

31/7 10207 Menlo Ave.
31/7-901



Montgomery County Government

MEMORANDUM

DATE: 5/24/90

TO: Robert Seely, Chief
Department of Environmental Protection
Division of Construction Codes Enforcement

FROM: Jared B. Cooper, ^{JBC}Historic Preservation Specialist
Department of Housing and Community Development
Division of Community Planning and Development

SUBJECT: Historic Area Work Permit Application

The Montgomery County Historic Preservation Commission at their meeting of 5/23/90 reviewed the attached application by John
Bushman

for an Historic Area Work Permit. The application was:

- Approved
- Denied
- With Conditions: _____

Attachments:

1. HAWP Application
2. Site Plan
3. Construction Specs.
4. Plans
5. _____

JBC:av

1199E

Historic Preservation Commission

51 Monroe Street, Rockville, Maryland 20850-2419, 301/217-3625



Montgomery County Government

MEMORANDUM

TO: John Moran, Chairman
C.V.P. Local Advisory Panel

FROM: Jared B. Cooper, Historic Preservation Specialist
Department of Housing and Community Development
Division of Community Planning and Development

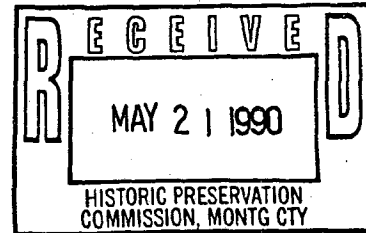
DATE: 5/4, 1990

SUBJECT: Historic Area Work Permit Application

The attached application by John Bushman for an Historic Area Work Permit at 10207 Menlo Ave. is being forwarded for review and comment by the Local Advisory Panel. If the Panel would like written comments to be included in the Historic Preservation Commission's pre-meeting packet, they should be received at our office by no later than Tuesday, May 15, at 5:00 p.m. Otherwise, verbal and/or written comments may be presented at the Commission meeting scheduled for May 23, 1990.

JBC:av
1549E
1/90

May 21, 1990



VIA FACSIMILE
301-217-3677

Jared Cooper
Staff, Montgomery County Historic
Preservation Commission
GBS Building
51 Monroe Street
Suite 1001
Rockville, MD 20850

Re: LAP Comments on Addition to
1207 Menlo Avenue, Capital View Park

Dear Jared:

The existing structure at 1207 Menlo Avenue is a primary resource within the Capital View Park historic district. The LAP recommends that reasonable care should be taken to ensure that any addition to the existing structure be compatible with and not detract from the existing primary resource.

The LAP believes that the two small windows on the side elevation are incompatible in size, style and placement when compared with the existing primary resource. The LAP recommends that the side elevation include two double-hung windows having a frame that is the same as the existing windows. The header or frame of the window should be close to the roof edge in a manner similar to the two second story windows in the front of the existing primary resource, as well as similarly placed windows in the rear of the existing structure.

The LAP is secondarily concerned with the semi-circular window in the rear view of the proposed addition.

The LAP requests that the HPC address the above concerns. The LAP recommends approval subject to appropriate modifications.

Sincerely,

John P. Moran
John P. Moran
Chairman, Capital View Park LAP



Montgomery County Government

November 19, 1990

John and Suzanne Bushman
10207 Menlo Avenue
Silver Spring, Maryland 20910

RE: Request for Amendment to Historic Area Work Permit No. 31/7-90I

Dear Mr. and Mrs. Bushman:

This is to confirm that your request for a revision to your approved Historic Area Work Permit (HAWP) (Number 31/7-90I; approved May 24, 1990) has been reviewed by staff and approved by the Chair of the Historic Preservation Commission. As requested, you may add three skylights, 2'X4', in the kitchen area of the new addition (two lights over the double doors and one over the kitchen stove) and one skylight, 2'X2', over the rear bathroom on the second floor. It is also understood that you will install glass flush against the roof and not the "bubble" style of skylight.

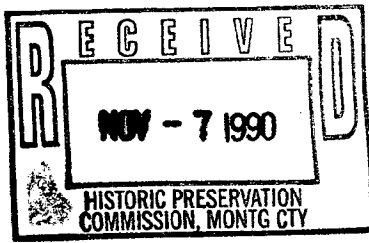
Thank you for filing the amendment with the Commission; a copy of this letter and the revised plans submitted will be transmitted to the Department of Environmental Protection and will be placed in our HAWP file. I apologize for the delay in responding to your request. Please call me at 217-3625 with any other questions.

Sincerely,

Laura E. McGrath

Laura E. McGrath
Planning Specialist

2286E



11-6-90

Dear Historical Commission;

We would like to add 2 skylights over the double doors on the addition and 1 over the stove in the kitchen and ... 1 over the bathroom sink upstairs.

- * Kitchen skylight dimensions are 2" x 4"
- * bathroom skylight 2" x 2"

Our plans have already been approved by you and construction has begun. Please advise as soon as possible if ~~you~~ we may add these skylights.

Enclosed are plans with skylights drawn in.

Thank you.

S. Bushman

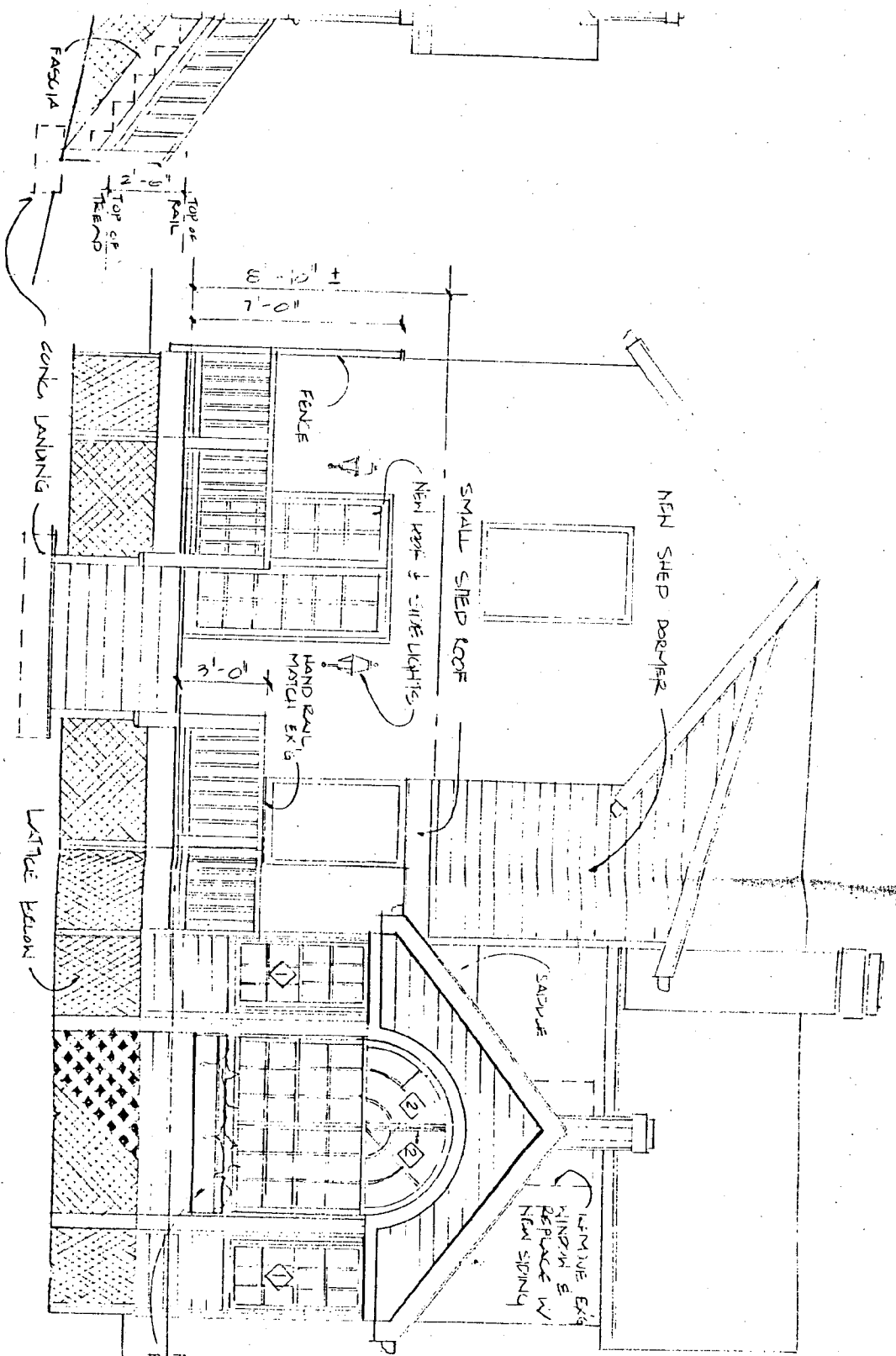
10207 Menlo Ave.

Silver Spring MD 20910

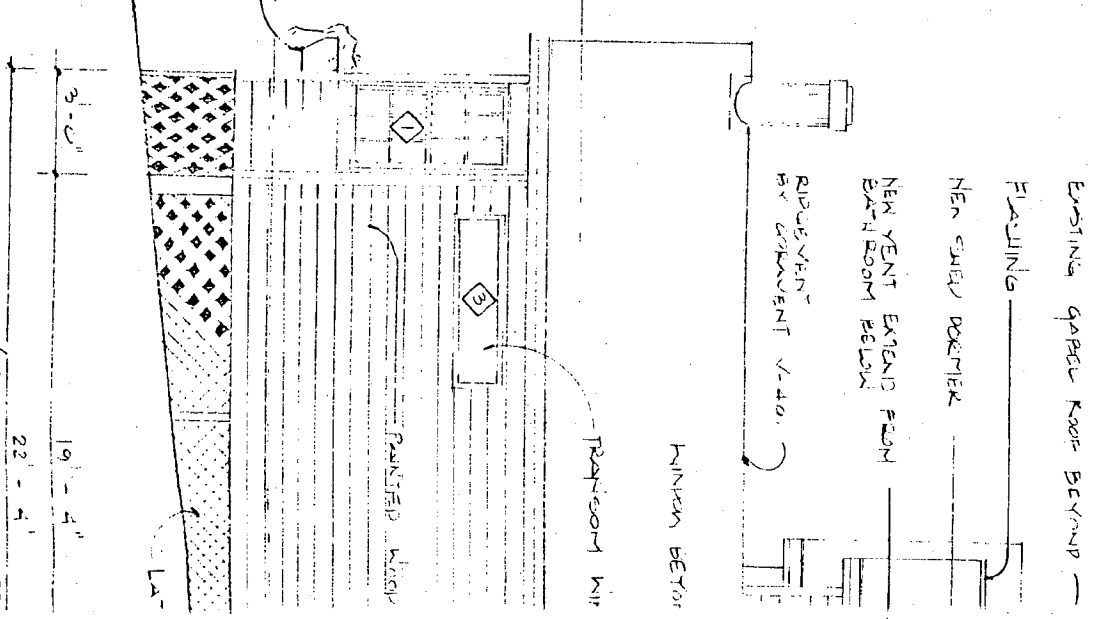
W: 301-949-3128

H: 301-587-5422

2	CIRCLE HEAD 1/4 RD. w/ DOUBLE HUNG.	2	PELLA/O. OTHER	3'-5 1/2"	INSUL.	11"	MATCH UP
3	FINE DIVIDED LIGHT	1	SUPPLIED BY OWNER	VEEPIR IN FIELD		SINGLE PANE	CLAP SILLBUSET
4	DOUBLE HUNG	1	PELLA/O. OTHER	3'-1 1/2" x 3'-2 3/4"	DOUBLE PANE	CENTER w/ FRENCH ROSE	SAW IN DIVIDERS



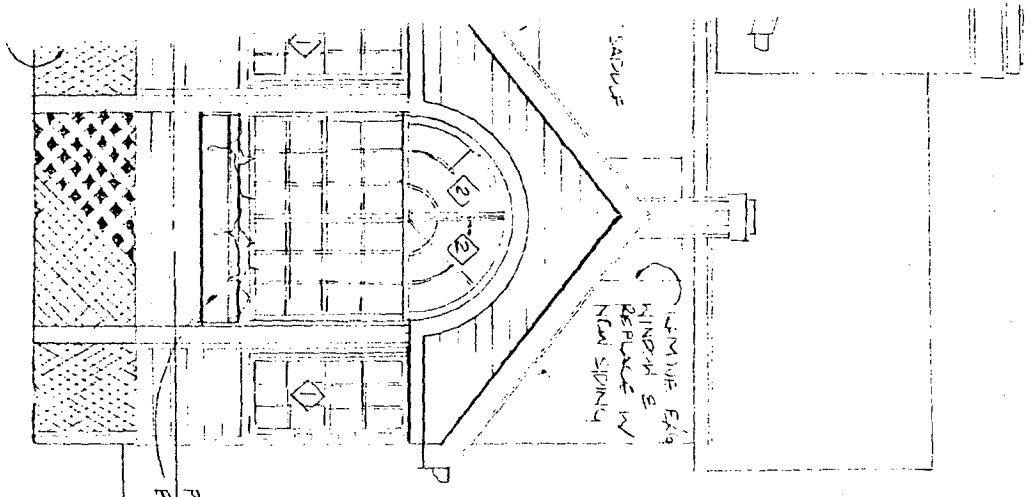
B. REAR ELEVATION
SCALE: 1/4" = 1'-0"



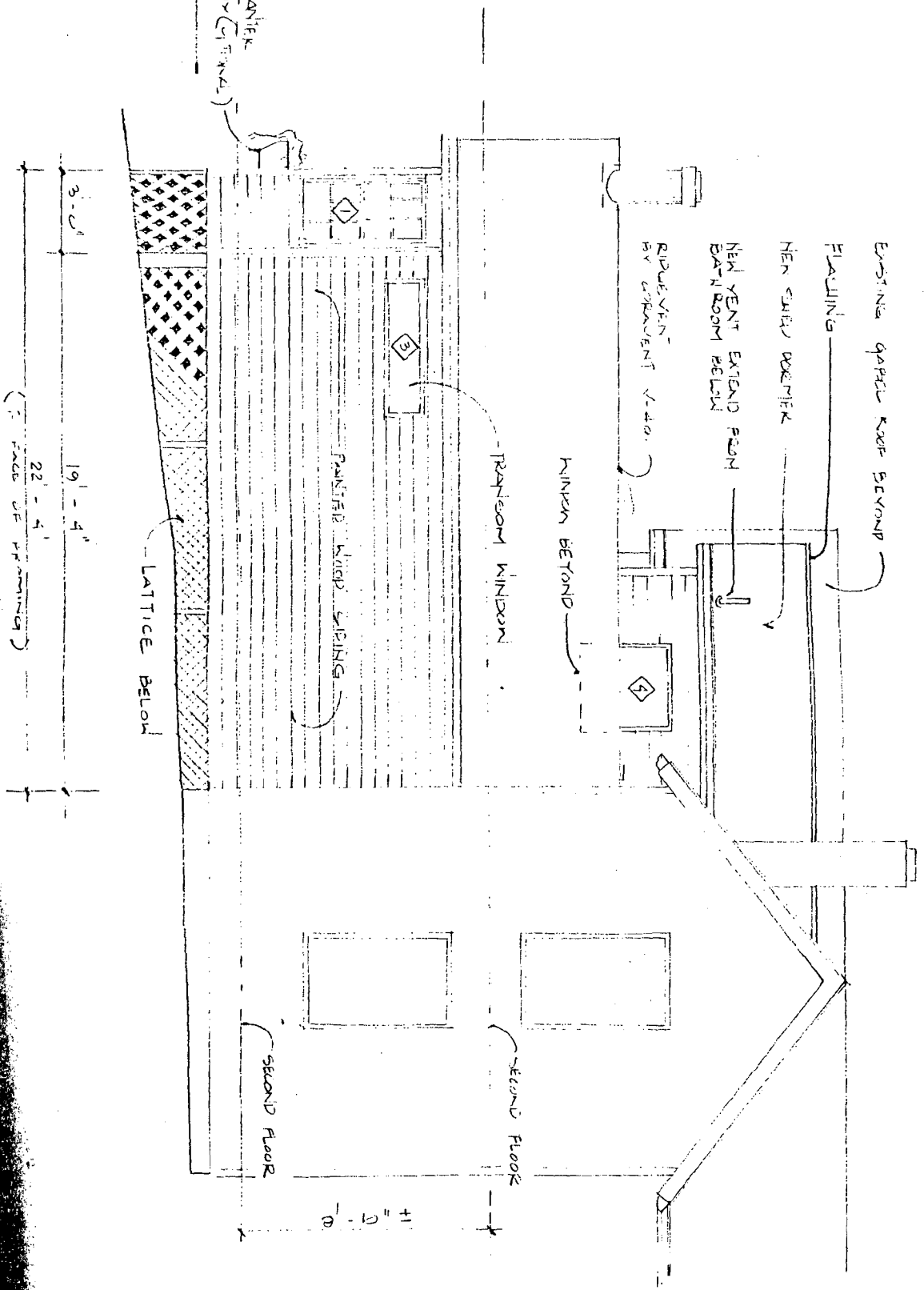
C. SIDE ELEVATION
SCALE: 1/4" = 1'-0"

BASE PAINT APPROVED BY A
3. ALL EXTERIOR CORNERS TO BE

CLAP SUBJECT	
SINGLE PANE	CENTER W/ FRENCH ROSE
- 1/2" x RUBLE PANE	SWAP IN DIVIDERS
- 2 3/4" INSUL.	



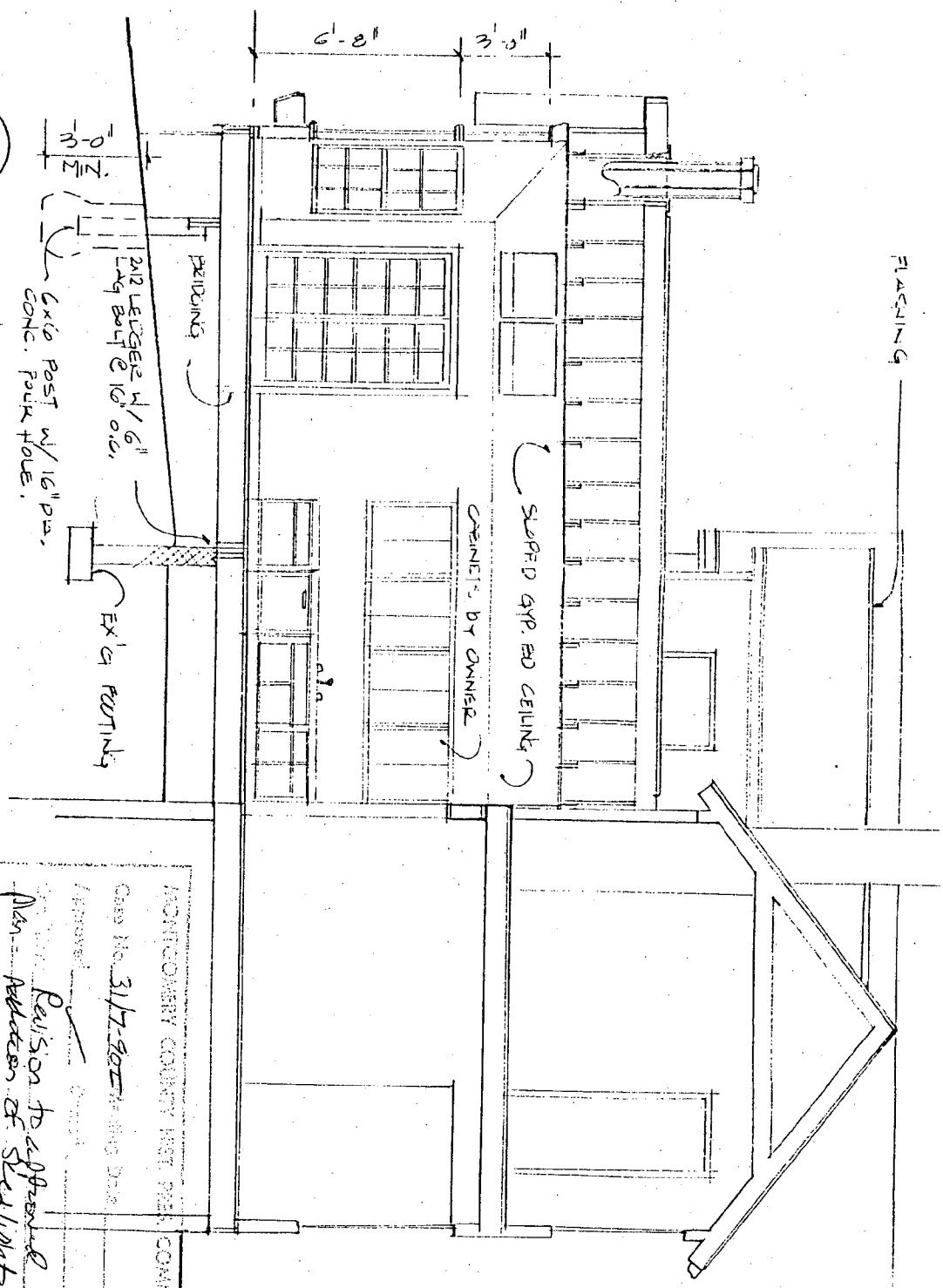
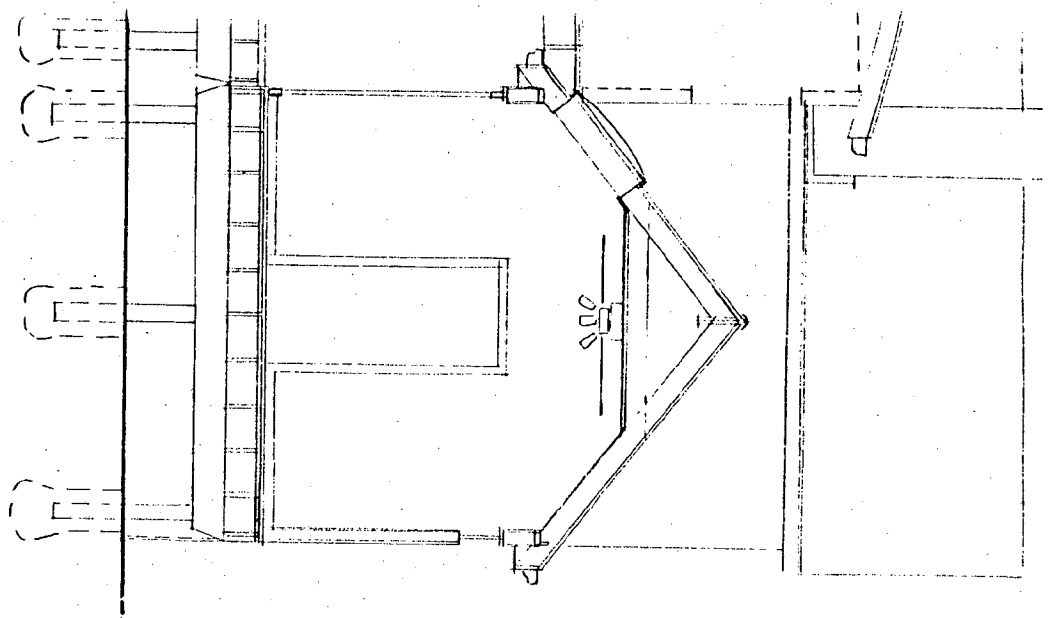
3. ALL EXTERIOR CORNERS TO BE MITERED - NO EXPOSED END GRAINS WILL BE ACCEPTED.



2 SIDE ELEVATION
SCALE: 1/2" = 1'-0"

Drawings: RIGHT, REAR & LEFT SIDE ELEVATIONS
SECTIONS

JOHN BUSHMAN



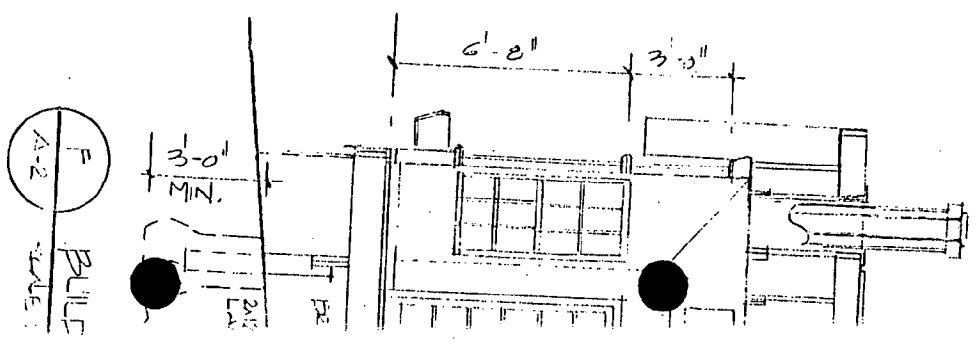
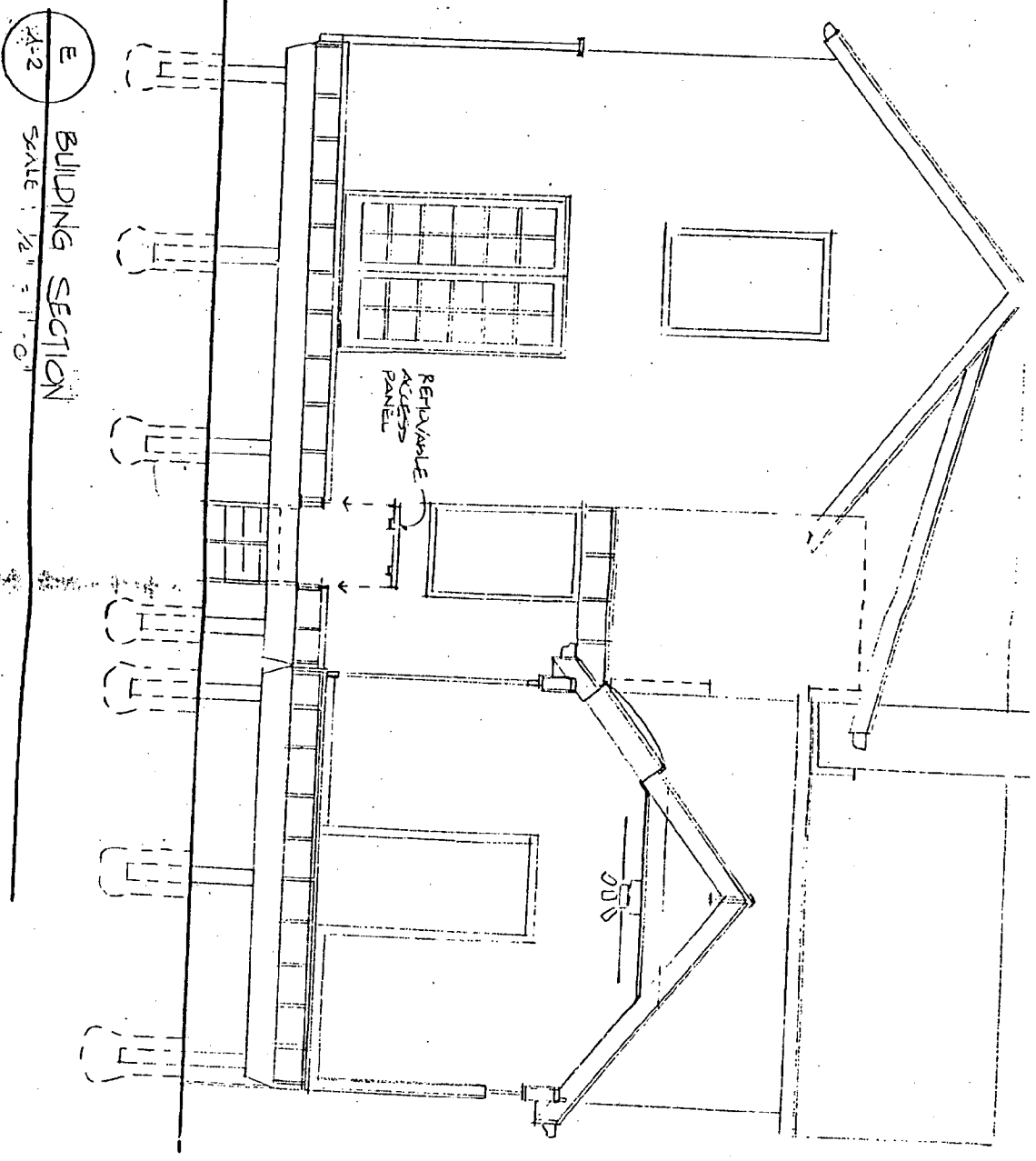
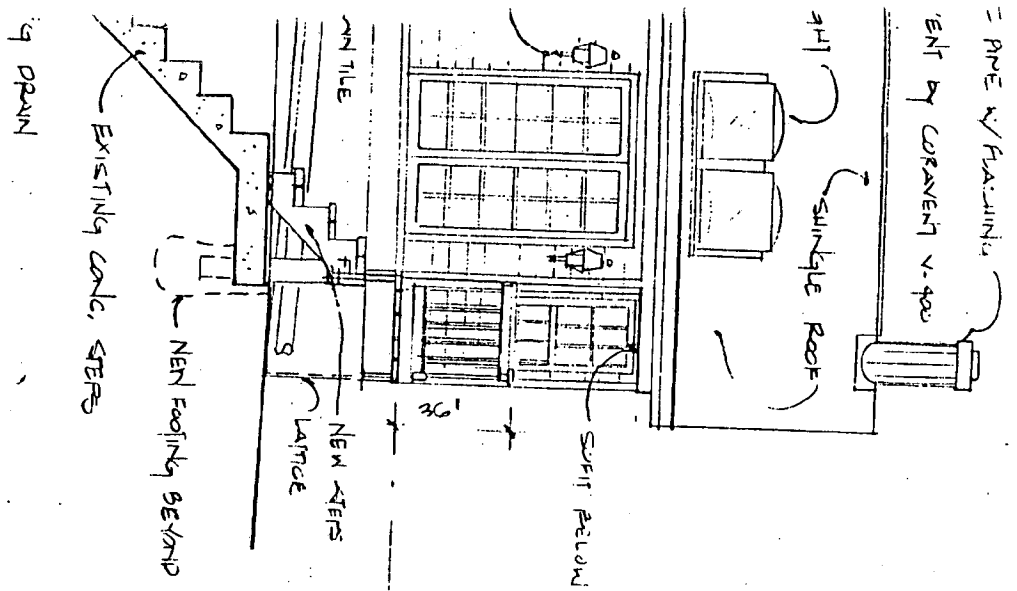
P BUILDING SECTION
 A-A
 SCALE: 1/4" = 1'-0"

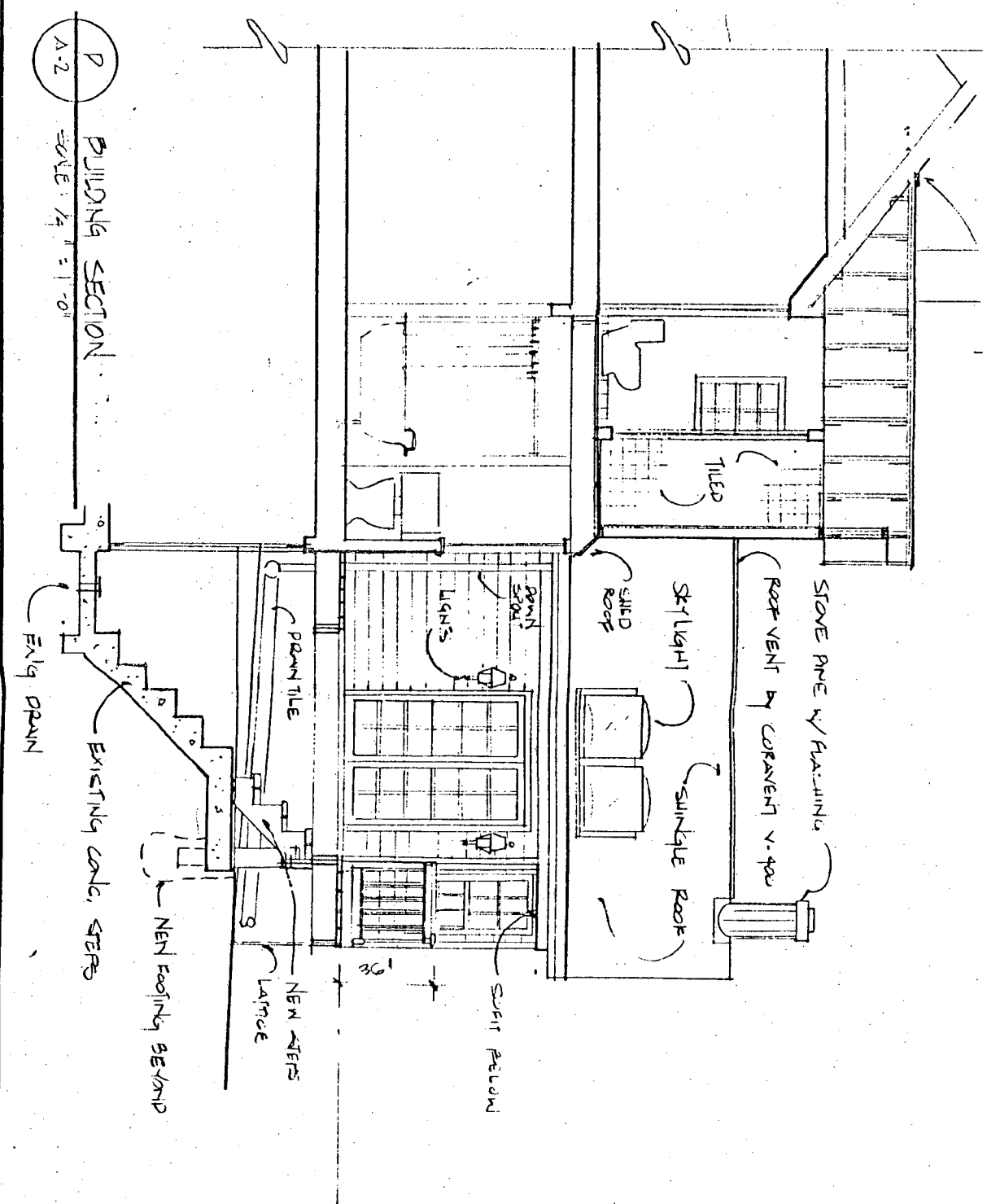
MONTGOMERY COUNTY DIST. REC. COMM.
 Case No. 317-902-1-19-90
 Approved: _____
 Revision to approved
 Plan. Addition of Skylights
 as noted
 Signature: *Leanne M. Smith* Date: 1-19-90

DESIGNER: CHRISTIAN F. MERGNER

A-2

OWN





P
A-2

BUILDING SECTION
SCALE: 1/4" = 1'-0"

EXIT DRAIN

EXISTING CONC. STEPS

NEW FOOTING BEYOND

NEW STEPS

LARGE

DRINK TILE

LIGNS

SUIT ROOM

SHED ROOF

SKYLIGHT

SUNKLE ROOF

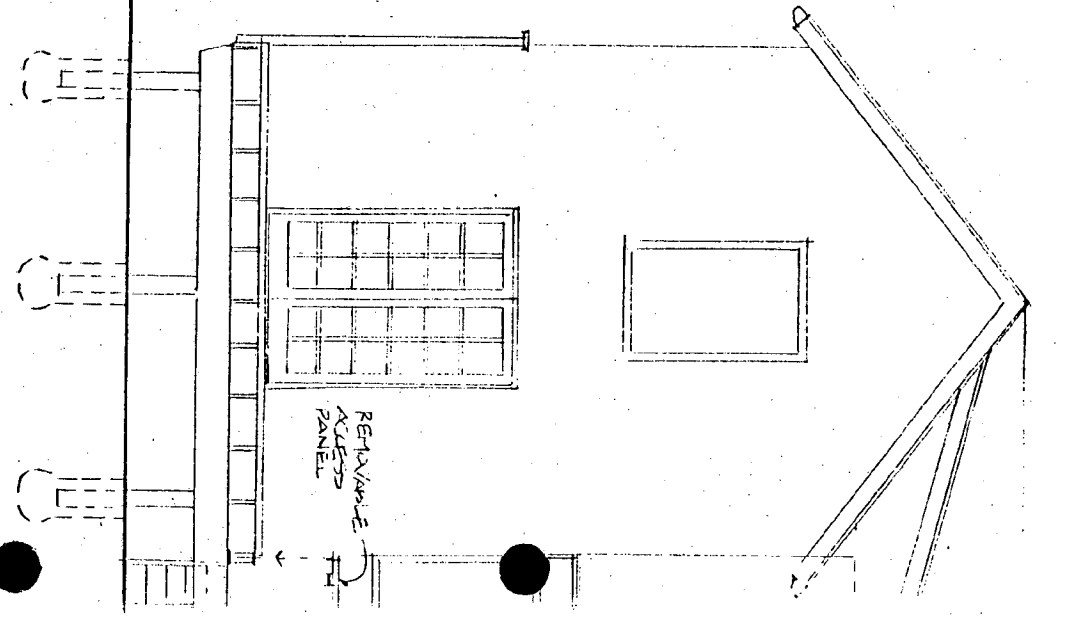
ROOF VENT BY CORNER V-400

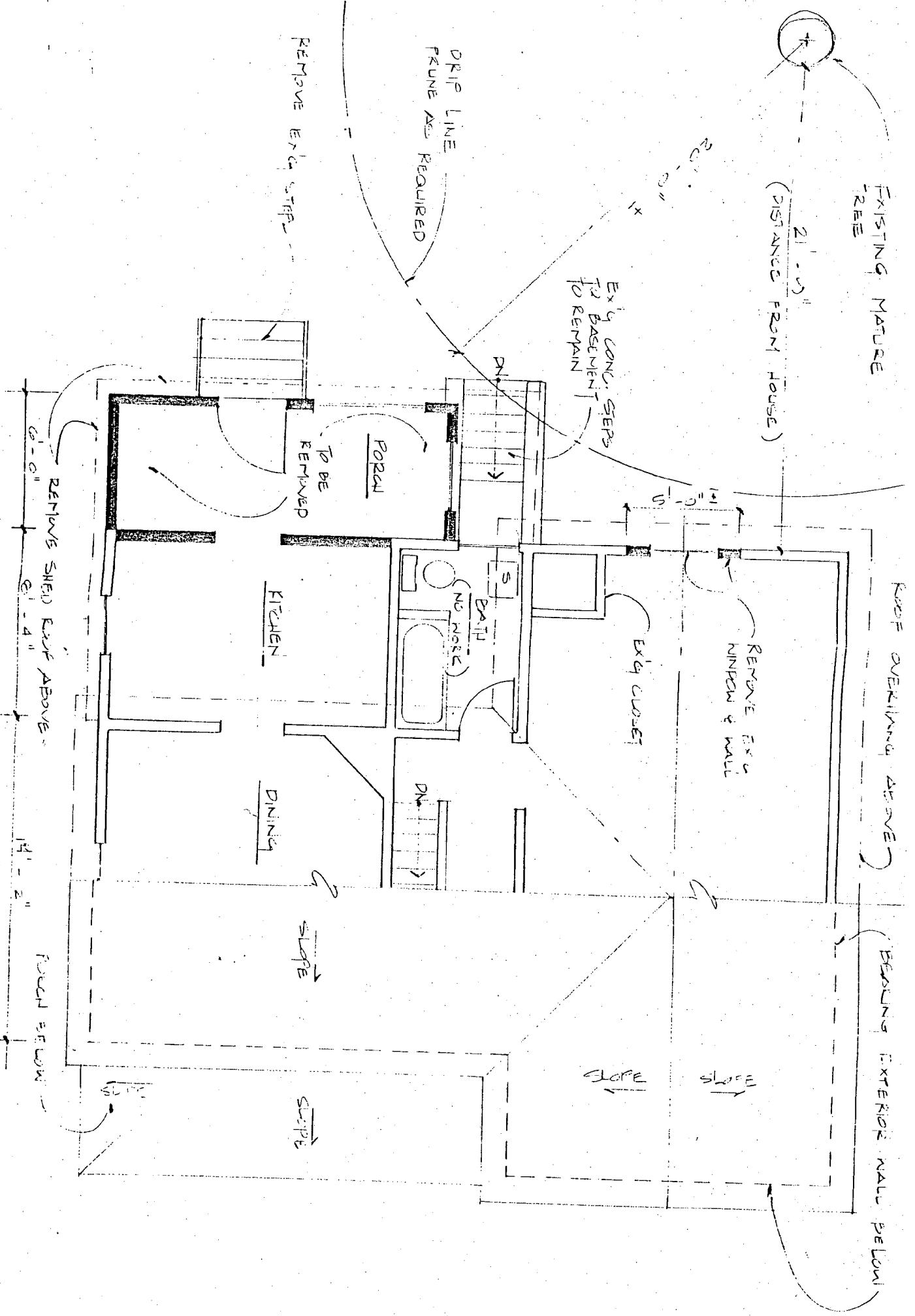
STOVE PIPE W/ FLASHING

TILED

E
A-2

BUILDING SECTION
SCALE: 1/2" = 1'-0"

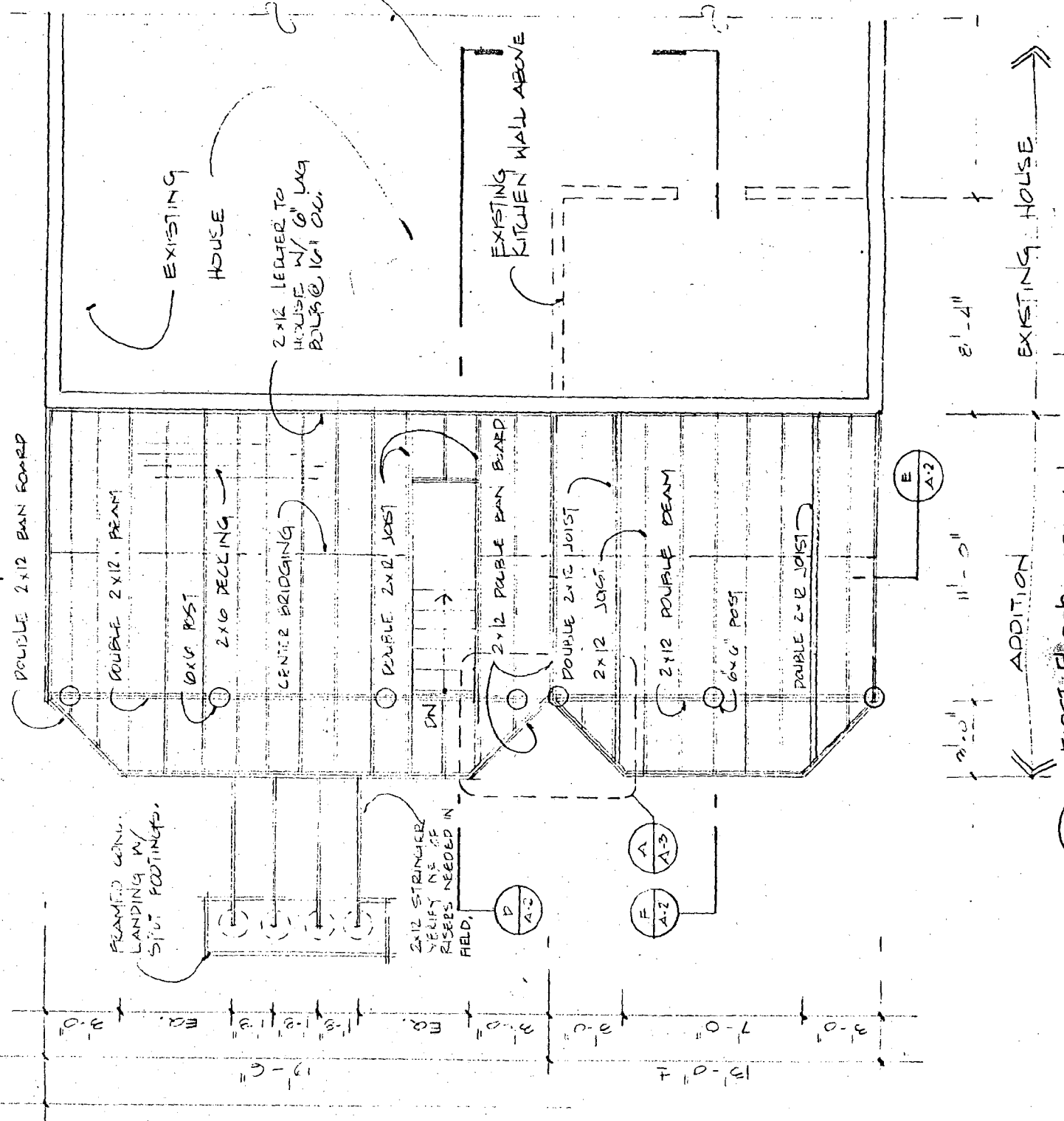




A-1 EXISTING DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

- EVERY CARE SHALL BE TAKEN DURING DEMOLITION TO PROTECT THE HOUSE BY MEANS OF TEMPORARY SUPPORTS & BRACES AS NECESSARY TO PREVENT ANY STRUCTURAL FAILURE DURING REMOVAL & REPLACEMENT OF EXISTING STRUCTURAL MEMBERS.
- TEMPORARY WALL & DUST BARRIERS SHALL BE INSTALLED AS NECESSARY TO PREVENT CIRCULATION OF DIRT & DUST INTO PORTIONS OF THE HOUSE THAT ARE NOT PART OF THE WORK.
- DEMOLISH ALL SHADED WALLS.

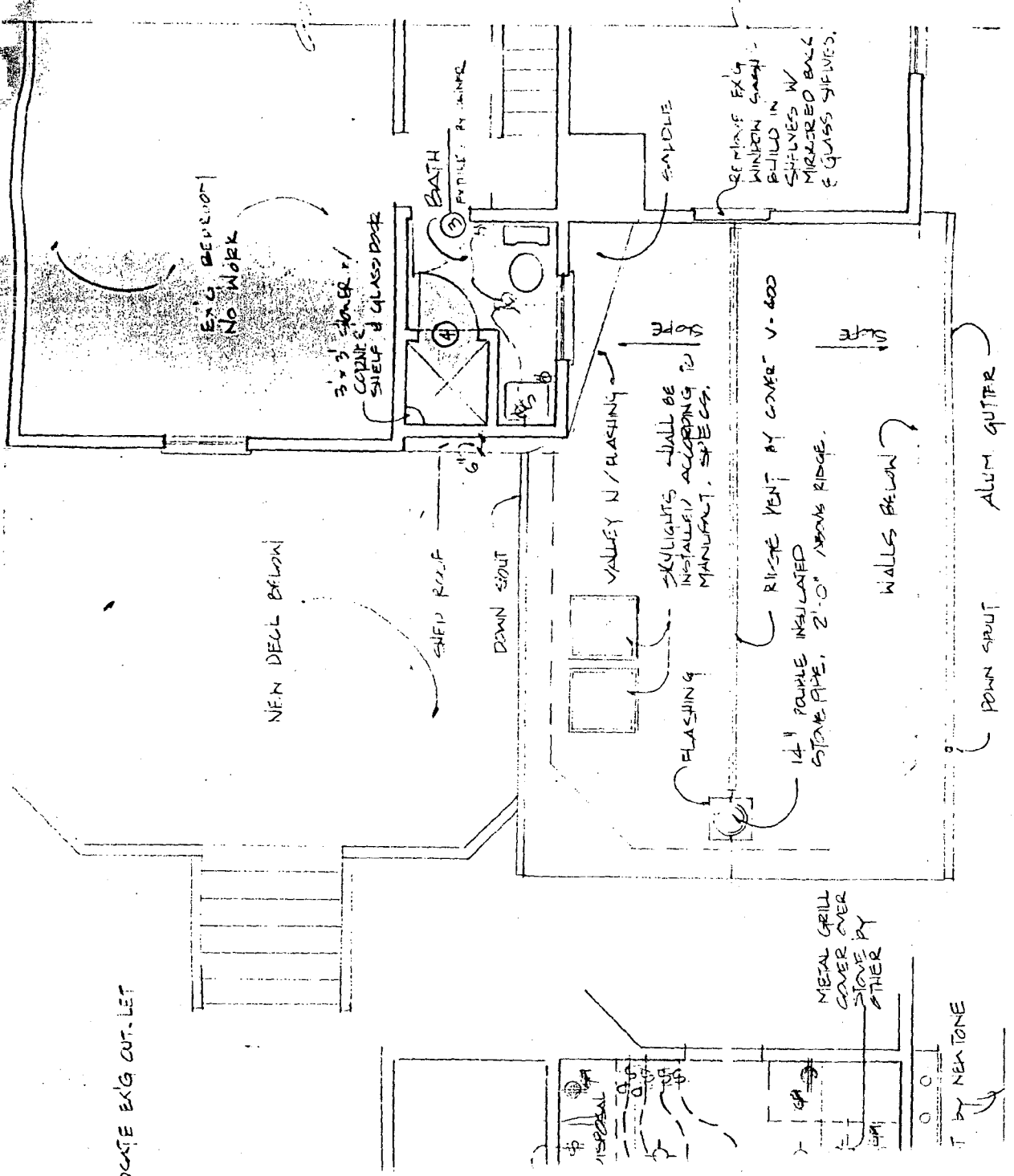


BUSHMAN RESIDENCE

10.4.90

DRAWINGS: DEMO/EXISTING CONDITIONS PLAN
 FRAMING PLAN
 FIRST FLOOR PLAN
 FIRST FLOOR REFLECTED CEILING PLAN/ELEC.
 SECOND FLOOR PLAN / ROOF PLAN

LOCATE EXG OUT. LET



E SECOND FLOOR PLAN / ROOF PLAN

SCALE: 1/4" = 1'-0"

E A-1

BUREAU OF CONSTRUCTION

MONTGOMERY COUNTY HIST. PRES. COM. A.

Case No. 317-201 Naming Date: _____

Approved: [Signature] Date: _____

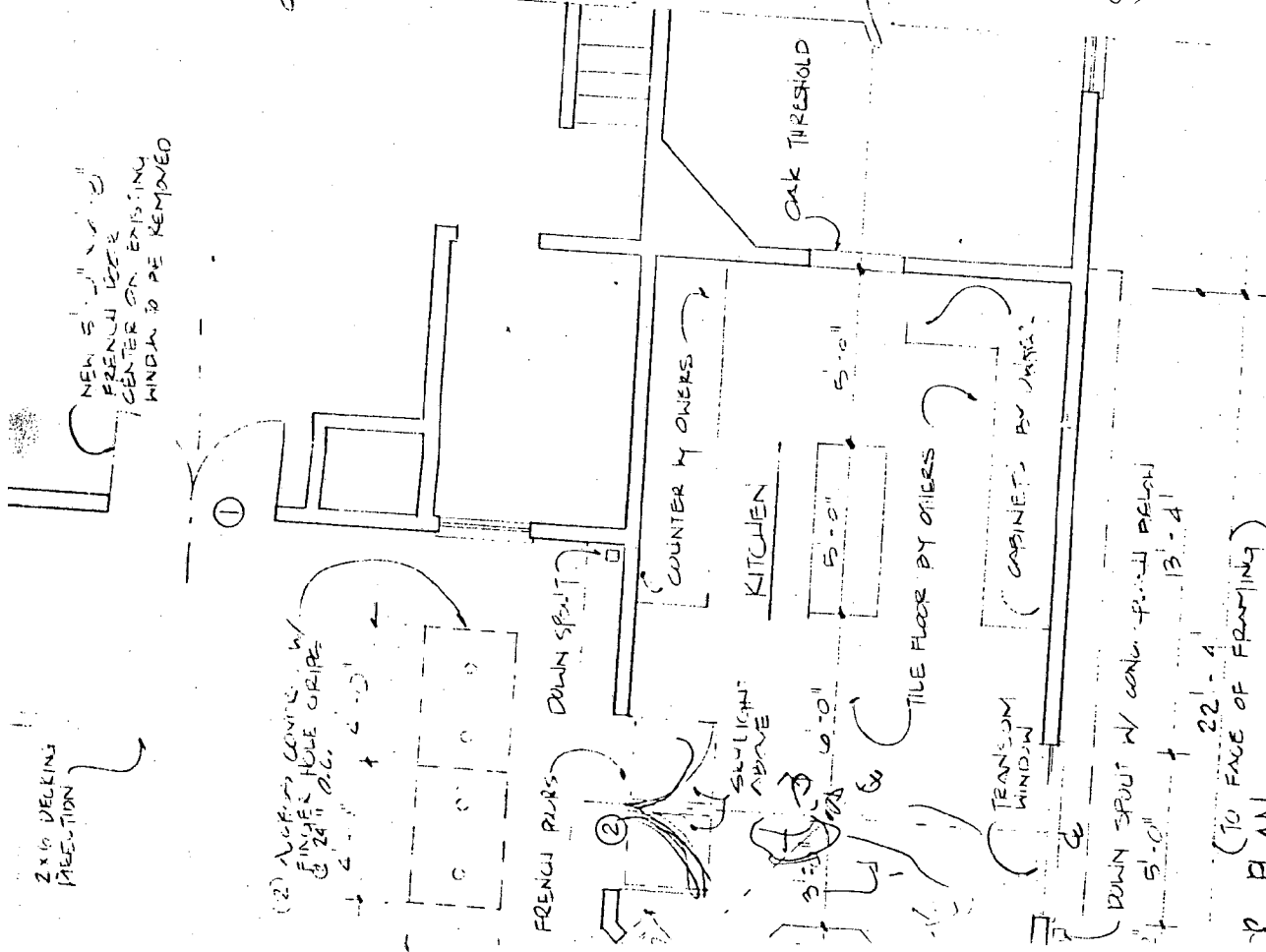
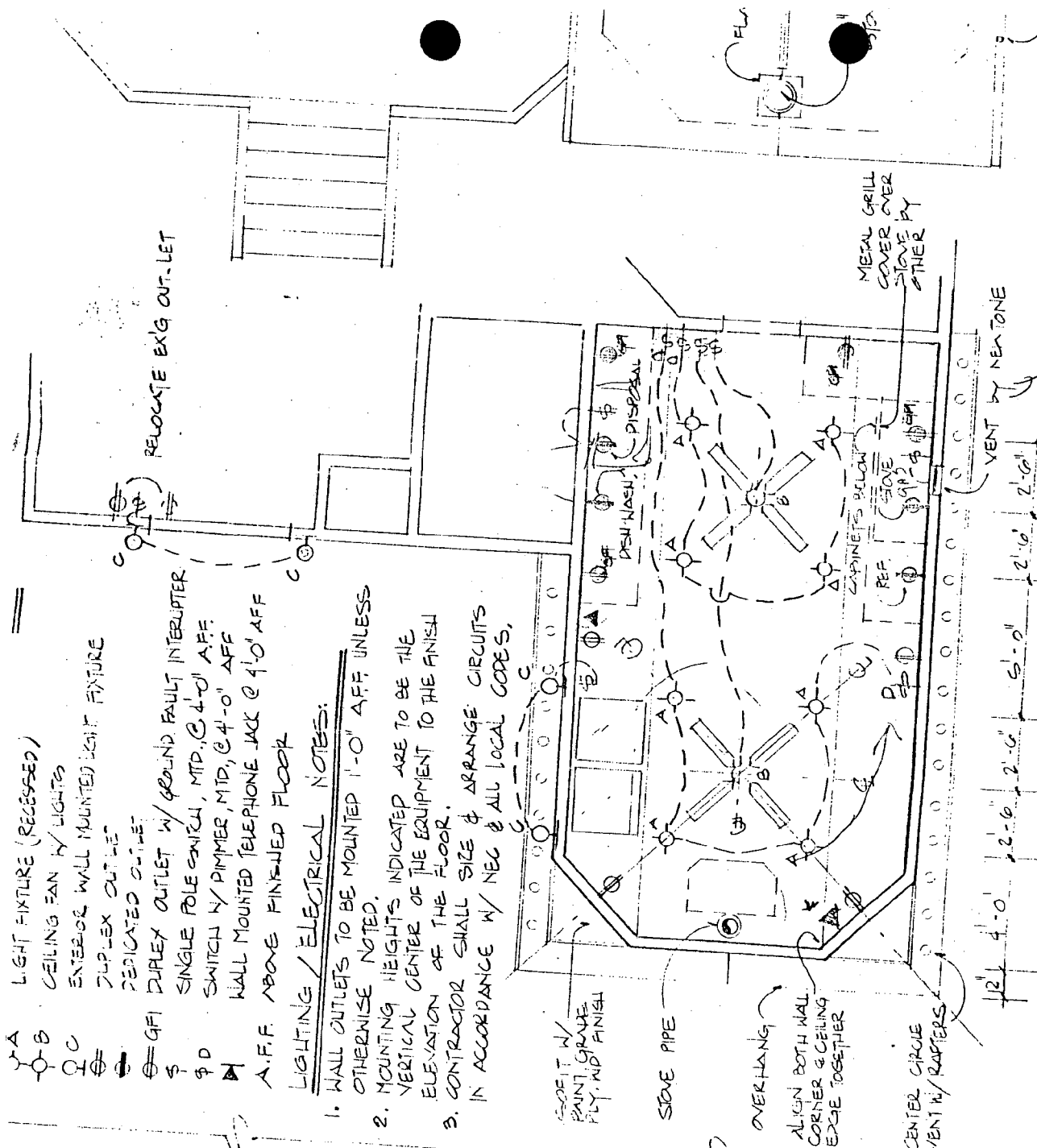
Comments: Review to be approved
Ann. Addition of Skylights
is noted.

Signature: [Signature] Date: 11-1-98

DESIGNER: CHRISTIAN F. MORGNER
 ARCHITECTURAL DESIGN SERVICES
 1728 SAPRINA TERR.
 DEWOP, MD 20855
 301.948.0082

OWNER: _____

A-1



- A LIGHT FIXTURE (RECESSED)
- B CEILING FAN W/ LIGHTS
- C EXTERIOR WALL MOUNTED LIGHT FIXTURE
- D DUPLEX OUTLET
- E RELOCATED OUTLET
- F GFI DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER
- G SINGLE POLE SWITCH, MTD, @ 4'-0" AFF
- H SWITCH W/ DIMMER, MTD, @ 4'-0" AFF
- I WALL MOUNTED TELEPHONE JACK @ 4'-0" AFF
- J A.F.F. ABOVE FINISHED FLOOR

LIGHTING / ELECTRICAL NOTES:

1. WALL OUTLETS TO BE MOUNTED 1'-0" AFF UNLESS OTHERWISE NOTED.
2. MOUNTING HEIGHTS INDICATED ARE TO BE THE VERTICAL CENTER OF THE EQUIPMENT TO THE FINISH ELEVATION OF THE FLOOR.
3. CONTRACTOR SHALL SIZE & ARRANGE CIRCUITS IN ACCORDANCE W/ NEC & ALL LOCAL CODES.

E
1/4" = 1'-0"
SCALE

P
1/4" = 1'-0"
SCALE

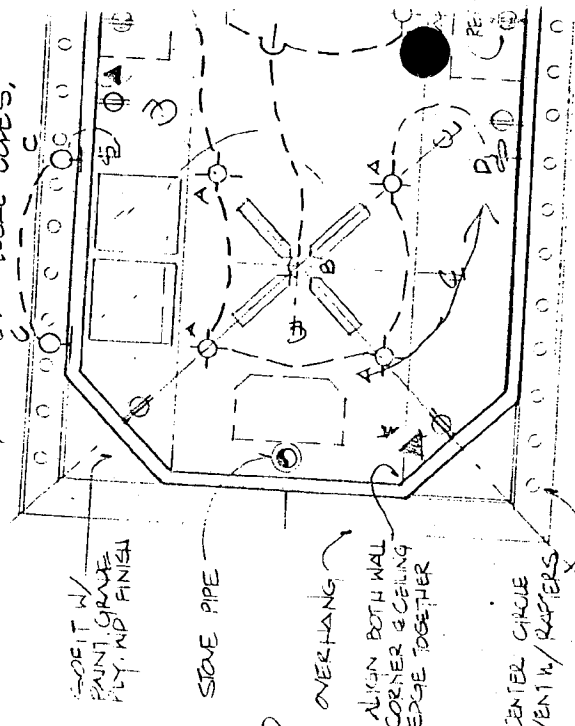
P
1/4" = 1'-0"
SCALE

P PLAN
1'-0"

- A LIGHT FIXTURE (RECESSED)
- B CEILING FAN W/ LIGHTS
- C EXTERIOR WALL MOUNTED LIGHT FIXTURE
- D DUPLEX OUTLET
- E REPLICATED OUTLET
- F GFI DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER
- G SINGLE POLE SWITCH, MTP, @ 4'-0" AFF
- H SWITCH W/ DIMMER, MID, @ 4'-0" AFF
- I WALL MOUNTED TELEPHONE JACK @ 4'-0" AFF
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P
FIRST FLOOR REFLECTED CEILING
SCALE: 1/4" = 1'-0"

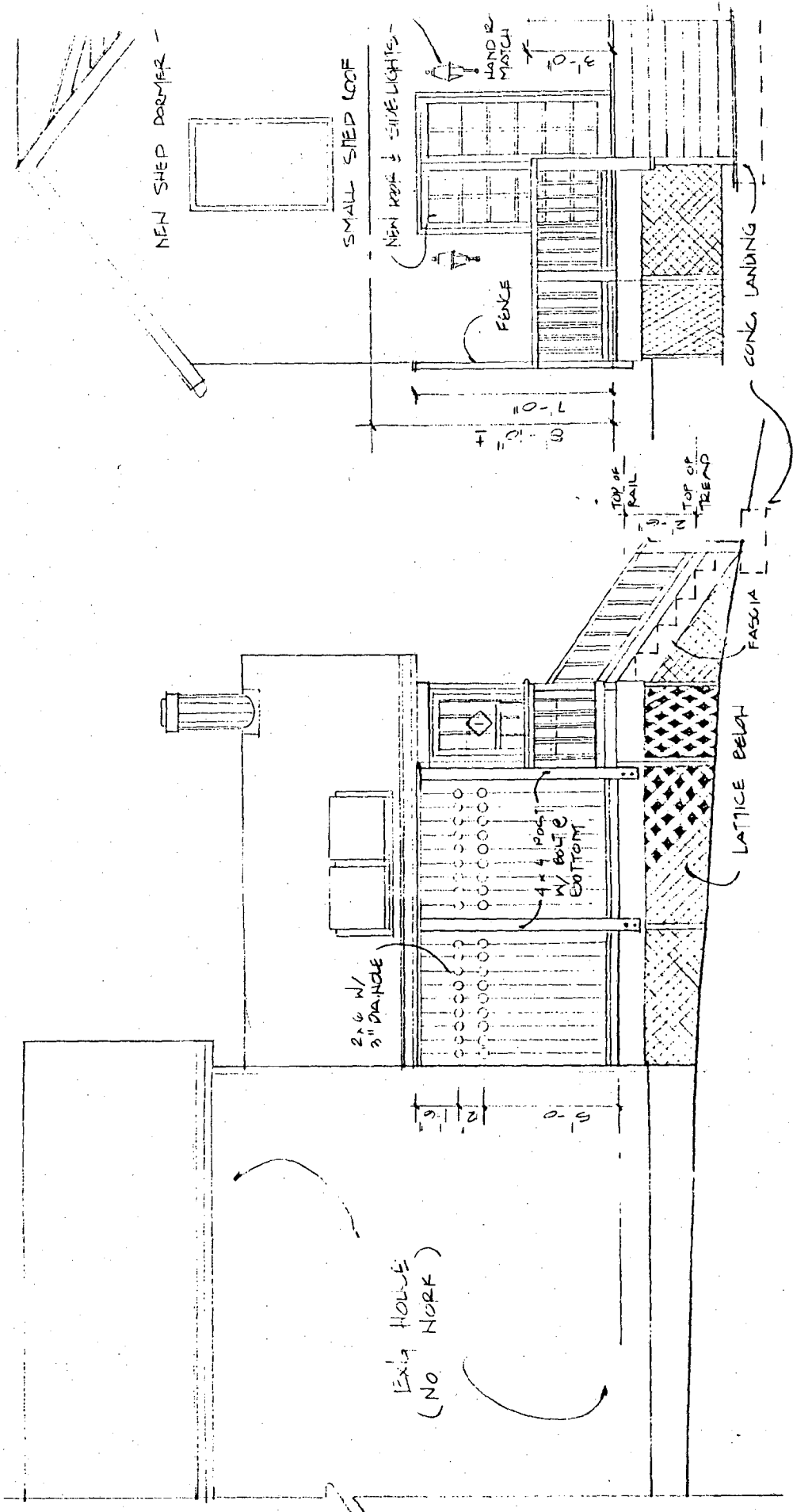
NEW 5' x 5' FRENCH DOOR CENTER ON EXISTING HINDA TO BE REMOVED



G
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
(TO FACE OF FRAMING)

②	CIRCLE HEAD 1/4 RD. W/ DOUBLE HUNG.	2	PELLA/O. OTHI
③	FIXED DIVIDED LIGHT	1	SUPPLIED BY C
④	DOUBLE HUNG	1	PELLA/O. OTHI

②	"	1	"	"	"
③	HOLLOW CORE PR.			2'-0" x 6'-8"	HOOD
④	BATH ROOM SHOWER PR.			2'-0" x 6'-0"	TILED



1 SIDE ELEVATION
SCALE: 1/8" = 1'-0"

B. REAR ELEVATION
SCALE: 1/4" = 1'-0"



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER: JOHN BUSHMAN TELEPHONE NO: 301-587-5122
(Contract/Purchaser)

ADDRESS: 10207 Menlo Ave Silver Spring MD 20910
(Include Area Code)

CONTRACTOR: HOME STRUCTURES, INC. TELEPHONE NO: 301-299-3059
STATE: _____ TELEPHONE NO: _____ ZIP: _____

PLANS PREPARED BY: STW CONTRACTOR REGISTRATION NUMBER: 16764 TELEPHONE NO: _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number: 10207 Street: Menlo

Town/City: Silver Spring Election District: Menlo

Nearest Cross Street: Grant + Loma

Lot: 8 Block: 18 Subdivision: CAPITOL VIEW PARK

Liber: _____ Folio: _____ Parcel: _____

1A. TYPE OF PERMIT ACTION: (circle one) OS SIS Circle One: A/C Slab Room Addition
Construct Extend/Add Alter/Renovate Repair Deck Fireplace Shed Solar, Woodburning Stove
Wreck/Raze Move Install Revocable Revision Fence/Wall (complete Section 4) Other _____

1B. CONSTRUCTION COSTS ESTIMATE \$ 40,000.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # v/a

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY: KEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 2B. TYPE OF WATER SUPPLY

01 WSSC 02 Septic 01 WSSC 02 Well
03 Other 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

1. On party line/Property line _____

2. Entirely on land of owner _____

3. On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Josane McLeish-Bush 3-18-90
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature [Signature] Date 5/24/90

APPLICATION/PERMIT NO: 9005020061 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK (including composition, color and texture of materials to be used):

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

X

11/19/87 10:00 AM

HISTORIC PRESERVATION COMMISSION STAFF REPORT

PREPARED BY: Jared B. Cooper

DATE: May 15, 1990

CASE NUMBER: 31/7-90I

TYPE OF REVIEW: HAWP

SITE/DISTRICT NAME: Capitol View Park PROPERTY ADDRESS: 10207 Menlo Avenue

DISCUSSION:

The applicant is proposing a single story addition and deck at the rear of this late 19th century structure. An existing enclosed porch (approximately 6' x 16') will be replaced by a 12'x 13' single story ell. To the south of the proposed ell, a 12' x 20' deck is proposed.

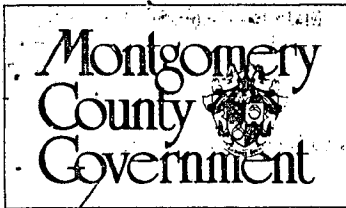
STAFF RECOMMENDATION:

Staff recommends approval of the application based on criterion 24A-8(b)(1).

ATTACHMENTS:

1. HAWP Application and Attachments
2. Contractor's Specifications
3. Photographs
4. Elevation Drawings
5. Floor Plans

JBC:av
1835E

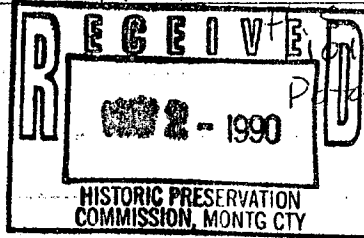


Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850

217-3625

317-90 I



Brent Rd.
Pottomac MD 20854

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER JOHN BUSHMAN TELEPHONE NO. 301-587-5422
 (Contract/Purchaser) (Include Area Code)

ADDRESS 10207 Menlo Ave Silver Spring MD 20910
 STATE _____

CONTRACTOR HOME STRETCHERS, INC. TELEPHONE NO. 301-299-3059^{ZIP}
 CONTRACTOR REGISTRATION NUMBER 16964

PLANS PREPARED BY STW TELEPHONE NO. _____
 (Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 10207 Menlo Street Menlo

Town/City Silver Spring Election District Ment.

Nearest Cross Street Grant + Loma

Lot 8 Block 18 Subdivision CAPITAL VIEW PARK

Liber _____ Folio _____ Parcel _____

- 1A. TYPE OF PERMIT ACTION: (circle one) OS Circle One: A/C Slab Room Addition
 Construct Extend/Add Alter/Renovate Repair SIS Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Move Install Revocable Revision Fence/Wall (complete Section 4) Other _____
- 1B. CONSTRUCTION COSTS ESTIMATE \$ 40,000.-
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NA
- 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY pepc
- 1E. IS THIS PROPERTY A HISTORICAL SITE? yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL 2B. TYPE OF WATER SUPPLY
- 01 WSSC 02 () Septic 01 WSSC 02 () Well
- 03 () Other _____ 03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 4A. HEIGHT _____ feet _____ inches
- 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/Property line _____
 - Entirely on land of owner _____
 - On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Suzanne McLean-Bushman

3-18-90

Signature of owner or authorized agent (agent must have signature not rized on back)

Date

2. **SITE PLAN.** For all projects, attach an accurate site plan or property survey, which shall include the following:
 - a. Scale (for example, 1/4" = 1 foot)
 - b. North Arrow
 - c. Location and dimensions of all existing and proposed structures:
 - d. Location of other features such as walks, drives, fences, ponds, streams, dumpsters, mechanical equipment, and major landscaping elements.

3. **TREE SURVEY.** If any 6" diameter or larger trees are to be removed, or fall within the construction zone, attach an accurate tree survey. The survey should include the exact location, size, and species of all trees located in the project area, indicating which are to be preserved and which are to be removed.

- X 4. **FLOOR PLANS; CONSTRUCTION PLANS.** For new construction and room additions, attach a complete set of scaled floor plans. For porches and decks, attach scaled drawings showing dimensions, materials, and where and how they will be attached to existing structures. For other types of work, such as outbuildings and fences, attach scaled drawings showing dimensions, materials, construction methods, and design details.

5. **ELEVATION DRAWINGS.** For new construction, including outbuildings, attach scaled drawings of all sides of the proposed structure. For additions, decks, porches, and major exterior alterations, attach scaled drawings of all sides of structure which will be affected by the proposed work.

- X 6. **MATERIAL SPECIFICATIONS.** For all projects, provide a written description of all exterior materials to be used. If desired, material specifications may also be included as notes on elevation drawings. If available, manufacturer's literature may also be included.

*no trees are to be removed.

6. Material specifications: Siding of the new addition will be "German Wood Siding". All new windows are to be double hung 12 pane windows. Decking wood is to be pressure treated pine. Roof over bathroom & bedroom to be "rubberized"; Roof over new kitchen addition to be asphalt shingles.

APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- b. General Description of project
a. ~~Description of existing structure(s):~~

On the first level, the kitchen will be extended 12 feet directly out towards the back yard. Accessible from the new kitchen addition or the family room will be a deck. Upstairs, on top of the ^{existing} kitchen + bathroom roof, will be one enlarged bedroom and a new bath.

- a. Existing Structure -
b. ~~General Description of Project:~~

Built in 1894, this farmhouse has 3 bedrooms, one bath downstairs, a family room, living room, dining room and kitchen. The architectural style is simple; german wood siding, two and twelve pane windows.

Home Stretchers Specifications 4/24/90

Job Name: Susanne and John Bushman

Scope: **Family/Eat-in Room and Bathroom**
Elements [quantities, dimensions, and location as per Plans]

Site

demolition remove enclosed rear porch and rear kitchen wall
excavation dig pier footings

Structural

[details in As-Built Drawings with permit application]
foundation 8"+8" pressure treated piers on concrete footings
floor 12" wooden I-beams, 3/4" T&G underlayment
walls 2"+4" stud wall, 1/2" CDX plywood & Tyvek wrap
roof & ceiling 2"+8" rafters

Exterior

windows "M&W," singlepane, true divided lite, 5/16" muttons,
Adams brickmold, white aluminum triple track storms

door true divided lite, thermalpane french door

transom "M+W" true divided-lite half-round

walls

siding 6" pine german siding to match existing
trim primed pine corners, rakes, and facias
painted lattice around pier foundation
exposed overhanging rafter tails
decorative gable truss as per Plans

insulation walls--R13, roof--R22

roofing

Certainteed 20 year fiberglass shingles, color selected
by Owners

gutters 6" galvanized half-round gutters and downspouts
supplied by Owners

painting pressure-treated yellow pine joists and decking,
deck galvanized fasteners and nails, painted fir railing to
match front porch and north wall as per Plans

Interior

flooring supplied by Owners

doors 6 panel fir

hardware supplied by Owners

walls 1/2" finished drywall

Bushman Specifications
Page 2

trim [all paint grade, finger-jointed]
base one piece ogee
case Adams
closets shelf and pole supplied by Owners
wood stove supplied by Owners
painting supplied by Owners

Utilities

mechanical no new furnace; install 3' of electric baseboard in new bathroom
electrical as per wiring diagram, \$400 fixture allowance

Scope:

Bathroom

Elements

[quantities, dimensions, and location as per Plans]

Plumbing

[Owners to contract for plumber]

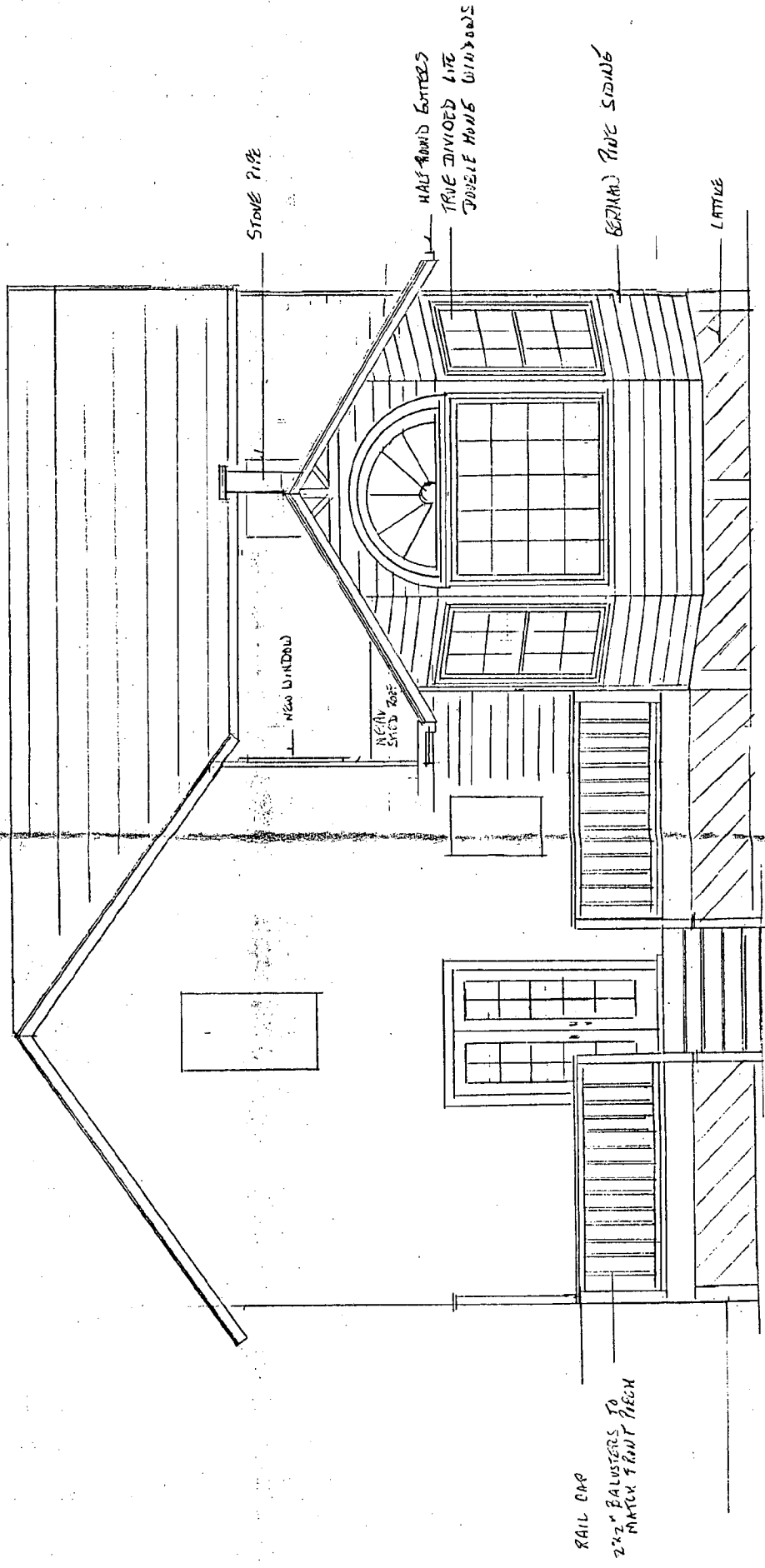
bathtub supplied by Owners
shower 36"+36" tiled stall
toilet Kohler Wellworth K-3520-EB
sink supplied by Owners
faucets
sink supplied by Owners
bath supplied by Owners
shower supplied by Owners

Electrical

lighting \$50 allowance for wall fixture
GFI 2
fan/lamp 1

EXTERIOR ELEVATION

REAR (EAST)



STONE PIPE

HALF ROUND BUTTERS
TRIPLE DIVIDED LITE
DOUBLE HUNG WINDOWS

BERNARD PINE SIDING

LATTICE

NEW WINDOW

NEW SHED ROOF

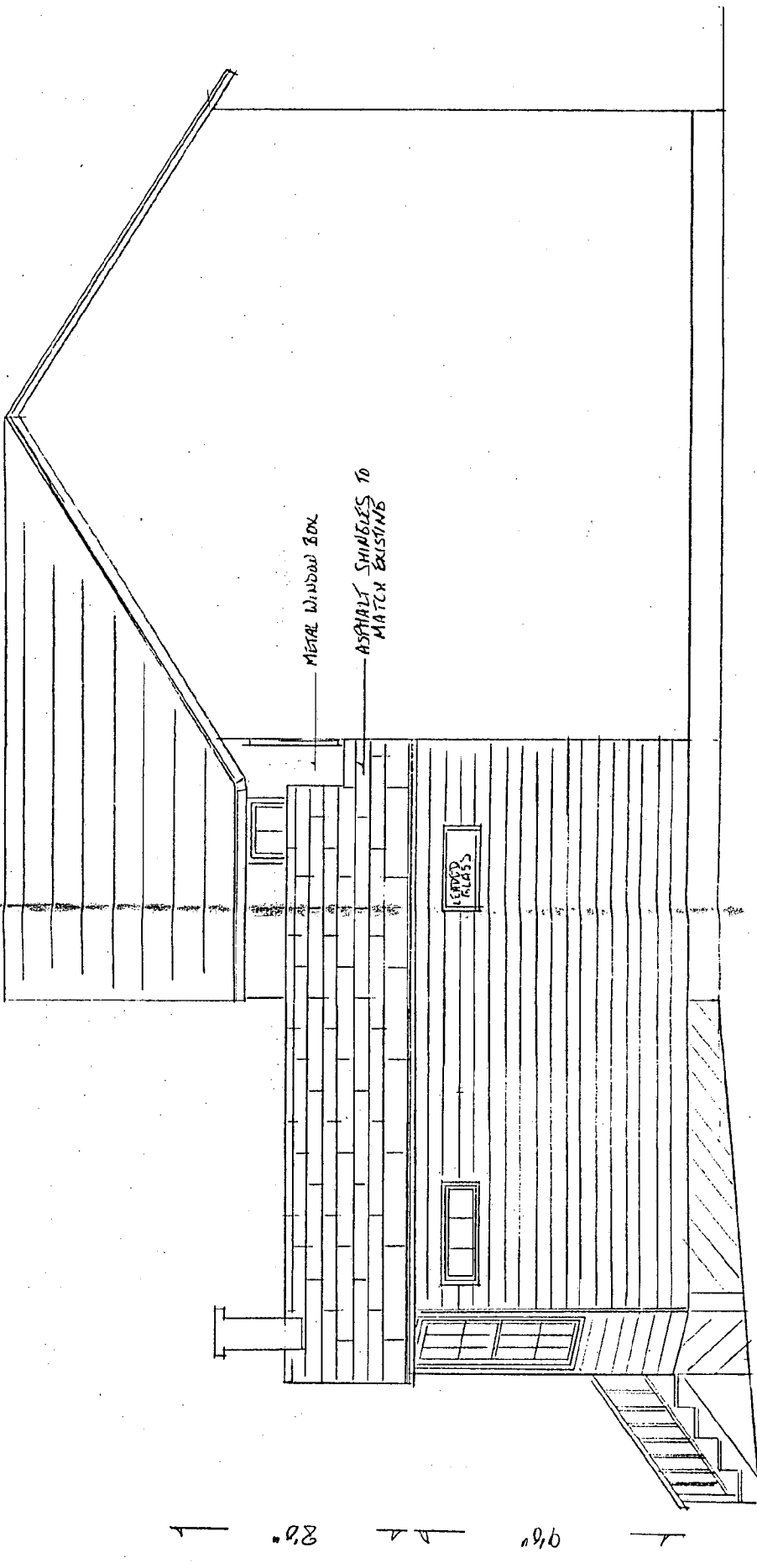
RAIL CAP
2x2" BALUSTERS TO
MATCH FRONT PORCH

130'

200'

0' 0" 10' 0" 20' 0"

EXTERIOR ELEVATION
SIDE (NORTH)



METAL WINDOW BOX
ASPHALT SHINGLES TO MATCH EXISTING

LEAD GLASS

28'-0"

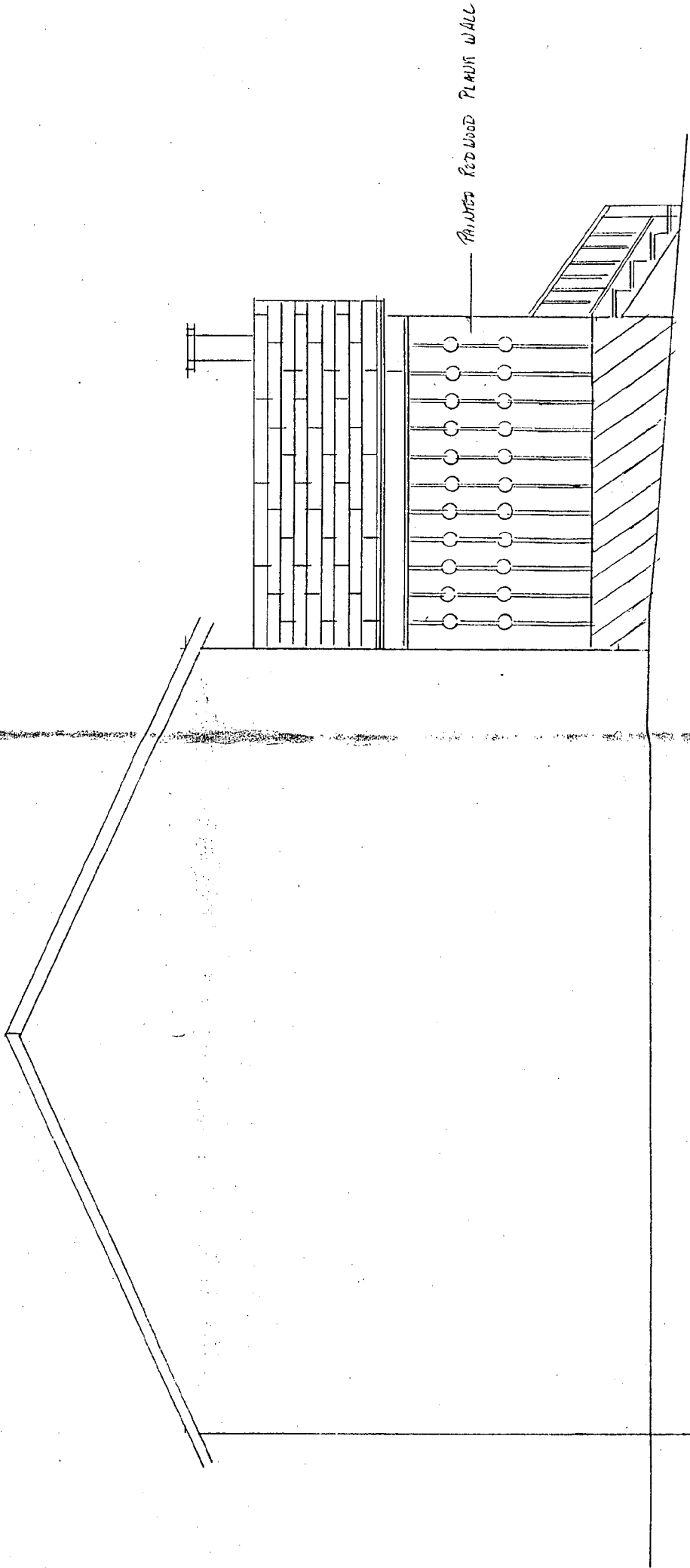
12'-0"

2'-6"

PAGE 6
SCALE: 1/4" = 10"

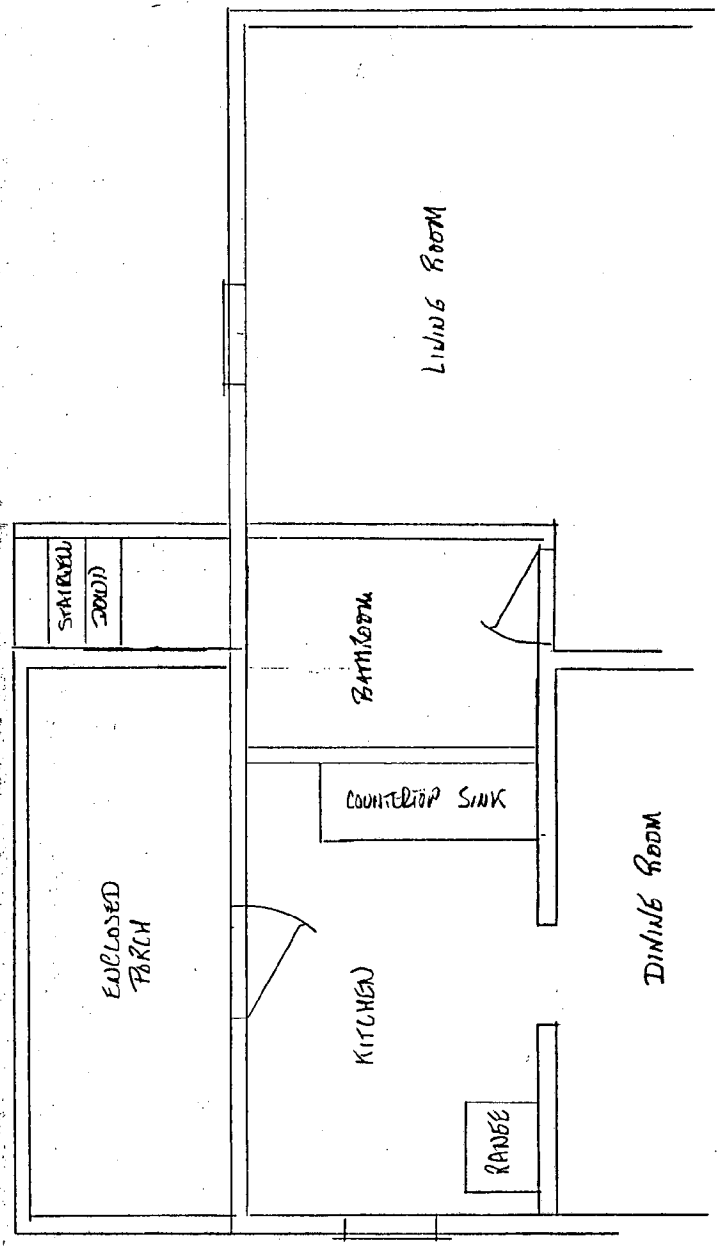
EXTERIOR ELEVATION

SIDE (SOUTH)



PLAN VIEW

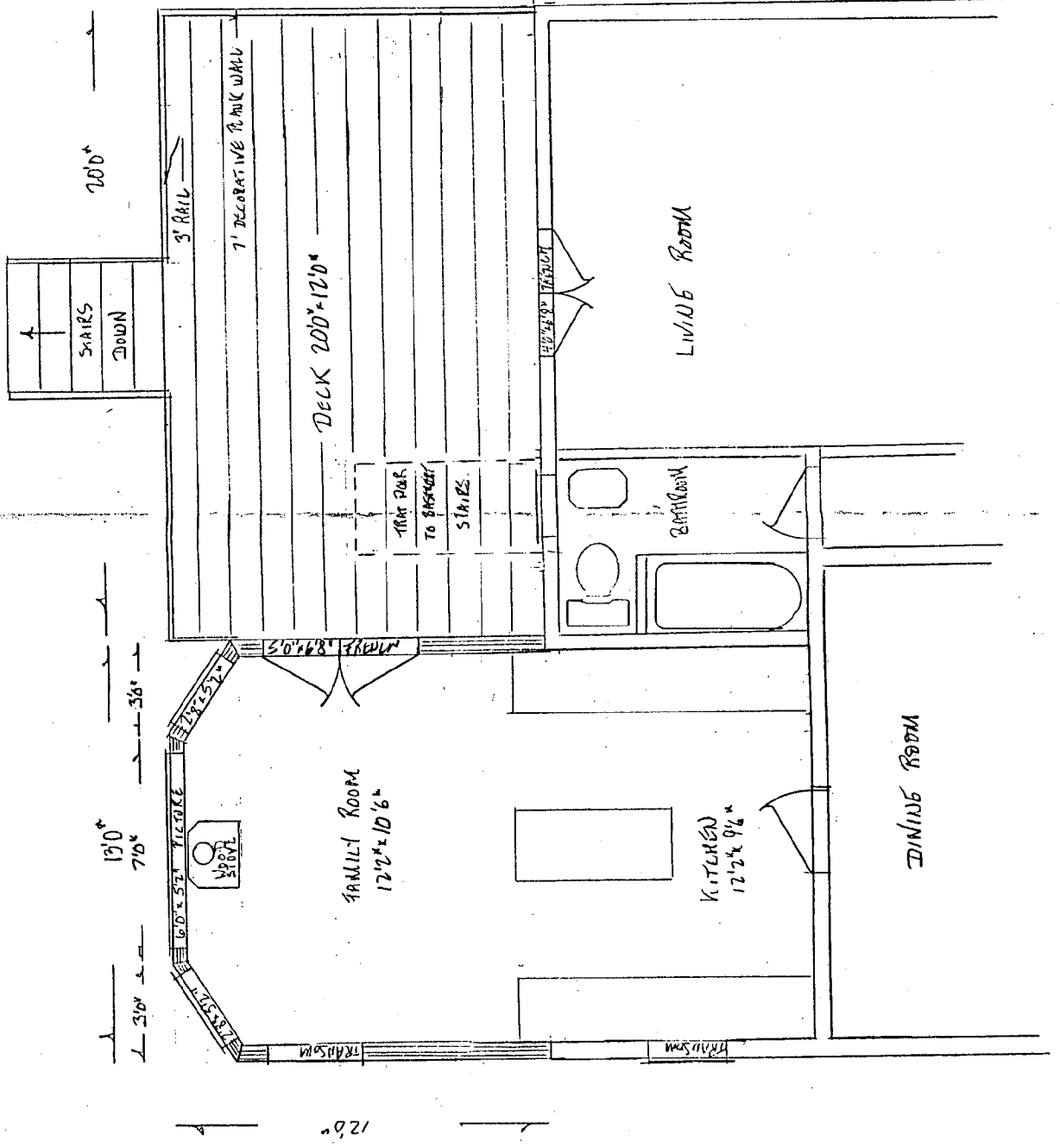
EXISTING



PLAN VIEW

RENOVATED

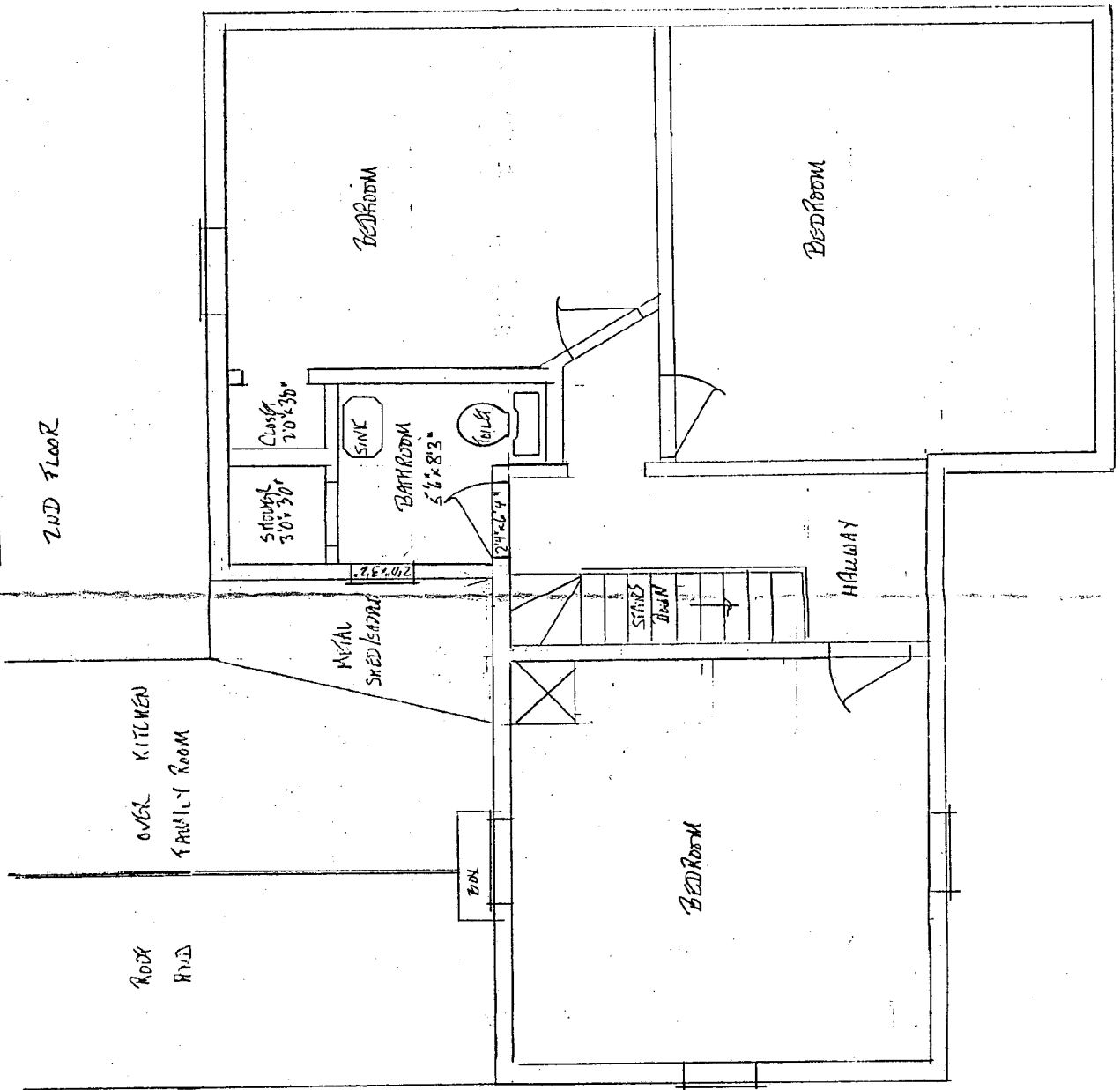
1ST FLOOR



DECK CONSTRUCTION:
 2"x10" P.T. JOISTS
 16" O.C.
 SECURED TO REAR HOUSE WALL
 BY GALVANIZED HANGERS OR
 2"x10" PLATE LABELED INTO EXISTING
 FRAMING
 5/4" x 6" P.T. DECKING

PAGE 3
SCALE: 1/4" = 1'-0"

PLAN VIEW
REARWARD
2ND FLOOR



7. PHOTOGRAPHS. For all projects, include clear color or black and white photographs. For additions, alterations, porches, or decks, attach photographs of all existing elevations. For new construction, attach photographs of the proposed site, as well as neighboring structures. For other projects, such as fences, drives, tree removal, etc., attach photographs of the affected area.

8. ADDRESSES OF ADJACENT PROPERTY OWNERS. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name John & Mary Braver
Address 10206 Menlo Ave
City/Zip Silver Spring MD 20910
across the street
2. Name Keith Fletcher
Address 10209 Menlo Ave
City/Zip Silver Spring MD 20910
next door
3. Name John Fehrenbach
Address 10205 Menlo Ave.
City/Zip Silver Spring MD 20910
next door
4. Name Property Owner
Address 10207 Leslie St.
City/Zip Wheaton MD 20902
behind us
5. Name _____
Address _____
City/Zip _____

1517E



Montgomery County Government

Historic Preservation Commission
51 Monroe Street
Rockville, Maryland 20850

10207 Menlo





