

31/7-99B 10022 Menlo Avenue
(Capitol View Park Historic Dist)

Capital View Builders

John Gutowski

Telephone: 301.565.2255
Mobil Phone: 301.437.5253
Fax: 301.565.0459



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 4/28/99

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

31/7-99B

FROM: GW Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied

Approved with Conditions: _____

POUCH RAIL & FRONT STEPS TO UTILIZE IN-SET PICKETS.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: John Gutowski - McGoverates

Address: 10022 MENDO AVENUE, SILVER SPRING 20910

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: JOHN GUTOWSKI

Daytime Phone No.: 301.565.2255
301.437.5253

Tax Account No.: _____

Name of Property Owner: JOHN GUTOWSKI - MCGOVANTES Daytime Phone No.: 301.565.2255

Address: 10022 MENLO AVENUE SILVER SPRING MD 20910
Street Number City State Zip Code

Contractor: JOHN GUTOWSKI Phone No.: 301.437.5253

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 10022 Street: MENLO AVENUE

Town/City: SILVER SPRING Nearest Cross Street: BARKER STREET

Lot: 18 Block: 32 Subdivision: CAPITOL VIEW PARK

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
- Move Install Wreck/Raze
- Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 50,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

John Gutowski
Signature of owner or authorized agent

3-16-99
Date

Approved: X W/ CONDITIONS For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 4/28/99

Application/Permit No.: 9903140073 Date Filed: 3/17/99 Date Issued: _____



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 4/28/97

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: *GW* Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

✱ When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

✱ Please bring 3 permit sets to HPC offices for stamping prior to applying for permit w/ DPS. Please call ahead @ 301.563.3400.
Thank you.



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M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 5/3/99

TO: Local Advisory Panel/Town Government

CAPITOL VIEW PARK

FROM: Historic Preservation Section, M-NCPPC

RDZ Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

The Historic Preservation Commission reviewed this project on 4/28/99.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

G:\wp\laphawp.ltr

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10022 Menlo Avenue, Silver Spring Meeting Date: 4/28/99
Resource: Capitol View Park Historic District Review: HAWP
Case Number: 31/7-99B Tax Credit: No
Public Notice: 4/14/99 Report Date: 4/21/99
Applicant: John Gutowski-McGovantes Staff: Robin D. Ziek
PROPOSAL: Alterations and addition RECOMMEND: APPROVAL w/
CONDITIONS

RESOURCE: Non-Contributing Resource in Capitol View Park Historic District
STYLE: Dutch Colonial Revival
DATE: Post 1935

This is a 2-story frame structure with aluminum siding, and 6/6 windows. The structure has a pent roof at the second floor level which connects to the side eaves. The house is situated on a large piece of ground (16,825 sf.).

PROJECT DESCRIPTION

The applicant proposes to add a large single-story addition to the north and rear sides of the existing house. The renovation will accommodate family health conditions as well as the growing family size. To facilitate ease of use for the owner (who had recent back surgery), all of the double-hung windows will be replaced in the house with casement windows. The Dutch Colonial detailing with the pent roof is an add-on to a simple gable-roofed structure, and the owners wish to remove this detailing. The intention is to integrate the addition with the existing house; alterations to the existing house would include alterations of the roof line, replacement of the windows, and removal/relocation of the front door.

To accentuate the new front door, the applicants propose framing the doorway with columns. The low railing at the front porch will be supported with intermittent posts (only one of which is shown on the drawing on Circle 8). The new materials will be compatible with the existing materials: vinyl siding, vinyl-clad wood windows, asphalt roofing shingles. In addition, the applicant will add wood trim at all the doors and windows, and use wood porch railing and wood columns and steps. Finally, the existing rear and side fence will be moved to accommodate the new addition and provide a fenced-in back yard.

STAFF DISCUSSION

The existing resource is non-contributing in the historic district, and the alterations are then reviewed in terms of their impact on the district. The addition is compatible in terms of massing and scale, and will not encroach on the sense of open space in the district. The only trees which may be affected are evergreens which are fairly young. Staff has reviewed an initial proposal (see Circle 7) which was less well integrated than the current proposal. The immediate concerns were the removal of the front door and the use of disparate windows. The LAP has been active in providing design guidance to the applicant and the current proposal reflects the input of both staff and the LAP.

Q

The proposal accentuates the new addition by the use of the front-facing steps, the generous front door and the spacing of the columns on the front porch. To some degree, the focus is removed from the existing house to the addition, reversing the importance of the two elements. While this would most likely not be acceptable in a Contributing Resource, staff feels that it is acceptable here because the effect on the overall district should be minimal.

STAFF RECOMMENDATION

Staff recommends, **with the following conditions**, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

CONDITIONS:

- 1) The porch railing and front step rail will utilize in-set pickets.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

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John Gutowski
Signature of owner or authorized agent

3.16.99
Date

Approved: _____ For Chairperson, Historic Preservation Commission

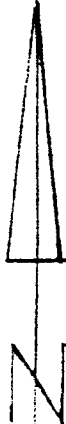
Disapproved: _____ Signature: _____ Date: _____

(3)

Property of Maria Cristina Govantes & John Gutowski

This is a proposal to construct a single-story addition to the existing two-story house located at 10022 Menlo Avenue, Silver Spring, MD. The new addition totaling 944 square feet will comprise a kitchen, master bedroom suite and gallery.

The current home is located on a site plan measuring than 16,000 square feet. The addition will be constructed with modern stick-building techniques, incorporating high-efficiency vynal-clad casement windows, asphalt roofing and white vynal siding. No trees will be affected by the new construction. Existing shrubbery standing in the way of construction will be relocated to other regions of the property.



22

21

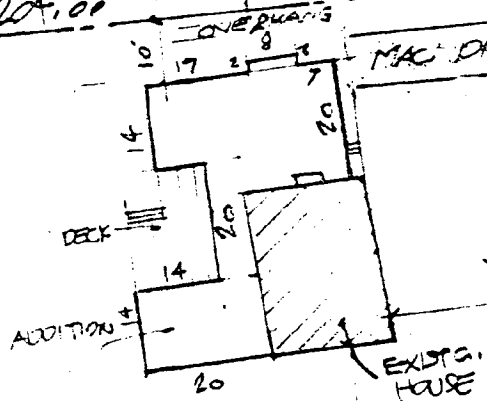
20

19

204.00

914.88

LOT 18
G. 825 sq



179.00

LOT 17

32

JOHN GUTOWSKI
MARIA CRISTINA COVALES
10022 MENLO AVE.
CAPITOL PARK VIEW
MONTGOMERY CO, MD

PLAT BOOK A
PLAT No. 19
FILE NO. RG 9,079

5

1" = 30'

FEB '99

John Gutowski
Maria Cristina Govantes
1002 Menlo Ave.
Capitol View Park
Montgomery Co., MD

GENERAL NOTES:

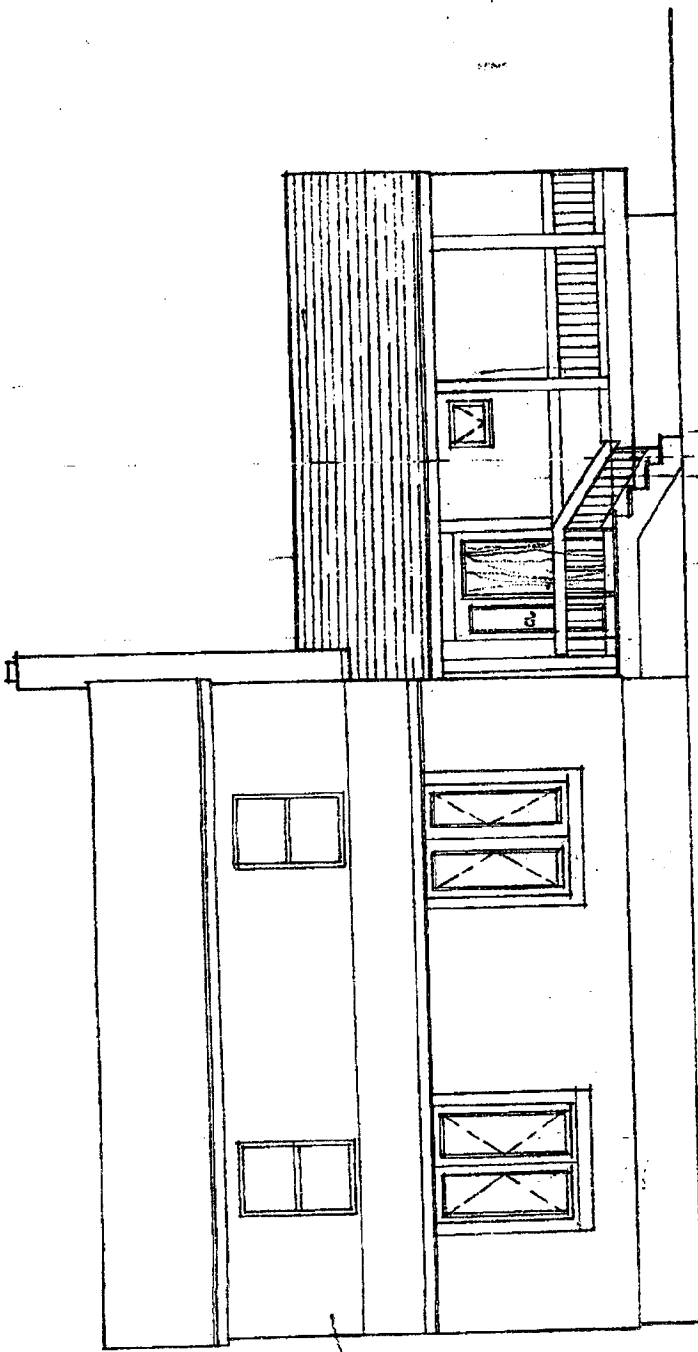
- 1.- Contractor shall verify all dimensions and conditions on the job.
- 2.- Dimensions shall have preference over scale.
- 3.- All lumber shall be grade marked with a stamp of the association covering the species and under whose grading rules it was produced.
- 4.- All load bearing members such as joists, studs, rafters, headers, etc. shall be Douglas fir #2 grade or better, all subject to local codes and specifications.
- 5.- Check with your local Building Department if any of the structural members size is changed.
- 6.- All lumber in contact with masonry or concrete wall or less than 1 foot from the ground shall be pressure treated.
- 7.-All sills are 2" x 6" and shall be pressure treated if required by the local Building Department.
- 8.- All anchor bolts shall be 1/2" x 10" @ 6'0" o.c. within 12' from the end of sills and comers. Provide a minimum of 2 bolts per sill.
- 9.- Provide rodent and insect proofing where plumbing, wires and vents pass through the plates.
- 10.-Concrete in footings shall a minimum strength of 2000 psi after 28 days.
- 11.-All reinforcing steel shall conform to local building ordinances and A.S.T.M. standards.
- 12.-Provide a 15# building felt under all exterior wall coverings.
- 13.-All glass windows and sliding doors shall be double glazed.
- 14.-Provide and approved flashing for all exterior openings, valleys, etc. Use 26 ga. G.I. flashing for all valleys - 24" wide for roofs if less than 4/12 pitch. Valley flashing shall have a splash rib 3/4" in height.
- 15.-Install 2" fire blockings in all soffits.
- 16.-Use 2" x 6" blocking @mid-height in all exterior walls.
- 17.-Locate smoke detectors in the ceiling of bedroom and where required by code.
- 18.-All doors and windows shall be weather-stripped.
- 19.-Provide at least 1/2" square feet of screened underfloor ventilation for each 25 lineal feet of exterior wall on at least 3 sides of the house. One opening shall be located within 3'0" of the end of each wall.
- 20.-Floor joist shall be doubled under all parallel partitions.
- 21.-Batts with a minimum insulation factor of R-11 shall be installed in all exterior walls. Batts in ceiling shall have a minimum of R-19. Check with your building department.

(6)

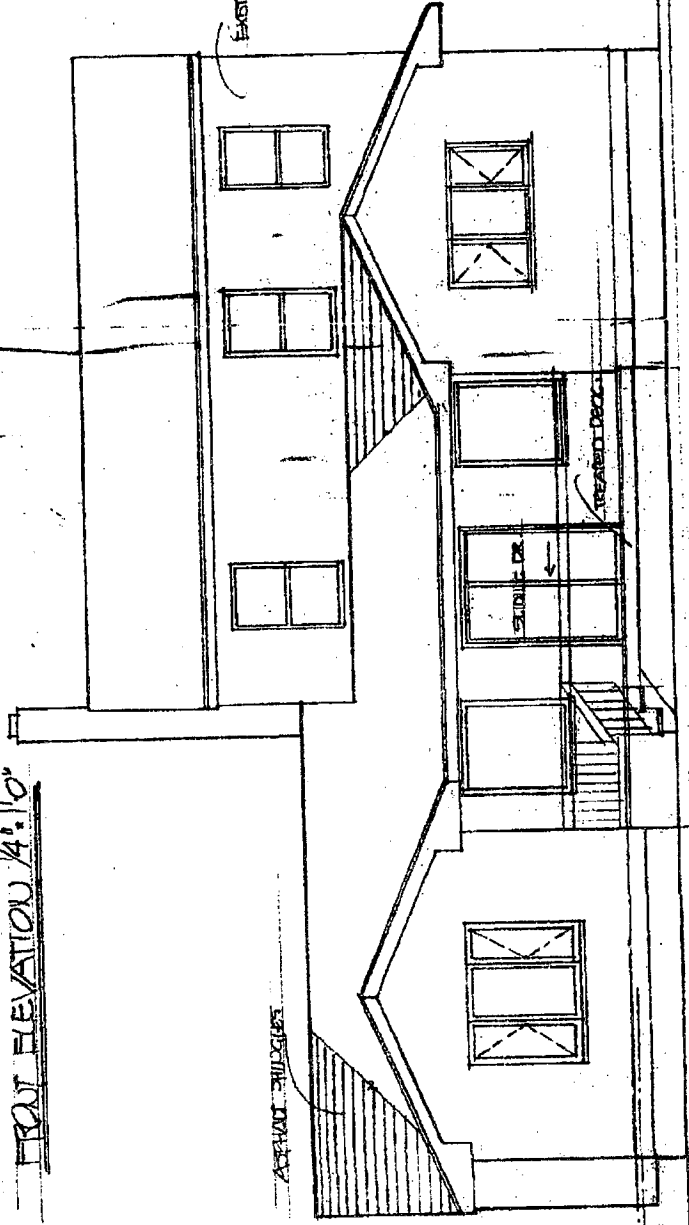
Initial
Proposal

SUBSEQUENTLY
REUSED

PHO GUIDICKI
MARIA GERSTDA COVATIS
1022 N. BELL AVE.
CAPTIVE VIEW PASS
MONTICELLO, VA

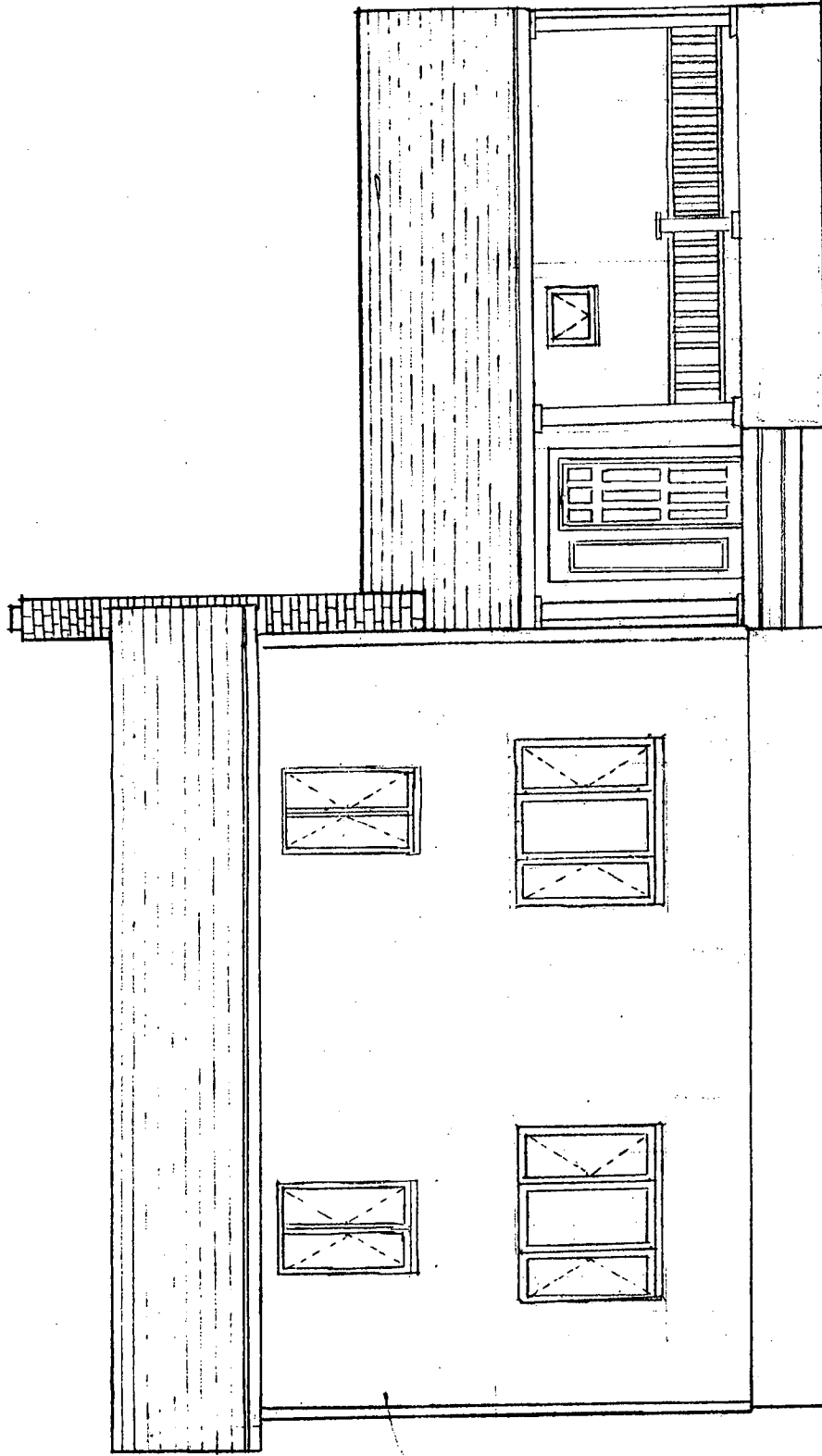


FRONT ELEVATION 1/4" = 1'-0"



REAR ELEVATION 1/4" = 1'-0"

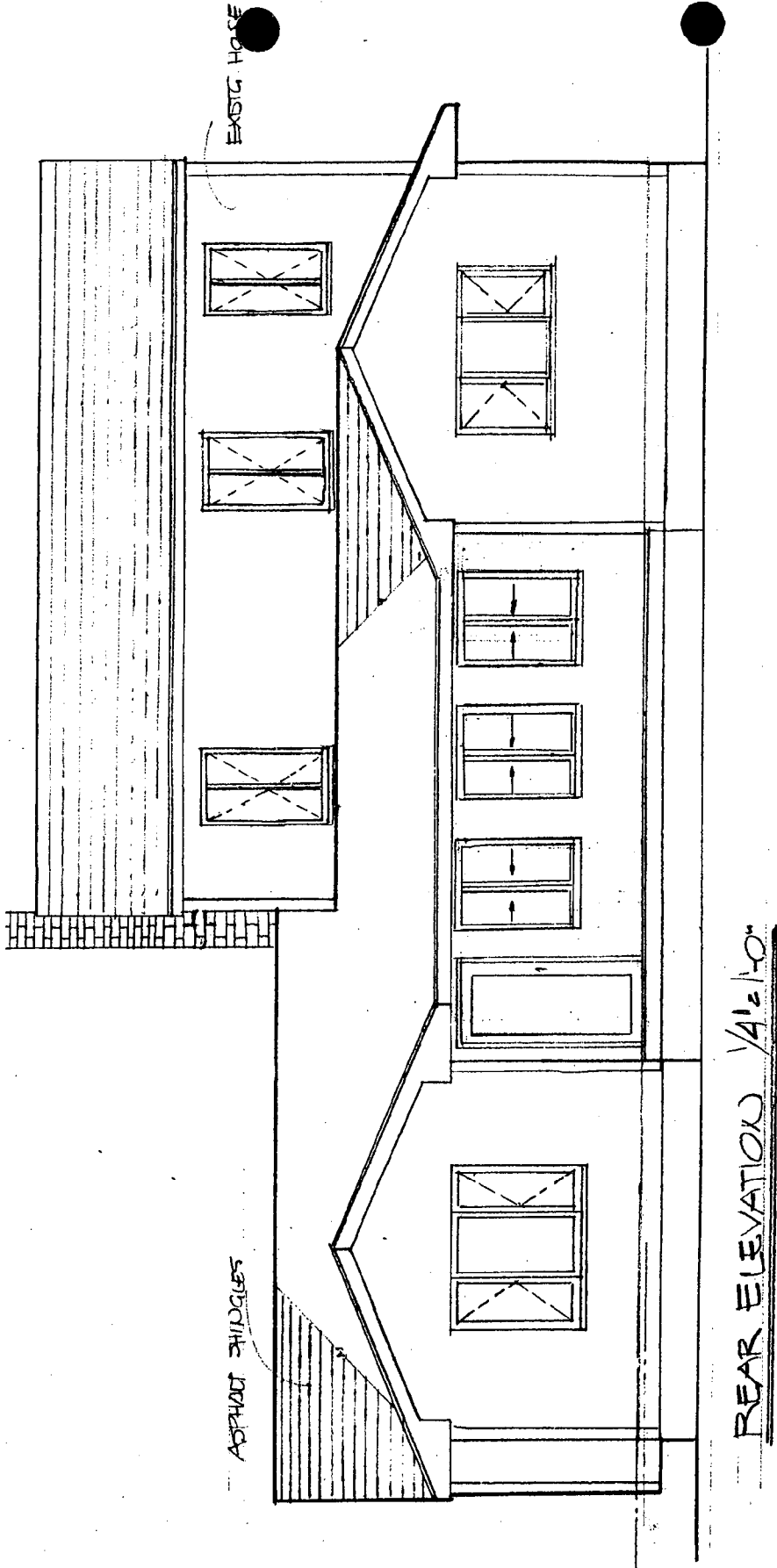
7



EXIST. HOUSE

FRONT ELEVATION 1/4" = 1'-0"

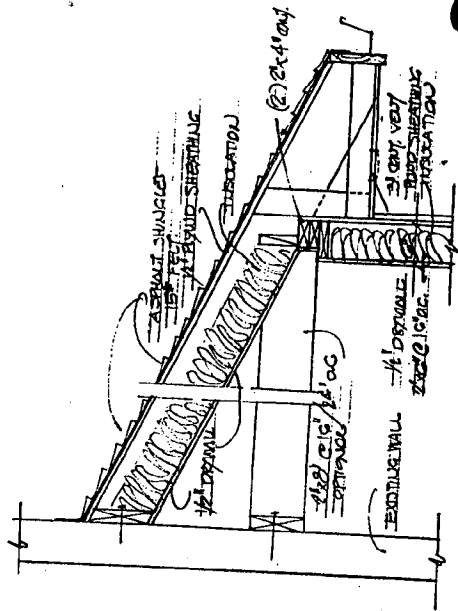
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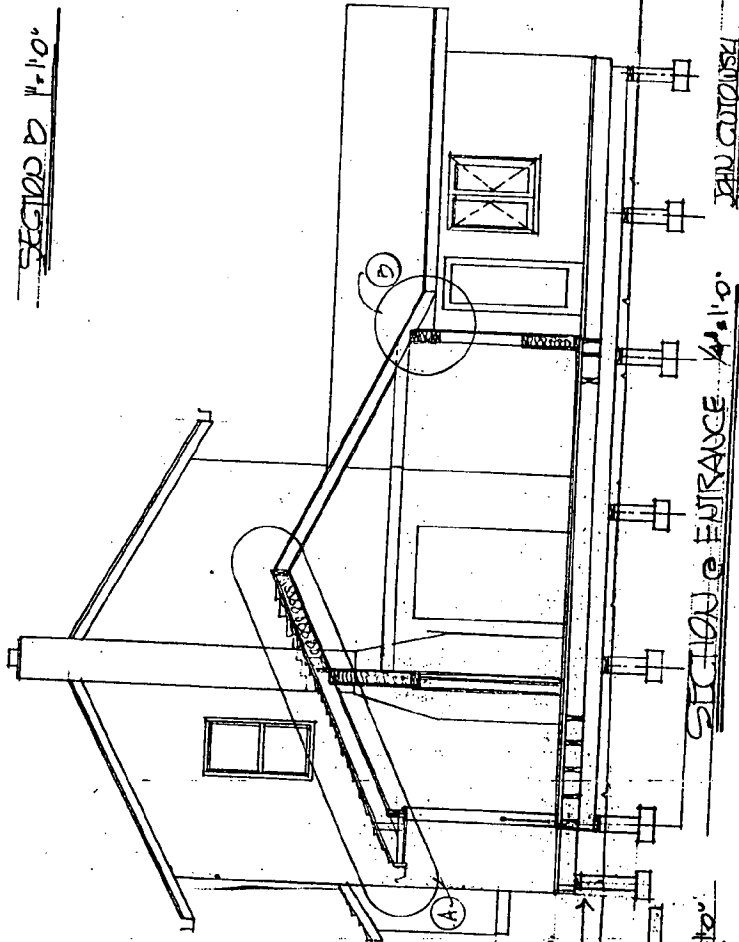
EXISTG. HOSE

ASPHALT SHINGLES

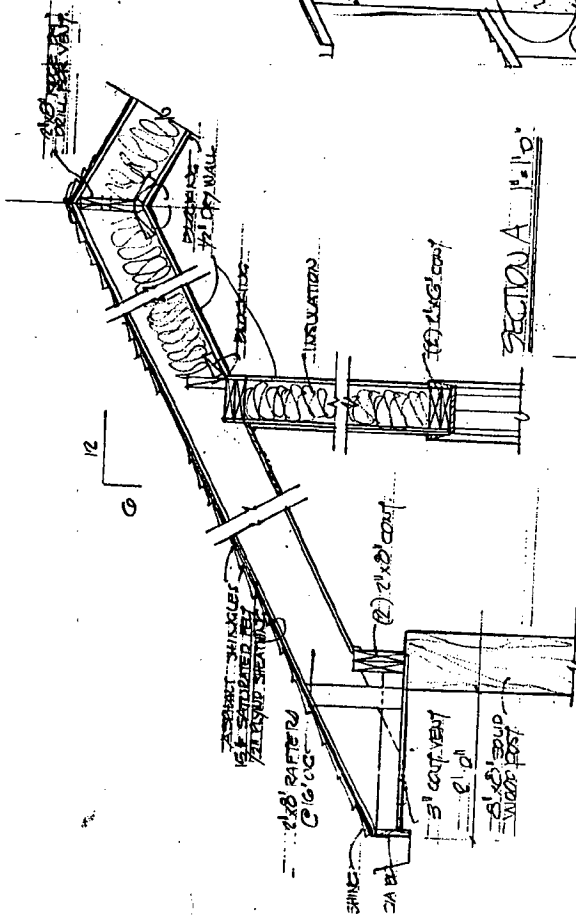
REAR ELEVATION 1/4" = 1'-0"



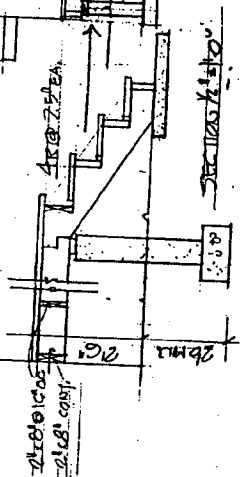
SECTION D 1/4" = 1'-0"



SECTION C ENTRANCE 1/4" = 1'-0"



SECTION A 1/4" = 1'-0"

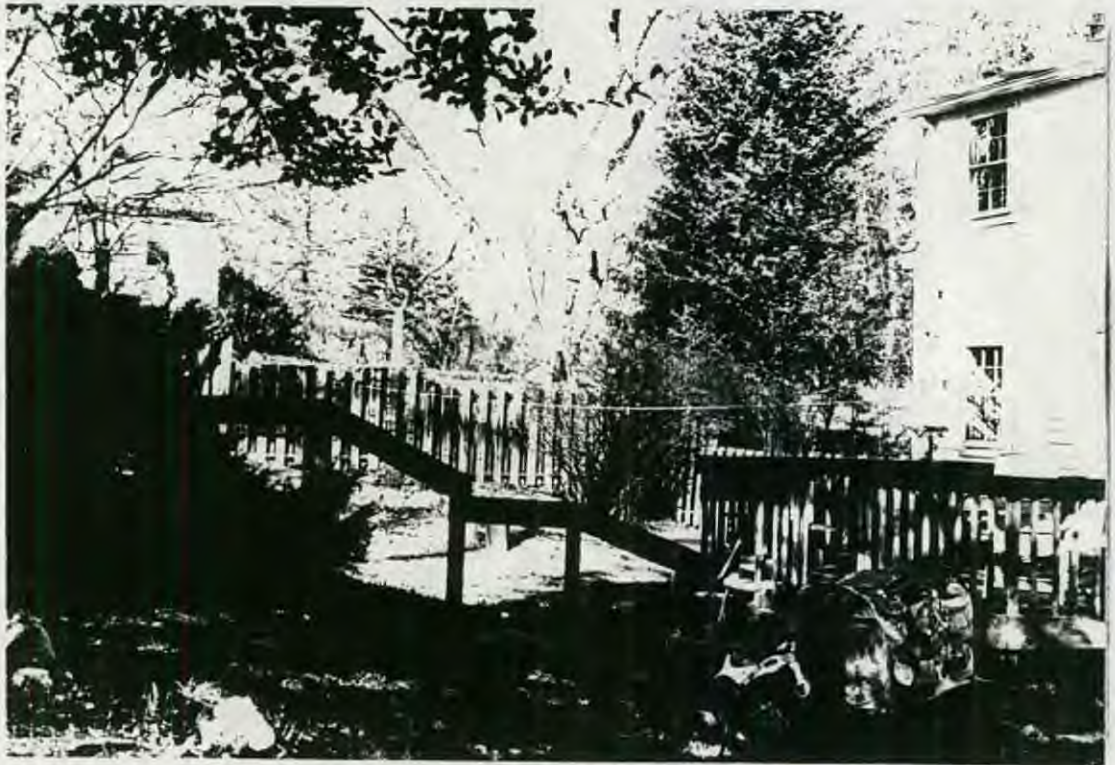


SECTION B 1/4" = 1'-0"

PHIL CUTIORSKI
 MARIA CRISTINA CRIVANTE'S
 BOZZ & BENDISZ
 CAPRIOS VIEW PARK
 MANICOMERY CO. MD.



FRONT ELEVATION



VIEW TOWARDS REAR YARD + SIDE YARD
PROPOSED LOCATION OF NEW ADDITION

(11)



REAR ELEVATION

FRONT ELEVATION

PENT
ROOF



REAR
AND
SOUTH (SIDE)
ELEVATION



REAR ELEVATION





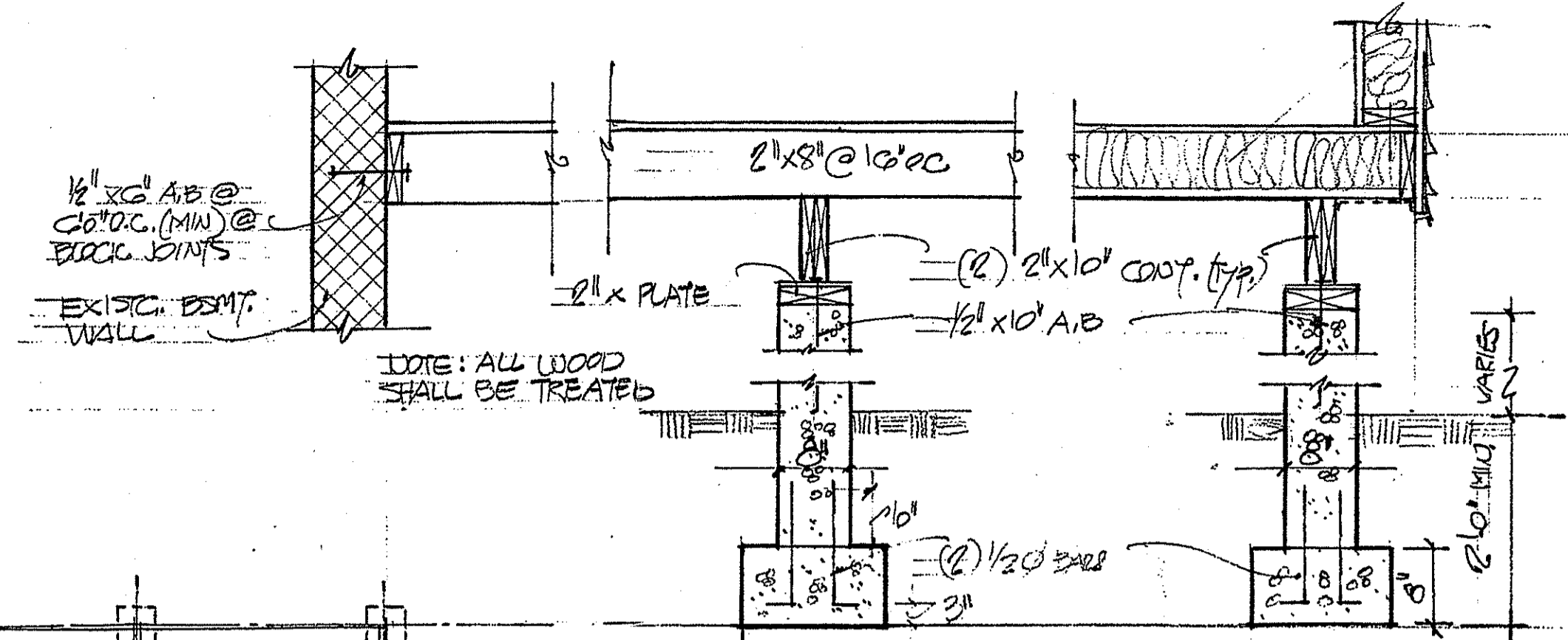
FRONT ELEVATION 1/4" = 1'-0"



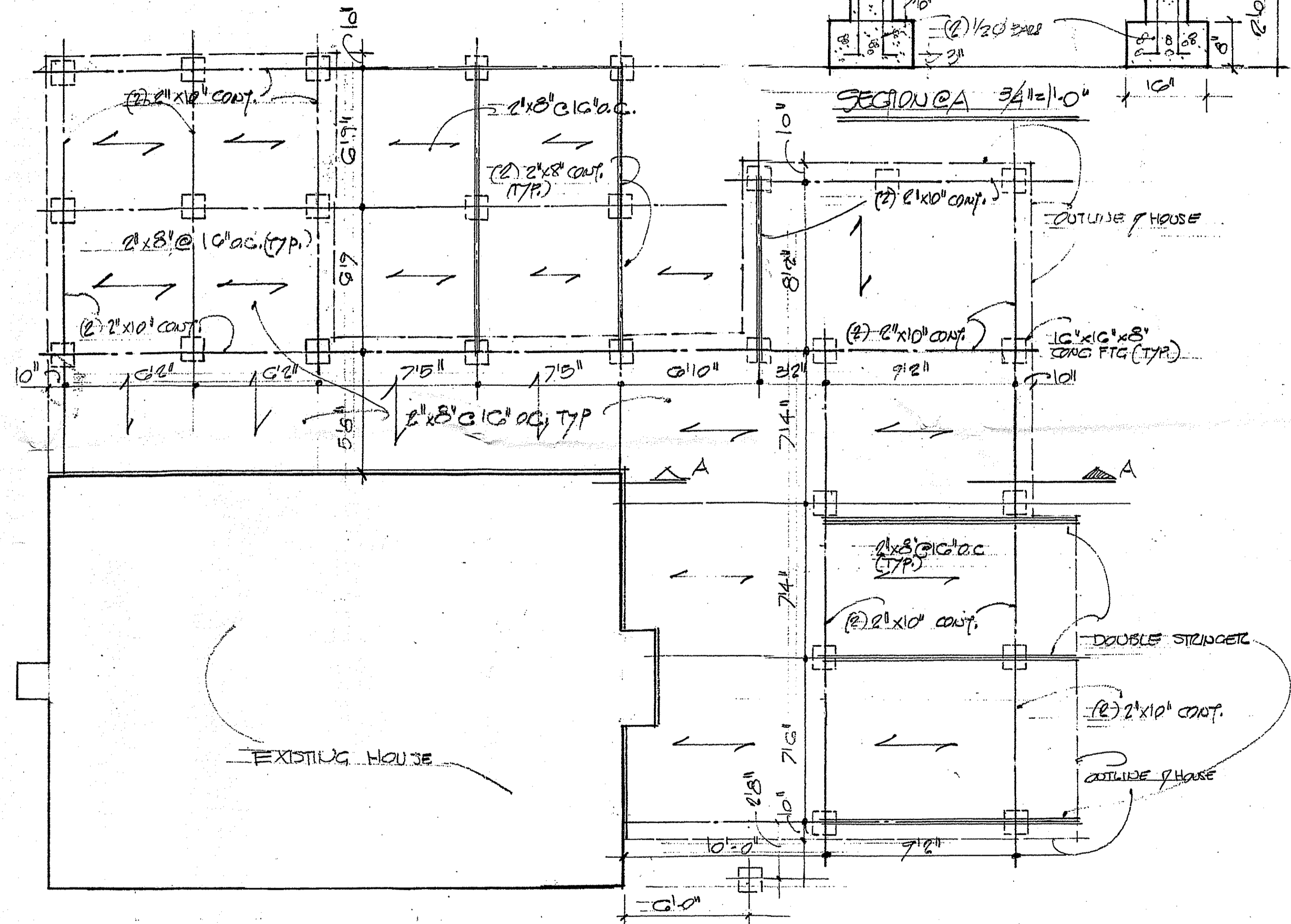
REAR ELEVATION 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] RD 2
 5/26/99

JOHN GUTOWSKI
 MARIA CRISTINA COVANTES
 1022 MEDO AVE.
 CAPITOL VIEW PARK
 MONTGOMERY CO. MD.

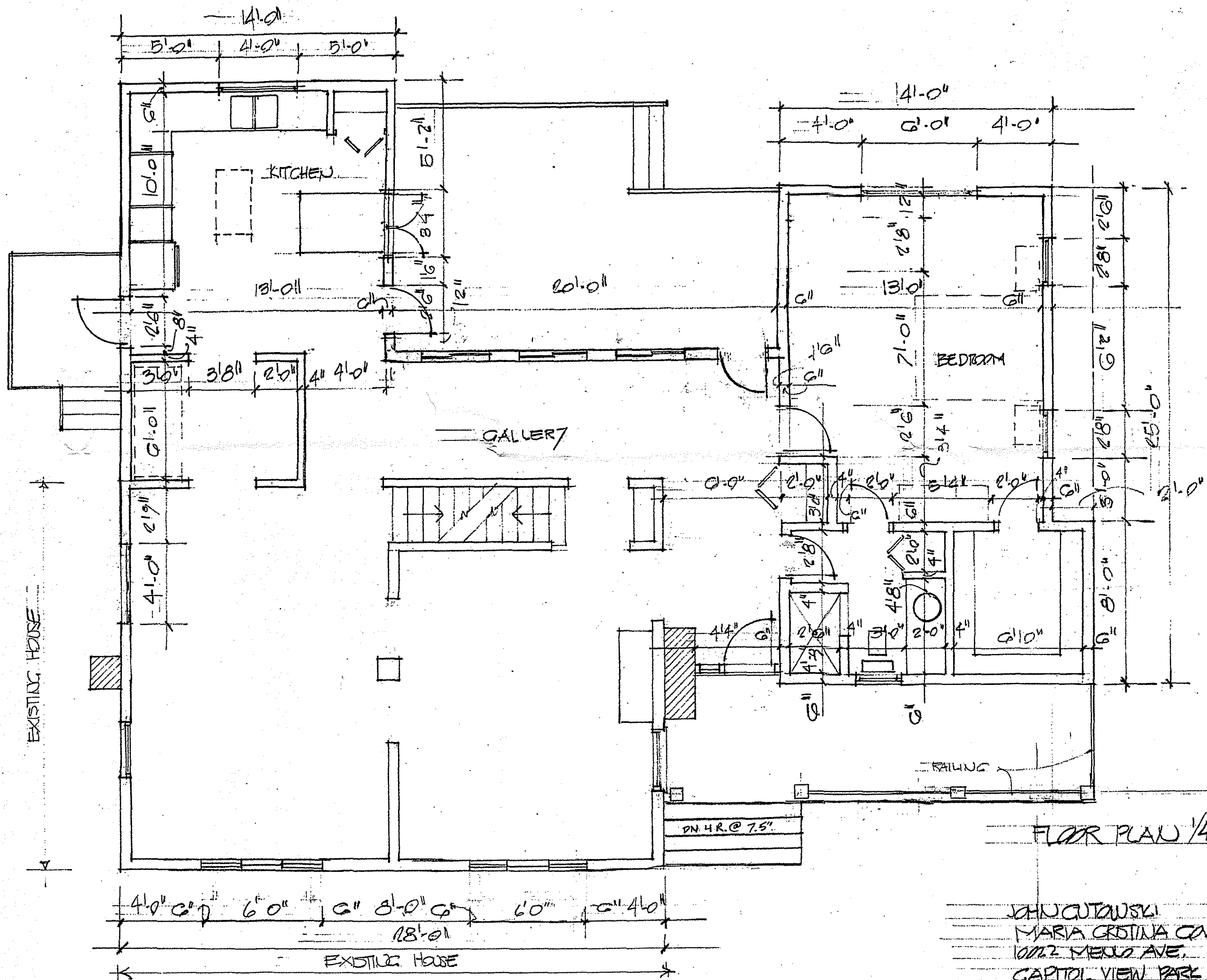


NOTE: ALL WOOD SHALL BE TREATED



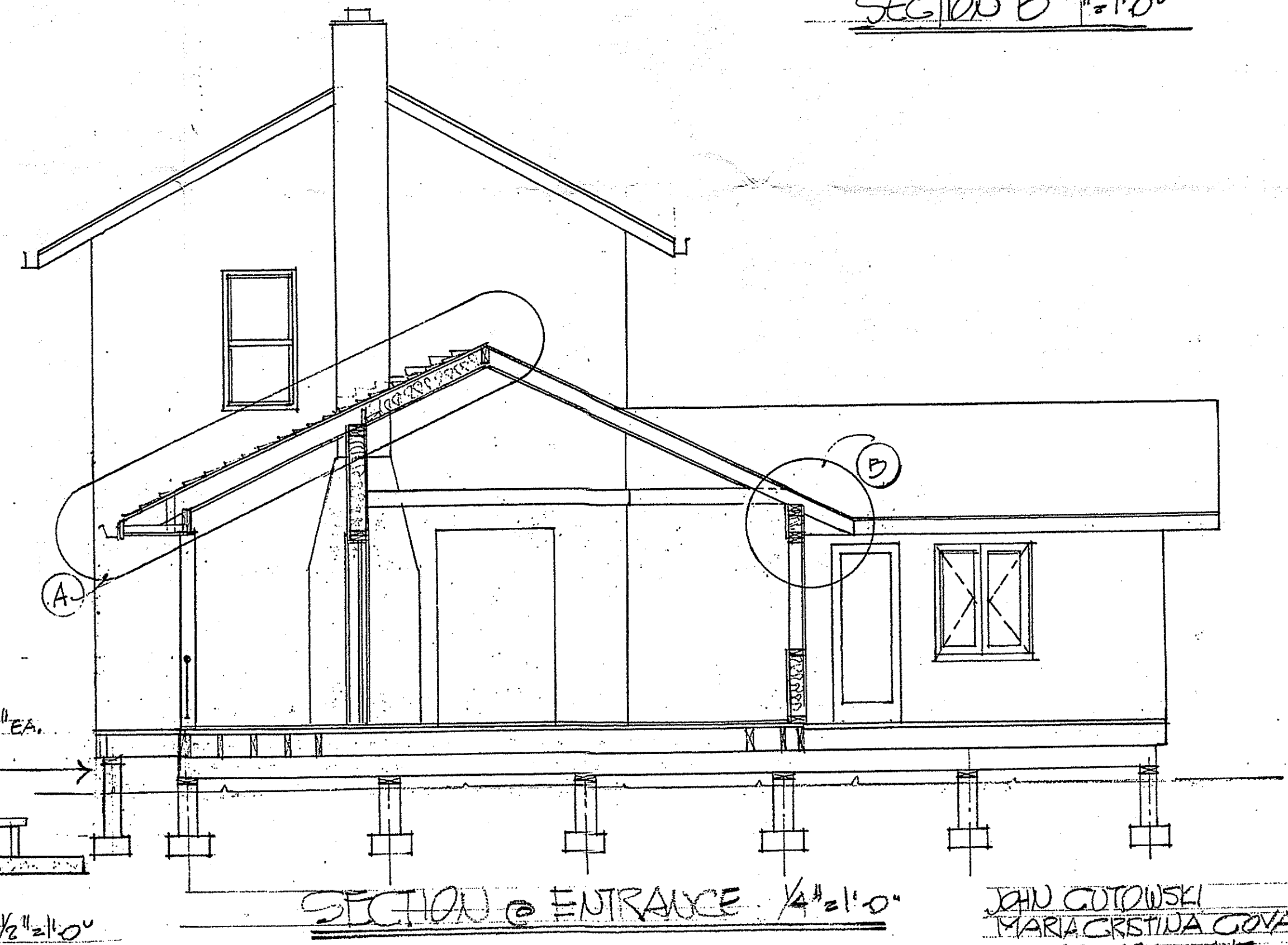
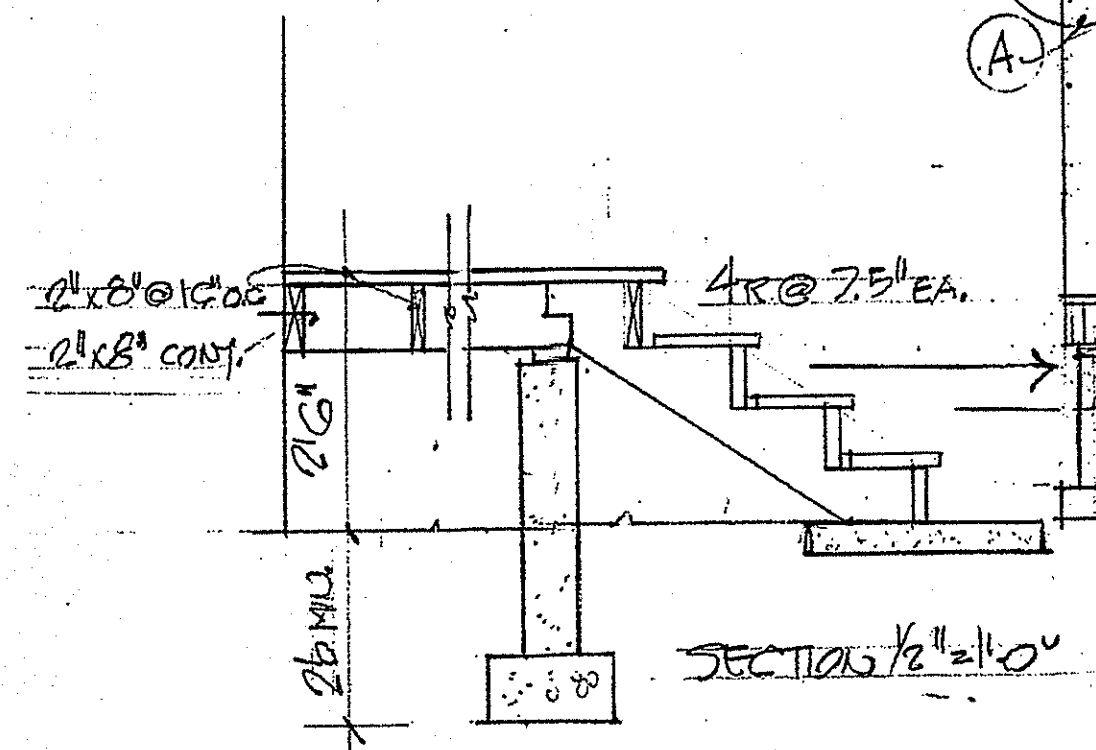
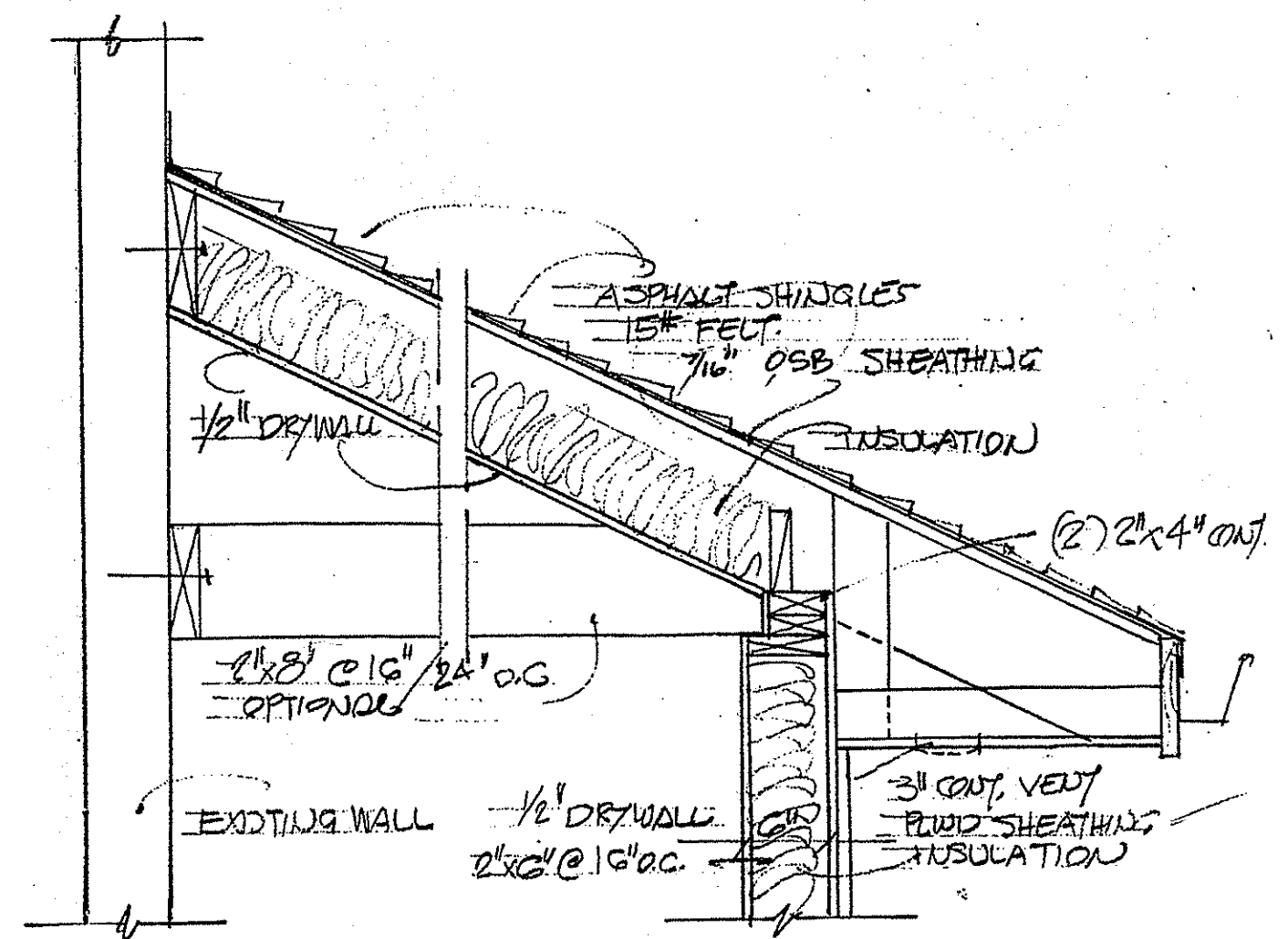
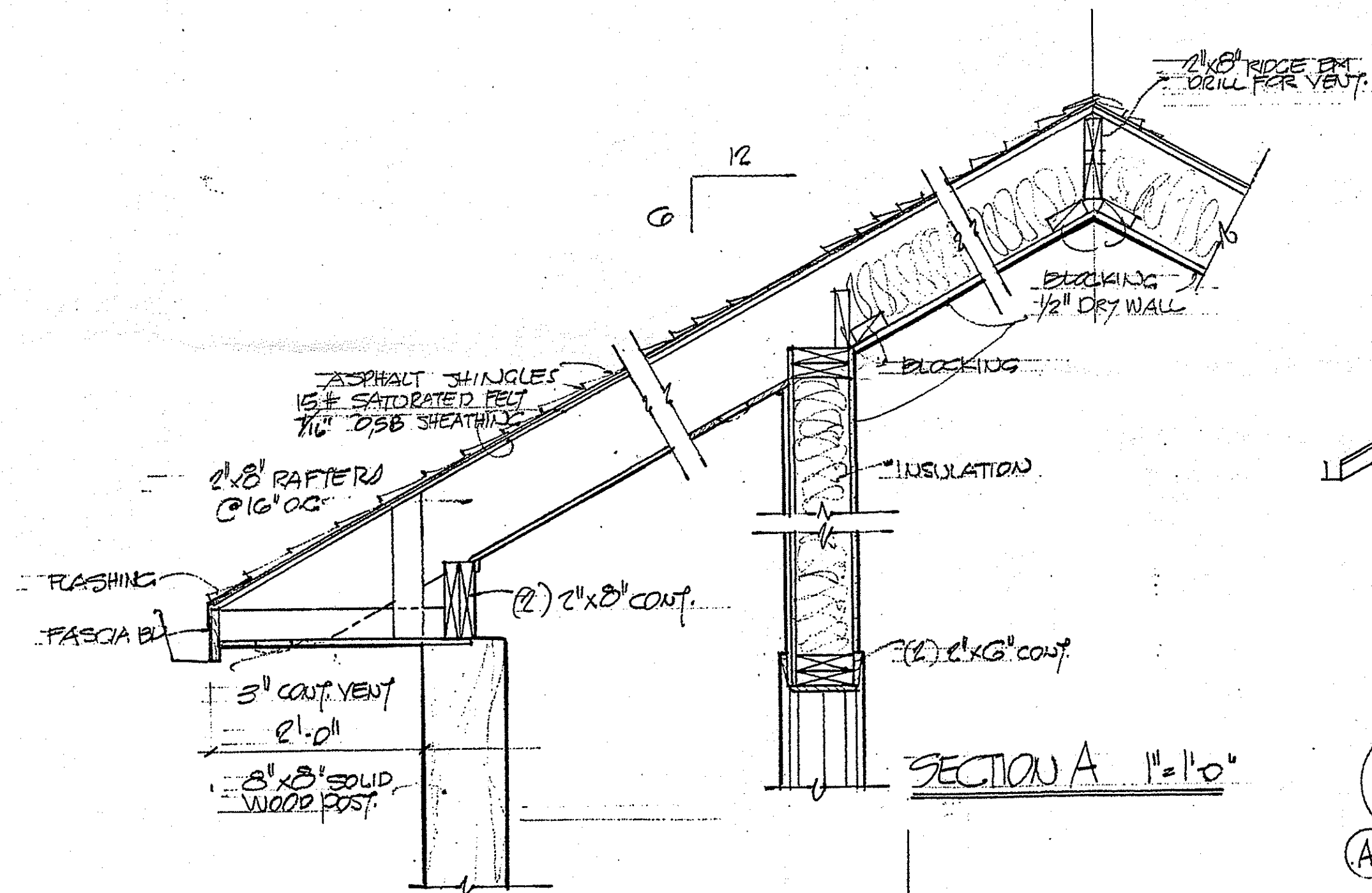
FOUNDATION PLAN 1/4" = 1'-0"

JOHN GUTOWSKI
 MARIA CRISTINA COVANTES
 10022 MENLO AVE.
 CAPITAL VIEW PARK
 MONTGOMERY CO. MD.



FLOOR PLAN 1/4" = 1'-0"

JHUCUTOWSKI
 MARIA CRISTINA CAVANTES
 1022 MEXUS AVE.
 CAPITOL VIEW PARK
 MONTGOMERY CO. MD.



JOHN GUTOWSKI
 MARIA CRISTINA GOVANTES
 10022 MENDO AVE.
 CAPITOL VIEW PARK
 PENTACORP CO. MD.













