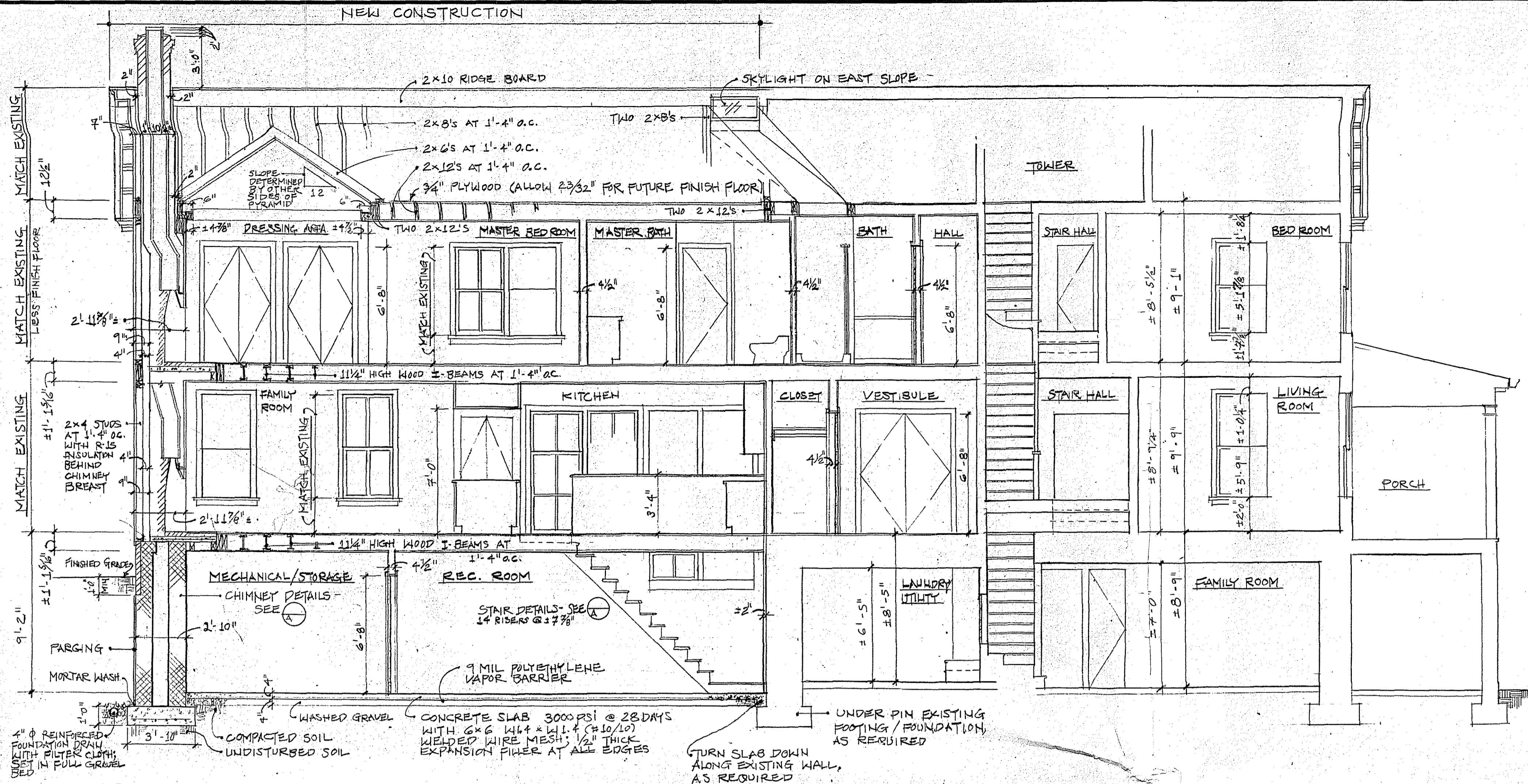
Date: 3-23-98

Revisions:

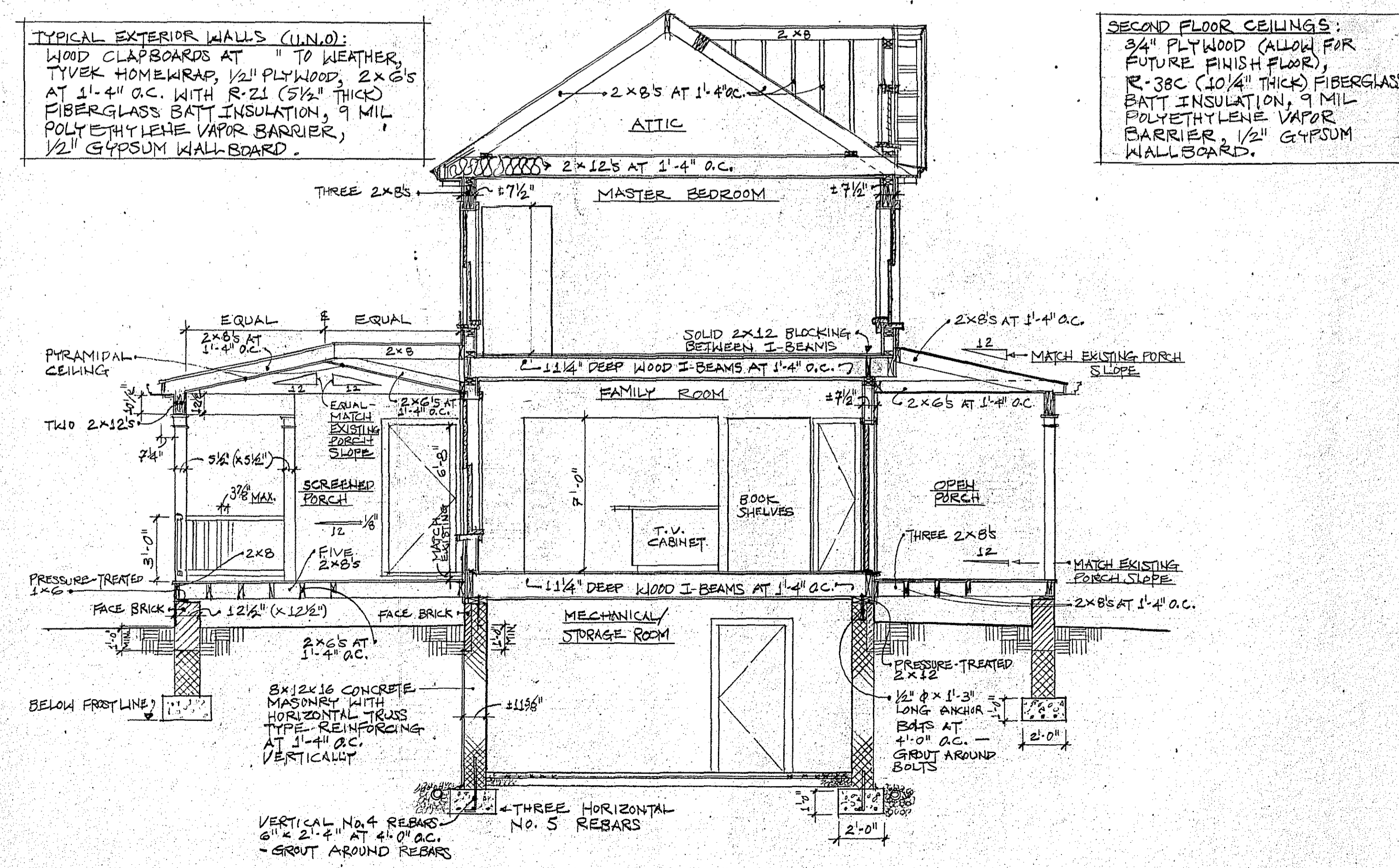
Drawn by: EM

Checked by:

A&D



1 BUILDING SECTION LOOKING EAST
 A/G 1/4" = 1'-0"



2 BUILDING SECTION LOOKING SOUTH
 A/G 1/4" = 1'-0"

STRUCTURAL NOTES:

LIVE LOADS: ROOF: 30 PSF
 THIRD FLOOR: 30 PSF
 SECOND FLOOR: 30 PSF
 FIRST FLOOR: 40 PSF
 PORCH: 60 PSF

SOIL VALUE: SOIL BEARING VALUE IS ASSUMED AT 2000 PSF. THE CONTRACTOR SHALL FIELD VERIFY THE ASSUMED VALUE AND NOTIFY THE ARCHITECT APPROXIMATELY 24 HOURS BEFORE THE FIRST FOOTINGS ARE TO BE POURED.

FOOTINGS: BOTTOMS OF FOOTINGS SHALL EXTEND 1'-0" MINIMUM INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION AT LEAST 2'-6" BELOW FINISH GRADE.

CONCRETE: ALL CONCRETE SHALL BE 3000 PSI @ 28 DAYS.

REINFORCING STEEL: REINFORCING STEEL SHALL BE ASTM A615, GRADE 60. CONCRETE PROTECTION FOR REINFORCING STEEL IN FOOTINGS SHALL BE 3" MINIMUM.

SLAB ON GRADE: UNLESS OTHERWISE NOTED, SLABS ON GRADE SHALL BE 4" THICK POURED CONCRETE AND REINFORCED WITH 6 X 6, W1.4 X W1.4, (#10/10) WELDED WIRE MESH. SLABS SHALL BE PLACED OVER A 9 MIL VAPOR BARRIER AND 4" WASHED GRAVEL. PLACING, LAP, ETC. OF MESH SHALL CONFORM TO WIRE REINFORCING INSTITUTE STANDARDS.

MASONRY: PROVIDE THREE COURSES OF SOLID BRICK OR ONE COURSE OF 8" HIGH 100% SOLID (NOT FILLED) CONCRETE BLOCK UNDER ALL JOISTS OR BEAMS BEARING ON MASONRY WALLS. WHERE STEEL LINTELS BEAR ON MASONRY WALLS PROVIDE 6 COURSES OF 100% SOLID BRICK OR 2 COURSES OF 8" HIGH 100% SOLID (NOT FILLED) CONCRETE BLOCK FULL WIDTH OF WALL BY 2'-8" MINIMUM LENGTH UNDER THE BEARING (THE 2'-8" MAY BE PARALLEL TO OR PERPENDICULAR TO BEAM SPAN). PIERS, IF ANY, SHALL BE 100% SOLID (NOT FILLED) CONCRETE BLOCK FROM TOP OF FOOTING TO BEAM BEARING.

TIMBER: ALL FRAMING SHALL BE NO. 2 DOUGLAS FIR OR NO. 2 SOUTHERN PINE OR EQUIVALENT (F_b = 1200 PSI, E = 1,600,000 PSI). MICRO LAMINATED TIMBER (ML) SIZES SHOWN ARE BASED ON F_b = 2800 PSI, F_v = 285 PSI AND E = 2,000,000 PSI. WOOD I-BEAMS MUST MEET PUBLISHED LOAD TABLES OF TRUS JOIST HANDBOOK. PROVIDE DOUBLE STUDS UNDER BEAMS UNLESS NOTED OTHERWISE ON DRAWINGS. PROVIDE DOUBLE JOISTS UNDER ALL WALLS PARALLEL WITH JOIST SPAN. BUILT-UP ML GIRDERS SHALL BE FASTENED AS FOLLOWS: FOR EACH TWO LAMINATIONS, 16d COMMON NAILS STAGGERED AT 1'-4" ON CENTER.

STRUCTURAL STEEL: STRUCTURAL STEEL SHALL CONFORM TO AISC SPECIFICATIONS FOR BUILDINGS AND, UNLESS NOTED OTHERWISE, IT SHALL CONFORM TO ASTM A 36. STRUCTURAL STEEL BELOW GRADE SHALL HAVE A MINIMUM OF 3" CONCRETE OR 4" SOLID MASONRY COVER.

TEMPORARY SHORING: THE CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AS REQUIRED PRIOR TO THE REMOVAL OF ANY LOAD-BEARING ELEMENTS. THE CONTRACTOR SHALL SUBMIT TO THE ARCHITECT IN WRITING (SKETCHES AND/OR VERBAL DESCRIPTION) ANY PROPOSED SHORING FOR PRIOR REVIEW BY THE ARCHITECT.

MASONRY LINTELS: UNLESS NOTED OTHERWISE ON DRAWINGS, PROVIDE ANGLE LINTELS WHERE ARCHITECTURAL DRAWINGS INDICATE FACE BRICK AND PRE-CAST LINTEL ELSEWHERE FOR MISCELLANEOUS OPENINGS IN WALLS. PROVIDE ONE LINTEL WITH 6" MINIMUM BEARING FOR EACH 4" OF WALL THICKNESS AS FOLLOWS:

OPENINGS TO 3'-0"	L 3-1/2" X 3"	X 5/16"	OR 4" X 8" PCC W/ #3 T & B
3'-1" TO 4'-0"	L 3-1/2" X 3"	X 5/16"	OR 4" X 8" PCC W/ #4 T & B
4'-1" TO 5'-0"	L 4" X 4"	X 3-1/2" X 5/16"	OR 4" X 8" PCC W/ #4 T & B
5'-1" TO 6'-0"	L 5" X 5"	X 3-1/2" X 5/16"	OR 4" X 8" PCC W/ #5 T & B
6'-1" TO 8'-0"	L 6" X 6"	X 3-1/2" X 5/16"	X 3-1/2" X 3/8"

WOOD LINTELS: ALL LINTELS SHALL BE THREE (3) 2 X 8 UNLESS NOTED OTHERWISE ON DRAWINGS.

PLYWOOD: ALL PLYWOOD SHALL BE TONGUE-AND-GROOVE, APA RATED SHEATHING 48/24, EXPOSURE 1, C-C PLUGGED.

NOTE: THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL EXISTING STRUCTURE PRIOR TO ORDERING NEW STRUCTURAL ELEMENTS AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THE DRAWINGS.

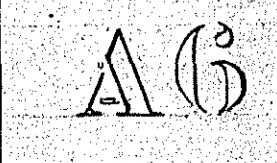
Contractor shall verify all dimensions and existing conditions before proceeding with the Work and report any discrepancies to Architect.

Martin Jay Rosenblum, R.A. & Associates
 246 South Elmwood Street
 Philadelphia, PA 19102
 (215) 965-4885

BUILDING SECTIONS
 STRUCTURAL NOTES

SUNDERLAND RESIDENCE
 4718 CUMBERLAND AVENUE
 CHEVY CHASE, MARYLAND

Date: 3-23-98
 Revisions:
 Drawn by:
 Checked by:



MONTGOMERY COUNTY, MARYLAND

Department of Permitting Services
250 Hungerford Drive, 2nd Floor
Rockville, MD 20850

BUILDING PERMIT

PERMIT NO. 912230094

MARCH 13, 1998

EXPIRES 03/13/99

THIS IS TO CERTIFY THAT

DR. TREV SUNDERLAND & DR. SUZAN KOVARIC
4718 CUMBERLAND AVE
CHEVY CHASE MD 20815
(215) 985-4285

HAS PERMISSION TO: ALTER

0000 HISTORIC SITE

1. New wood lapsiding will be a different size lap than original siding.
2. New screened in porch will utilize a railing system which is compatible with the existing railing system with inset pickets.
3. New windows will be true divided light or simulated true divided light wood.
4. No skylight on original portions of house.
5. Architect is encouraged to redesign the closed in porch to have more open design, not matching the other 2nd story closed in porch.

REGARDLESS OF SET BACK SHOWN

THIS BUILDING MUST NOT EXTEND BEYOND ESTABLISHED BUILDING LINE.

**MUST BE
POSTED**

(ON JOB SITE)

PREMISE ADDRESS 04718 CUMBERLAND AVE CHEVY CHASE

LOT 5	BLOCK 3	ZONE	SUBDIVISION	JOMERSET HEIGHTS
LIBER	FOLIO	PARCEL	PLATE	GRID
	ELECTION DISTRICT	07	TAX ACCOUNT NO	00000000
PERMIT FEE	\$ 00,000.00		ESTIMATED COST	100,050,000
IMPACT FEE	\$ 0,000,000			

MONTGOMERY COUNTY, MARYLAND

Department of Permitting Services
280 Hungerford Drive, 2nd Floor
Rockville, MD 20850

BUILDING PERMIT

PERMIT NO 9712230094

MARCH 13, 1998

EXPIRES: 03/13/99

THIS IS TO CERTIFY THAT:

DR. TREY SUNDERLAND & DR. SUZAN KOVARIC
4718 CUMBERLAND AVE
CHEVY CHASE MD 20815
(215)985-4285

HAS PERMISSION TO: ALTER

0000 HISTORIC SITE

1. New wood lapsiding will be a different size lap than original siding.
2. New screened in porch will utilize a railing system which is compatible with the existing railing system with inset pickets.
3. New windows will be true divided light or simulated true divided light wood.
4. No skylight on original portion of house.
5. Architect is encouraged to redesign the closed in porch to have more open design, not matching the other 2nd story closed in porch.

REGARDLESS OF SET BACK SHOWN,
THIS BUILDING MUST NOT EXTEND BEYOND ESTABLISHED BUILDING LINE.

**HISTORIC APPROVAL ONLY
BUILDING PERMIT REQUIRED**

PREMISE ADDRESS	04718	CUMBERLAND	AVE	CHEVY CHASE
LOT	5	BLOCK 3	ZONE	SUBDIVISION SOMERSET HEIGHTS
LIBER		FOLIO	PARCEL	PLATE GRID
		ELECTION DISTRICT	07	TAX ACCOUNT NO 00000000
PERMIT FEE:	\$	00,000.00		
IMPACT FEE:	\$	0,000,000	ESTIMATED COST:	\$00,150,000

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: Feb. 11, 1998

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator *RDZ*
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved Denied
 Approved with Conditions: _____

- (1) New wood lap siding will be a different size lap than original siding.
- (2) New screened-in porch will utilize a railing system which is compatible with the existing railing system, w/ inset pickets.
- (3) New windows will be true divided light or simulated true divided light wood.
- (4) No skylight on original portion of house.
- (5) Architect is encouraged to redesign the closed-in porch to have a more open design, not matching the other 2nd story closed-in porch.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: DR. TREVY SUNDERLAND

Address: 4718 CUMBERLAND AVE., CHEVY CHASE, MD. 20815

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DPS/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

Re: *Somerset Historic District*

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: Feb. 11, 1998

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator *RDW*
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

*** When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

*** Bring CD's to HPC staff for stamping PRIOR to applying for building permit @ DPS.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE ROCKVILLE, MARYLAND 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/495-4570

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Elaine Ulmer or
Contact Person: Kate Cowing

Daytime Phone No.: 215-985-4285

Tax Account No.:

Name of Property Owner: Dr. Trey Sunderland, Dr. Suzan Kovach Daytime Phone No.: 301-654-0490

Address: 4718 Cumberland Avenue, Chevy Chase MD 20815
Street Number City Street Zip Code

Contractor: Davis J. Brown Construction Co. Phone No.: 301 229-1578

Contractor Registration No.:

Agent for Owner: Martin Jay Rosenblum, R.A. & Associates Daytime Phone No.: 215-985-4285

LOCATION OF BUILDING/PREMISE

House Number: 4718 Street: Cumberland Avenue

Town/City: Chevy Chase Nearest Cross Street: Warwick Place

Lot: 5 Block: 3 Subdivision: Somerset Heights

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Move
- Install
- Wreck/Raze
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Revision
- Repair
- Revocable
- Fence/Wall (complete Section 4)
- Other:

1B. Construction cost estimate: \$ 150,000.00 (one hundred fifty thousand)

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Martin Jay Rosenblum
Signature of owner or authorized agent

12-22-97
Date

Approved: w/conditions For City/Person, Historic Preservation Commission
35/36-98A

Disapproved: Signature: [Signature] Date: Feb. 11, 1998

Application/Permit No.: 9712230084 Date Filed: Date Issued:

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 4718 Cumberland Avenue Meeting Date: 2/11/98
Resource: Somerset Historic District Review: HAWP
Case Number: 35/36-98A Tax Credit: No
Public Notice: 1/28/98 Report Date: 2/4/98
Applicant: Dr. Trey Sunderland Staff: Robin D. Ziek
PROPOSAL: Rear Addition RECOMMENDATIONS: **APPROVAL
w/CONDITIONS**

PROJECT DESCRIPTION

RESOURCE: The Biggs House, Somerset Historic District

STYLE: Victorian vernacular

DATE: 1899

The applicant owns the Biggs House, which is described in the Somerset Historic District Approved and Adopted Amendment as "a 2-1/2 story frame complex Victorian, with broad undereave dentilation and arched gable window. The original front of the house faced downhill to Dorset, and the barn on Dorset was converted into a residence in the 1920s" and separated from this property (now #4719 Dorset Avenue). *(see circle 10)*

The house has a curious relationship to Cumberland Avenue as the front elevation does not face the street, as is typical. The house sits 114' back from the street, and the north elevation which is apparent from Cumberland is a subsidiary elevation with an abbreviated gable end and no entrance; it is the plainest of the four elevations. The house was apparently designed to take advantage of a dramatic change in topography which occurs approximately 120' back from Cumberland. The property is flat up to this point, but the rear portion of the yard falls sharply down to Dorset Avenue. The house is sited at the junction of this topographic change, which provides the residents with a long vista from the porch on the south elevation.

The house was originally associated with a larger outlay of ground, including the lots below the house on Dorset Avenue. The renovated barn on Dorset was originally associated with the subject property, but the original entrance for the property is not clear at this point. This is partly a combination of topography, and the fact that the house sits in the middle of the property and doesn't front any street at all.

The front door of the house is actually on the east (side) elevation (see Circle 24). Steps on Cumberland Avenue lead up to a long walkway which goes to this front entrance (on the apparent side). Once inside the house, one is in a narrow hallway facing the stairs. (See Circle 14.) The main entrance for the family and visitors, however, is the side entrance on the west elevation, which leads directly into the kitchen. The large double doors on the south elevation, which are non-original and reflect alterations in the past 30 years, are really part of an internal circulation pattern, as people move from the living room out to the south porch to relax and enjoy the view. This south elevation is not visible at all from Cumberland.

There is a notable use of high quality materials and detailing throughout the house, but the house would be characterized overall as Victorian Vernacular, with many odd elements. The design is asymmetrical in terms of massing, and the size and placement of the doors and windows, and atypical in terms of siting. Regarding the massing, for example, at first glance, the south elevation appears typical, with a front-facing gable and the front door placed off-center. However, the corner tower is not co-planer with this elevation, but is actually placed over the entrance door on the east elevation. As viewed from Cumberland Avenue, on the north elevation, the tower is seen only as an odd pop-up in the roof. There is a strong cross-gable roofline which provides a horizontal element on the north elevation, broken up mainly with a gable which is actually flush to this elevation.

There have been alterations to date, including the enclosure of a sleeping porch on the west elevation, the replacement of doors and windows along the east, west and south elevations. The changes have been incremental, however, and the basic structure of the house is intact.

PROJECT PROPOSAL

The applicants propose to construct a large addition on the north elevation of the house to provide a modern kitchen and family room on the first floor, and a master bedroom suite on the second floor. In addition, a few changes are proposed on the original structure, including the enclosure of the open porch on the second floor, and the reversal of the door and window openings on the first floor beneath this open porch.

The addition is essentially an extrusion of the gable on the north elevation. The new addition would match the existing gable in height, width, and pitch of roof. The proposed addition would measure 18'-5" x 36', with the additional width from flanking porches on the first floor of the east and west elevations. (See Circle // .) The new windows are proposed as 2/2 to match the original windows. They would be wood, true-divided light or simulated TDL with integral muntins and shadow bar. The lap siding is proposed to match the existing lap siding. Staff has discussed the issue of "readability" with the applicant's architect, noting that the Secretary of the Interior's Standards recommend that new construction should be clearly differentiated from the original. To that end, the architect suggested the use of a wider lap siding, perhaps 4" instead of the existing 3", for the new addition to provide that differentiation.

The front entrance on the east side of the house would not be modified on the exterior. There would be new porches on the east elevation, one segment which would be screened, and one segment which would be glazed. (See Circle 25 .) The entrance on the west side would be modified by switching the existing door and window, reusing the original materials. The side porch on the west elevation would be extended to the north, along the entire length of the addition, but the entry would still be on the side elevation. The design intention is to maintain a very simple north elevation, as is currently the situation, provide a new addition which is sympathetic to and compatible with the original structure, and minimize alterations to the original house.

The Somerset LAP has reviewed the proposal and supports it.

STAFF COMMENTS

It is difficult to characterize this as a rear, side or front addition. It can be looked at as all of these. The design intentions of the applicant's architect have been to match the scale and texture of the historic structure, and reinforce the existing pattern of side elevation "front door". In staff's opinion, the architect has succeeded in providing a very large addition which is compatible with the original structure. Part of that compatibility relies on the fact that the house is so sited that it is very difficult to see either the east or west elevations of the existing house. For

the most part, the public will be given a fair view of the addition, but will never get the full-length view of the east or west elevations; and they never see the south elevation.

The proposed east and west elevations (see Circles 26, 21) are very long. It is important to project this proposal into three dimensions, and note the setback of the addition from the east elevation which is over 12'. The addition is essentially a rear ell, which fronts Cumberland Avenue. Due to the large size of the lot, the new addition will still sit back 78' from the street. This is significantly farther back than the typical house in Somerset which fronts a street with a setback varying from 30' - 45'. Essentially, the subject property does not front any street, but sits in isolation on a large lot in the middle of Somerset. (See Circle 10 .)

Staff has discussed various options for differentiating the new construction from the original structure, including reducing the height of the addition, which would result in the reduction of the width or with a reduced roof pitch. However, staff feels that the proposal to vary the wood siding is a good choice to achieve this differentiation. The entire house will have a unified paint scheme, but the new work will be "readable" as new without reducing the architectural details such as the brackets under the eaves and in the gable ends, or using an unusually shallow roof pitch.

The proposed north elevation indicates the use of a railing on the screened porch (see Circle 19), but with a different screening system on the east elevation and no railing at all (see Circle 25). Staff has discussed with the applicant and with the applicant's architect the possibility of continuing the use of the railing around the entire screened porch, to maintain a unified vocabulary in the addition which would complement the original structure. There is agreement that this is an acceptable option.

Staff has also discussed the possibility of reusing original materials where feasible. This would apply to the removal of original windows on the north elevation. If reuse is not a viable option because the sizing of the old and new openings is incompatible, staff suggests that the old materials should be donated to a salvage organization such as Old House Parts for reuse at some other site.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

CONDITIONS:

1. The new wood lap siding will be a different lap than the original dimension.
2. The new screened porch will utilize a railing system which is compatible with the existing railing system, with inset pickets.

3. The new windows will be either true divided light (TDL) or simulated TDL with integral muntins and shadow bar.
4. The applicant will bring in final construction documents for review/stamping by HPC staff prior to submission for building permit with DPS.

5. NO skylight (as shown on Chale 21) on 2nd. portion of house, and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

~~If architect cannot put it in new portion, could be approved for 1st floor level.~~

6. Architect to look into another
be encouraged to investigate redesign
of closed-in 2nd fl porch, to
reflect open character of porch, looking
to 1st floor new porch fire character

press

the most part, the public will be given a fair view of the addition, but will never get the full-length view of the east or west elevations; and they never see the south elevation.

The proposed east and west elevations (see Circles 25, 21) are very long. It is important to project this proposal into three dimensions, and note the setback of the addition from the east elevation which is over 12'. The addition is essentially a rear ell, which fronts Cumberland Avenue. Due to the large size of the lot, the new addition will still sit back 78' from the street. This is significantly farther back than the typical house in Somerset which fronts a street with a setback varying from 30' - 45'. Essentially, the subject property does not front any street, but sits in isolation on a large lot in the middle of Somerset. (See Circle 10 .)

Staff has discussed various options for differentiating the new construction from the original structure, including reducing the height of the addition, which would result in the reduction of the width or with a reduced roof pitch. However, staff feels that the proposal to vary the wood siding is a good choice to achieve this differentiation. The entire house will have a unified paint scheme, but the new work will be "readable" as new without reducing the architectural details such as the brackets under the eaves and in the gable ends, or using an unusually shallow roof pitch.

The proposed north elevation indicates the use of a railing on the screened porch (see Circle 19), but with a different screening system on the east elevation and no railing at all (see Circle 25). Staff has discussed with the applicant and with the applicant's architect the possibility of continuing the use of the railing around the entire screened porch, to maintain a unified vocabulary in the addition which would complement the original structure. There is agreement that this is an acceptable option.

Staff has also discussed the possibility of reusing original materials where feasible. This would apply to the removal of original windows on the north elevation. If reuse is not a viable option because the sizing of the old and new openings is incompatible, staff suggests that the old materials should be donated to a salvage organization such as Old House Parts for reuse at some other site.

STAFF RECOMMENDATION

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

CONDITIONS:

1. The new wood lap siding will be a different lap than the original dimension.
2. The new screened porch will utilize a railing system which is compatible with the existing railing system, with inset pickets.

3. The new windows will be either true divided light (TDL) or simulated TDL with integral muntins and shadow bar.
4. The applicant will bring in final construction documents for review/stamping by HPC staff prior to submission for building permit with DPS.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Elaine Ulmer or
Contact Person: Kate Cowing

Daytime Phone No.: 215-985-4285

Tax Account No.: _____

Name of Property Owner: Dr. Trey Sunderland, Dr. Suzan Kovacic Daytime Phone No.: 301-897-0946 (Trey)

Address: 4718 Cumberland Avenue, Chevy Chase ID 20815
Street Number City Street Zip Code

Contractor: Davis J. Brown Construction Co. Phone No.: 301 229-1578

Contractor Registration No.: _____

Agent for Owner: Martin Jay Rosenblum, R.A. & Associates Daytime Phone No.: 215-985-4285

LOCATION OF BUILDING/PREMISE

House Number: 4718 Street: Cumberland Avenue

Town/City: Chevy Chase Nearest Cross Street: Warwick Place

Lot: 5 Block: 3 Subdivision: Somerset Heights

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 150,000.00 (one hundred fifty thousand)

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Martin Jay Rosenblum
Signature of owner or authorized agent

12-22-97 (5)
Date

35/36-98A

Approved: _____

For Chairperson, Historic Preservation Commission

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the back of photographs.

6

Mary and Richard Allen
4715 CUMBERLAND AVE
CHEVY CHASE, MD. 20815

Patricia Gipple
4722 Cumberland Ave
Chevy Chase, Md. 20815.

Alexandria Dubois and
Diane B. Dubois
4712 Cumberland Ave
Chevy Chase, Md. 20815

Margaret Farrell
4719 Cumberland Ave
Chevy Chase, Md. 20815

Ellen Patterson Brown
4721 Dorset Ave
Chevy Chase, Md. 20815

George Harman and Donna
Williamson
4719 Dorset Ave
Chevy Chase, Md. 20815

1. WRITTEN DESCRIPTION OF PROJECT

- a. The existing structure is a two story frame dwelling with attic and full basement located at 4716 Cumberland Avenue, Somerset Heights (Lot 5,Block 3) Montgomery County, Maryland. This residence was built circa 1895 in the Victorian Italianate style with mitred bay corners, wrap-around porch and hipped roofs bracketed at the eave and gable overhangs. The structure is located on a large lot with extensive landscaping features and many mature trees. In a corner of the lot there is a small detached structure about 35 years old, used as a studio and having no bearing on this application.

- b. The proposed addition is a two story wood frame structure with a full basement and porches, all consistent with the scale, detailing and materials of the original structure. The proposed addition is an extension of an existing gable end on the north elevation of the original structure. The proposed addition's covered porch on the west elevation is a simple extension of the existing porch. On the east elevation a portion of the porch element is enclosed to become part of the living space, and the remainder is screened. An existing upper floor porch on the west elevation will be filled in to match a previously enclosed porch on the same elevation.

Existing details and mouldings (eg. porch post capitals and soffit/gable brackets) are to be repeated on the addition. All new windows and doors either match existing or are variations of existing windows and doors.

The impact on this historic resource and its environmental setting will be minimal. The present front yard setback is 114 feet and will become 78 feet with the addition. Side yard setbacks are not affected. The mature landscaping and trees will all remain. The proposed addition is meant to fit into the historic context of the existing structure, both complementing and completing it to the greatest extent possible.

From the Office of Trey Sunderland

Trey Sunderland
4718 Cumberland Ave.
Chevy Chase, Maryland 20815

Facsimile Message

Date: 1/22/98

To: Robin Ziek

FAX #: 301-563-3412

TEL #: 301-495-4570

From: Trey Sunderland

Total number of pages (including this page): 5

If you do not receive all pages, please contact us immediately on:

Telephone: 301-654-0489

Telefax: 301-654-1607

e-mail: trey@helix.nih.gov

MESSAGE:

Dear Robin:

Thanks for your help today on the phone. As we discussed, I am sending you the changes in the floorplan for the first floor of our proposed addition. The major changes are to the kitchen/entry closet layout. As a result of these changes, there are also slight alterations in the placement of the kitchen window and family room door in the west elevation. Other minor changes include the porch dimensions and outside door placement in the east elevation with another view of the porch door on the north elevation.

I look forward to further discussions with the board at the meeting on February 11th. If there is anything else I can provide in the meantime, please do not hesitate to call me. We are away for a few days starting today but will be back by next Wednesday.

Thanks again,

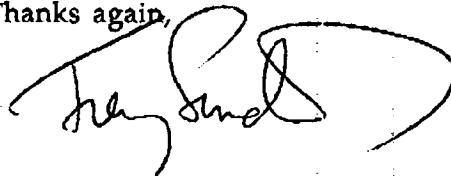
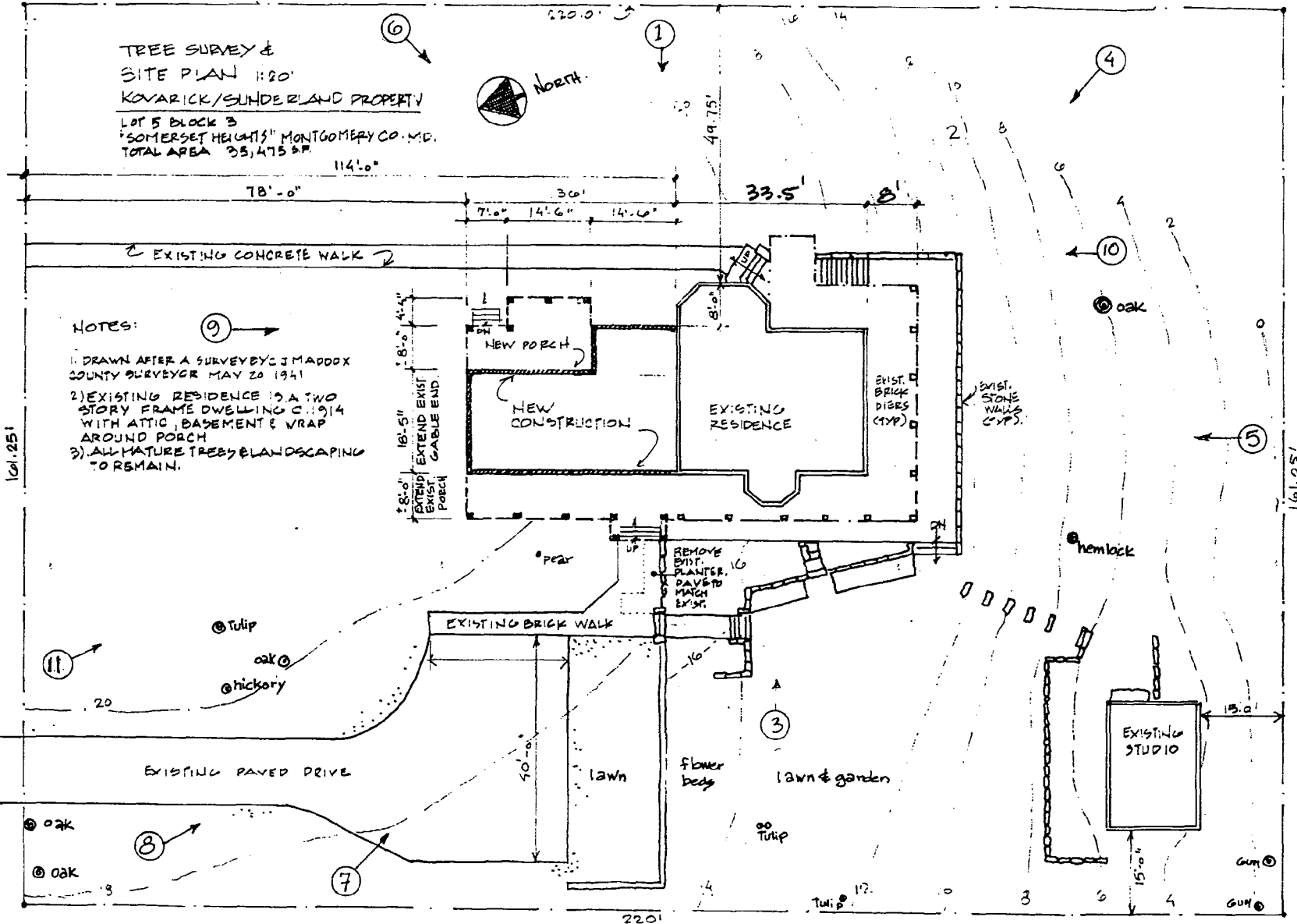


FIGURE 6

SOMERSET HISTORIC DISTRICT 35/36



TREE SURVEY &
 SITE PLAN 1:20'
 KOVARICK/SUNDERLAND PROPERTY
 LOT 5 BLOCK 3
 "SOMERSET HEIGHTS" MONTGOMERY CO., M.D.
 TOTAL AREA 25,475 S.F.

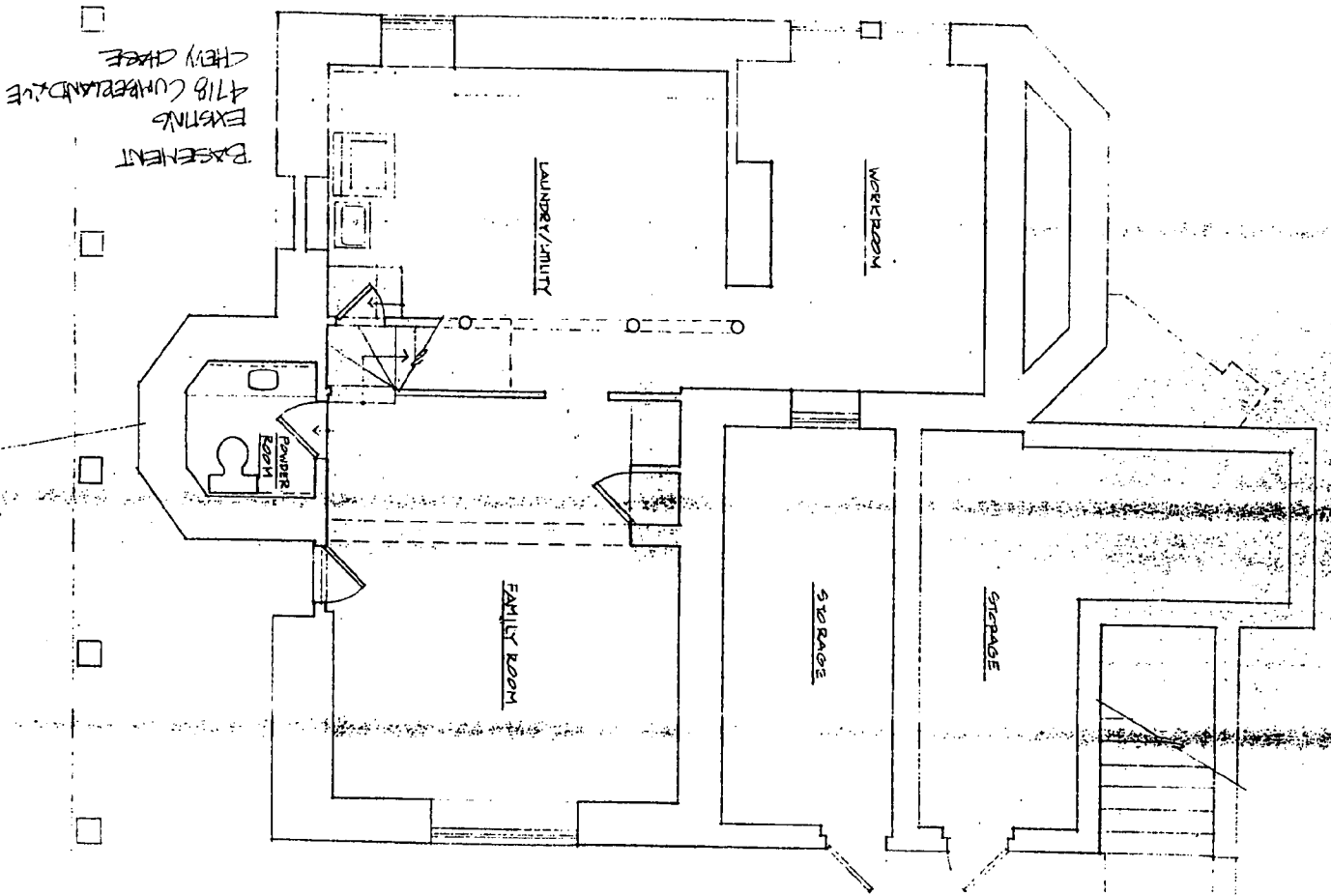


NOTES:

- 1) DRAWN AFTER A SURVEY BY J. MADDOX COUNTY SURVEYOR MAY 20 1941
- 2) EXISTING RESIDENCE IS A TWO STORY FRAME DWELLING C. 1914 WITH ATTIC, BASEMENT & WRAP AROUND PORCH
- 3) ALL MATURE TREES & LANDSCAPING TO REMAIN.

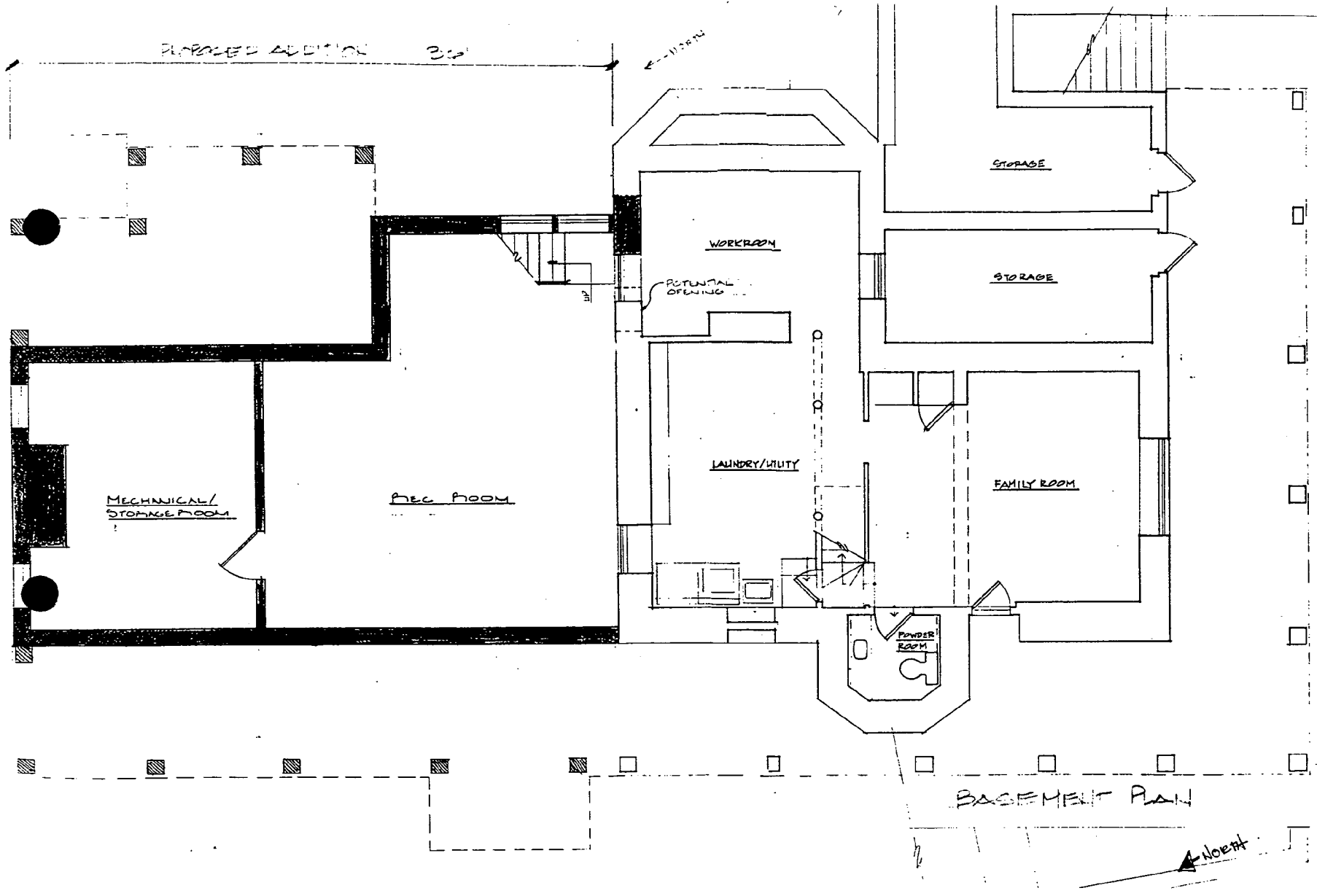
MARTIN JAY ROSENBLUM, R.A.
 346 SOUTH FIFTEENTH ST., PHILA., PA. 19102
 (215) 905-4285 FAX (215) 905-2476

North
↑



EXISTING BASEMENT

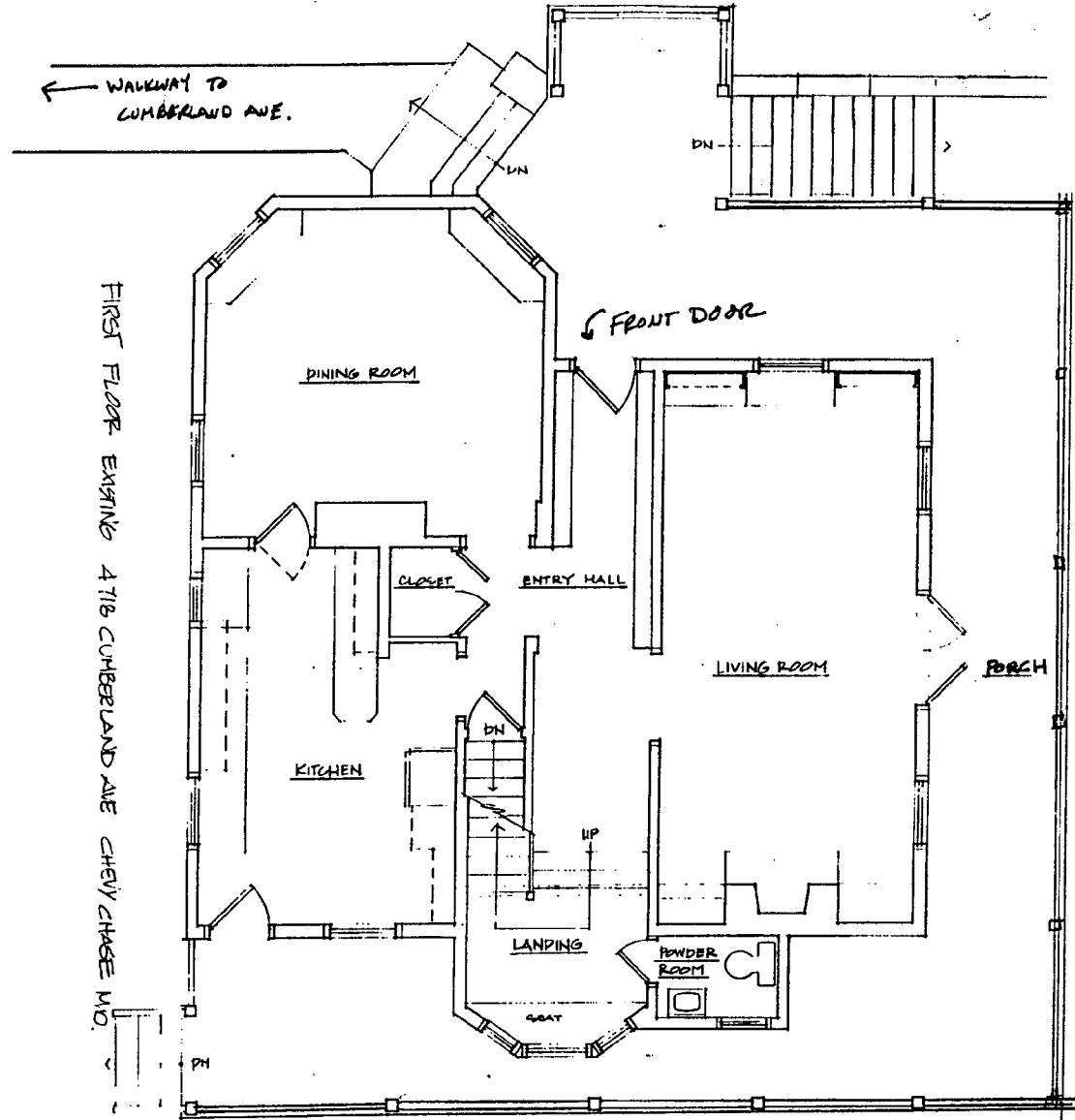
12



PROPOSED BASEMENT

BASEMENT PLAN

North



FIRST FLOOR EXISTING 4718 CUMBERLAND AVE CHEVY CHASE MD.

← WALKWAY TO CUMBERLAND AVE.

↙ FRONT DOOR

DINING ROOM

CLOSET

ENTRY HALL

LIVING ROOM

PORCH

KITCHEN

DN

UP

LANDING

POWDER ROOM

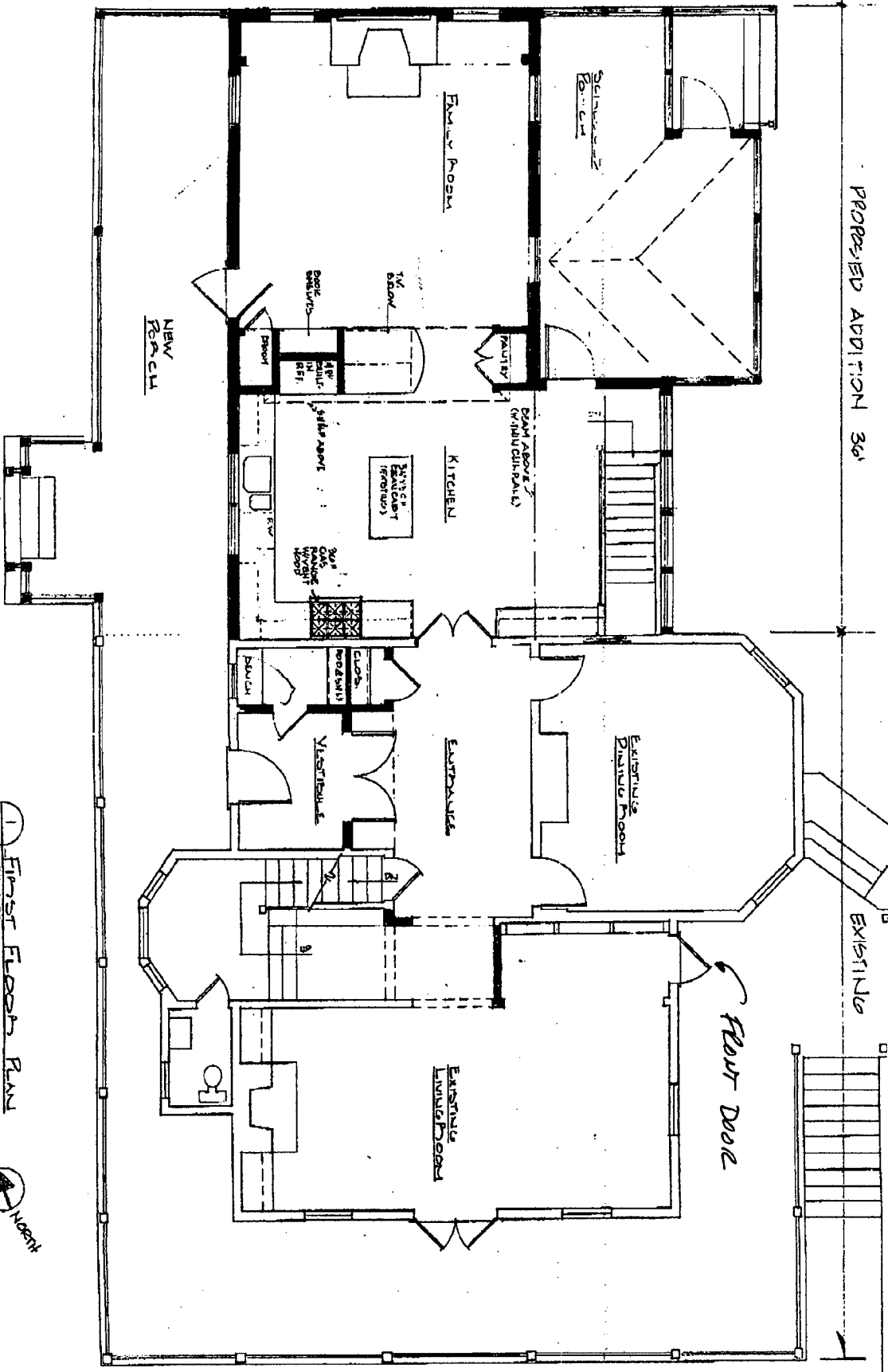
↑ NORTH

1ST FLOOR

EXISTING CONDITIONS 4718 CUMBERLAND AVE CHEVY CHASE MD.

14

1ST FLOOR EXISTING



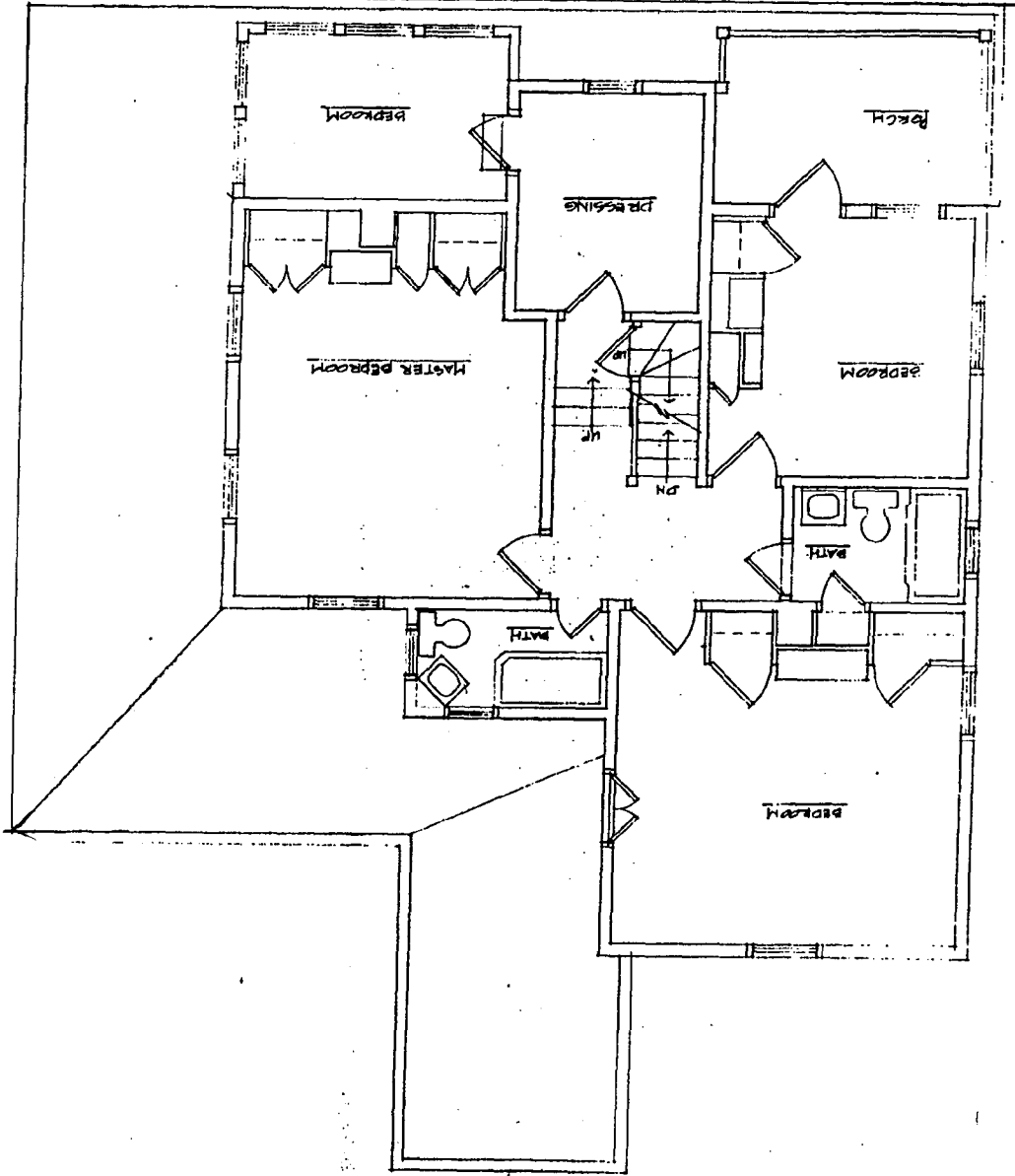
1st FLOOR PLAN



1st FLOOR PROPOSED

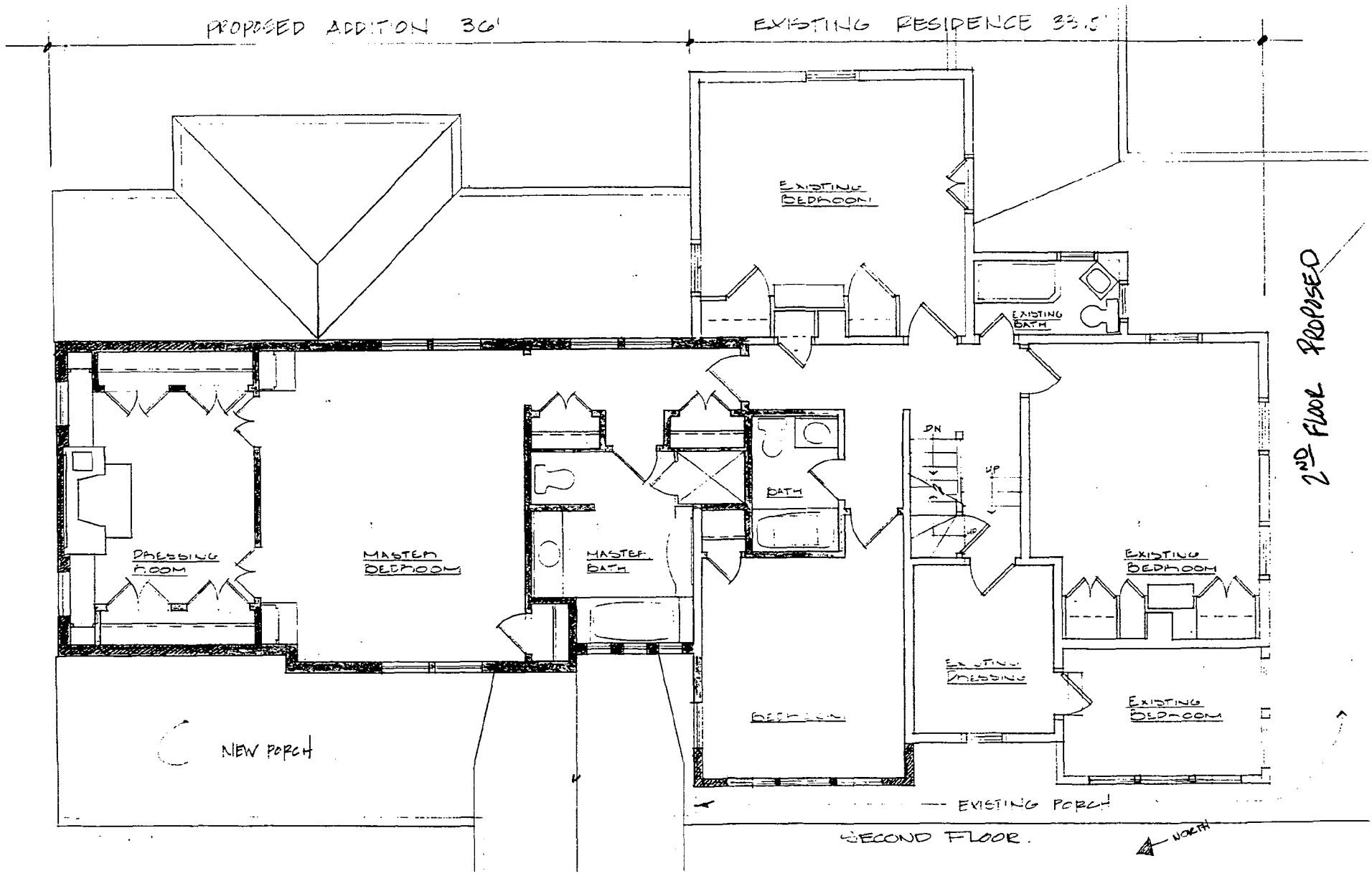


1 SECOND FLOOR PLAN - EXISTING
1/4" = 1'-0"



2ND FLOOR EXISTING

16

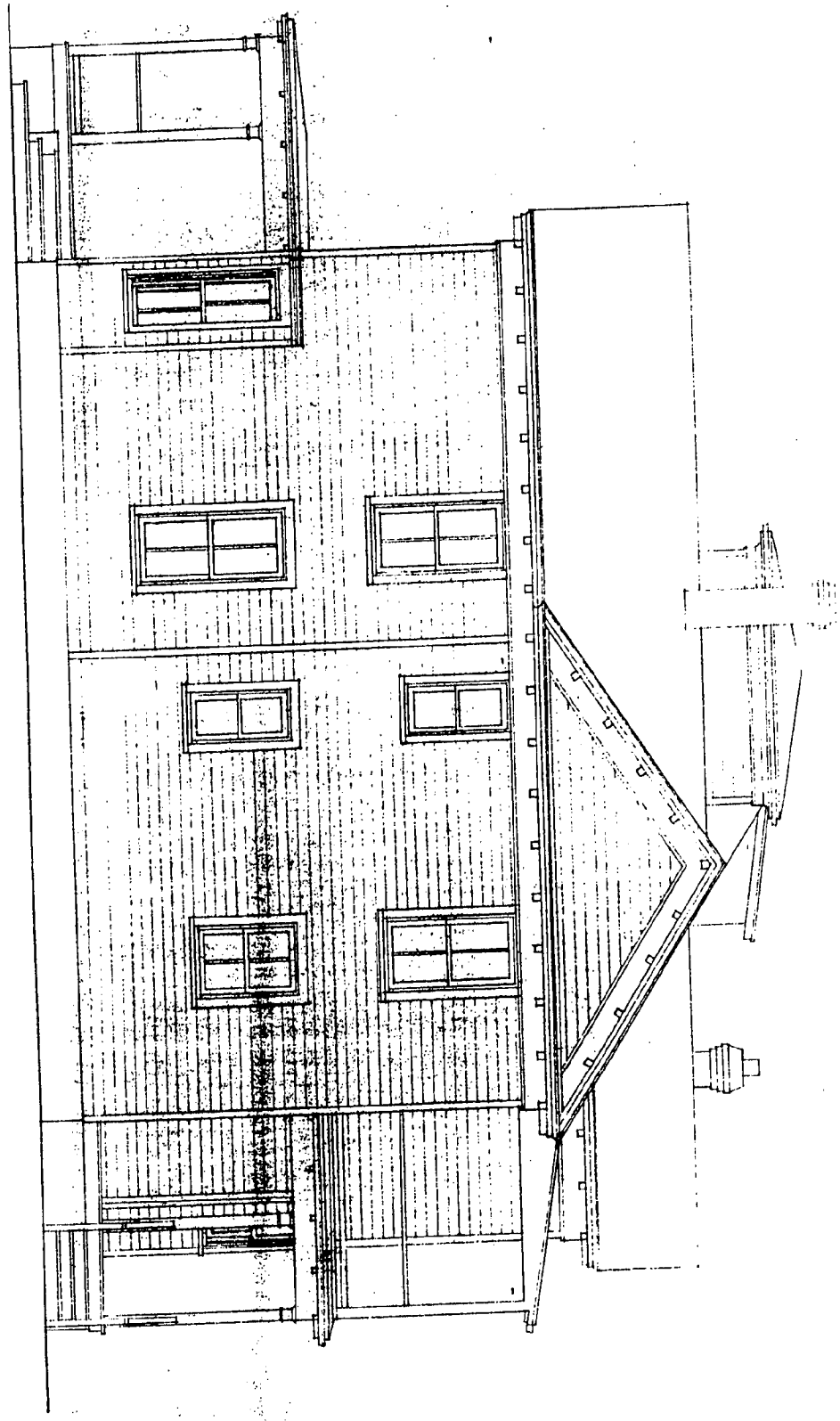


18

EXISTING NORTH

43 NORTH ELEVATION - EXISTING
1/4" = 1'-0"

ELEVATION FACING CUMBERLAND AVENUE



Contractor shall verify all dimensions and existing conditions before
beginning the work and report any discrepancies to architect.

19

1-13 NORTH ELEVATION

Proposed NORTH

NEW COVERED PORCH
MATCH EXISTING RAISE
BALUSTERS

EXTEND GABLE

EXTEND EXIST.
PORCH

NEW
ROOF ENTRY

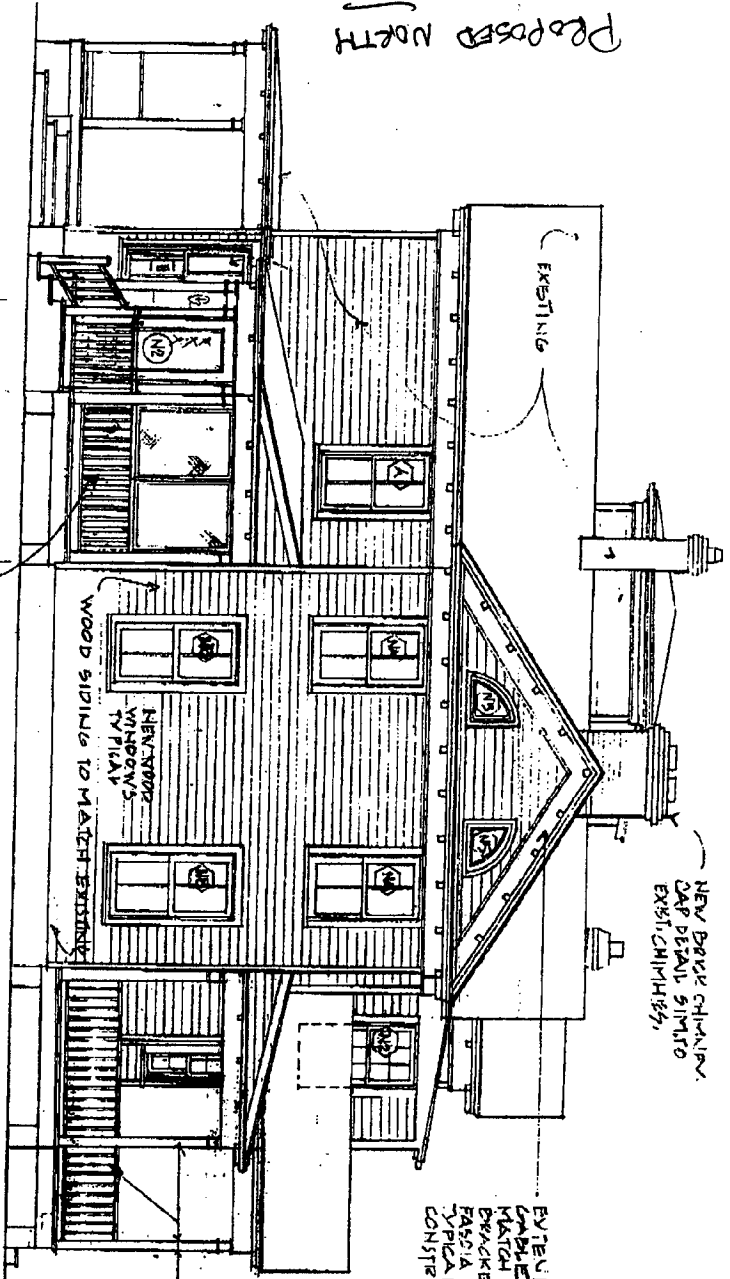
WOOD SIDING TO MATCH EXISTING
NEW/REPAIR
WINDOWS
TV HEAD

NEW COVERED PORCH
MATCH EXISTING
WOOD COLUMN'S, BAY E
DETAIL, RAILING &
BALUSTERS

EXTEND EXISTING
GABLE
MATCH EXISTING
BRACKETED EAVE &
FASCIA DETAILS
TYPICAL & NEW
CONSTRUCTION

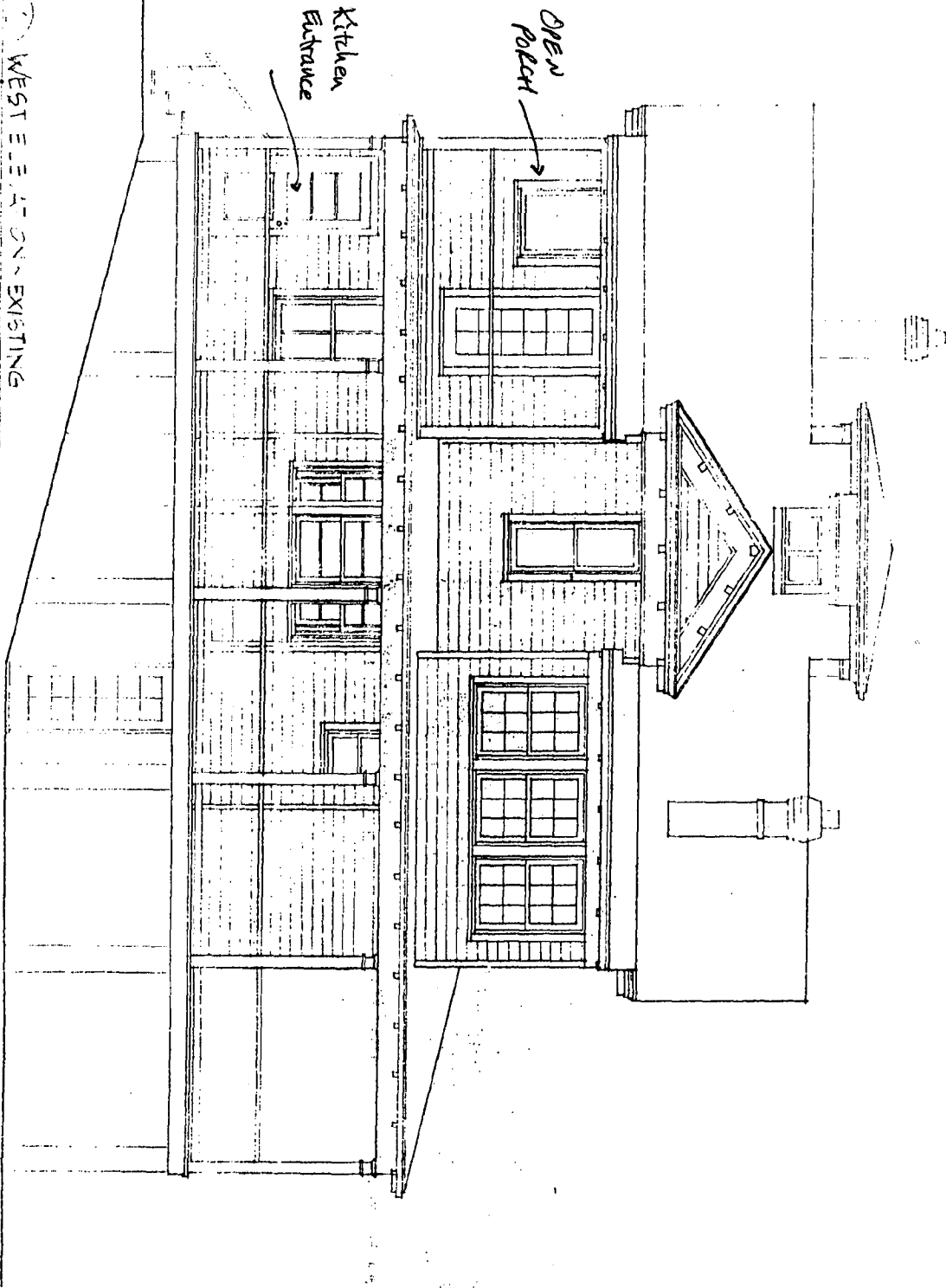
EXISTING

NEW BRICK CHIMNEY
CAP DETAIL SIMILAR
EXIST. CHIMNEYS



EXISTING WEST

WEST ELEVATION - EXISTING

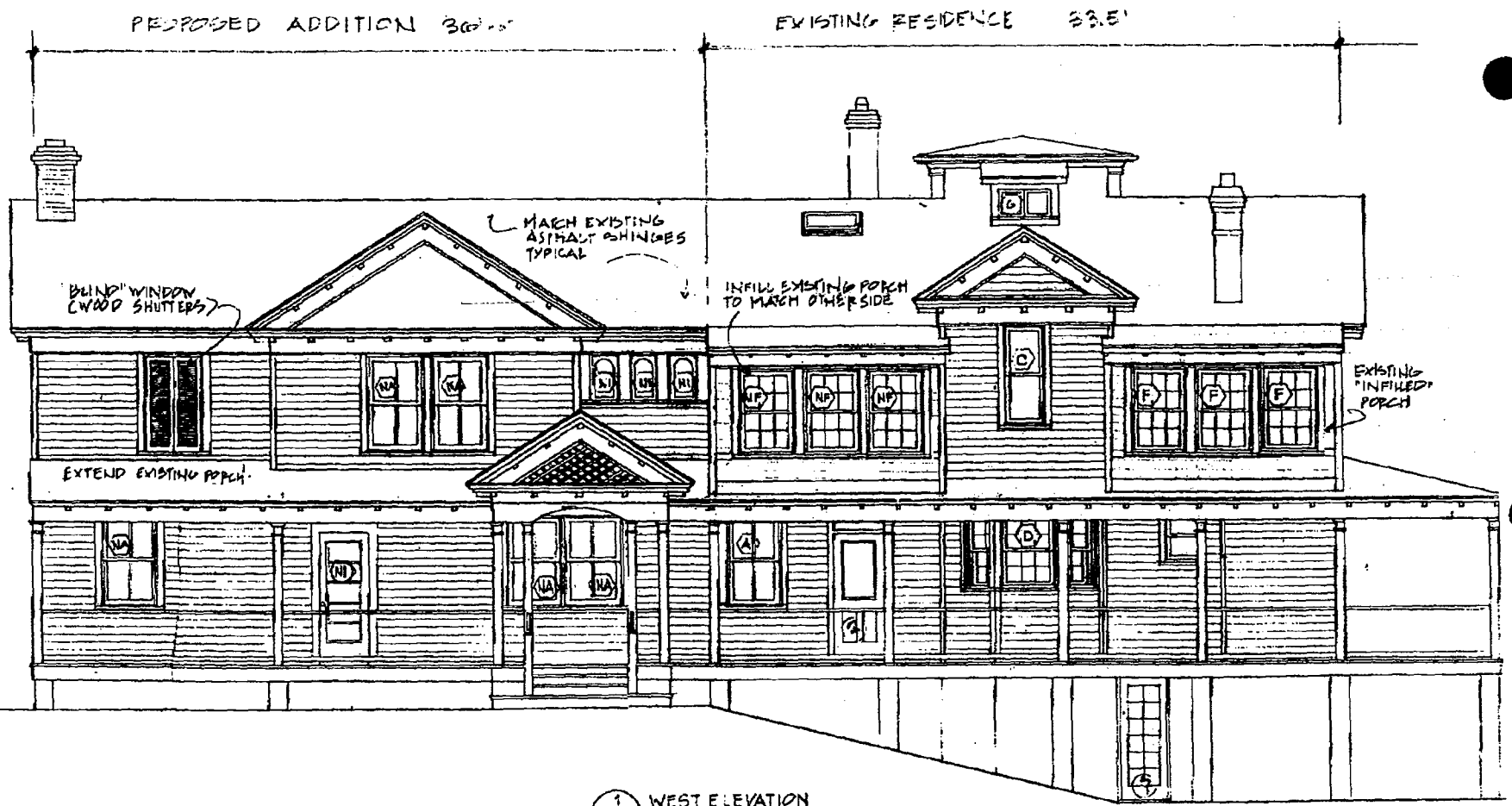


tractor shall verify all dimensions and existing conditions before proceeding with the work and report any discrepancies to architect.

Drawn	Date	EXTERIOR ELEVATIONS ~ EXISTING ~ EAST
Check	Revised	

PROPOSED WEST

17



PROPOSED ADDITION 36'-5"

EXISTING RESIDENCE 33.5'

MATCH EXISTING ASPHALT SHINGLES TYPICAL

'BLIND' WINDOW (WOOD SHUTTERS)

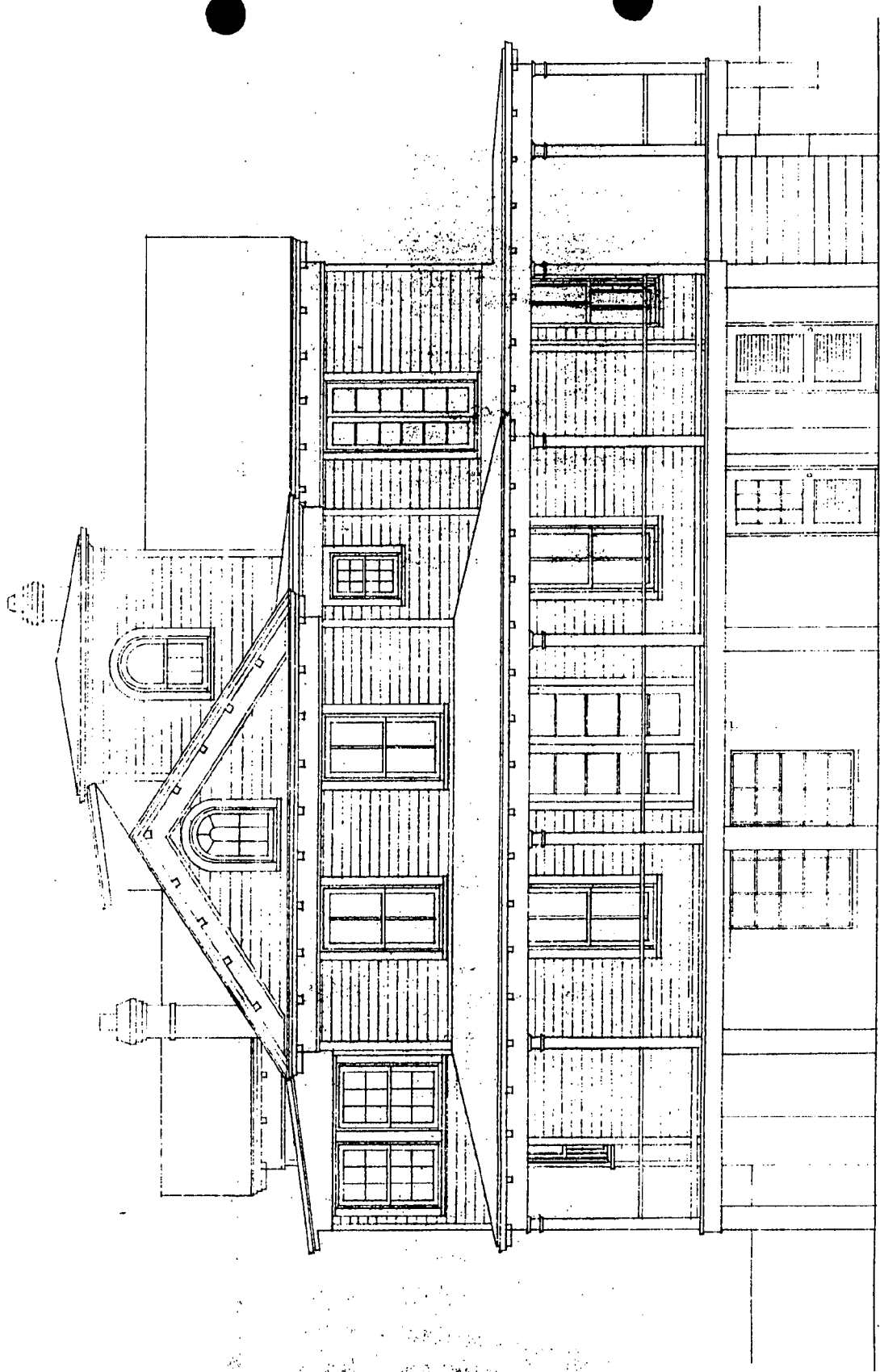
INFILL EXISTING PORCH TO MATCH OTHER SIDE

EXTEND EXISTING PORCH

EXISTING 'INFILLED' PORCH

1 WEST ELEVATION
AC

MARTIN JAY ROSENBLUM, R.A.
343 SOUTH FIFTEENTH ST., PHILA., PA 19102
(215) 985-4285 FAX (215) 985-2476



EXISTING SOUTH

WINDOWS - Door Schedule

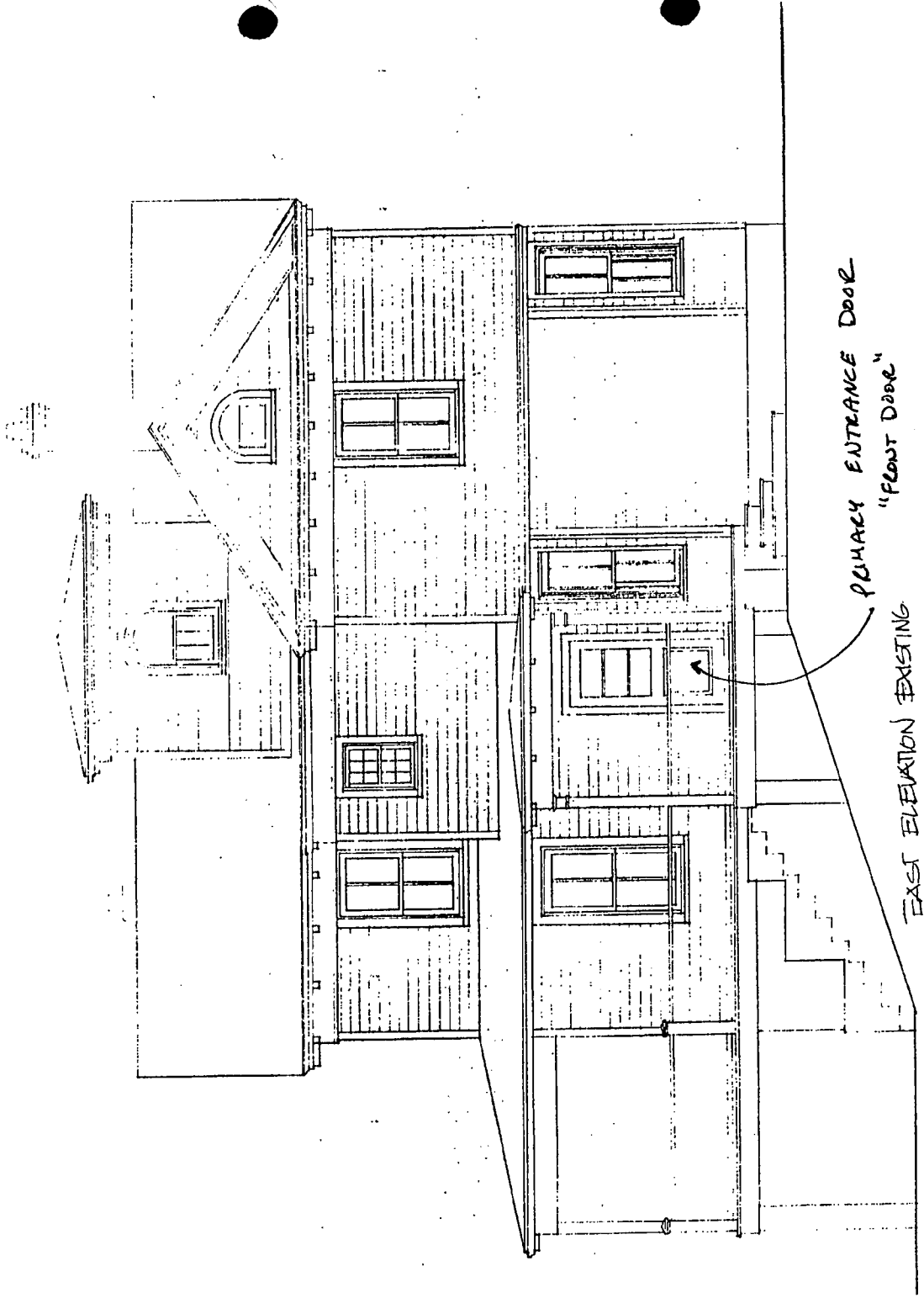
PROPOSED SOUTH

WINDOWS				
	MARK	TYPE	SIZE	LIGHTS
EXISTING	A	WDH	28" x 52"	2/2
	B	WDH	28" x 62"	2/2
	C	WDF	25" x 52"	1/1
	D	WDF BAY		6/6
	E	FW/WDH ROUND	28" x 48"	VARIES
	F	WDH	25" x 42"	6/6
	G	WD. CASEMENT	PAIR 14" x 12"	1
	H	WDH	22" x 32"	6/6
	I			
	NEW	N A	MATCH EXIST. A	
N B		MATCH EXIST. B		2/2
N F		MATCH EXIST. F		6/6
N 1		CASEMENT	6" x 32"	
N 2		CASEMENT EXPRESS	25" x 42"	6/6
N 3		WOOD AWNING	32" x 12"	1
N 4		WDH	32" x 72"	2/4
N 5		WOOD FIXED	6" RADIUS	
			V4 CURVE	
		NOTES: WDH = WOOD DOUBLE HUNG N-2 EXPRESS CASEMENT HAS HORIZ. RAIL TO MIMIC WDH TYPE F.		
DOORS				
EXISTING	1	PAIR 5 LIGHT FRENCH	28" x 74"	
	2	ONE LIGHT SASH	24" x 68"	
	3	THREE LIGHT SASH	28" x 68"	
	4	SIX LIGHT SASH	25" x 68"	
	5	WOOD LOUVRE	25" x 68"	
	6	PAIR 5 LIGHT FRENCH	18" x 68"	
	7	PAIR 10 LIGHT FRENCH	24" x 68"	
NEW	N-1	PAIR 5 LIGHT FRENCH	24" x 68"	
	N-2	PAIR WOOD SCREEN	30" x 60"	



2 SOUTH ELEVATION

MATTHEW J. ROSENBLUM, P.A.
 1517 SOUTH BENTLEY ST., PHILA., PA. 19102
 (215) 381-285 FAX (215) 381-175



PRIMARY ENTRANCE DOOR
"PEDEST DOOR"
EAST ELEVATION EXISTING

EXISTING EAST

OPEN PORCH
PROPOSED TO CLOSE IN.



⑦ WEST



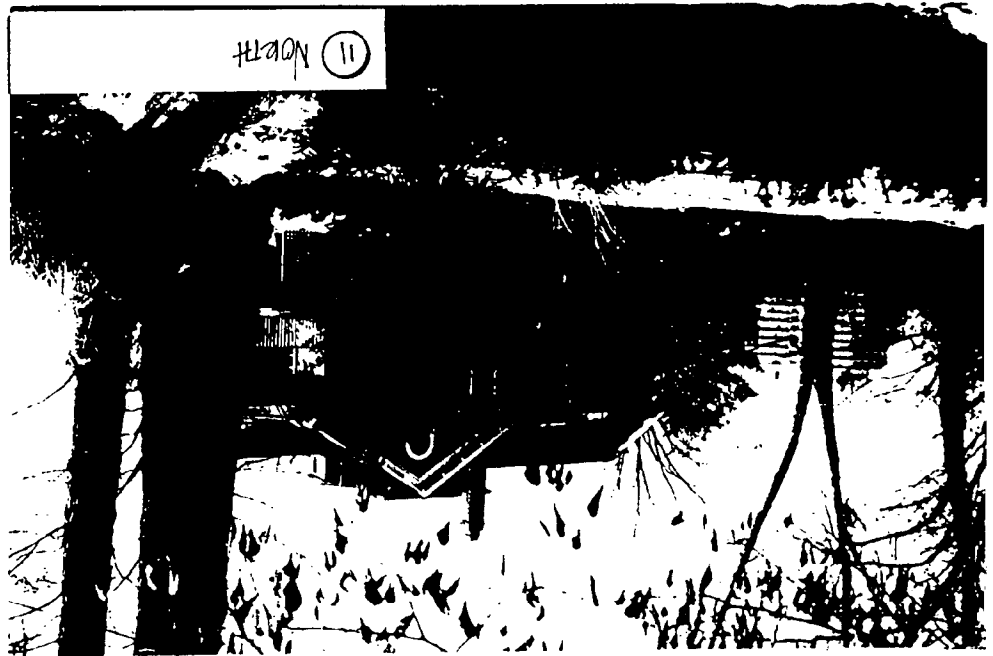
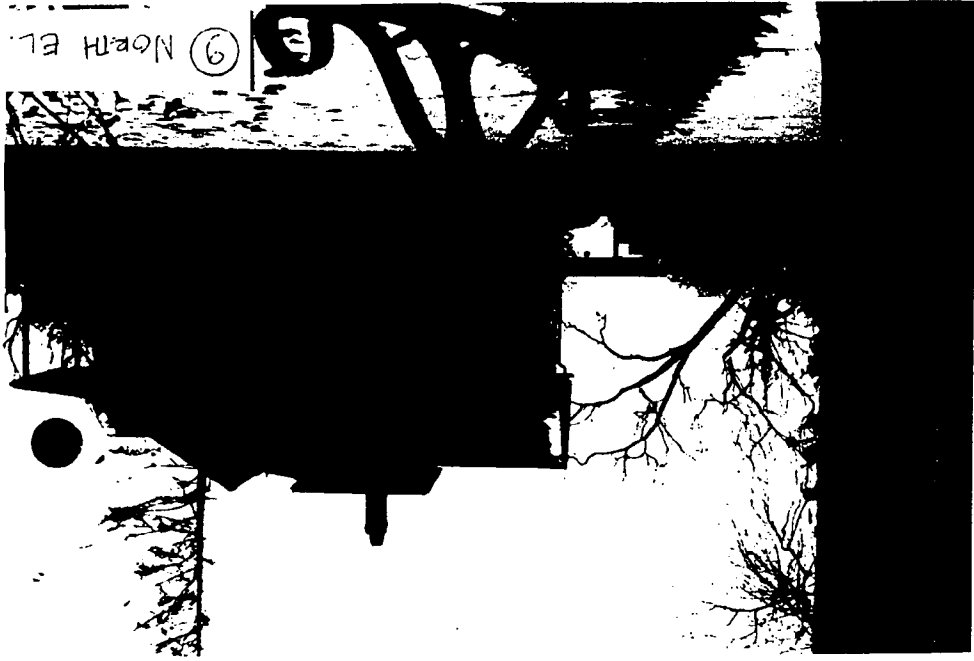
⑧ NORTH & WEST E

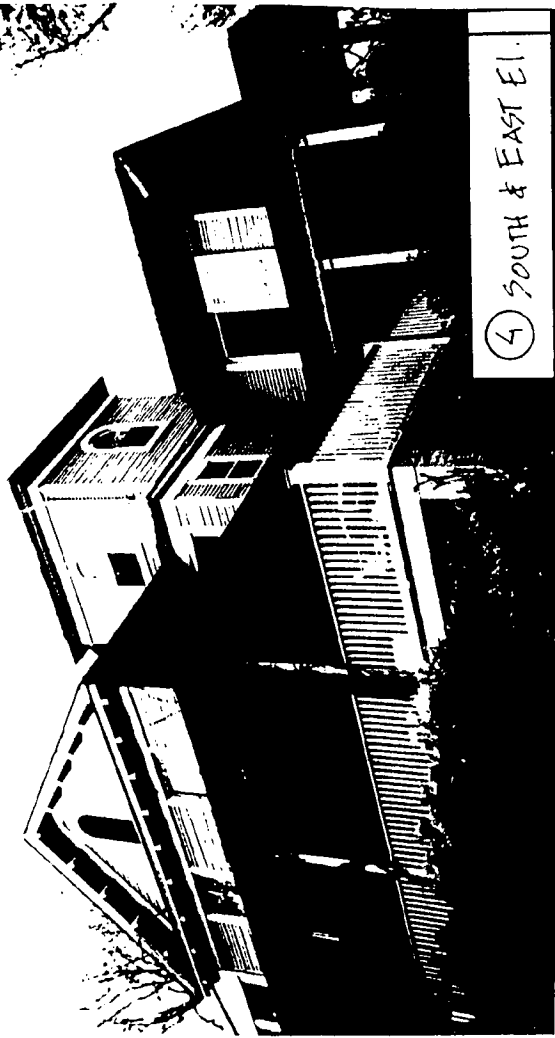


⑥ NORTH & EAST E1.

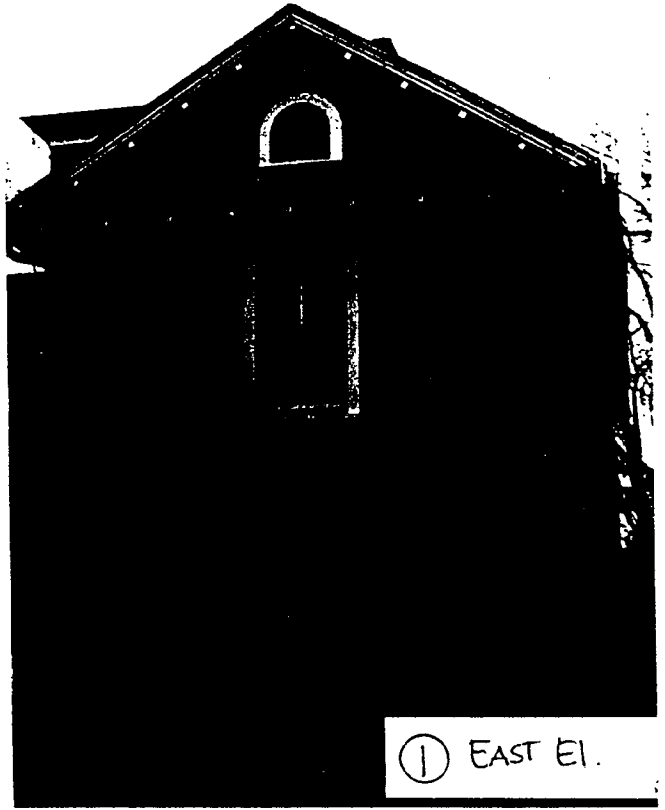


⑤ SOUTH E1





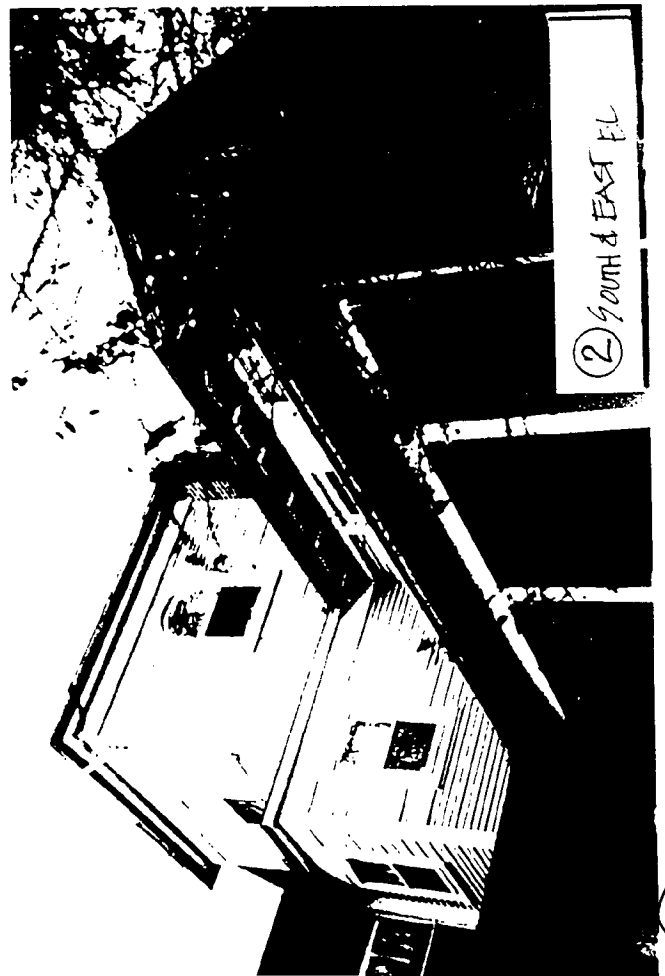
④ SOUTH & EAST EI.



① EAST EI.



③ WEST



② SOUTH & EAST EI.

2/3/98 Field visit +
to architect.
KISO's

(1) Any possibility of dropping roof of addition
to read as subsidiary to structure?

(2) windows - single glazed? Thermally glazed?

and $\frac{6}{6}$ would be single glazed of energy

(3) Plan of existing?

panel...
in outside

~~(4) Drawings of existing?~~

(4) Why not include balustrade around entire
screened porch? Might be less
"modern" + relieve that
elevation..

= Consider saving + reusing original windows

= (A) same window

(B) same door

→ suggestion to reuse: or donate to
Old House Parts

● - Eliminate the brackets ●

- Spacing = 3"

→ Change lap in siding to 4"

*

①

For the Commission to decide

② + go to pickets wrapping to East.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

**Historic Preservation Section
Department of Park & Planning**

Telephone Number: (301) 563-3400

Fax Number: (301) 563-3412

TO: SLAINE ULMER FAX NUMBER: 215-985-2476

FROM: ROBIN D. ZIEK

DATE: 2-10-98

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 29

NOTE:

CALL W/ ANY QUESTIONS - R



① EAST EI.



② SOUTH & EAST EI.



④ SOUTH & EAST EI.



③ WEST







⑨ North El.



⑩ South El. Park



⑪ North

