

31/7-00C 10020 Menlo Avenue, Sil. Sp.  
(Capitol View Park Historic District)

II D - Michels



4No.1702059 43-01 NMINH-16AU 0124



<No. 220>039 43-03 MNHN-02AU 0124



Mo. 1560-039 43-03 HININ-0300 0124





Ho. 189.039 43-63 HHHHH+11AU 0124



(No. 199) 639 43-02 RIIIIHH+03AU 0124



(No. 269) 639 43-02 N4444+666U 0124



(No. 100) 039 43-02 NNNNN-15AU 0124





<No. 3A>033 43-02 MINN-15RU 0124



<No. GR>039. 43-03. NNNNN-1300 0124



<No. 7A>839 43-03 HHHH-090U 0124



(No. 234) 039 43-02 NN/HH-080U 0124





QNo. 63039 43-62 HNNNN+06AU 0125



Doc. 50-839 43-01 HHHHH+1500 0125



(No. 11A) 039 43+68 NN4NN+09AU 0124



(No. 139) 639 43-63 NNNHH+34AU 0124





<No. 1>039 43-02 HAHNH+2000 0125



(No. 149) 839 43-63 NNNH+120U 0124



(No. 21A)039 43-04 NNNNN+G1AL 0124



No. 160>039 43-62 HIRNIN-16AU 0124

from Diana Kana  
10020 Menlo Ave

31/7-00c





<No. 12R>039 43+00 HHHHH+180U 0124



Montgomery County Maryland

Department of Permitting Services

255 Rockville Pike, Floor Rockville, Maryland 20850-4166 240-777-6370

<b>FOR OFFICE USE ONLY ZONING</b>	
Classification:	_____
Sheet Number:	_____
Board of Appeals:	_____
Checked By:	_____

Special Conditions: \_\_\_\_\_

# Building Permit Application

DPS - #3

## PART ONE

### 1A. WORK TYPE (Action):

- Construct     Extend/Add  
 Repair         Alter/Renovate

### 1B. ACTIVITY: (Check as many as apply)

- Finished Basement     Room/Addition     Pool     Hot Tub  
 Spa     Porch     Deck     Fireplace  
 Woodburning Stove     Fence/Wall (Complete Part 3)     Shed     Slab  
 Other: \_\_\_\_\_

1C. 196.50 Square Footage of Land Disturbance  
 1D. 876.06 Square Footage of Floor Area Created or Affected by This Action

1E. Declared Construction Cost Estimate \$ 41,000

1F. The primary structure on this lot is a:  Single Family Home     Townhouse     Duplex     Modular Home     Trailer

1G. If this is a revision or is in the approved "Model Plan Program", give Permit Number: \_\_\_\_\_

## PART TWO

Contact Person: Michael Karns Daytime Phone No.: 301 14891158  
 Name of Applicant: Michael Karns Daytime Phone No.: 1  
 Address: 10020 Menlo Ave City: Silver Spring State: Md Zip: 20910  
 Contractor: Owner Contractor License No.: \_\_\_\_\_  
 Contractor Address: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
 Plans Prepared By: \_\_\_\_\_ Registration No.: \_\_\_\_\_ Telephone No.: 1

## Location of Building Premise

House Number 10020 Street Menlo Avenue  
 Town/City Silver Spring Zip 20910  
 Lot NORTH 1/2 17 Block 491

## PART THREE COMPLETE ONLY FOR FENCE / RETAINING WALL

3A. Height: \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Type of Fence/Retaining Wall: \_\_\_\_\_

3C. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

1. On Lot Line (complete 3D)     Yes     No  
 2. Entirely on Land of Owner:     Yes     No  
 3. On Public Right-of-Way/Easement:     Yes     No  
 (Revocable Letter Required)

3D. I/We agree to the erection of this retaining wall or fence on the lot line and to all terms and conditions of this application.

Adjoining Property Owner(s) Signature	Lot	Block
Adjoining Property Owner(s) Signature	Lot	Block
Adjoining Property Owner(s) Signature	Lot	Block

## TO BE READ BY APPLICANT

Any information that the applicant has set forth in this application that is false or misleading may result in the rejection of his application. A condition for the issuance of this permit is that the proposed construction will comply at all times with the plans as approved by all applicable government agencies. I hereby declare and affirm, under the penalty of perjury, that all matters and facts set forth in this building permit application are true and correct to the best of my knowledge, information and belief.

1/23/2001 Date

[Signature] Signature of Applicant

(If applicant is other than owner, agent must complete authorized agent affidavit on back)

Name (Print)

Approved     Disapproved    Signature \_\_\_\_\_  
 For Chief, Permitting Services    Date \_\_\_\_\_

A/P No. \_\_\_\_\_ Filing Fee: \$ \_\_\_\_\_ Trans. No.: \_\_\_\_\_  
 Date Filed: \_\_\_\_\_ Permit Fee: \$ \_\_\_\_\_  
 Date Issued: \_\_\_\_\_ Balance: \$ \_\_\_\_\_  
 A/P No. \_\_\_\_\_ Trans. No.: \_\_\_\_\_ Fee Waived: \_\_\_\_\_  
 A/P No. \_\_\_\_\_

Permit Number

## MECcheck Compliance Report

MECcheck Software Version 3.0 Release 1a  
1995 MEC Edition

Checked By/Date

TITLE: Karns Residence

CITY: Rockville  
STATE: Maryland  
HDD: 5093  
CONSTRUCTION TYPE: Single Family

DATE: 01/23/01  
DATE OF PLANS: 1/14/2001

PROJECT INFORMATION:  
Second floor addition

COMPANY INFORMATION:  
N/A

NOTES:  
MEC calculations based on entire house.

COMPLIANCE: Passes

Maximum UA = 638  
Your Home = 492  
22.9% Better Than Code

	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor	UA
Ceiling 1: All-Wood Joist/Rafter/Truss	876	0.0	30.0		27
Exterior Wall 1: Wood Frame, 16" o.c.	4165	13.0	0.0		316
Door 1: Glass	57			0.350	20
Window 1: Wood Frame, Double Pane with Low-E	250			0.350	87
Basement Wall 1: CMU with Empty Cells	115	0.0	0.0		38
Floor 1: All-Wood Joist/Truss, Over Outside Air	66	19.0	0.0		3
Floor 2: All-Wood Joist/Truss, Over Outside Air	24	19.0	0.0		1
Furnace 1: Forced Hot Air, 80 AFUE					
Air Conditioner 2: Electric Central Air, 10 SEER					

COMPLIANCE STATEMENT: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 1995 MEC requirements in MECcheck Version 3.0 Release 1a.

Builder/Designer \_\_\_\_\_

Date \_\_\_\_\_

# MECcheck Inspection Checklist

MECcheck Software Version 3.0 Release 1a

1995 MEC Edition

DATE: 01/23/01

TITLE: Karns Residence

Bldg.  
Dept.  
Use

- Roofs:  
1. Ceiling 1: All-Wood Joist/Rafter/Truss, R-30.0 continuous insulation  
Comments/Location \_\_\_\_\_
- Above-Grade Walls:  
1. Exterior Wall 1: Wood Frame, 16" o.c., R-13.0 cavity insulation  
Comments/Location \_\_\_\_\_
- Basement Walls:  
1. Basement Wall 1: CMU with Empty Cells, 8.0' ht/5.0' bg/0.0' insul, R-0 (uninsulated)  
Comments/Location \_\_\_\_\_
- Windows:  
1. Window 1: Wood Frame, Double Pane with Low-E, U-factor: 0.350  
For windows without labeled U-factors, describe features:  
# Panes \_\_\_\_\_ Frame Type \_\_\_\_\_ Thermal Break?  Yes  No  
Comments/Location \_\_\_\_\_
- Doors:  
1. Door 1: Glass, U-factor: 0.350  
Comments/Location \_\_\_\_\_
- Floors:  
1. Floor 1: All-Wood Joist/Truss, Over Outside Air, R-19.0 cavity insulation  
Comments/Location Rear overhang
2. Floor 2: All-Wood Joist/Truss, Over Outside Air, R-19.0 cavity insulation  
Comments/Location Front overhang
- Heating and Cooling Equipment:  
1. Furnace 1: Forced Hot Air, 80 AFUE or higher  
Make and Model Number \_\_\_\_\_
2. Air Conditioner 2: Electric Central Air, 10 SEER or higher  
Make and Model Number \_\_\_\_\_
- Air Leakage:  
Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage must be sealed.
- Recessed lights must be type IC rated and installed with no penetrations or installed inside an appropriate air-tight assembly with a 0.5" clearance from combustible materials and 3" clearance from insulation.
- Vapor Retarder:  
Required on the warm-in-winter side of all non-vented framed ceilings, walls, and floors.
- Materials Identification:  
Materials and equipment must be identified so that compliance can be determined.
- Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment must be provided.
- Insulation R-values, glazing U-values, and heating equipment efficiency must be clearly marked on the building plans or specifications.
- Duct Insulation:  
Ducts in unconditioned spaces must be insulated to R-5.

Ducts outside the building must be insulated to R-6.5.

**Duct Construction:**

- [ ] All ducts must be sealed with mastic and fibrous backing tape. Pressure-sensitive tape may be used for fibrous ducts. Duct tape is not permitted.
- [ ] The HVAC system must provide a means for balancing air and water systems.

**Temperature Controls:**

- [ ] Thermostats are required for each separate HVAC system. A manual or automatic means to partially restrict or shut off the heating and/or cooling input to each zone or floor shall be provided.

**Circulating Hot Water Systems:**

- [ ] Insulate circulating hot water pipes to the levels in Table 1.

**Swimming Pools:**

- [ ] All heated swimming pools must have an on/off heater switch and require a cover unless over 20% of the heating energy is from non-depletable sources. Pool pumps require a time clock.

**Heating and Cooling Piping Insulation:**

- [ ] HVAC piping conveying fluids above 120 °F or chilled fluids below 55 °F must be insulated to the levels in Table 2.

Table 1: Minimum Insulation Thickness for Circulating Hot Water Pipes.

Heated Water Temperature ( F)	Insulation Thickness in Inches by Pipe Sizes			
	Non-Circulating Runouts		Circulating Mains and Runouts	
	Up to 1"	Up to 1.25"	1.5" to 2.0"	Over 2"
170-180	0.5	1.0	1.5	2.0
140-160	0.5	0.5	1.0	1.5
100-130	0.5	0.5	0.5	1.0

Table 2: Minimum Insulation Thickness for HVAC Pipes.

Piping System Types	Fluid Temp. Range ( F)	Insulation Thickness in Inches by Pipe Sizes			
		2" Runouts	1" and Less	1.25" to 2"	2.5" to 4"
<b>Heating Systems</b>					
Low Pressure/Temperature	201-250	1.0	1.5	1.5	2.0
Low Temperature	120-200	0.5	1.0	1.0	1.5
Steam Condensate (for feed water)	Any	1.0	1.0	1.5	2.0
<b>Cooling Systems</b>					
Chilled Water, Refrigerant, and Brine	40-55	0.5	0.5	0.75	1.0
	Below 40	1.0	1.0	1.5	1.5

**NOTES TO FIELD (Building Department Use Only)**

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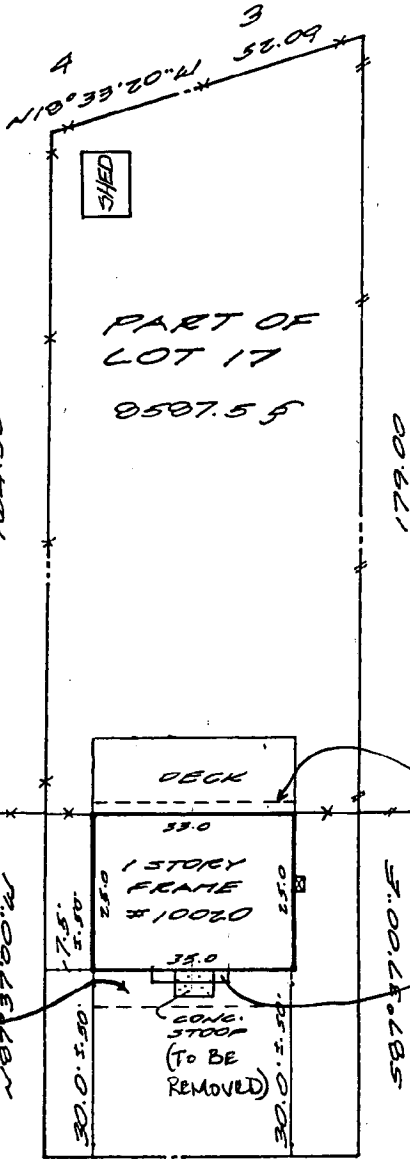
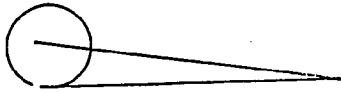
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NOTE:  
PROPERTY PREDATES  
MODERN DAY ZONING

PROPOSED  
PORCH  
(6' DEEP X  
ENTIRE FRONT  
OF HOUSE)

PROPOSED 2'  
OVERHANG

PROPOSED 2' X 12'  
OVERHANG

LOCATION DRAWING  
PART OF LOT 17 BLOCK 32  
CAPITOL VIEW PARK

302° 23' 00" E 50.00

MENLO AVENUE

**Surveyor's Certification**

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100 year flood plain according to FEMA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

*Stephen J. Wenthold*  
Stephen J. Wenthold, Maryland RLS Reg. No. 10767

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

Date: 8-14-90

Scale: 1" = 30'

Plat Book: A

Plat No.: 9

Work Order: 90-1957



**Meridian Surveys, Inc.**  
2401 Research Boulevard  
Rockville, MD 20850  
(301) 840-0025

Address: 10060 MENLO AVENUE

District: 13

Jurisdiction: MONTGOMERY COUNTY, MD.

**NO TITLE REPORT FURNISHED**



- A. The term "work" as used in these notes shall include all provisions as drawn or specified in these documents as well as all other provisions specifically included by the Owner in the form of drawings, specifications, and written instructions.
- B. Contractor shall visit the site to verify all plan and existing dimensions and conditions and shall notify the Owner in writing, of any discrepancies before proceeding with the work or shall be responsible for same.
- C. Contractor shall be familiar with provisions of all applicable codes and shall insure compliance of work to those codes.
- D. These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, compliance with state and federal regulations specified in the Owner/ Contractor contract is, shall be, the Contractor's responsibility.
- E. Contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, and safety procedures and for coordinating all portions of the work.
- F. In the event of conflict between local, state, and national codes, the more stringent shall govern.
- G. General Requirements
- The conditions and assumptions stated in these specifications shall be verified by the Contractor for conformance to local codes and conditions. In the event of a discrepancy between these specifications and local codes or conditions, the Contractor shall notify the Owner in writing of the discrepancy and special engineering requirements shall be applied to insure the buildings structural integrity.
  - These requirements may be superseded by more stringent information contained within the drawings. The more stringent shall be followed.

**THERMAL AND MOISTURE PROTECTION**

- All slab on grade in conditioned spaces shall be insulated with min. R5 rigid insulation from top of slab downward to 24" below slab or inward 24" from exterior of slab at all slab perimeter areas.
- Waterproof all exterior foundation walls below grade enclosing habitable spaces as specified by code at exterior face of wall.
- Dampproof all exterior foundation walls enclosing basement and crawl spaces with dampproofing as specified by code at exterior face of wall.
- Flashings: Code approved corrosion resistive flashing shall be provided at top and sides of all exterior windows and door openings in such a manner as to be leakproof, except that self-flashing windows having a continuous lap of not less than 1 1/8" over the sheathing material around the perimeter of the opening, including corners do not require additional flashing. Jamb flashing may be omitted when specifically approved by the building official. Similar flashings shall be installed at the intersection of chimneys or other masonry construction with frame or stucco ends of the masonry wood or metal copings and sills; continuously above all projecting wood trim at wall and roof intersections; under built-in gutters; at junctions of chimneys and roofs; and in all roof valleys and around all roof openings.

**C. Wood**

- All structural wood joints and headers shall be stressed graded #2 Hem Fir, 19% M.C. in accordance with NDS by NINOP A, unless noted. All wood shall comply to the following minimum specifications.

#2 Hem Fir, 19% M.C.	Fb min: 980 psi repetitive use
	890 psi single use
E min: 1,300,000 psi	Fv min: 75 psi
Fc min: 1,290 psi	Fe min: 405 psi
Fe min: 405 psi	
#2 Spruce Pine Fir, 19% M.C. (#2 S.P.F)	Fb min: 1,005 psi repetitive use
	875 psi single use
E min: 1,400,000 psi	Fv min: 70 psi
Fc min: 1,100 psi	Fe min: 425 psi
Fe min: 425 psi	
#2 Southern Pine, 19% M.C. (#2 S.P.F)	Fb min: 1,120 psi repetitive use
	975 psi single use
E min: 1,600,000 psi	Fv min: 90 psi
Fc min: 1,480 psi	Fe min: 565 psi
Fe min: 565 psi	

Note: Pressure-treated lumber shall be #2 Southern Pine KD-19 pressure pressure treated to 40 pounds per cubic foot chemical retention and shall be denoted as (P.T.)

**MICRO LAM**

Fb min: 2,600 psi repetitive use
E min: 1,900,000 psi
Fv min: 285 psi
Fc min: 2,310 psi
Fe min: 790 psi

All Studs in bearing walls shall conform to the minimum specifications:  
 Stud Grade Spruce Pine Fir 19% M.C.  
 Fb min: 775 psi repetitive use  
 E min: 675 psi single use  
 Fv min: 70 psi  
 Fc min: 675 psi  
 Fe min: 425 psi

- All manufactured wood trusses and truss headers shall be designed by manufacturer according to TPI and other requirements specified by local building authority.
- All structural wood exposed to outside un protected or bearing directly on concrete shall be pressure treated with approved materials to resist decay and infestation by termites and moisture.
- All wall sill plates shall be min. 2x4 and shall be anchored into foundation walls with 1/2" dia. galv. steel anchor bolts min. 7" into poured in place concrete and 15" into grouted cmu. Minimum 2 anchors per section of plate and anchors shall be placed 12" from end of each plate. Max. spacing of anchors 6'-0" on center for on and two story buildings and 4'-0" on center for buildings more than two stories in height. Anchor straps may be used as a substitute and shall be installed per manufacturer's specifications.
- All exterior wood framework supported on approved foundation walls shall be a minimum 8" dove finished grade.
- All wood framed exterior corners shall be laterally braced 4'-0" each direction from the corner with 1/2" exterior plywood or other approved membrane or approved galvanized steel corner bracing.
- Provide continuous double top plate at all bearing walls.
- All structural wood posts under beams and header over 4'-0" span shall be min. 2-2x4 unless noted otherwise.
- All bearing walls shall be 2x4 studs at 16" o.c. or as noted.
- Provide solid blocking at 4'-0" o.c. between rim joist and parallel joists.
- Plywood subfloors shall be glued and nailed to floor joists with APA approved elastomeric structural adhesive and 8d common nails spaced at 6" o.c. at panel edges and 12" o.c. at intermediate supports.
- All plywood roof, floor and wall sheathing shall be APA approved.

**OTHER**

Before submitting proposal, bidder shall carefully exam the drawings, inspect the site and acquaint themselves with all governing ordinances, laws ect, and otherwise familiarize themselves with all matters which affect performance with the work. The act of submitting a proposal shall be considered to mean that the bidder has so familiarized himself, and therefore no concessions will be granted because of any claim of misunderstanding or lack of information.

**LIST OF DRAWINGS**

- TYPICAL NOTES/COVER SHEET
- EXISTING / PROPOSED
- EXISTING FOUNDATION PLAN
- EXISTING FIRST FLOOR PLAN
- SECOND FLOOR PLAN
- SECTION
- DETAILS
- FRONT ELEVATION
- RIGHT SIDE ELEVATION
- LEFT SIDE ELEVATION
- REAR ELEVATION
- PORCH FRAMING

**PROPOSED SECOND FLOOR ADDITION**

DATE

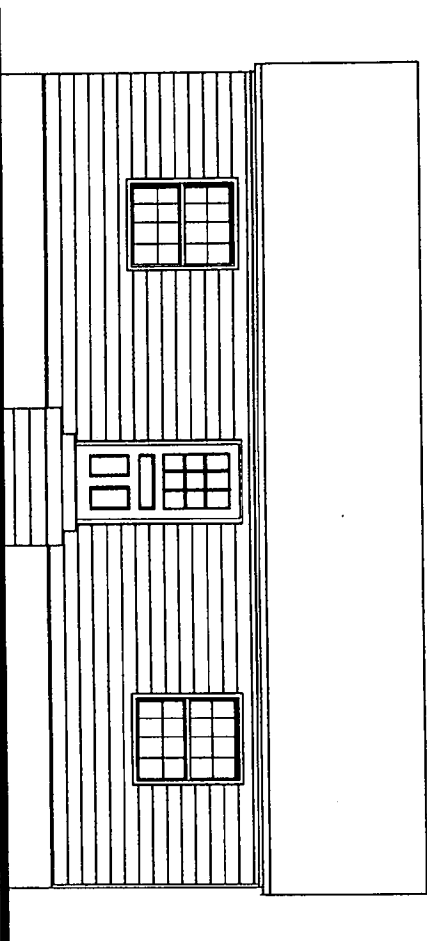
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1/14/2001

**KARNS RESIDENCE**  
10020 MENLO AVENUE. SILVER SPRING, MD. 20910

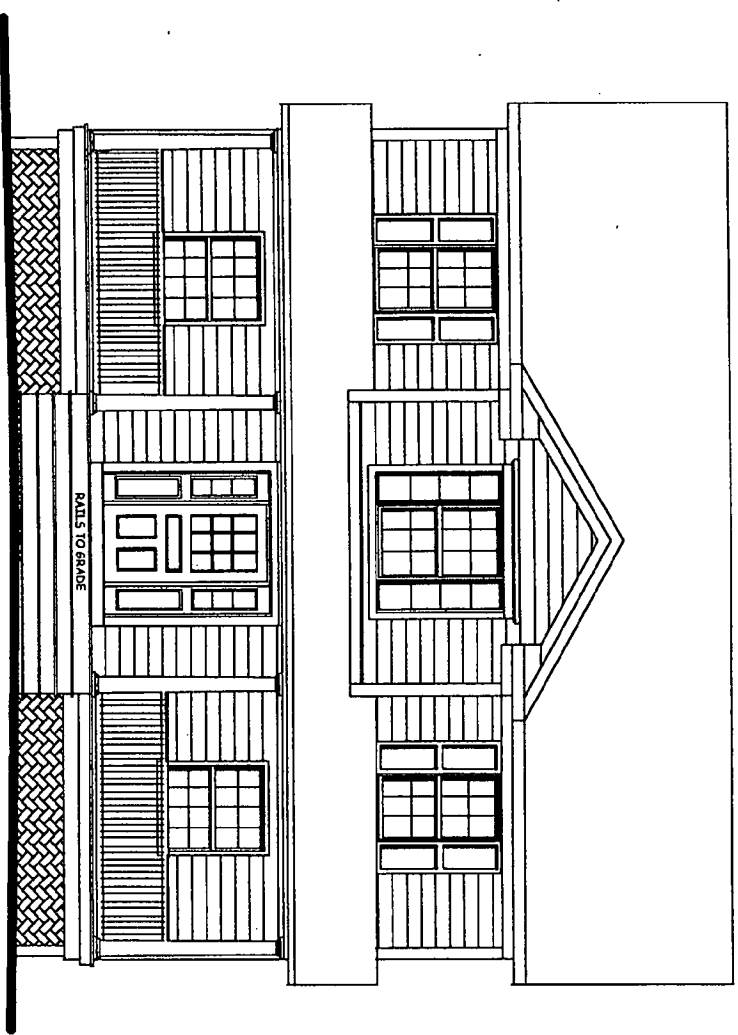
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Montgomery County  
Historic Preservation Commission



EXISTING STRUCTURE



PROPOSED ADDITION/REMODEL

DATE

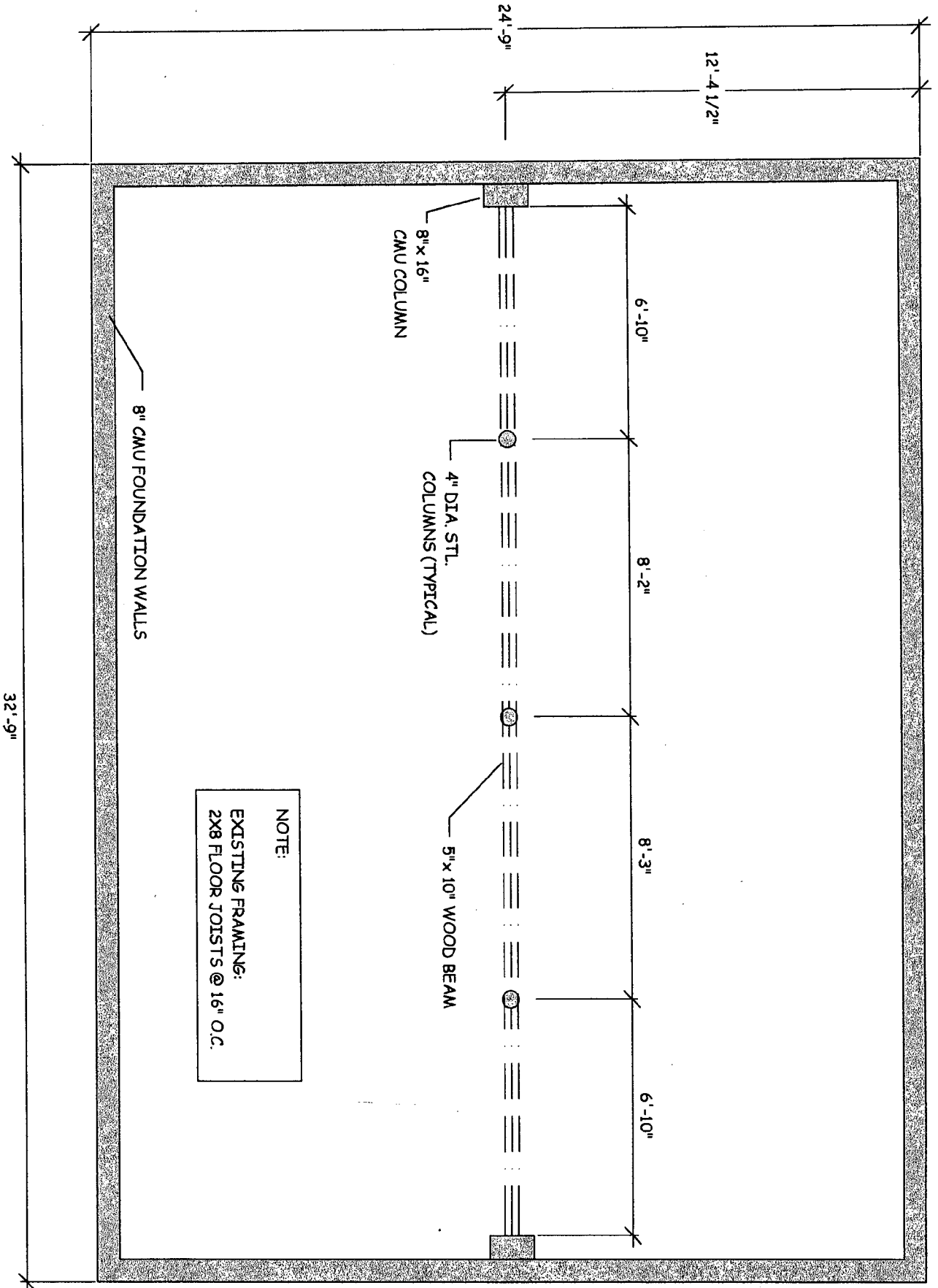
1/11/2001  
1/14/2001

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# EXISTING FOUNDATION PLAN



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SCALE: 1/4" = 1'-0"

DATE

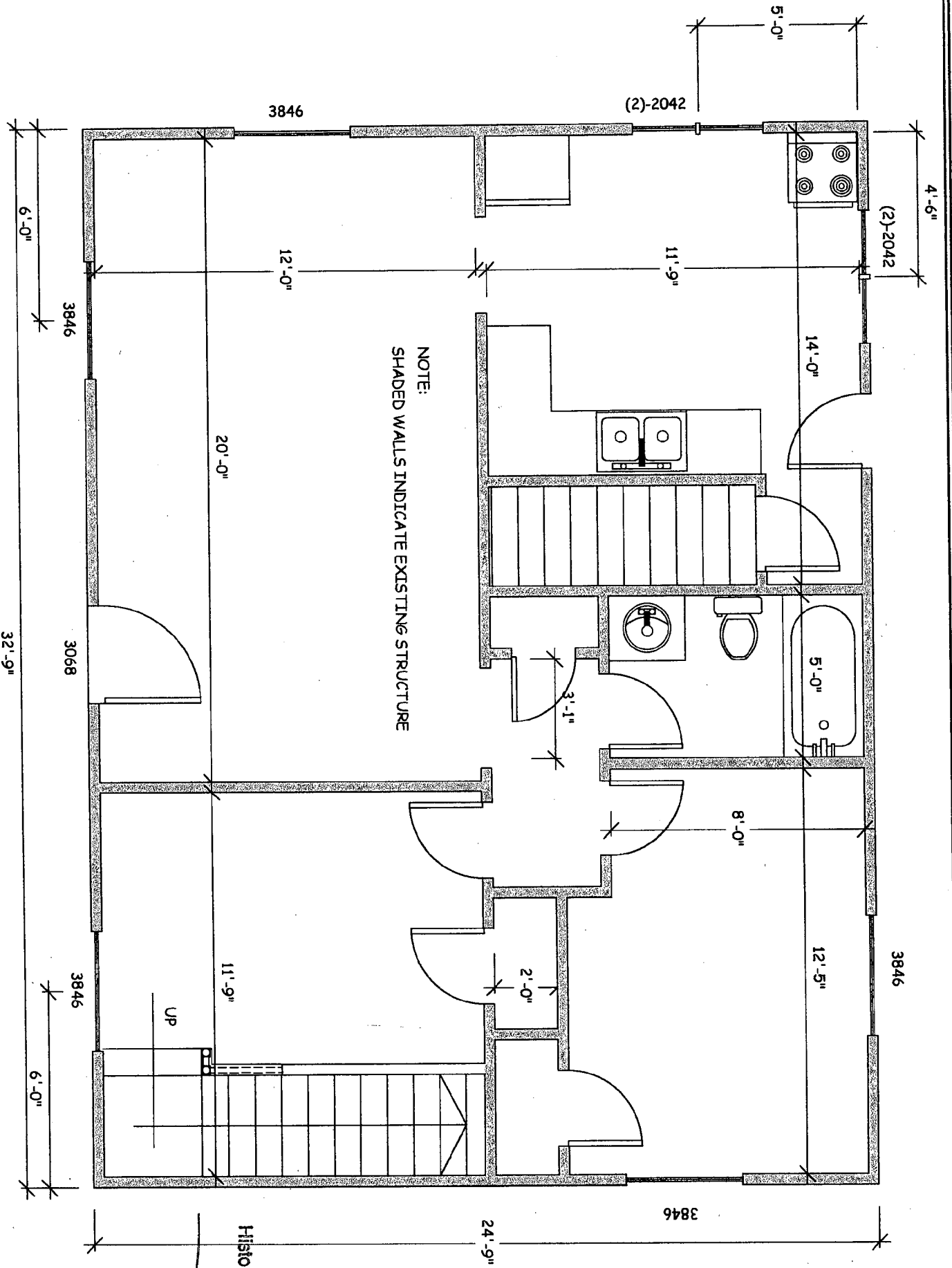
12/18/2000  
 1/14/2001

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# EXISTING FIRST FLOOR PLAN



NOTE:  
SHADED WALLS INDICATE EXISTING STRUCTURE

APPROVED  
 [Signature]  
 McTearney County  
 Historic Preservation Commission

SCALE: 1/4" = 1'-0"

DATE
8/30/2000
10/10/2000
10/11/2000
12/18/2000
1/14/2001

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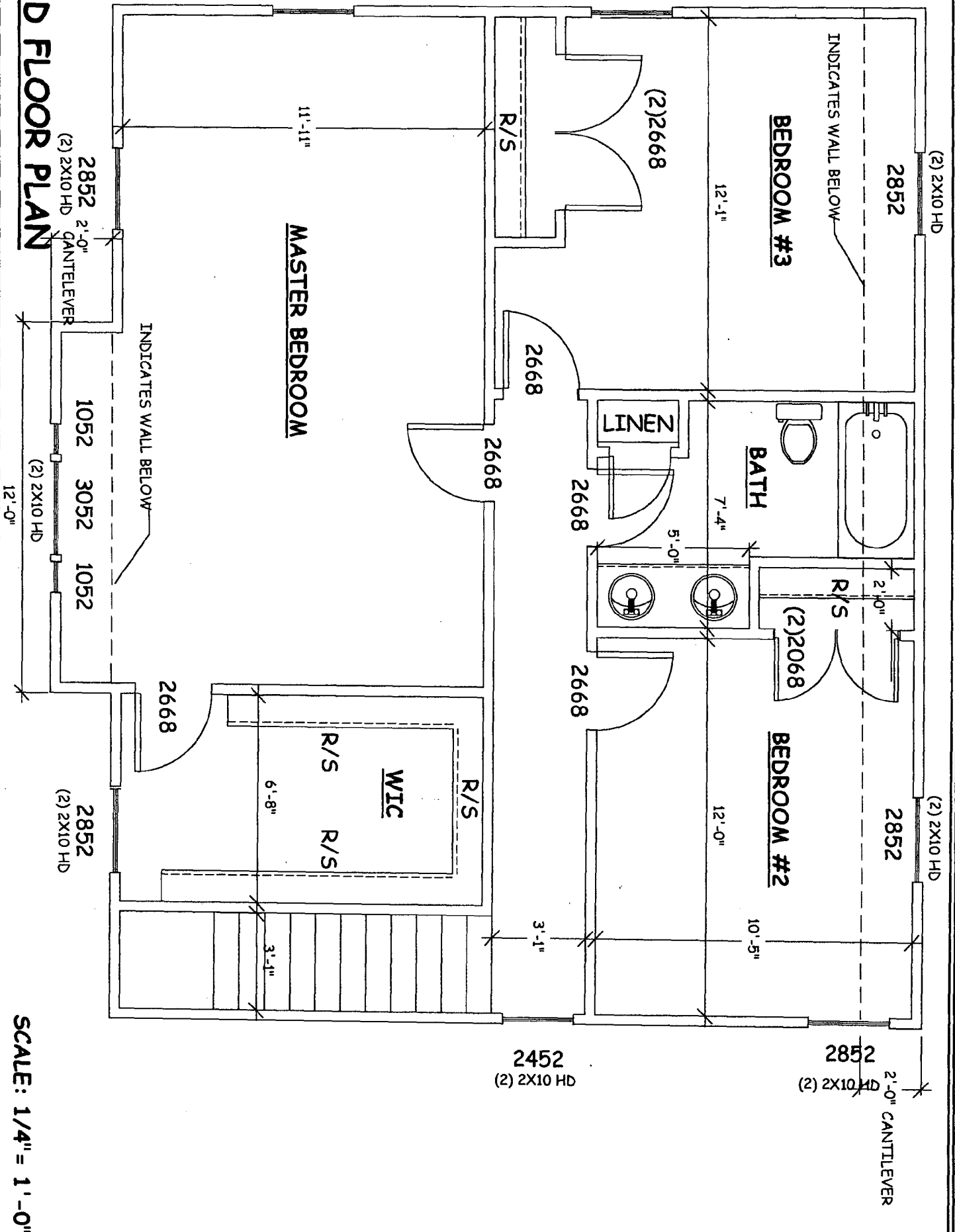
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 Montgomery County  
 Historic Preservation Commission



(2) 2X10 HD  
 2852

(2) 2X10 HD  
 2852

**PROPOSED SECOND FLOOR PLAN**



SCALE: 1/4" = 1'-0"

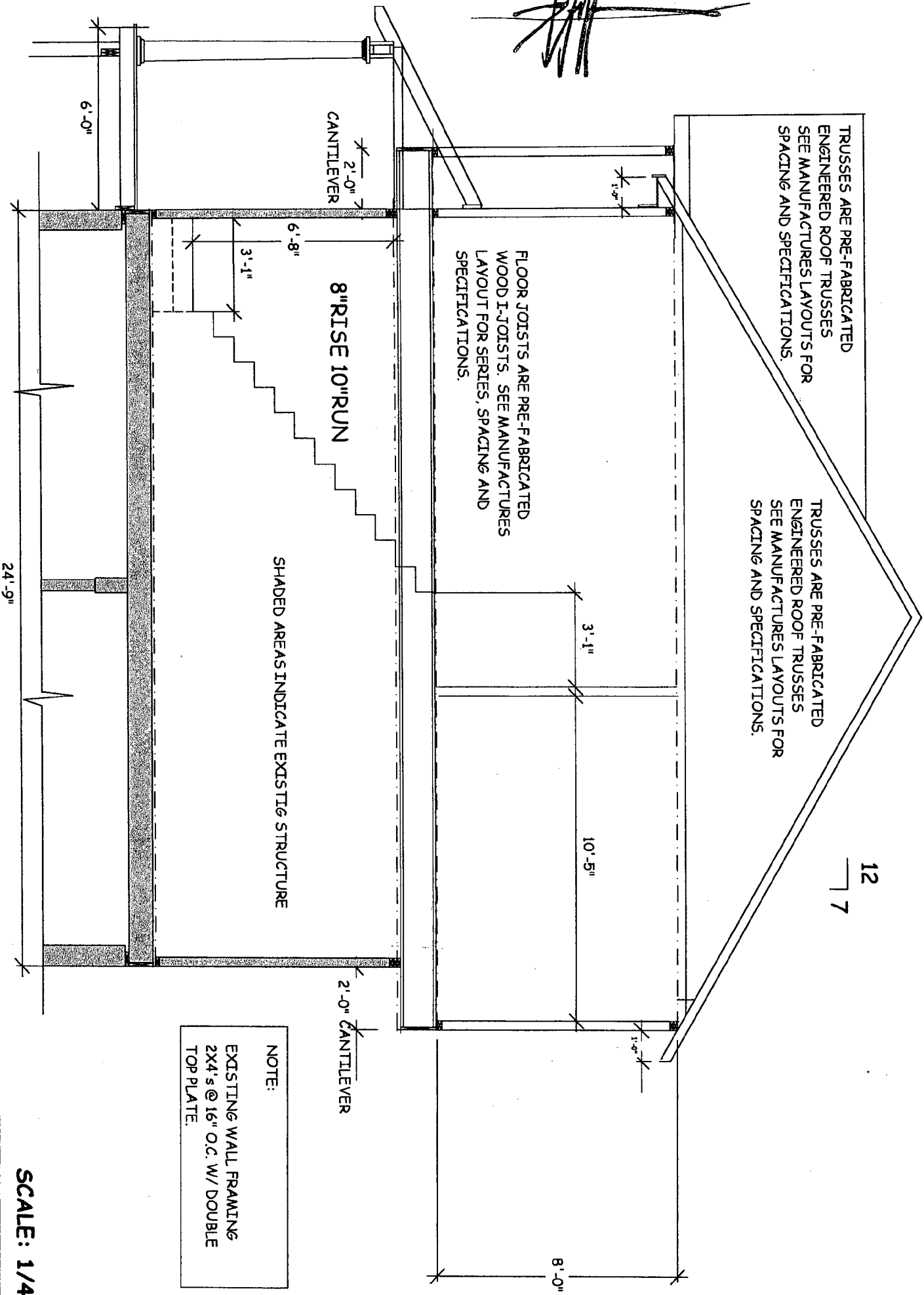
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DATE  
 10/8/2000  
 10/12/2000  
 12/18/2000  
 1/14/2001

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PORCH FRAMING  
 SEE PAGE (12)



TRUSSES ARE PRE-FABRICATED  
 ENGINEERED ROOF TRUSSES  
 SEE MANUFACTURES LAYOUTS FOR  
 SPACING AND SPECIFICATIONS.

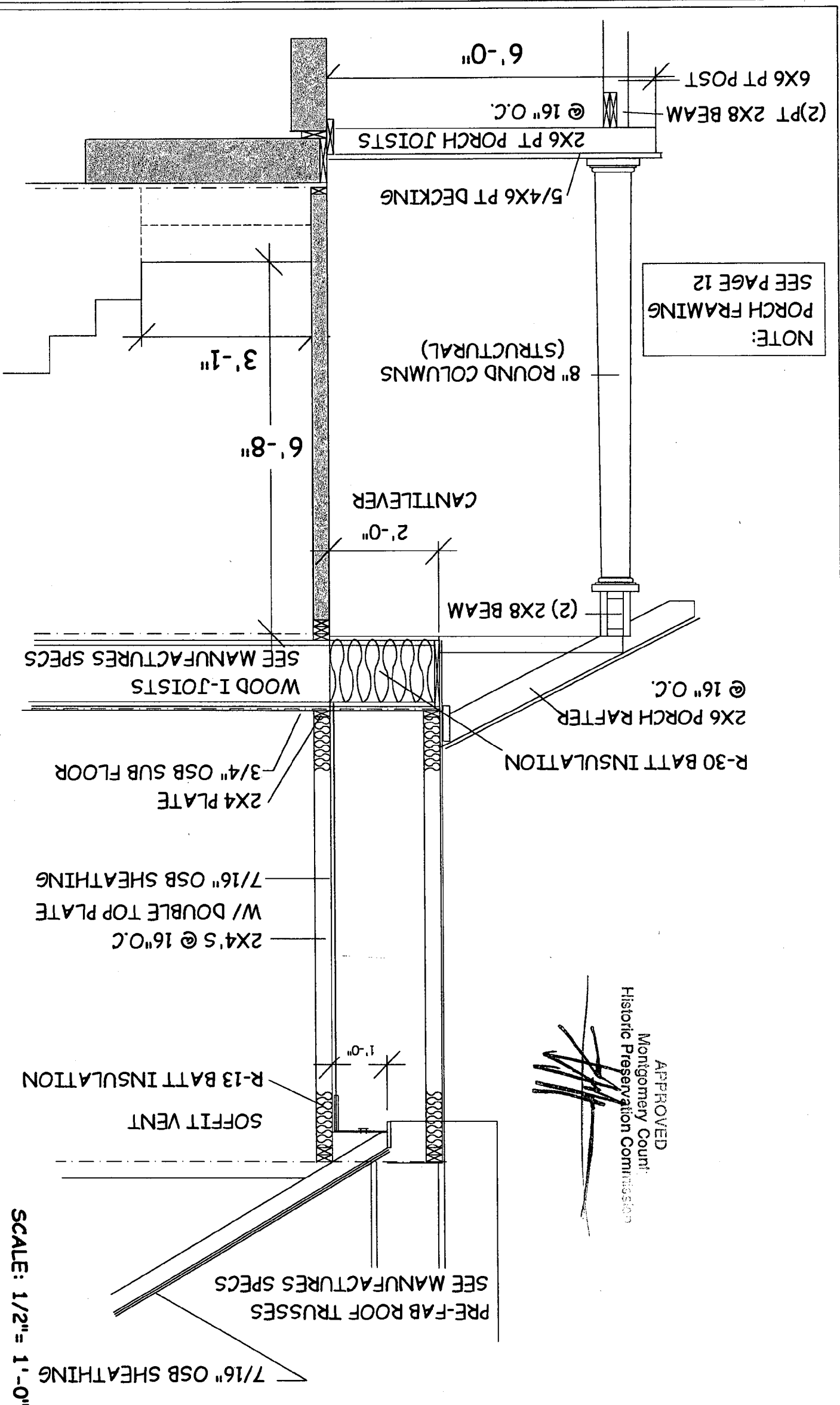
TRUSSES ARE PRE-FABRICATED  
 ENGINEERED ROOF TRUSSES  
 SEE MANUFACTURES LAYOUTS FOR  
 SPACING AND SPECIFICATIONS.

FLOOR JOISTS ARE PRE-FABRICATED  
 WOOD I-JOISTS. SEE MANUFACTURES  
 LAYOUT FOR SERIES, SPACING AND  
 SPECIFICATIONS.

SHADED AREAS INDICATE EXISTING STRUCTURE

NOTE:  
 EXISTING WALL FRAMING  
 2X4'S @ 16" O.C. W/ DOUBLE  
 TOP PLATE.

SCALE: 1/4" = 1'-0"



NOTE:  
PORCH FRAMING  
SEE PAGE 12

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Historic Preservation Commission

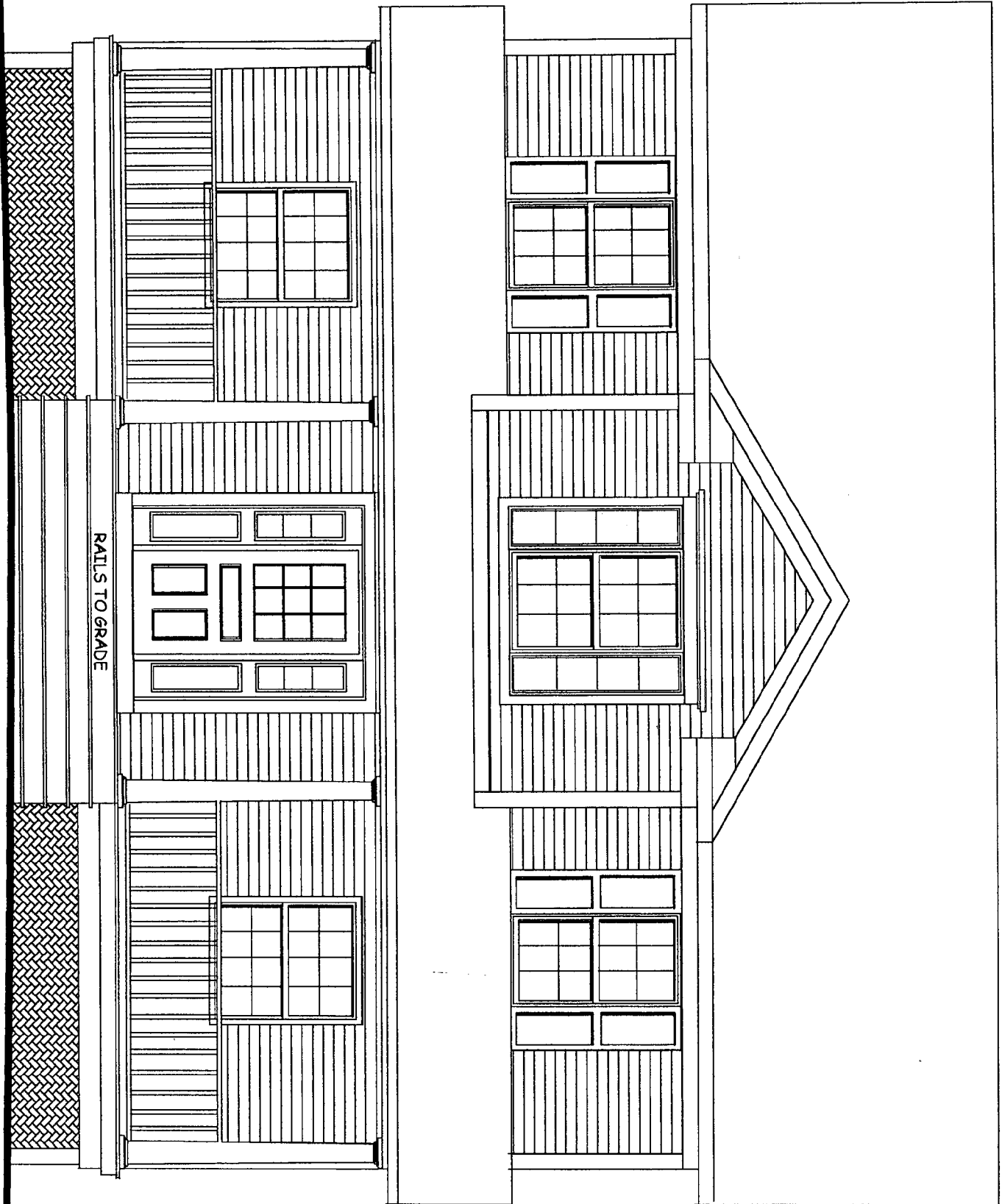
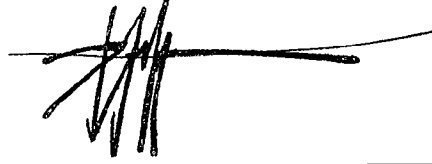
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**KARNS RESIDENCE**  
10020 MENLO AVENUE. SILVER SPRING, MD 20910

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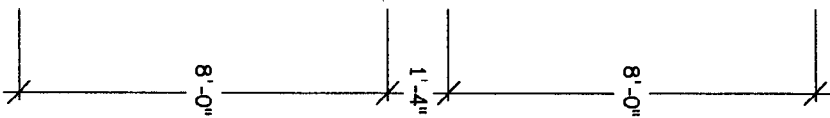
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9/26/2000  
1/14/2001

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Montgomery County  
Historic Preservation Commission

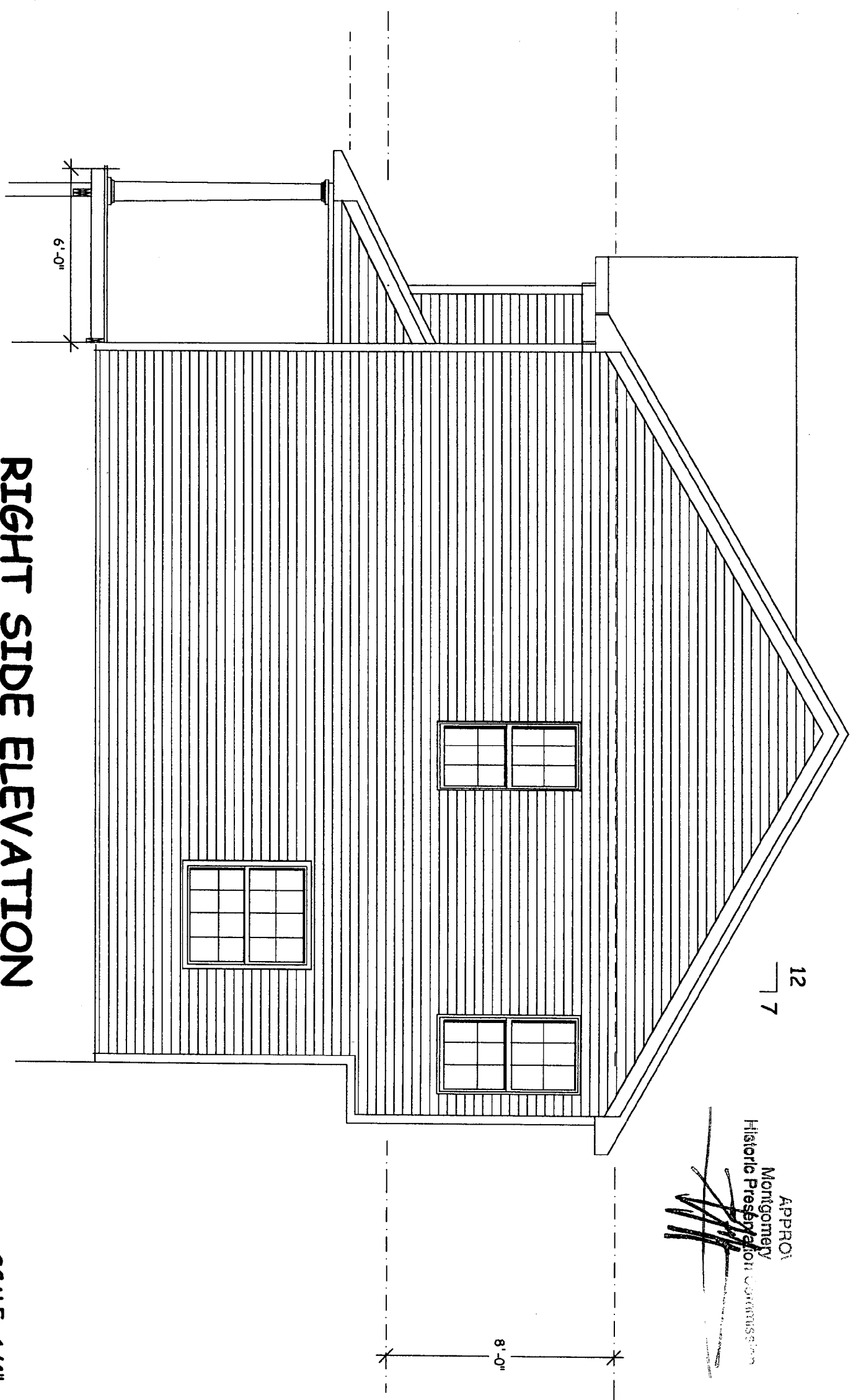


RAILS TO GRADE

SCALE: 1/4" = 1'-0"







**RIGHT SIDE ELEVATION**

12  
7

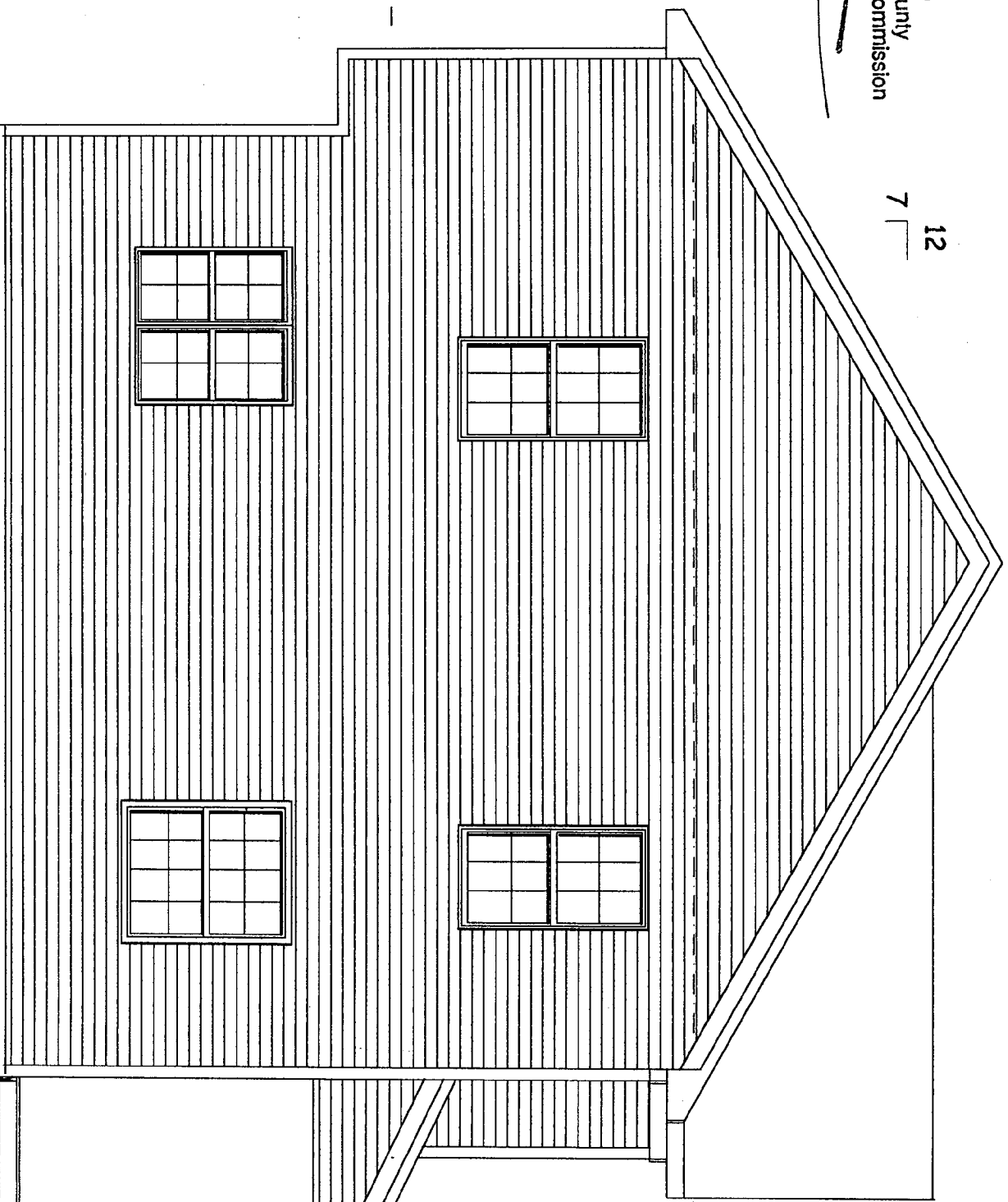
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Montgomery  
Historic Preservation Commission

SCALE: 1/4" = 1'-0"

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Montgomery County  
Historic Preservation Commission

7 | 12

8'-0"



6'-0"

# LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

DATE

10/8/2000  
10/12/2000

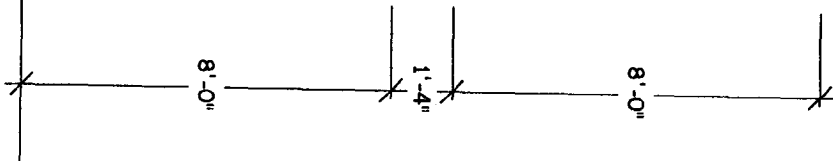
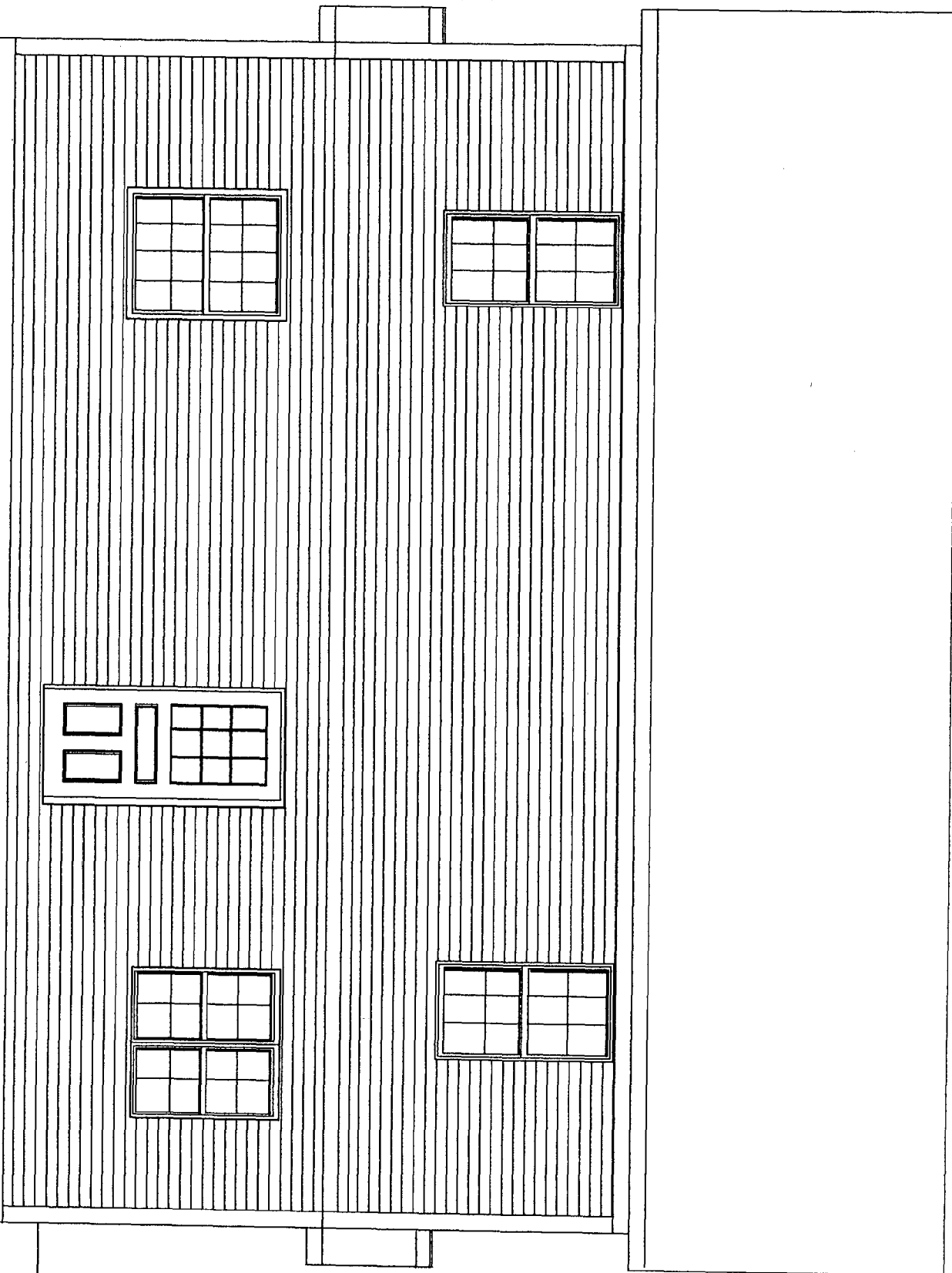
## KARNS RESIDENCE

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APPROVED  
Montgomery County  
Historic Preservation Commission

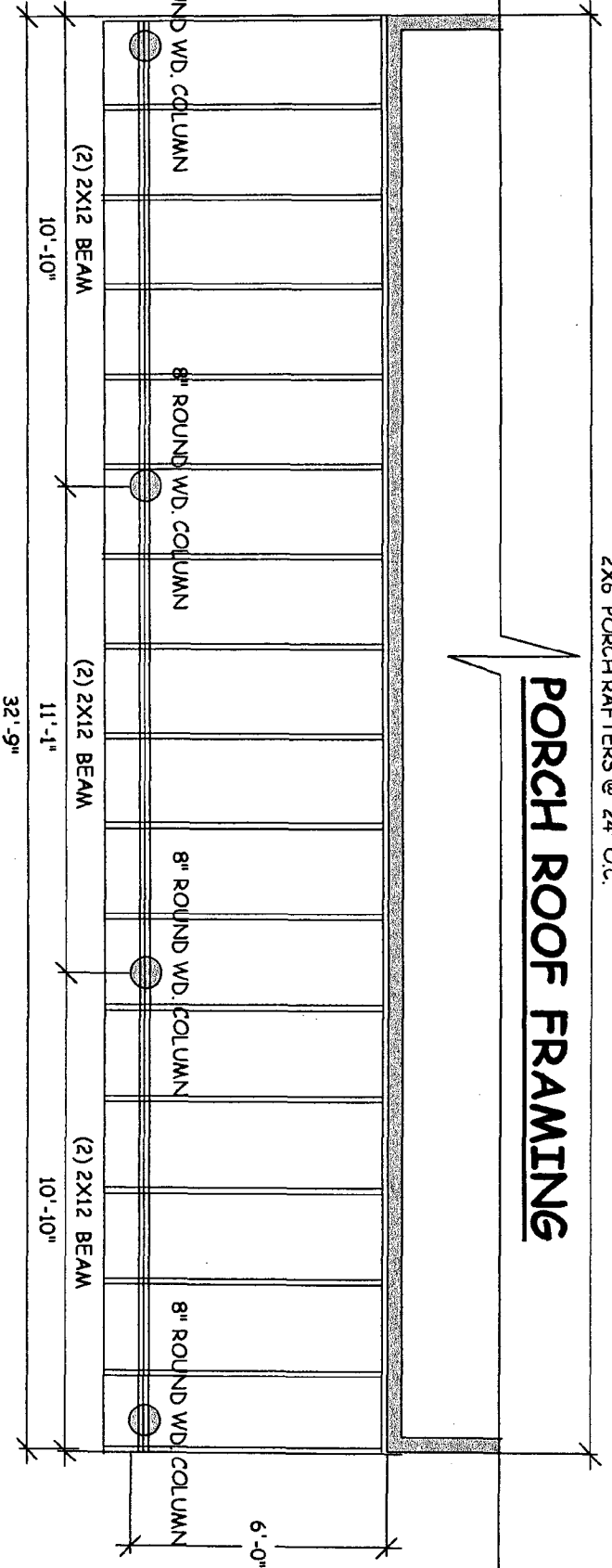


SCALE: 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

2X6 PORCH RAFTERS @ 24" O.C.

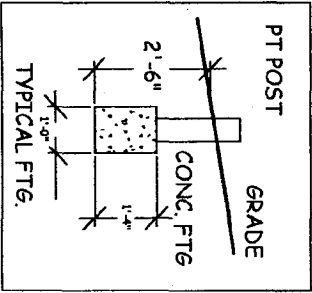
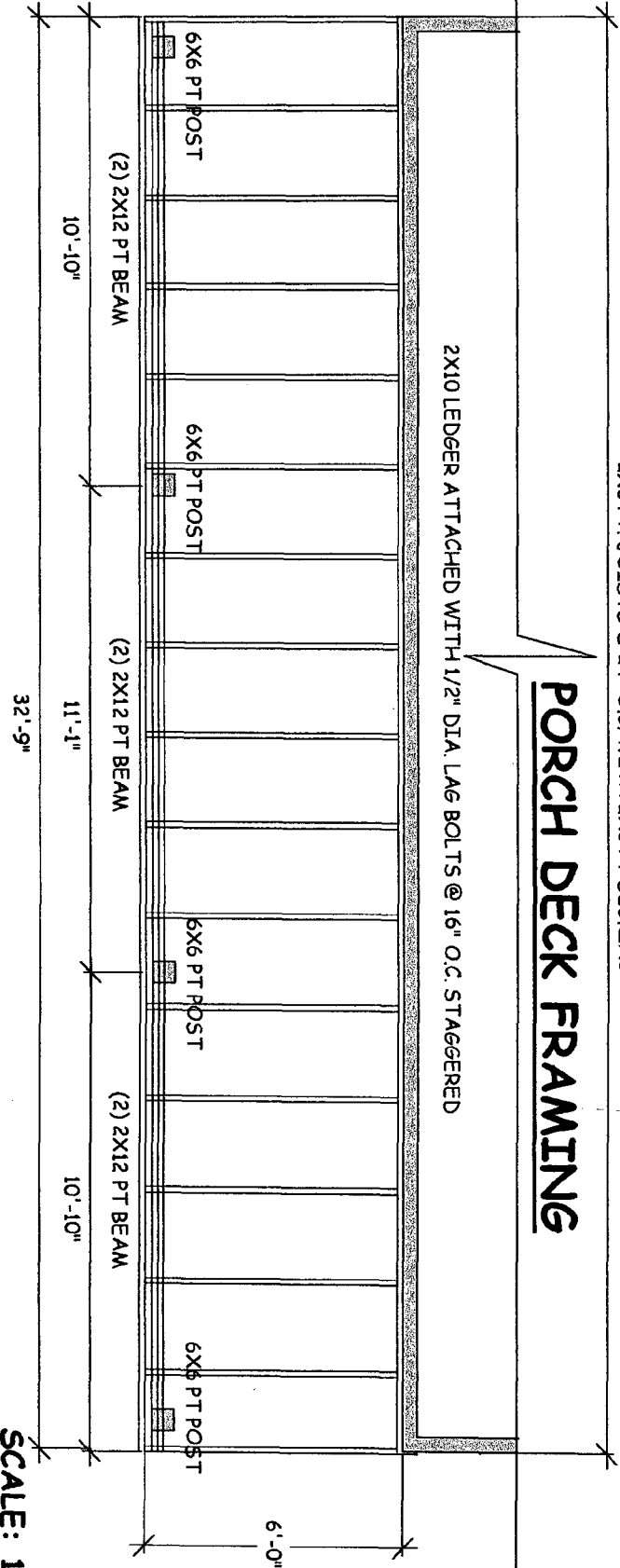
**PORCH ROOF FRAMING**



2X10 LEDGER ATTACHED WITH 1/2" DIA. LAG BOLTS @ 16" O.C. STAGGERED

**PORCH DECK FRAMING**

2X6 PT. JOISTS @ 24" O.C. WITH 2X6 PT DECKING



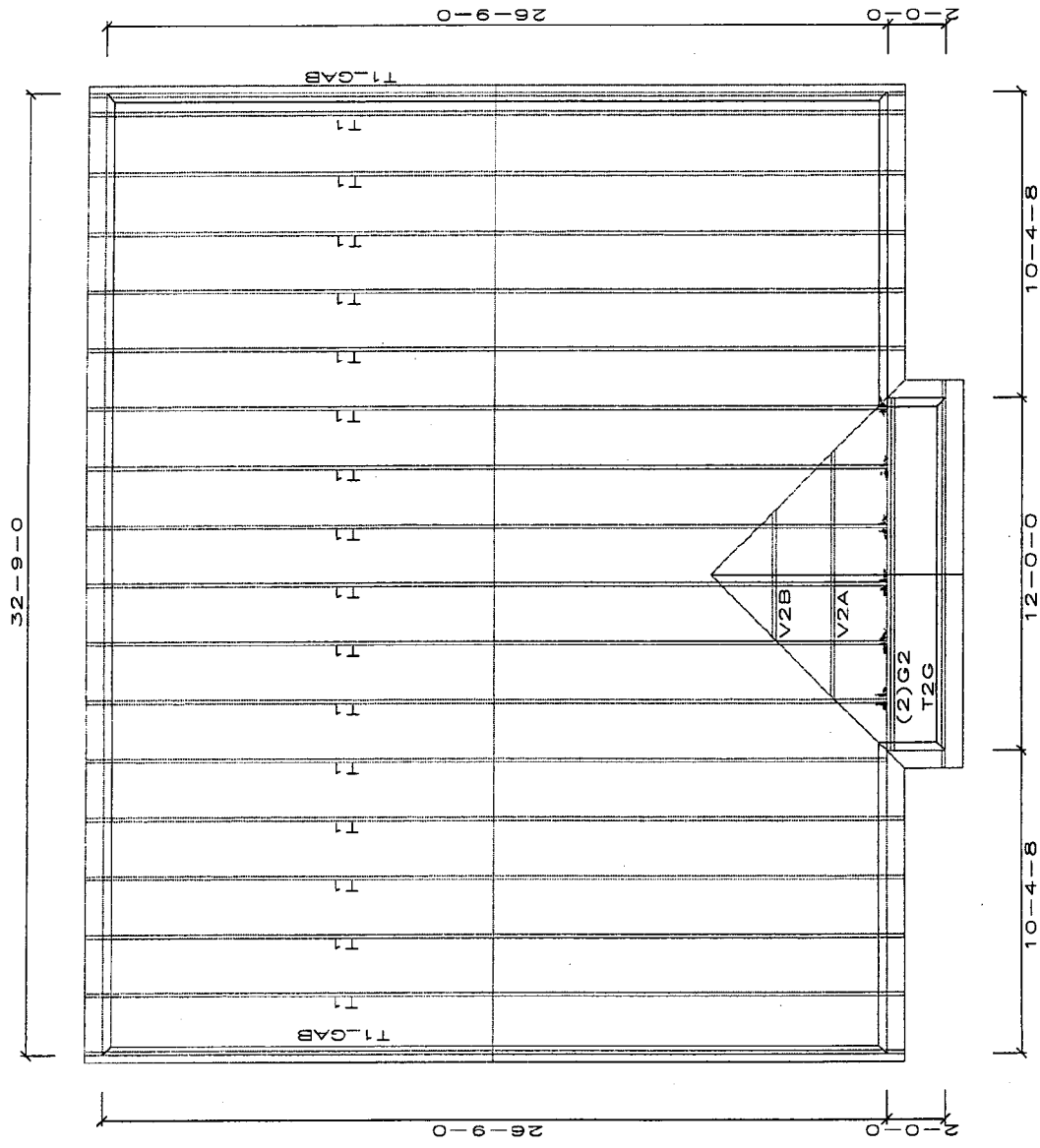
SCALE: 1/4" = 1'-0"

DATE  
 1/16/2001

**KARNS RESIDENCE**  
 10020 MENLO AVENUE. SILVER SPRING, MD 20910

PAGE  
 12

Notes:  
 1) TRUSS SPACING 24" O.C. UNLESS NOTED  
 2) HANGERS BY BUILDER



Shelter Systems Limited

Name: 633 Stone Chapel Road  
 Address: Westminster, MD 21157  
 Telephone: 410-876-3900  
 Fax: 410-857-5754

Description: KARNS ADDITION

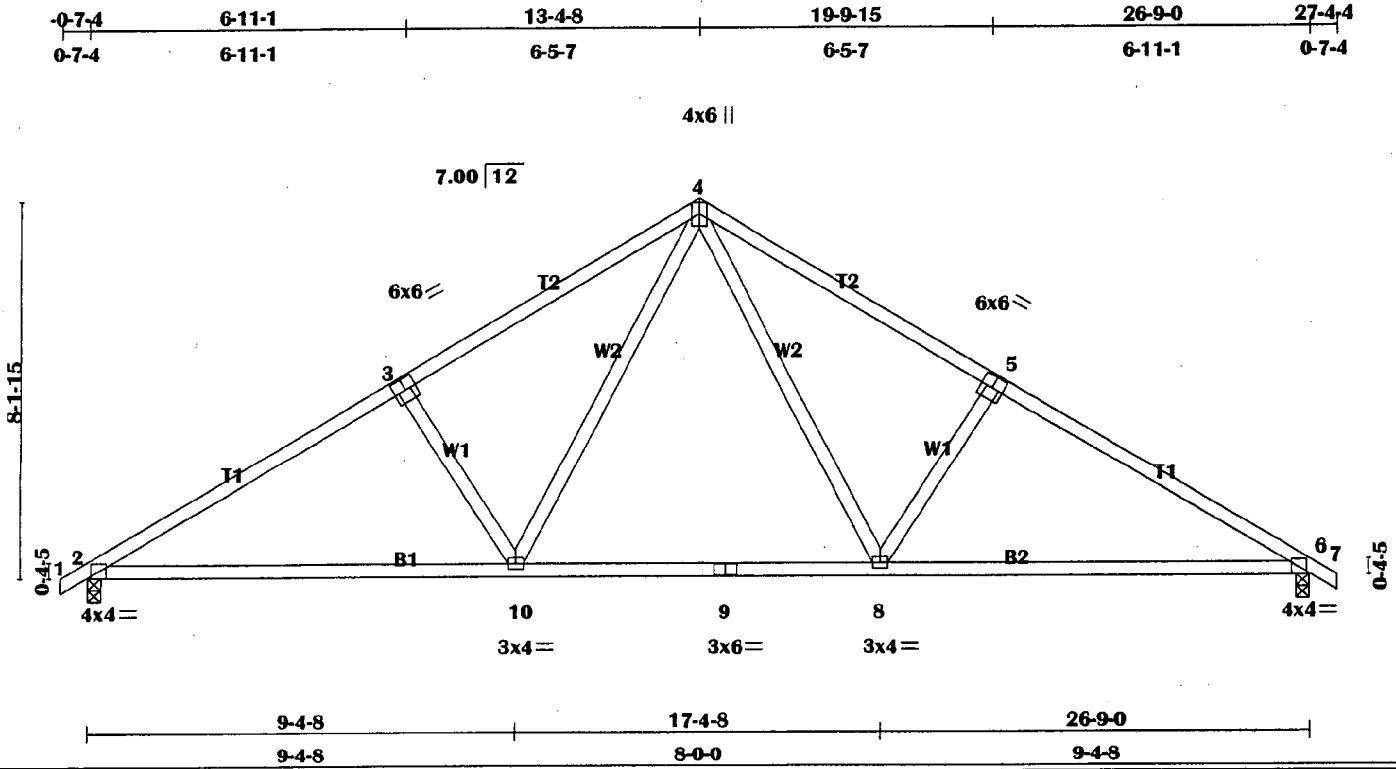
Job: WINCHESTER HOMES

Scale: 1 : 75 Date: 10/24/00 Drawn By: LENNY

Job	Truss	Truss Type	Qty	Ply	WINCHESTER HOMES/KARNS ADDITION
4339	T1	COMMON	1	1	

SHELTER SYSTEMS, WESTMINSTER MD 21157

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LOADING (psf)	SPACING 2-0-0	CSI	DEFL (in) (loc) l/defl	PLATES GRIP
TCLL 30.0	Plates Increase 1.15	TC 0.65	Vert(LL) -0.08 10 >999	M20 169/163
TCDL 7.0	Lumber Increase 1.15	BC 0.66	Vert(TL) -0.25 2-10 >999	
BCLL 0.0	Rep Stress Incr YES	WB 0.24	Horz(TL) 0.05 6 n/a	Weight: 123 lb
BCDL 10.0	Code BOCA/ANSI95		1st LC LL Min l/defl = 240	

**LUMBER**  
TOP CHORD 2 X 4 SYP No.2  
BOT CHORD 2 X 4 SYP No.2  
WEBS 2 X 4 SPF-S Stud "Except"  
W2 2 X 4 SYP No.3, W2 2 X 4 SYP No.3

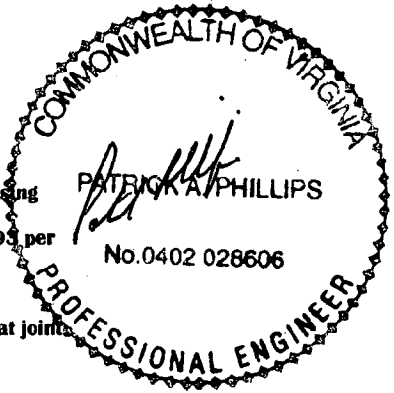
**BRACING** [P]  
TOP CHORD Sheathed or 3-7-10 on center purlin spacing.  
BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing.

**REACTIONS (lb/size)** 2=1299/0-3-8, 6=1299/0-3-8  
Max Horz 2=158(load case 2)  
Max Uplift 2=219(load case 4), 6=219(load case 4)

**FORCES (lb) - First Load Case Only**  
TOP CHORD 1-2=11, 2-3=1749, 3-4=1491, 4-5=1491, 5-6=1749, 6-7=11  
BOT CHORD 2-10=1498, 9-10=1028, 8-9=1028, 6-8=1498  
WEBS 3-10=398, 4-10=573, 4-8=573, 5-8=398

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
  - 2) This truss has been designed for the wind loads generated by 80 mph winds at 23 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, 100 mi from hurricane oceanline, on an occupancy category I, condition I enclosed building, of dimensions 48 ft by 35 ft with exposure C ASCE 7-95 per BOCA/ANSI95 If end verticals or cantilevers exist, they are exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
  - 3) All plates are M20 plates unless otherwise indicated.
  - 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 219 lb uplift at joints 2 and 219 lb uplift at joint 6.
  - 5) This truss has been designed with ANSI/TPI 1-1995 criteria.

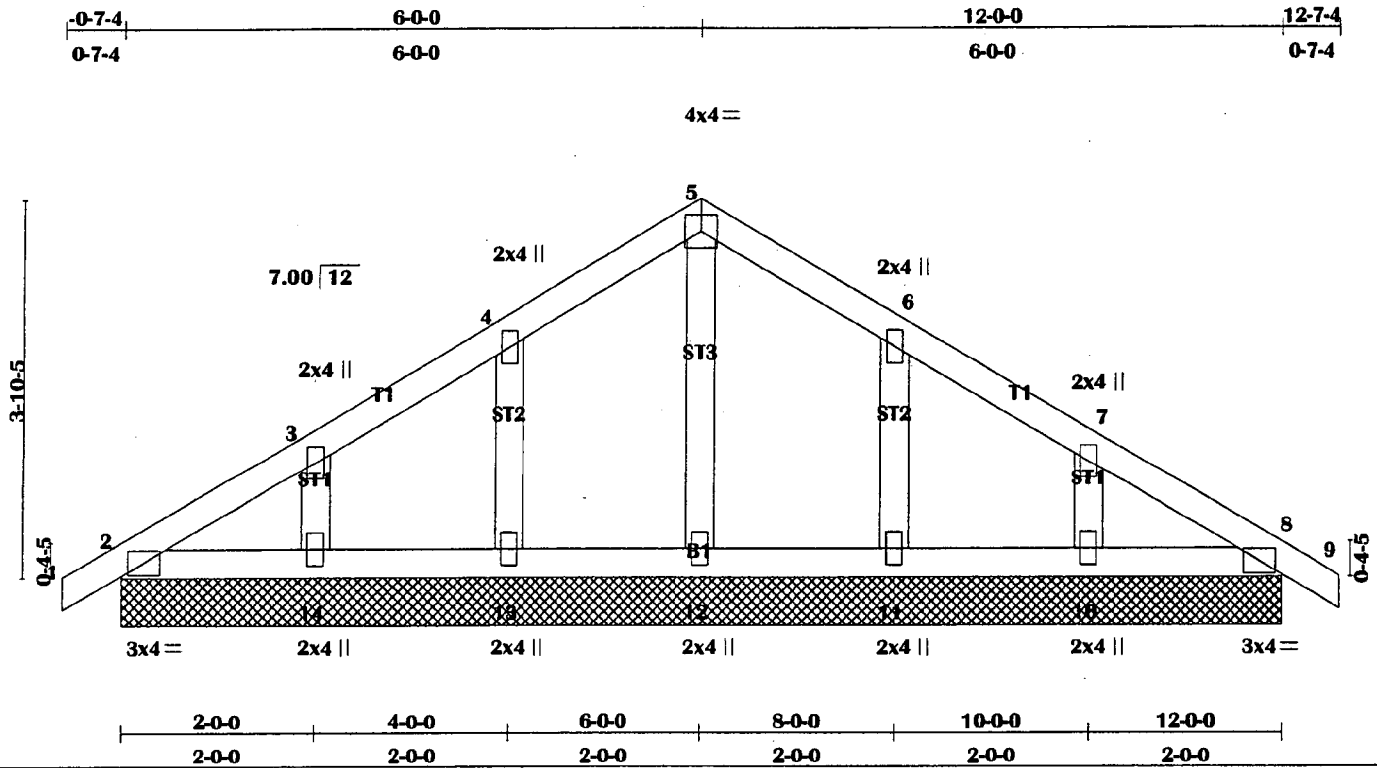
**LOAD CASE(S)** Standard



Job	Truss	Truss Type	Qty	Ply	WINCHESTER HOMES/KARNS ADDITION
4339	T2G	COMMON	1	1	

SHELTER SYSTEMS, WESTMINSTER MD 21157

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LOADING (psf)	SPACING 2-0-0	CSI	DEFL (in) (loc) l/defl	PLATES GRIP
TCLL 30.0	Plates Increase 1.15	TC 0.05	Vert(LL) n/a - n/a	M20 169/163
TCDL 7.0	Lumber Increase 1.15	BC 0.01	Vert(TL) 0.00 1 >999	
BCLL 0.0	Rep Stress Incr YES	WB 0.04	Horz(TL) 0.00 n/a	
BCDL 10.0	Code BOCA/ANSI95	(Matrix)	1st LC LL Min l/defl = 240	Weight: 50 lb

**LUMBER**  
TOP CHORD 2 X 4 SYP No.2  
BOT CHORD 2 X 4 SYP No.2  
OTHERS 2 X 4 SPFS Stud

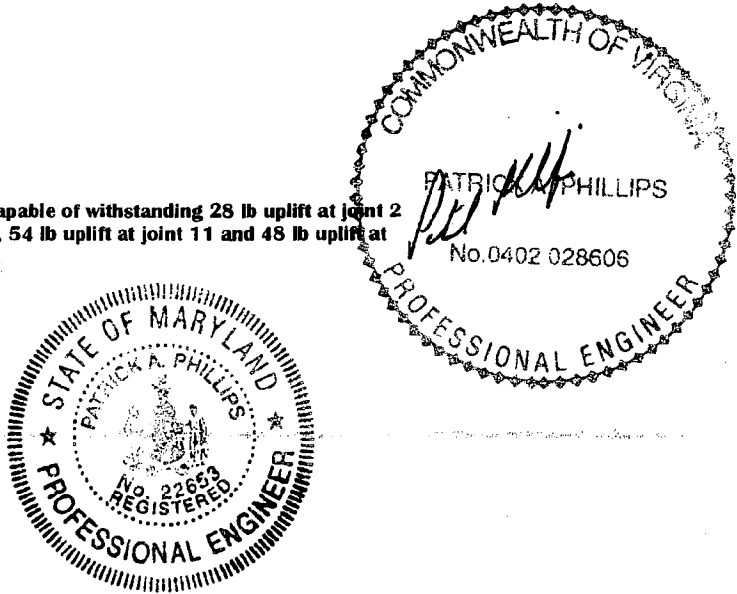
**BRACING**  
TOP CHORD Sheathed or 6-0-0 on center purlin spacing.  
BOT CHORD Rigid ceiling directly applied or 6-0-0 on center bracing.

**REACTIONS (lb/size)** 2=163/12-0-0, 8=163/12-0-0, 12=143/12-0-0, 13=187/12-0-0, 14=184/12-0-0, 11=187/12-0-0, 10=184/12-0-0  
Max Horz 2=95(load case 3), 8=95(load case 2)  
Max Uplift 2=28(load case 4), 8=28(load case 4), 13=54(load case 3), 14=45(load case 3), 11=54(load case 2), 10=48(load case 2)  
Max Grav 13=195(load case 5), 14=184(load case 1), 11=195(load case 6), 10=184(load case 1)

**FORCES (lb) - First Load Case Only**  
TOP CHORD 1-2=21, 2-3=83, 3-4=82, 4-5=82, 5-6=82, 6-7=82, 7-8=83, 8-9=21  
BOT CHORD 2-14=0, 13-14=0, 12-13=0, 11-12=0, 10-11=0, 8-10=0  
WEBS 5-12=103, 4-13=148, 3-14=142, 6-11=148, 7-10=142

- NOTES**
- 1) This truss has been checked for unbalanced loading conditions.
  - 2) For studs exposed to wind, see MiTek "Standard Gable End Detail"
  - 3) All plates are M20 plates unless otherwise indicated.
  - 4) Gable requires continuous bottom chord bearing.
  - 5) Gable studs spaced at 2-0-0 on center.
  - 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 28 lb uplift at joint 2, 28 lb uplift at joint 8, 54 lb uplift at joint 13, 48 lb uplift at joint 14, 54 lb uplift at joint 11 and 48 lb uplift at joint 10.
  - 7) This truss has been designed with ANSI/TPI 1-1995 criteria.

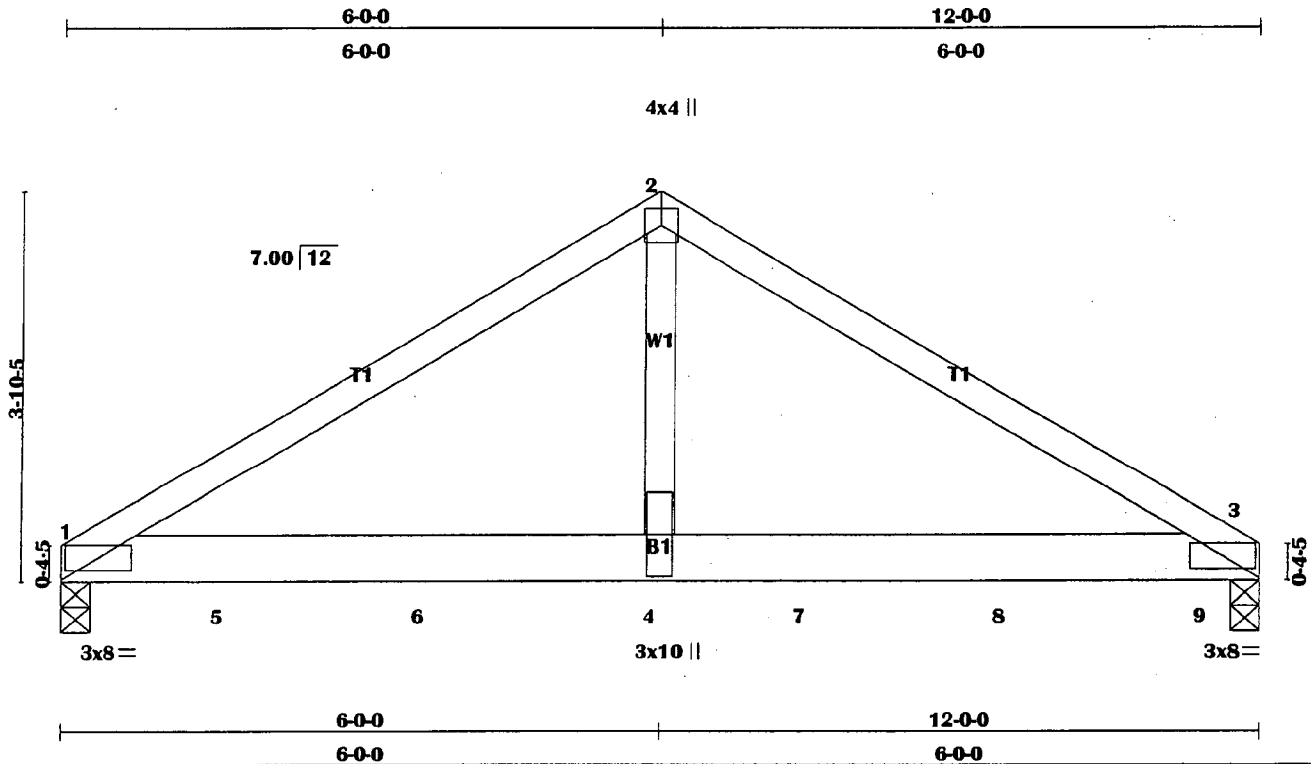
**LOAD CASE(S)** Standard



Job 4339	Truss G2	Truss Type COMMON	Qty 1	Ply 2	WINCHESTER HOMES/KARNS ADDITION
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SHELTER SYSTEMS, WESTMINSTER MD 21157

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LOADING (psf)	SPACING	1-0-0	CSI	DEFL (in) (loc) l/defl	PLATES GRIP
TCLL 30.0	Plates Increase	1.15	TC 0.52	Vert(LL) -0.09 3-4 >999	M20 249/190
TCDL 7.0	Lumber Increase	1.15	BC 0.73	Vert(TL) -0.14 3-4 >974	
BCLL 0.0	Rep Stress Incr	NO	WB 0.79	Horz(TL) 0.02 3 n/a	Weight: 108 lb
BCDL 10.0	Code	BOCA/ANSI95	(Matrix)	1st LC LL Min l/defl = 240	

**LUMBER**  
TOP CHORD 2 X 4 SYP No.2  
BOT CHORD 2 X 6 SYP SS  
WEBS 2 X 4 SYP No.3

**BRACING** [P]  
TOP CHORD Sheathed or 5-3-0 on center purlin spacing.  
BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing.

**REACTIONS (lb/size)** 1=3600/0-3-8, 3=4415/0-3-8  
Max Horz 1=34(load case 3)  
Max Uplift1=532(load case 4), 3=652(load case 4)

**FORCES (lb) - First Load Case Only**  
TOP CHORD 1-2=4813, 2-3=4809  
BOT CHORD 1-5=4139, 5-6=4139, 4-6=4139, 4-7=4139, 7-8=4139, 8-9=4139, 3-9=4139  
WEBS 2-4=4514

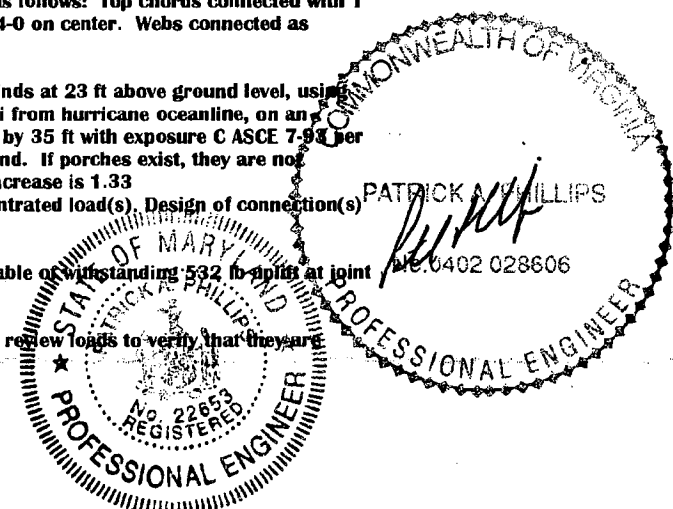
**NOTES**

- 1) 2-ply truss to be connected together with 10d Common(.148"x3") Nails as follows: Top chords connected with 1 row(s) at 0-9-0 on center. Bottom chords connected with 2 row(s) at 0-4-0 on center. Webs connected as follows: 2 X 4 - 1 row(s) at 0-9-0 on center.
- 2) This truss has been checked for unbalanced loading conditions.
- 3) This truss has been designed for the wind loads generated by 80 mph winds at 23 ft above ground level, using 5.0 psf top chord dead load and 5.0 psf bottom chord dead load, 100 mi from hurricane oceanline, on an occupancy category I, condition I enclosed building, of dimensions 48 ft by 35 ft with exposure C ASCE 7-98 per BOCA/ANSI95 If end verticals or cantilevers exist, they are exposed to wind. If porches exist, they are not exposed to wind. The lumber DOL increase is 1.33, and the plate grip increase is 1.33
- 4) Except as shown below, special connection(s) required to support concentrated load(s). Design of connection(s) is delegated to the building designer.
- 5) All plates are M20 plates unless otherwise indicated.
- 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 532 lb uplift at joint 1 and 652 lb uplift at joint 3.
- 7) This truss has been designed with ANSI/TPI 1-1995 criteria.
- 8) Load case(s) 1, 2, 3, 4, 5, 6 has been modified. Building designer must review loads to verify that they are correct for the intended use of this truss.

**LOAD CASE(S)**

1) Regular: Lumber Increase=1.15, Plate Increase=1.15

Continued on page 2





Job	Truss	Truss Type	Qty	Ply	WINCHESTER HOMES/KARNS ADDITION
4339	G2	COMMON	1	2	

SHELTER SYSTEMS, WESTMINSTER MD 21157

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**LOAD CASE(S)**

**Uniform Loads (plf)**

Vert: 1-5=10.0, 5-6=10.0, 4-6=10.0, 4-7=10.0, 7-8=10.0, 8-9=10.0, 3-9=10.0, 1-2=37.0, 2-3=37.0

**Concentrated Loads (lb)**

Vert: 4=1244 5=1244 6=1244 7=1244 8=1244 9=1244

**2) Wind Left: Lumber Increase=1.33, Plate Increase=1.33**

**Uniform Loads (plf)**

Vert: 1-5=5.0, 5-6=5.0, 4-6=5.0, 4-7=5.0, 7-8=5.0, 8-9=5.0, 3-9=5.0, 1-2=2.2, 2-3=11.9

Horz: 1-2=7.2, 2-3=16.9

**Concentrated Loads (lb)**

Vert: 4=184 5=184 6=184 7=184 8=184 9=184

**3) Wind Right: Lumber Increase=1.33, Plate Increase=1.33**

**Uniform Loads (plf)**

Vert: 1-5=5.0, 5-6=5.0, 4-6=5.0, 4-7=5.0, 7-8=5.0, 8-9=5.0, 3-9=5.0, 1-2=11.9, 2-3=2.2

Horz: 1-2=16.9, 2-3=7.2

**Concentrated Loads (lb)**

Vert: 4=184 5=184 6=184 7=184 8=184 9=184

**4) 1st Wind Parallel: Lumber Increase=1.33, Plate Increase=1.33**

**Uniform Loads (plf)**

Vert: 1-5=5.0, 5-6=5.0, 4-6=5.0, 4-7=5.0, 7-8=5.0, 8-9=5.0, 3-9=5.0, 1-2=11.9, 2-3=11.9

Horz: 1-2=16.9, 2-3=16.9

**Concentrated Loads (lb)**

Vert: 4=184 5=184 6=184 7=184 8=184 9=184

**5) 1st unbalanced Regular: Lumber Increase=1.15, Plate Increase=1.15**

**Uniform Loads (plf)**

Vert: 1-5=10.0, 5-6=10.0, 4-6=10.0, 4-7=10.0, 7-8=10.0, 8-9=10.0, 3-9=10.0, 1-2=37.0, 2-3=7.0

**Concentrated Loads (lb)**

Vert: 4=1244 5=1244 6=1244 7=1244 8=1244 9=1244

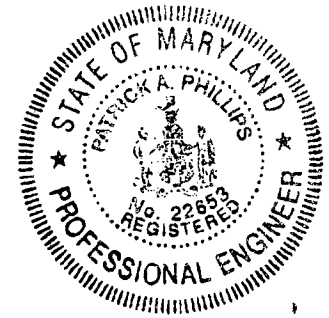
**6) 2nd unbalanced Regular: Lumber Increase=1.15, Plate Increase=1.15**

**Uniform Loads (plf)**

Vert: 1-5=10.0, 5-6=10.0, 4-6=10.0, 4-7=10.0, 7-8=10.0, 8-9=10.0, 3-9=10.0, 1-2=7.0, 2-3=37.0

**Concentrated Loads (lb)**

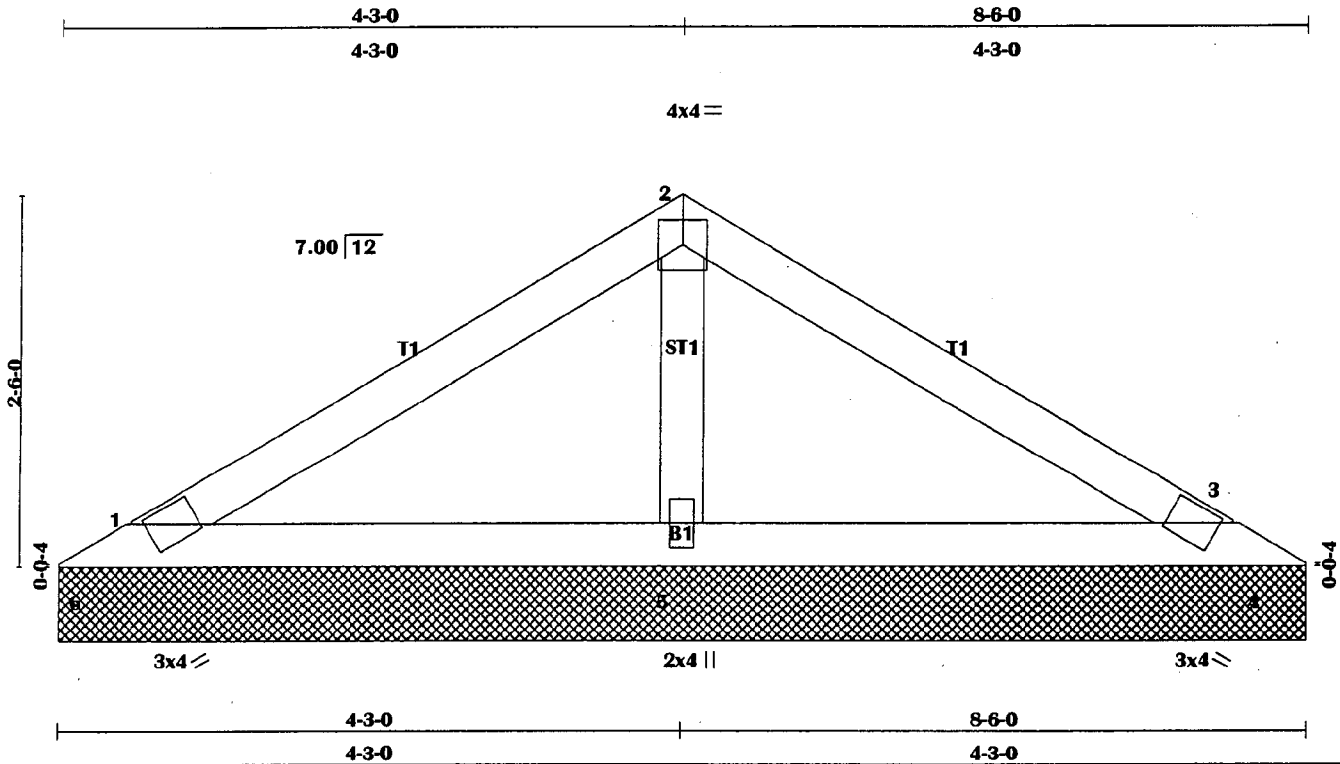
Vert: 4=1244 5=1244 6=1244 7=1244 8=1244 9=1244



Job	Truss	Truss Type	Qty	Ply	WINCHESTER HOMES/KARNS ADDITION
4339	V2A	COMMON TRUSS	1	1	

SHELTER SYSTEMS, WESTMINSTER MD 21157

4.0-32 e Feb 18 1999 MiTek Industries, Inc. Tue Oct 24 12:31:33 2000 Page 1



LOADING (psf)	SPACING 2-0-0	CSI	DEFL (in) (loc) l/defl	PLATES GRIP
TCLL 30.0	Plates Increase 1.15	TC 0.26	Vert(LL) n/a · n/a	M20 169/163
TCDL 7.0	Lumber Increase 1.15	BC 0.05	Vert(TL) n/a · n/a	Weight: 27 lb
BCLL 0.0	Rep Stress Incr YES	WB 0.05	Horz(TL) 0.00 n/a	
BCDL 10.0	Code BOCA/ANSI95	(Matrix)	1st LC LL Min l/defl = 240	

**LUMBER**  
TOP CHORD 2 X 4 SYP No.2  
BOT CHORD 2 X 4 SYP No.2  
OTHERS 2 X 4 SPF-S Stud

**BRACING**  
TOP CHORD Sheathed or 6-0-0 on center purlin spacing.  
BOT CHORD Rigid ceiling directly applied or 6-0-0 on center bracing.

[P]

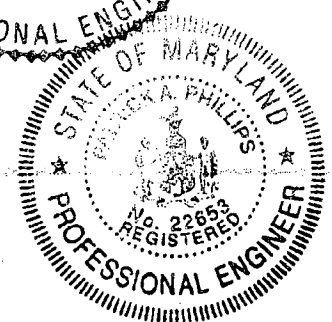
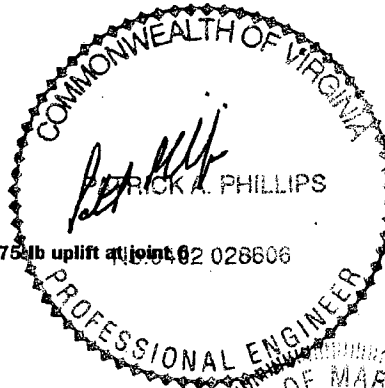
**REACTIONS (lb/size)** 6=75/8-6-0, 4=75/8-6-0, 1=296/8-6-0, 3=296/8-6-0, 5=273/8-6-0  
Max Horz 1=69(load case 1), 3=69(load case 1)  
Max Uplift 6=75(load case 1), 4=75(load case 1), 5=25(load case 4)

**FORCES (lb) - First Load Case Only**  
TOP CHORD 1-2=136, 2-3=136  
BOT CHORD 1-6=0, 1-5=0, 3-5=0, 3-4=0  
WEBS 2-5=197

**NOTES**

- 1) This truss has been checked for unbalanced loading conditions.
- 2) For studs exposed to wind, see MiTek "Standard Gable End Detail"
- 3) All plates are M20 plates unless otherwise indicated.
- 4) Gable requires continuous bottom chord bearing.
- 5) Gable studs spaced at 4-0-0 on center.
- 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 75 lb uplift at joint 6, 75 lb uplift at joint 4 and 25 lb uplift at joint 5.
- 7) This truss has been designed with ANSI/TPI 1-1995 criteria.

**LOAD CASE(S)** Standard



Job	Truss	Truss Type	Qty	Ply	WINCHESTER HOMES/KARNS ADDITION
4339	V2B	COMMON TRUSS	1	1	

SHELTER SYSTEMS, WESTMINSTER MD 21157

4.0-32 e Feb 18 1999 MiTek Industries, Inc. Tue Oct 24 12:31:35 2000 Page 1

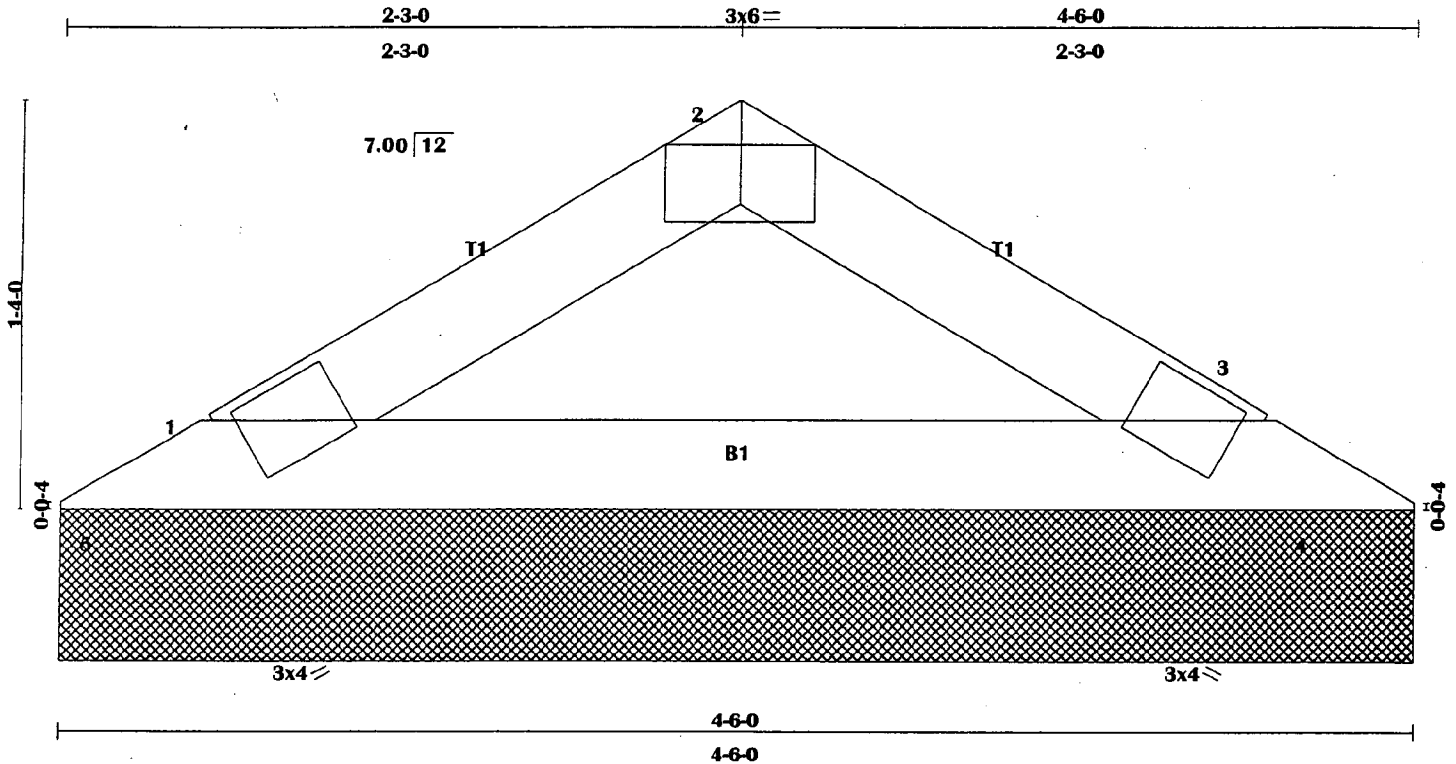


Plate Offsets (X,Y): [2:0-3-0,edge]

LOADING (psf)	SPACING	CSI	DEFL (in) (loc)	PLATES GRIP
TCLL 30.0	2-0-0	TC 0.06	(in) (loc) l/defl	M20 249/190
TCDL 7.0	Plates Increase 1.15	BC 0.04	Vert(LL) n/a - n/a	Weight: 13 lb
BCLL 0.0	Lumber Increase 1.15	WB 0.00	Vert(TL) n/a - n/a	
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.00 n/a	
	Code BOCA/ANSI95		1st LC LL Min l/defl = 240	

**LUMBER**  
TOP CHORD 2 X 4 SYP No.2  
BOT CHORD 2 X 4 SYP No.2

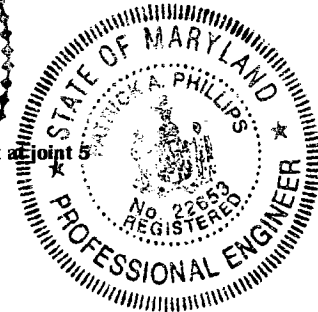
**BRACING**  
TOP CHORD Sheathed.  
BOT CHORD Rigid ceiling directly applied or 6-0-0 on center bracing. [P]

REACTIONS (lb/size) 5=68/4-6-0, 4=68/4-6-0, 1=237/4-6-0, 3=237/4-6-0  
Max Horz 1=111(load case 1), 3=111(load case 1)  
Max Uplift 5=68(load case 1), 4=68(load case 1)

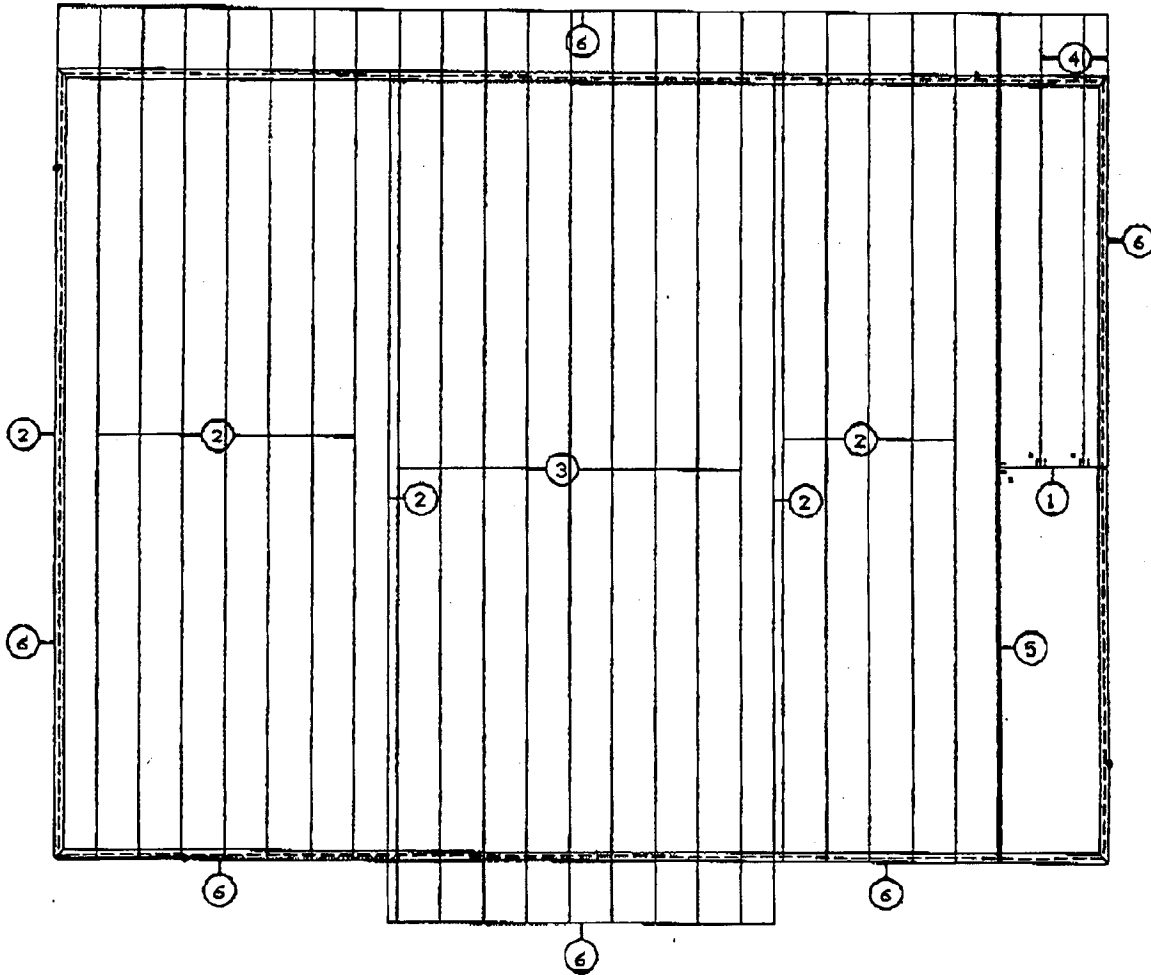
FORCES (lb) - First Load Case Only  
TOP CHORD 1-2=154, 2-3=154  
BOT CHORD 1-5=0, 1-3=0, 3-4=0

**NOTES**

- 1) This truss has been checked for unbalanced loading conditions.
- 2) For studs exposed to wind, see MiTek "Standard Gable End Detail".
- 3) All plates are M20 plates unless otherwise indicated.
- 4) Gable requires continuous bottom chord bearing.
- 5) Gable studs spaced at 2-0-0 on center.
- 6) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 68 lb uplift at joint 5 and 68 lb uplift at joint 4.
- 7) This truss has been designed with ANSI/TPI 1-1995 criteria.



LOAD CASE(S) Standard



RHLOO : KARNS (D)  
GEORGIA-PACIFIC CORPORATION  
4300 WILLOWOOD PKWY 1ST FL / ATLANTA GA 30339 / 770-221-2203

scale: 0.1675" = 1'  
1/22/2001

\*See page 2 for important notes

B-P FASTPlan (c) 1996 Georgia-Pacific Corporation v4.12

page 1 of 2\*

NOTE:

The attached take-off represents G-P Engineered Lumber material needed to frame layout(s) shown based on the interpretation of Georgia-Pacific Technical Services, but has not been reviewed by a G-P engineer. Purchaser is to verify material quantities, lengths, locations, and sizes, and resolve clouded items.

Specified products are sized only for gravity loads shown. These loads should be verified by the purchaser. If additional loads or framing areas need to be accounted for, notify supplier of G-P products so that material can be sized and price adjusted. Unless noted otherwise, hip, valley and ridge boards have not been designed and no products were designed to resist the building's lateral loads.

Prior to installation, review layout with applicable product guide and/or installation sheet. If this information is not included, contact your supplier of G-P products. Coordinate building plans & details with this layout. To prevent member damage from plumbing or mechanical cuts, review this layout plan before placement. Follow I-joist web hole charts. Do not cut material beyond scope of product guide(s) without prior approval.

Glue and nail minimum 23/32" APA Rated OSB or plywood to floor I-joists. Use fastener schedule for side-loaded G-P Lam or MasterBlank LVL beams. For proper installation of hangers and connectors, follow manufacturer's guidelines. Connections not shown are by others.

Roofs shall have adequate drainage to prevent ponding.

These products were designed for 'dry use' conditions only, and must be protected from long term exposure to high moisture. Moisture protection (by others) may be required.

G-P FASTPlan v4.33 1/19/2001 16:43:9 ( )

Customer: KARNS  
 Project : RH1001 (KARNS) Level: 0

## Material List

Mark	Qty	Length	Product	Ser/Gr	Size	Description
1	1	4'	WI	60	14"	
2	15	28'	WI	60	14"	
3	9	30'	WI	60	14"	
4	3	16'	WI	60	14"	
5	2	28'	WI	60	14"	1 @ 2 PLIES
6	1	109'	RIMBOARD	0	0"	Rim +

## Hangers

A	3		KANT-SAG	THO25140		
---	---	--	----------	----------	--	--

\* Total RIMBOARD 0" Rim/Blckg = 110.0'

1. WI is a Trademark of Georgia-Pacific Corp.
2. Actual shipping lengths may vary.
3. Bearing & web stiffeners, filler material, squash blocks, rim sheathing, hanger backer blocks, X-bracing, and other items to be provided by others, unless noted otherwise.

Customer: KARNS  
Project : RH1001 (KARNS) Level: 0

Material List

Total length of WI Joist 60 14" = 798'  
Total length of RIMBOARD 0 0" = 109'

JOHN S WILSON CO

Rick Hobson

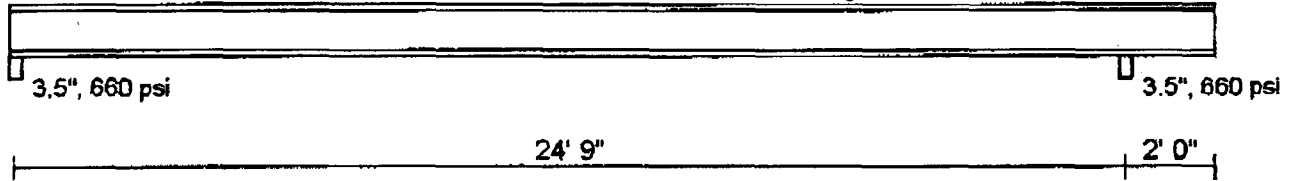
19 Jan 2001 4:39 pm

12950 LIVESTOCK RD, WEST FRIENDSHIP, MD. 21794- (410)442-2400

FASTBeam® Engineering Analysis © 1996-2000 Georgia-Pacific Corporation Version: 3.2(95/NT)

Project : Information :  
 Mark #: Beam - Floor Desc :  
 Usage : Beam(Floor) Repetitive : No Spacing (in.) : 0.0  
 Max Defl : LL = L/360 TL = L/240 Composite Action : No

Stair well Joist



**LOADS**

Project Design Loads: Floor: Live=40 psf, Dead=10 psf;

#	Shape	Live+Dead Ld(T)		Live Ld(L)		LDF	Location*		Additional Info
		@Start	@End	@Start	@End		Span#	Starts	
1	Concentrated(lbs)	2034		1627		100%	0	0' 0"	
2	Beam(psf)	50		40		100%	0	12' 6"	14' 3" s.c. 3' 5" b.m. -
	Uniform(plf)	6		0		0	0	26' 9"	Self Weight

\*Dimensions measured from left end when span# is 0, otherwise, from left end of the specified span.

**SUPPORTS (lbs)**

	1	2
Max R'n	2407	391
Min R'n	538	145
DL R'n	538	145
Min Brg(in.)	1.76	3.50
Stiffener	NO	NO

**DESIGN**

	Value	Span	X	Group	Allow	LDF	Ratio	
V(lbs)	379	1	24' 7"	22	3420	100%	0.11	
M(ft-lbs)	4204	1	12' 8"	21	10640	100%	0.40	
LtRn(lbs)	2407	0	0' 0"	21	3193	100%	0.76	See Note #5
IntRn(lbs)	391	0	24' 9"	21	5000	100%	0.08	See Note #5
LL Defl(in.)	0.25	1	12' 4"	21	0.82		L/1202	
TL Defl(in.)	-0.08	2	2' 0"	21	0.20		2L/603	

**USE:**

VI 60 14.00" 2 Plies [ APA-14" PRI-60]

Grade, Depth selected by User

Wood I Beam is a trademark of Georgia-Pacific Corp.

**NOTES :**

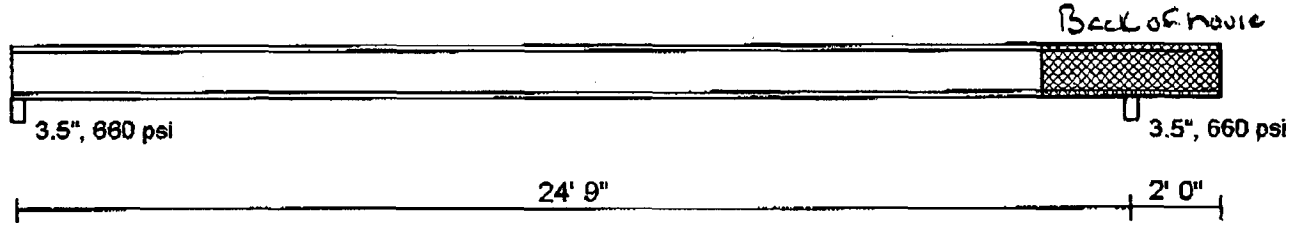
1. Designed in accordance with National Design Specifications for Wood Construction and applicable Approvals or Research Reports.
2. Provide lateral support at the bearing location nearest each end of the member. Continuous lateral support required for compression edge.
3. Loads have been input by the user and have not been verified by Georgia-Pacific Engineered Lumber Technical Services.
4. Design valid for dry use only.
5. This reaction is based on the combination of loads & duration factors that produces the highest stress ratio and may be less than maximum reaction. Therefore, when reaction values are required, use Max R'n from 'Supports' section above.
6. Bearing length based on design material; support material capacity shall be verified (by others).
7. When required by the building code, a registered design professional or building official should verify the input loads and product application.
8. This engineered lumber product has been sized for residential use. A concentrated load check, per the building code, must be performed for commercial uses.
9. Verify that load is applied at top or equally from both sides.
10. Multiple member unit shall be assembled in accordance with manufacturer's specifications.
11. Company, product or brand names referenced are trademarks or registered trademarks of their respective owners.
12. Allowable upward deflection for cantilever is the greater of 0.20" or the cantilever span (inches) multiplied by 2 and divided by the factor shown in Max Defl (located above beam drawing).
13. For explanation of GROUP, change to expanded printout.



**JOHN S WILSON CO** Rick Hobson  
 12950 LIVESTOCK RD, WEST FRIENDSHIP, MD. 21794- (410)442-2400  
 FASTBeam® Engineering Analysis © 1996-2000 Georgia-Pacific Corporation Version: 3.2(95/NT)

19 Jan 2001 4:21 pm

Project : Information :  
 Mark # : Joist - Floor Desc :  
 Usage : Joist(Floor) Repetitive : Yes Spacing (in.) : 16.0  
 Max Defl : LL = L/360 TL = L/240 Composite Action : Yes (\*See Note #9)



**LOADS** Project Design Loads : Floor; Live=40 psf, Dead=10 psf;

#	Shape	Live+Dead Ld(T)		Live Ld(L)	LDF	Location*		Additional Info	
		@Start	@End			@Start	@End		
1	Spog Sen Uniform(psf)	50		40	100%	0	0' 0"	28' 9"	16" o.c. Base Uniform Load (Spacing Sensitive)
	Wall(plf) +	80		0		0	28' 9"		
	Span Carried(psf)	50		40	100%				28' 6"s.c.(16" o.c.)

\*Dimensions measured from left end when span# is 0, otherwise, from left end of the specified span.

**SUPPORTS(lbs)**

	1	2
Max R'n	801	2034
Min R'n	80	499
DL R'n	141	499
Min Brg(in.)	1.75	3.50
Stiffener	NO	NO

**DESIGN**

	Value	Span	X	Group	Allow	LDF	Ratio	
V(lbs)	1114	2	0' 2"	21	2194	100%	0.51	
M(ft-lbs)	4808	1	12' 4"	22	5692	100%	0.84	
LtRn(lbs)	801	0	0' 0"	22	1597	100%	0.50	See Note #5
IntRn(lbs)	2034	0	24' 9"	21	3468	100%	0.59	See Note #5
LLDefl(in.)	0.70	1	12' 4"	22	0.82		L/422	
TLDefl(in.)	0.82	1	12' 4"	22	1.24		L/360	

**USE:** WM 60 14.00" @16" o.c. [APA-14"PRI-60]  
 Wood I Beam is a trademark of Georgia-Pacific Corp.

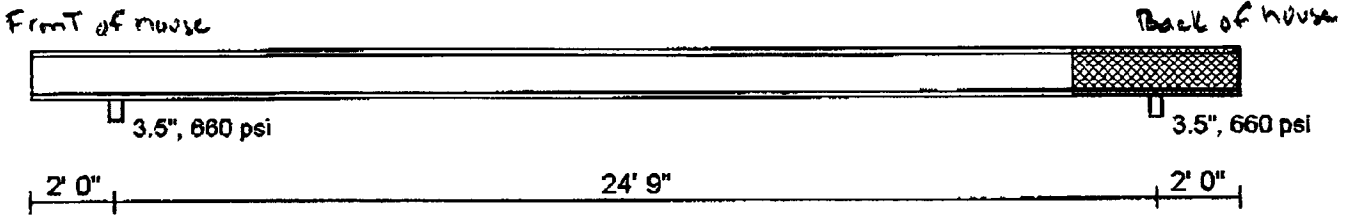
**Cant Reinf:** Double @ Right Cantilever (See Note # 12)

**NOTES :**

1. Designed in accordance with National Design Specifications for Wood Construction and applicable Approvals or Research Reports.
2. Provide lateral support at the bearing location nearest each end of the member. Continuous lateral support required for compression edge.
3. Loads have been input by the user and have not been verified by Georgia-Pacific Engineered Lumber Technical Services.
4. Design valid for dry use only.
5. This reaction is based on the combination of loads & duration factors that produces the highest stress ratio and may be less than maximum reaction. Therefore, when reaction values are required, use Max R'n from 'Supports' section above.
6. Bearing length based on design material; support material capacity shall be verified (by others).
7. When required by the building code, a registered design professional or building official should verify the input loads and product application.
8. This engineered lumber product has been sized for residential use. A concentrated load check, per the building code, must be performed for commercial uses.
9. Floor sheathing of 3/4" nominal APA rated OSB or Plywood must be glued-nailed to joists and spacing must not exceed 24" o.c. Live def'n exceeding L/480 not recommended (i.e. L/600 is OK).
10. Company, product or brand names referenced are trademarks or registered trademarks of their respective owners.
11. Allowable upward deflection for cantilever is the greater of 0.20" or the cantilever span (inches) multiplied by 2 and divided by the factor shown in Max Defl (located above beam drawing).
12. Attach 23/32" x 14" x 48" APA Rated Sheathing 48/24 (face grain horizontal) to top & bottom flanges on both faces with 8d nails @ 6" o.c. Offset opposite face nailing by 3".
13. For explanation of GROUP, change to expanded printout.

**JOHN S WILSON CO** Rick Hobson 19 Jan 2001 4:31 pm  
 12950 LIVESTOCK RD, WEST FRIENDSHIP, MD. 21794- (410)442-2400  
 FASTBeam® Engineering Analysis © 1996-2000 Georgia-Pacific Corporation Version: 3.2(95/NT)

Project : Information :  
 Mark # : Joist - Floor Desc :  
 Usage : Joist(Floor) Repetitive : Yes Spacing (in.) : 16.0  
 Max Defl : LL = L/360 TL = L/240 Composite Action : Yes (\*See Note #9)



**LOADS** Project Design Loads ; Floor; Live=40 psf, Dead=10 psf;

#	Shape	Live+Dead Ld(T)		Live Ld(L)		LDF	Span#	Location*		Additional Info
		@Start	@End	@Start	@End			Starts	Ends	
1	Spcg Sen Uniform(psf)	50		40		100%	0	0' 0"	28' 9"	16' o.c. Base Uniform Load (Spacing Sensitive)
	VWall(plf) +	80		0			0	28' 9"		
	Span Carried(psf)	50		40		100%				28' 9" o.c. (16' o.c.)

\*Dimensions measured from left end when span# is 0, otherwise, from left end of the specified span.

**SUPPORTS (lbs)**

	1	2
Max R'n	940	2042
Min R'n	169	500
DL R'n	169	500
Min Brg(In.)	3.60	3.60
Stiffener	NO	NO

**DESIGN**

	Value	Span	X	Group	Allow	LDF	Ratio
V(lbs)	1122	3	0' 2"	21	2194	100%	0.51
M(ft-lbs)	4793	2	12' 4"	23	5692	100%	0.84
Int R'n(lbs)	2042	0	28' 9"	25	3468	100%	0.59
LLDefl(in.)	0.70	2	12' 4"	23	0.82		L/422
TLDefl(in.)	-0.20	1	0' 0"	23	0.20		2L/244

**USE:** WM 60 14.00" @16" o.c. [ APA-14" PRI-60 ] Grade, Depth selected by User  
 Wood I Beam is a trademark of Georgia-Pacific Corp.

**Cant Reinf:** Double @ Right Cantilever (See Note # 12)

**NOTES :**

1. Designed in accordance with National Design Specifications for Wood Construction and applicable Approvals or Research Reports.
2. Provide lateral support at the bearing location nearest each end of the member. Continuous lateral support required for compression edge.
3. Loads have been input by the user and have not been verified by Georgia-Pacific Engineered Lumber Technical Services.
4. Design valid for dry use only.
5. This reaction is based on the combination of loads & duration factors that produces the highest stress ratio and may be less than maximum reaction. Therefore, when reaction values are required, use Max R'n from 'Supports' section above.
6. Bearing length based on design material; support material capacity shall be verified (by others).
7. When required by the building code, a registered design professional or building official should verify the input loads and product application.
8. This engineered lumber product has been sized for residential use. A concentrated load check, per the building code, must be performed for commercial uses.
9. Floor sheathing of 3/4" nominal APA rated OSB or Plywood must be glued-nailed to joists and spacing must not exceed 24" o.c. Live def'n exceeding L/480 not recommended (i.e. L/600 is OK).
10. Company, product or brand names referenced are trademarks or registered trademarks of their respective owners.
11. Allowable upward deflection for cantilever is the greater of 0.20" or the cantilever span (inches) multiplied by 2 and divided by the factor shown in Max Defl (located above beam drawing).
12. Attach 2x32" x 14" x 48" APA Rated Sheathing 48/24 (face grain horizontal) to top & bottom flanges on both faces with 8d nails @ 6" o.c. Offset opposite face nailing by 3".
13. For explanation of GROUP, change to expanded printout.

# WOOD I BEAM ARCHITECTURAL SPECIFICATIONS

## Part 1—General

### 1.0—Description:

- A. Work in this section includes, but is not limited to:  
Prefabricated Wood I Beam™ 40 Series (GPI or WI), 60 Series (GPI or WI) and 80 Series (WI 80) ceiling, floor, and roof joists with FiberStrong® webs and lumber flanges (WI) or LVL flanges (GPI).
- B. Related work specified elsewhere:  
Rough carpentry.

### 1.1—Submittals:

- A. Product data:  
Submit manufacturer's descriptive literature indicating material composition, thicknesses, dimensions, loading and fabrication details.
- B. Shop drawings or installation guide:  
Manufacturer's literature indicating installation details. Include locations and details of bearing, blocking, bridging, and cutting and drilling of webs for work by others.

### 1.2—Quality Assurance:

- A. Certification:  
WI and GPI Series Wood I Beam joists are manufactured in accordance with APA® PRI™-400 performance standard for APA EWS I-joists and NER-QA 397.

### 1.3—Delivery, Storage and Handling:

- A. Delivery:  
Deliver materials to the job site in manufacturer's original packaging, containers and bundles with manufacturer's brand name and identification intact and legible.
- B. Storage and handling:  
Store and handle materials to protect against contact with damp and wet surfaces, exposure to weather, breakage and damage. Provide air circulation under covering and around stacks of materials. Individual joists shall be handled in the upright position.

### 1.4—Limitations:

- A. Loads:  
Concentrated loads shall not be applied to the bottom flange.
- B. Cutting:  
Except for cutting to length, top and bottom flanges of Wood I Beam floor and roof joists shall not be cut, drilled or notched.
- C. Wood I Beam joists are for use in covered, dry conditions only.

## Part 2.0—Products

### 2.1—Prefabricated Wood Beams and Joists:

- A. Acceptable products:
  1. Georgia-Pacific Corporation, WI 40.
  2. Georgia-Pacific Corporation, WI 60.
  3. Georgia-Pacific Corporation, WI 80.
  4. Georgia-Pacific Corporation, GPI 40.
  5. Georgia-Pacific Corporation, GPI 60.
- B. Characteristics:
  1. Flanges:  
High-grade lumber flanges.
    - a. WI 40: 2½"
    - b. WI 60: 2½"
    - c. WI 80: 3½"LVL flanges.
    - a. GPI 40: 2½"
    - b. GPI 60: 2½"
  2. Webs:  
¾" thick APA Rated oriented strand board.
  3. Beam depths:
    - a. GPI 40 or WI 40: 9½", 11⅞" and 14"  
as required for loading, deflection and span.
    - b. GPI 60 or WI 60: 9½", 11⅞", 14" and 16",  
as required for loading, deflection and span.
    - c. WI 80: 11⅞", 14" and 16"  
as required for loading, deflection and span.
  4. Beam length:  
As required for span and bearing.

### 2.2—Accessories:

- A. Nails:  
8d, 10d, and 12d box, sinker, and common nails.
- B. Bracing and blocking:
  1. Bearing stiffeners: 2×4 or combination of ¾", ½" or ⅝" plywood or OSB.
  2. Band joists and continuous closure at load-bearing walls: per standard approved Wood I Beam details.
  3. Lateral support at intermediate supports of multiple span joists: Wood I Beam blocking.
- C. Joist hangers:
  1. Model numbers are shown for United Steel Products (Kant-Sag®) and Simpson Strong-Tie® connectors. Contact Georgia-Pacific for other acceptable connectors.

## Part 3—Execution

### 3.0—General:

- A. Provide Wood I Beam floor and roof joists where indicated on drawings using hangers and accessories specified.
- B. Install Wood I Beam joists in accordance with manufacturer's recommendations.
- C. Install and brace Wood I Beam floor and roof joists to prevent dominoing of system and buckling of top flange.

### 3.2—Accessories:

Install accessories where indicated and in accordance with manufacturer's instructions.

# DESIGN PROPERTIES FOR WIDE FLANGE JOISTS

Joist	Joist Depth	WI Weight (lbs/ft)	GPI Weight (lbs/ft)	EI (10 <sup>6</sup> inch <sup>2</sup> lbs)	Moment (ft-lbs.)	Shear (lbs.)	Allowable Reactions		C (10 <sup>6</sup> ft-lbs/in)	APA <sup>®</sup> PRI <sup>™</sup>
							End (lbs)	Intermediate (lbs)		
40 Series WI or GPI	9 1/2"	2.6	2.9	193	2355	1120	1080	2160	0.412	9 1/2" PRI 40
	11 1/4"	2.9	3.1	330	3145	1420	1200	2500	0.515	11 1/4" PRI 40
	14"	3.3	3.5	482	3860	1710	1200	2500	0.607	14" PRI 40
60 Series WI or GPI	9 1/2"	2.8	2.9	231	3245	1120	1080	2160	0.412	9 1/2" PRI 60
	11 1/4"	3.2	3.1	396	4335	1420	1200	2500	0.515	11 1/4" PRI 60
	14"	3.4	3.5	584	5320	1710	1200	2500	0.607	14" PRI 60
80 Series WI only	11 1/4"	3.9	—	547	6130	1420	1280	2760	0.515	11 1/4" PRI 80
	14"	4.2	—	802	7525	1710	1280	3020	0.607	14" PRI 80
	16"	4.5	—	1092	8845	1970	1280	3020	0.693	16" PRI 80

\* Weights of joists for dead load calculations. For shipping weights contact Georgia-Pacific.

For PSF dead load calculation, use weight per lineal foot divided by o.c. spacing in feet. Ex: WI 60 @ 19.2 o.c. = 3.4 ÷ 1.6 = 2.1 PSF.

## NOTES:

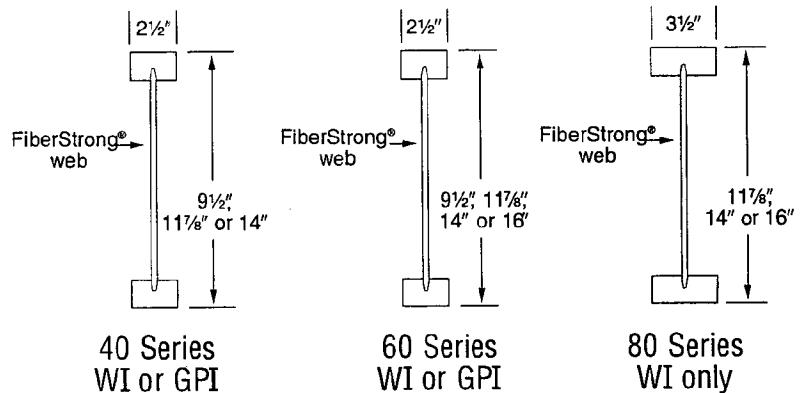
1. Allowable moment values may be increased 7% for repetitive usage (minimum 3 joists spaced at 24" o.c. or less)
2. Allowable moment, shear, and allowable reaction values are for normal duration loading and may be increased for other load durations in accordance with code.
3. Allowable end reaction is based on a minimum bearing length of 4" without bearing stiffeners. For a bearing length of 4" the allowable end reaction may be set equal to the tabulated shear value. Interpolation of the end reaction between 4" and 6" bearing is permitted. For end reaction values over 1,550 lbs, bearing stiffeners are required.
4. Allowable intermediate reaction is based on a minimum bearing length of 6".

## WIDE FLANGE JOIST CROSS SECTIONS

$$\text{APPROXIMATE DEFLECTION}^{**} \text{ (Inches)} = \frac{22.5 \times W \times L^4}{EI} + \frac{W \times L^3}{C}$$

\*\*Constants have been adjusted to maintain unit consistency.

W = Uniform Load (lbs/foot)  
 L = Span (feet)  
 EI = Stiffness Constant  
 C = Shear Deflection Constant



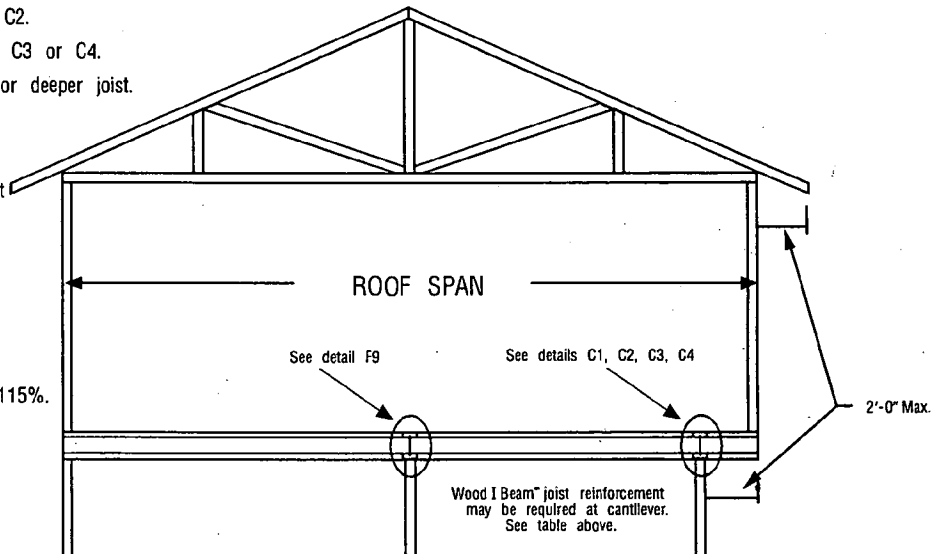
# CANTILEVER REINFORCEMENT REQUIREMENTS FOR GPI OR WI

Joist Depth	Roof Truss Span	ROOF LOADINGS											
		TL = 35 psf LL not to exceed 20 psf Joist spacing				TL = 45 psf LL not to exceed 30 psf Joist spacing				TL = 55 psf LL not to exceed 40 psf Joist spacing			
		12"	16"	19.2"	24"	12"	16"	19.2"	24"	12"	16"	19.2"	24"
9 1/2"	26'	0	0	0	1	0	0	1	2	0	1	2	X
	28'	0	0	0	1	0	0	1	X	0	1	2	X
	30'	0	0	0	2	0	1	1	X	0	1	X	X
	32'	0	0	1	2	0	1	2	X	0	2	X	X
	34'	0	0	1	2	0	1	2	X	0	2	X	X
	36'	0	0	1	X	0	1	2	X	1	2	X	X
11 1/2"	26'	0	0	0	1	0	0	1	2	0	0	1	X
	28'	0	0	0	1	0	0	1	X	0	0	2	X
	30'	0	0	0	2	0	0	1	X	0	1	2	X
	32'	0	0	0	2	0	0	1	X	0	1	X	X
	34'	0	0	1	2	0	0	2	X	0	1	X	X
	36'	0	0	1	X	0	1	2	X	0	1	X	X
	38'	0	0	1	X	0	1	2	X	0	2	X	X
14"	26'	0	0	0	1	0	0	0	2	0	0	1	X
	28'	0	0	0	1	0	0	1	X	0	0	2	X
	30'	0	0	0	2	0	0	1	X	0	1	2	X
	32'	0	0	0	2	0	0	1	X	0	1	2	X
	34'	0	0	0	2	0	0	1	X	0	1	X	X
	36'	0	0	1	2	0	0	2	X	0	1	X	X
	38'	0	0	1	X	0	1	2	X	0	1	X	X
	40'	0	0	1	X	0	1	2	X	0	2	X	X
16"	26'	0	0	0	1	0	0	1	2	0	0	1	X
	28'	0	0	0	1	0	0	1	X	0	1	2	X
	30'	0	0	0	2	0	0	1	X	0	1	2	X
	32'	0	0	0	2	0	0	1	X	0	1	2	X
	34'	0	0	1	2	0	0	2	X	0	1	X	X
	36'	0	0	1	2	0	1	2	X	0	1	X	X
	38'	0	0	1	X	0	1	2	X	0	2	X	X
	40'	0	0	1	X	0	1	2	X	0	2	X	X
	42'	0	0	1	X	0	1	X	X	0	2	X	X

- 0 - No reinforcement is required. See Detail C1.
- 1 - Single Reinforcement is required. See Detail C2.
- 2 - Double Reinforcement is required. See Detail C3 or C4.
- X - Joist does not work. Select closer spacing or deeper joist.

**NOTES:**

1. Assumes floor load of 40 psf live load at L/480, 10 psf dead load and maximum joist simple spans.
2. Assumes exterior wall load of 80 plf. Wall load based on 3'-0" maximum width window or door openings. For larger openings, or multiple 3'-0" width openings spaced less than 6'-0" o.c., additional joists beneath the opening's cripple studs may be required.
3. Roof loads use a load duration factor of 115%.





DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

**HISTORIC AREA WORK  
PERMIT**

IssueDate: 11/22/2000

Permit No: 232884  
Expires:  
X Ref:  
Rev. No:

THIS IS TO CERTIFY THAT:

MICHAEL AND DIANA KARNS  
10020 MENLO AVENUE  
SILVER SPRING MD 20910

HAS PERMISSION TO: ADD

PERMIT CONDITIONS: APPROVED WITH CONDITIONS

**MUST BE POSTED  
ON JOB SITE**

PREMISE ADDRESS 10020 MENLO AVE  
SILVER SPRING MD 20910-1054

LOT BLOCK PARCEL ZONE  
LIBER ELECTION DISTRICT  
FOLIO SUBDIVISION  
PERMIT FEE: \$0.00 TAX ACCOUNT NO.:

HISTORIC MASTER:  
HISTORIC ATLAS: Y

**HISTORIC APPROVAL ONLY  
BUILDING PERMIT REQUIRED**

Director, Department of Permitting Services

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 11/15/00

MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit #232884 #317-00C

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

         Approved

X Approved with Conditions: ~~1~~ 1) The applicants shall use all wood trim for the door and window surrounds, front door, corner boards, cornice detail and the columns and railings on the columns and railings on the front porch.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

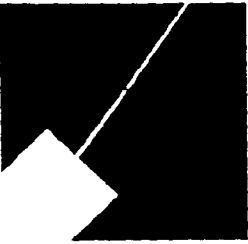
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Michael and Diana Karns

Address: 10020 Menlo Ave, Silver Spring

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 11/15/00  
TO: Local Advisory Panel/Town Government  
FROM: Historic Preservation Section, M-NCPPC  
Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner  
Michele Naru, Historic Preservation Planner (M)  
SUBJECT: Historic Area Work Permit Application - HPC Decision

# 232804 # 31/7-00C

---

The Historic Preservation Commission reviewed this project on 11/15/00  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.



M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 11/15/00

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits # 232884 # 317-00C

---

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MICHAEL C. KORNS

Daytime Phone No.: 301-489-1158

Tax Account No.: 13-5-995616

Name of Property Owner: MICHAEL & DIANA KORNS Daytime Phone No.: 301-489-1158

Address: 10020 MENLO AVENUE SILVER SPRING MARYLAND 20910  
Street Number City Street Zip Code

Contractor: Michael Korns Phone No.: 301-565-5011

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: 301-489-1158

**LOCATION OF BUILDING/PREMISE**

House Number: 10020 MENLO AVENUE Street: MENLO AVENUE

Town/City: SILVER SPRING Nearest Cross Street: BARKER AVE. / MENLO AVE.

Lot: NORTH 1/2 17 Block: 372 Subdivision: CAPITAL VIEW PARK

Liber: 14332 Folio: 491 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Move
- Install
- Wreck/Raze
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Revision
- Repair
- Revocable
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 45,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

10/17/2000  
Date

Approved: X W/CONDITION For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 11/15/00

Application/Permit No.: 232884 Date Filed: 10/20/00 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING STRUCTURE - ONE STORY 2800 SQ FT 2 BEDROOM 1 BATH  
5 ROOM HOUSE and full BASEMENT. WOOD FRAME HOUSE  
CONSTRUCTED AROUND MID 1950'S. HOUSE SITS ON  
WOODED LOT WITH NO HISTORIC FEATURES OR  
SIGNIFICANCE

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2ND STORY ADDITION PROPOSED TO ADD 3 BEDROOMS AND  
1 BATH. ALSO ADDITION OF PORCH. COTTAGE ARCHITECTURE  
IS IN KEEPING WITH NEW AND EXISTING ARCHITECTURE  
OF NEIGHBORHOOD.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- ✓ a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- ✓ c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

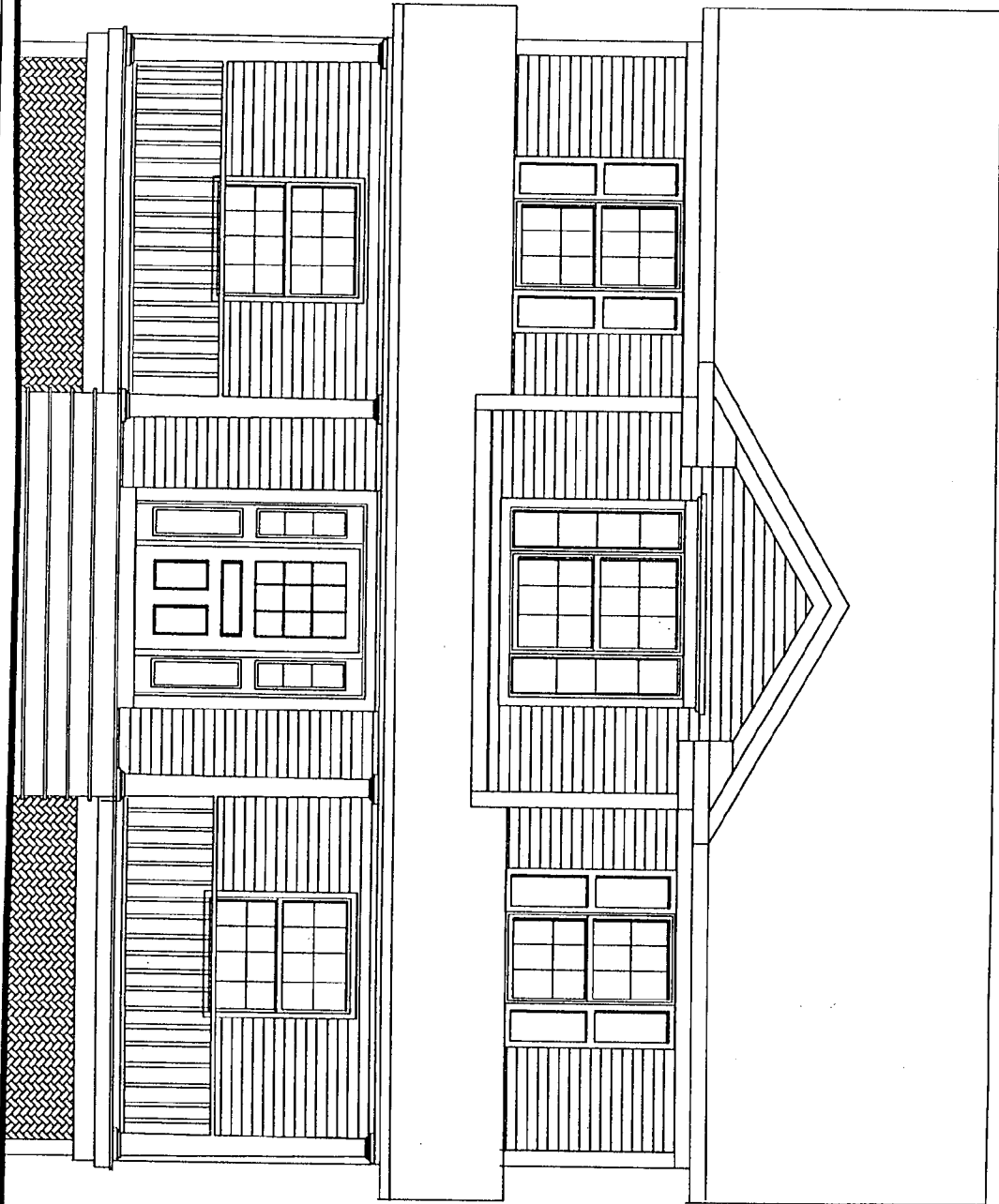
**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

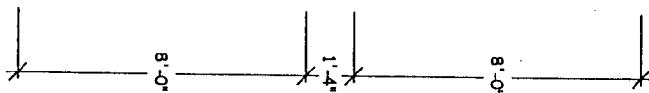
**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



SCALE: 1/4" = 1'-0"



2

PAGE

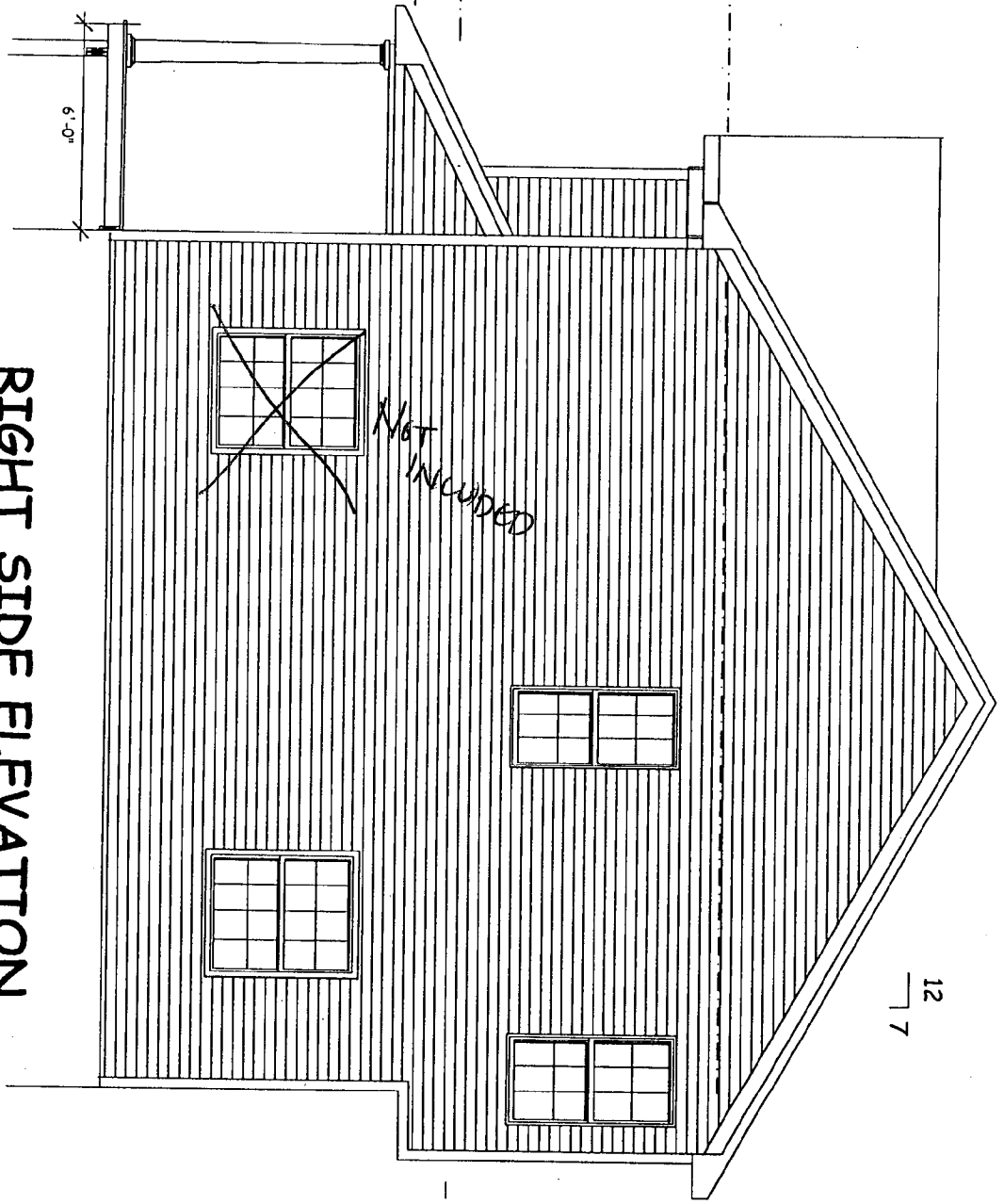
# KARNS RESIDENCE

10020 MENLO AVENUE. SILVER SPRING, MD 20910

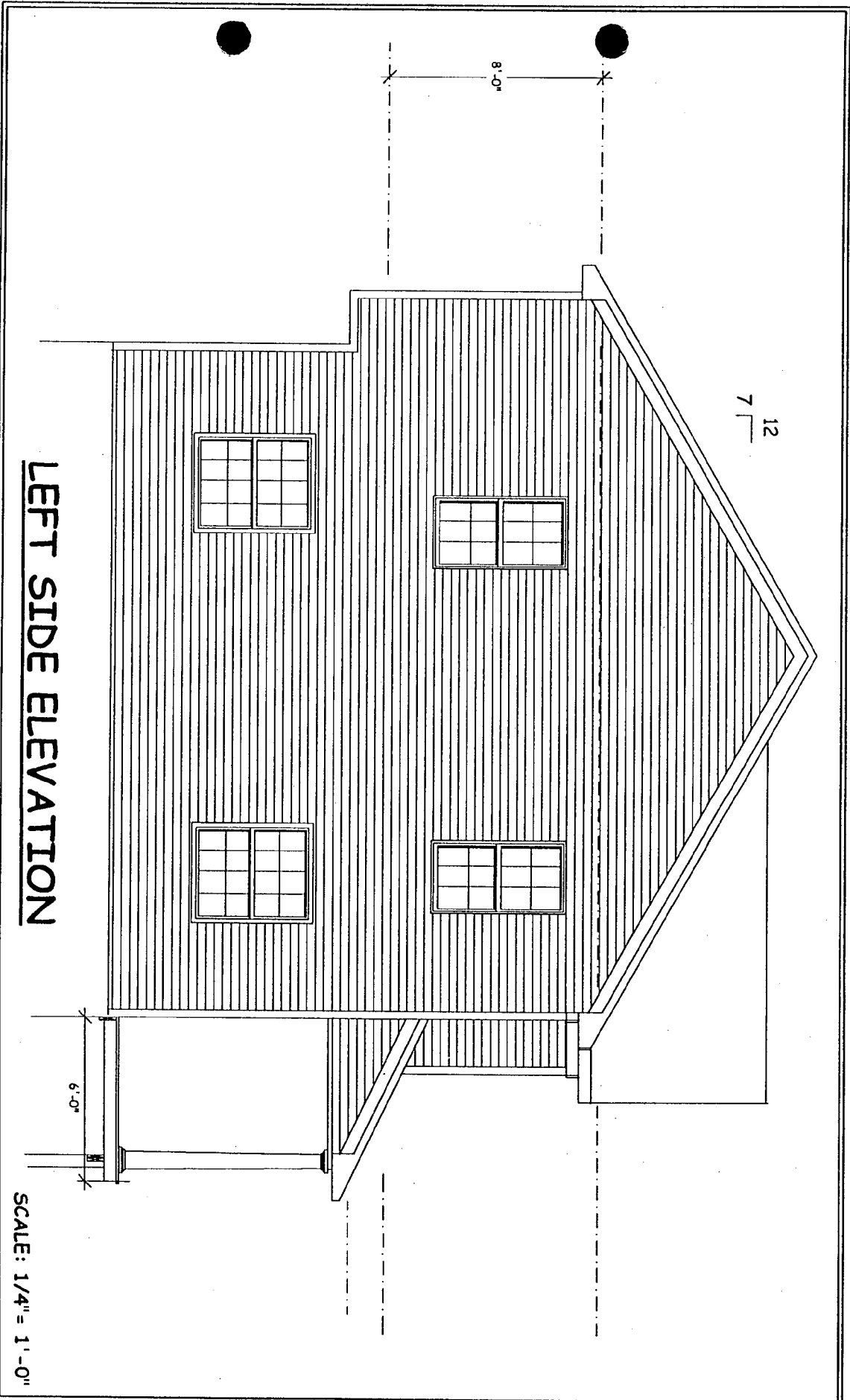
DATE

8/30/2000  
9/26/2000  
10/12/2000

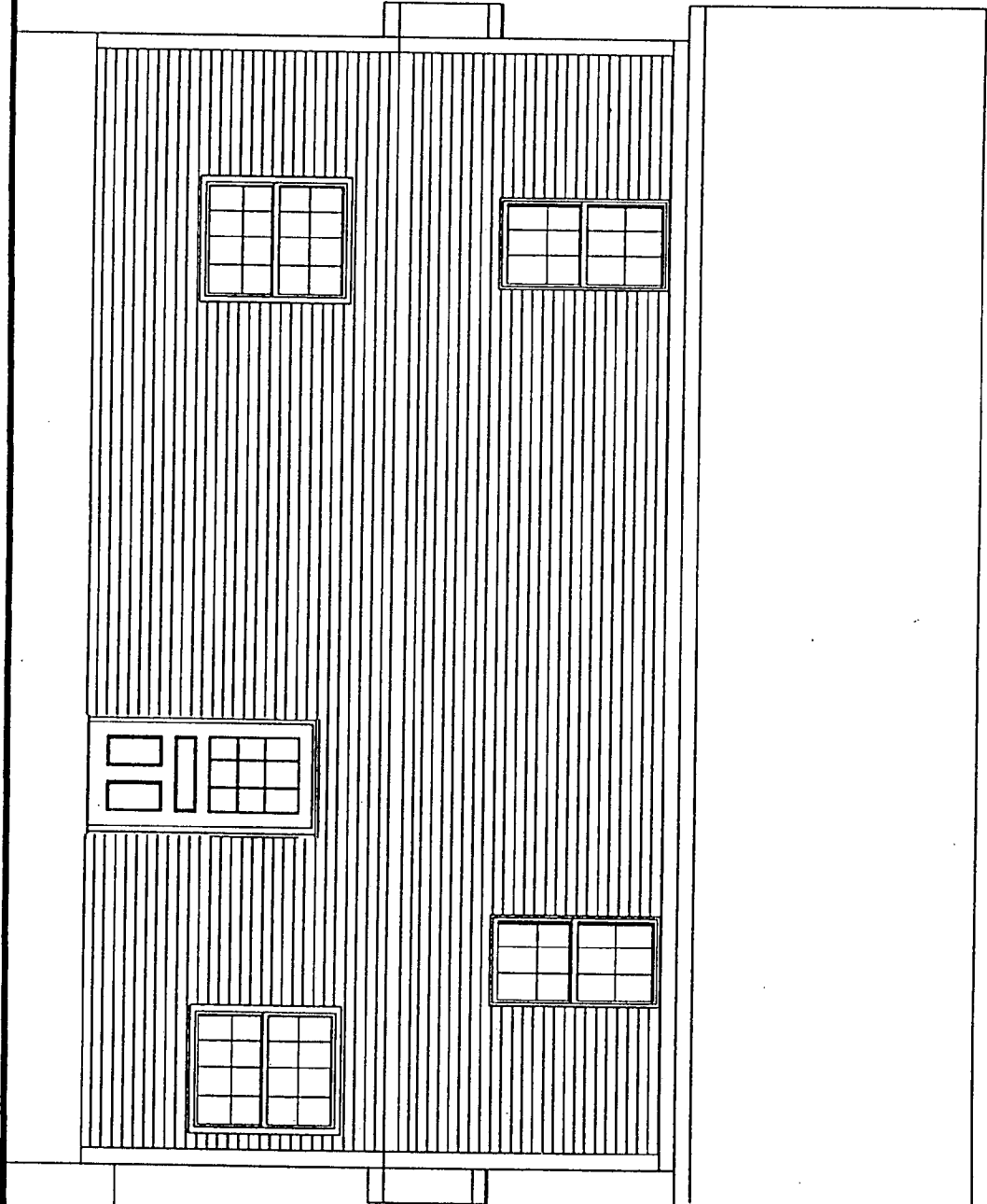
**RIGHT SIDE ELEVATION**



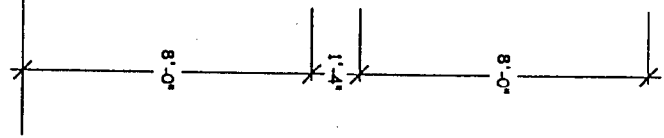
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PAGE 1	<b>KARNS RESIDENCE</b> 10020 MENLO AVENUE. SILVER SPRING, MD 20910	DATE 10/8/2000 10/12/2000
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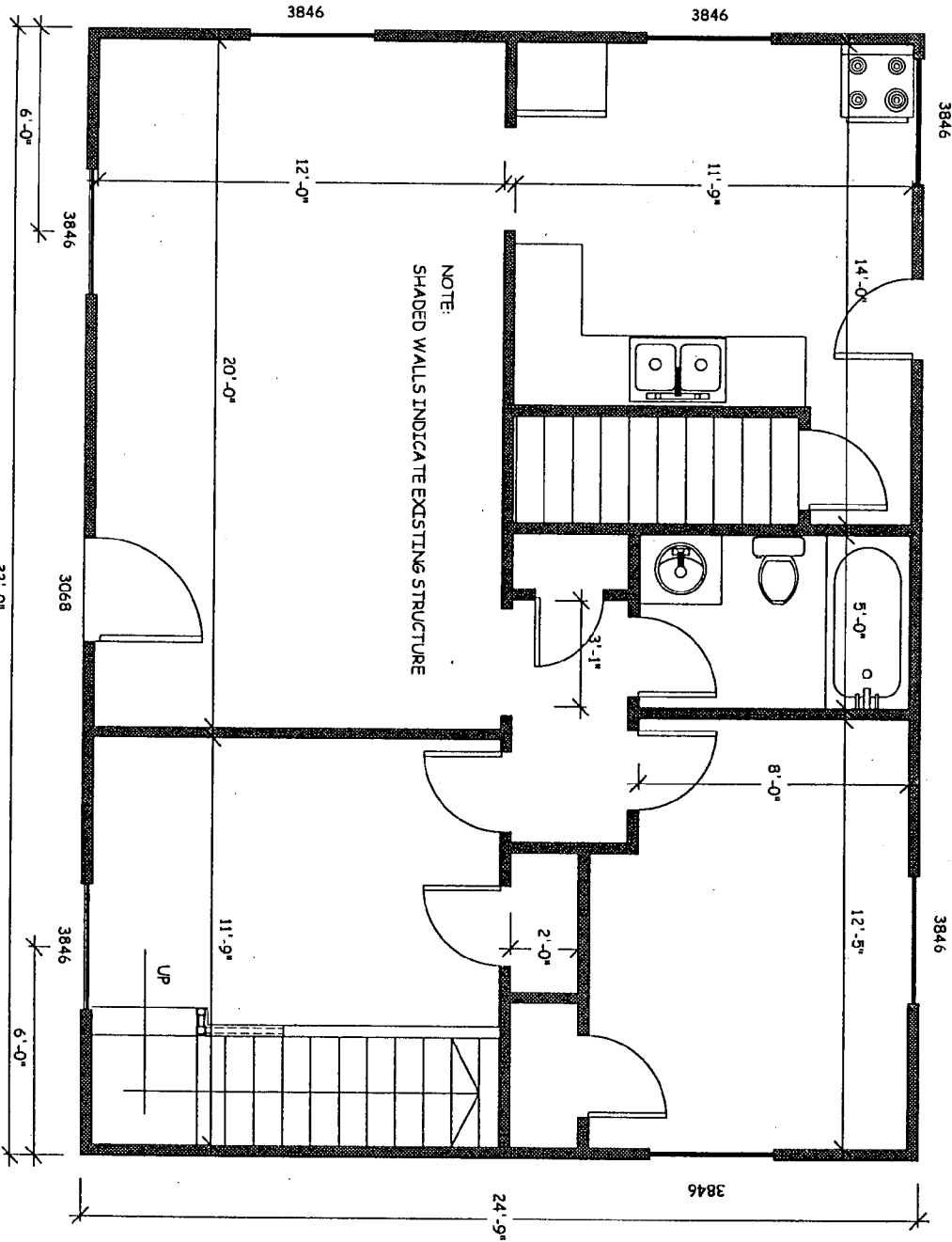


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**KARNS RESIDENCE**  
10020 MENLO AVENUE. SILVER SPRING, MD 20910

DATE  
10/12/2000

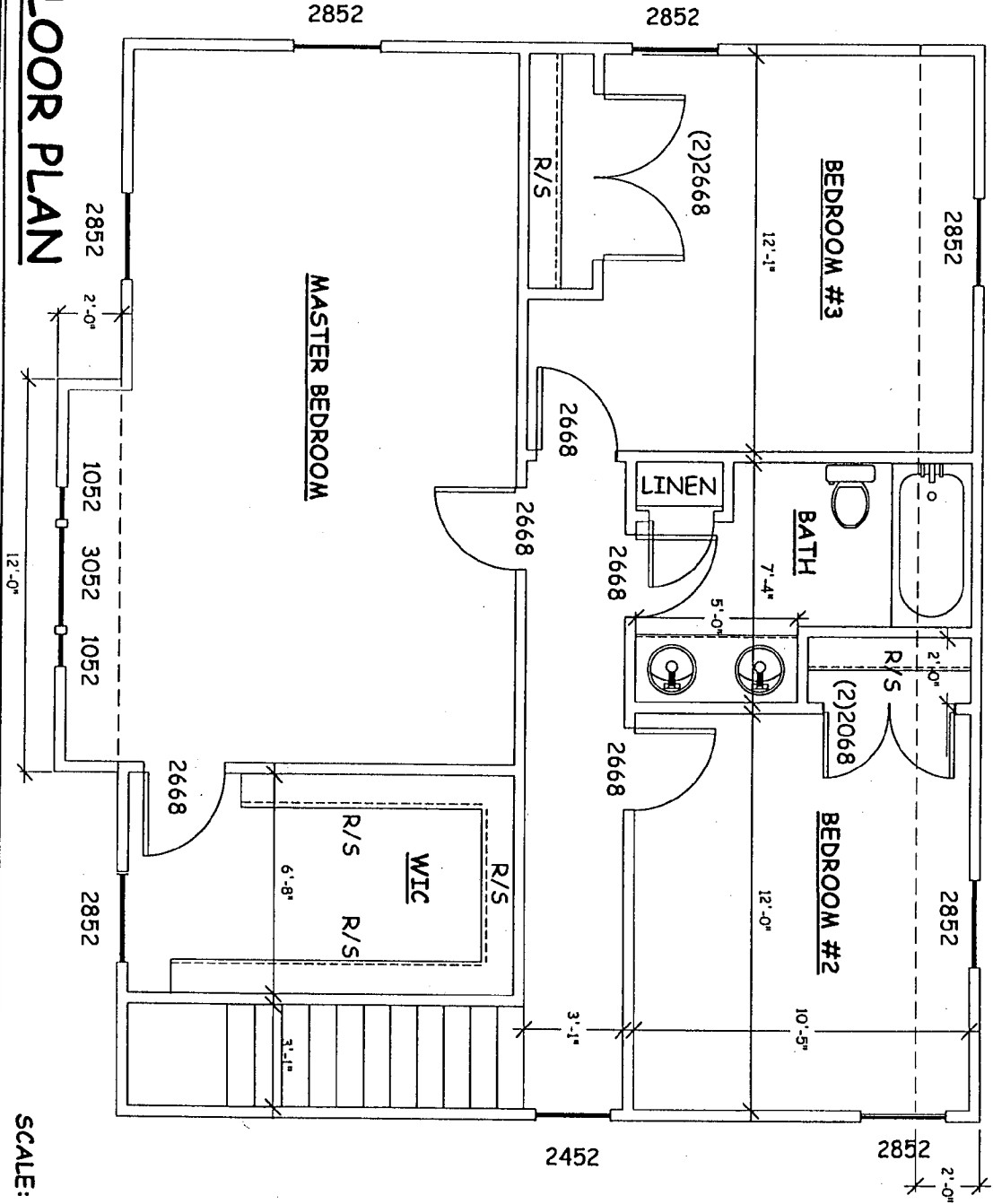
**EXISTING FIRST FLOOR PLAN**



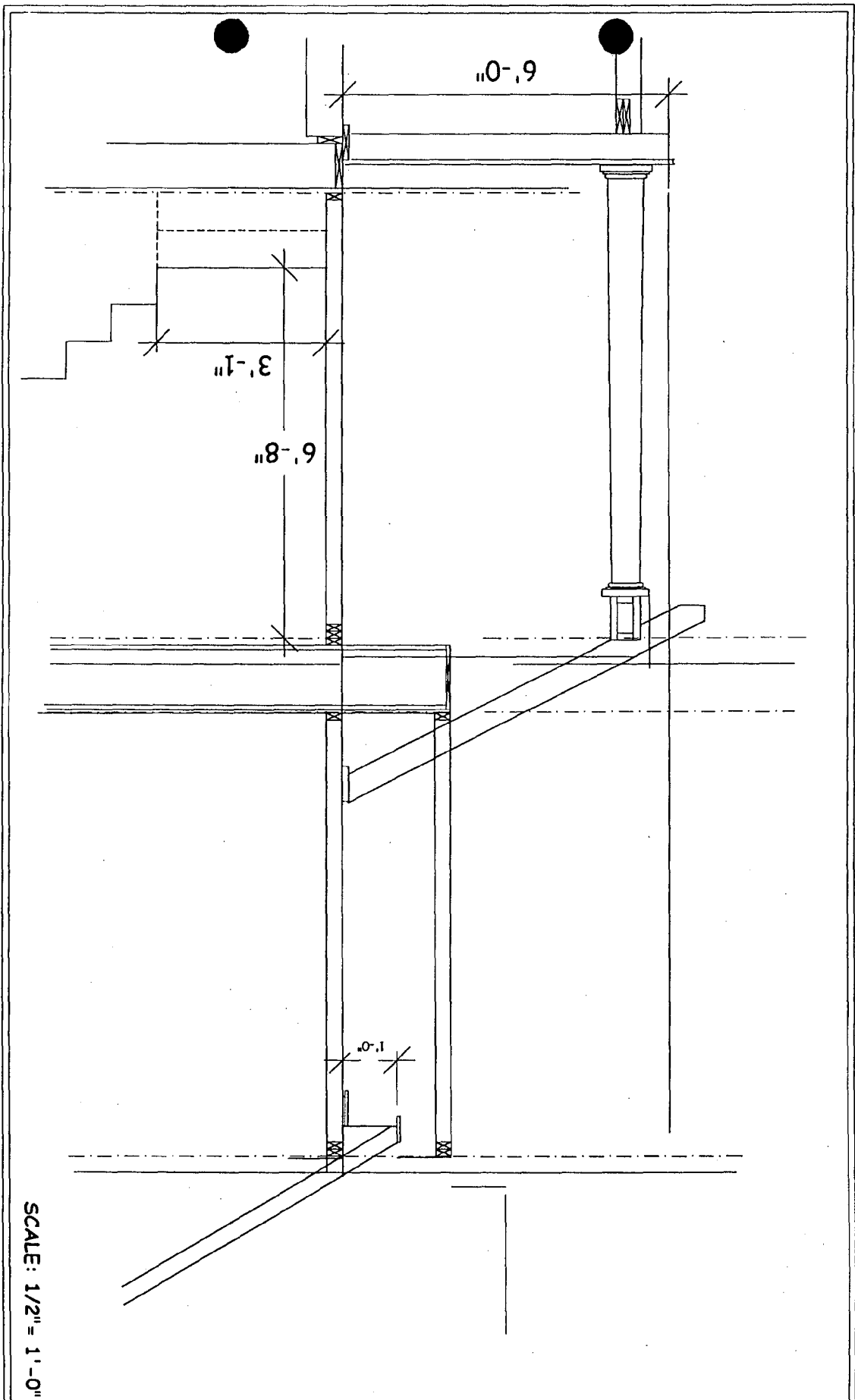
SCALE: 1/4" = 1'-0"



# SECOND FLOOR PLAN



SCALE: 1/4" = 1'-0"

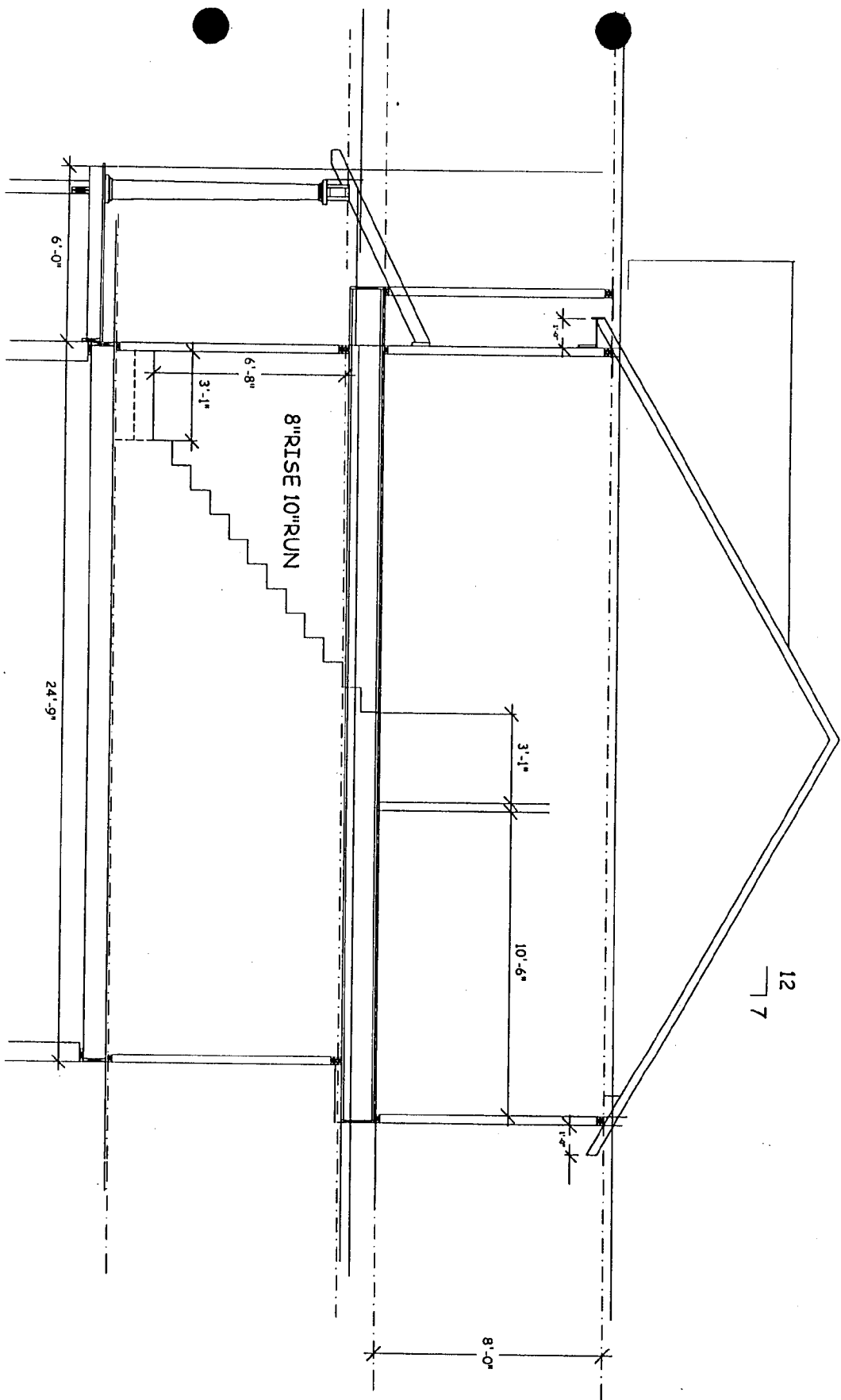


SCALE: 1/2" = 1'-0"

PAGE  
2

**KARNS RESIDENCE**  
10020 MENLO AVENUE. SILVER SPRING, MD 20910

DATE  
9/26/2000



SCALE: 1/4" = 1'-0"

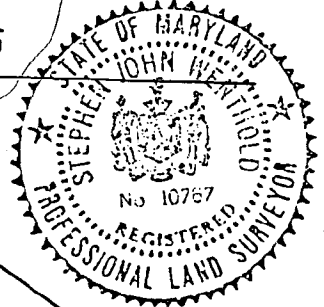
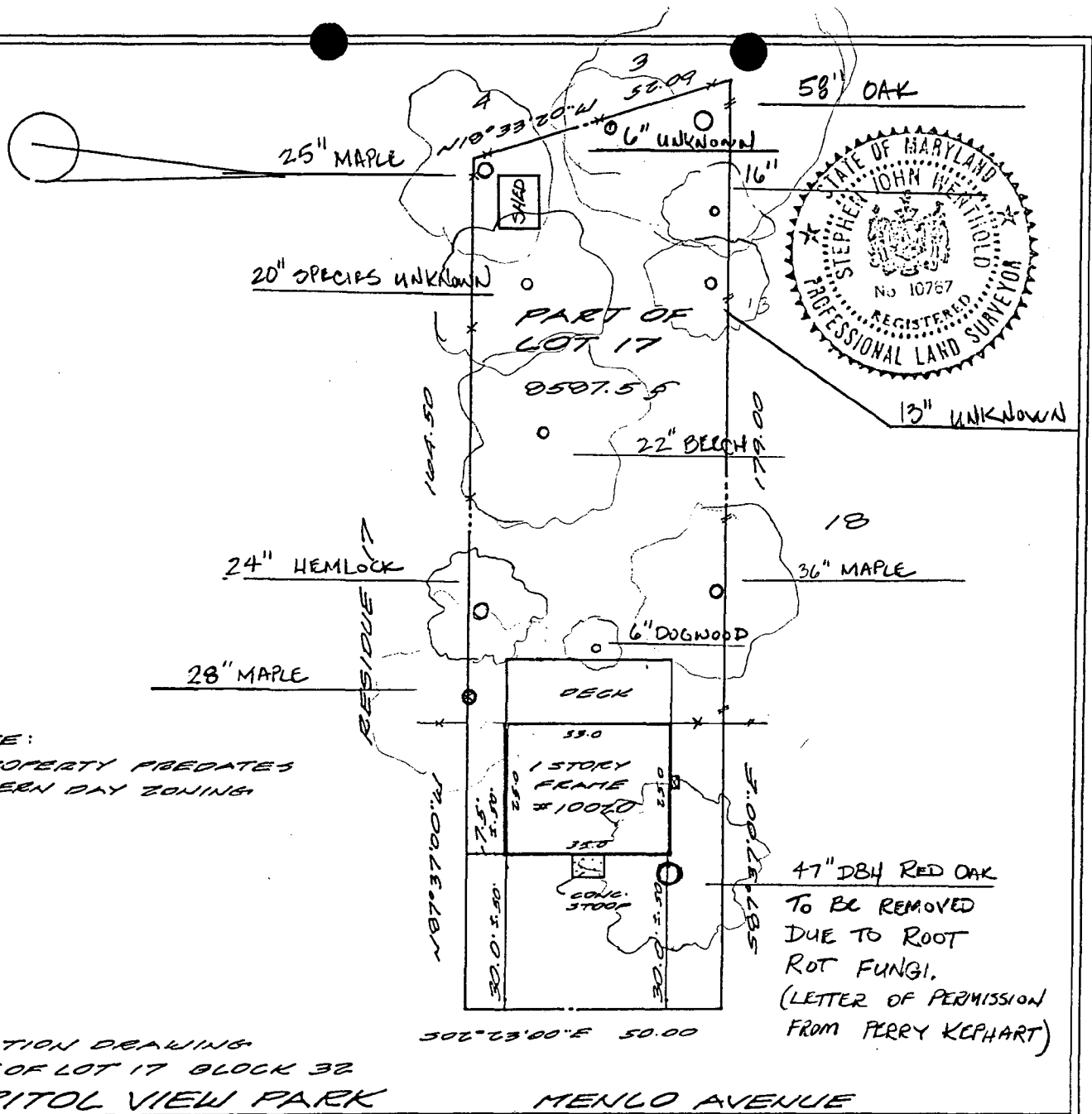
## **Karns Addition**

**10020 Menlo Avenue, Silver Spring, Maryland 20910**

**Description of existing property:** One story five-room residence on a full basement. The house consists of a kitchen, two bedrooms, a full bath and a living room. The residence is 32'-9" wide by 24'-9" deep. The house is ranch in style on a concrete block foundation (painted pale green), with white composite shingle siding and gray asphalt shingle roofing. The house has eight 3846 wood single pane windows with storm windows on each. The front and rear of the house has a 3068 nine lite wood door. The doors and windows appear to be original materials while the siding is obviously overlaid on the original wood siding. The shingles are also replacement.

**Description of proposed work:** Second story four-room addition consisting of three bedrooms and a full bath plus the addition of a full front porch. The siding will be completely removed and replaced with six-inch vinyl siding. The windows will be replaced with Caradco wood windows (of the same size on the first floor) with aluminum clad exteriors. The doors will be removed and replaced with Therma-tru simulated wood nine lite doors. The front door will be flanked with three lite side lite panels. The cornice will be vinyl wrapped to reduce maintenance. The roof shingles will be asphalt in keeping with the neighborhood. The architectural style of the proposed addition matches newer and traditional styles existing in this historic neighborhood. Additionally two story houses are the standard of this neighborhood and make up the majority of my street. Some examples were photographed and included. Specifications of windows, doors, siding and shingles are attached.

**Adjoining Property Owners:** The north side property is 10022 Menlo Avenue owned by Tiki and John Govantes 301-565-8855. The south side property is 10018 Menlo Avenue owned by Harry and Marie Dunkle 301-589-0554. The east side property is 9925 Capital View Avenue and it is owned by Philip and Claire Geyelin 301-587-2535. The property across the street to the east is 10015 Menlo Avenue owned by Nina and Jens Anderson 301-585-3765.



NOTE:  
PROPERTY PREDATES  
MODERN DAY ZONING

47" DBH RED OAK  
TO BE REMOVED  
DUE TO ROOT  
ROT FUNGI.  
(LETTER OF PERMISSION  
FROM PERRY KEPHART)

LOCATION DRAWING  
PART OF LOT 17 BLOCK 32  
CAPITOL VIEW PARK

MENLO AVENUE

**Surveyor's Certification**

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100 year flood plain according to FEMA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

*Stephen J. Wenthold*  
Stephen J. Wenthold, Maryland RLS Reg. No. 10767

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

Date: 8-14-96  
Scale: 1" = 30'  
Plat Book: A  
Plat No.: 9  
Work Order: 96-1957

**Meridian Surveys, Inc.**  
2401 Research Boulevard  
Rockville, MD 20850  
(301) 840-0025

Address: 10060 MENLO AVENUE  
District: 13  
Jurisdiction: MONTGOMERY COUNTY, MD.

NO TITLE REPORT FURNISHED

## **Neighborhood Photos**

Attached are photos of various homes within several blocks of my house. These houses are shown because some are similar in architectural style to the proposed changes to our house. Others are shown because they verify that two story homes in this historic district are not uncommon.

**Photo 1:** 10103 Grant Avenue. This home is 2 blocks from our house and is shown because it is similar to our proposal without the porch.

**Photo 2:** 10101 Grant Avenue. This house is 1 block from our house and is shown for the same reasons listed above.

**Photo 3:** 2903 Barker Avenue. This house is less than 1 block from our home and is shown to again demonstrate the prevalence of two story homes. Additionally this house has a porch feature, which is a major part of the architecture of this house.

**Photo 4:** 10022 Menlo Avenue. This house is next door to our home. This house again has a second story and the addition on this house has a porch feature.

**Photo 5:** 9908 Capital View. This house is very similar to the final proposed change to our house. This house is a recent addition to Capital View Park and is 3 blocks from our house.

**Photo 6:** 2813 Beechwood Road. This house is also very similar to the proposed change to our house.

**Photo 7:** 10023 Menlo Avenue. This house is across the street and three houses up from ours. This house is shown to reinforce the understanding of the diverse architecture of our street and to provide an understanding of the fact that we are not proposing to exceed the size of the neighborhood homes.



① ↓

② ↑



③ ↓

④ ↑





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6



7



## **10020 Menlo Avenue Photos**

Attached are three photos of our existing house. As we stated in our summary page, the house is a 5 room, one story house on a full basement. The house is sided with composite siding over original wood siding. The roof is shingled in asphalt shingles. The house has the original wood windows and doors.

The proposed construction will involve the removal of the existing roof and the addition of a second floor. The existing siding will be removed and the entire house will be sided with white vinyl. The roof will be a standard asphalt shingle dark in color. The first floor doors and windows will be removed and replaced. The windows will be replaced with a Caradco wood window of the same size. The second floor windows will be sized as shown on the architectural floor plans. The windows will be wood in construction with white aluminum cladding on the exterior. The fenestration will be grills between the class. The front and rear doors will be replaced with Therma-Tru "Fiber Classic" doors with the same fenestration as the existing doors. The front door will be flanked with matching sidelights per the architectural drawings. The cornice will be vinyl to match the new siding.

Specifications for the proposed shingles, windows, doors siding and cornice are contained in this package. All proposed products are in keeping with other homes in the neighborhood and all products are chosen because of their benefit to the architecture and comfort of the home. Each of the companies has web sites if additional information is required. The window manufacturer can be found at [www.caradco.com](http://www.caradco.com). The siding and fascia manufacturer can be found at [www.reverebuildingproducts.com](http://www.reverebuildingproducts.com). The door manufacturer can be found at [www.thermatru.com](http://www.thermatru.com). The shingle manufacturer can be found at [www.certainteed.com](http://www.certainteed.com).

APPROVAL W/ COND.

① HAIR PLANK SIDING

② TRUE-DIVIDED LIGHT

~~WAS~~ WINDOWS -



HISTORIC PRESERVATION COMMISSION STAFF REPORT

<b>Address:</b> 10020 Menlo Avenue, Silver Spring	<b>Meeting Date:</b> 11/15/00
<b>Resource:</b> Capitol View Park Historic District	<b>Report Date:</b> 11/08/00
<b>Review:</b> HAWP	<b>Public Notice:</b> 11/01/00
<b>Case Number:</b> 31/07-00C	<b>Tax Credit:</b> None
<b>Applicant:</b> Michael and Diana Karns	<b>Staff:</b> Michele Naru
<b>PROPOSAL:</b> Alterations, window replacement and second story addition	<b>RECOMMEND:</b> Approval w/condition

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Staff recommends the Commission approve this HAWP with the following conditions:

1. The applicants shall use all wood trim for the door and window surrounds, corner boards, cornice detail and the columns and railings on the front porch.

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PROJECT DESCRIPTION

**SIGNIFICANCE:** Nominal Resource in Capitol View Park Historic District  
**STYLE:** Modern  
**DATE:** 1936-1981

This is a one-story frame 32'-9" wide by 24'-9" deep structure with composite siding, and 8/8 wood windows. The structure has a low pitched, side gable roof sheathed in asphalt shingles. The house is situated on an 8,587 sq. ft. lot.

PROPOSAL:

The commission should look at this proposal as a demolition of the existing house and a new construction – since if the project is approved there will be no visible exterior evidence to elude to the original house.

The applicant proposes to raise the current roof and construct a second story addition to the existing house. The second story addition will include three bedrooms and full bath. The proposal also entails the construction of a full-width front porch. All of the windows in the current house will be replaced with Caradco wood, 6/6 windows with aluminum-clad exteriors. All doors will be removed and replaced with Therma-Tru simulated wood, nine-light doors. The front door will be flanked with 3-light side panels. The cornice will be vinyl wrapped to reduce maintenance. The roof will be sheathed in asphalt shingles. The entire house will be clad in 6'

①

vinyl siding. The footprint of the house will be slightly increased on the front by 6' to accommodate the new front porch.

### STAFF DISCUSSION

The existing house is a nominal, non-contributing resource within the historic district, and the alterations are then reviewed in terms of their impact on the district. The second story addition is compatible in terms of massing and scale and will not encroach on the sense of open space in the district. The only trees, which will be affected by this proposal is the red oak in the front yard. Perry Kephart, HPC staff, has written the applicant a letter of permission to remove this dead/or dying tree.

Staff would request that the applicant be required to use wood trim for the door and window surrounds, corner boards, cornice detail and the columns and railings on the front porch. The wood details will provide an illusion of a wood clad house and will make the new construction blend more effectively into the historic district's environmental setting.

### STAFF RECOMMENDATION

Staff recommends that the Commission **approve with conditions** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #9 and #10:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spacial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in a such manner that , if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the following condition:

1. The applicants shall use all wood trim for the door and window surrounds, corner boards, cornice detail and the columns and railings on the front porch.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 prior to commencement of work and not more than two weeks following completion of work.

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### CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 45,000

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.



Signature of owner or authorized agent

10/17/2000

Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Dis approved:

Signature:

Date:

(3)

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6. **TREE SURVEY**

4

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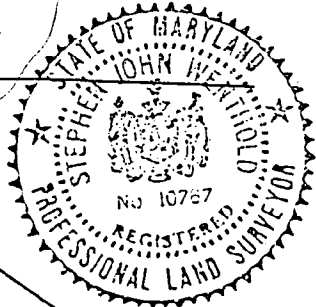
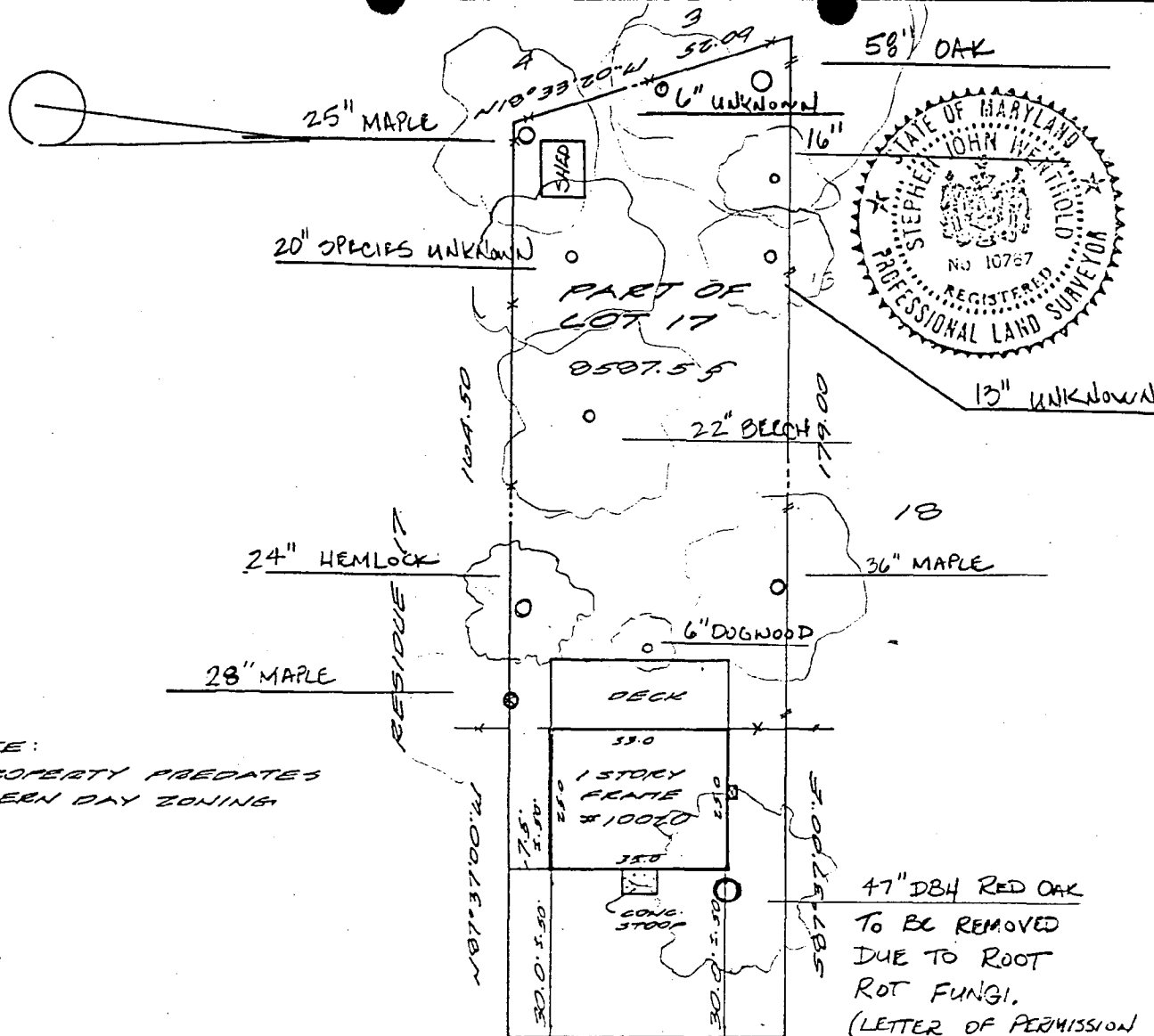
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(LETTER OF PERMISSION  
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LOCATION DRAWING  
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**Surveyor's Certification**

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100 year flood plain according to FEMA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

*Stephen J. Wenthold*  
Stephen J. Wenthold, Maryland RLS Reg. No. 10767

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

Date: 8-14-90  
Scale: 1" = 30'  
Plat Book: A  
Plat No.: 9  
Work Order: 90-1957



**Meridian Surveys, Inc.**  
2401 Research Boulevard  
Rockville, MD 20850  
(301) 840-0025

Address: 10020 MENLO AVENUE  
District: 13  
Jurisdiction: MONTGOMERY COUNTY, MD.

NO TITLE REPORT FURNISHED

6

## **Karns Addition**

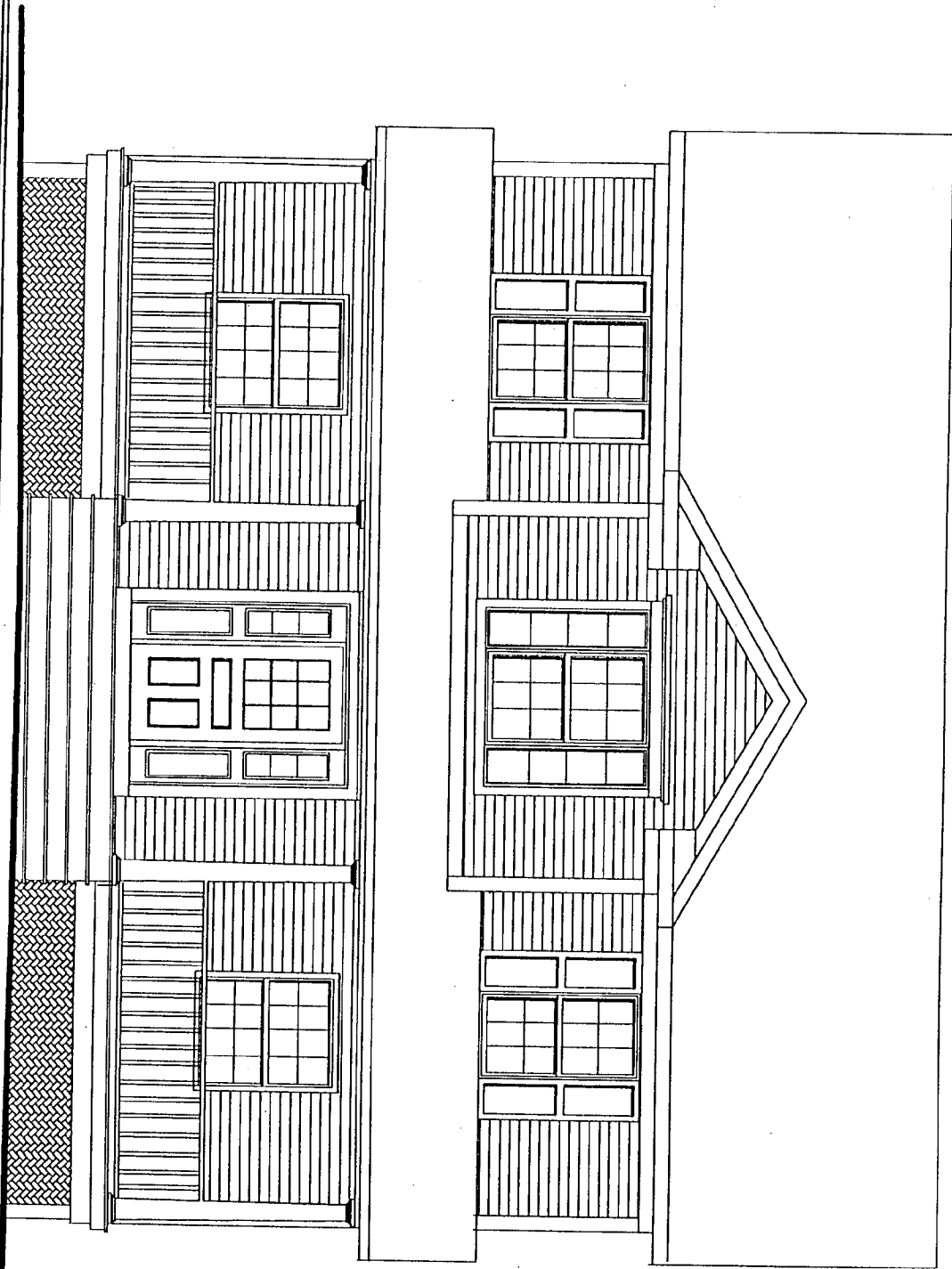
**10020 Menlo Avenue, Silver Spring, Maryland 20910**

**Description of existing property:** One story five-room residence on a full basement. The house consists of a kitchen, two bedrooms, a full bath and a living room. The residence is 32'-9" wide by 24'-9" deep. The house is ranch in style on a concrete block foundation (painted pale green), with white composite shingle siding and gray asphalt shingle roofing. The house has eight 3846 wood single pane windows with storm windows on each. The front and rear of the house has a 3068 nine lite wood door. The doors and windows appear to be original materials while the siding is obviously overlaid on the original wood siding. The shingles are also replacement.

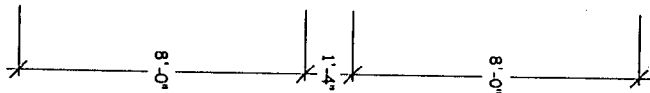
**Description of proposed work:** Second story four-room addition consisting of three bedrooms and a full bath plus the addition of a full front porch. The siding will be completely removed and replaced with six-inch vinyl siding. The windows will be replaced with Caradco wood windows (of the same size on the first floor) with aluminum clad exteriors. The doors will be removed and replaced with Therma-tru simulated wood nine lite doors. The front door will be flanked with three lite side lite panels. The cornice will be vinyl wrapped to reduce maintenance. The roof shingles will be asphalt in keeping with the neighborhood. The architectural style of the proposed addition matches newer and traditional styles existing in this historic neighborhood. Additionally two story houses are the standard of this neighborhood and make up the majority of my street. Some examples were photographed and included. Specifications of windows, doors, siding and shingles are attached.

**Adjoining Property Owners:** The north side property is 10022 Menlo Avenue owned by Tiki and John Govantes 301-565-8855. The south side property is 10018 Menlo Avenue owned by Harry and Marie Dunkle 301-589-0554. The east side property is 9925 Capital View Avenue and it is owned by Philip and Claire Geyelin 301-587-2535. The property across the street to the east is 10015 Menlo Avenue owned by Nina and Jens Anderson 301-585-3765.

8

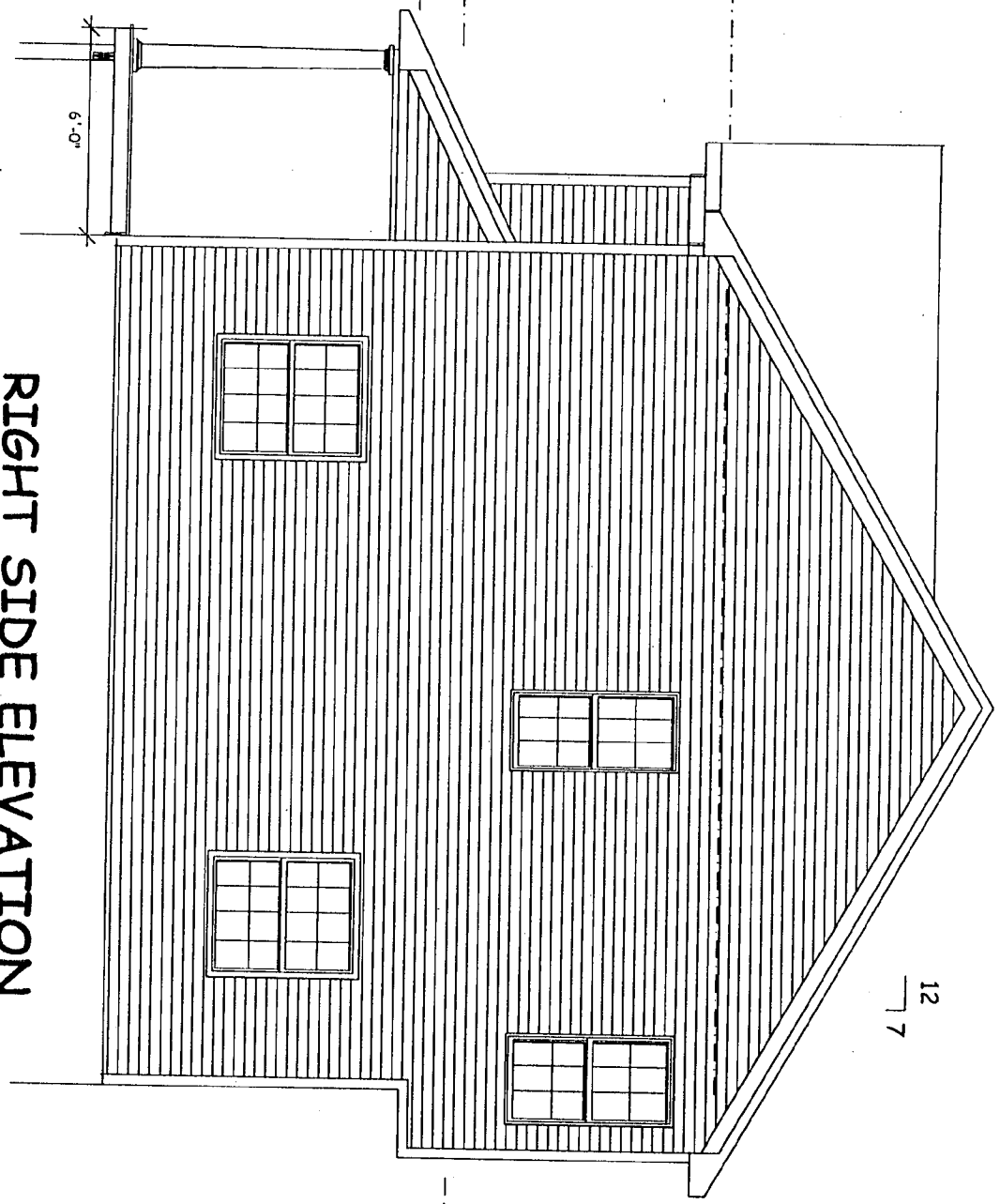


SCALE: 1/4" = 1'-0"



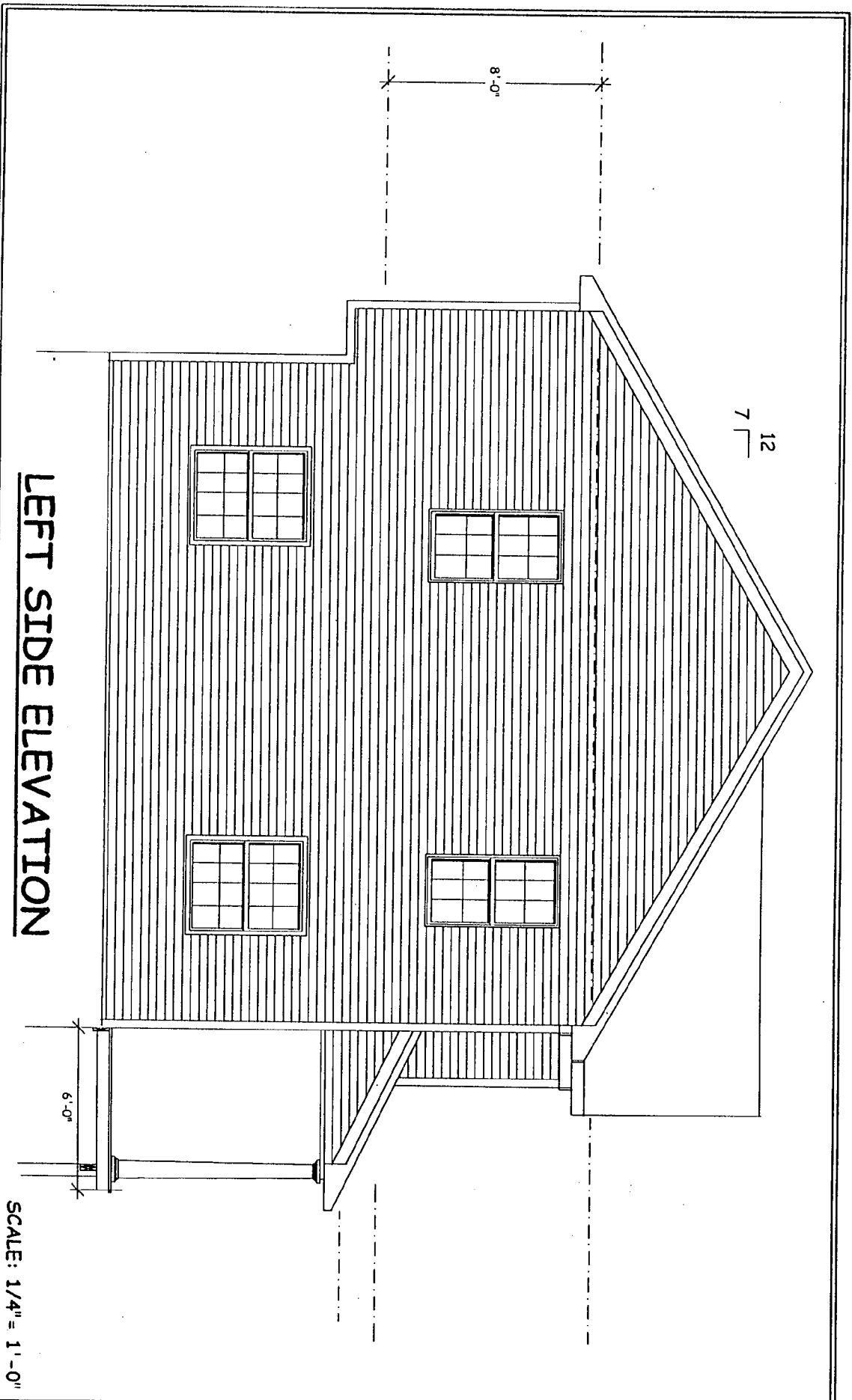
6

**RIGHT SIDE ELEVATION**



SCALE: 1/4" = 1'-0"

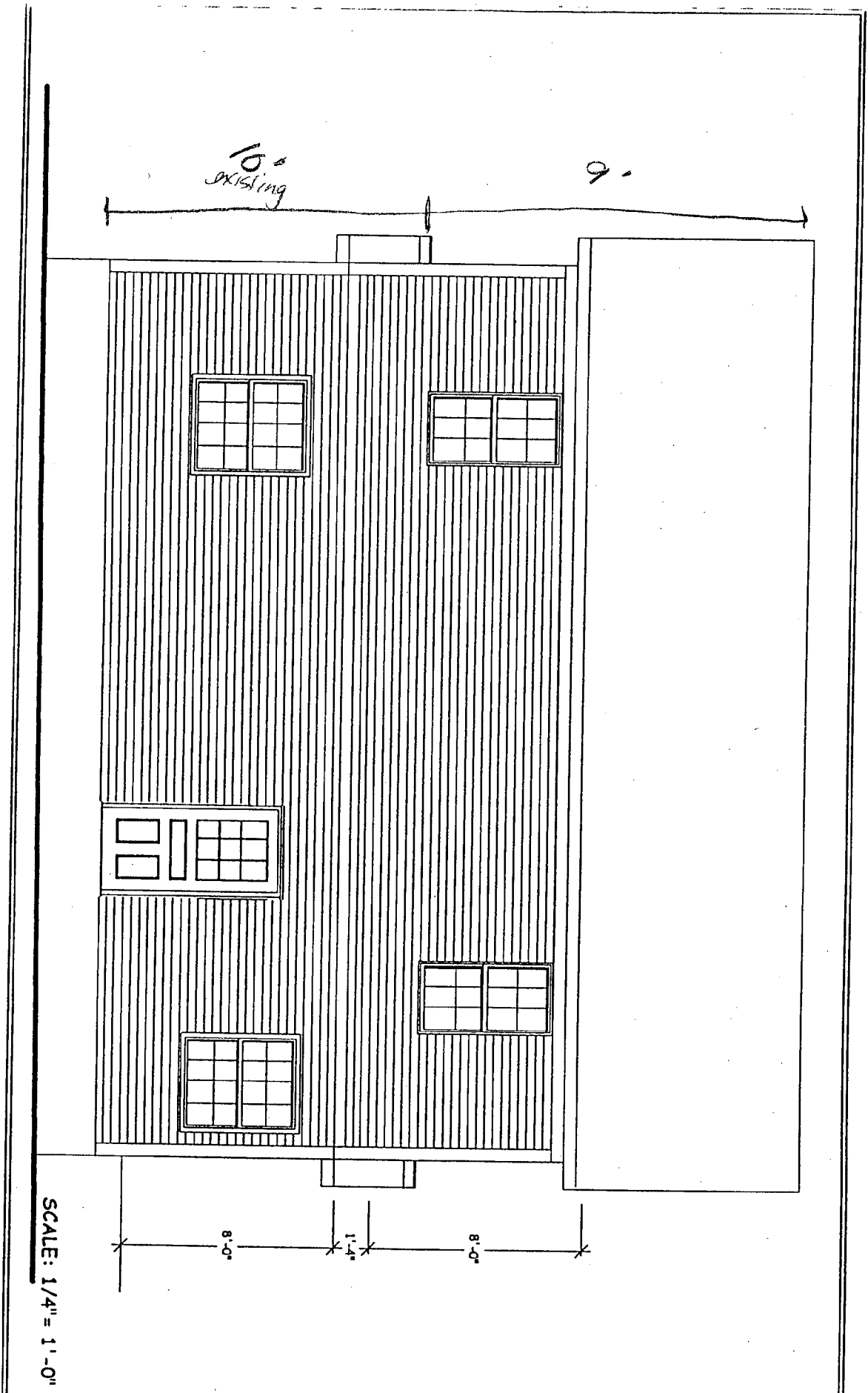
10



**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

11



SCALE: 1/4" = 1'-0"

PAGE

**KARNS RESIDENCE**

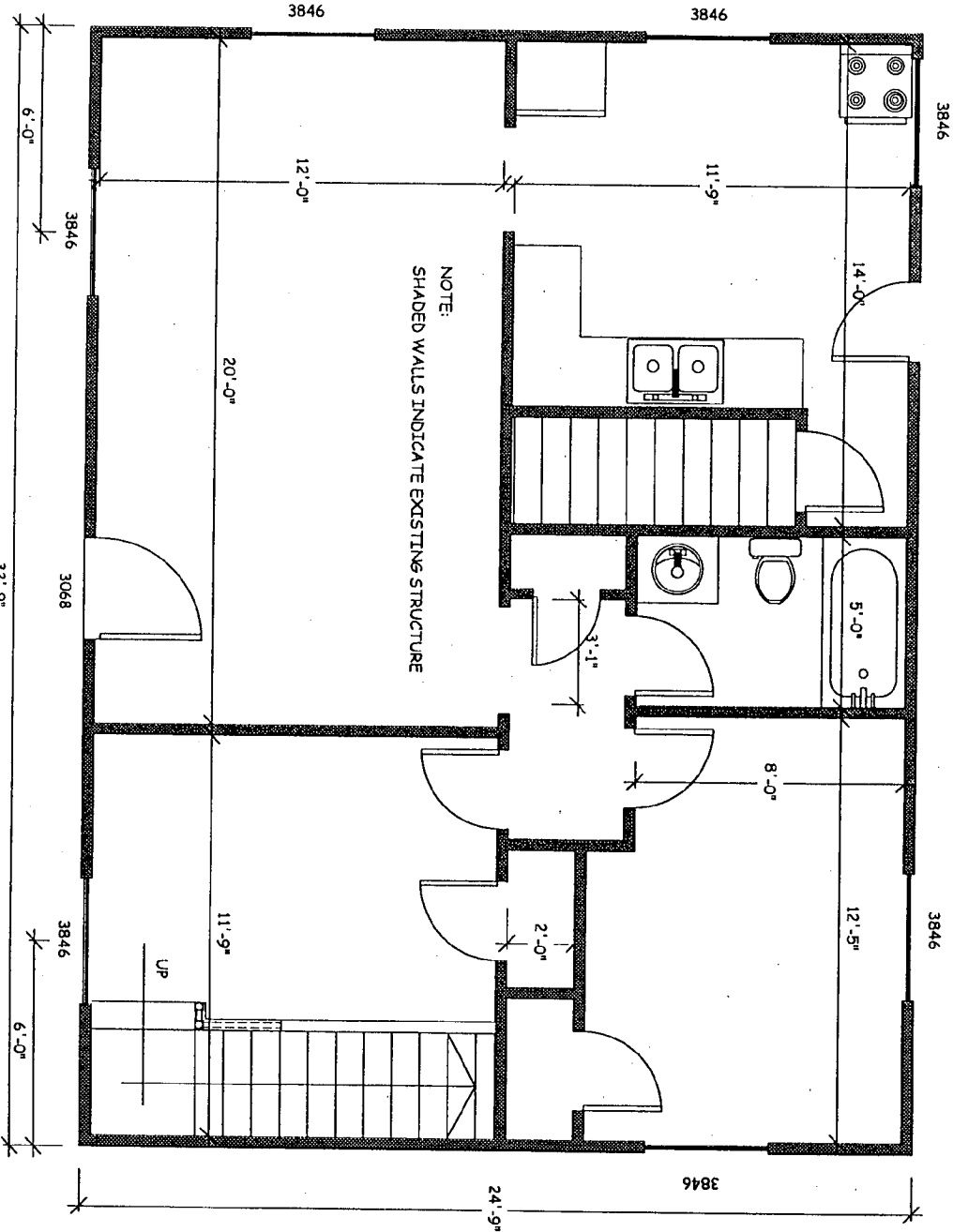
1002 PENLO AVENUE, SILVER SPRING, MD 20910

10/12/2000

DATE

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# EXISTING FIRST FLOOR PLAN

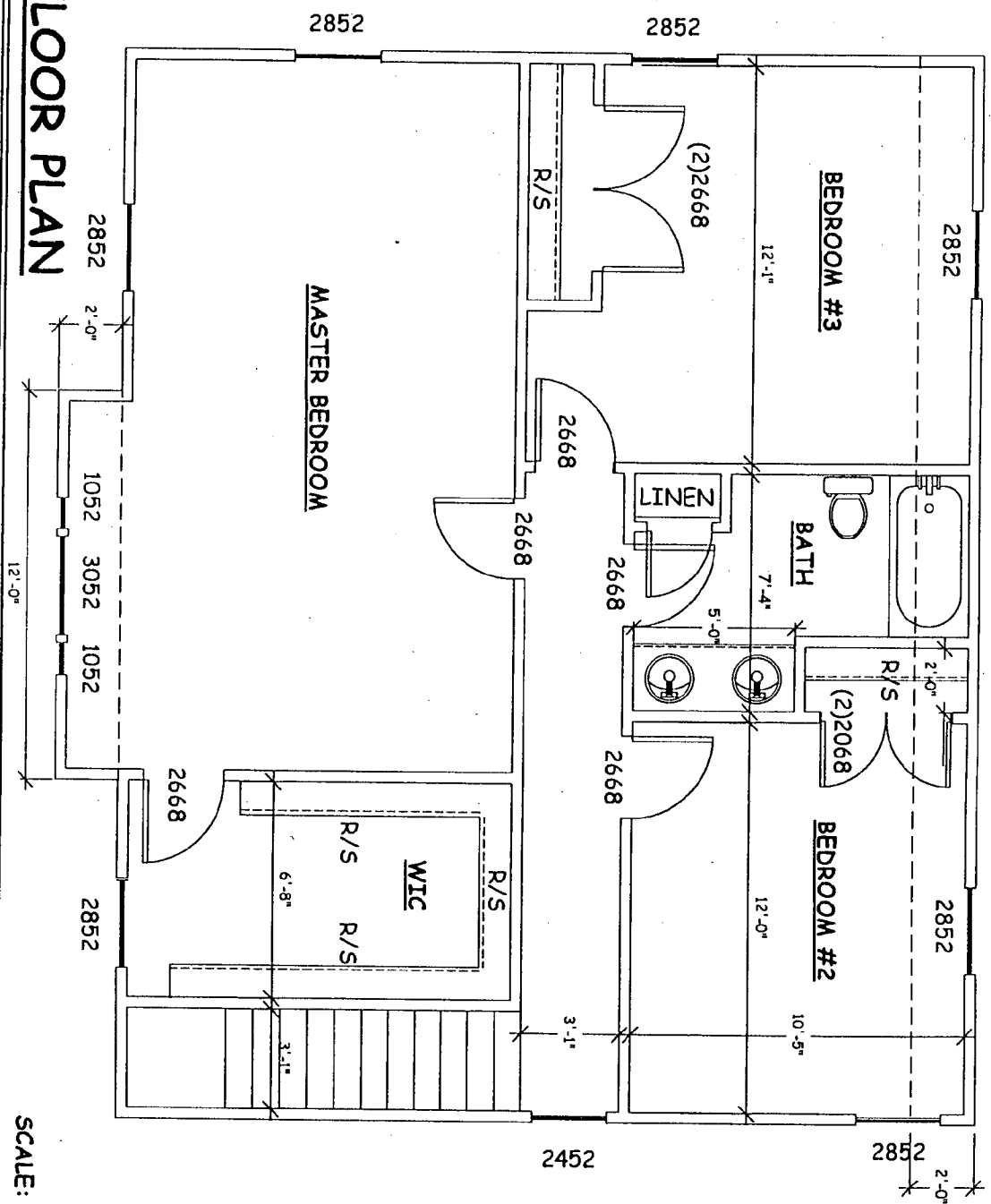


NOTE:  
SHADED WALLS INDICATE EXISTING STRUCTURE

SCALE: 1/4" = 1'-0"

51

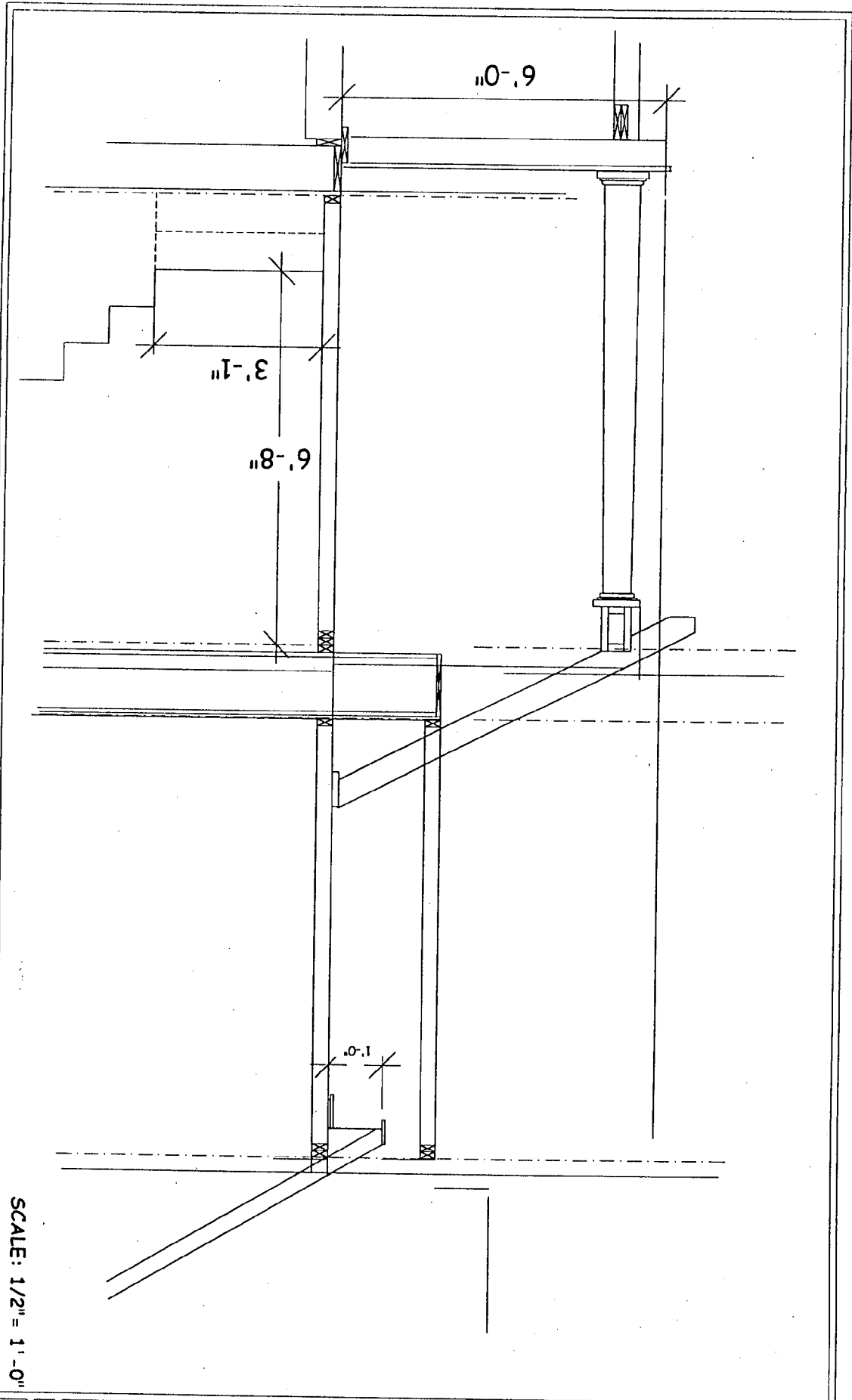
# SECOND FLOOR PLAN



SCALE: 1/4" = 1'-0"



71



SCALE: 1/2" = 1'-0"

2

PAGE

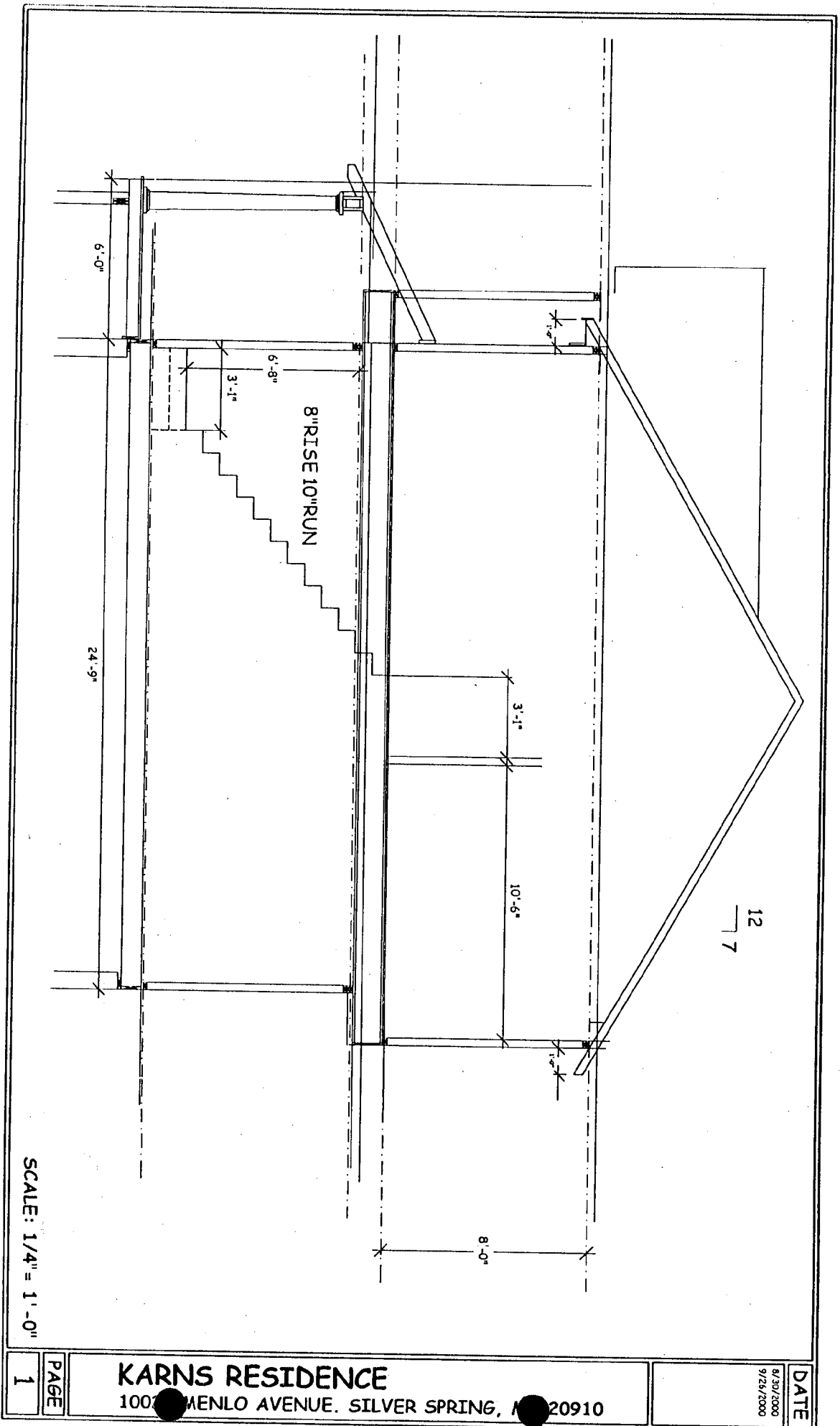
**KARNS RESIDENCE**

10020 MENLO AVENUE. SILVER SPRING, MD 20910

9/26/2000

DATE

15



SCALE: 1/4" = 1'-0"

PAGE

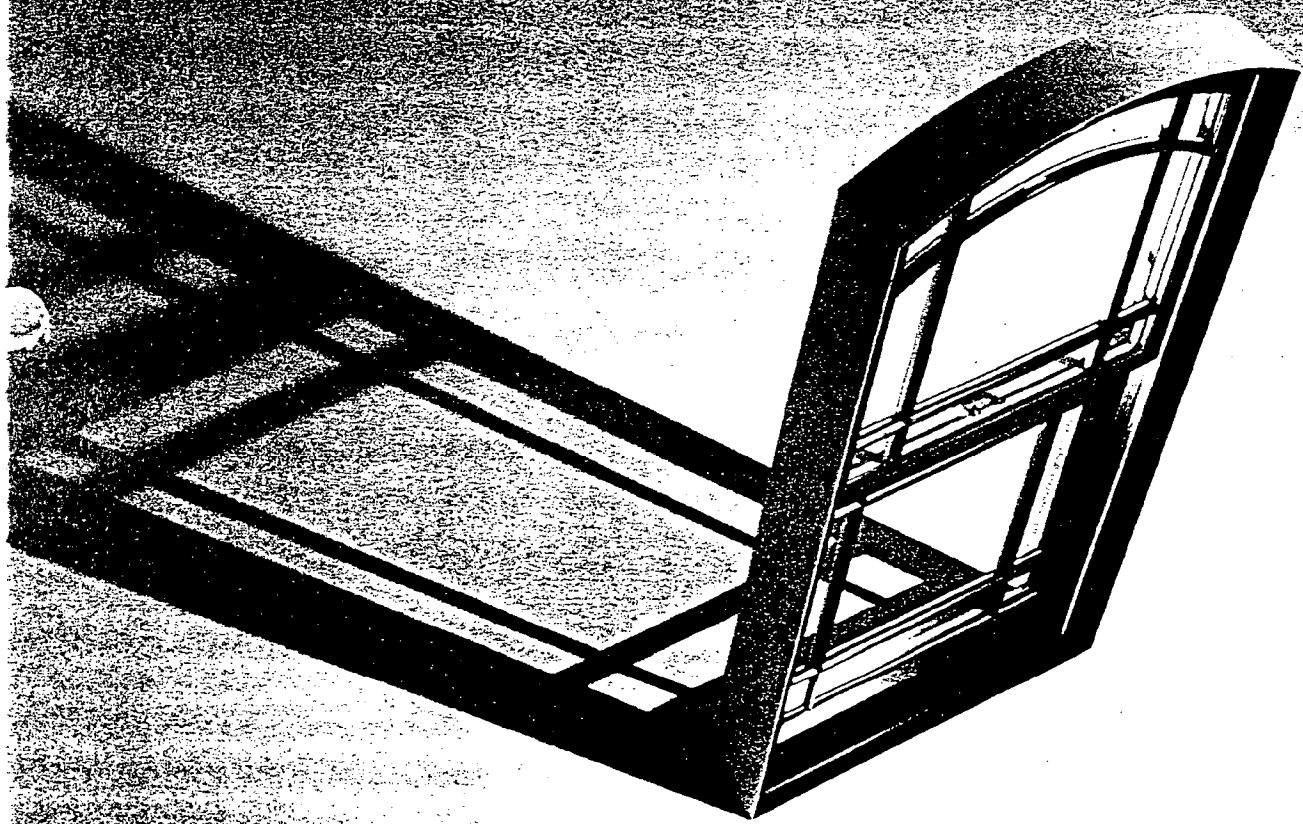
1

**KARNS RESIDENCE**

100 MENLO AVENUE, SILVER SPRING, MD 20910

DATE

8/30/2000  
9/28/2000

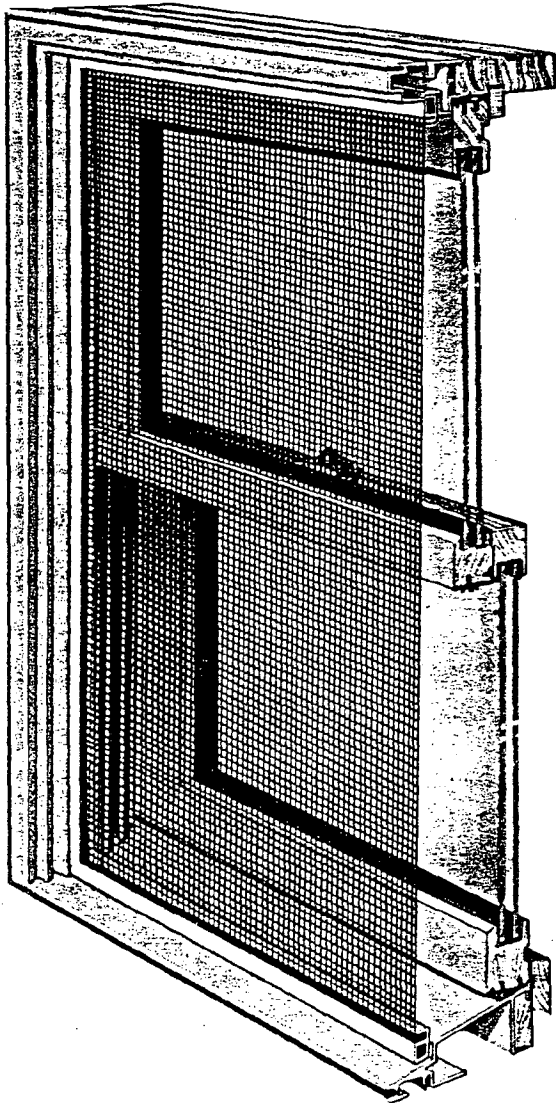


  
**Caradco.**

*Windows for tomorrow. Since 1866.™*

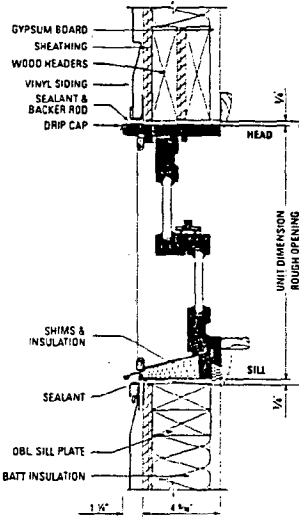
116

# Double Hung Windows



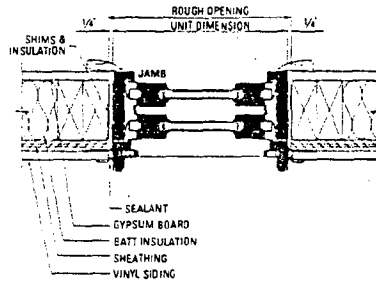
GUARDIAN CLAD WOOD DOUBLE HUNG

## GUARDIAN CLAD DOUBLE HUNG: 2X4 FRAME, VINYL SIDING



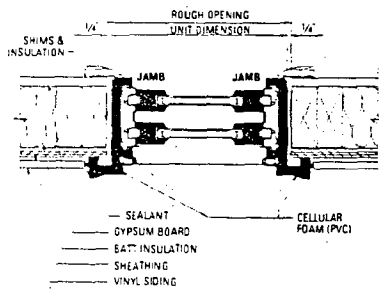
VERTICAL SECTION

## GUARDIAN CLAD DOUBLE HUNG: 2X4 FRAME, VINYL SIDING

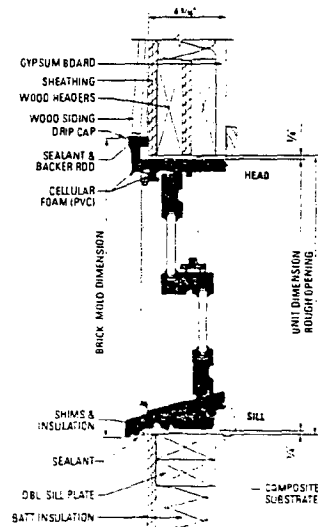


HORIZONTAL SECTION

## CLASSIC PRIMED DOUBLE HUNG: 2X4 FRAME, WOOD SIDING



HORIZONTAL SECTION



VERTICAL SECTION

■ BASIC UNIT

▨ OPTIONAL PARTS AVAILABLE FROM CARADCO



# Double Hung Windows



## STANDARD FEATURES

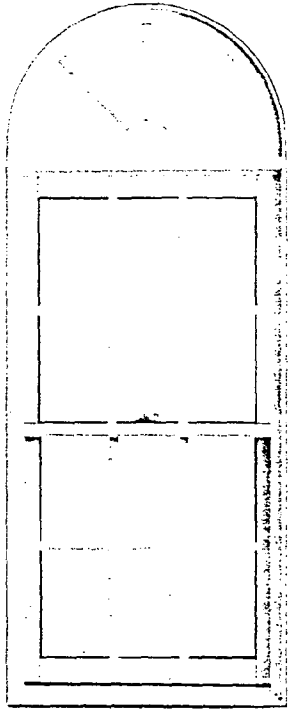
- Thick Western pine, engineered wood, and composite materials for strength, durability, insulating qualities, and beauty, treated with water repellent and wood preservative
- Natural wood interiors ready for painting or staining.
- Primed wood (Classic) or aluminum-clad (Guardian) exteriors in Brilliant White, Chestnut Bronze, Sandstone, Hartford Green, or French Vanilla.
- 4 $\frac{1}{16}$ " jamb width
- A combination of TPE bulb and vinyl-covered foam weather stripping for a weathertight draft-proof seal
- Energy-efficient  $\frac{3}{8}$ " insulated glass with Warm Edge™ Intercept™ Spacer.
- Tilt-in, removable sash for easy cleaning. Tilt-Assist feature facilitates the tilting of the bottom sash.
- Insulated Flex-Hinge® jamb liners for years of trouble-free operation.
- Standard sizes ranging from 1'-9 $\frac{3}{4}$ " x 3'-0" to 3'-9 $\frac{3}{4}$ " x 6'-4"
- Many egress-sized units.
- Chestnut bronze hardware.
- White screens (primed units). Screens match clad color on clad units.

## OPTIONAL FEATURES

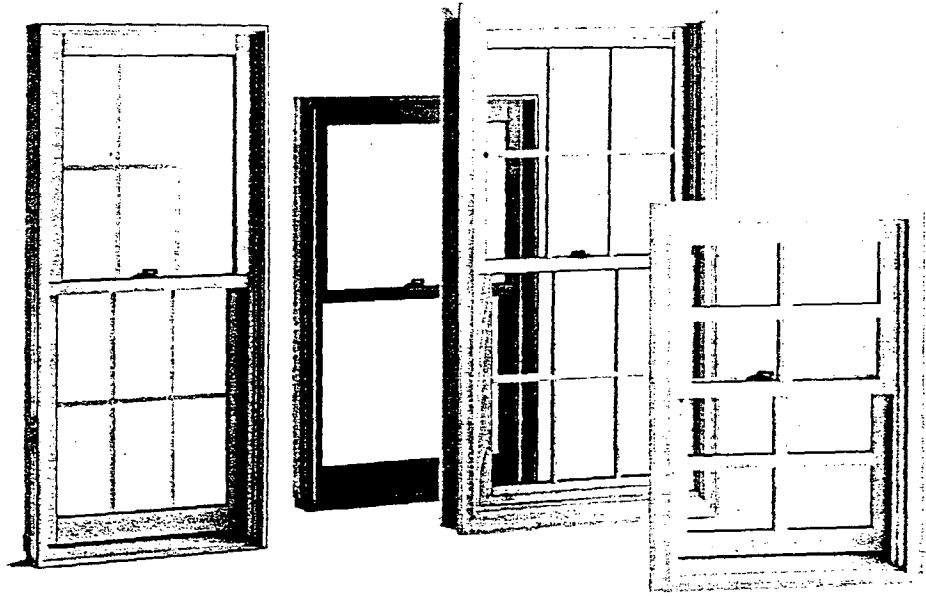
- Additional colors of cladding.
- Applied jamb extensions to accommodate various wall thicknesses.
- Simulated Divided Lites (SDL) featuring a gray anodized grille bar between the glass and a permanently affixed wood interior grille. Available with 7 $\frac{1}{8}$ ", 1 $\frac{1}{4}$ " or 1 $\frac{3}{8}$ " wide muntins. Creates the look of authentic divided lites
- Simulated Divided Lites (SDL) with a removable wood interior grille. Available with 7 $\frac{1}{8}$ ", 1 $\frac{1}{4}$ " or 1 $\frac{3}{8}$ " wide muntins.
- Aluminum integral colonial grilles (grilles between glass). Available with either profiled or flat bar
- Removable wood interior grilles. Available with 7 $\frac{1}{8}$ ", 1 $\frac{1}{4}$ " or 1 $\frac{3}{8}$ " wide muntins
- Argon-filled LoE<sup>2</sup> insulated glass.
- Gray or bronze tint, obscure or tempered glass. Glass options are dependent upon unit size and sash weight. Please contact your local Caradco supplier.
- White or Bright Brass hardware.
- Designed to be factory-combined with other Caradco products.
- Extruded aluminum brick mold is available in Brilliant White, Chestnut Bronze, Sandstone, Hartford Green, or French Vanilla (clad units only).
- Foam insulating inserts are available for the Guardian sill.

*Flex-Hinge® is a registered trademark of Inter Weatherseal Products, Inc.*

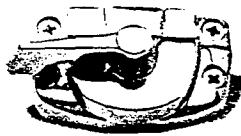
# Double Hung Windows



WHITE CLAD WOOD DOUBLE HUNG WITH SDL AND HALF-ROUND TOP (EXTERIOR).



WHITE CLAD WOOD DOUBLE HUNG WITH GBG (EXTERIOR); SANDSTONE CLAD WOOD DOUBLE HUNG (EXTERIOR); WOOD DOUBLE HUNG WITH KD GRILLES (INTERIOR); WOOD DOUBLE HUNG, PAINTED WHITE, WITH 1 1/8" SIMULATED DIVIDED LITES (EXTERIOR).



BRIGHT BRASS



WHITE



CHESTNUT BRONZE

## TILT-ASSIST\* FEATURE:

CARADCO DOUBLE HUNGS ARE EQUIPPED WITH THE TILT-ASSIST FEATURE WHICH FACILITATES THE TILTING OF THE BOTTOM SASH. TO ENGAGE THE TILT-ASSIST, RAISE THE BOTTOM SASH UNTIL THE CHECK RAIL SLIDES APPROXIMATELY HALFWAY OVER THE TILT-ASSIST DEVICE. THE JAMB LINERS WILL COMPRESS INTO THE FRAME POCKET, ALLOWING THE BOTTOM SASH TO EASILY TILT INWARD.

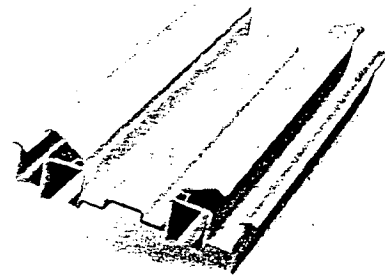
## HARDWARE:

CARADCO OFFERS DOUBLE HUNG LOCKING HARDWARE IN A CHOICE OF THREE COLORS: BRIGHT BRASS, WHITE, AND CHESTNUT BRONZE. SO NO MATTER WHAT YOUR AESTHETIC NEED IS, WE HAVE THE STYLE TO MATCH.

TILT-IN, REMOVABLE SASH FEATURE FOR EASY CLEANING.



\*PATENTED



## JAMB LINER:

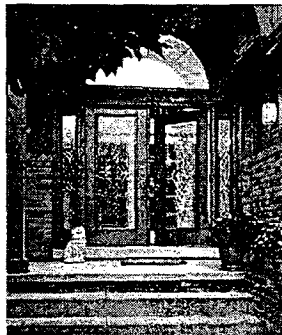
CARADCO DOUBLE HUNGS ARE EQUIPPED WITH FLEX-HINGE® JAMB LINERS, WHICH PROVIDE CONSISTENT EASE OF OPERATION AND PREVENT AIR AND WATER PENETRATION.

# THERMATRU<sup>®</sup> DOORS

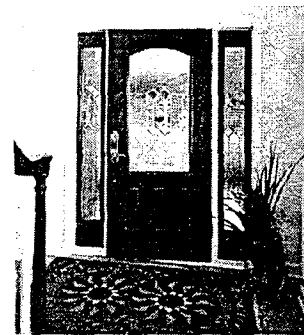
THE DOOR SYSTEM YOU CAN BELIEVE IN



Fiber-Classic Door Style: FC31 with FC13SL sidelites and 19630T transom.



Fiber-Classic Door Style: Double FC19 with FC19SL sidelites.



Fiber-Classic Door Style: FC33 with FC53SL sidelites.

## FIBER-CLASSIC<sup>®</sup> DOOR SYSTEMS

### *Beauty That Endures*

Far Superior to Wood, Yet Priced Comparably Less

All doors used to be made of wood because people liked the warm, rich look of wood. But they disliked wood's drawbacks . . . warping due to humidity, cracking because of the heat, splitting in extreme cold and splintering over time.

### **Durable and Energy-Efficient**

With the patented Fiber-Classic door, you get the look and feel of wood without wood's disadvantages. Our superior fiberglass technology takes the best qualities of wood and improves upon them.

The Fiber-Classic door:

- Resists damage - **no splitting, cracking or warping like wood.**
- **Insulates five times better than wood doors** due to its solid polyurethane foam core.
- **Stains to look just like wood and the finish lasts three times longer.**

Fiber-Classic doors are available in embossed, raised-panel and 8' tall styles. Create the custom door you've always wanted with any of these panel styles by combining them with over one hundred doorlite choices, including matching sidelites and transoms.

## Warranty

All Fiber-Classic® door system carries a lifetime limited warranty for as long as you own your home. To obtain a copy of the Fiber-Classic® door system warranty, contact your local Therma-Tru dealer.

**For a FREE catalog and the dealer nearest  
you, click here or call 1-888-366-7799.**

[Return to Therma-Tru Homepage](#)

June 22, 2000

(21)



# GENERAL SPECIFICATIONS

## Therma-Tru Entry Doors

All doors shall be manufactured by Therma-Tru Corp. The panels shall be laminated, using a high-performance adhesive to thermally broken, trimmable stiles and rails forming a perimeter to reduce thermal transmission and allow for field preparation of hardware. The bottom edge shall be manufactured from a moisture-resistant and decay-resistant composite. The core shall be foamed-in-place, CFC-free polyurethane with a density of 2.0 pcf minimum, K-factor of 0.14 BTU hr<sup>-1</sup> ft<sup>-2</sup> which shall completely fill the cavity and bond the stiles, rails, faces (glass in Fiber-Classic patio and flush-glazed doors and sidelites) into an integral panel. Doors mortised to accept Therma-Tru 4" x 4" hinges. The doors shall be supplied in 2/8 (32") or 3/0 (36") widths and a nominal height of 6/8 (79 3/4"). Some styles are available in 2/6 (30"), 2/10 (34") and 3/6 (42") widths and 6/6, 7/0, and 8/0 heights. Independent Laboratory Performance Testing Therma-Tru entry\* and hinged patio door systems have been tested and certified at the DP25 performance level for structural load, air infiltration and resistance to water penetration. Therma-Tru sliding patio doors qualify at the DP40 level. Performance levels are per AAMA/NWDA 101/I.S.2-97. Tests meet standards ASTM E330, ASTM E-547, ASTM E283, and ASTM F842. Some building jurisdictions in hurricane and coastal areas have specific testing requirements that differ from these, and performance levels of Therma-Tru entry and hinged patio door systems may carry higher ratings specific to each jurisdiction's requirements.

## Classic-Craft® Entry Doors

Panel face shall be manufactured from a proprietary thermoset composite, wood-grained to duplicate a handcrafted red oak master and can be stained or painted. Door edges shall be machineable kiln-dried clear northern red oak, flush and square with door faces. The lock side shall be reinforced with a wide engineered lumber stile that runs the length of the door. (Model CC30730 oval door panel design ©1996).

## Fiber-Classic® Entry Doors

Panel face shall be manufactured from a fiberglass-reinforced thermoset composite compound, wood-grained in red oak and can be stained or painted. A 2 3/8" wide wood lockblock shall be incorporated to provide support and allow for mounting of hardware. The door shall be trimmable in width up to 1/2" and in length by 3/4". Trimming shall be performed in accordance with manufacturer's instructions.

## Smooth-Star™ Entry Doors

Panel face shall be manufactured from a fiberglass-reinforced thermoset composite compound that must be painted. A 2 3/8" wide wood lockblock shall be incorporated to provide support and allow for secure mounting of hardware. The door shall be field trimmable in width up to 1/2" and in length by 3/4". Trimming shall be performed in strict accordance with manufacturer's instructions. (Model SS30060 texture and panel design ©1998)

## Premium Steel Entry Doors

Both sides of each panel shall be 24-gauge galvanized steel. The door edges shall be machineable kiln-dried white pine and provide full thermal break. A wood lockblock shall be incorporated to provide extra support for secure mounting of hardware. Doors shall be primed in a semi-gloss white primer.

\* For best performance, double doors to be used in areas with severe weather exposure must be installed using entry alcoves or large soffit overhangs to protect entry unit from exposure.

## Construction Series Doors

Both sides of each panel shall be 25-gauge galvanized steel. The door edges shall be machineable kiln-dried white pine and provide full thermal break. All door surfaces are factory primed in grey to accept exterior paint.

## Doorlites

Doorlites are insulated and exposed panes are tempered for safety and security. Single paned glass is available in a select group of clear doorlites. Optional wood grilles available for clear doorlites and transoms.

**Inserts** - All glass (except flush-glazed styles) shall be bedded with glazing mastic and secured in doors with screws. Therma-Tru's TCM and BTS doorlite frames are available for most styles except where noted. TCM and BTS frames shall resist significant deformation by heat up to 200°F regardless of paint or stain color or placement behind a storm door. PVC doorlite frames require a finish within 30 days of installation. Failure to do so will void the warranty. DO NOT finish PVC doorlite frames a dark color or install behind a storm door.

**Flush-Glazed** - The glass in flush-glazed styles shall be molded in place by a proprietary process that bonds the glass, door panels and core into one integral panel.

## Transoms

Transom frames and brickmould available to match door frames in clear pine or northern red oak. All transoms are 13 1/2" in height.

## Components

**Adjustable Security Strike Plate** - Proprietary adjustable type, permitting in-out adjustment of door in frame, up to 3/16".

**Hinges** - Available in steel, zinc-plated, brass or chrome (626) finish. Optional solid brass hinges are available for Classic-Craft systems. Minimum hinge size 4" x 4" x .098".

**Weatherstripping** - Long reach jacketed urethane weather-strip, in proprietary design, kerf-fit to frame stops, door bottom gasket with patented sill-interface feature, and right and left side corner seal pads. For steel doors, magnetic weatherstrip is available.

**Sills** - Wide range of sill options: thermally broken fixed, adjustable with oak threshold, and public access. "Monumental" grade is available in bronze, brass or mill finishes with decay-resistant composite substrate. Other sills available for inswing or outswing units in aluminum with mill or bronze anodized finish.

**Astragals** - Locking astragal for double door application with both leaves active is available in pine or with clear northern red oak to match door.

## Finishing and Painting

Classic-Craft and Fiber-Classic door systems should be stained using a Therma-Tru Finishing Kit. If painting, we recommend the use of acrylic latex finishes (exterior grade on outside). Smooth-Star, Premium Steel and Construction Series door systems should also be painted using acrylic latex paint (exterior grade on the outside). No primer is needed on Smooth-Star fiberglass doors or steel doors. DO NOT use automotive paint.

## Maintenance

Inspect finished surfaces periodically, as well as seal-

## 20-Minute Fiber-Classic Fire Doors

Embossed and flush styles include a fire barrier which is foamed-in-place and carry a Warnock-Hersey or affidavit 20-minute fire rating. Doors are available in 2'6", 2'8" and 3'0" widths by 6'8" height. Select primed wood frames carry a 20-minute rating.

## Steel Fire Doors

**B-Labelled 1 1/2 Hour Fire Doors** - Embossed and flush styles carry a Warnock-Hersey 1 1/2 hour B-Label fire rating. Doors are available in 2'8" and 3'0" widths by 6'8" and 7'0" heights. Lock prep for GS-161 and other standards.

**C-Labelled 45-Minute Fire Doors** - The 3'0" flush and narrower width Therma-Tru Steel fire door has passed the 45-minute C-Label Fire Test in accordance with ASTM E-152-66 procedures. Complies with F.H.A. Material Release #658. Acceptance #6329, S.T.C. information available.

**C-Label 20-Minute Fire Doors** - Embossed and flush styles carry a Warnock-Hersey 20-minute C-Label fire rating. Doors are available in 2'6", 2'8" and 3'0" widths by 6'8" and 7'0" heights. Lock prep for GS-161 and other standards.

## 1 1/2 Hour Fire-Rated Frames

Fire-rated steel frames bear a certification label by Warnock-Hersey International, an independent testing, certification, inspection and listing agency. Testing was conducted per ASTM E-152, and also meets CAN4-S104 (ULC-S104), NFPA-252, UBC 43-2 and UL10(b). Fire frame hinge preparations receive three 4" x 4" hinges and are reinforced with 15-gauge steel gusset plates.

**Split-Jamb Fire Frame** - Door jamb base section shall be 18-gauge G-60 galvanized steel. Extension/closure section shall be 22-gauge G-60 galvanized steel, up to wall thickness of 6 1/2", over which the section shall be of 18-gauge G60 galvanized steel. The frame shall have a kerf feature in the stop, fitted with a fire-rated foam-filled weatherstrip, removable for painting. Extension/closure sections shall provide at least 1" of frame depth adjustment.

**Expandable Steel Frame** - Frame shall be 18-gauge galvanized steel with throat openings for single and double-door applications. Throat expands from 4 3/8" to 7 3/8". Frame has fire-rated compression weatherstrip included.

## Fire Rating Performance Standards

Fire and building codes vary throughout the country and acceptance of products and labels is left to the discretion of the local authorities. Consult NFPA-80 for further information on labeling, testing procedures and standards and their meaning. MODIFICATION OF PRODUCTS DESCRIBED IN THIS BROCHURE WHICH CARRY FIRE RATINGS (DOORS AND FRAMES) MAY VOID THE FIRE RATINGS. DOUBLE FIRE DOORS ARE NOT FIRE-RATED.

\*\*Test conducted by Warnock-Hersey International Laboratories.

ants and gasketing. All may be affected by exposure to sun, moisture and environmental conditions. Recoat stained surfaces with clearcoat, or repaint painted surfaces when they appear dull or rough. Be sure to check expiration dates on containers. Installation, finishing and maintenance must be performed in accordance with Therma-Tru's recommendations to comply with warranty requirements. Complete instructions for finishing, painting and maintenance are supplied with units and with the Therma-Tru Finishing Kit.



Contractor's EDGE™  
Programs

**Residential Roofing: CertainTeed: Specifications**

Installation

**Technical Product Information  
CertainTeed XT™ 25 Roofing Shingles  
FungusBuster® 25 Roofing Shingles**

Products  
Residential  
Commercial

Sales Regions/Maps

**CERTAINEED CORPORATION**

Roofing Products Group  
750 E. Swedesford Road, PO Box 860  
Valley Forge, PA 19482  
Phone: (800) 233-8990  
FAX: (610) 341-7940

Specifications

Warranties

Site Map

| XT 25 Product Detail | FungusBuster 25 Product Detail | Technical  
Product Info |  
| Architectural Specifications | Installation | Warranty |

**HOMEOWNER SITE**

**PRODUCT DESCRIPTION**

An extra-heavy, three-tab construction combines exceptional durability with flexibility for better resistance to blow-off. Available in "English" dimensions – 12" x 36".

XT 25 is also available in an algae-resistant version, called FungusBuster 25, which protects against staining or discoloration caused by algae.

XT 25 shingles are available in the following colors: Autumn Brown, Black, Cedar Brown, Cinnamon Frost, Coral Frost, Dove Gray, Evergreen Blend, Gray Frost, Maple Red Blend, Mint Frost, Moiré Black, Nickel Gray, Oakwood, Pewter, Regal Bark, Sandalwood, Slate Gray, Star White, Timber Blend, and Weathered Wood. Color and product availability can vary by region.

FungusBuster 25 shingles are available in the following colors: Cedar Brown, Cinnamon Frost, Gray Frost, Moiré Black, Nickel Gray, Slate Gray, Star White, Timber Blend and Weathered Wood. Color and product availability can vary by region.

**Limitations**

Use on roofs with slopes greater than 2" per foot. Low slope applications (2" to 4" per foot) require additional underlayment. In areas where icing along the eaves can cause a backup of water, apply CertainTeed WinterGuard™ Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

On slopes greater than 21" per foot, apply a 1" diameter spot of asphalt roofing cement (ASTM D 4586, Type II) under each shingle tab corner according to application instructions provided on the shingle package.

▲ [Back to Top](#)

**Composition and Materials:**

XT 25 shingles are composed of a fiber glass mat base. Ceramic coated mineral granules are tightly embedded in specially refined, water-resistant asphalt. The algae-resistant shingles utilize specially formulated granules to retard algae growth. XT 25 and FungusBuster 25 shingles have self-sealing adhesive. They are both 3-tab shingles.

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## **TECHNICAL DATA**

### **Applicable Standards:**

ASTM D 3018, Type I  
ASTM D 3462  
ASTM E108 Fire Resistance: Class A  
ASTM D 3161, Type I Wind Resistance  
UL 790 Fire Resistance: Class A  
UL 997 Wind Resistance  
NYC-MEA-120-79-M  
BOCA & SBCCI Building Codes  
CSA Standard A123.5-98  
Ontario BMEC Auth. 97-10-219  
Miami-Dade Product Control Acceptance

### **Weights and Sizes**

Weight/Square (approx.): 225 – 230 lb.  
Dimensions (overall): 12" x 36" (English)  
Shingles/Square: 80  
Weather Exposure: 5"

▲ [Back to Top](#)

## **INSTALLATION**

Detailed installation instructions including diagrams are supplied on each bundle of XT 25 shingles, or separate application sheets may be obtained from CertainTeed. The following is a general summary of installation methods. NOTE - Refer to application instructions supplied with the shingles for further information and application procedures.

### **Roof Deck Requirements**

Apply shingles to minimum 3/8" thick plywood, minimum 7/16" thick non-veneer, or minimum 1" thick (nominal) wood decks. The plywood or non-veneer decks must comply with the specifications of APA-The Engineered Wood Association..

### **Ventilation**

Provisions for ventilation should meet or exceed current HUD standards. To insure adequate ventilation, use a combination of continuous ridge ventilation (using a product such as FilterVent® or ShingleVent® II, manufactured by Air Vent Inc., a CertainTeed subsidiary) and balanced soffit venting.

### **Valleys**

Valley liner must be applied before shingles. The Closed-Cut valley application method is recommended, using CertainTeed WinterGuard Waterproofing Shingle Underlayment, or its equivalent, to line the valley prior to being fully covered by the shingles.

### **Underlayment**

At standard slopes (4" per foot or greater) a single layer of Roofers' Select™ High-Performance Shingle Underlayment (or product meeting ASTM D 4869, Type I) is recommended. For UL fire rating, underlayment may be required. Corrosion-resistant drip edge is recommended and should be placed over the underlayment at the rake and beneath the underlayment at the eaves.

On low slopes (2" to 4" per foot), apply CertainTeed WinterGuard Waterproofing Shingle Underlayment or its equivalent, or two layers of 36" wide felt shingle underlayment (Roofers' Select High-Performance Shingle Underlayment or product meeting ASTM D 4869) lapped 19", over entire deck according to the application instructions provided with the product. When WinterGuard is applied to the rake area, the drip edge may be installed under or over

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WinterGuard. At the eave, when WinterGuard does not overlap the gutter or fascia, the drip edge must be installed under WinterGuard. When WinterGuard overlaps the fascia or gutter, the drip edge or other metal must be installed over it.

### **Fastening**

Four nails are required per shingle. They are to be located 5/8" above the top of each cutout and 1" and 12" in from each side of the shingle. Nails must be of sufficient length to penetrate into the deck 3/4" or through the thickness of the decking, whichever is less. Nails are to be 11 or 12 gauge, corrosion-resistant roofing nails with 3/8" heads.

▲ [Back to Top](#)

### **Application**

The recommended application method is the Six-Course, 6" Stepped-Off Diagonal Method found on each bundle of shingles. These shingles may also be applied using the 5" Stepped-Off Diagonal Method, or the 6" Stepped-Off, Single-Column Vertical-Racking Method, instructions for which may be obtained from CertainTeed. These shingles may be used for new construction or for reroofing over old shingles.

### **Flashing**

Use corrosion-resistant metal flashing.

### **Hips and Ridges**

For capping hips and ridges use XT 25 or FungusBuster 25 shingles. Double coursing will accent the rooflines and improve overall appearance.

### **AVAILABILITY AND COST**

Contact local distributor or dealer for current price information.

For the names of local distributors and dealers, please write:

#### **CertainTeed Architectural Support**

P.O. Box 860  
Valley Forge, PA 19482  
Phone: (800) 233-8990  
Fax: (610) 341-7940

### **WARRANTY**

XT 25 shingles carry a 25-year limited transferable warranty to the consumer against manufacturing defects. In addition, XT 25 also carries 5-year SureStart protection. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier or applicator or by writing to CertainTeed Corporation).

### **MAINTENANCE**

XT 25 shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

### **TECHNICAL SERVICES**

Complete technical support and assistance are available through Architectural Support personnel, Territory Managers, and the fully staffed and equipped Research and Development facility in Blue Bell, PA.

### **FILING SYSTEMS**

Sweets Architectural Catalog 07310/CER , Internet Website: [www.sweets.com](http://www.sweets.com)  
Sweet Source® Electronic Catalog  
ARCAT®, Internet Website: [www.arcat.com](http://www.arcat.com)

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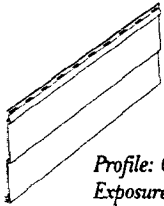
For additional information and literature contact:  
CertainTeed Architectural Support  
P.O. Box 860  
Valley Forge, PA 19482  
Phone: (800) 233-8990  
Fax: (610) 341-7940

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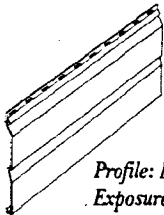
| [Contact Us](#) | [Costs](#) | [FAQ](#) | [Glossary](#) | [Related Web Sites](#) | [Services](#) | [What's New](#) |

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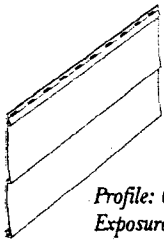
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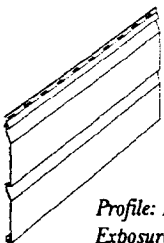
Profile: Clapboard  
Exposure: Double 4"  
Butt edge: 1/2"



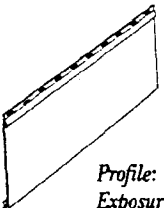
Profile: Dutch Lap  
Exposure: Double 4"  
Butt edge: 1/2"



Profile: Clapboard  
Exposure: Double 5"  
Butt edge: 3/8"



Profile: Dutch Lap  
Exposure: Double 5"  
Butt edge: 1/2"



Profile: Clapboard  
Exposure: 8"  
Butt edge: 3/8"

The sublime colors and lightly textured finish of Fair Oaks enhance any architectural design. With five profiles to choose from, Fair Oaks is a conservative, sophisticated choice in home exterior design.

*Not all profiles available in all colors. See Product Color Selection Guide, page 13, for specific availability.*

*Premium colors only available in Double 4" Clapboard and Double 5" Dutch Lap. 8" Clapboard only available in white.*

- Hardwood texture
- Profiles:
  - Double 4" Clapboard
  - Double 4" Dutch Lap
  - Double 5" Clapboard
  - Double 5" Dutch Lap
  - 8" Clapboard
- Colors:
  - Almond
  - Antique Ivory
  - Arcadian
  - Brownstone
  - Canyon Clay
  - Colonial
  - Dover Gray
  - Flannel
  - Maize
  - Mist Blue
  - Pearl
  - Sandalwood
  - Sandstone
  - Snow White
  - Wicker
- Nominal thickness: 0.044"
- Coordinating soffit, fascia and trim accessories
- Lifetime Limited Warranty
- 50-Year Limited Hail Warranty

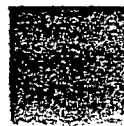
**Premium Colors**

*Fair Oaks' traditional color palette is accompanied by four new dramatic earth tones. These Premium Designer Colors boast richer, deeper hues for a truly enriching effect.*

Arcadian



Brownstone



Colonial



Flannel



## Vinyl Soffit



Made of strong, durable vinyl with color that blends all the way through, Vinyl Soffit requires virtually no maintenance and never needs painted. Select from our premium Advantage Plus and Oxford products, or choose Fairweather, our economy brand.

### Advantage® Plus Premium

- Brushed texture
- Colors:
  - Almond*
  - Antique Ivory*
  - Brownstone*
  - Canyon Clay*
  - Dover Gray*
  - Maize*
  - Mist Blue*
  - Pearl*
  - Sandalwood*
  - Sandstone*
  - Snow White*
  - Wicker*
- Nominal thickness: 0.044"

- Lifetime Limited Warranty
- 50-Year Limited Hail Warranty



Brushed texture



12" Double V-Groove Solid



12" Double V-Groove Center Vented



12" Double V-Groove Fully Vented

### Oxford™ Premium

- Hardwood texture
- Color: *Snow White*
- Nominal thickness: 0.044"
- Lifetime Limited Warranty
- 50-Year Limited Hail Warranty



Hardwood texture



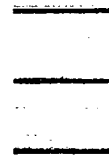
10" Single V-Groove Solid



10" Single V-Groove Fully Vented

### Fairweather™

- Brushed texture
- Color: *Snow White*
- Nominal thickness: 0.042"
- Lifetime Limited Warranty
- 50-Year Limited Hail Warranty



Brushed texture



12" Double V-Groove Solid



12" Double V-Groove Center Vented



12" Double V-Groove Fully Vented

## Trim Coil



Aluminum and steel Trim Coil match our most popular siding, soffit and fascia colors.

Depending on the product selected, Trim Coil coatings are offered in two finishes, LoMar polyester and polyvinyl chloride (PVC).

- Coatings:
  - LoMar polyester*  
Soft, low-luster satin finish with excellent resistance to surface marring and scuffing
  - PVC\**  
Premium semigloss (polyvinyl chloride) finish that's several times thicker than ordinary coatings and provides excellent resistance to surface wear and abrasion

- Colors: Available in a variety of colors, including special palettes compatible with the siding colors of the following manufacturers: *Certainteed, Wolverine, Mastic, Royal, Heartland and Vipco*. Call your Revere representative for a Coil Color Selector Guide.

\*Available on selected products only

## Beauty That Endures

*Far Superior to Wood,  
Yet Priced Comparably Less*

All doors used to be made of wood because people like the warm, rich look of wood. However, they disliked wood's drawbacks...warping due to humidity, cracking because of the heat, splitting in extreme cold and splintering over time.

### Durable and Energy-Efficient

With the patented Fiber-Classic door, you get the look and feel of wood without wood's disadvantages. Our superior fiberglass technology takes the best qualities of wood and improves upon them.

The Fiber-Classic door:

- Resists damage – *no splitting, cracking or warping like wood*
- *Insulates five times better than wood doors* due to its solid polyurethane foam core
- *Stains to look just like wood* and the finish lasts three times longer.

Create the custom door you've always wanted with any of the various panel styles by combining them with over one hundred doorlite choices, including matching sidelites and transoms.

### Warranty

All Fiber-Classic door systems carry a *lifetime limited warranty* for as long as you own your home. To obtain a copy of the Fiber-Classic door system warranty, contact your Therma-Tru dealer.



## FIBER-CLASSIC ENTRY DOOR SYSTEMS

*Choose the door you've always wanted  
from well over two hundred style options.*

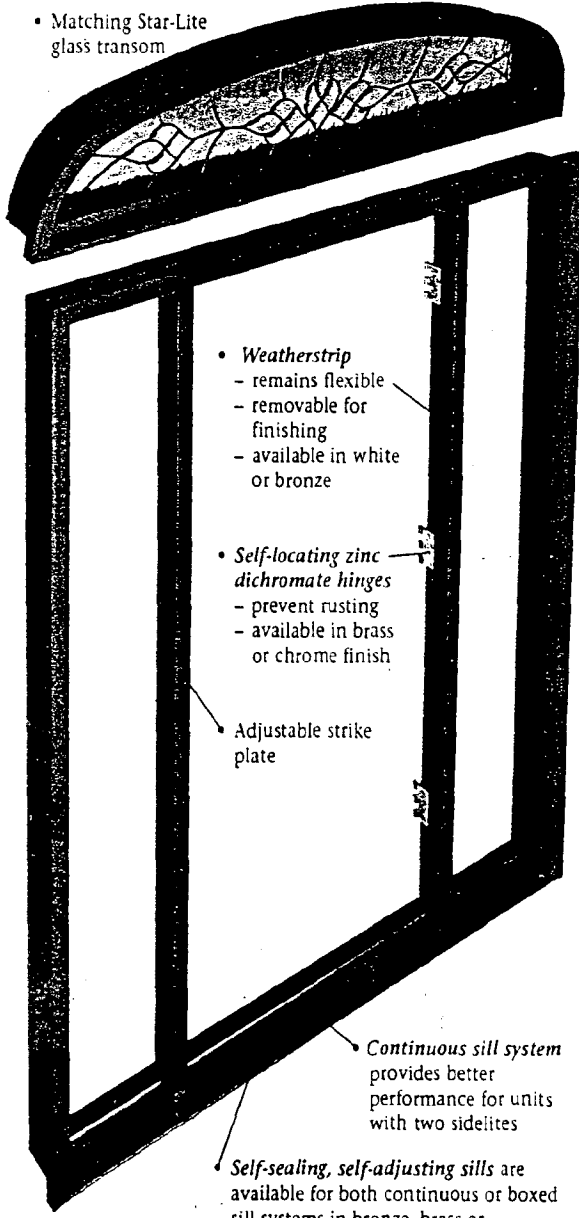
	<i>Pages</i>
• Designline Series – raised panel design	47-51
• Embossed Door Series – distinctive recessed panels	54-67
• 8' Door Series – in both Embossed and Designline styles	68-73
• Flush-Glazed Door Series – economical one-piece design	74
• Fire Door Series – protection between the garage and home	75
• Patio Door Series – options include full height, replacement height and 8' tall heights	106-109



## Features and Benefits

*Our Parts Are Stronger as a Whole*

Therma-Tru offers the complete Fiber-Classic door system, including the doorlites, jambs, brickmould, weatherstrip, hinges, door bottom and a wide variety of sill options. All components are designed, engineered, and manufactured for total performance and appearance.



• Matching Star-Lite glass transom

• **Weatherstrip**  
– remains flexible  
– removable for finishing  
– available in white or bronze

• **Self-locating zinc dichromate hinges**  
– prevent rusting  
– available in brass or chrome finish

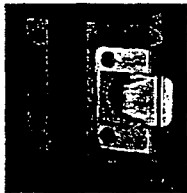
• Adjustable strike plate

• **Continuous sill system** provides better performance for units with two sidelites

• **Self-sealing, self-adjusting sills** are available for both continuous or boxed sill systems in bronze, brass or mill finish with composite substrate

• **Oak adjustable sills** are available in bronze or mill finish

• **Proprietary adjustable security strike plate** with 2 1/2" long screws available for all units except those with a sidelite on the lock side



• Primed pine jambs and brickmould trim

• Fiber-Classic doorlite frames made from our exclusive TCM material resist cracking, warping and splitting – finishes easily to match the door

• **Star-Lite decorative glass doorlites** feature rounded bright brass coming encased between two panes of tempered glass for energy efficiency and easier cleaning

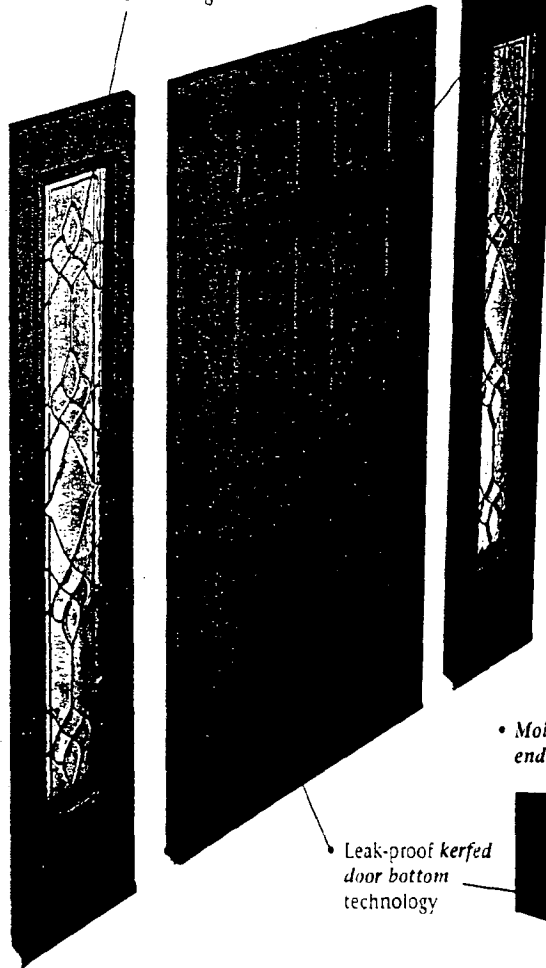
• Tough, **compression molded fiberglass** faces provide outstanding durability

• **Wide wood lockblock** for secure mounting of handleset hardware



• Solid, CFC-free, **polyurethane foam core** provides five times greater insulation value than a wood door

• **Laminated wood lock stile** adds stability plus provides a full thermal break and allows for field trimming



• **Moisture-resistant bottom end rail** won't rot or warp

• **Leak-proof kerfed door bottom technology**



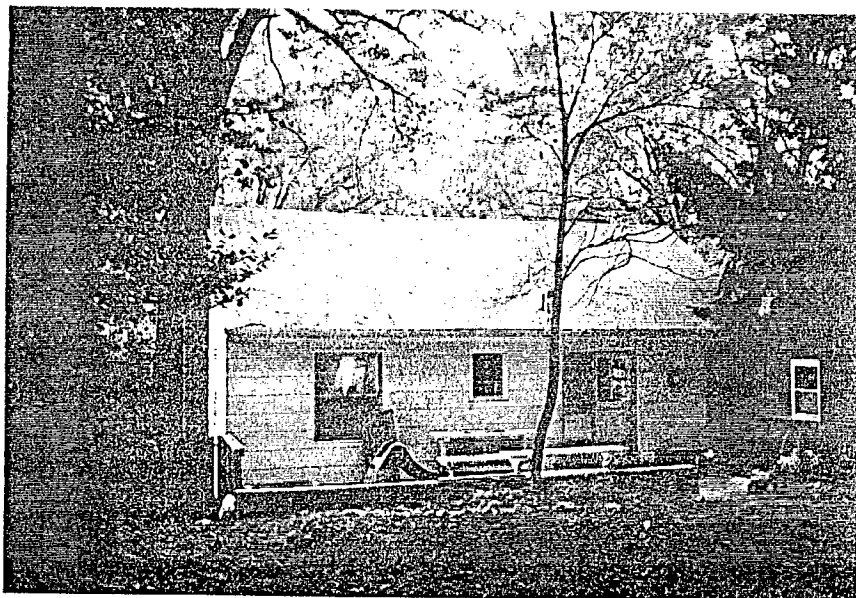
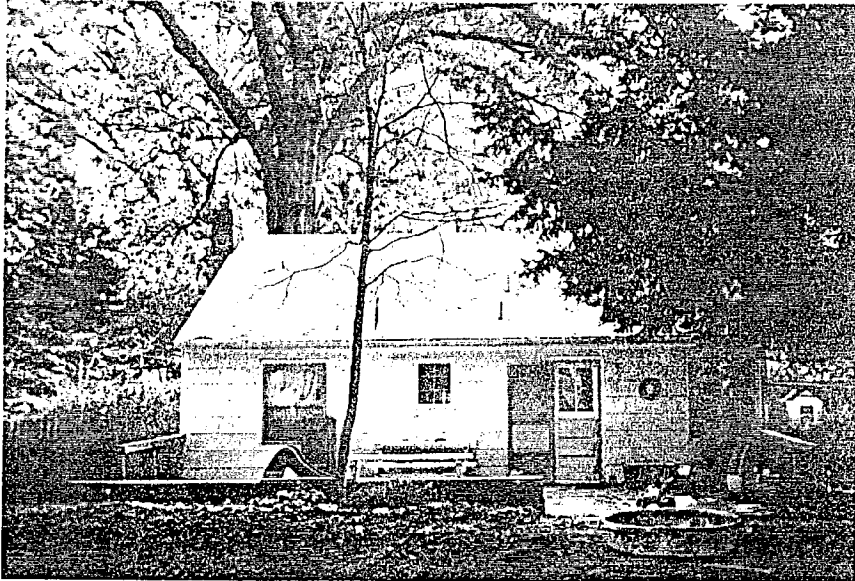
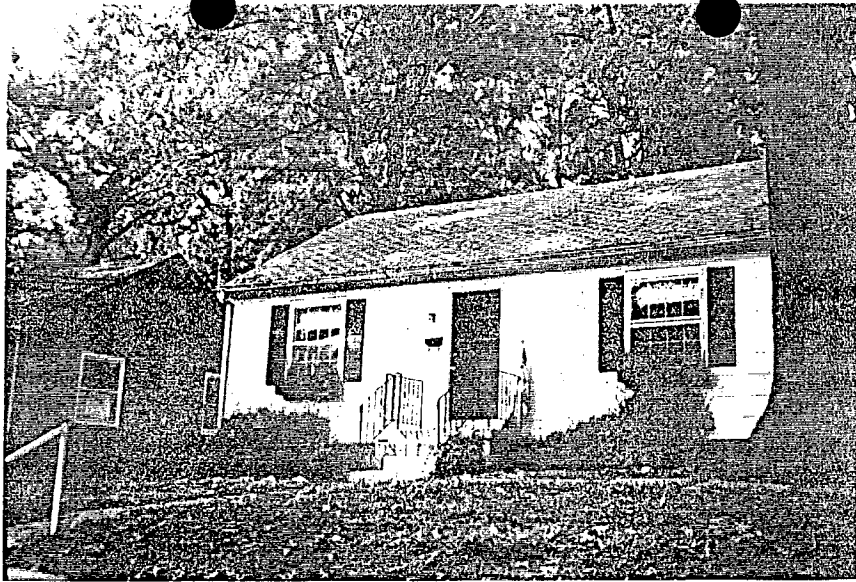
30

## 10020 Menlo Avenue Photos

Attached are three photos of our existing house. As we stated in our summary page, the house is a 5 room, one story house on a full basement. The house is sided with composite siding over original wood siding. The roof is shingled in asphalt shingles. The house has the original wood windows and doors.

The proposed construction will involve the removal of the existing roof and the addition of a second floor. The existing siding will be removed and the entire house will be sided with white vinyl. The roof will be a standard asphalt shingle dark in color. The first floor doors and windows will be removed and replaced. The windows will be replaced with a Caradco wood window of the same size. The second floor windows will be sized as shown on the architectural floor plans. The windows will be wood in construction with white aluminum cladding on the exterior. The fenestration will be grills between the class. The front and rear doors will be replaced with Therma-Tru "Fiber Classic" doors with the same fenestration as the existing doors. The front door will be flanked with matching sidelights per the architectural drawings. The cornice will be vinyl to match the new siding.

Specifications for the proposed shingles, windows, doors siding and cornice are contained in this package. All proposed products are in keeping with other homes in the neighborhood and all products are chosen because of their benefit to the architecture and comfort of the home. Each of the companies has web sites if additional information is required. The window manufacturer can be found at [www.caradco.com](http://www.caradco.com). The siding and fascia manufacturer can be found at [www.reverebuildingproducts.com](http://www.reverebuildingproducts.com). The door manufacturer can be found at [www.thermatru.com](http://www.thermatru.com). The shingle manufacturer can be found at [www.certainteed.com](http://www.certainteed.com).



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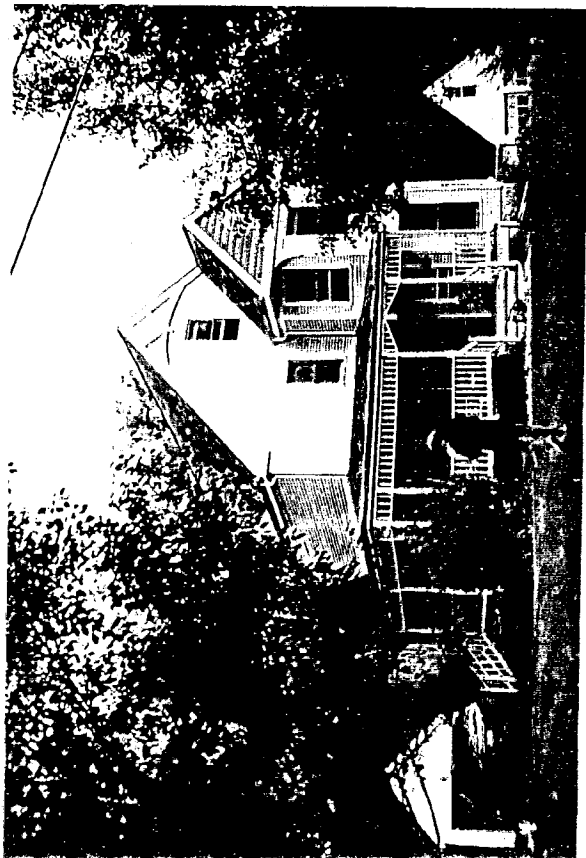
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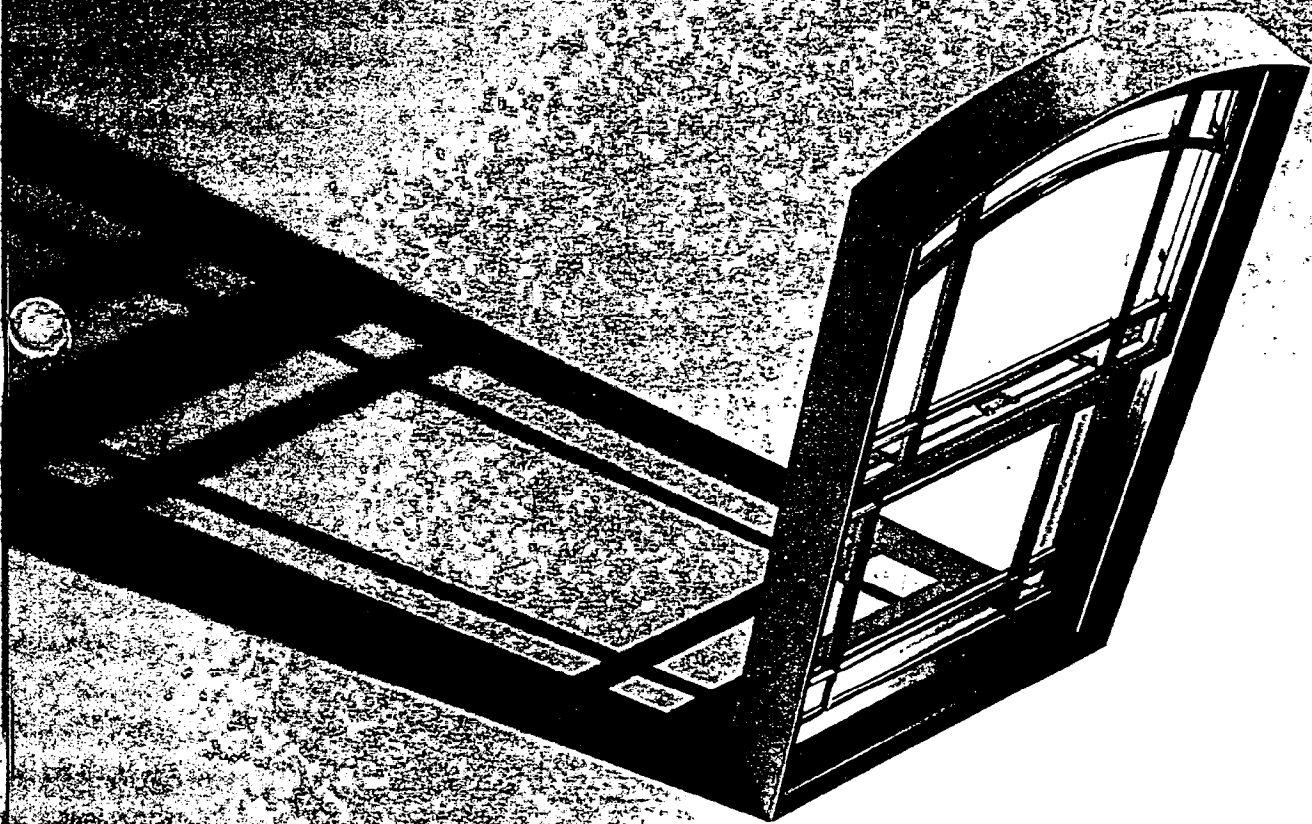
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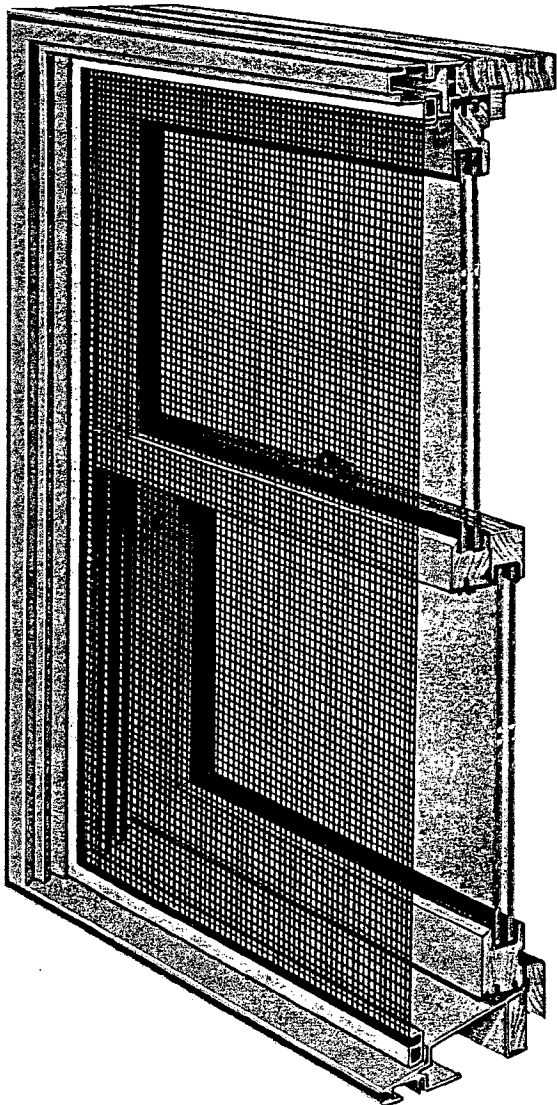
CARADCO PRODUCT CATALOG



**Caradco.**

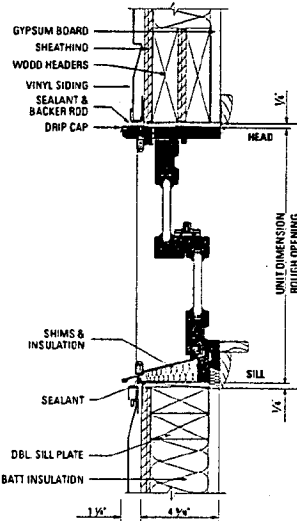
*Windows for tomorrow. Since 1866.™*

# Double Hung Windows



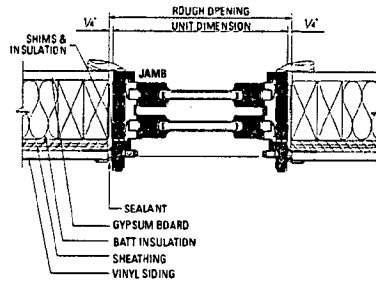
**GUARDIAN CLAD WOOD DOUBLE HUNG**

## GUARDIAN CLAD DOUBLE HUNG: 2X4 FRAME, VINYL SIDING



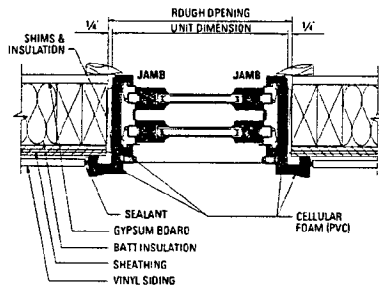
VERTICAL SECTION

## GUARDIAN CLAD DOUBLE HUNG: 2X4 FRAME, VINYL SIDING

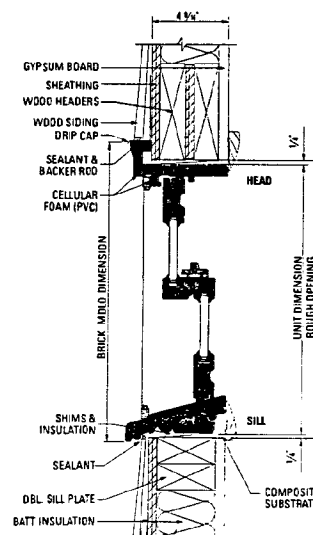


HORIZONTAL SECTION

## CLASSIC PRIMED DOUBLE HUNG: 2X4 FRAME, WOOD SIDING



HORIZONTAL SECTION

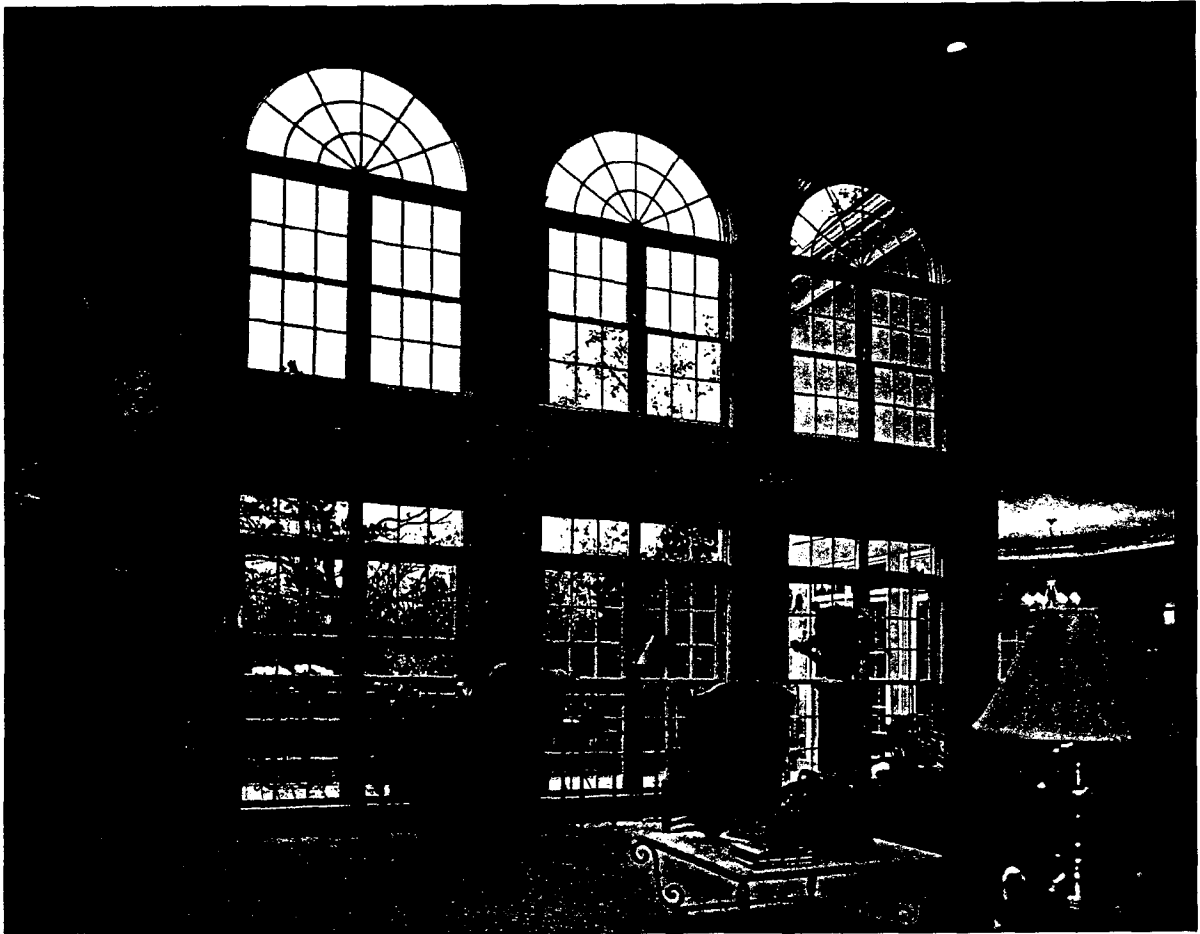


VERTICAL SECTION

■ BASIC UNIT

▣ OPTIONAL PARTS AVAILABLE FROM CARADCO

## Double Hung Windows



### STANDARD FEATURES

- Thick Western pine, engineered wood, and composite materials for strength, durability, insulating qualities, and beauty; treated with water repellent and wood preservative.
- Natural wood interiors ready for painting or staining.
- Primed wood (*Classic*) or aluminum-clad (*Guardian*) exteriors in Brilliant White, Chestnut Bronze, Sandstone, Hartford Green, or French Vanilla.
- 4 $\frac{1}{16}$ " jamb width.
- A combination of TPE bulb and vinyl-covered foam weather stripping for a weathertight, draft-proof seal.
- Energy-efficient  $\frac{5}{8}$ " insulated glass with Warm Edge™ Intercept™ Spacer.
- Tilt-in, removable sash for easy cleaning. Tilt-Assist feature facilitates the tilting of the bottom sash.
- Insulated Flex-Hinge® jamb liners for years of trouble-free operation.
- Standard sizes ranging from 1'-9 $\frac{3}{8}$ " x 3'-0" to 3'-9 $\frac{3}{8}$ " x 6'-4".
- Many egress-sized units.
- Chestnut bronze hardware.
- White screens (*primed units*). Screens match clad color on clad units.

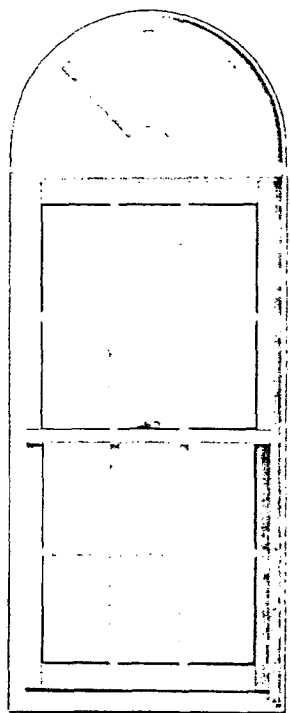
### OPTIONAL FEATURES

- Additional colors of cladding.
- Applied jamb extensions to accommodate various wall thicknesses.
- Simulated Divided Lites (SDL) featuring a gray anodized grille bar between the glass and a permanently affixed wood interior grille. Available with  $\frac{7}{8}$ ", 1 $\frac{1}{8}$ ", or 1 $\frac{3}{8}$ " wide muntins. Creates the look of authentic divided lites.
- Simulated Divided Lites (SDL) with a removable wood interior grille. Available with  $\frac{7}{8}$ ", 1 $\frac{1}{8}$ ", or 1 $\frac{3}{8}$ " wide muntins.
- Aluminum integral colonial grilles (*grilles between glass*). Available with either profiled or flat bar.
- Removable wood interior grilles. Available with  $\frac{7}{8}$ ", 1 $\frac{1}{8}$ ", or 1 $\frac{3}{8}$ " wide muntins.
- Argon-filled LoE<sup>2</sup> insulated glass.
- Gray or bronze tint, obscure or tempered glass. Glass options are dependent upon unit size and sash weight. Please contact your local Caradco supplier.
- White or Bright Brass hardware.
- Designed to be factory-combined with other Caradco products.
- Extruded aluminum brick mold is available in Brilliant White, Chestnut Bronze, Sandstone, Hartford Green, or French Vanilla (*clad units only*).
- Foam insulating inserts are available for the Guardian sill.

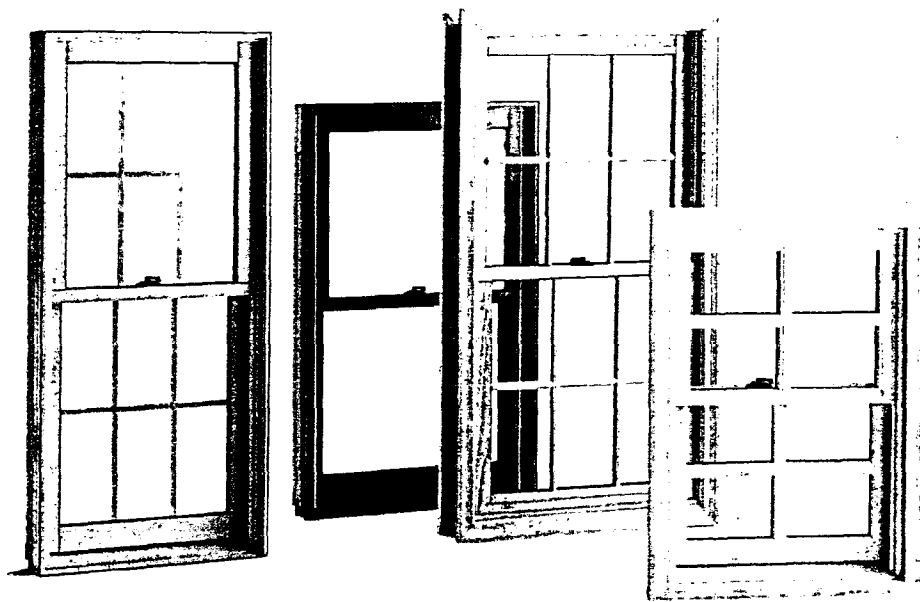
*Flex-Hinge® is a registered trademark of Intek Weatherseal Products, Inc.*



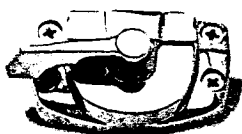
# Double Hung Windows



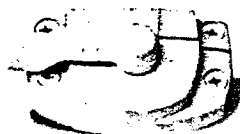
WHITE CLAD WOOD DOUBLE HUNG WITH SDL AND HALF-ROUND TOP (EXTERIOR).



WHITE CLAD WOOD DOUBLE HUNG WITH GBG (EXTERIOR); SANDSTONE CLAD WOOD DOUBLE HUNG (EXTERIOR); WOOD DOUBLE HUNG WITH KD GRILLES (INTERIOR); WOOD DOUBLE HUNG, PAINTED WHITE, WITH 1 1/8" SIMULATED DIVIDED LITES (EXTERIOR).



BRIGHT BRASS



WHITE



CHESTNUT BRONZE

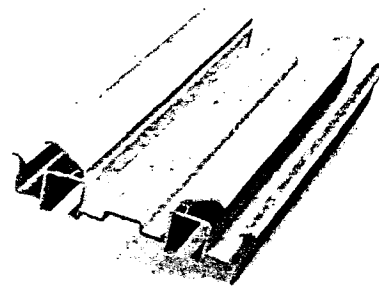
## TILT-ASSIST\* FEATURE:

CARADCO DOUBLE HUNGS ARE EQUIPPED WITH THE TILT-ASSIST FEATURE WHICH FACILITATES THE TILTING OF THE BOTTOM SASH. TO ENGAGE THE TILT-ASSIST, RAISE THE BOTTOM SASH UNTIL THE CHECK RAIL SLIDES APPROXIMATELY HALFWAY OVER THE TILT-ASSIST DEVICE. THE JAMB LINERS WILL COMPRESS INTO THE FRAME POCKET, ALLOWING THE BOTTOM SASH TO EASILY TILT INWARD.

## HARDWARE:

CARADCO OFFERS DOUBLE HUNG LOCKING HARDWARE IN A CHOICE OF THREE COLORS: BRIGHT BRASS, WHITE, AND CHESTNUT BRONZE. SO NO MATTER WHAT YOUR AESTHETIC NEED IS, WE HAVE THE STYLE TO MATCH.

TILT-IN, REMOVABLE SASH FEATURE FOR EASY CLEANING.



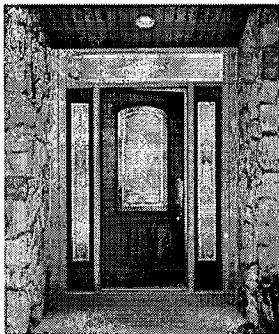
## JAMB LINER:

CARADCO DOUBLE HUNGS ARE EQUIPPED WITH FLEX-HINGE® JAMB LINERS, WHICH PROVIDE CONSISTENT EASE OF OPERATION AND PREVENT AIR AND WATER PENETRATION.

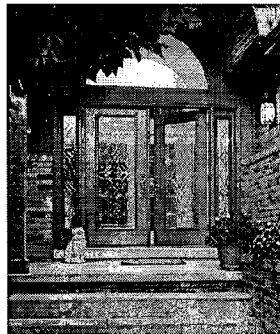
\*PATENTED

# THERMATRU<sup>®</sup> DOORS

THE DOOR SYSTEM YOU CAN BELIEVE IN



Fiber-Classic Door Style: FC31 with FC13SL sidelites and 19630T transom.



Fiber-Classic Door Style: Double FC19 with FC19SL sidelites.



Fiber-Classic Door Style: FC33 with FC53SL sidelites.

## FIBER-CLASSIC<sup>®</sup> DOOR SYSTEMS

### *Beauty That Endures*

**Far Superior to Wood, Yet Priced Comparably Less**

All doors used to be made of wood because people liked the warm, rich look of wood. But they disliked wood's drawbacks . . . warping due to humidity, cracking because of the heat, splitting in extreme cold and splintering over time.

### **Durable and Energy-Efficient**

With the patented Fiber-Classic door, you get the look and feel of wood without wood's disadvantages. Our superior fiberglass technology takes the best qualities of wood and improves upon them.

The Fiber-Classic door:

- Resists damage - **no splitting, cracking or warping like wood.**
- **Insulates five times better than wood doors** due to its solid polyurethane foam core.
- **Stains to look just like wood** and the finish lasts three times longer.

Fiber-Classic doors are available in embossed, raised-panel and 8' tall styles. Create the custom door you've always wanted with any of these panel styles by combining them with over one hundred doorlite choices, including matching sidelites and transoms.

## Warranty

All Fiber-Classic® door system carries a lifetime limited warranty for as long as you own your home. To obtain a copy of the Fiber-Classic® door system warranty, contact your local Therma-Tru dealer.

**For a FREE catalog and the dealer nearest you, click here or call 1-888-366-7799.**

[Return to Therma-Tru Homepage](#)

June 22, 2000

# GENERAL SPECIFICATIONS

## Therma-Tru Entry Doors

All doors shall be manufactured by Therma-Tru Corp. The panels shall be laminated, using a high-performance adhesive to thermally broken, trimmable stiles and rails forming a perimeter to reduce thermal transmission and allow for field preparation of hardware. The bottom edge shall be manufactured from a moisture-resistant and decay-resistant composite. The core shall be foamed-in-place, CFC-free polyurethane with a density of 2.0 pcf minimum, K-factor of 0.14 BTU hr<sup>-1</sup> ft<sup>-2</sup> which shall completely fill the cavity and bond the stiles, rails, faces (glass in Fiber-Classic patio and flush-glazed doors and sidelites) into an integral panel. Doors mortised to accept Therma-Tru 4" x 4" hinges. The doors shall be supplied in 2/8 (32") or 3/0 (36") widths and a nominal height of 6/8 (79<sup>9</sup>/<sub>32</sub>"). Some styles are available in 2/6 (30"), 2/10 (34") and 3/6 (42") widths and 6/6, 7/0, and 8/0 heights.

**Independent Laboratory Performance Testing**  
Therma-Tru entry\* and hinged patio door systems have been tested and certified at the DP25 performance level for structural load, air infiltration and resistance to water penetration. Therma-Tru sliding patio doors qualify at the DP40 level. Performance levels are per AAMA/NWWDA 101/I.S.2-97. Tests meet standards ASTM E330, ASTM E-547, ASTM E283, and ESTM F842. Some building jurisdictions in hurricane and coastal areas have specific testing requirements that differ from these, and performance levels of Therma-Tru entry and hinged patio door systems may carry higher ratings specific to each jurisdiction's requirements.

## Classic-Craft® Entry Doors

Panel face shall be manufactured from a proprietary thermoset composite, wood-grained to duplicate a handcrafted red oak master and can be stained or painted. Door edges shall be machineable kiln-dried clear northern red oak, flush and square with door faces. The lock side shall be reinforced with a wide engineered lumber stile that runs the length of the door. (Model CC30750 oval door panel design ©1996).

## Fiber-Classic® Entry Doors

Panel face shall be manufactured from a fiberglass-reinforced thermoset composite compound, wood-grained in red oak and can be stained or painted. A 2<sup>3</sup>/<sub>8</sub>" wide wood lockblock shall be incorporated to provide support and allow for mounting of hardware. The door shall be trimmable in width up to 1/2" and in length by 3/4". Trimming shall be performed in accordance with manufacturer's instructions.

## Smooth-Star™ Entry Doors

Panel face shall be manufactured from a fiberglass-reinforced thermoset composite compound that must be painted. A 2<sup>3</sup>/<sub>8</sub>" wide wood lockblock shall be incorporated to provide support and allow for secure mounting of hardware. The door shall be field trimmable in width up to 1/2" and in length by 3/4". Trimming shall be performed in strict accordance with manufacturer's instructions. (Model SS30060 texture and panel design ©1998)

## Premium Steel Entry Doors

Both sides of each panel shall be 24-gauge galvanized steel. The door edges shall be machineable kiln-dried white pine and provide full thermal break. A wood lockblock shall be incorporated to provide extra support for secure mounting of hardware. Doors shall be primed in a semi-gloss white primer.

\* For best performance, double doors to be used in areas with severe weather exposure must be installed using entry alcoves or large soffit overhangs to protect entry unit from exposure.

## Construction Series Doors

Both sides of each panel shall be 25-gauge galvanized steel. The door edges shall be machineable kiln-dried white pine and provide full thermal break. All door surfaces are factory primed in grey to accept exterior paint.

## Doorlites

Doorlites are insulated and exposed panes are tempered for safety and security. Single paned glass is available in a select group of clear doorlites. Optional wood grilles available for clear doorlites and transoms.

**Inserts** - All glass (except flush-glazed styles) shall be bedded with glazing mastic and secured in doors with screws. Therma-Tru's TCM and BTS doorlite frames are available for most styles except where noted. TCM and BTS frames shall resist significant deformation by heat up to 200°F regardless of paint or stain color or placement behind a storm door. PVC doorlite frames require a finish within 30 days of installation. Failure to do so will void the warranty. DO NOT finish PVC doorlite frames a dark color or install behind a storm door.

**Flush-Glazed** - The glass in flush-glazed styles shall be molded in place by a proprietary process that bonds the glass, door panels and core into one integral panel.

## Transoms

Transom frames and brickmould available to match door frames in clear pine or northern red oak. All transoms are 13<sup>1</sup>/<sub>2</sub>" in height.

## Components

**Adjustable Security Strike Plate** - Proprietary adjustable type, permitting in-out adjustment of door in frame, up to 3/16".

**Hinges** - Available in steel, zinc-plated, brass or chrome (626) finish. Optional solid brass hinges are available for Classic-Craft systems. Minimum hinge size 4" x 4" x .098".

**Weatherstripping** - Long reach jacketed urethane weather-strip, in proprietary design, kerf-fit to frame stops, door bottom gasket with patented sill-inter-face feature, and right and left side corner seal pads. For steel doors, magnetic weatherstrip is available.

**Sills** - Wide range of sill options: thermally broken fixed, adjustable with oak threshold, and public access. "Monumental" grade is available in bronze, brass or mill finishes with decay-resistant composite substrate. Other sills available for inswing or outswing units in aluminum with mill or bronze anodized finish.

**Astragals** - Locking astragal for double door application with both leaves active is available in pine or with clear northern red oak to match door.

## Finishing and Painting

Classic-Craft and Fiber-Classic door systems should be stained using a Therma-Tru Finishing Kit. If painting, we recommend the use of acrylic latex finishes (exterior grade on outside). Smooth-Star, Premium Steel and Construction Series door systems should also be painted using acrylic latex paint (exterior grade on the outside). No primer is needed on Smooth-Star fiberglass doors or steel doors. DO NOT use automotive paint.

## Maintenance

Inspect finished surfaces periodically, as well as seal-

## 20-Minute Fiber-Classic Fire Doors

Embossed and flush styles include a fire barrier which is foamed-in-place and carry a Warnock-Hersey or affidavit 20-minute fire rating. Doors are available in 2'6", 2'8" and 3'0" widths by 6'8" height. Select primed wood frames carry a 20-minute rating.

## Steel Fire Doors

**B-Labeled 1 1/2 Hour Fire Doors** - Embossed and flush styles carry a Warnock-Hersey 1 1/2 hour B-Label fire rating. Doors are available in 2'8" and 3'0" widths by 6'8" and 7'0" heights. Lock prep for GS-161 and other standards.

**C-Labeled 45-Minute Fire Doors** - The 3'0" flush and narrower width Therma-Tru steel fire door has passed the 45-minute C-Label Fire Test in accordance with ASTM E-152-66 procedures. Complies with F.H.A. Material Release #658. Acceptance #6329, S.T.C. information available.

**C-Label 20-Minute Fire Doors** - Embossed and flush styles carry a Warnock-Hersey 20-minute C-Label fire rating. Doors are available in 2'6", 2'8" and 3'0" widths by 6'8" and 7'0" heights. Lock prep for GS-161 and other standards.

## 1 1/2 Hour Fire-Rated Frames

Fire-rated steel frames bear a certification label by Warnock-Hersey International, an independent testing, certification, inspection and listing agency. Testing was conducted per ASTM E-152, and also meets CAN4-S104 (ULC-S104), NFPA-252, UBC 43-2 and UL10(b). Fire frame hinge preparations receive three 4" x 4" hinges and are reinforced with 15-gauge steel gusset plates.

**Split-Jamb Fire Frame** - Door jamb base section shall be 18-gauge G-60 galvanized steel. Extension/closure section shall be 22-gauge G-60 galvanized steel, up to wall thickness of 6 1/2", over which the section shall be of 18-gauge G60 galvanized steel. The frame shall have a kerf feature in the stop, fitted with a fire-rated foam-filled weatherstrip, removable for painting. Extension/closure sections shall provide at least 1" of frame depth adjustment.

**Expandable Steel Frame** - Frame shall be 18-gauge galvanized steel with throat openings for single and double-door applications. Throat expands from 4<sup>5</sup>/<sub>8</sub>" to 7<sup>5</sup>/<sub>8</sub>". Frame has fire-rated compression weatherstrip included.

## Fire Rating Performance Standards

Fire and building codes vary throughout the country and acceptance of products and labels is left to the discretion of the local authorities. Consult NFPA-80 for further information on labeling, testing procedures and standards and their meaning. MODIFICATION OF PRODUCTS DESCRIBED IN THIS BROCHURE WHICH CARRY FIRE RATINGS (DOORS AND FRAMES) MAY VOID THE FIRE RATINGS. DOUBLE FIRE DOORS ARE NOT FIRE-RATED.

\*\*Test conducted by Warnock-Hersey International Laboratories.

ants and gasketing. All may be affected by exposure to sun, moisture and environmental conditions. Recoat stained surfaces with clearcoat, or repaint painted surfaces when they appear dull or rough. Be sure to check expiration dates on containers. Installation, finishing and maintenance must be performed in accordance with Therma-Tru's recommendations to comply with warranty requirements. Complete instructions for finishing, painting and maintenance are supplied with units and with the Therma-Tru Finishing Kit.



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**Residential Roofing: CertainTeed: Specifications**

[Installation](#)

**Technical Product Information  
CertainTeed XT™ 25 Roofing Shingles  
FungusBuster® 25 Roofing Shingles**

[Products Residential Commercial](#)

[Sales Regions/Maps](#)

**CERTAINTEED CORPORATION**

Roofing Products Group  
750 E. Swedesford Road, PO Box 860  
Valley Forge, PA 19482  
Phone: (800) 233-8990  
FAX: (610) 341-7940

[Specifications](#)

[Warranties](#)

[Site Map](#)

[XT 25 Product Detail](#) | [FungusBuster 25 Product Detail](#) | [Technical Product Info](#) | [Architectural Specifications](#) | [Installation](#) | [Warranty](#)

**HOMEOWNER SITE**

**PRODUCT DESCRIPTION**

An extra-heavy, three-tab construction combines exceptional durability with flexibility for better resistance to blow-off. Available in "English" dimensions – 12" x 36".

XT 25 is also available in an algae-resistant version, called FungusBuster 25, which protects against staining or discoloration caused by algae.

XT 25 shingles are available in the following colors: Autumn Brown, Black, Cedar Brown, Cinnamon Frost, Coral Frost, Dove Gray, Evergreen Blend, Gray Frost, Maple Red Blend, Mint Frost, Moiré Black, Nickel Gray, Oakwood, Pewter, Regal Bark, Sandalwood, Slate Gray, Star White, Timber Blend, and Weathered Wood. Color and product availability can vary by region.

FungusBuster 25 shingles are available in the following colors: Cedar Brown, Cinnamon Frost, Gray Frost, Moiré Black, Nickel Gray, Slate Gray, Star White, Timber Blend and Weathered Wood. Color and product availability can vary by region.

**Limitations**

Use on roofs with slopes greater than 2" per foot. Low slope applications (2" to 4" per foot) require additional underlayment. In areas where icing along the eaves can cause a backup of water, apply CertainTeed WinterGuard™ Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

On slopes greater than 21" per foot, apply a 1" diameter spot of asphalt roofing cement (ASTM D 4586, Type II) under each shingle tab corner according to application instructions provided on the shingle package.

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**Composition and Materials:**

XT 25 shingles are composed of a fiber glass mat base. Ceramic coated mineral granules are tightly embedded in specially refined, water-resistant asphalt. The algae-resistant shingles utilize specially formulated granules to retard algae growth. XT 25 and FungusBuster 25 shingles have self-sealing adhesive. They are both 3-tab shingles.

## **TECHNICAL DATA**

### **Applicable Standards:**

ASTM D 3018, Type I  
ASTM D 3462  
ASTM E108 Fire Resistance: Class A  
ASTM D 3161, Type I Wind Resistance  
UL 790 Fire Resistance: Class A  
UL 997 Wind Resistance  
NYC-MEA-120-79-M  
BOCA & SBCCI Building Codes  
CSA Standard A123.5-98  
Ontario BMEC Auth. 97-10-219  
Miami-Dade Product Control Acceptance

### **Weights and Sizes**

Weight/Square (approx.): 225 – 230 lb.  
Dimensions (overall): 12" x 36" (English)  
Shingles/Square: 80  
Weather Exposure: 5"

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## **INSTALLATION**

Detailed installation instructions including diagrams are supplied on each bundle of XT 25 shingles, or separate application sheets may be obtained from CertainTeed. The following is a general summary of installation methods. NOTE - Refer to application instructions supplied with the shingles for further information and application procedures.

### **Roof Deck Requirements**

Apply shingles to minimum 3/8" thick plywood, minimum 7/16" thick non-veneer, or minimum 1" thick (nominal) wood decks. The plywood or non-veneer decks must comply with the specifications of APA-The Engineered Wood Association..

### **Ventilation**

Provisions for ventilation should meet or exceed current HUD standards. To insure adequate ventilation, use a combination of continuous ridge ventilation (using a product such as FilterVent® or ShingleVent® II, manufactured by Air Vent Inc., a CertainTeed subsidiary) and balanced soffit venting.

### **Valleys**

Valley liner must be applied before shingles. The Closed-Cut valley application method is recommended, using CertainTeed WinterGuard Waterproofing Shingle Underlayment, or its equivalent, to line the valley prior to being fully covered by the shingles.

### **Underlayment**

At standard slopes (4" per foot or greater) a single layer of Roofers' Select™ High-Performance Shingle Underlayment (or product meeting ASTM D 4869, Type I) is recommended. For UL fire rating, underlayment may be required. Corrosion-resistant drip edge is recommended and should be placed over the underlayment at the rake and beneath the underlayment at the eaves.

On low slopes (2" to 4" per foot), apply CertainTeed WinterGuard Waterproofing Shingle Underlayment or its equivalent, or two layers of 36" wide felt shingle underlayment (Roofers' Select High-Performance Shingle Underlayment or product meeting ASTM D 4869) lapped 19", over entire deck according to the application instructions provided with the product. When WinterGuard is applied to the rake area, the drip edge may be installed under or over

WinterGuard. At the eave, when WinterGuard does not overlap the gutter or fascia, the drip edge must be installed under WinterGuard. When WinterGuard overlaps the fascia or gutter, the drip edge or other metal must be installed over it.

### **Fastening**

Four nails are required per shingle. They are to be located 5/8" above the top of each cutout and 1" and 12" in from each side of the shingle. Nails must be of sufficient length to penetrate into the deck 3/4" or through the thickness of the decking, whichever is less. Nails are to be 11 or 12 gauge, corrosion-resistant roofing nails with 3/8" heads.

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### **Application**

The recommended application method is the Six-Course, 6" Stepped-Off Diagonal Method found on each bundle of shingles. These shingles may also be applied using the 5" Stepped-Off Diagonal Method, or the 6" Stepped-Off, Single-Column Vertical-Racking Method, instructions for which may be obtained from CertainTeed. These shingles may be used for new construction or for reroofing over old shingles.

### **Flashing**

Use corrosion-resistant metal flashing.

### **Hips and Ridges**

For capping hips and ridges use XT 25 or FungusBuster 25 shingles. Double coursing will accent the rooflines and improve overall appearance.

### **AVAILABILITY AND COST**

Contact local distributor or dealer for current price information.

For the names of local distributors and dealers, please write:

#### **CertainTeed Architectural Support**

P.O. Box 860

Valley Forge, PA 19482

Phone: (800) 233-8990

Fax: (610) 341-7940

### **WARRANTY**

XT 25 shingles carry a 25-year limited transferable warranty to the consumer against manufacturing defects. In addition, XT 25 also carries 5-year SureStart protection. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier or applicator or by writing to CertainTeed Corporation).

### **MAINTENANCE**

XT 25 shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

### **TECHNICAL SERVICES**

Complete technical support and assistance are available through Architectural Support personnel, Territory Managers, and the fully staffed and equipped Research and Development facility in Blue Bell, PA.

### **FILING SYSTEMS**

Sweets Architectural Catalog 07310/CER , Internet Website: [www.sweets.com](http://www.sweets.com)

Sweet Source® Electronic Catalog

ARCAT®, Internet Website: [www.arcat.com](http://www.arcat.com)

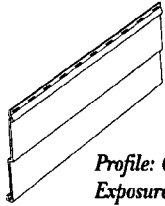
For additional information and literature contact:  
CertainTeed Architectural Support  
P.O. Box 860  
Valley Forge, PA 19482  
Phone: (800) 233-8990  
Fax: (610) 341-7940

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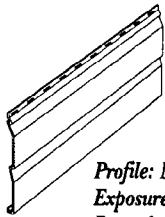
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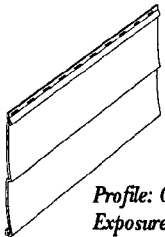




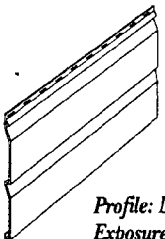
Profile: Clapboard  
Exposure: Double 4"  
Butt edge: 1/2"



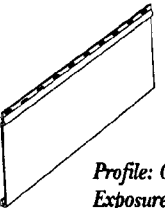
Profile: Dutch Lap  
Exposure: Double 4"  
Butt edge: 1/2"



Profile: Clapboard  
Exposure: Double 5"  
Butt edge: 5/8"



Profile: Dutch Lap  
Exposure: Double 5"  
Butt edge: 1/2"



Profile: Clapboard  
Exposure: 8"  
Butt edge: 3/8"

The sublime colors and lightly textured finish of Fair Oaks enhance any architectural design. With five profiles to choose from, Fair Oaks is a conservative, sophisticated choice in home exterior design.

*Not all profiles available in all colors. See Product Color Selection Guide, page 15, for specific availability.*

*Premium colors only available in Double 4" Clapboard and Double 5" Dutch Lap. 8" Clapboard only available in white.*

- Hardwood texture
- Profiles:
  - Double 4" Clapboard
  - Double 4" Dutch Lap
  - Double 5" Clapboard
  - Double 5" Dutch Lap
  - 8" Clapboard
- Colors:
  - Almond
  - Antique Ivory
  - Arcadian
  - Brownstone
  - Canyon Clay
  - Colonial
  - Dover Gray
  - Flannel
  - Maize
  - Mist Blue
  - Pearl
  - Sandakwood
  - Sandstone
  - Snow White
  - Wicker
- Nominal thickness: 0.044"
- Coordinating soffit, fascia and trim accessories
- Lifetime Limited Warranty
- 50-Year Limited Hail Warranty

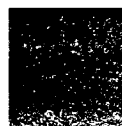
**Premium Colors**

*Fair Oaks' traditional color palette is accompanied by four new dramatic earth tones. These Premium Designer Colors boast richer, deeper hues for a truly enriching effect.*

Arcadian



Brownstone



Colonial



Flannel





## Vinyl Soffit

Made of strong, durable vinyl with color that blends all the way through, Vinyl Soffit requires virtually no maintenance and never needs painted. Select from our premium Advantage Plus and Oxford products, or choose Fairweather, our economy brand.

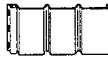
### Advantage® Plus Premium

- Brushed texture
- Colors:
  - Almond*
  - Antique Ivory*
  - Brownstone*
  - Canyon Clay*
  - Dover Gray*
  - Maize*
  - Mist Blue*
  - Pearl*
  - Sandalwood*
  - Sandstone*
  - Snow White*
  - Wicker*
- Nominal thickness: 0.044"

- Lifetime Limited Warranty
- 50-Year Limited Hail Warranty



Brushed texture



12" Double V-Groove Solid



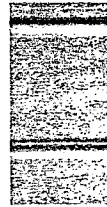
12" Double V-Groove Center Vented



12" Double V-Groove Fully Vented

### Oxford™ Premium

- Hardwood texture
- Color: *Snow White*
- Nominal thickness: 0.044"
- Lifetime Limited Warranty
- 50-Year Limited Hail Warranty



Hardwood texture



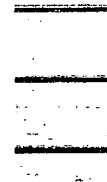
10" Single V-Groove Solid



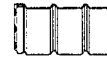
10" Single V-Groove Fully Vented

### Fairweather™

- Brushed texture
- Color: *Snow White*
- Nominal thickness: 0.042"
- Lifetime Limited Warranty
- 50-Year Limited Hail Warranty



Brushed texture



12" Double V-Groove Solid



12" Double V-Groove Center Vented



12" Double V-Groove Fully Vented



## Trim Coil

Aluminum and steel Trim Coil match our most popular siding, soffit and fascia colors.

Depending on the product selected, Trim Coil coatings are offered in two finishes, LoMar polyester and polyvinyl chloride (PVC).

- Coatings:
  - LoMar polyester**  
*Soft, low-luster satin finish with excellent resistance to surface marring and scuffing*
  - PVC\***  
*Premium semigloss (polyvinyl chloride) finish that's several times thicker than ordinary coatings and provides excellent resistance to surface wear and abrasion*

- Colors: *Available in a variety of colors, including special palettes compatible with the siding colors of the following manufacturers: Certainteed, Wolverine, Mastic, Royal, Heartland and Vipco. Call your Revere representative for a Coil Color Selector Guide.*

*\*Available on selected products only*

## Beauty That Endures

*Far Superior to Wood,  
Yet Priced Comparably Less*

All doors used to be made of wood because people like the warm, rich look of wood. However, they disliked wood's drawbacks...warping due to humidity, cracking because of the heat, splitting in extreme cold and splintering over time.

### Durable and Energy-Efficient

With the patented Fiber-Classic door, you get the look and feel of wood without wood's disadvantages. Our superior fiberglass technology takes the best qualities of wood and improves upon them.

The Fiber-Classic door:

- Resists damage – *no splitting, cracking or warping like wood*
- *Insulates five times better than wood doors* due to its solid polyurethane foam core
- *Stains to look just like wood* and the finish lasts three times longer.

Create the custom door you've always wanted with any of the various panel styles by combining them with over one hundred doorlite choices, including matching sidelites and transoms.

### Warranty

All Fiber-Classic door systems carry a *lifetime limited warranty* for as long as you own your home. To obtain a copy of the Fiber-Classic door system warranty, contact your Therma-Tru dealer.



## FIBER-CLASSIC ENTRY DOOR SYSTEMS

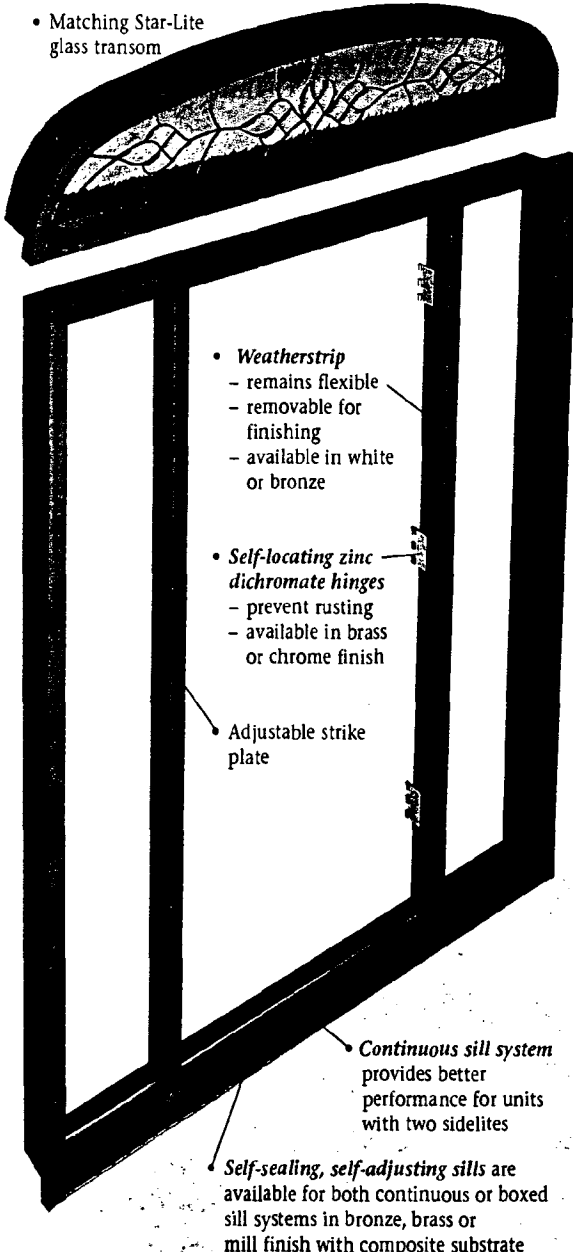
*Choose the door you've always wanted  
from well over two hundred style options.*

- |   | <i>Pages</i> |
|---|--------------|
| • Designline Series – raised panel design   | 47-51        |
| • Embossed Door Series – distinctive recessed panels                                      | 54-67        |
| • 8' Door Series – in both Embossed and Designline styles                                 | 68-73        |
| • Flush-Glazed Door Series – economical one-piece design                                  | 74           |
| • Fire Door Series – protection between the garage and home                               | 75           |
| • Patio Door Series – options include full height, replacement height and 8' tall heights | 106-109      |

## Features and Benefits

*Our Parts Are Stronger as a Whole*

Therma-Tru offers the complete Fiber-Classic door system, including the doorlites, jambs, brickmould, weatherstrip, hinges, door bottom and a wide variety of sill options. All components are designed, engineered, and manufactured for total performance and appearance.



• Matching Star-Lite glass transom

- **Weatherstrip**
  - remains flexible
  - removable for finishing
  - available in white or bronze

- **Self-locating zinc dichromate hinges**
  - prevent rusting
  - available in brass or chrome finish

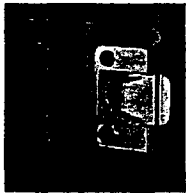
• Adjustable strike plate

• **Continuous sill system** provides better performance for units with two sidelites

- **Self-sealing, self-adjusting sills** are available for both continuous or boxed sill systems in bronze, brass or mill finish with composite substrate

- **Oak adjustable sills** are available in bronze or mill finish

- **Proprietary adjustable security strike plate** with 2 1/2" long screws available for all units except those with a sidelite on the lock side



• Primed pine jambs and brickmould trim

- Fiber-Classic doorlite frames made from our exclusive TCM material resist cracking, warping and splitting - finishes easily to match the door

- **Star-Lite decorative glass doorlites** feature rounded bright brass caming encased between two panes of tempered glass for energy efficiency and easier cleaning

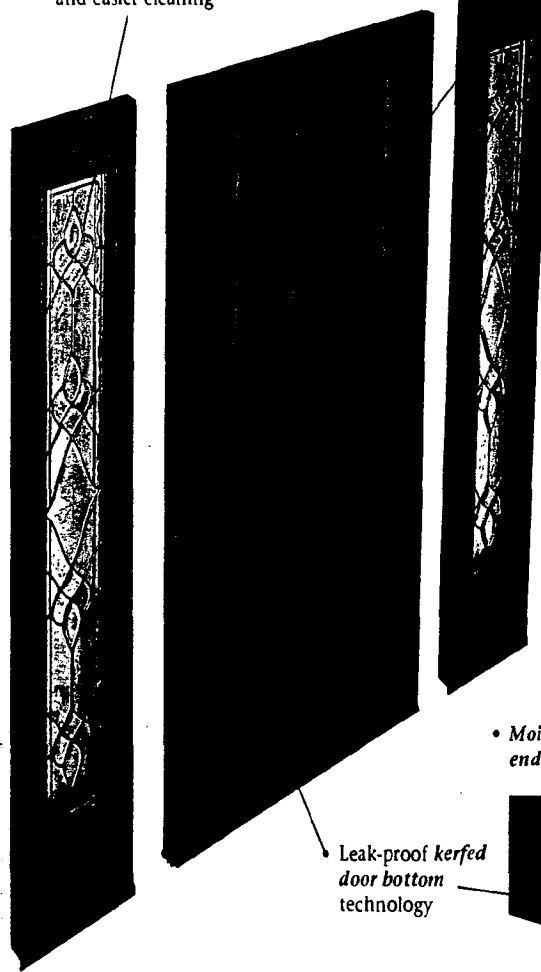
• Tough, **compression molded fiberglass** faces provide outstanding durability

• Wide **wood lockblock** for secure mounting of handleset hardware



- Solid, CFC-free, **polyurethane foam core** provides five times greater insulation value than a wood door

- Laminated **wood lock stile** adds stability plus provides a full thermal break and allows for field trimming



- **Moisture-resistant bottom end rail** won't rot or warp

• **Leak-proof kerfed door bottom technology**



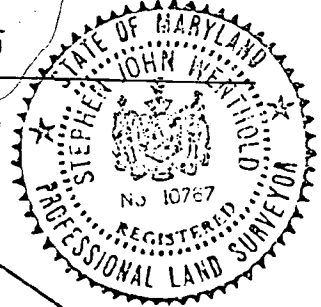
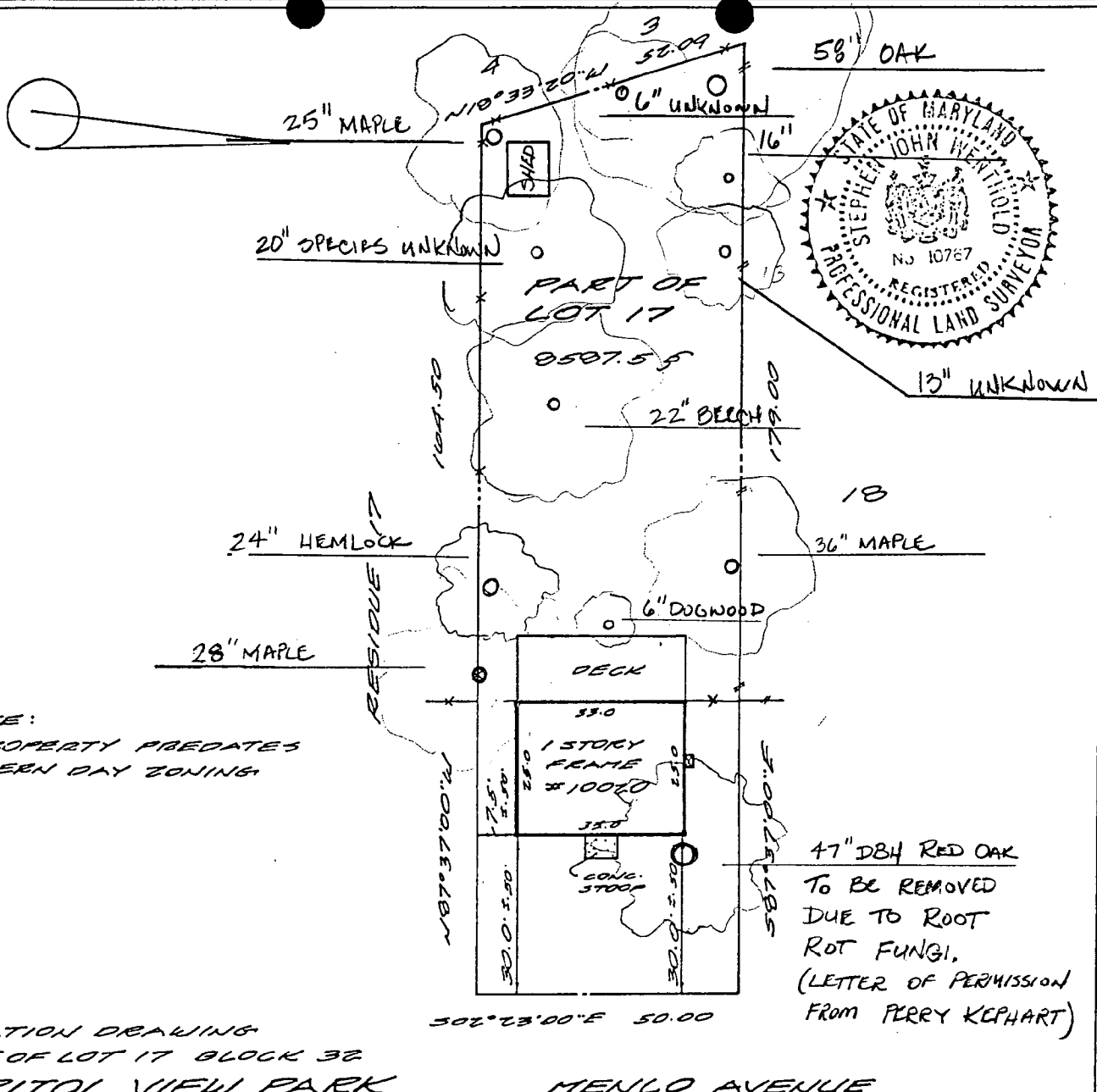
## **Karns Addition**

**10020 Menlo Avenue, Silver Spring, Maryland 20910**

**Description of existing property:** One story five-room residence on a full basement. The house consists of a kitchen, two bedrooms, a full bath and a living room. The residence is 32'-9" wide by 24'-9" deep. The house is ranch in style on a concrete block foundation (painted pale green), with white composite shingle siding and gray asphalt shingle roofing. The house has eight 3846 wood single pane windows with storm windows on each. The front and rear of the house has a 3068 nine lite wood door. The doors and windows appear to be original materials while the siding is obviously overlaid on the original wood siding. The shingles are also replacement.

**Description of proposed work:** Second story four-room addition consisting of three bedrooms and a full bath plus the addition of a full front porch. The siding will be completely removed and replaced with six-inch vinyl siding. The windows will be replaced with Caradco wood windows (of the same size on the first floor) with aluminum clad exteriors. The doors will be removed and replaced with Therma-tru simulated wood nine lite doors. The front door will be flanked with three lite side lite panels. The cornice will be vinyl wrapped to reduce maintenance. The roof shingles will be asphalt in keeping with the neighborhood. The architectural style of the proposed addition matches newer and traditional styles existing in this historic neighborhood. Additionally two story houses are the standard of this neighborhood and make up the majority of my street. Some examples were photographed and included. Specifications of windows, doors, siding and shingles are attached.

**Adjoining Property Owners:** The north side property is 10022 Menlo Avenue owned by Tiki and John Govantes 301-565-8855. The south side property is 10018 Menlo Avenue owned by Harry and Marie Dunkle 301-589-0554. The east side property is 9925 Capital View Avenue and it is owned by Philip and Claire Geyelin 301-587-2535. The property across the street to the east is 10015 Menlo Avenue owned by Nina and Jens Anderson 301-585-3765.



NOTE:  
PROPERTY PREDATES  
MODERN DAY ZONING

47" DBH RED OAK  
TO BE REMOVED  
DUE TO ROOT  
ROT FUNGI.  
(LETTER OF PERMISSION  
FROM PERRY KEPHART)

LOCATION DRAWING  
PART OF LOT 17 BLOCK 32  
CAPITOL VIEW PARK

MENLO AVENUE

**Surveyor's Certification**

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100 year flood plain according to FEMA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

*Stephen J. Wenthold*  
Stephen J. Wenthold, Maryland RLS Reg. No. 10767

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

Date: 8-14-96  
Scale: 1" = 30'  
Plat Book: A  
Plat No.: 9  
Work Order: 96-1957

**Meridian Surveys, Inc.**  
2401 Research Boulevard  
Rockville, MD 20850  
(301) 840-0025

Address: 10060 MENLO AVENUE  
District: 13  
Jurisdiction: MONTGOMERY COUNTY, MD.

ND TITLE REPORT FURNISHED

## **Neighborhood Photos**

Attached are photos of various homes within several blocks of my house. These houses are shown because some are similar in architectural style to the proposed changes to our house. Others are shown because they verify that two story homes in this historic district are not uncommon.

**Photo 1:** 10103 Grant Avenue. This home is 2 blocks from our house and is shown because it is similar to our proposal without the porch.

**Photo 2:** 10101 Grant Avenue. This house is 1 block from our house and is shown for the same reasons listed above.

**Photo 3:** 2903 Barker Avenue. This house is less than 1 block from our home and is shown to again demonstrate the prevalence of two story homes. Additionally this house has a porch feature, which is a major part of the architecture of this house.

**Photo 4:** 10022 Menlo Avenue. This house is next door to our home. This house again has a second story and the addition on this house has a porch feature.

**Photo 5:** 9908 Capital View. This house is very similar to the final proposed change to our house. This house is a recent addition to Capital View Park and is 3 blocks from our house.

**Photo 6:** 2813 Beechwood Road. This house is also very similar to the proposed change to our house.

**Photo 7:** 10023 Menlo Avenue. This house is across the street and three houses up from ours. This house is shown to reinforce the understanding of the diverse architecture of our street and to provide an understanding of the fact that we are not proposing to exceed the size of the neighborhood homes.



① ↓

② ↑



③ ↓

④ ↑





5



6



7



## 10020 Menlo Avenue Photos

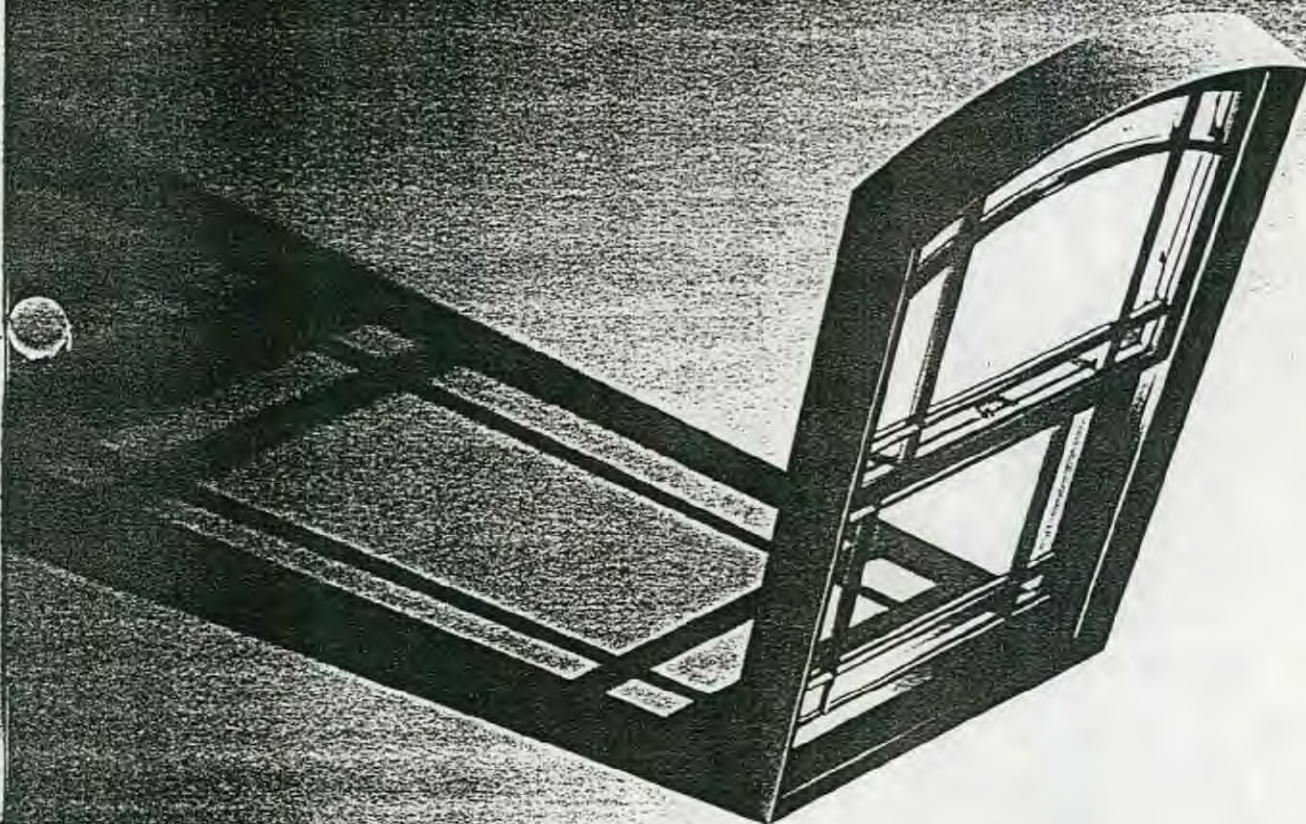
Attached are three photos of our existing house. As we stated in our summary page, the house is a 5 room, one story house on a full basement. The house is sided with composite siding over original wood siding. The roof is shingled in asphalt shingles. The house has the original wood windows and doors.

The proposed construction will involve the removal of the existing roof and the addition of a second floor. The existing siding will be removed and the entire house will be sided with white vinyl. The roof will be a standard asphalt shingle dark in color. The first floor doors and windows will be removed and replaced. The windows will be replaced with a Caradco wood window of the same size. The second floor windows will be sized as shown on the architectural floor plans. The windows will be wood in construction with white aluminum cladding on the exterior. The fenestration will be grills between the class. The front and rear doors will be replaced with Therma-Tru "Fiber Classic" doors with the same fenestration as the existing doors. The front door will be flanked with matching sidelights per the architectural drawings. The cornice will be vinyl to match the new siding.

Specifications for the proposed shingles, windows, doors siding and cornice are contained in this package. All proposed products are in keeping with other homes in the neighborhood and all products are chosen because of their benefit to the architecture and comfort of the home. Each of the companies has web sites if additional information is required. The window manufacturer can be found at [www.caradco.com](http://www.caradco.com). The siding and fascia manufacturer can be found at [www.reverebuildingproducts.com](http://www.reverebuildingproducts.com). The door manufacturer can be found at [www.thermatru.com](http://www.thermatru.com). The shingle manufacturer can be found at [www.certainteed.com](http://www.certainteed.com).



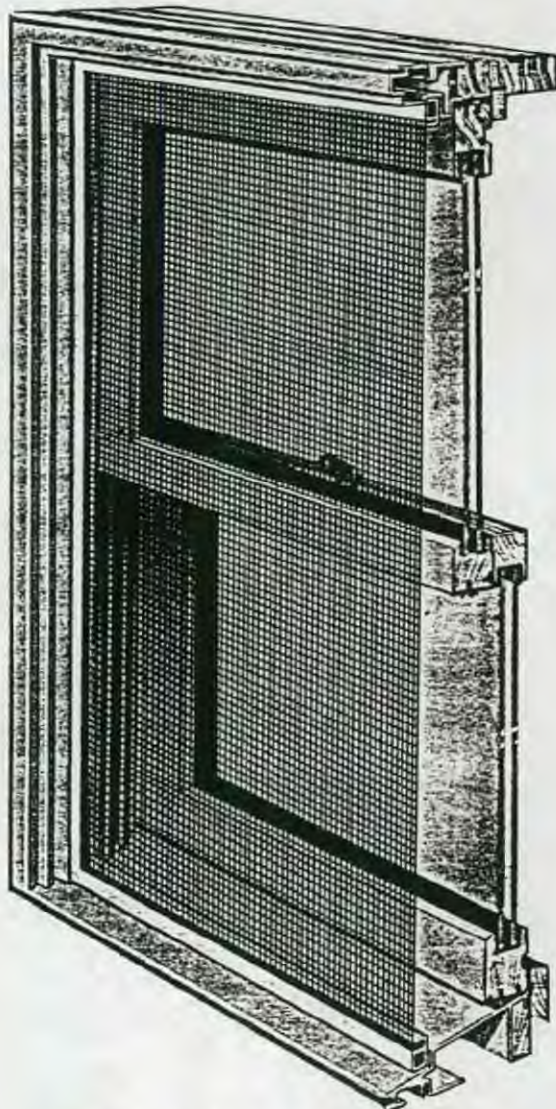
CARADCO PRODUCT CATALOG



**Caradco.**

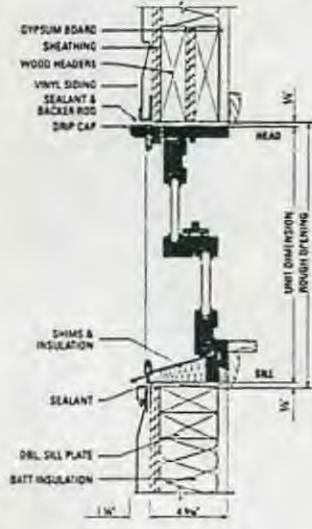
*Windows for tomorrow. Since 1866.™*

# Double Hung Windows



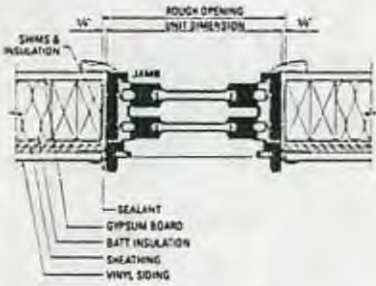
GUARDIAN CLAD WOOD DOUBLE HUNG

## GUARDIAN CLAD DOUBLE HUNG: 2X4 FRAME, VINYL SIDING



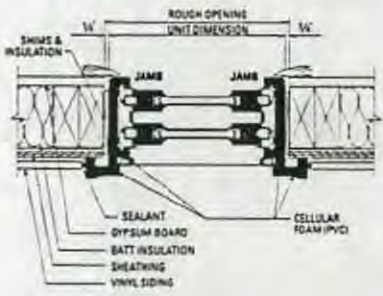
VERTICAL SECTION

## GUARDIAN CLAD DOUBLE HUNG: 2X4 FRAME, VINYL SIDING

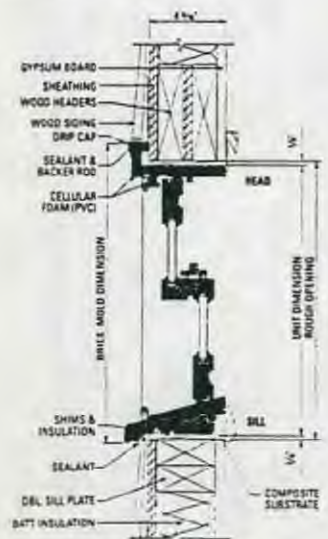


HORIZONTAL SECTION

## CLASSIC PRIMED DOUBLE HUNG: 2X4 FRAME, WOOD SIDING



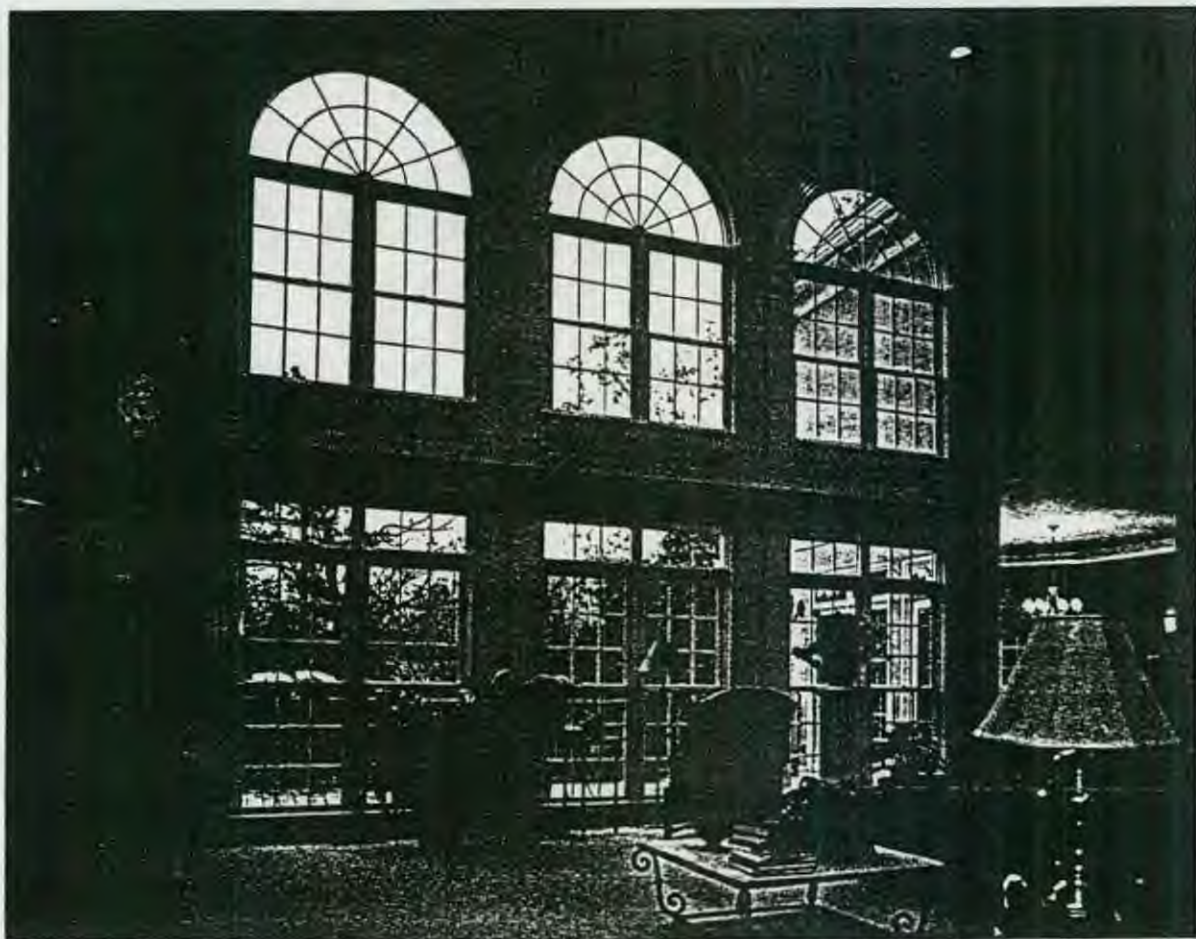
HORIZONTAL SECTION



VERTICAL SECTION

- BASIC UNIT
- ▣ OPTIONAL PARTS AVAILABLE FROM CARADCO

## Double Hung Window



### STANDARD FEATURES

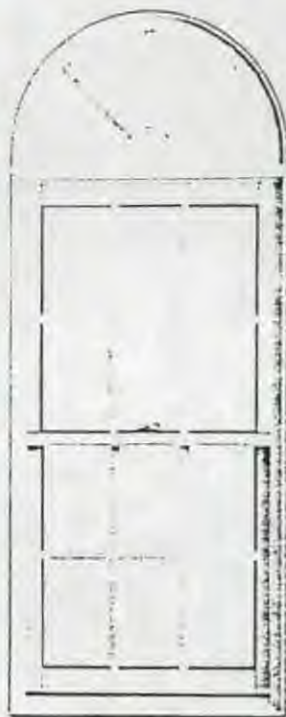
- Thick Western pine, engineered wood, and composite materials for strength, durability, insulating qualities, and beauty, treated with water repellent and wood preservative.
- Natural wood interiors ready for painting or staining.
- Primed wood (*Classic*) or aluminum-clad (*Guardian*) exteriors in Brilliant White, Chestnut Bronze, Sandstone, Hartford Green, or French Vanilla.
- 4 $\frac{1}{16}$ " jamb width.
- A combination of TPE bulb and vinyl-covered foam weather stripping for a weathertight, draft-proof seal.
- Energy-efficient  $\frac{1}{8}$ " insulated glass with Warm Edge™ Intercept™ Spacer.
- Tilt-in, removable sash for easy cleaning. Tilt-Assist feature facilitates the tilting of the bottom sash.
- Insulated Flex-Hinge® jamb liners for years of trouble-free operation.
- Standard sizes ranging from 1'-9 $\frac{1}{8}$ " x 3'-0" to 3'-9 $\frac{1}{8}$ " x 6'-4".
- Many egress-sized units.
- Chestnut bronze hardware.
- White screens (*primed units*). Screens match clad color on clad units.

### OPTIONAL FEATURES

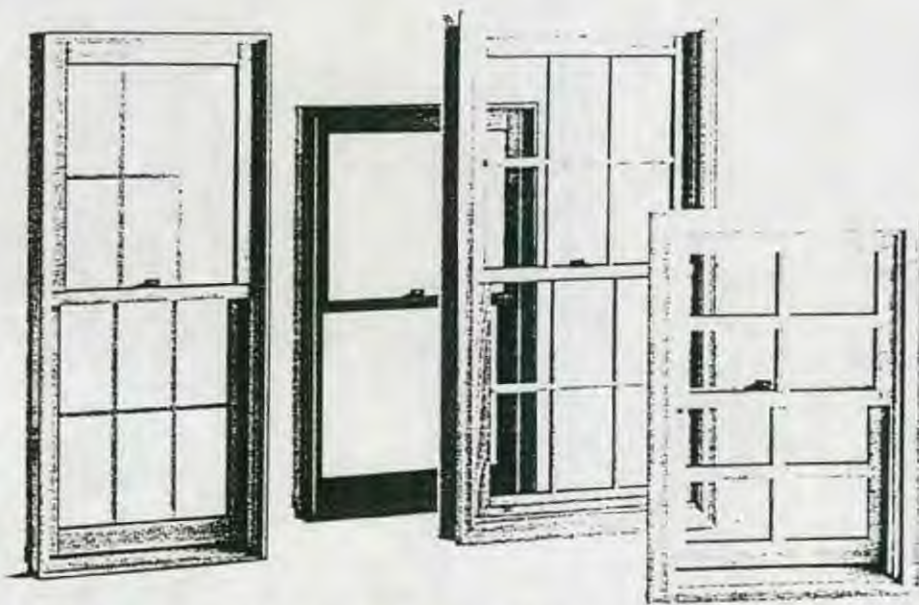
- Additional colors of cladding.
- Applied jamb extensions to accommodate various wall thicknesses.
- Simulated Divided Lites (SDL) featuring a gray anodized grille bar between the glass and a permanently affixed wood interior grille. Available with  $\frac{7}{8}$ ", 1 $\frac{1}{4}$ ", or 1 $\frac{3}{8}$ " wide muntins. Creates the look of authentic divided lites.
- Simulated Divided Lites (SDL) with a removable wood interior grille. Available with  $\frac{7}{8}$ ", 1 $\frac{1}{4}$ ", or 1 $\frac{3}{8}$ " wide muntins.
- Aluminum integral colonial grilles (*grilles between glass*). Available with either profiled or flat bar.
- Removable wood interior grilles. Available with  $\frac{7}{8}$ ", 1 $\frac{1}{4}$ ", or 1 $\frac{3}{8}$ " wide muntins.
- Argon-filled LoE<sup>2</sup> insulated glass.
- Gray or bronze tint, obscure or tempered glass. Glass options are dependent upon unit size and sash weight. Please contact your local Caradco supplier.
- White or Bright Brass hardware.
- Designed to be factory-combined with other Caradco products.
- Extruded aluminum brick mold is available in Brilliant White, Chestnut Bronze, Sandstone, Hartford Green, or French Vanilla (*clad units only*).
- Foam insulating inserts are available for the Guardian sill.

*Flex-Hinge® is a registered trademark of Intek Weatherseal Products, Inc.*

# Double Hung Windows



WHITE CLAD WOOD DOUBLE HUNG WITH SDL AND HALF-ROUND TOP (EXTERIOR).



WHITE CLAD WOOD DOUBLE HUNG WITH GBG (EXTERIOR); SANDSTONE CLAD WOOD DOUBLE HUNG (EXTERIOR); WOOD DOUBLE HUNG WITH KD GRILLES (INTERIOR); WOOD DOUBLE HUNG, PAINTED WHITE, WITH 1 1/8" SIMULATED DIVIDED LITES (EXTERIOR).



BRIGHT BRASS



WHITE



CHESTNUT BRONZE

## TILT-ASSIST\* FEATURE:

CARADCO DOUBLE HUNGS ARE EQUIPPED WITH THE TILT-ASSIST FEATURE WHICH FACILITATES THE TILTING OF THE BOTTOM SASH. TO ENGAGE THE TILT-ASSIST, RAISE THE BOTTOM SASH UNTIL THE CHECK RAIL SLIDES APPROXIMATELY HALFWAY OVER THE TILT-ASSIST DEVICE. THE JAMB LINERS WILL COMPRESS INTO THE FRAME POCKET, ALLOWING THE BOTTOM SASH TO EASILY TILT INWARD.

## HARDWARE:

CARADCO OFFERS DOUBLE HUNG LOCKING HARDWARE IN A CHOICE OF THREE COLORS: BRIGHT BRASS, WHITE, AND CHESTNUT BRONZE. SO NO MATTER WHAT YOUR AESTHETIC NEED IS, WE HAVE THE STYLE TO MATCH.

TILT-IN, REMOVABLE SASH FEATURE FOR EASY CLEANING.



\*PATENTED



## JAMB LINER:

CARADCO DOUBLE HUNGS ARE EQUIPPED WITH FLEX-HINGER® JAMB LINERS, WHICH PROVIDE CONSISTENT EASE OF OPERATION AND PREVENT AIR AND WATER PENETRATION.

# THERMATRU® DOORS

THE DOOR SYSTEM YOU CAN BELIEVE IN



Fiber-Classic Door Style: FC31 with FC13SL sidelites and 19630T transom.



Fiber-Classic Door Style: Double FC19 with FC19SL sidelites.



Fiber-Classic Door Style: FC33 with FC53SL sidelites.

## FIBER-CLASSIC® DOOR SYSTEMS

### *Beauty That Endures*

Far Superior to Wood, Yet Priced Comparably Less

All doors used to be made of wood because people liked the warm, rich look of wood. But they disliked wood's drawbacks . . . warping due to humidity, cracking because of the heat, splitting in extreme cold and splintering over time.

### **Durable and Energy-Efficient**

With the patented Fiber-Classic door, you get the look and feel of wood without wood's disadvantages. Our superior fiberglass technology takes the best qualities of wood and improves upon them.

The Fiber-Classic door:

- Resists damage - **no splitting, cracking or warping like wood.**
- **Insulates five times better than wood doors** due to its solid polyurethane foam core.
- **Stains to look just like wood** and the finish lasts **three times longer.**

Fiber-Classic doors are available in embossed, raised-panel and 8' tall styles. Create the custom door you've always wanted with any of these panel styles by combining them with over one hundred doorlite choices, including matching sidelites and transoms.



### Warranty

All Fiber-Classic® door system carries a lifetime limited warranty for as long as you own your home. To obtain a copy of the Fiber-Classic® door system warranty, contact your local Therma-Tru dealer.

**For a FREE catalog and the dealer nearest  
you, click here or call 1-888-366-7799.**

[Return to Therma-Tru Homepage](#)

June 22, 2000

# GENERAL SPECIFICATIONS

## Therma-Tru Entry Doors

All doors shall be manufactured by Therma-Tru Corp. The panels shall be laminated, using a high-performance adhesive to thermally broken, trimmable stiles and rails forming a perimeter to reduce thermal transmission and allow for field preparation of hardware. The bottom edge shall be manufactured from a moisture-resistant and decay-resistant composite. The core shall be foamed-in-place, CFC-free polyurethane with a density of 2.0 pcf minimum, K-factor of 0.14 BTU hr<sup>-1</sup> ft<sup>-2</sup> which shall completely fill the cavity and bond the stiles, rails, faces (glass in Fiber-Classic patio and flush-glazed doors and sidelites) into an integral panel. Doors mortised to accept Therma-Tru 4" x 4" hinges. The doors shall be supplied in 2/8 (32") or 3/0 (36") widths and a nominal height of 6/8 (79 7/32"). Some styles are available in 2/6 (30"), 2/10 (34") and 3/6 (42") widths and 6/6, 7/0, and 8/0 heights.

**Independent Laboratory Performance Testing**  
Therma-Tru entry\* and hinged patio door systems have been tested and certified at the DP25 performance level for structural load, air infiltration and resistance to water penetration. Therma-Tru sliding patio doors qualify at the DP40 level. Performance levels are per AAMA/NWDDA 101/I.S.2-97. Tests meet standards ASTM E330, ASTM E-547, ASTM E283, and ASTM F842. Some building jurisdictions in hurricane and coastal areas have specific testing requirements that differ from these, and performance levels of Therma-Tru entry and hinged patio door systems may carry higher ratings specific to each jurisdiction's requirements.

## Classic-Craft® Entry Doors

Panel face shall be manufactured from a proprietary thermoset composite, wood-grained to duplicate a handcrafted red oak master and can be stained or painted. Door edges shall be machineable kiln-dried clear northern red oak, flush and square with door faces. The lock side shall be reinforced with a wide engineered lumber stile that runs the length of the door. (Model CC30750 oval door panel design ©1996).

## Fiber-Classic® Entry Doors

Panel face shall be manufactured from a fiberglass-reinforced thermoset composite compound, wood-grained in red oak and can be stained or painted. A 2 3/8" wide wood lockblock shall be incorporated to provide support and allow for mounting of hardware. The door shall be trimmable in width up to 1/2" and in length by 3/4". Trimming shall be performed in accordance with manufacturer's instructions.

## Smooth-Star™ Entry Doors

Panel face shall be manufactured from a fiberglass-reinforced thermoset composite compound that must be painted. A 2 3/8" wide wood lockblock shall be incorporated to provide support and allow for secure mounting of hardware. The door shall be field trimmable in width up to 1/2" and in length by 3/4". Trimming shall be performed in strict accordance with manufacturer's instructions. (Model SS30060 texture and panel design ©1998)

## Premium Steel Entry Doors

Both sides of each panel shall be 24-gauge galvanized steel. The door edges shall be machineable kiln-dried white pine and provide full thermal break. A wood lockblock shall be incorporated to provide extra support for secure mounting of hardware. Doors shall be primed in a semi-gloss white primer.

\* For best performance, double doors to be used in areas with severe weather exposure must be installed using entry alcoves or large soffit overhangs to protect entry unit from exposure.

## Construction Series Doors

Both sides of each panel shall be 25-gauge galvanized steel. The door edges shall be machineable kiln-dried white pine and provide full thermal break. All door surfaces are factory primed in grey to accept exterior paint.

## Doorlites

Doorlites are insulated and exposed panes are tempered for safety and security. Single paned glass is available in a select group of clear doorlites. Optional wood grilles available for clear doorlites and transoms.

**Inserts** - All glass (except flush-glazed styles) shall be bedded with glazing mastic and secured in doors with screws. Therma-Tru's TCM and BTS doorlite frames are available for most styles except where noted. TCM and BTS frames shall resist significant deformation by heat up to 200°F regardless of paint or stain color or placement behind a storm door. PVC doorlite frames require a finish within 30 days of installation. Failure to do so will void the warranty. DO NOT finish PVC doorlite frames a dark color or install behind a storm door.

**Flush-Glazed** - The glass in flush-glazed styles shall be molded in place by a proprietary process that bonds the glass, door panels and core into one integral panel.

## Transoms

Transom frames and brickmould available to match door frames in clear pine or northern red oak. All transoms are 13 1/2" in height.

## Components

**Adjustable Security Strike Plate** - Proprietary adjustable type, permitting in-out adjustment of door in frame, up to 3/16".

**Hinges** - Available in steel, zinc-plated, brass or chrome (626) finish. Optional solid brass hinges are available for Classic-Craft systems. Minimum hinge size 4" x 4" x .098".

**Weatherstripping** - Long reach jacketed urethane weather-strip, in proprietary design, kerf-fit to frame stops, door bottom gasket with patented sill-interface feature, and right and left side corner seal pads. For steel doors, magnetic weatherstrip is available.

**Sills** - Wide range of sill options: thermally broken fixed, adjustable with oak threshold, and public access. "Monumental" grade is available in bronze, brass or mill finishes with decay-resistant composite substrate. Other sills available for inswing or outswing units in aluminum with mill or bronze anodized finish.

**Astragals** - Locking astragal for double door application with both leaves active is available in pine or with clear northern red oak to match door.

## Finishing and Painting

Classic-Craft and Fiber-Classic door systems should be stained using a Therma-Tru Finishing Kit. If painting, we recommend the use of acrylic latex finishes (exterior grade on outside). Smooth-Star, Premium Steel and Construction Series door systems should also be painted using acrylic latex paint (exterior grade on the outside). No primer is needed on Smooth-Star fiberglass doors or steel doors. DO NOT use automotive paint.

## Maintenance

Inspect finished surfaces periodically, as well as seal-

## 20-Minute Fiber-Classic Fire Doors

Embossed and flush styles include a fire barrier which is foamed-in-place and carry a Warnock-Hersey or affidavit 20-minute fire rating. Doors are available in 2'6", 2'8" and 3'0" widths by 6'8" height. Select primed wood frames carry a 20-minute rating.

## Steel Fire Doors

**B-Labelled 1 1/2 Hour Fire Doors** - Embossed and flush styles carry a Warnock-Hersey 1 1/2 hour B-Label fire rating. Doors are available in 2'8" and 3'0" widths by 6'8" and 7'0" heights. Lock prep for GS-161 and other standards.

**C-Labelled 45-Minute Fire Doors** - The 3'0" flush and narrower width Therma-Tru Steel fire door has passed the 45-minute C-Label Fire Test in accordance with ASTM E-152-66 procedures. Complies with F.H.A. Material Release #658. Acceptance #6329, S.T.C. information available.

**C-Label 20-Minute Fire Doors** - Embossed and flush styles carry a Warnock-Hersey 20-minute C-Label fire rating. Doors are available in 2'6", 2'8" and 3'0" widths by 6'8" and 7'0" heights. Lock prep for GS-161 and other standards.

## 1 1/2 Hour Fire-Rated Frames

Fire-rated steel frames bear a certification label by Warnock-Hersey International, an independent testing, certification, inspection and listing agency. Testing was conducted per ASTM E-152, and also meets CAN4-S104 (ULC-S104), NFPA-252, UBC 43-2 and UL10(b). Fire frame hinge preparations receive three 4" x 4" hinges and are reinforced with 15-gauge steel gusset plates.

**Split-Jamb Fire Frame** - Door jamb base section shall be 18-gauge G-60 galvanized steel. Extension/closure section shall be 22-gauge G-60 galvanized steel, up to wall thickness of 6 1/2", over which the section shall be of 18-gauge G60 galvanized steel. The frame shall have a kerf feature in the stop, fitted with a fire-rated foam-filled weatherstrip, removable for painting. Extension/closure sections shall provide at least 1" of frame depth adjustment.

**Expandable Steel Frame** - Frame shall be 18-gauge galvanized steel with throat openings for single and double-door applications. Throat expands from 4 5/8" to 7 5/8". Frame has fire-rated compression weatherstrip included.

## Fire Rating Performance Standards

Fire and building codes vary throughout the country and acceptance of products and labels is left to the discretion of the local authorities. Consult NFPA-80 for further information on labeling, testing procedures and standards and their meaning. MODIFICATION OF PRODUCTS DESCRIBED IN THIS BROCHURE WHICH CARRY FIRE RATINGS (DOORS AND FRAMES) MAY VOID THE FIRE RATINGS. DOUBLE FIRE DOORS ARE NOT FIRE-RATED.

\*\*Test conducted by Warnock-Hersey International Laboratories.

ants and gasketing. All may be affected by exposure to sun, moisture and environmental conditions. Recoat stained surfaces with clearcoat, or repaint painted surfaces when they appear dull or rough. Be sure to check expiration dates on containers. Installation, finishing and maintenance must be performed in accordance with Therma-Tru's recommendations to comply with warranty requirements. Complete instructions for finishing, painting and maintenance are supplied with units and with the Therma-Tru Finishing Kit.

## Beauty That Endures

*Far Superior to Wood,  
Yet Priced Comparably Less*

All doors used to be made of wood because people like the warm, rich look of wood. However, they disliked wood's drawbacks...warping due to humidity, cracking because of the heat, splitting in extreme cold and splintering over time.

### Durable and Energy-Efficient

With the patented Fiber-Classic door, you get the look and feel of wood without wood's disadvantages. Our superior fiberglass technology takes the best qualities of wood and improves upon them.

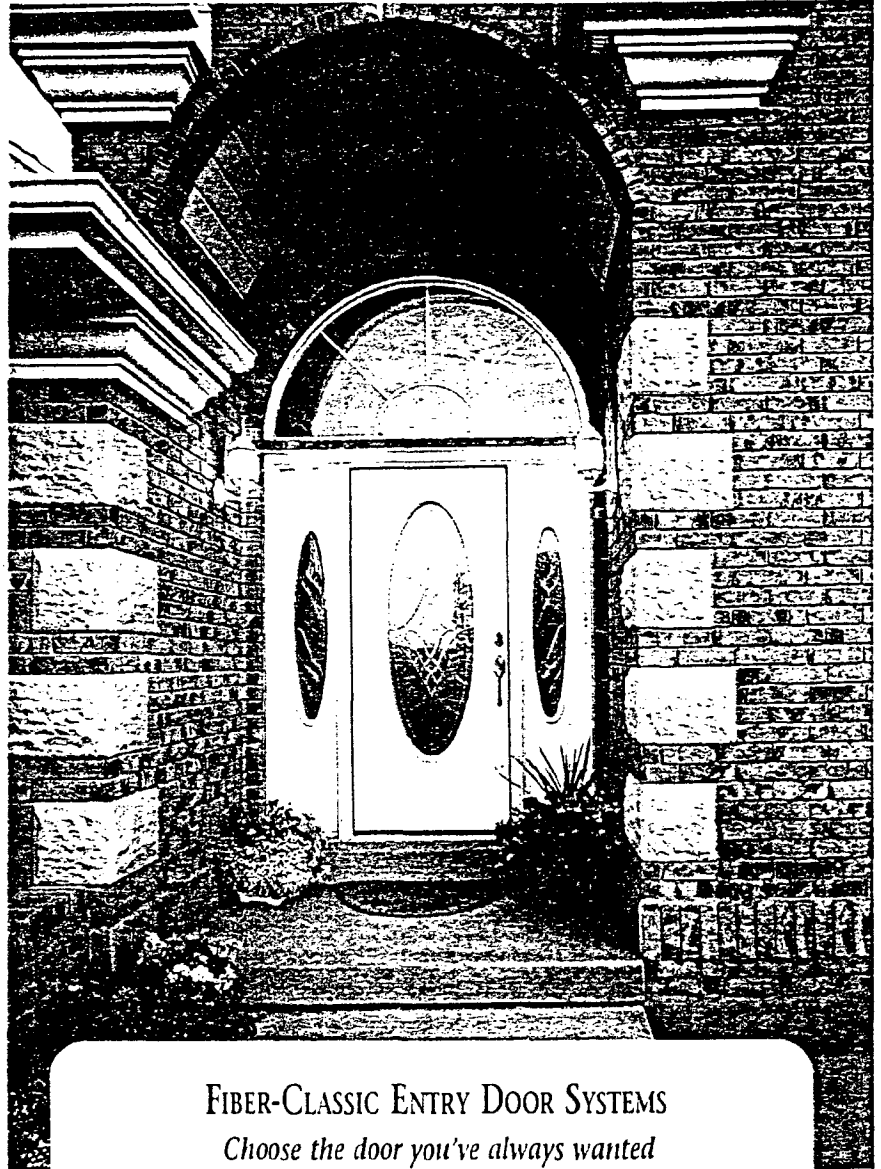
The Fiber-Classic door:

- Resists damage – *no splitting, cracking or warping like wood*
- Insulates *five times better than wood doors* due to its solid polyurethane foam core
- *Stains to look just like wood* and the finish lasts *three times longer*.

Create the custom door you've always wanted with any of the various panel styles by combining them with over one hundred doorlite choices, including matching sidelites and transoms.

### Warranty

All Fiber-Classic door systems carry a *lifetime limited warranty* for as long as you own your home. To obtain a copy of the Fiber-Classic door system warranty, contact your Therma-Tru dealer.



### FIBER-CLASSIC ENTRY DOOR SYSTEMS

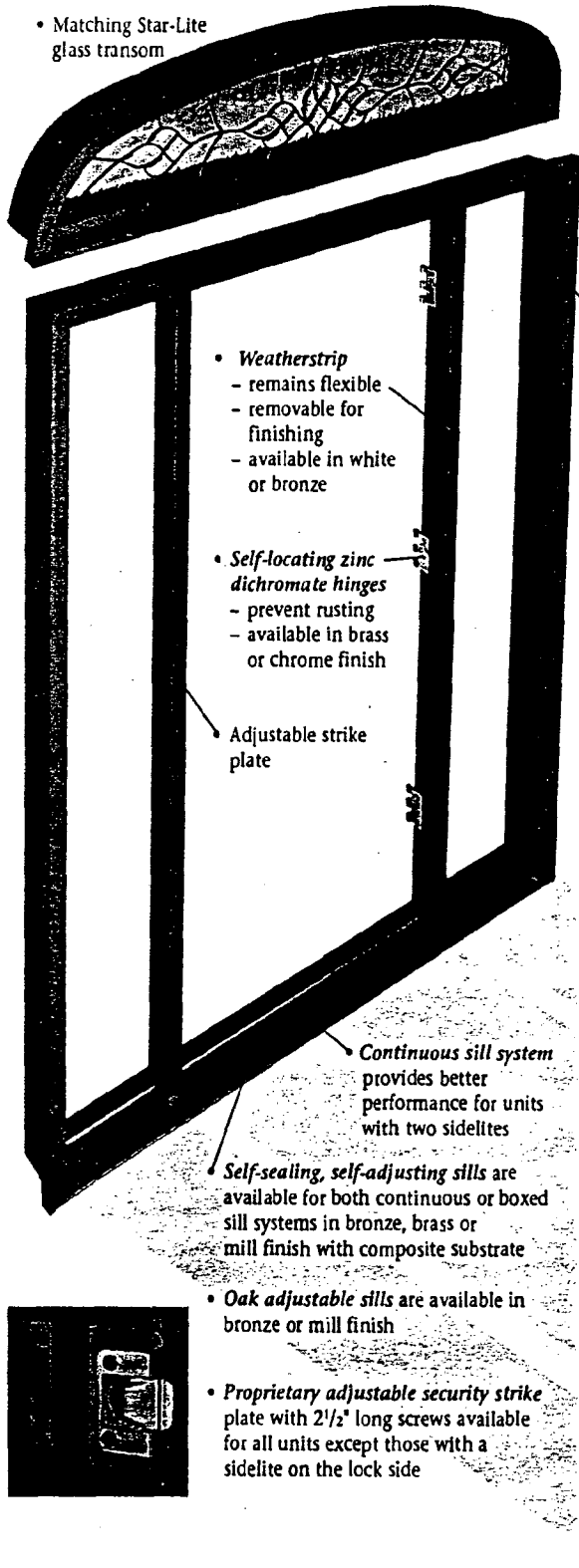
*Choose the door you've always wanted  
from well over two hundred style options.*

	<i>Pages</i>
• Designline Series – raised panel design	47-51
• Embossed Door Series – distinctive recessed panels	54-67
• 8' Door Series – in both Embossed and Designline styles	68-73
• Flush-Glazed Door Series – economical one-piece design	74
• Fire Door Series – protection between the garage and home	75
• Patio Door Series – options include full height, replacement height and 8' tall heights	106-109

## Features and Benefits

*Our Parts Are Stronger as a Whole*

Therma-Tru offers the complete Fiber-Classic door system, including the doorlites, jambs, brickmould, weatherstrip, hinges, door bottom and a wide variety of sill options. All components are designed, engineered, and manufactured for total performance and appearance.



• Matching Star-Lite glass transom

- **Weatherstrip**
  - remains flexible
  - removable for finishing
  - available in white or bronze

- **Self-locating zinc dichromate hinges**
  - prevent rusting
  - available in brass or chrome finish

• Adjustable strike plate

• **Continuous sill system** provides better performance for units with two sidelites

• **Self-sealing, self-adjusting sills** are available for both continuous or boxed sill systems in bronze, brass or mill finish with composite substrate

• **Oak adjustable sills** are available in bronze or mill finish

• **Proprietary adjustable security strike plate** with 2 1/2" long screws available for all units except those with a sidelite on the lock side

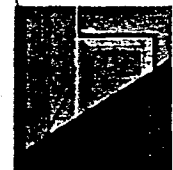
• Primed pine jambs and brickmould trim

• Fiber-Classic doorlite frames made from our exclusive TCM material resist cracking, warping and splitting - finishes easily to match the door

• Star-Lite decorative glass doorlites feature rounded bright brass coming encased between two panes of tempered glass for energy efficiency and easier cleaning

• Tough, **compression molded fiberglass** faces provide outstanding durability

• **Wide wood lockblock** for secure mounting of handleset hardware



• **Solid, CFC-free, polyurethane foam core** provides five times greater insulation value than a wood door

• **Laminated wood lock stile** adds stability plus provides a full thermal break and allows for field trimming

• **Molsture-resistant bottom end rail** won't rot or warp

• **Leak-proof kerfed door bottom technology**





[Contractor's EDGE™ Programs](#)

## Residential Roofing: CertainTeed: Specifications

[Installation](#)

# Technical Product Information CertainTeed XT™ 25 Roofing Shingles FungusBuster® 25 Roofing Shingles

[Products Residential Commercial](#)

[Sales Regions/Maps](#)

**CERTAINEED CORPORATION**  
Roofing Products Group  
750 E. Swedesford Road, PO Box 860  
Valley Forge, PA 19482  
Phone: (800) 233-8990  
FAX: (610) 341-7940

[Specifications](#)

[Warranties](#)

[Site Map](#)

[| XT 25 Product Detail | FungusBuster 25 Product Detail | Technical Product Info |](#)  
[| Architectural Specifications | Installation | Warranty |](#)

**HOMEOWNER SITE**

## PRODUCT DESCRIPTION

An extra-heavy, three-tab construction combines exceptional durability with flexibility for better resistance to blow-off. Available in "English" dimensions – 12" x 36".

XT 25 is also available in an algae-resistant version, called FungusBuster 25, which protects against staining or discoloration caused by algae.

XT 25 shingles are available in the following colors: Autumn Brown, Black, Cedar Brown, Cinnamon Frost, Coral Frost, Dove Gray, Evergreen Blend, Gray Frost, Maple Red Blend, Mint Frost, Moiré Black, Nickel Gray, Oakwood, Pewter, Regal Bark, Sandalwood, Slate Gray, Star White, Timber Blend, and Weathered Wood. Color and product availability can vary by region.

FungusBuster 25 shingles are available in the following colors: Cedar Brown, Cinnamon Frost, Gray Frost, Moiré Black, Nickel Gray, Slate Gray, Star White, Timber Blend and Weathered Wood. Color and product availability can vary by region.

## Limitations

Use on roofs with slopes greater than 2" per foot. Low slope applications (2" to 4" per foot) require additional underlayment. In areas where icing along the eaves can cause a backup of water, apply CertainTeed WinterGuard™ Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

On slopes greater than 21" per foot, apply a 1" diameter spot of asphalt roofing cement (ASTM D 4586, Type II) under each shingle tab corner according to application instructions provided on the shingle package.

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## Composition and Materials:

XT 25 shingles are composed of a fiber glass mat base. Ceramic coated mineral granules are tightly embedded in specially refined, water-resistant asphalt. The algae-resistant shingles utilize specially formulated granules to retard algae growth. XT 25 and FungusBuster 25 shingles have self-sealing adhesive. They are both 3-tab shingles.

## **TECHNICAL DATA**

### **Applicable Standards:**

ASTM D 3018, Type I  
ASTM D 3462  
ASTM E108 Fire Resistance: Class A  
ASTM D 3161, Type I Wind Resistance  
UL 790 Fire Resistance: Class A  
UL 997 Wind Resistance  
NYC-MEA-120-79-M  
BOCA & SBCCI Building Codes  
CSA Standard A123.5-98  
Ontario BMEC Auth. 97-10-219  
Miami-Dade Product Control Acceptance

### **Weights and Sizes**

Weight/Square (approx.): 225 – 230 lb.  
Dimensions (overall): 12" x 36" (English)  
Shingles/Square: 80  
Weather Exposure: 5"

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## **INSTALLATION**

Detailed installation instructions including diagrams are supplied on each bundle of XT 25 shingles, or separate application sheets may be obtained from CertainTeed. The following is a general summary of installation methods. NOTE - Refer to application instructions supplied with the shingles for further information and application procedures.

### **Roof Deck Requirements**

Apply shingles to minimum 3/8" thick plywood, minimum 7/16" thick non-veneer, or minimum 1" thick (nominal) wood decks. The plywood or non-veneer decks must comply with the specifications of APA-The Engineered Wood Association..

### **Ventilation**

Provisions for ventilation should meet or exceed current HUD standards. To insure adequate ventilation, use a combination of continuous ridge ventilation (using a product such as FilterVent® or ShingleVent® II, manufactured by Air Vent Inc., a CertainTeed subsidiary) and balanced soffit venting.

### **Valleys**

Valley liner must be applied before shingles. The Closed-Cut valley application method is recommended, using CertainTeed WinterGuard Waterproofing Shingle Underlayment, or its equivalent, to line the valley prior to being fully covered by the shingles.

### **Underlayment**

At standard slopes (4" per foot or greater) a single layer of Roofers' Select™ High-Performance Shingle Underlayment (or product meeting ASTM D 4869, Type I) is recommended. For UL fire rating, underlayment may be required. Corrosion-resistant drip edge is recommended and should be placed over the underlayment at the rake and beneath the underlayment at the eaves.

On low slopes (2" to 4" per foot), apply CertainTeed WinterGuard Waterproofing Shingle Underlayment or its equivalent, or two layers of 36" wide felt shingle underlayment (Roofers' Select High-Performance Shingle Underlayment or product meeting ASTM D 4869) lapped 19", over entire deck according to the application instructions provided with the product. When WinterGuard is applied to the rake area, the drip edge may be installed under or over

WinterGuard. At the eave, when WinterGuard does not overlap the gutter or fascia, the drip edge must be installed under WinterGuard. When WinterGuard overlaps the fascia or gutter, the drip edge or other metal must be installed over it.

#### **Fastening**

Four nails are required per shingle. They are to be located 5/8" above the top of each cutout and 1" and 12" in from each side of the shingle. Nails must be of sufficient length to penetrate into the deck 3/4" or through the thickness of the decking, whichever is less. Nails are to be 11 or 12 gauge, corrosion-resistant roofing nails with 3/8" heads.

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#### **Application**

The recommended application method is the Six-Course, 6" Stepped-Off Diagonal Method found on each bundle of shingles. These shingles may also be applied using the 5" Stepped-Off Diagonal Method, or the 6" Stepped-Off, Single-Column Vertical-Racking Method, instructions for which may be obtained from CertainTeed. These shingles may be used for new construction or for reroofing over old shingles.

#### **Flashing**

Use corrosion-resistant metal flashing.

#### **Hips and Ridges**

For capping hips and ridges use XT 25 or FungusBuster 25 shingles. Double coursing will accent the rooflines and improve overall appearance.

#### **AVAILABILITY AND COST**

Contact local distributor or dealer for current price information.

For the names of local distributors and dealers, please write:

#### **CertainTeed Architectural Support**

P.O. Box 860

Valley Forge, PA 19482

Phone: (800) 233-8990

Fax: (610) 341-7940

#### **WARRANTY**

XT 25 shingles carry a 25-year limited transferable warranty to the consumer against manufacturing defects. In addition, XT 25 also carries 5-year SureStart protection. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier or applicator or by writing to CertainTeed Corporation).

#### **MAINTENANCE**

XT 25 shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

#### **TECHNICAL SERVICES**

Complete technical support and assistance are available through Architectural Support personnel, Territory Managers, and the fully staffed and equipped Research and Development facility in Blue Bell, PA.

#### **FILING SYSTEMS**

Sweets Architectural Catalog 07310/CER , Internet Website: [www.sweets.com](http://www.sweets.com)

Sweet Source® Electronic Catalog

ARCAT®, Internet Website: [www.arcat.com](http://www.arcat.com)

For additional information and literature contact:

CertainTeed Architectural Support

P.O. Box 860

Valley Forge, PA 19482

Phone: (800) 233-8990

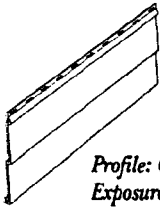
Fax: (610) 341-7940

▲ [Back to Top](#)

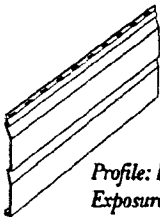
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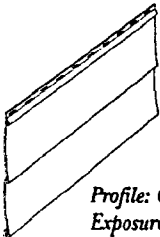




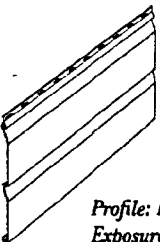
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Exposure: Double 4"  
Butt edge: 1/2"



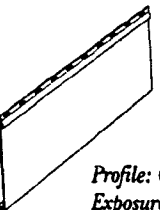
Profile: Dutch Lap  
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Butt edge: 1/2"



Profile: Clapboard  
Exposure: Double 5"  
Butt edge: 3/8"



Profile: Dutch Lap  
Exposure: Double 5"  
Butt edge: 1/2"



Profile: Clapboard  
Exposure: 8"  
Butt edge: 3/8"

The sublime colors and lightly textured finish of Fair Oaks enhance any architectural design. With five profiles to choose from, Fair Oaks is a conservative, sophisticated choice in home exterior design.

Not all profiles available in all colors. See Product Color Selection Guide, page 15, for specific availability. Premium colors only available in Double 4" Clapboard and Double 5" Dutch Lap. 8" Clapboard only available in white.

- Hardwood texture
- Profiles:
  - Double 4" Clapboard
  - Double 4" Dutch Lap
  - Double 5" Clapboard
  - Double 5" Dutch Lap
  - 8" Clapboard
- Colors:
  - Almond
  - Antique Ivory
  - Arcadian
  - Brownstone
  - Canyon Clay
  - Colonial
  - Dover Gray
  - Flannel
  - Maize
  - Mist Blue
  - Pearl
  - Sandalwood
  - Sandstone
  - Snow White
  - Wicker
- Nominal thickness: 0.044"
- Coordinating soffit, fascia and trim accessories
- Lifetime Limited Warranty
- 50-Year Limited Hail Warranty

**Premium Colors**  
Fair Oaks' traditional color palette is accompanied by four new dramatic earth tones. These Premium Designer Colors boast richer, deeper hues for a truly enriching effect.

Arcadian



Brownstone



Colonial



Flannel



## Vinyl Soffit



Made of strong, durable vinyl with color that blends all the way through, Vinyl Soffit requires virtually no maintenance and never needs painted. Select from our premium Advantage Plus and Oxford products, or choose Fairweather, our economy brand.

### Advantage® Plus Premium

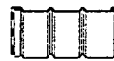
- Brushed texture
- Colors:
  - Almond*
  - Antique Ivory*
  - Brownstone*
  - Canyon Clay*
  - Dover Gray*
  - Maize*
  - Mist Blue*
  - Pearl*
  - Sandalwood*
  - Sandstone*
  - Snow White*
  - Wicker*

- Nominal thickness: 0.044"

- Lifetime Limited Warranty
- 50-Year Limited Hail Warranty



Brushed texture



12" Double V-Groove Solid



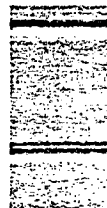
12" Double V-Groove Center Vented



12" Double V-Groove Fully Vented

### Oxford™ Premium

- Hardwood texture
- Color: *Snow White*
- Nominal thickness: 0.044"
- Lifetime Limited Warranty
- 50-Year Limited Hail Warranty



Hardwood texture



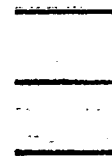
10" Single V-Groove Solid



10" Single V-Groove Fully Vented

### Fairweather™

- Brushed texture
- Color: *Snow White*
- Nominal thickness: 0.042"
- Lifetime Limited Warranty
- 50-Year Limited Hail Warranty



Brushed texture



12" Double V-Groove Solid



12" Double V-Groove Center Vented



12" Double V-Groove Fully Vented

## Trim Coil



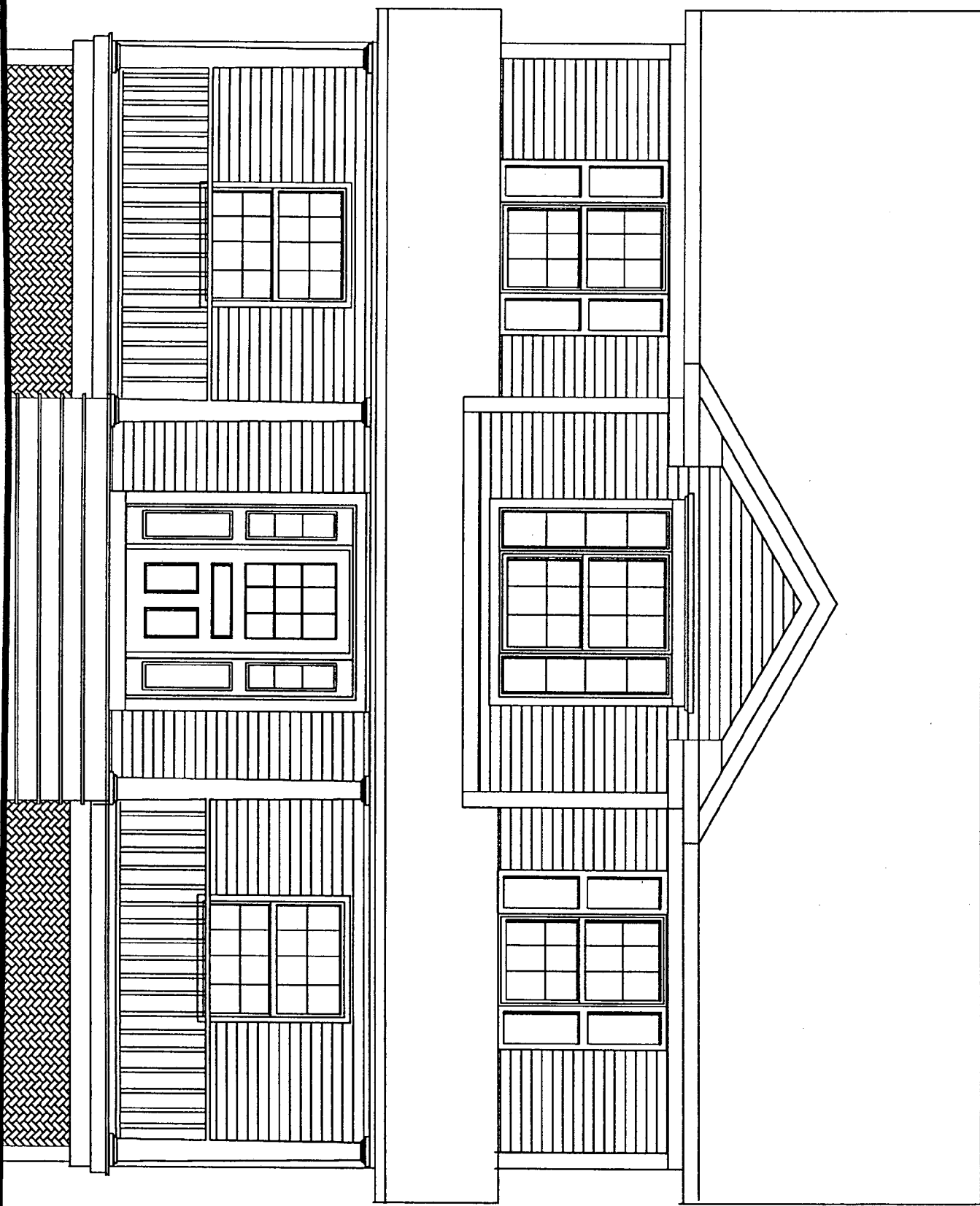
Aluminum and steel Trim Coil match our most popular siding, soffit and fascia colors.

Depending on the product selected, Trim Coil coatings are offered in two finishes, LoMar polyester and polyvinyl chloride (PVC).

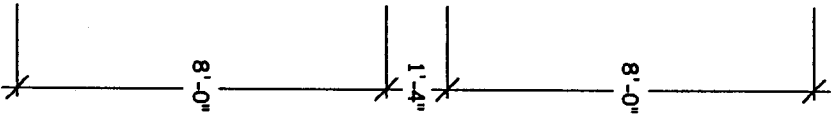
- Coatings:
  - LoMar polyester*  
Soft, low-luster satin finish with excellent resistance to surface marring and scuffing
  - PVC\**  
Premium semigloss (polyvinyl chloride) finish that's several times thicker than ordinary coatings and provides excellent resistance to surface wear and abrasion

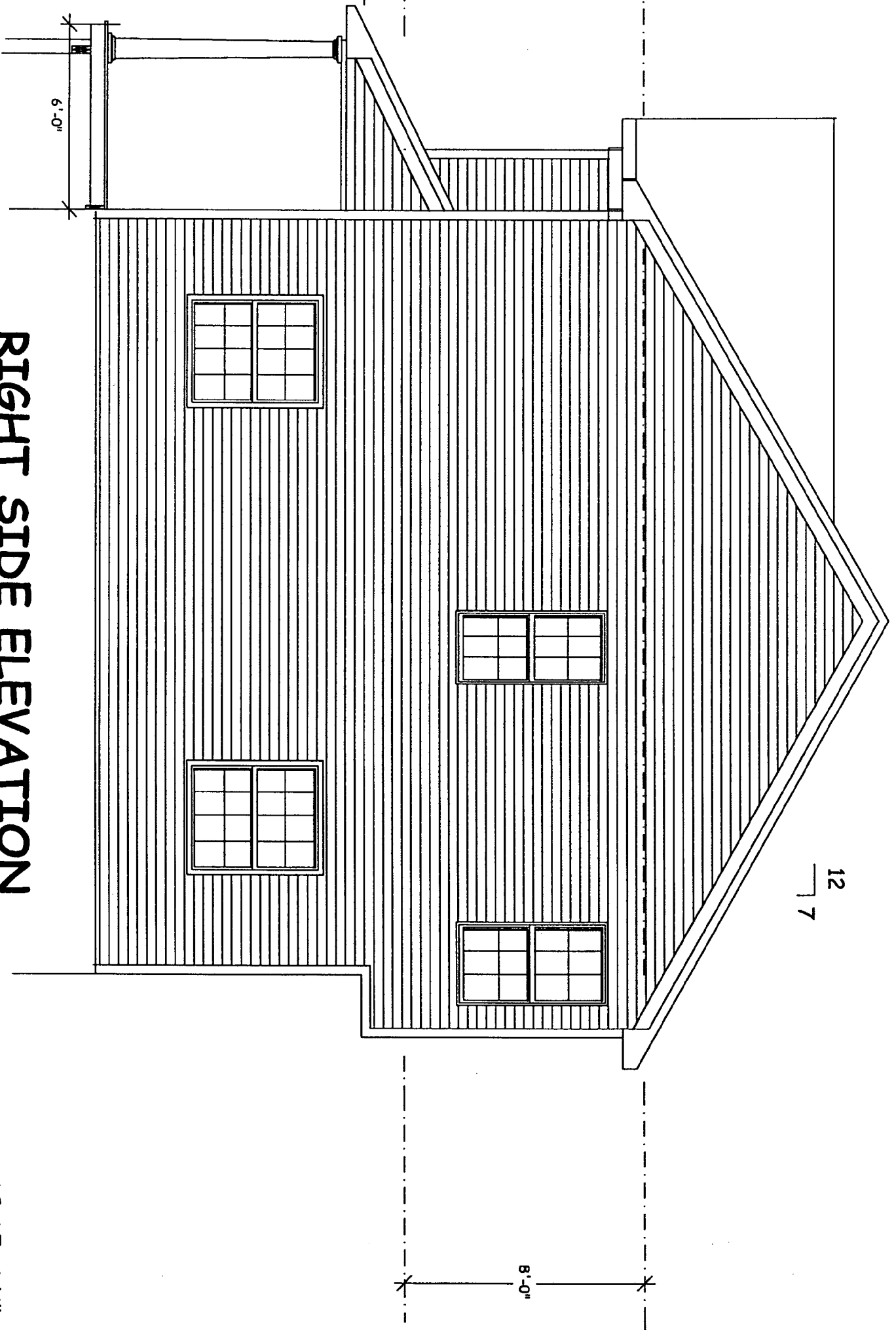
- Colors:
  - Available in a variety of colors, including special palettes compatible with the siding colors of the following manufacturers: Certainteed, Wolverine, Mastic, Royal, Heartland and Vipco. Call your Revere representative for a Coil Color Selector Guide.*

*\*Available on selected products only*



SCALE: 1/4" = 1'-0"





**RIGHT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**LEFT SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

1

PAGE

**KARNS RESIDENCE**

10020 MENLO AVENUE. SILVER SPRING, MD 20910

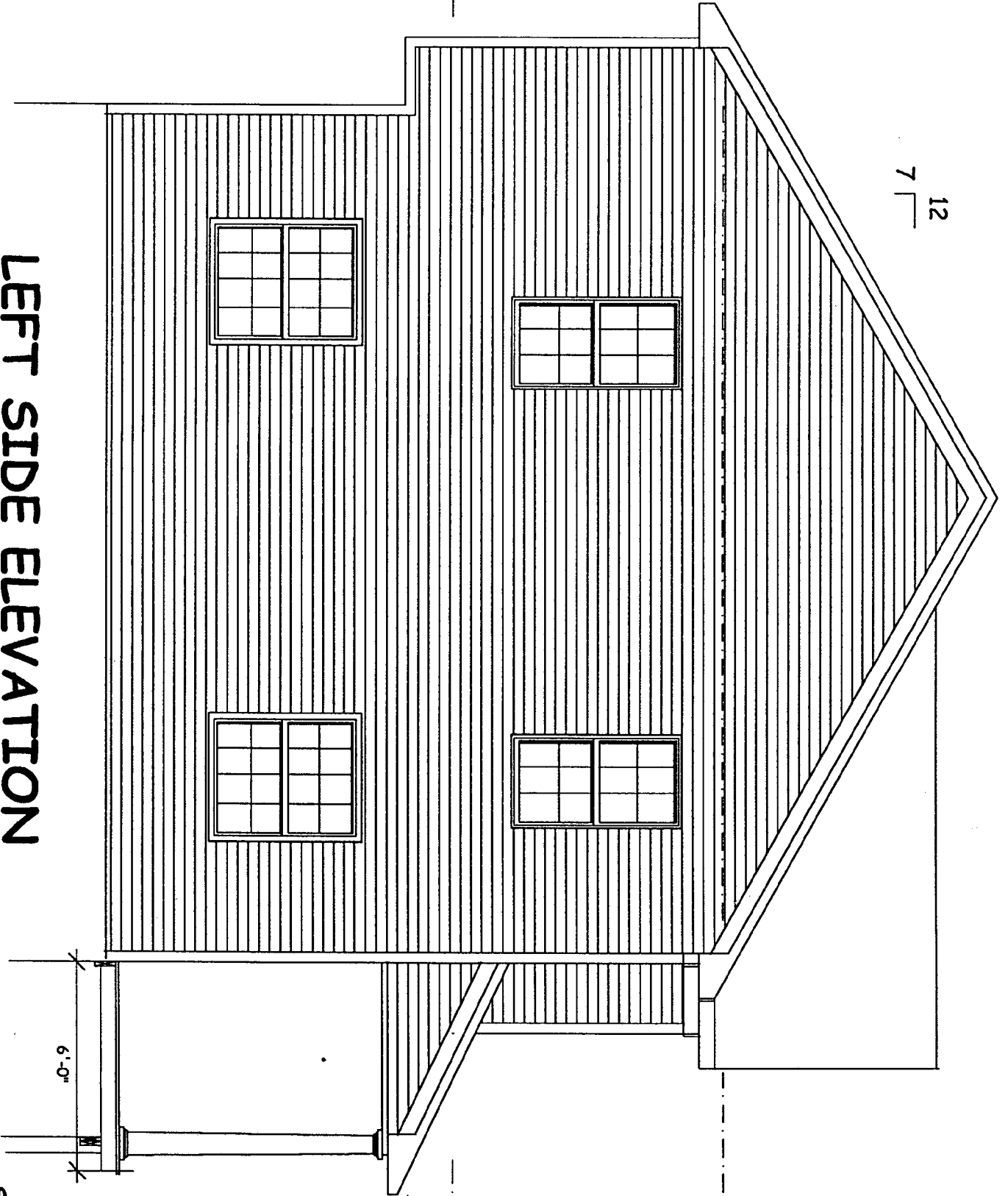
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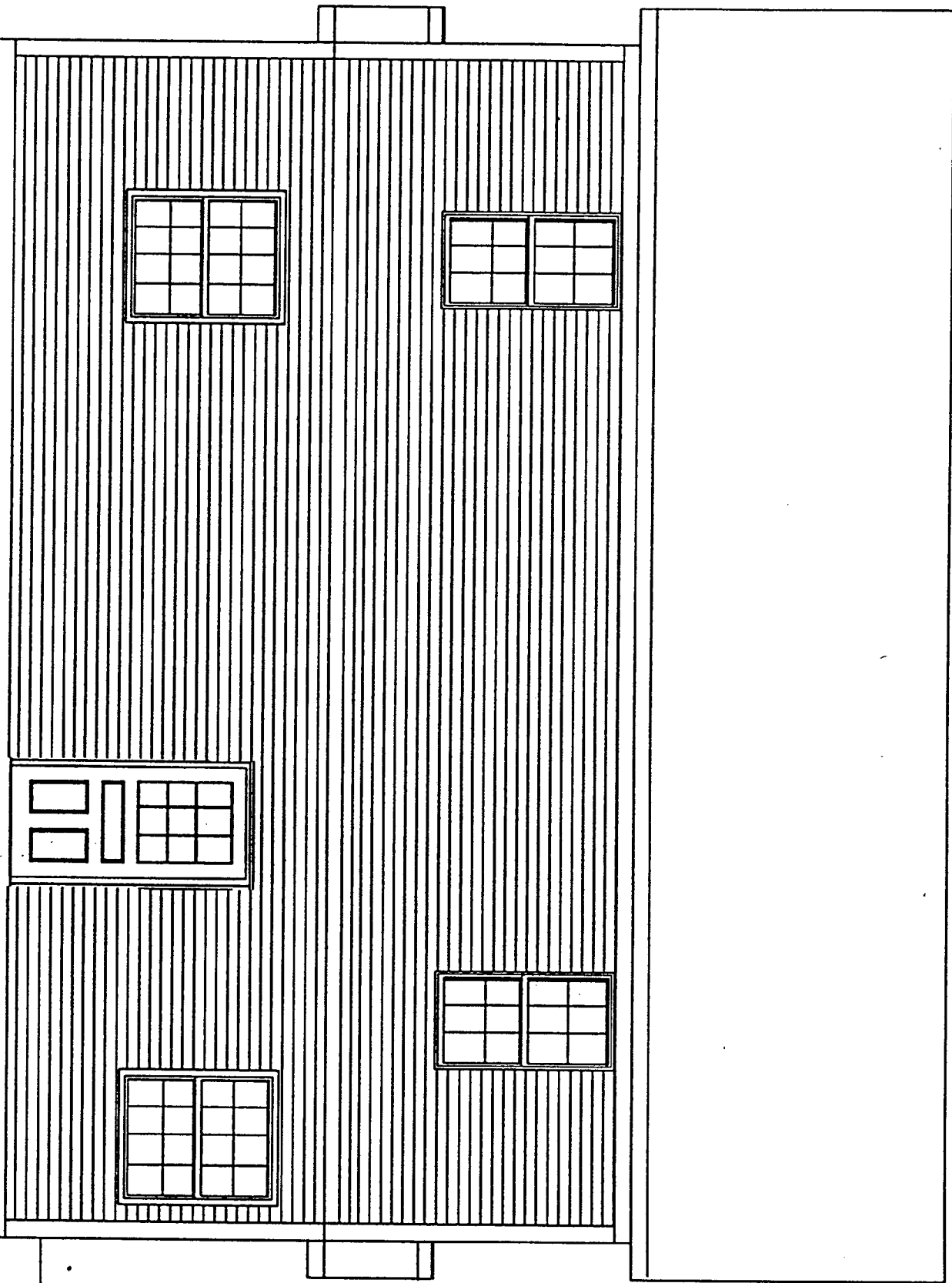
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10/12/2000

12  
7

8'-0"

6'-0"





SCALE: 1/4" = 1'-0"

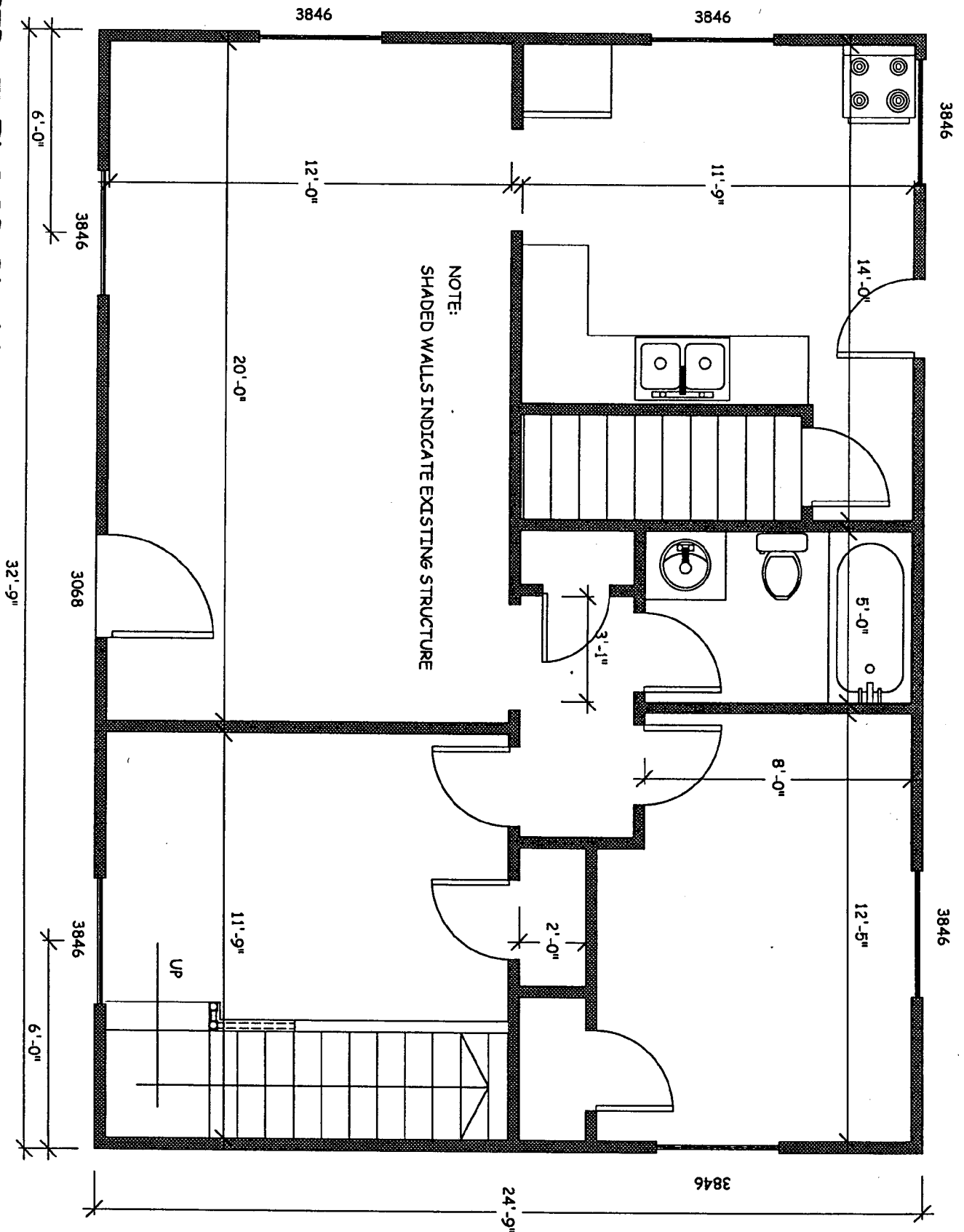
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**KARNS RESIDENCE**  
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10/12/2000

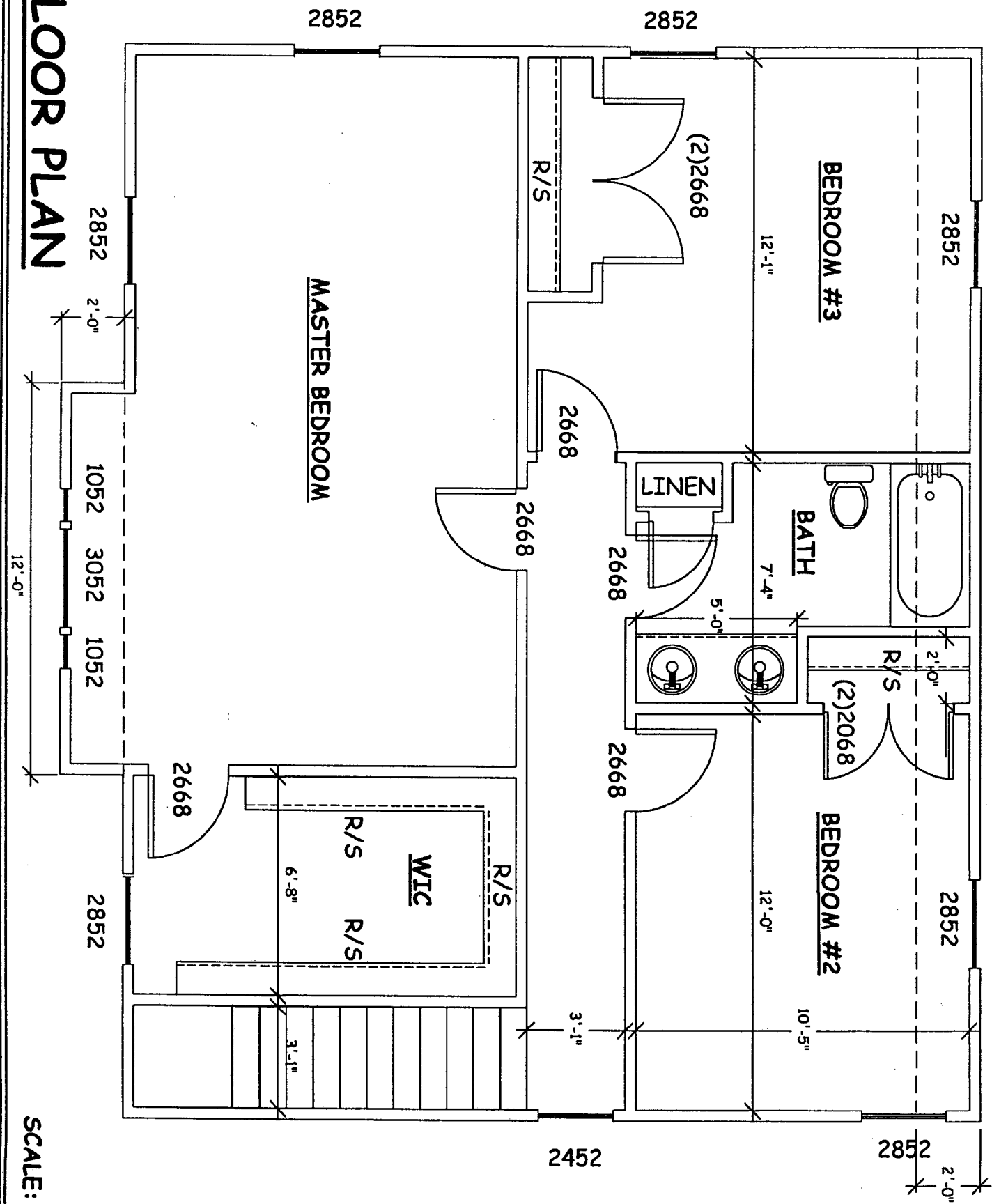
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# EXISTING FIRST FLOOR PLAN



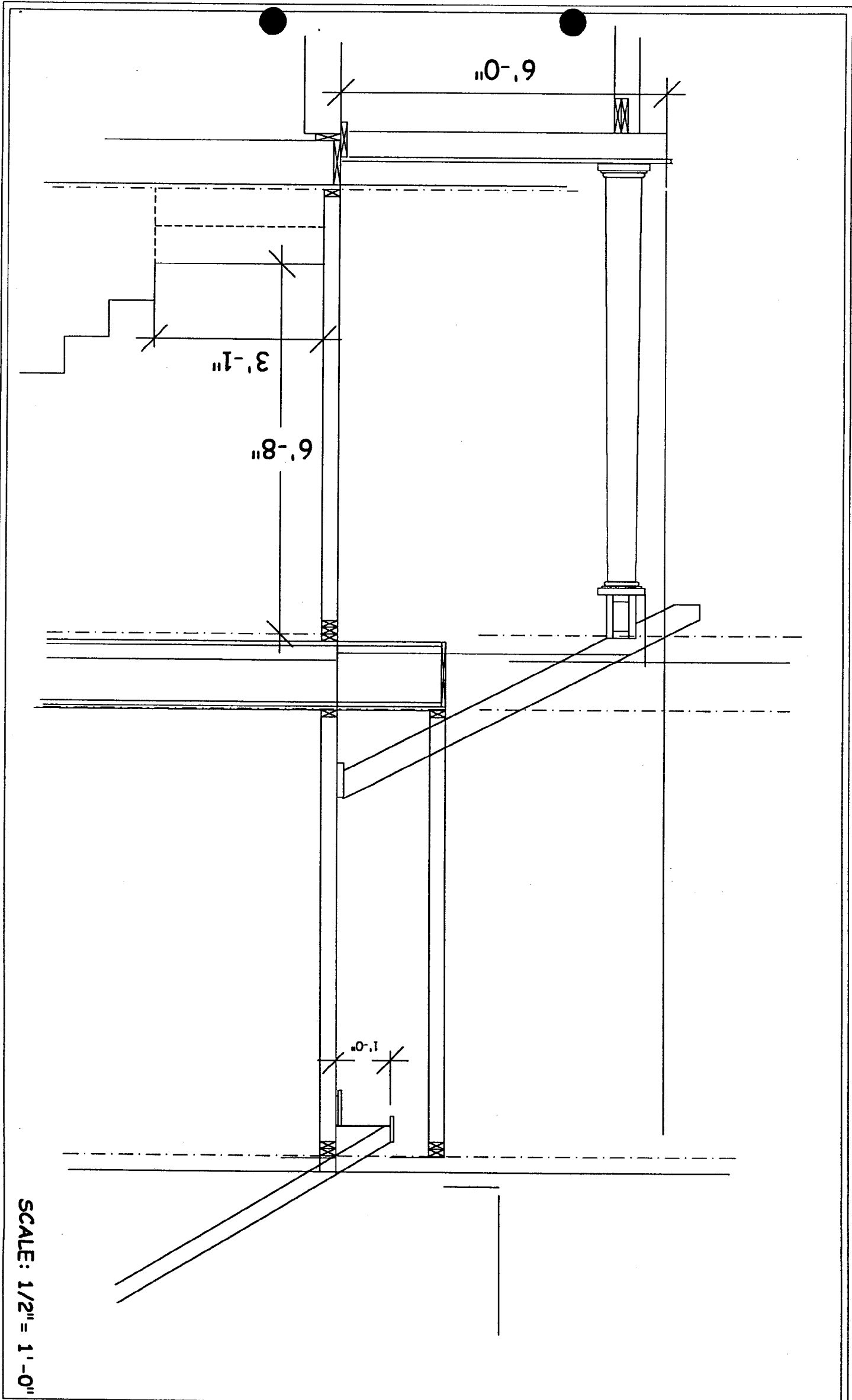
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# SECOND FLOOR PLAN

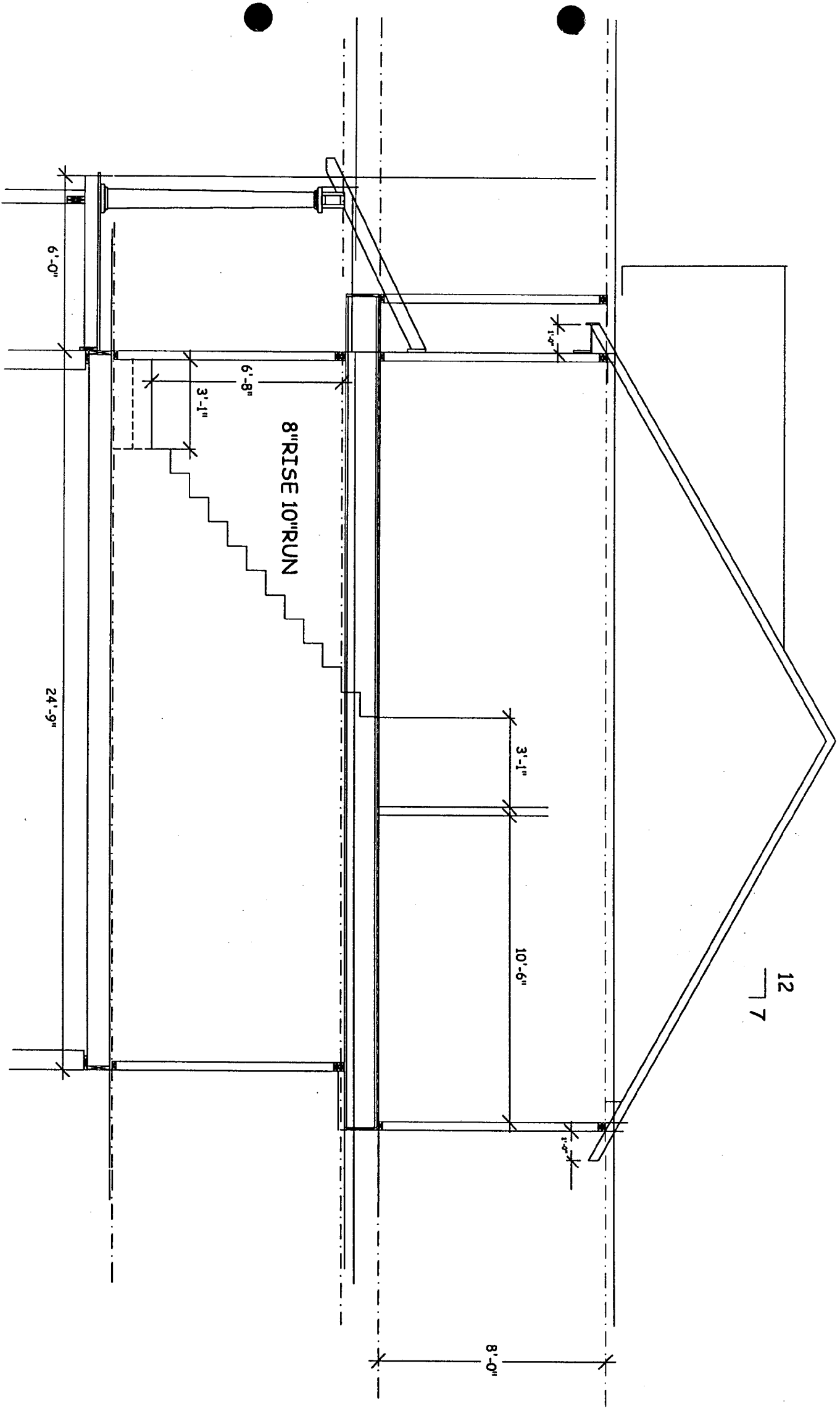


SCALE: 1/4" = 1'-0"





SCALE: 1/2" = 1'-0"



12  
7

SCALE: 1/4" = 1'-0"

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Dominal  
Resource in  
H.D.

---

# 10020 MENLO AVENUE



### Casual User Application

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


MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING  
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8700 Georgia Avenue, Suite 300, Silver Spring, Maryland 20910-3707



Scale: 1" = 264'

### Legend

-  Buildings
-  Pavement Polygon
-  Hydrology - Poly
-  ROW
-  ROW
-  Natural Features
-  wooded
-  Parcels

# 10020 MENLO AVENUE



**Casual User Application**

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 THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
 10020 Menlo Avenue - Silver Spring, Maryland 20902-2703



Scale: 1" = 264'

**Legend**

- Buildings
- Pavement Polygon
- pavement
- Hydrology - Poly
- ROW
- ROW
- Natural Features
- wooded
- Parcels