

31/7-92B 10229 Capitol View Ave.
Capitol View Park

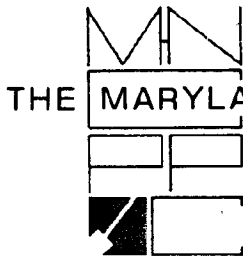
KENSINGTON DESIGN & BUILD

Quality Decks

STANLEY BUDEN
Free Estimates

10410 Drumm Ave.
Kensington, MD 20895

(301) 933-0072
M.H.I.C. #78810



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

June 12, 2003

MEMORANDUM

TO: Department of Permitting Services

FROM: Gwen Wright, Historic Preservation Supervisor *Gwen Wright*

SUBJECT: Deck Replacement at 10229 Capitol View Avenue

Our office has received an application for replacement of an existing deck at 10229 Capitol View Avenue. This property is in the Capitol View Historic District and is subject to the provisions of the Historic Preservation Ordinance, Chapter 24A.

The applicant is proposing to remove an existing wood deck at the rear of the structure that has rotted out and to replace that deck with a new one which will substantially replicate the existing. The new deck will be constructed with treated wood structural members, wooden handrails, and synthetic decking materials. It will be approximately 12 feet deep by 24 feet wide and will be entirely behind the existing house.

Given that the project replaces an existing deck, which has rotted, with a new deck with is substantially identical in appearance to the existing, staff feels that this can be approved on the staff level as ordinary maintenance.

Therefore, this letter serves as the Historic Preservation Section's approval to proceed with issuing a building permit for the reconstruction of a deck at 10229 Capitol View Avenue.



Montgomery County Maryland
Department of Permitting Services

255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4153
(240) 777-6300 Fax (240) 777-6262
<http://permits.emontgomery.org>



APPLICATION FOR COMMERCIAL BUILDING PERMIT

Sediment Control # _____

U & O # _____

residential
Historic
Master Set

Building AP #(s) 308601

Demolition # _____

DESCRIPTION OF WORK: (check all that apply)

- ADDITION
 - ALTERATION
 - CONSTRUCT
 - DEMOLISH
 - MOVE
 - FOUNDATION ONLY
 - RESTORE and/or REPAIR
 - CHANGE OF USE
- Gross Sq. Ft. of Area Created or Affected by this Action: 288
- Disturbed Land Area: 288
- Estimated Project Cost: \$ 12,500

USE OF BUILDING OR SPACE:

- ASSEMBLY
- BIOSCIENCE
- BOARDING HOUSE
- EDUCATIONAL
- GARAGE
- HOTEL
- INSTITUTION
- MULTI-FAMILY SENIOR **
- MULTI-FAMILY **
- BANK
- BUSINESS OFFICES
- DAY CARE FACILITY
- FENCE*
- HOSPITAL
- INDUSTRIAL
- MERCANTILE
- PLACE OF WORSHIP
- POOL ABOVE GROUND
- POOL IN GROUND
- POST OFFICE
- RESTAURANT
- RETAINING WALL*
- STORAGE
- THEATER
- TRAILER***
- MODULAR BUILDING***
- OTHER USE: _____

R-60
293m3

* IF BUILDING A FENCE OR RETAINING WALL
(A signed approval letter from the adjacent lot owner's is required)

HEIGHT 8 ft. _____ ins
 Located entirely on the land of the owner
 Public Right of Way/Easement
 Located on the lot line.

*** Manufacture's Name & Model # for all Trailers & Modular Buildings: _____

REVISION to ORIGINAL PERMIT # _____
(Original permit has been issued and is active)

STRUCTURAL ELECTRICAL MECHANICAL SITE ARCHITECTUAL OTHER: 1

BUILDING PREMISE ADDRESS:

Street Number 10229 Street Capitol View Ave City Silver Spring zip 20910
Lot(s) 10 Block 2 Subdivision Capitol View Park
Floor/Suite # _____ Nearest Cross Street Plyers Mill Rd.

APPLICANT INFORMATION: Contact ID#: _____ Fax #: 301 933 3504 Email: _____

Name of Applicant Stanley Buden DBA Design + Build Daytime Phone #: 301 933 0072
(Permit will be issued to applicant)

Address 10229 Capitol View Ave City Silver Spring State MD zip 20910

POINT OF CONTACT: Contact ID#: _____ Fax #: _____ Email: _____
(If other than applicant)

Contact Person Stanley Buden or John Culver Daytime Phone #: 301 933 0072

Address 10410 Drumm Ave city Kensington State MD zip 20895

EXPEDITED PLAN REVIEW: I request an Expedited Plan Review, when available, which is subjected to additional fees.

Stanley Buden
(Applicant's Signature) Date 6/10/03

Stanley Buden
(Print Name)

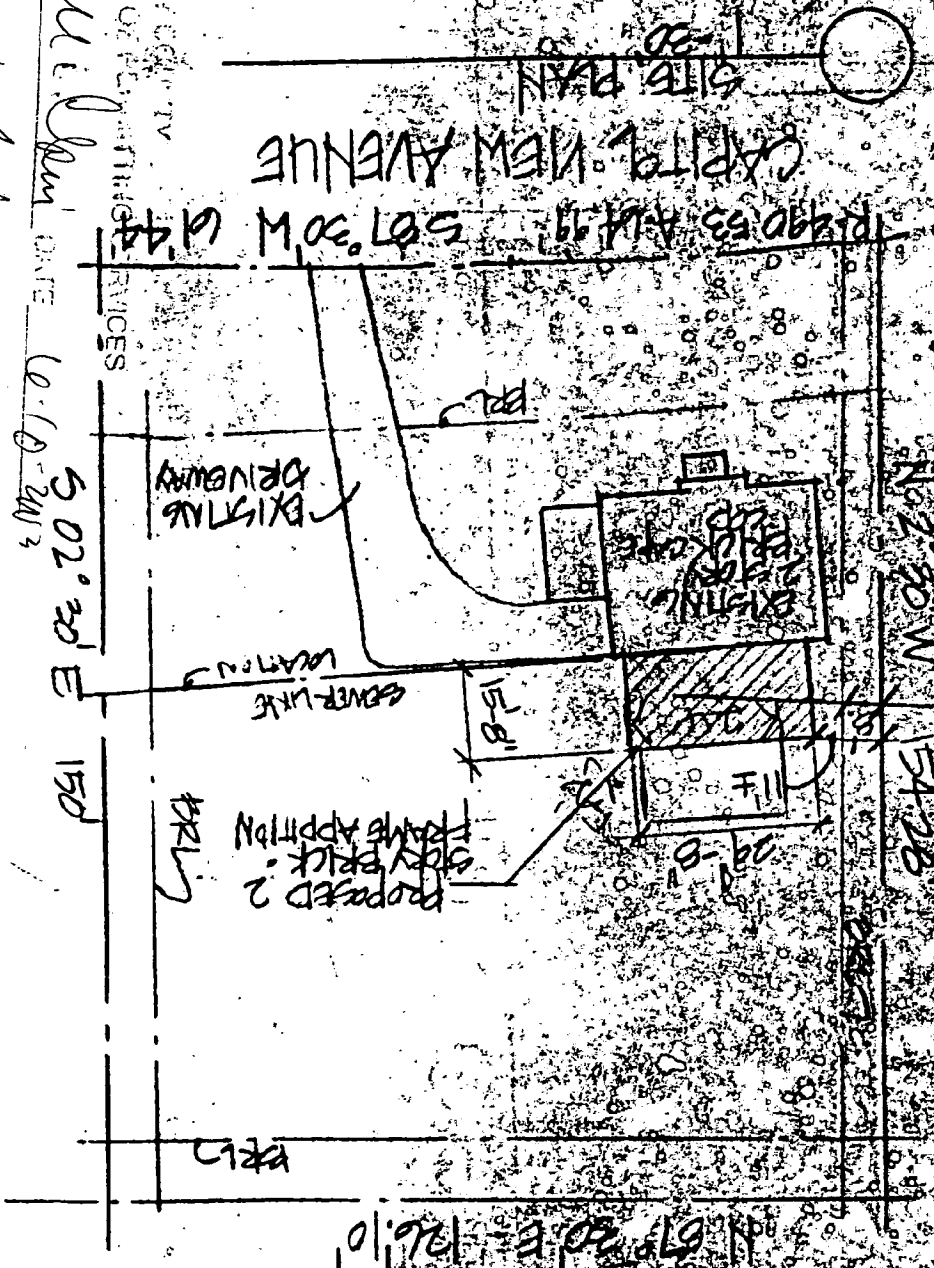
Approved: *Debra D'Amico* Date: 9/14/99

Zoning Class: R-60 Page: 2/32

Board of Appeals Case

Per: *Ady*

SITE PLAN



ADDRESS: 10229 CAPITOL VIEW AVENUE
SILVER SPRING, MARYLAND 20910
MONTGOMERY COUNTY

OWNER: LAURA A. JAYNES
JOHN M. CULVER

APPROVED: *Michael J. ...*
DATE: 10-10-2003
ZONING CLASS: R-60
PAGE: 2-13mm3

BOARD OF APPEALS CASE

FREE STANDING
BRACE CORNERS

2x12 Beam Bolted to 6x6 Post x 2

MONTGOMERY COUNTY
Department of Permitting Services

Elevation
8'

Approved R. Gordon
Date 6/10/03

2x8 Joists
12" On Center

GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION

MONTGOMERY COUNTY EXECUTIVE
REGULATION 36-01, SEC. 5:

THE FINAL INSPECTION MUST BE
REQUESTED AND APPROVED BEFORE
A BUILDING (OR PORTION THEREOF)
IS USED OR OCCUPIED

6x6 Post
2x12 Beams
{Doubled Board}
12'
P.F.
(TYP.)

Post Span
10'

24'

(2) 1/2" ϕ
CARRIAGE
BOLTS
(TYP.)

17" ϕ

8'
Post
Span

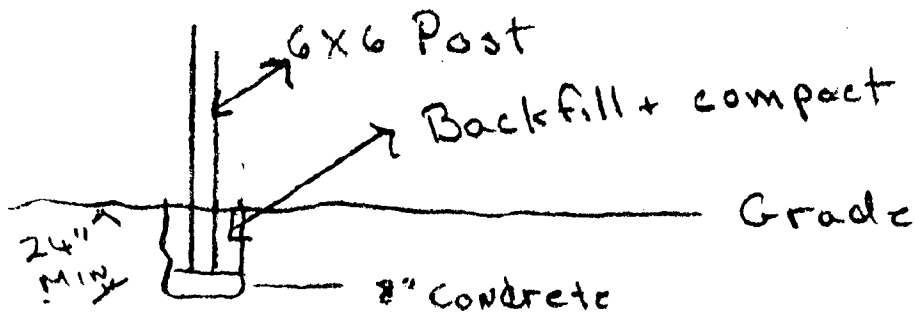
Beam
Cantilever 2'

rear of house
30'

2'
Joist
Cantilever

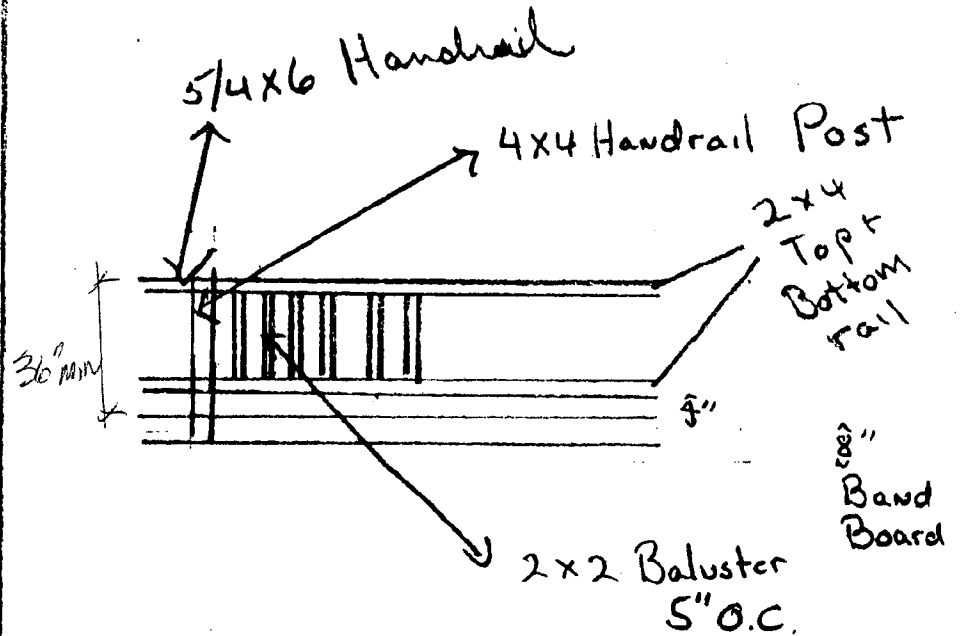
CHANGES OR MODIFICATIONS TO
THESE PLANS MAY REQUIRE
RESUBMITTAL WITH ADDITIONAL
PERMIT FEES. NO CHANGES
CAN BE MADE TO THE APPROVED
DRAWINGS.

Footer Detail



1 1/2" x 1 1/2" O.D.
Diam

GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION



rail detail



Montgomery County Department of Permitting Services
 255 Rockville Pike
 Rockville, MD 20850
 240-777-6300



NOTICE OF REQUIRED RESIDENTIAL BUILDING INSPECTIONS

You are being provided with this Notice so that you will understand which BUILDING INSPECTION(S) must be performed as a condition of a permit issuance. You must arrange for the inspection(s) according to the procedures specified below. Please call 240-777-6210 between the hours of 7:30 a.m. – 4:00 p.m. Monday to Friday, if you have any questions about the required inspection(s). If you have job specific questions during construction please call the inspector assigned to the area in which the project is located.

Inspections shall be requested at least 24 hours prior to the date the inspection is needed. To schedule an inspection, call 240-777-6210. Inspection requests must include the street address, permit number, and the type of inspection needed. Inspection requests made before 12 noon will be scheduled for the next working day, requests made after 12:00 noon will be scheduled within two working days. A specific time for an inspection cannot be given at the time that the inspection is scheduled.

The permit must be posted in front of the site or house and be visible from the main road or entrance. If house numbers are not shown on the house or structure, the address must be posted in the same area as the permit and must be displayed in large four-inch letters on a temporary card or the window. FOR ALL INSPECTIONS, A SET OF APPROVED PLANS STAMPED BY MONTGOMERY COUNTY MUST BE ON THE JOB SITE FOR INSPECTOR'S REVIEW.

BEFORE YOU DIG call MISS UTILITY 1-800-257-7777 (2 day notice is required)

The following INSPECTIONS are required for your building permit number 308601

- 555 SIGN – The sign must be posted on the property within 3 days after the permit issuance date and must remain posted on the property for 30 days. The sign must be located on the side of the lot/parcel, which provides principal access to the street or right-of-the-way. It must be conspicuously posted not more than 5 feet from the front property line and mounted at least 30 inches, but not more than 60 inches, above the ground. NO BUILDING INSPECTION WILL BE PERFORMED PRIOR TO THE APPROVAL OF THIS INSPECTION.
- 001 FOOTINGS –Conducted prior to concrete placement and after excavation for wall footings, retaining wall footing (sometimes), column/pier footings, or thickened slabs have been completed; after grade stakes, reinforcing steel, concrete-encased electrode (for new homes) are in place; and after sediment control measures are installed according to the approved sediment control plans.
- 402 REBAR, DEADMAN, GEOGRID PLACEMENT – Conducted prior to pouring/backfilling retaining walls.
- 002 FOUNDATION/PARGING OR BACKFILL –Conducted after the walls have been waterproofed and exterior foundation drainage system has been installed. If interior drain tiles are to be used, weep holes (2 in. minimum diameter, 6 feet on center) must be installed. A second inspection may be required prior to backfilling the interior drainage system.
- 011 CONCRETE SLAB-ON-GROUND FLOOR –After the installation of the slab base, the vapor retarder, slab edge insulation, and a minimum 3 in. schedule 40 PVC, or equivalent gas tight pipe inserted into a 3 in. tee embedded into the slab base for the venting of RADON GAS and labeled adequately. Where the sump crock is to be used for the venting of RADON GAS, it must be in place at the time of the inspection.

ION

MONTGOMERY CO. GOVERNMENT

Department of Environmental Protection
Division of Environmental Policy & Compliance

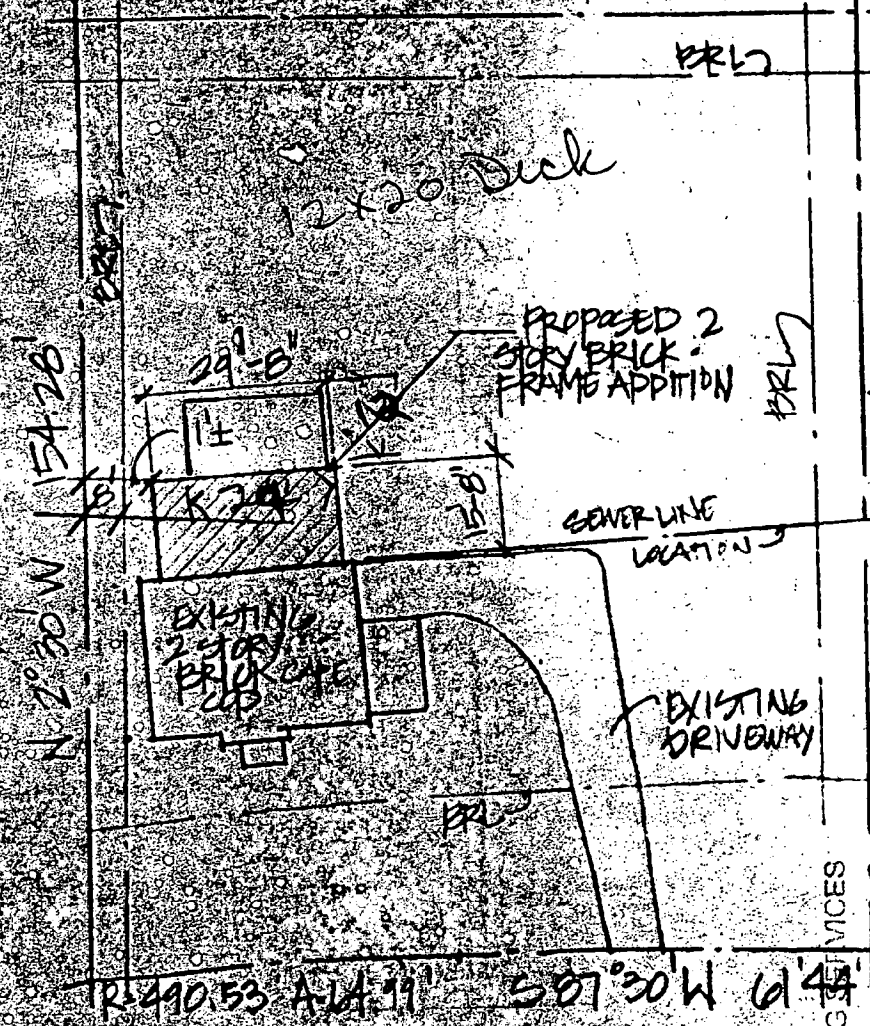
Approved Debra Daniel Date 9/4/9

Zoning Class R-60 Page 2/3N

Board of Appeals Case Pen Add

SITE PLAN

N 57° 30' E 126' 10"



R 490.53 ADA 11 S 07° 30' W 61' 4\"/>

CAPITOL VIEW AVENUE

SITE PLAN

OWNERS: LAURA A. JAYNES
JOHN M. CULVER

ADDRESS: 10229 CAPITOL VIEW AVENUE
SILVER SPRING, MARYLAND 20910
MONTGOMERY COUNTY

MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES

APPROVED Debra Daniel DATE 6-10-2003 5 02° 30' E 150'

ZONING CLASS R-60 PAGE 2/3NW 3

BOARD OF APPEALS CASE

AKC

FREE STANDING
"BRACE CORNERS"

2x12 Beam Bolted to 6x6 Post x 2

MONTGOMERY COUNTY
Department of Permitting Services

Elevation

Approved R. Gordon
Date 6/10/03

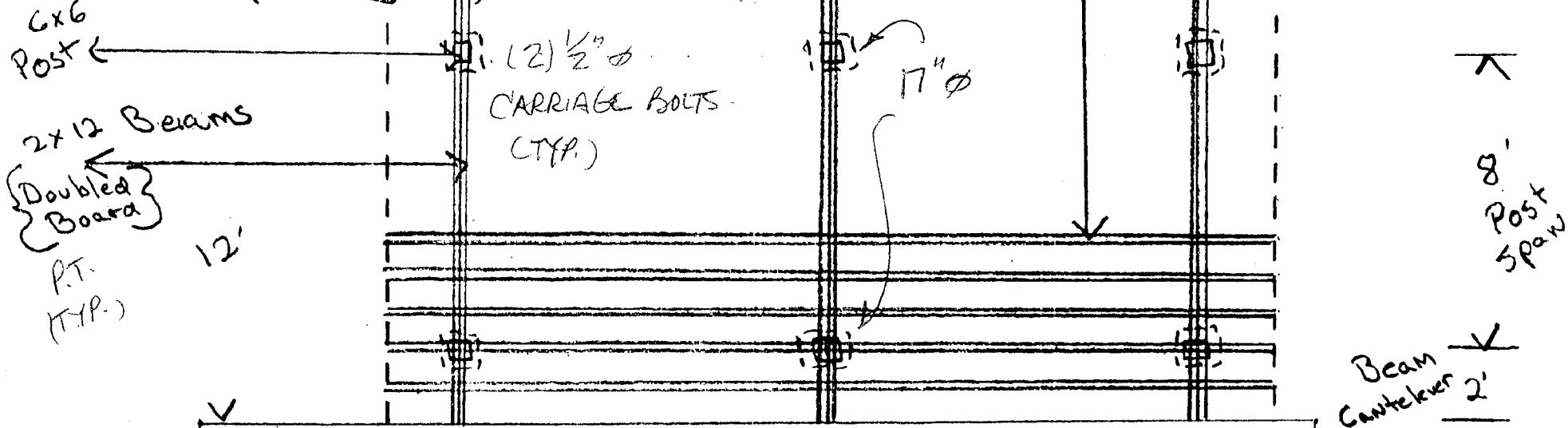
2x8 Joists
12" On Center

MONTGOMERY COUNTY EXECUTIVE
REGULATION 36-01, SEC. 5:
THE FINAL INSPECTION MUST BE
REQUESTED AND APPROVED BEFORE
A BUILDING (OR PORTION THEREOF)
IS USED OR OCCUPIED

Post span
10'

24'

GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION



CHANGES OR MODIFICATIONS TO
THESE PLANS MAY REQUIRE
RESUBMITTAL WITH ADDITIONAL
PERMIT FEES. NO CHANGES
CAN BE MADE TO THE APPROVED
DRAWINGS.

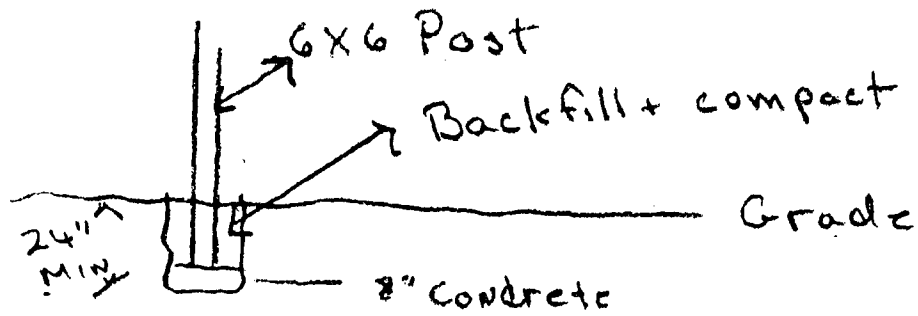
rear of house
30'

2' x 2' Joist
Cantilever
"BRACE CORNERS"
FREE STANDING

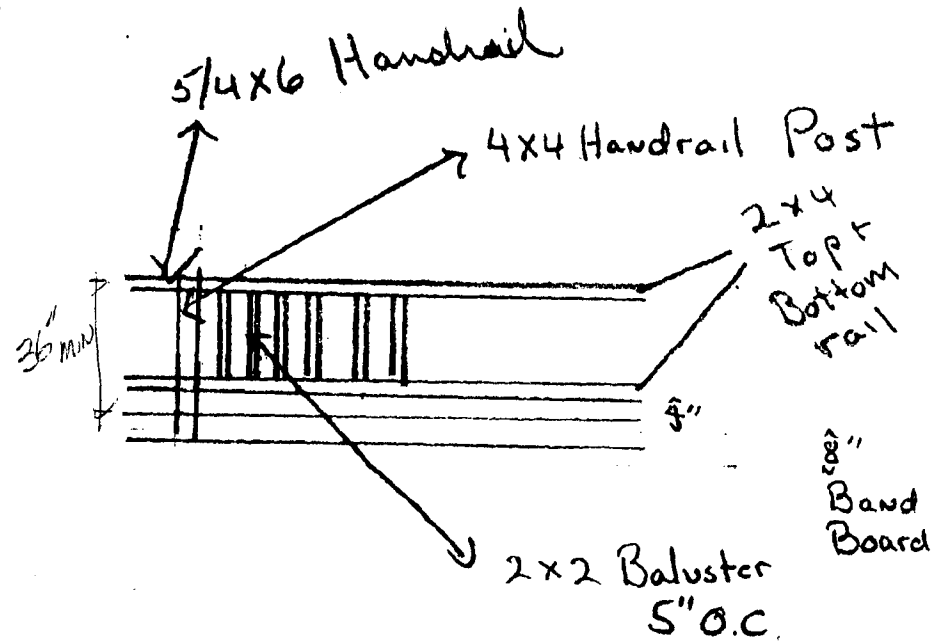
Beam
Cantilever 2'

8'
Post
Span

Footer Detail



1 1/2" x 1 1/2" U.N.O.
Diam



rail detail

GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION



6221 Historic Preservation Commission
 51 Monroe Street, Suite 1001, Rockville, Maryland 20850
 217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____
 NAME OF PROPERTY OWNER JOHN CULVER TELEPHONE NO. 301-565-7815
 (Contract/Purchaser) LARIKA JAVIERES (Include Area Code)
 ADDRESS 10229 CAPITOL VIEW AV SILVER SPRING MD 20910
 CITY STATE ZIP
 CONTRACTOR _____ TELEPHONE NO. _____
 PLANS PREPARED BY ROBERT WELLS, AIA CONTRACTOR REGISTRATION NUMBER _____
 TELEPHONE NO. 301-977-6308
 (Include Area Code)
 REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 10229 Street CAPITOL VIEW AV
 Town/City SILVER SPRING MD Election District _____
 Nearest Cross Street MEREDITH ST.
 Lot 10 Block 2 Subdivision CAPITOL VIEW PARK
 Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)
 Construct Extend/Add Alter/Renovate Repair Wreck/Raze Move Install Revocable Revision
 Circle One: A/C Slab Room Addition
 Porch Deck Fireplace Shed Solar Woodburning Stove
 Fence/Wall (complete Section 4) Other _____
 1B. CONSTRUCTION COSTS ESTIMATE \$ 100,000
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO
 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO
 1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL
 01 () WSSC 02 () Septic 03 () Other _____
 2B. TYPE OF WATER SUPPLY
 01 () WSSC 02 () Well 03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches
 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 1. On party line/Property line _____
 2. Entirely on land of owner _____
 3. On public right of way/easement _____ (Revocable Letter Required).

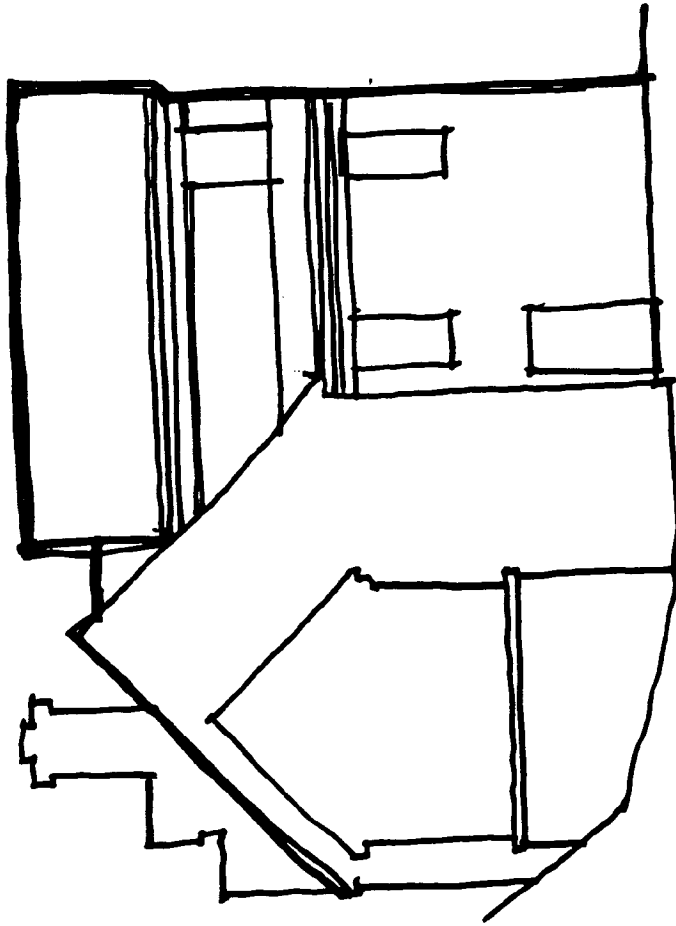
I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) John Culver Date 2/29/92

APPROVED For Chairperson, Historic Preservation Commission
 Signature Albert B. Randall Date 4-8-92
 DISAPPROVED _____

APPLICATION/PERMIT NO: 9203043023 FILING FEE: \$ _____
 DATE FILED: _____ PERMIT FEE: \$ _____
 DATE ISSUED: _____ BALANCE \$ _____
 OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

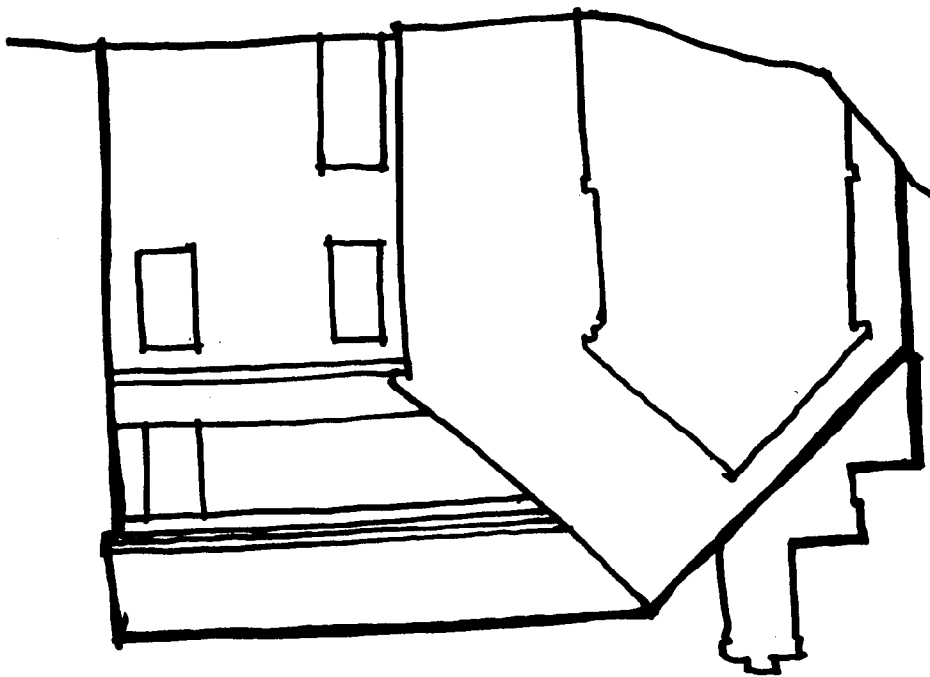
SEE REVERSE SIDE FOR INSTRUCTIONS



OPTION #1

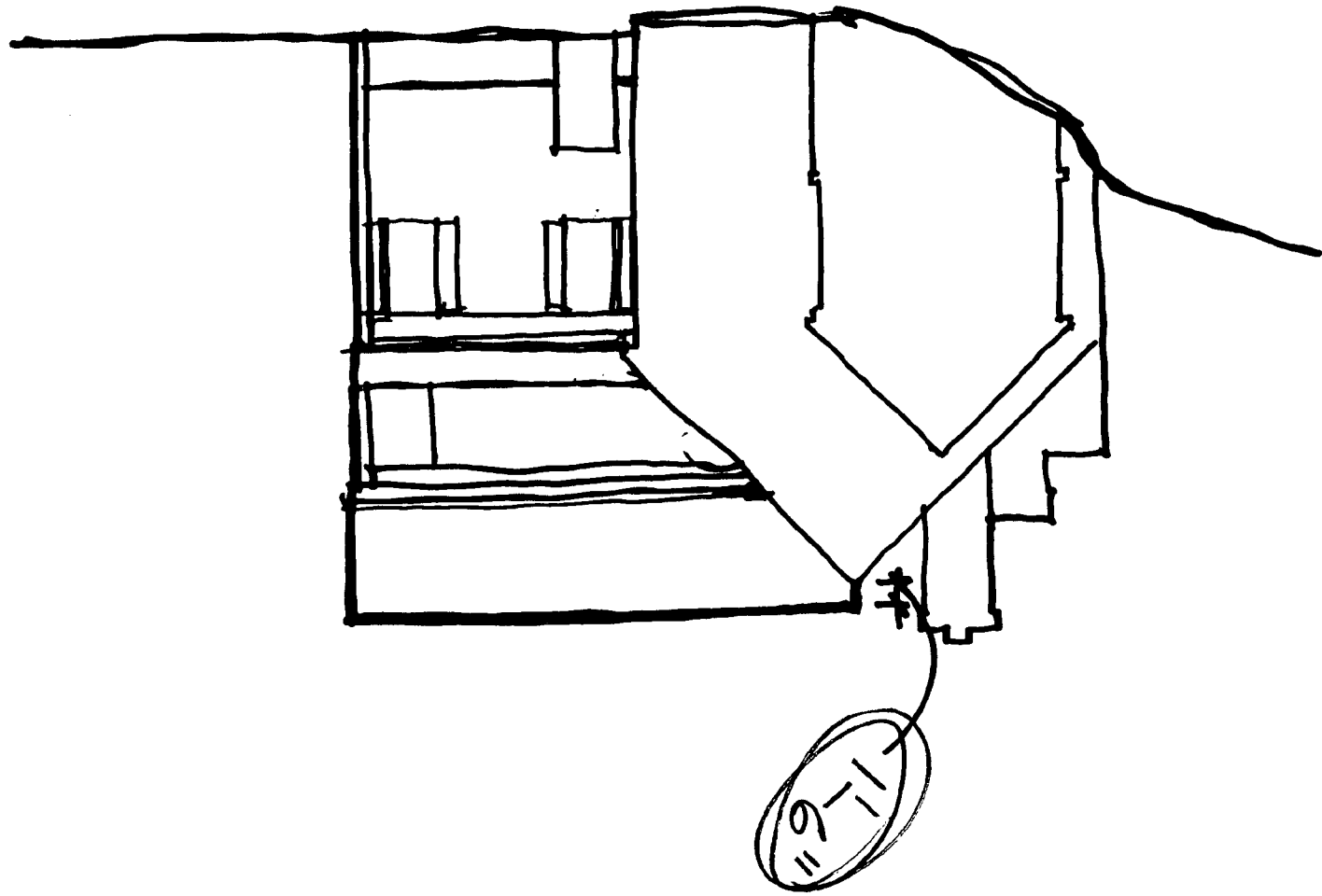
EXIST ELEVATION
NOT TO SCALE

EXIST BUILDING
NOT TO SCALE
OPTION #2

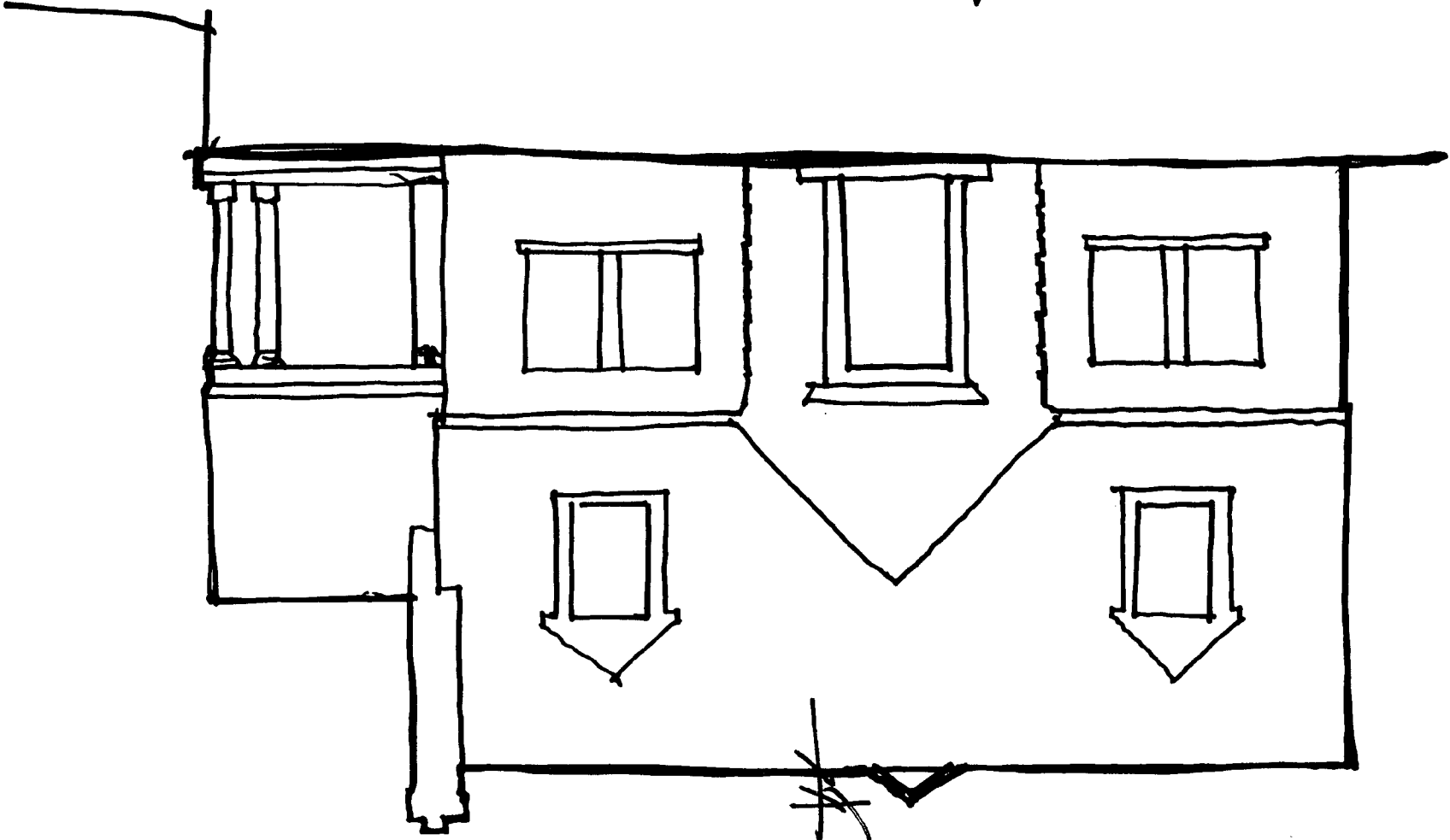


4'-11 1/2" / 12
RAILINGS 10" x 2"
NOT TO SCALE
GRASS

E# NOLLO
STAIRS AT JON
WEST ELEVATION



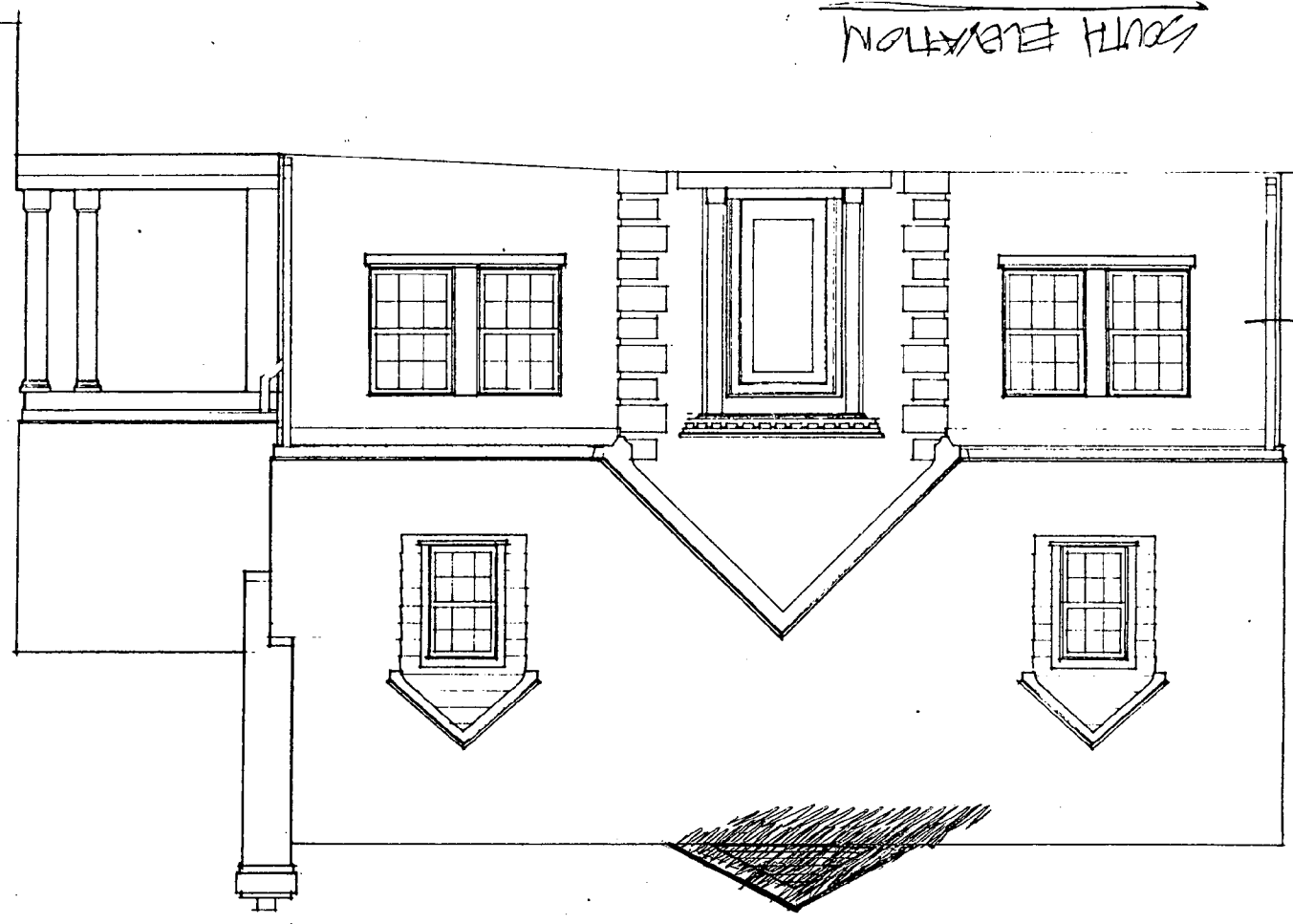
OPTION #3
NOT TO SCALE
SOUTH ELEVATION



5/12

11071 #

SOUTH ELEVATION





WILLIAMS/VALUER ASSOCIATES, INC.
 2800 W. 10th Street
 Minneapolis, MN 55425
 Telephone: (612) 877-5008

Project Title

Gilver / James
 Residence Addition

Drawing Title

Edg. Section

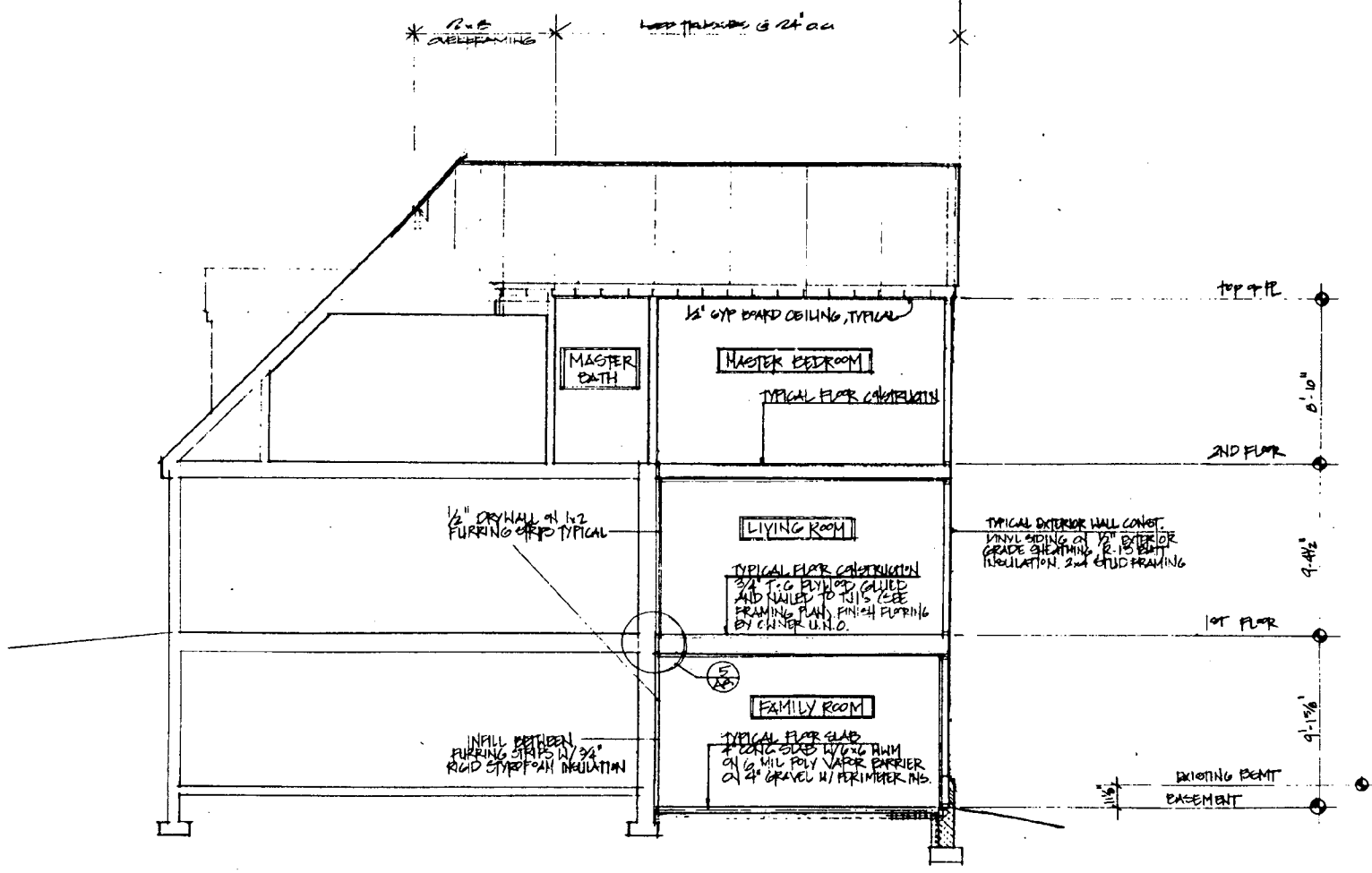
Project Number

1/4" = 1'-0"


Date Issued for
 1-24-92 PERMIT

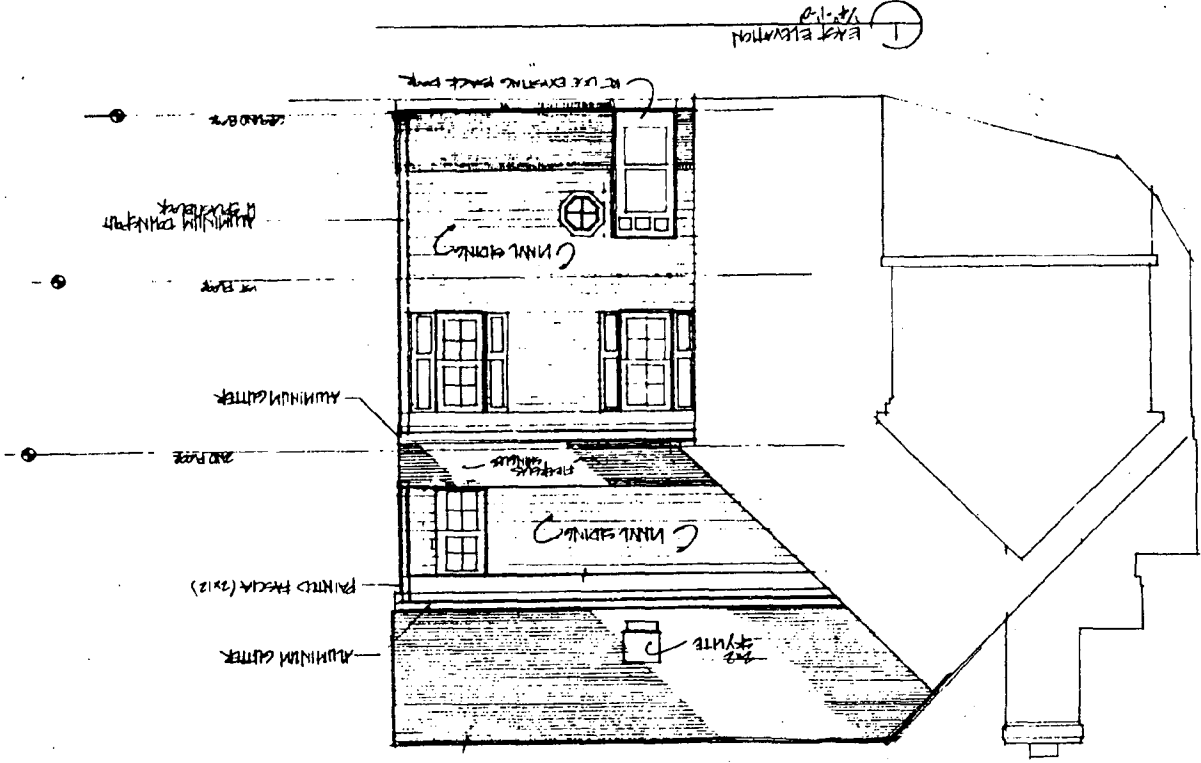
Sheet Number

A-4



NOTE: PREPARE ALL INTERIOR WALL FACES W/ TAPE JOINT COMPOUND. INSTALL & PAINT GRADE WOOD BASE TO MATCH THAT IN EXISTING HOUSE.

A-6	
Sheet Number	
Date Issued for PERMIT 12492	
Drawing Title	
EAST ELEVATION	
Scale	Project Name
1/4" = 1'-0"	
Project Title	
OLIVER / JYNBS RESIDENT ADDITION	
	



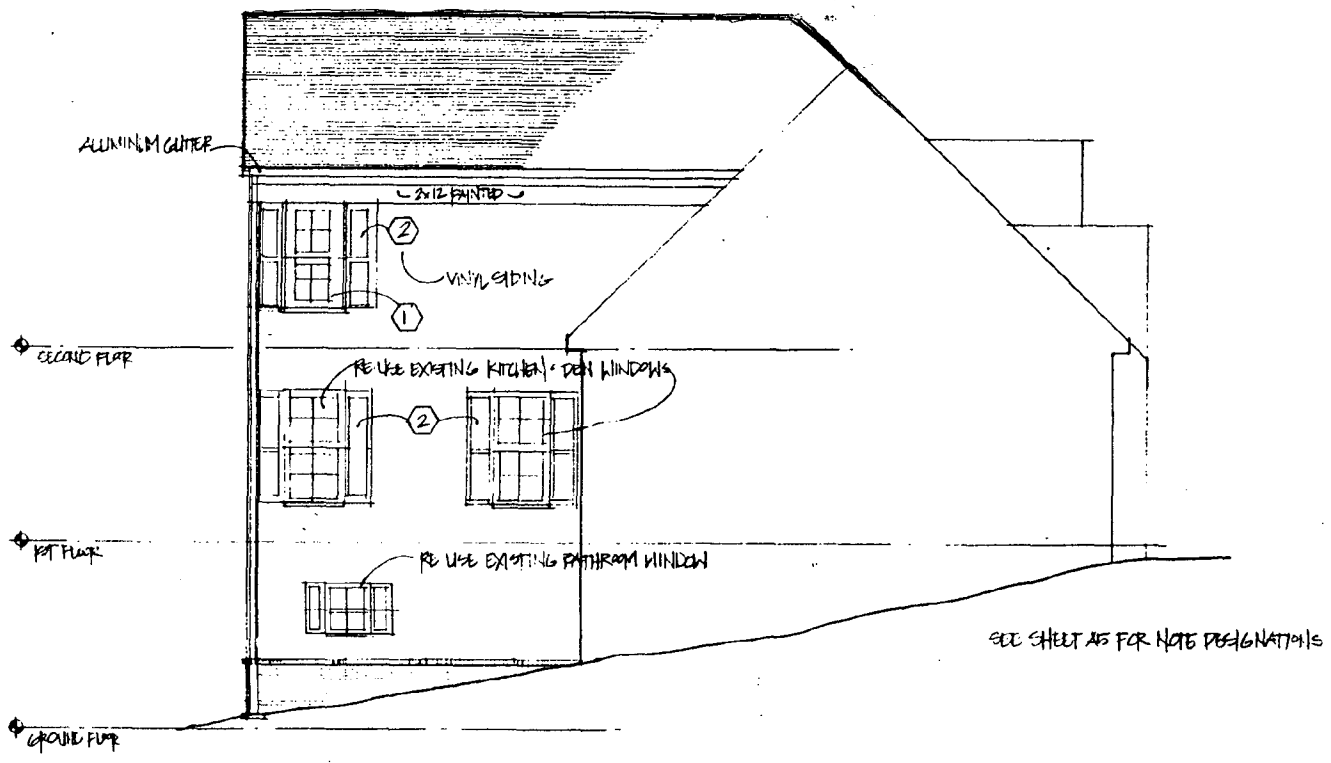
Project Title
**CULVER / JAYNES
 RESIDENCE ADDITION**

Drawing Title
WEST ELEVATION

Project Number
 Scale
1/4" = 1'-0"

Date Issued for
2092 PERMIT

Sheet Number
A-7



1 WEST ELEVATION
 1/4" = 1'-0"

SEE SHEET A5 FOR NOTE DESIGNATIONS

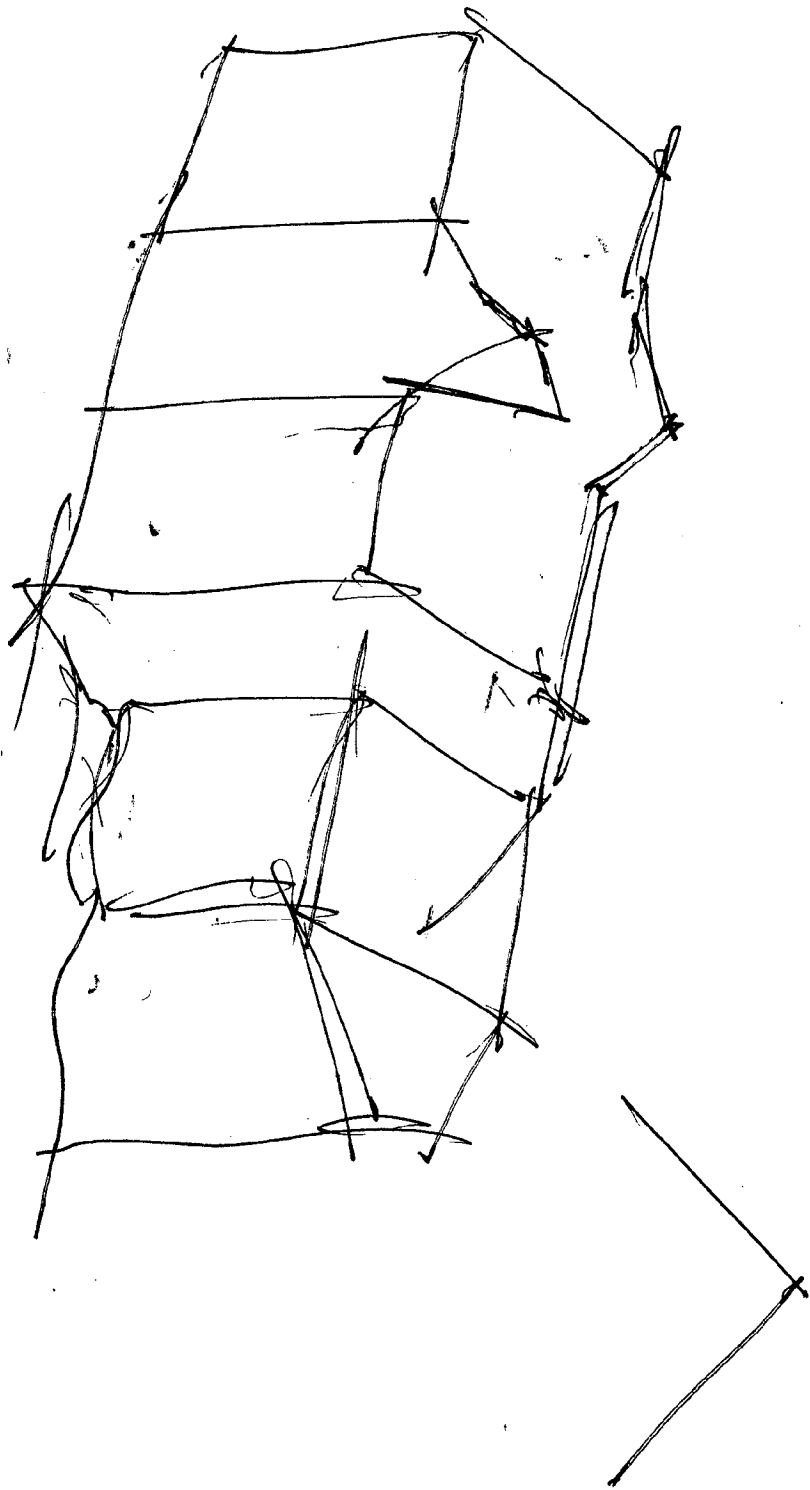
#2 ceiling - lower 10"
lowering - 3 1/2 in 12 - sheikla - water

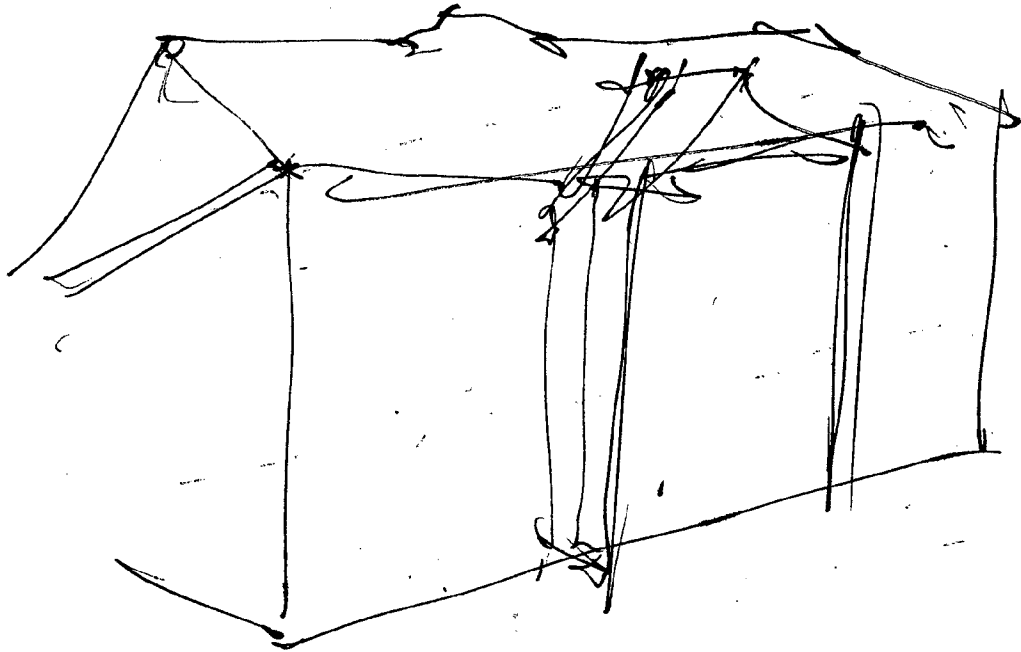
#3 - lowers nage 6/12 to 5/12, ceiling 10", -
1'6" rather than
2'9"

Ophir #4 - height in Bon-
susdas turn -
pitch - OK
interchange - nages
1'3"
or

— plate height 7'6" -
lose height at edge -
bellmouth

plate height per 8'10" to 7'6"





HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10229 Capitol View Avenue

Meeting Date: 3/25/92

Resource: Capitol View Park

Review: HAWP/Alteration

Case Number: 31/7-92B

Tax Credit Eligible: NO

Public Notice: 3/11/92

Staff: Nancy Witherell

Applicants: John Culver & Laura Jaynes

Report Date: 3/18/92

The applicants propose the construction of a three-story addition at the rear of a 1 1/2-story Cape Cod-style house at the northern boundary of the Capitol View Park Historic District. The steeply sloping rear yard provides the necessary grade for an addition of this height, although the addition would project 2'9" above the roof ridge and would, therefore, be visible from the street. In addition, the wide side yard on one side would afford a full view of the side elevation of the new addition. The boundary of the historic district occurs at the rear lot line of this property; houses behind the property are non-historic.

In style and materials, the addition is acceptable. The addition would be clad with vinyl siding, with wood corner boards. The staff has recommended to the architect that the 6/6 vinyl muntin grids proposed for the window sash not be installed.

The staff's concern is with the projection of the addition's gable peak above the roof ridge of the existing house. The staff finds this type of design to be generally unacceptable in a historic district and considers it acceptable in this case only because of the "nominal" contribution (as stated in the designation) of this house to the historic and architectural character of the Capitol View Park Historic District.

Although the project architect has sunk the addition as low as possible, the staff would urge the Commission to make approval conditional on the proposal's revision to show a chamfered gable end where the new addition would join the existing roof ridge. Additional inches might be gained by lowering the ceiling heights in the addition, although not enough vertical space could be gained to construct the new roof ridge level with the old. Further, a flattening of the new roof slope (proposed to be 6 in 12) is not necessarily helpful, since a flatter gable peak would be wider when seen from the street.

STAFF RECOMMENDATION

On the condition that the new front gable peak be chamfered to a slope consistent with the slope of the existing roof, the staff finds the alteration to this nominal resource in the Capitol View Park Historic District to be con-

sistent with the purposes of Chapter 24A, particularly Section 24A-8(d):

. . . the commission shall be lenient in its judgment of plans for structures of little historical or design significance . . .

The proposal is also found to be consistent with the Secretary of the Interior's Standard #9:

The new work . . . shall . . . protect the historic integrity of the property and its environment.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

Master Site

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER JOHN CUMBER TELEPHONE NO. 301-565-7815
(Contract/Purchaser) LAURA JAYNES (Include Area Code)

ADDRESS 10229 CAPITOL VIEW AV CITY SILVER SPRING MD STATE MD ZIP 20910

CONTRACTOR _____ TELEPHONE NO. _____

PLANS PREPARED BY ROBERT WELLS, AIA CONTRACTOR REGISTRATION NUMBER _____ TELEPHONE NO. 301-977-6308
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 10229 Street CAPITOL VIEW AV

Town/City SILVER SPRING MD Election District _____

Nearest Cross Street MEREDITH ST

Lot 10 Block 2 Subdivision CAPITOL VIEW PARK

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION (circle one)

Construct	<u>Extend/Add</u>	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
						Woodburning Stove

1B. CONSTRUCTION COSTS ESTIMATE \$ 100,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? Yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 (<input checked="" type="checkbox"/>) WSSC	02 () Septic	2B. TYPE OF WATER SUPPLY
03 () Other		01 (<input checked="" type="checkbox"/>) WSSC
		02 () Well
		03 () Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

ADDITION TO THE REAR OF A 50 YEAR OLD
CAPE COD, BRICK & FRAME RESIDENCE.
LITTLE HISTORIC DISTINCTION, TYPICAL OF
1930-1950 "COLONIAL/CAPE COD" STYLE. EXISTING
REAR OF HOUSE NOT IN KEEPING W/ STYLE
(PORCH ADDITION, "POP-UP" DORMER NOT SIMILAR
TO EXPLOD DORMERS ON FRONT OF HOUSE

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

IMPACT ON HOUSE: NO IMPACT ON STREET FRONT,
ALL WORK IN THE BACK. DEMO OF PORCH
ADDITION.

STYLE MATCHES THAT OF EXISTING BUILDING -
USES SIMILAR MATERIALS / RE-USES BRICK
FROM DEMOLITION. WINDOWS FROM DEMOLITION
SHINGLE AND SIDING COLOR WILL MATCH
EXISTING OR EXISTING WILL BE REPLACED
W/ NEW

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

SIMILAR MATERIALS, DETAILING MATCHES SOME
SEEN ON EXISTING (SIMILAR WINDOW TYPES), SCALE
SAME AS EXISTING RETAIL OF HOME

- b. the relationship of this design to the existing resource(s):

ADDITION FACES ON NON HISTORIC USE, NOT
VISIBLE FROM THE STREET

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0"; or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name _____
 Address 10225 CAPITAL VIEW AV
 City/Zip SILVER SPRING, MD 20910

2. Name _____
 Address 10233 CAPITAL VIEW AV
 City/Zip SILVER SPRING, MD 20910

3.

Name

Address

City/Zip

10226 CAPITAL VIEW AV
SILVER SPRING, MD 20910

4.

Name

Address

City/Zip

5.

Name

Address

City/Zip

6.

Name

Address

City/Zip

7.

Name

Address

City/Zip

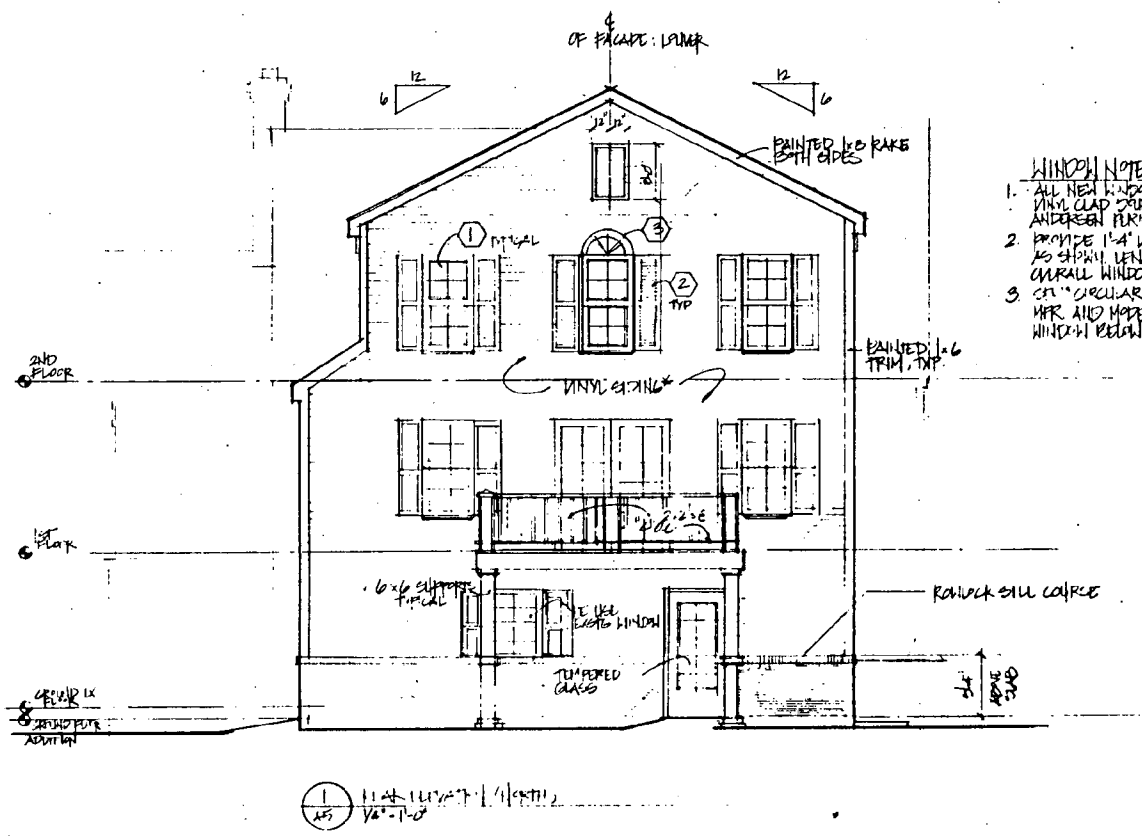
8.

Name

Address

City/Zip

1757E



- WINDOW NOTES**
1. ALL NEW WINDOWS TO 2'-6\"/>
 2. PROVIDE 1'-4\"/>
 3. 36\"/>

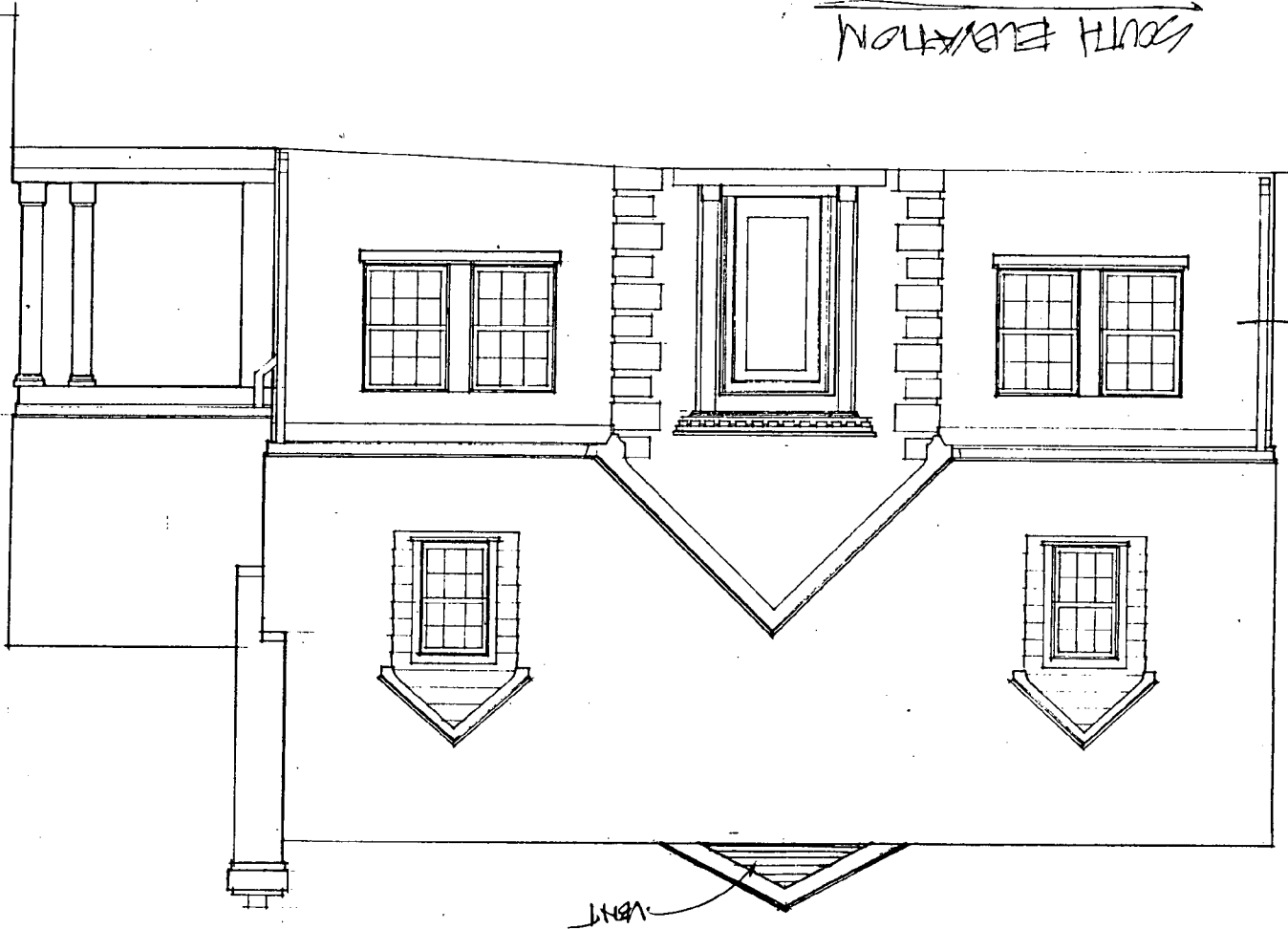
Project Title
 05/2002 / 7/2002
 Residence Addition

Drawing Title
 East Elevation
 Scale
 1/8" = 1'-0"

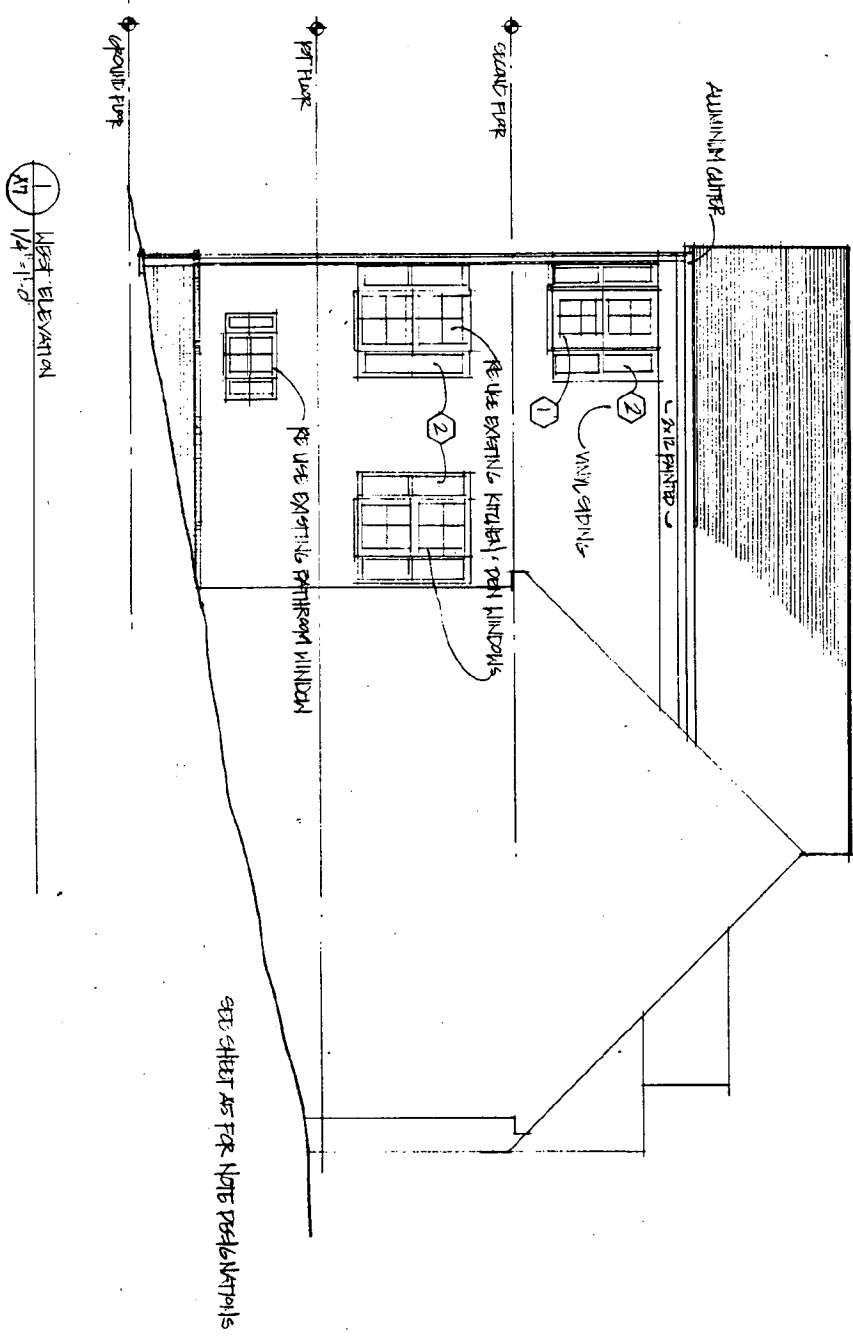
Date
 2/02

Sheet Number
 1-1


SOUTH ELEVATION

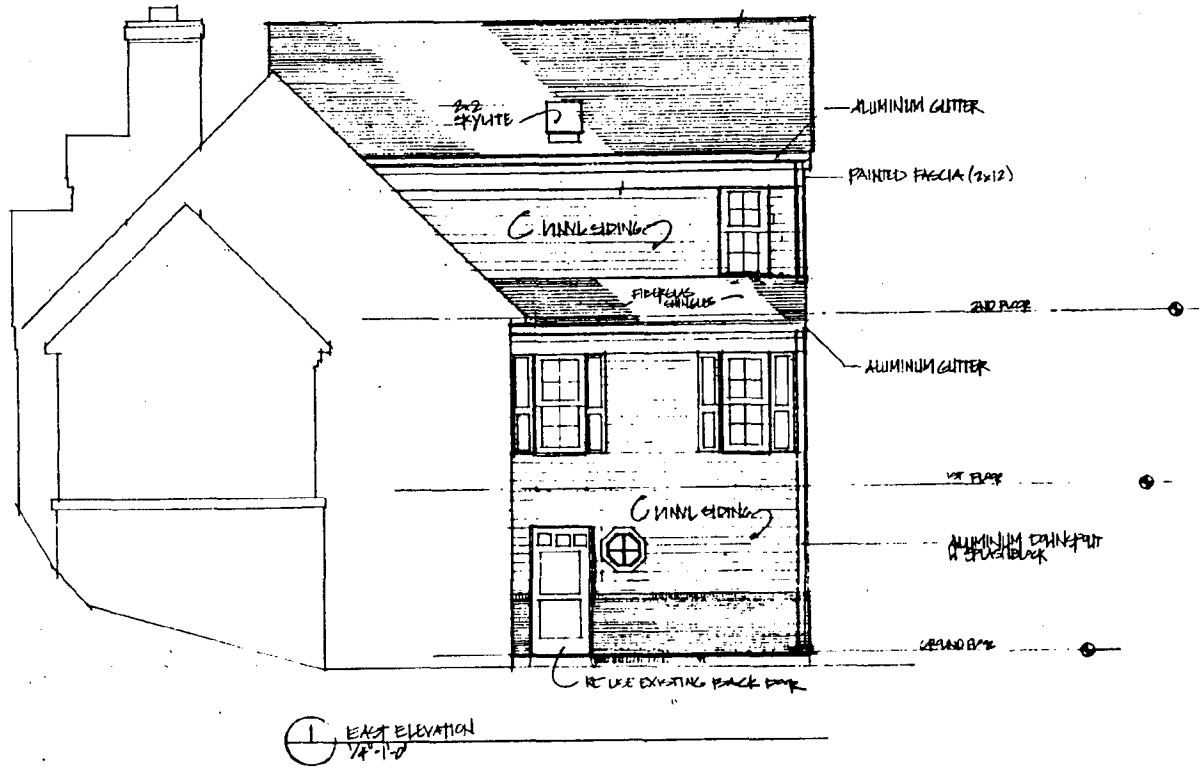


1/18/17

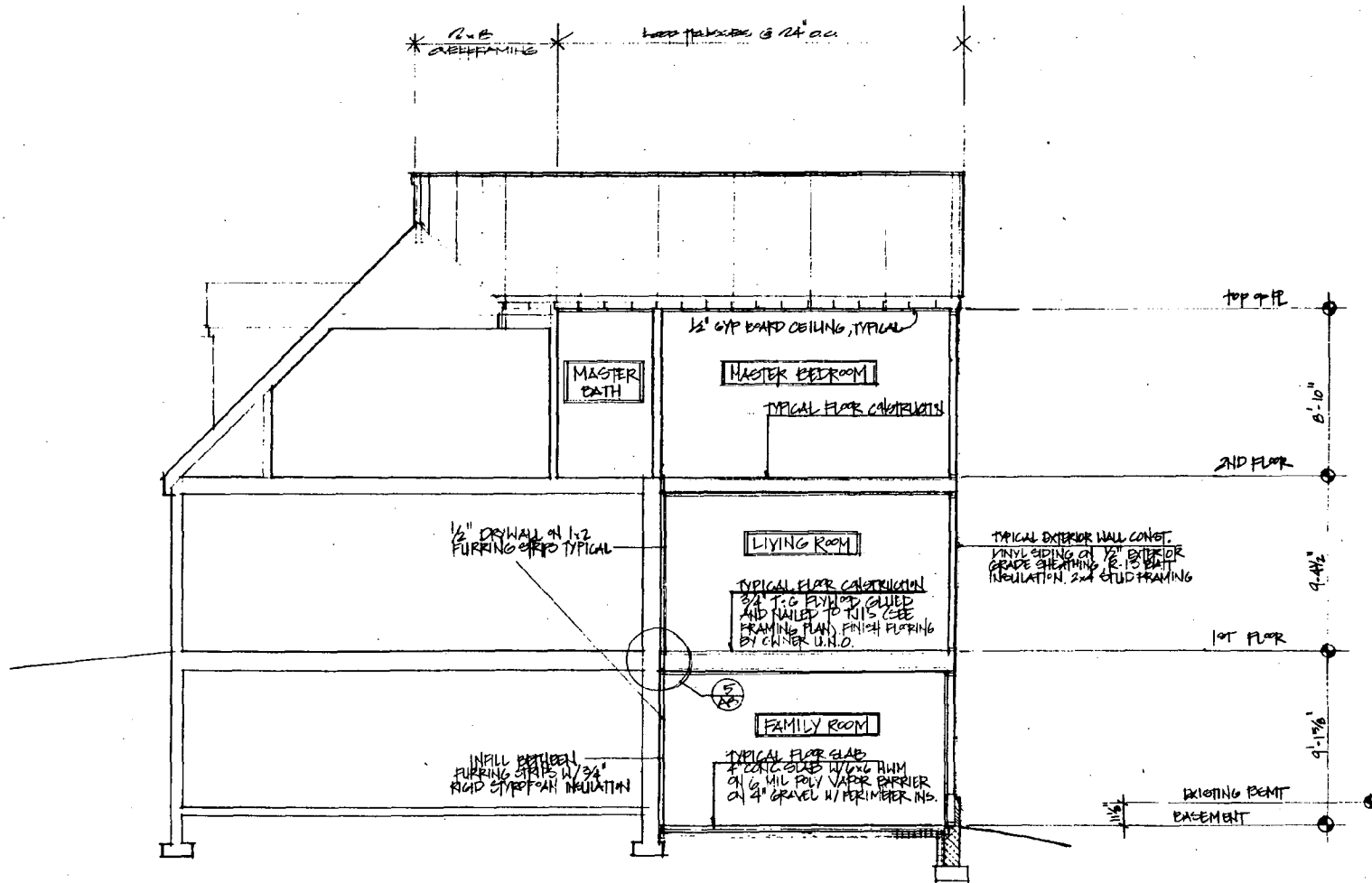


SEE SHEET AS FOR NOTE RECALCULATIONS


A-7 WEST ELEVATION 1/4" = 1'-0"	Sheet Number	Drawing Title		Project Title		 WELLS/HALPER ASSOCIATES 2003 Annapolis Way Montgomery Village, Maryland 20879 (301) 977-4300
		Date Issued for	Scale	Project Number	CULVER / JAYNES RESIDENCE ADDITION	
		1-28-92	1/4" = 1'-0"			

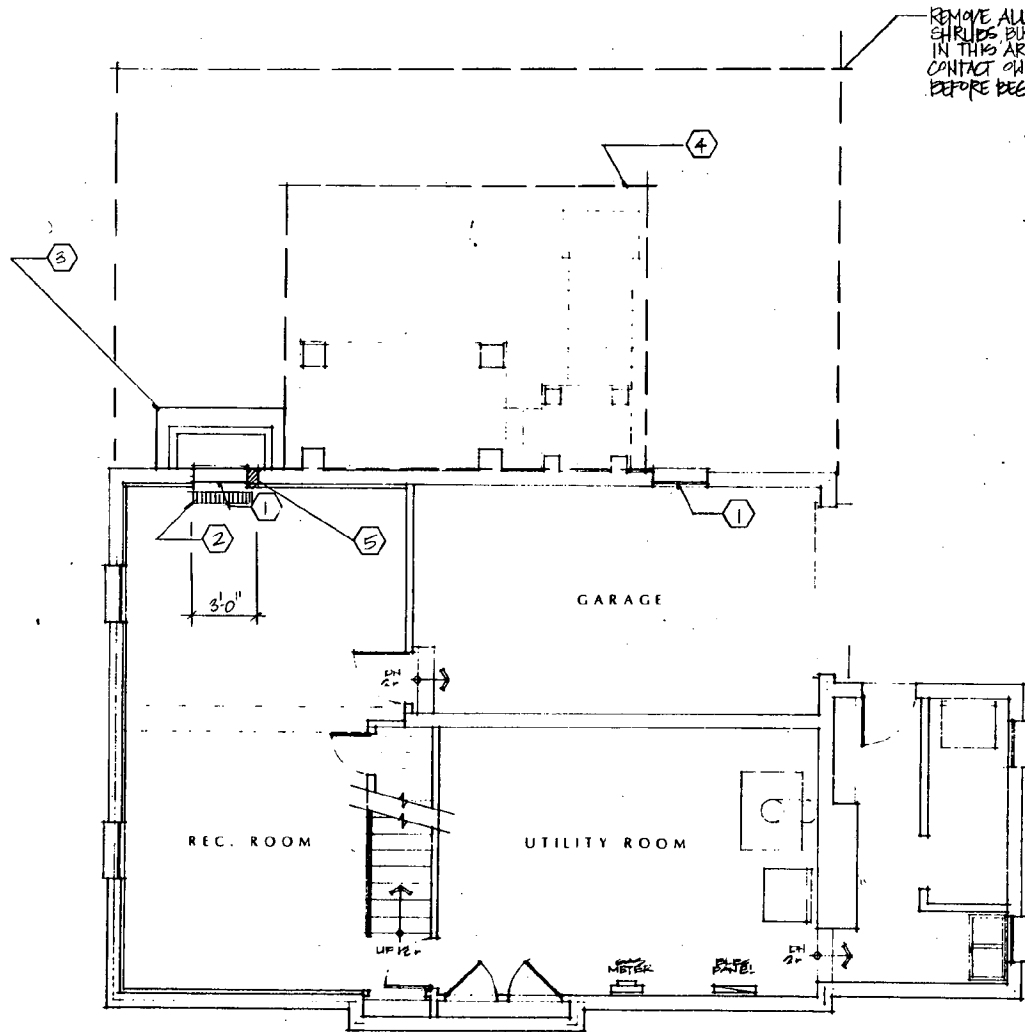


Project Title CULLIVER / JAYNES RESIDENCE ADDITION	
Drawing Title EAST ELEVATION	Project Number
Date Issued for 1-26-92 PERMIT	
Sheet Number A-6	



NOTE: PREPARE ALL INTERIOR WALL FACES W/ TAPE JOINT COMPOUND. INSTALL & PAINT GRADE WOOD BASE TO MATCH THAT IN EXISTING HOUSE.

 W.W. BUILDERS ASSOCIATES, INC. 25003 WOODBURN RD. HODGKINSVILLE, MARYLAND 20678 (301) 977-8386	
Project Title	
Silver / James Residence Addition	
Drawing Title	Project Number
Blg. Section	
Date	Issued for
12.92	PERMIT
Sheet Number	
A-4	



REMOVE ALL TREES
 SHRUBS BUSHES PLANTS
 IN THIS AREA
 CONTACT OWNER 1 WEEK (MIN)
 BEFORE BEGINNING CLEARING

NOTES

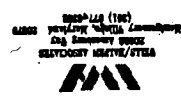
- ① REMOVE WINDOW AND RETAIN FOR USE IN ADDITION.
- ② REMOVE RADIATOR
- ③ REMOVE WINDOW WELL COMPLETELY INCLUDING FOUNDATION
- ④ REMOVE STAIRS PORCH CANOPY AND ALL FOUNDATIONS SUPPORTS
- ⑤ HIDDEN WINDOW OPENING TO 3'-0"; REMOVE WALL BELOW WINDOW SILL TO CREATE OPENING FOR 3'-0" x 6'-8" DOOR

Project Title
 CHILVER/JANIS
 RESIDENCE ADDITION

Drawing Title
 GROUND FLOOR PERMITS
 PLAN
 Scale
 1/4" = 1'-0"

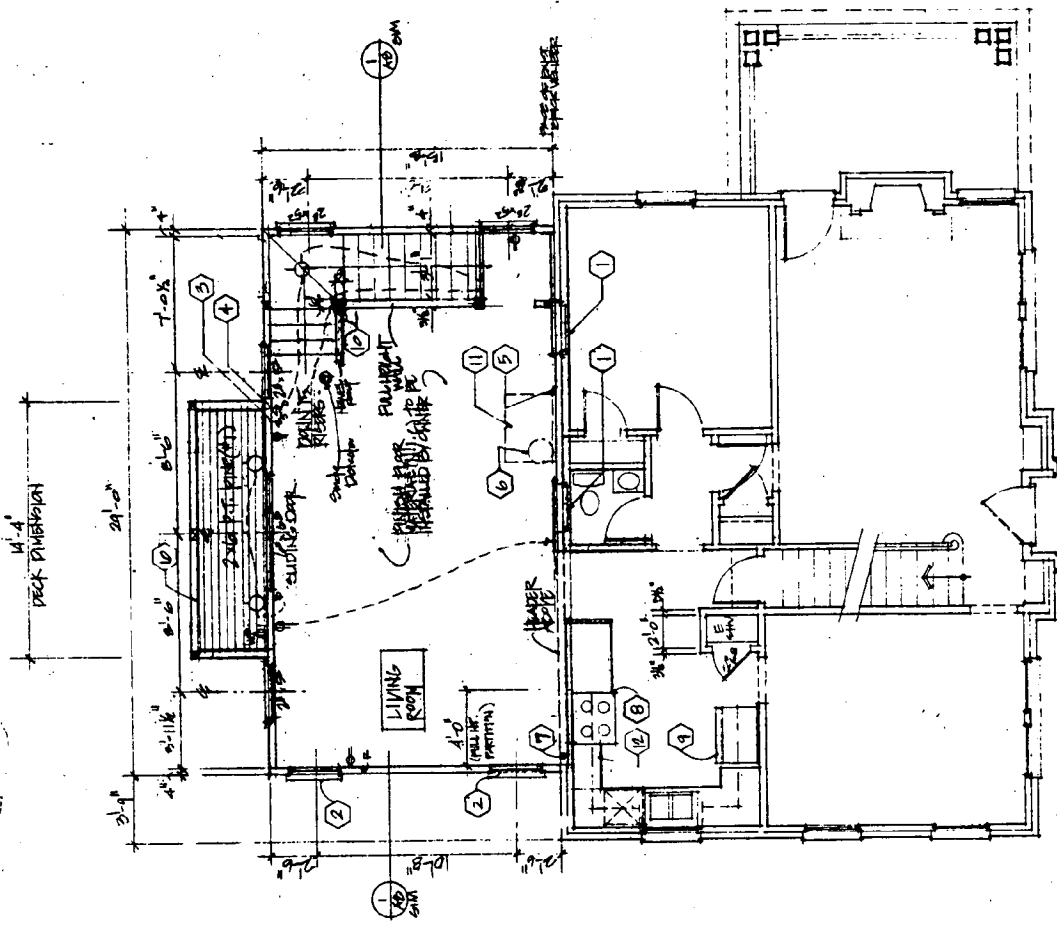
Date Issued for
 1-22-92 PERMIT

Sheet Number
 D-1

	Project Title	Drawing Title	Date	Issued for	Sheet Number
			1.26.42	PERMIT	A-6

NOTES

- ① NEW WINDOW WITH SILL ON LEVEL SHALL BE LOCATED HIGH ENOUGH TO MEET ADJACENT SURFACE FINISH
- ② REMOVE EXISTING WINDOW FROM KITCHEN OR DEK
- ③ THESE MAY BE EITHER OPERATES LIGHT OR NON OPERATES LIGHT
- ④ THESE MAY BE EITHER OPERATES OR NON OPERATES LIGHT
- ⑤ BEFORE REPAIRATION REMOVE EXTERIOR BRICK, PLASTER AND BUILDING CONTAINING GAS AND BRICK
- ⑥ PROVIDE FLUE FOR HEED STOVE (N.I.L.)
- ⑦ LOCATE GAS LINE TO EXTERIOR MEN AND COVER ABOVE
- ⑧ RELOCATE OVEN/PANTRY & HEED
- ⑨ RELOCATE REFRIGERATOR
- ⑩ RELOCATE 20" HIGH BURNING GAS PIPERATION AROUND STOVE
- ⑪ HEED STOVE (N.I.L.) CONTAINERS TO BE REMOVED FROM UNIT FOR NEW ALUM. CONTAINERS TO BE CONTAINED ABOVE FOR STOVE
- ⑫ PROVIDE NEW BRICK CHIMNEY AT STOVE





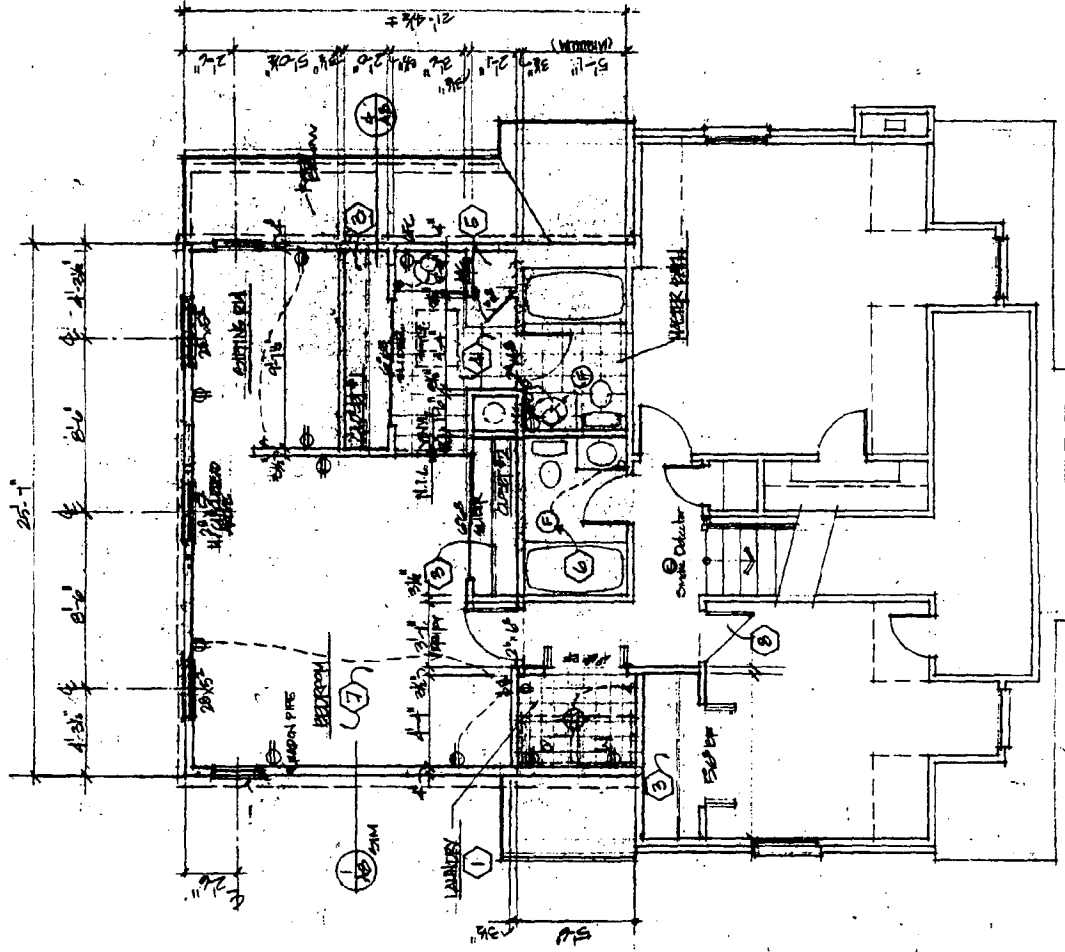
Project Title: *How Second Floor Plan*

Drawing Title: *How Second Floor Plan*

Date: *1/24/00*
 Drawn By: *PERAL*

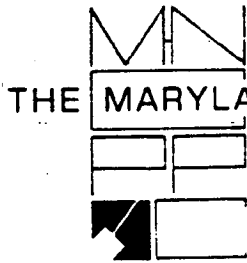
Sheet Number: *A-3*

- NOTES**
- ① LAUNDRY ROOM NOTES: PROVIDE SHEET WALL FINISHES OVERHEAD LIGHT. RELOCATE TO OTHER CORNER AT CORNER'S CORNER.
 - ② INSURE EXISTING HINDEN ROOM KITCHEN OR BATH OR RELOCATE TO OTHER CORNER'S CORNER.
 - ③ FINISH FLOOR MATERIALS BY OWNER.
 - ④ FINISH FLOOR MATERIALS BY OWNER.
 - ⑤ METALLIC EXHAUST FAN IN BATHING EXHAUST FAN THROUGH ROOF.
 - ⑥ FINISH FLOOR MATERIALS BY OWNER.
 - ⑦ FINISH FLOOR MATERIALS BY OWNER.
 - ⑧ FINISH FLOOR MATERIALS BY OWNER.









THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Interested Property Owners

FROM: Gwen Marcus, Historic Preservation Coordinator
Urban Design Division
M-NCPPC

DATE: 3.10.92

SUBJECT: Historic Preservation Commission Review of HAWP
Application

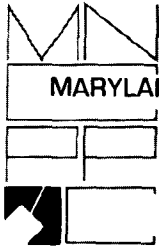
The Historic Preservation Commission has received a Historic Area Work Permit (HAWP) application on a property in your neighborhood. The application affects the property at 10229
Capital View Avenue and briefly involves construction of an addition.

The complete HAWP application is available for inspection at the Maryland-National Capital Park and Planning Commission offices at 8787 Georgia Avenue, Silver Spring, Maryland, 20910.

The Historic Preservation Commission will consider this HAWP application at their regular meeting on 3.25.92. This meeting will be held in the Maryland-National Capital Park and Planning Commission Auditorium at 8787 Georgia Avenue in Silver Spring. The meeting will begin at 7:30.

You are welcome to attend this meeting so that the Historic Preservation Commission can obtain your input on this issue. In addition, you can submit written comments to the Historic Preservation Commission at the address listed above. If you have any questions about the meeting, the HAWP application process, or other historic preservation issues, please feel free to call the Historic Preservation Commission staff at 495-4570.

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760



THE
MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING
COMMISSION
URBAN DESIGN DIVISION

photos
Culver / Daynes residence
10229 Cap. View Ave



10229 CAPITAL VIEW
SUBJECT PROPERTY



10229 CAPITAL VIEW AV
(SUBJECT PROPERTY)



10230 CAPITAL VIEW
AND SUBJECT PROPERTY



CAPITAL VIEW AV
STREETSCAPE LOOKING
EAST



10225 CAPITAL VIEW AV
(NEXT DOOR)



10225 CAPITOL VIEW AV
(NEXT DOOR)



10238

CAPITOL VIEW AV

(NEXT DOOR



CAPITOL VIEW AV.
STREETSCAPE
(LOOKING WEST)



CAPITOL VIEW AV.
STREETSCAPE
(LOOKING EAST)



VIEW TO REAR
FROM SUBJECT
PROPERTY



VIEW TO REAR FROM
SUBJECT PROPERTY



10226 CAPITAL VIEW AV
(ACROSS STREET)



10225 CAPITOL VIEW
AV
NEXT DOOR