

31/7-93G 9908 Capitol View Avenue  
Capitol View Park Historic District

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 GEORGIA AVENUE  
SILVER SPRING, MARYLAND 20907

9906 Capitol View Annex #317-936

Capitol View Sub. Historic District

APC 12/6/93

William Mullen



9906-9900 Capt. Chase

5 18 21+00 MHHH-18 314



Capt. view







9908 Capt. View

F 2M 21+00 NNNN-D6 314





9909 Capt. Vico Frost





9911 Capt. view front







9910 - 9918 Capt. View





9906 Capt. View Book

< > 23 21+00 HHHH-09 314



9910 Capt. View (Back)



















Houses in Community -

1. 2. 3. 4.  
5. 6. 7. 8.







9913-15-17 Capt. Vice







Lot for house 9908 Capital View Ave.





9901 Capt. View Side View

8 > 28 21+00 HHHH-11 31+



9901 Capt-view front view







7704 Capt. view side view





House in back of lot.  
9834 Capt. Vied





9906 Capt. View Ave. Front





*Orford House*

5 11 21+00 NNNN-07 314



9910 Capt. V. W. Frost  
next to lot





9907-09 Capet. (line)

< > 19 21+00 NHHH-18 314



9906 Capt. View Side

21-01 MANN-18 214





9915-9917 Capex. 2/10/03

< > 14 21-01 HNNH-03 314



9904 Capt. View - front view





9902 Capt. V. J. D. D. D. D.

1 23 21+00 NNNN-12 314





9902 Capt. View 7st at View

9902 Capt. View 7st at View  
9902 Capt. View 7st at View  
9902 Capt. View 7st at View  
9902 Capt. View 7st at View  
9902 Capt. View 7st at View  
9902 Capt. View 7st at View



9909 - 9915 - Capot View

2021+00 111111+01 314









FOR OFFICE USE ONLY	
ZONING	
Classification	_____
Sheet Number	_____
Board of Appeals	_____
Checked By	_____

# Building Permit Application

NAME OF APPLICANT William Ross Moulden DAYTIME TELEPHONE NO. 301-585-1532  
 ADDRESS 9906 CAPITAL VIEW AVE. SILVER SPRING MD 20910  
 CONTRACTOR Bradlock Homes CONTRACTOR REG. NO. 3149 (12-16-61)  
 CONTRACTOR ADDRESS 11010 Runner Rd Woodshock Md 21798 TELEPHONE NO. 301-898-5264  
 PLANS PREPARED BY NORTH AMERICAN REGISTRATION NO. \_\_\_\_\_ TELEPHONE NO. 301-694-9100

LOCATION OF BUILDING/PREMISE  
 HOUSE NUMBER 9908 STREET CAPITAL VIEW AVENUE  
 TOWN/CITY SILVER SPRING, MD 20910 ELECTION DISTRICT 13  
 NEAREST CROSS STREET LEAFY STREET  
 LOT 7 BLOCK 31 OR LIBER 11606 FOLIO 653 PARCEL 13-5-997240  
 SUBDIVISION CAPITAL VIEW PLACE

PART ONE: S.C. 9311090001  
 1A. TYPE OF PERMIT ACTION  
 Construction  Move  
 Extend/Add  Install  
 Alter  Repair  
 Demolish  
 1B. PRINCIPAL USE: (Circle one) Assembly Boarding House  
 Business Commercial Swimming-Pool Educational  
 Hotel Industrial Institutional Mercantile  
 Motel Multi-Family Restaurant Place of Worship  
 Public Utility Single Family Storage Townhouse  
 Fence Misc. Structure  
 1C. CONSTRUCTION COST ESTIMATE \$ 129,000  
 1D. IF TYPICAL PLANS AND DETAILS PREVIOUSLY APPROVED GIVE PERMIT NO. N/A  
 1E. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT GIVE PERMIT NO. N/A  
 1F. IS THIS PROPERTY IN A MUNICIPALITY, SPECIAL TAXING DISTRICT OR HOMEOWNER'S ASSOCIATION? Yes  No   
 If YES, please specify \_\_\_\_\_  
 1G. IS THIS PROPERTY A HISTORICAL RESOURCE? Yes  No  If YES: Master Plan  Atlas

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS  
 2A. TYPE OF SEWAGE DISPOSAL  
 01 (  ) WSSC 02 ( ) Septic  
 03 ( ) Other \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY  
 01 (  ) WSSC 02 ( ) Well  
 03 ( ) Other \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR NEW RESIDENTIAL BUILDINGS (MODERATELY PRICED DWELLING UNITS)  
 Is this dwelling unit part of a larger project that will ultimately contain 50 or more dwelling units? (This question DOES NOT apply to dwelling units being constructed in the RE 1, RE 2 zones.) (Check One)  Yes  No  
 If YES, please complete and attach the following to your FIRST Building Permit Application associated with the project:  
 Agreement to build MPDU's. Staging plan for the construction of MPDU's.  
 Statement of land owned in Montgomery County. Approved Subdivision or Development Plan.

PART FOUR: IS THIS IN AN IMPACT TAX AREA? Yes  No   
 Do you have approved development impact tax credits you intend to apply to this application?  Yes  No If YES, attach a copy of approved credit determination from DEP. How much credit do you wish to apply to this application? \_\_\_\_\_

### TO BE READ BY APPLICANT

Any information that the applicant has set forth in this application that is false or misleading may result in the rejection of this application. A condition for the issuance of this permit is that the proposed construction will comply at all times with the plans as approved by all applicable government agencies.

I hereby declare and affirm, under the penalty of perjury, that all matters and facts set forth in this building permit application are true and correct to the best of my knowledge, information and belief.

11/3/68 Date  
William Ross Moulden Signature of Applicant  
 (Property owner or owner's authorized agent\*)  
William Ross Moulden Name (print)  
 \*If authorized agent, complete Affidavit on back of application

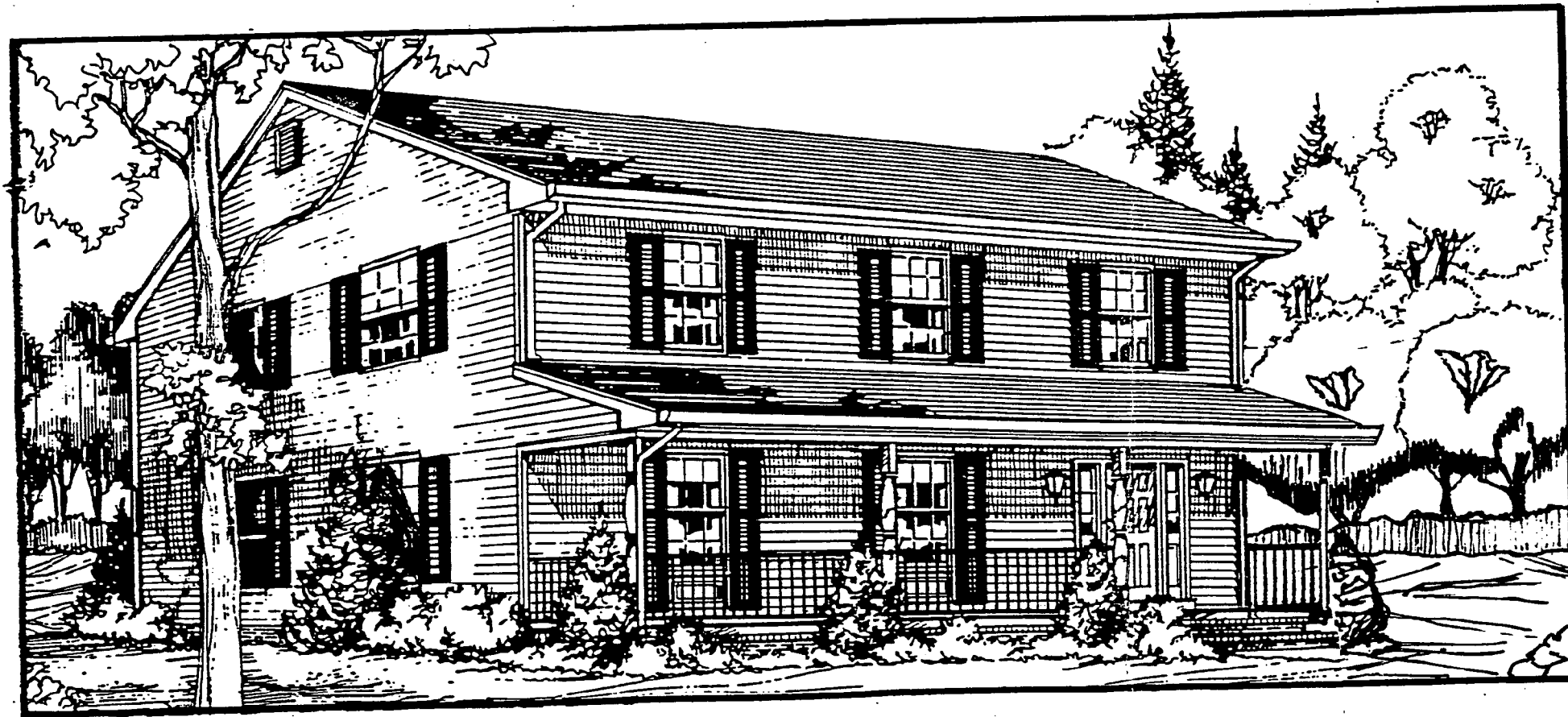
Approved \_\_\_\_\_ For Chief, Division of Construction Codes Enforcement  
 Disapproved \_\_\_\_\_ Signature \_\_\_\_\_ Date 8-36

Application/Permit No.: 12-30-68 Filing Fee: \$ ~~50.00~~ 50.00 Receipt No.: 30150  
 Date Filed: \_\_\_\_\_ Permit Fee: \$ \_\_\_\_\_  
 Date Issued: \_\_\_\_\_ Balance: \$ \_\_\_\_\_  
 Ownership Code: \_\_\_\_\_ Receipt No.: \_\_\_\_\_ Fee Waived: \_\_\_\_\_  
 Use Code: \_\_\_\_\_ Impact Tax: \$ \_\_\_\_\_ Receipt No.: \_\_\_\_\_



# OXFORD

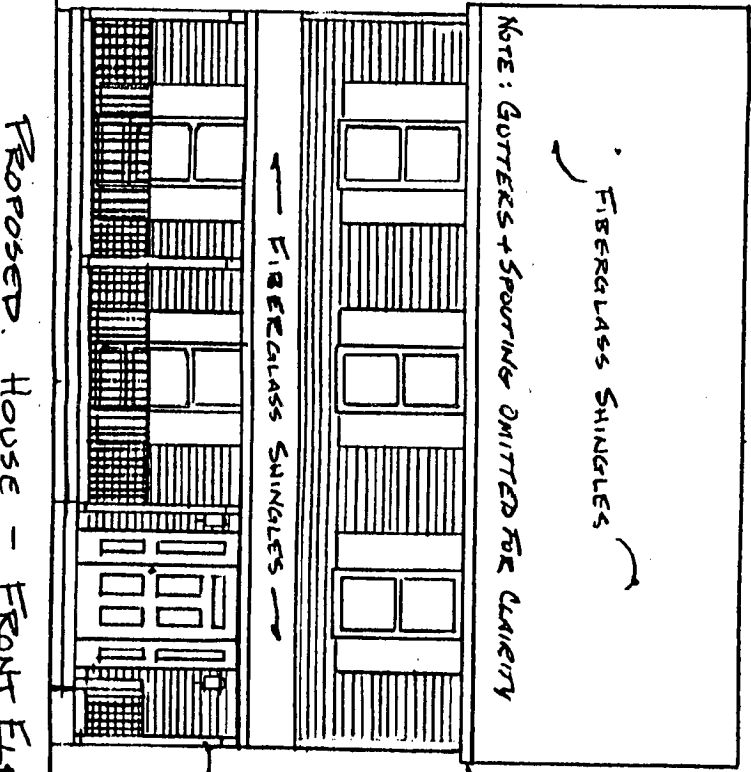
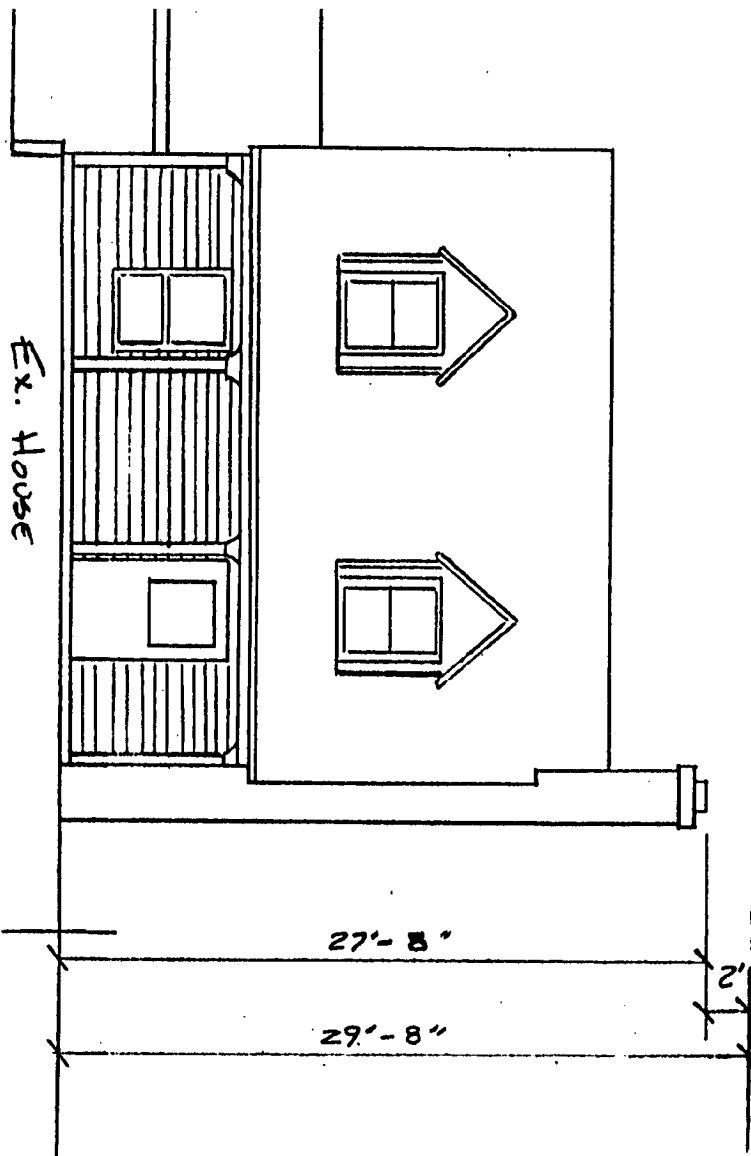
**TWO STORY**  
**2828 3028**



APPROVED  
Montgomery County  
Historic Preservation Commission

O.K. per HPC conditions  
Jwen Marcus  
12/20/93

Revised 12.20.93



NOTE: GUTTERS + SPURTING OMITTED FOR CLARITY

FIBERGLASS SHINGLES

FIBERGLASS SHINGLES

WOOD  
PER HPC  
GUM 12/20/13

WOOD  
PER HPC  
GUM 12/20/13  
ADD TYP. PER HPC

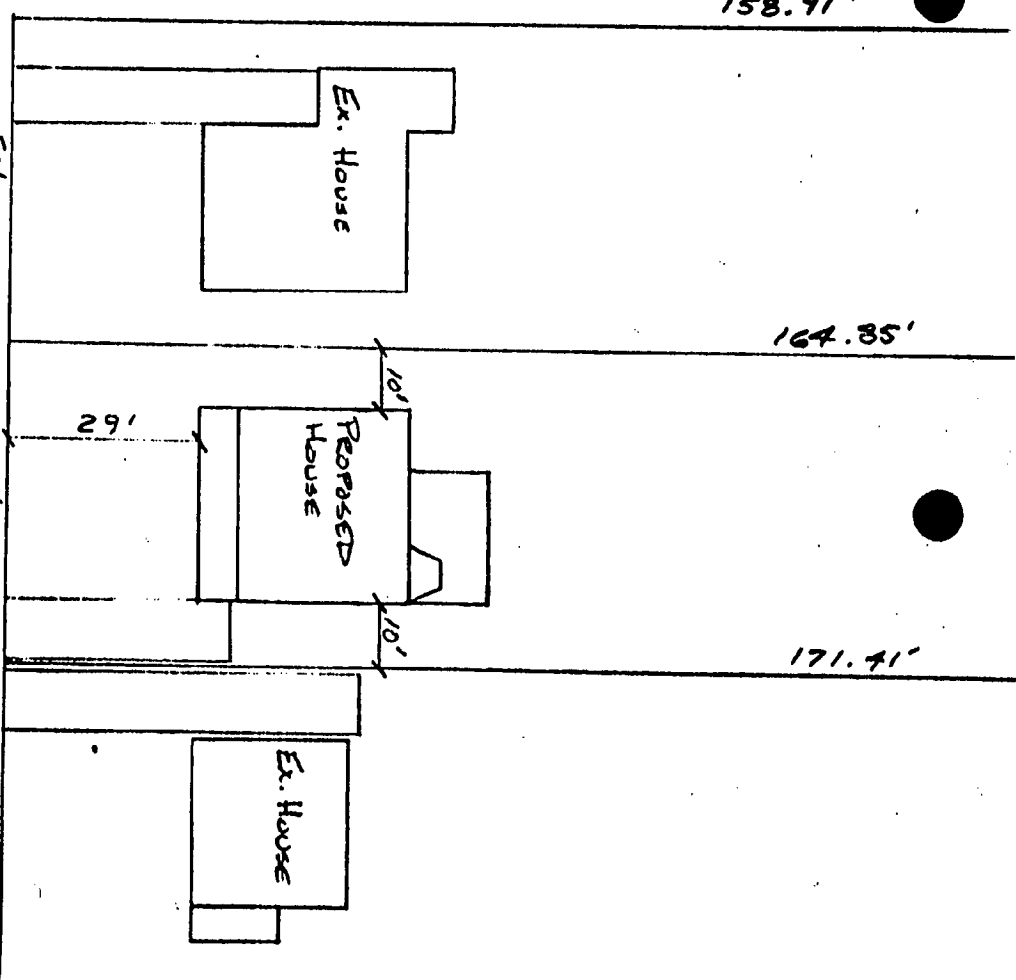
PROPOSED HOUSE - FRONT ELEVATION

9908 CAPITOL VIEW AVE.  
SILVER SPRING, MD.

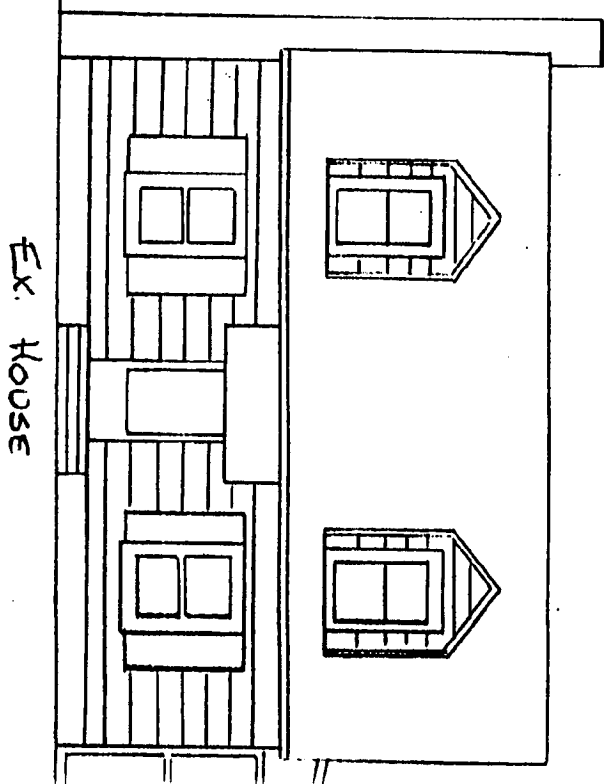
LOT 7 BLOCK 31 CAPITOL VIEW PARK

1/8" = 1'-0"

STREETSCAPE W/ ADJACENT HOUSES



FLAT 1" = 30'



EX. HOUSE

Revised 12.20.93

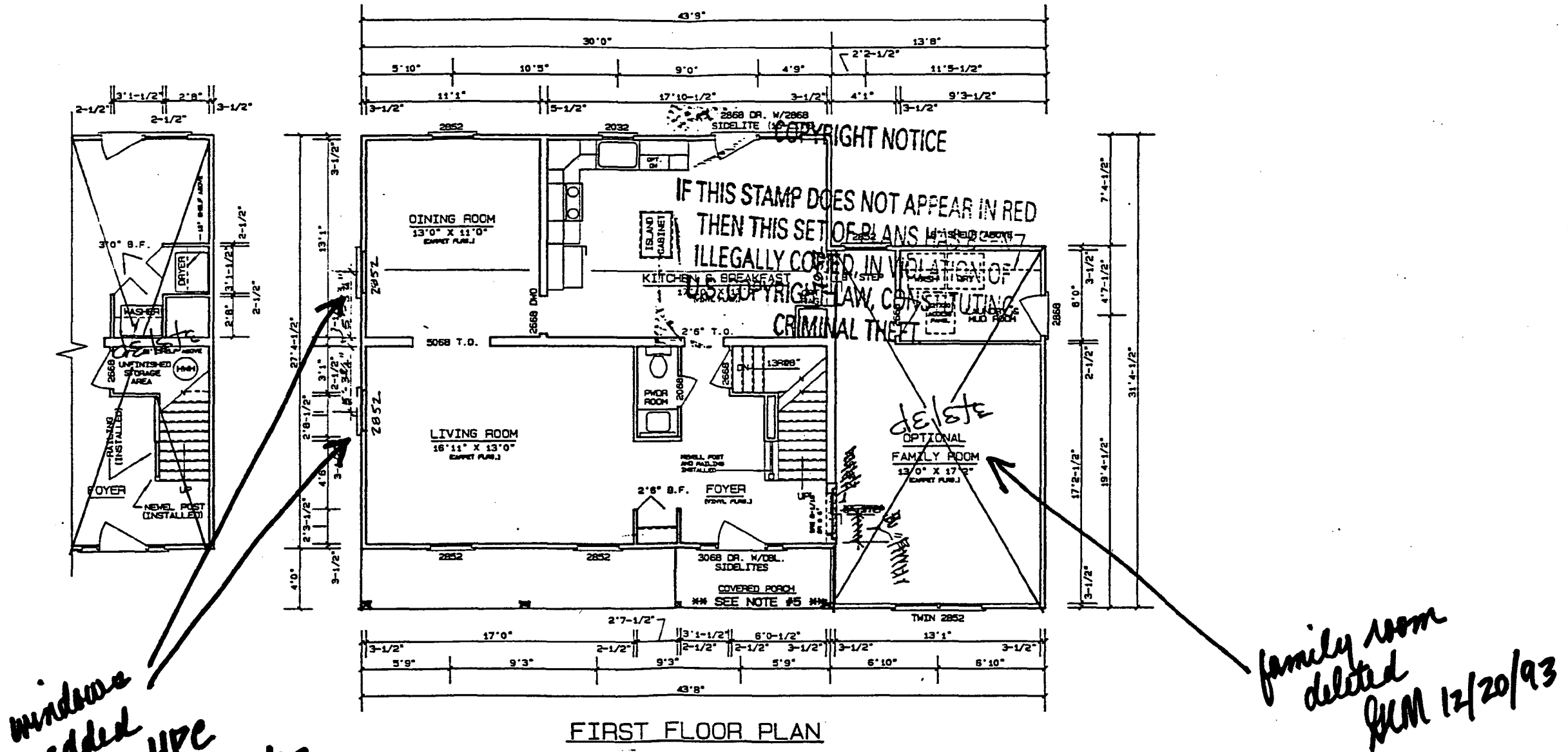


**NOTES:**

- 1 - SEE COVER SHEET FOR APPROPRIATE NOTES
- 2 - THESE DRAWINGS ARE SHOWN WITH 2 X 4 EXTERIOR WALLS. WHEN THE 2 X 6 EXTERIOR WALL OPTION IS SELECTED, THE INTERIOR SPACE IS REDUCED (MATING WALLS DO NOT CHANGE AND DOORS, LIGHTS, ETC., ARE ADJUSTED ACCORDINGLY. THE WALL INSULATION IS INCREASED TO R-19 BATTS. THE FOOTPRINT DIMENSIONS ARE NOT AFFECTED.
- 3 - LIVING ROOM WINDOWS HAVE 79" SHUTTERS W/PANEL UNDER AND FLAT HEAD FEATURE
- 4 - FAMILY ROOM FRONT W.D.W. HAS 79" SHUTTERS W/PANEL UNDER.
- 5 - FRONT PORCH IS 4'-0" DEEP WITH OPTIONAL FAMILY ROOM. FRONT PORCH IS 8'-0" DEEP WITHOUT OPTIONAL FAMILY ROOM.
- 6 - FRONT DOOR HAS 4-LITE INSERT

**BATH FIXTURE SCHEDULE**

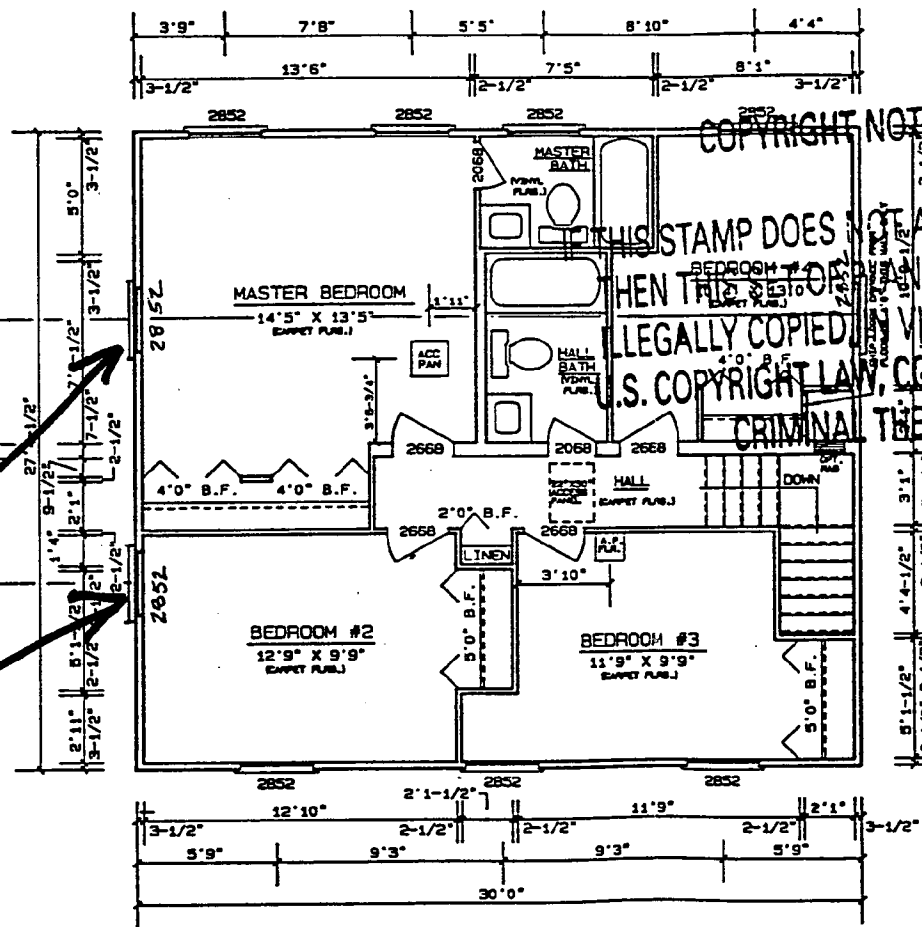
PONDER ROOM: 30" VANITY  
 30" MIRROR  
 LITE STRIP



MODEL <b>OXFORD II</b>	FLOOR PLAN	REVISED S.A.S. 5/28/87 4-8-93 L.H. (83-9-0) 9-6-93 LDA (83-9-0)
COPYRIGHT 1982	SCALE 1/8"=1'-0"	TMS 11/23/82
		SHEET 3 OF 16 Revised 12-20-93
North American Housing Corp. CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100		

**NOTES:**

- 1 - SEE COVER SHEET FOR APPROPRIATE NOTES
- 2 - THESE DRAWINGS ARE SHOWN WITH 2 X 4 EXTERIOR WALLS. WHEN THE 2 X 6 EXTERIOR WALL OPTION IS SELECTED, THE INTERIOR SPACE IS REDUCED (MATING WALLS DO NOT CHANGE) AND DOORS, LIGHTS, ETC... ARE ADJUSTED ACCORDINGLY. THE WALL INSULATION IS INCREASED TO R-19 BATTS. THE FOOTPRINT DIMENSIONS ARE NOT AFFECTED.
- 3 - FRONT WINDOWS HAVE 63" SHUTTERS




**BATH FIXTURE SCHEDULE**

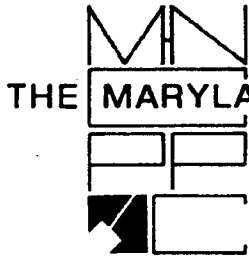
- HALL BATH: 24" VANITY  
RECESSED MED. CABINET W/LIGHT STRIP
- MASTER BATH: 24" VANITY  
RECESSED MED. CABINET W/LIGHT STRIP

**COPYRIGHT NOTICE**  
 THIS STAMP DOES NOT APPEAR IN RED  
 WHEN THIS SET OF DRAWINGS HAS BEEN  
 LEGALLY COPIED IN VIOLATION OF  
 U.S. COPYRIGHT LAW, CONSTITUTING  
 CRIMINAL THEFT.

*Windows added per HPC JLN 12/20/93*

**SECOND FLOOR PLAN**

MODEL <b>OXFORD II</b>  COPYRIGHT 1992	SECOND FLOOR PLAN  SCALE 1/8"=1'-0"  JAN. 21, 1992	REVISED S.A.G. 6/9/87 4-8-93 J.L.H. (93-042)	SHEET 4 OF 16
		<b>North American Housing Corp.</b> CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100	
			<i>Revised 12-20-93</i>



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Robert Hubbard, Acting Chief  
Division of Development Services and Regulation  
Department of Environmental Protection

FROM: Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit

DATE: December 20, 1993

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

           Approved

Denied

  X   Approved with Conditions:

① Depth of proposed porch to measure 6'-8" min.;

② 4" wood trim to be used; ③ Side windows to be fully trimmed and shuttered;

④ Windows on side elevations to be aligned vertically; ⑤ Wood cornice trim to be provided;

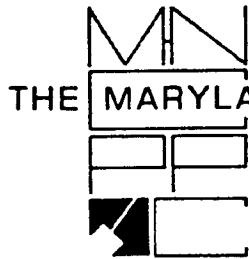
⑥ 4" wood corner boards to be provided; ⑦ Siding profile non-reflective matte finish without wood grain. ⑧ 4" wood posts; ⑨ porch to have same roofing as house

The Building Permit for this project should be issued conditional upon adherence to the approved Historic Area Work Permit.

⑩ steps to be masonry; ⑪ grading plan; ⑫ Front facade to be in line with adjacent property

Applicant: William Ross Maulden

Address: 9908 Capital View Avenue



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of  
Application/ Release of Other Required Permits

DATE: December 20, 1993

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Thank you very much for your patience and good luck with your project!



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 997240

NAME OF PROPERTY OWNER William Ross Moulder TELEPHONE NO. 301-585-1532  
(Contract/Purchaser) (Include Area Code) 20910

ADDRESS 9906 CAPITAL VIEW AVE SILVER SPRING MD 20910  
CITY STATE ZIP

CONTRACTOR \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_  
CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_

PLANS PREPARED BY \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_  
(Include Area Code)

REGISTRATION NUMBER \_\_\_\_\_

LOCATION OF BUILDING/PREMISE

House Number 9908 Street CAPITAL VIEW AVENUE

Town/City SILVER SPRING, MD 20910 Election District 13

Nearest Cross Street LEAFY STREET

Lot 7 Block 31 Subdivision CAPITAL VIEW PARK

Liber/1106 Folio 653 Parcel 13-5-997240

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend/Add	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> Repair	Circle One: A/C	Slab	Room Addition	
<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Revocable	Porch	Deck	Fireplace	
			<input type="checkbox"/> Revision	Fence/Wall (complete Section 4)	Shed	Solar	Woodburning Stove
						Other	<u>Single Family</u>

1B. CONSTRUCTION COSTS ESTIMATE \$ 120,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY Pepco

1E. IS THIS PROPERTY A HISTORICAL SITE? \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Septic
03 <input type="checkbox"/> Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Well
03 <input type="checkbox"/> Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

William Ross Moulder  
Signature of owner or authorized agent (agent must have signature notarized on back) \_\_\_\_\_ Date \_\_\_\_\_

APPROVED X- with conditions For Chairperson, Historic Preservation Commission  
DISAPPROVED \_\_\_\_\_ Signature Albert B. Randall Date \_\_\_\_\_

APPLICATION/PERMIT NO: 9311000061 FILING FEE: \$ \_\_\_\_\_  
DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_  
DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_  
OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 9908 Capitol View Avenue	Meeting Date: 12/01/93
Resource: Capitol View Park Historic District	HAWP/New Construction
Case Number: 31/7-93G	Tax Credit: No
Public Notice: 11/17/93	Report Date: 11/24/93
Applicant: William Ross Moulden	Staff: Patricia Parker
PROPOSAL: New Construction	RECOMMEND: Approval w/conditions

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BACKGROUND/DISCUSSION:

This proposal is to build a two-story single family house at 9908 Capitol View Avenue. The applicant requests the Commission's approval for new construction on Lot 7 Block 31, a vacant lot, listed as a nominal resource in the Capitol View Park Historic District. It is adjacent to other nominal resources. Directly across the street are a mixture of styles from 1917-1930 and other nominal resources. In the Historic District, there is much diversity, with a wide range of architectural styles, reflecting changes that occurred from the 1880's to the present.

The applicant has modified a modular house concept. The frame structure would be 30'-0" wide and 27'-4-1/2" long, without the optional family room or garage, but with a front porch 30' wide by 4' deep. The rear of the house would have an unenclosed deck 21' wide by 12' deep. The roof framing plans indicate a changed door opening at the rear. The rear of the house would be augmented by the addition of a three-sided bay having windows on each side and a door opening at front.

The applicant proposes to use vinyl siding. In addition, window openings will be added on each side elevation - four windows on the south elevation and two windows on the north elevation.

STAFF DISCUSSION:

There appears to be some precedent for this approach to building in the district. The applicant provided photographs showing 9900-9906 Capitol View Avenue. These photographs show modest one to two-story frame houses with brick fireplaces and

asphalt roofing - some with dormers and front porches. These houses are listed as nominal resources.

Staff discussed modifications to the proposal with the applicant to make the house more compatible. Building a house within the Historic District should result in a structure of perceivable character. Therefore, staff sought to employ various spatial elements of historic houses that could be adapted to meet the needs of this house on this site within the Capitol View Historic District.

RECOMMENDATION:

With the following conditions, staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A-8(d) and recommends approval:

In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

and with Standard #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired;

and that (conditions):

1. The depth of the proposed porch change to measure 6'-8' minimum.
2. 4" wood trim to be used around all windows and doors.
3. Side windows shall be fully trimmed and shuttered. Shutters shall be 1/2 the width of the window opening. Special attention shall be given to side elevations that are directly visible from a public street.
4. Windows on the side elevations should be aligned vertically whenever possible.
5. Wood cornice trim is required.
6. Wood corner boards are required and shall be a minimum of 4" wide.
7. Siding profiles shall be clapboard, shiplap, dutchlap or beaded. Siding shall be non-reflective matte finish without wood

grain having a minimum of .042" gauge thickness. (This is a good quality vinyl siding.)

8. Wood posts or columns at least 4-6" in diameter shall be used. Porch rails and posts shall be simple, but substantial - devoid of ornamentation. Railing material shall be wood. Maximum picket spacing is 4" o.c.

9. The porch proposed for the front elevation shall be one-story in height. It shall have the same roofing material as the main roof.

10. Front door steps shall be masonry.



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 997240

NAME OF PROPERTY OWNER WILLIAM ROSS MOULDER TELEPHONE NO. 301-585-1532  
(Contract/Purchaser) (Include Area Code)

ADDRESS 9906 CAPITAL VIEW AVE SILVER SPRING, MD 20910  
CITY STATE ZIP

CONTRACTOR \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_  
CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_

PLANS PREPARED BY \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_  
(Include Area Code)

REGISTRATION NUMBER \_\_\_\_\_

### LOCATION OF BUILDING/PREMISE

House Number 9906 Street CAPITAL VIEW AVENUE

Town/City SILVER SPRING, MD 20910 Election District 13

Nearest Cross Street LEAFY STREET

Lot 2 Block 31 Subdivision CAPITAL VIEW PARK

Liber/1106 Folio 653 Parcel 13-5-997240

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend/Add	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> Repair	Circle One: <input type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition
<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Revocable	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Fireplace
			<input type="checkbox"/> Revision	<input type="checkbox"/> Shed		
				<input type="checkbox"/> Solar		
				<input type="checkbox"/> Woodburning Stove		
				Fence/Wall (complete Section 4) Other <u>SINGLE FAMILY</u>		

1B. CONSTRUCTION COSTS ESTIMATE \$ 120,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01  WSSC 02  Septic

03  Other \_\_\_\_\_

2B. TYPE OF WATER SUPPLY

01  WSSC 02  Well

03  Other \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

William Ross Moulder  
Signature of owner or authorized agent (agent must have signature notarized on back) \_\_\_\_\_ Date \_\_\_\_\_

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

APPLICATION/PERMIT NO: 9311090061 FILING FEE: \$ \_\_\_\_\_

DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT  
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*OPEN LOT*

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*SEE ATTACHED PLANS AND PICTURES*

*2-STORY SINGLE FAMILY, FULL FRONT PORCH WITH  
WOOD TOP AND BOTTOM RAIL AND WOOD PICKETS  
6 ADDITIONAL WINDOWS 4 ON LEFT SIDE OF HOUSE 2 ON TOP 2 ON BOTTOM  
2 ON RIGHT SIDE 1-TOP ONE BOTTOM, SHUTTERS ON FRONT AS SHOWN  
THIS HOUSE DOESN'T INCLUDE OPTIONAL FAMILY ROOM AND GARAGE*

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

*2-Story Single Family See - Pictures*

- b. the relationship of this design to the existing resource(s):

*The House will Abut with Parcel to Existing House to Left*

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

*Property Has No Known Historic Value*

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).



5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

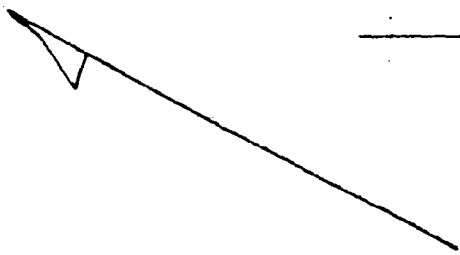
1. Name MRS. RALPH HOOVER  
 Address 9916 CAPITAL VIEW AVE.  
 City/Zip SILVER SPRING, MD 20910
2. Name ARTHUR H. KODE  
 Address 9906 CAPITAL VIEW AVE  
 City/Zip SILVER SPRING MD 20910

3. Name MR. John Rayburn  
Address 9834 CAPITOL VIEW AVE.  
City/Zip Silver Spring, Md. 20910
4. Name MR. John Walsh  
Address 9909 CAPITOL VIEW AVE.  
City/Zip Silver Spring, Md. 20910
5. Name MR. Michael E. BURLEN  
Address 9911 CAPITOL VIEW AVE  
City/Zip SILVER SPRING, MD. 20910
6. Name MR. Robert Wilson  
Address 9907 CAPITOL VIEW AVE.  
City/Zip Silver Spring, MD. 20910
7. Name MARY K. Alexander  
Address 9913 CAPITOL VIEW AVE.  
City/Zip SILVER SPRING, MD. 20910
8. Name MR. WEINBLAD  
Address 9915 CAPITOL VIEW AVE.  
City/Zip SILVER SPRING, MD. 20910

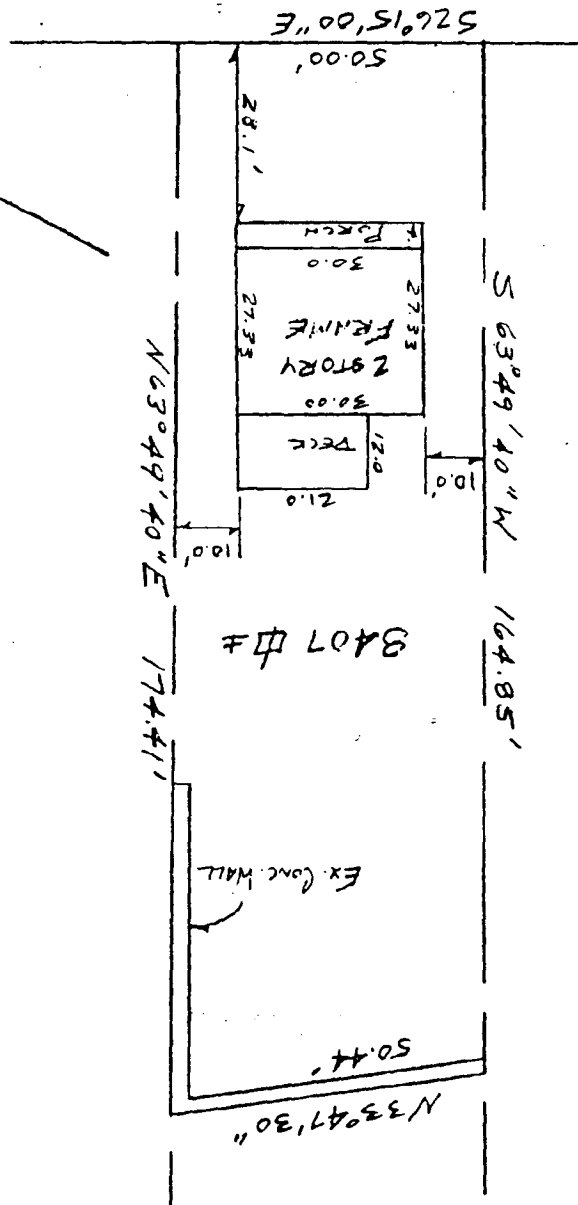
1757E

PROPOSED HOUSE LOCATION PLAT 1"=30'

LOT 7 BLOCK 31  
CAPITOL VIEW PARK  
MONTGOMERY COUNTY, MARYLAND  
FOLIO 653  
LIBEX 11606

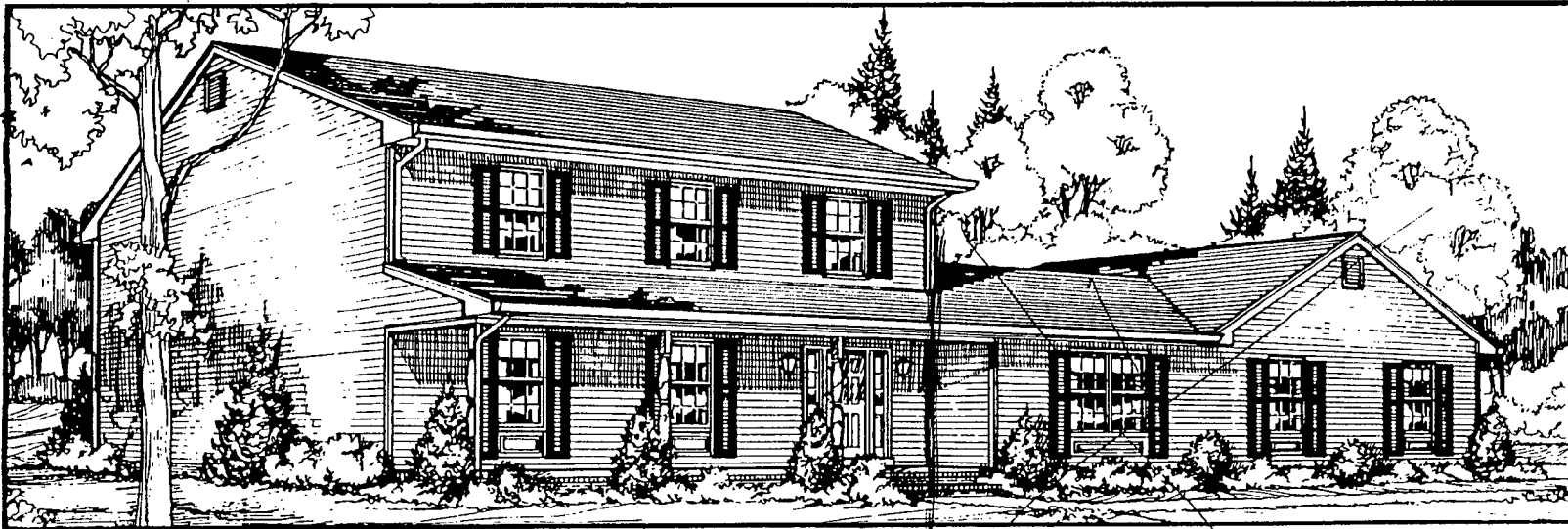


CAPITOL VIEW AVENUE  
(FORMERLY GLEN INN AVE.)



# OXFORD

**TWO STORY**  
**2828 3028**



GENERAL NOTES:	FOUNDATION NOTES:			DESIGN CRITERIA:
<p>- THESE PLANS AND THE PROPERTY RIGHTS REPRESENTED BY THEM ARE THE EXCLUSIVE PROPERTY OF NORTH AMERICAN HOUSING CORP. ANY UNAUTHORIZED USE OR DUPLICATION OF THEM WITHOUT THE EXPRESS WRITTEN CONSENT OF NORTH AMERICAN HOUSING CORP. IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.</p> <p>- ALL DRAWINGS AND DOCUMENTS ARE PER PLAN. IT IS THE BUILDERS RESPONSIBILITY TO REVERSE THESE PLANS WHEN APPLICABLE.</p> <p>- ALL NOTES PERTAINING TO THE INFIELD SITE, BY "OTHERS" ARE THE BUILDER/RECTORS OBLIGATIONS AND ARE SUBJECT TO LOCAL INSPECTIONS</p> <p>- THESE PLANS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES. DIMENSION LINES &amp; NOTES WILL SUPERCEDE ALL SCALE REFERENCES.</p> <p>- IT IS THE RESPONSIBILITY OF THE BUILDER/RECTOR TO CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE BEFORE PROCEEDING WITH WORK.</p> <p>- INSIGNIA LOCATION IS UNDER KITCHEN SINK.</p> <p>- ALL COMPRESSION FITTINGS AND TRAP NUTS ARE NOT CONNECTED.</p> <p>- WHERE APPLICABLE, IT IS MANDATORY FOR THE BUILDER TO COMPLETE THE LOWER LEVEL OF THIS HOME IN COMPLIANCE WITH LOCAL ENERGY CODE REQUIREMENTS.</p> <p>- THESE DRAWINGS ARE SHOWN WITH 2X4 EXTERIOR WALLS. WHEN THE 2X6 EXTERIOR WALL OPTION IS SELECTED, THE INTERIOR SPACE IS REDUCED (MATING WALLS DO NOT CHANGE) AND DOORS, LIGHTS, ETC., ARE ADJUSTED ACCORDINGLY. THE WALL INSULATION IS INCREASED TO R-19 Batts. THE FOOTPRINT DIMENSIONS ARE NOT AFFECTED.</p>	<p>- BUILDER/RECTOR IS RESPONSIBLE FOR COMPLETE FOUNDATION INCLUDING BUT NOT LIMITED TO: SILL PLATE, ANCHOR BOLTS (STRAPS), WATERPROOFING, CONC. SLABS, FOOTINGS AND INSPECTIONS.</p> <p>- FOUNDATION HAS BEEN CERTIFIED FOR SUPPORT PLACEMENT AND UPLIFT. ACTUAL FOUNDATION DESIGN SHALL BE BASED ON LOCAL SOIL CONDITIONS. WHEN BUILDING IN THE STATE OF NEW JERSEY DESIGN IS TO BE DONE BY A PROF. ENG. OR ARCH. LICENSED IN NEW JERSEY IN ACCORDANCE WITH N.J.A.C. 5:23-4.27 (G)</p> <p>- FOUNDATION DIMENSIONS ARE SHOWN FRAME TO FRAME.</p> <p>- ANY MODIFICATIONS REQUIRING FOUNDATION ADJUSTMENTS ARE THE SOLE RESPONSIBILITY OF THE BUILDER INCLUDING BUT NOT LIMITED TO SIZING AND/OR PLACEMENT OF PIER COLUMNS, OR STRUCTURAL STEEL</p> <p>- CRAWL SPACE AND BASEMENT SHALL BE VENTED IN COMPLIANCE WITH LOCAL BUILDING REGULATIONS.</p> <p>- SILL LOCK, VENT, ACCESS PAN, BASH'T. SASH, AND ENTRY MAY BE DETERMINED BY BUILDER IN FIELD.</p> <p>- OUTSIDE ACCESS TO CRAWL SPACE SHALL BE IN COMPLIANCE WITH LOCAL BUILDING REGULATIONS.</p> <p>- BUILDER IN FIELD TO FURNISH AND INSTALL A SMOKE DETECTOR IN THE BASEMENT TO WORK IN TANDEM WITH FIRST AND SECOND FLOOR DETECTORS, WHERE APPLICABLE.</p> <p>- WINDOWS AND DOORS SHOWN IN BASH'T. ARE NOT SUPPLIED WITH HOUSE PKG. AND ARE SHOWN AS A SUGGESTION ONLY.</p> <p>- BASH'T. STAIRS (ONLY) SUPPLIED BY N.A.H.C. ANY MATERIAL NEEDED TO ENCLOSE AND FINISH STAIRWELL IS BY THE BLDG. IN THE FIELD.</p>	<p><b>COPYRIGHT NOTICE</b></p> <p><b>THIS STAMP DOES NOT APPEAR IN RED THEN THIS SET OF PLANS HAS BEEN ILLEGALLY COPIED, IN VIOLATION OF U.S. COPYRIGHT LAW, CONSTITUTING CRIMINAL THEFT.</b></p>		<p><b>DESIGN CRITERIA:</b></p> <p>CLASSIFICATION R-4 TYPE 5-B</p> <p>ROOF (STD) - LIVE LOAD= 30 PSF ROOF (OPT) - LIVE LOAD= 40 OR 50 PSF ROOF - DEAD LOAD= 10 PSF CEILING - DEAD LOAD= 5 PSF 1st FLOOR- LIVE LOAD= 40 PSF 2nd FLOOR- LIVE LOAD= 30 PSF FLOOR - DEAD LOAD= 5 PSF WIND LOAD= 20 PSF</p> <p>DOOR AND WINDOW INFILTRATION @ 25 MPH WIND</p> <p>- WINDOW CFM = .5/L.F. OF CRACK - DOOR CFM = 1./S.F. OF DOOR</p> <p>THERMOSTAT CONTROL = 45 - 75 DEGREES FAREN.</p> <p>at = 80 DEG. FAREN.</p> <p>BATHROOM EXHAUST FAN = 50 CFM</p>

MODEL <b>OXFORD II</b>	COVER SHEET	REVISED 1/2/88 J.R.E. - BLDG. SET TO REV. PLANS SHOW LOAD OFF. EXH. FAN TO 50
COPYRIGHT 1988	SCALE NONE	4/20/88 PMS (CHANGE "FOUNDATION" NOTE TO "FOUNDATION DIMENSIONS" NOTE.) 3/3/93 LGA (ADDED 2X6 WALL NOTE) 10/12/93 P-3 (ADD "FOUNDATION ADJUSTMENTS" NOTE CHANGE TO CLASS. R-4)
		SHEET 1 OF 16

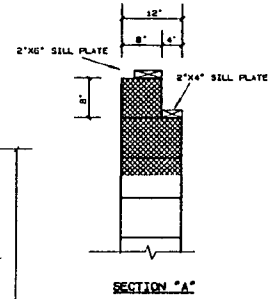
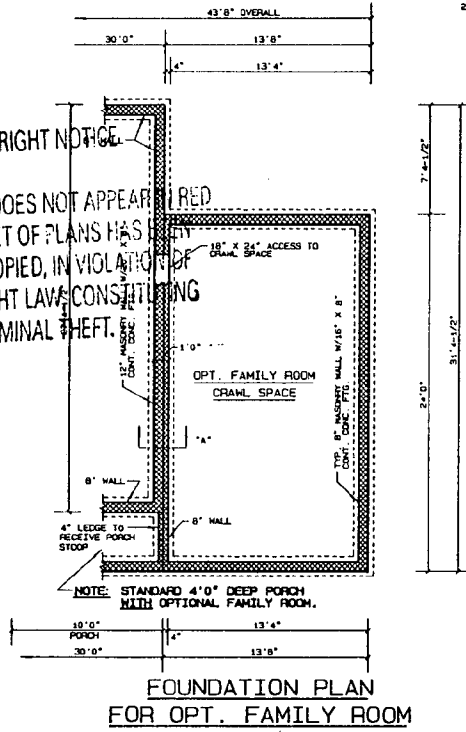
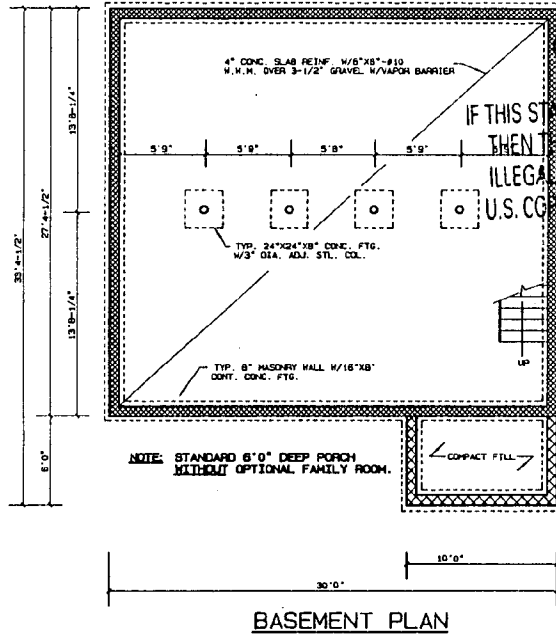



**North American Housing Corp.**  
CORPORATE HEADQUARTERS  
P.O. BOX 145 POINT OF ROCKS, MD 21777  
301-694-9100

11

**NOTE:**

- 1 - SEE COVER SHEET FOR APPROPRIATE NOTES.
- 2 - ALL HOMES W/OPTIONAL STYROFOAM INSULATION (PKG PACKAGE) INCREASE ENTIRE PERIMETER BY 3/4" TO ACCOMMODATE STYROFOAM SHEATHING.
- 3 - BLDG. IN FIELD TO CHECK AND CONFIRM ALL FOUNDATION MEASUREMENTS.



MODEL	FOUNDATION PLAN	REVISED
OXFORD II	SCALE 1/8"=1'-0"	3-8-81 3/8" (1-477) 2-10-82 J.L.H. 82-840
COPYRIGHT 1982		
		SHEET 2 OF 16
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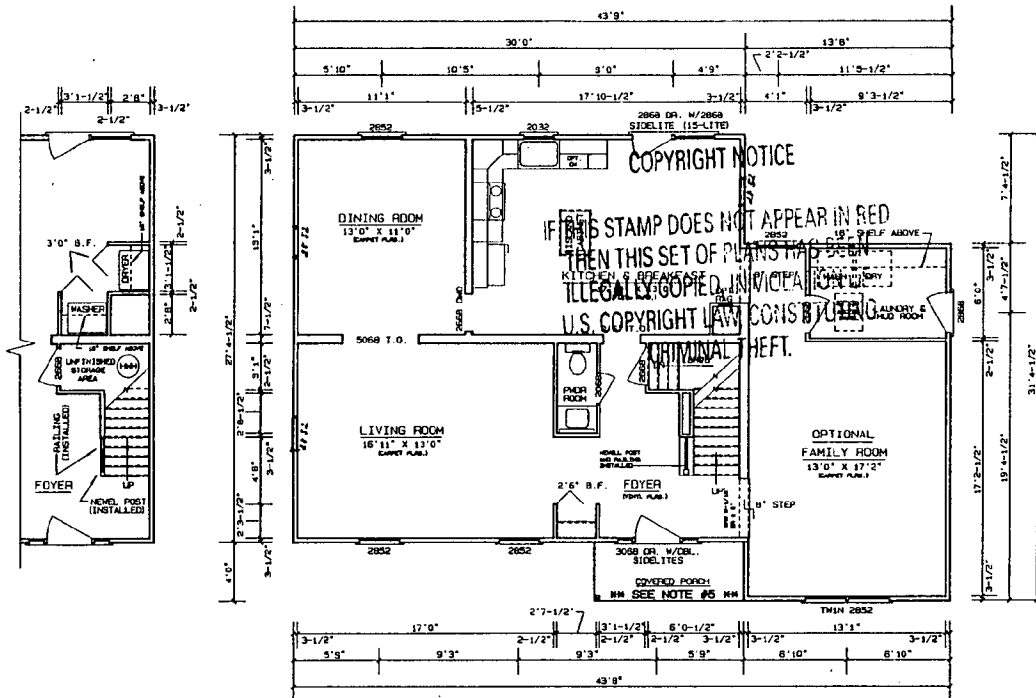


**NOTES:**

- 1 - SEE COVER SHEET FOR APPROPRIATE NOTES
- 2 - THESE DRAWINGS ARE SHOWN WITH 2 1/4" EXTERIOR WALLS. WHEN THE 2 X 8 EXTERIOR WALL OPTION IS SELECTED, THE INTERIOR SPACE IS REDUCED. HATING WALLS DO NOT CHANGE AND DOORS, LIGHTS, ETC., ARE ADJUSTED ACCORDINGLY. THE WALL INSULATION IS INCREASED TO R-19 BATTIS. THE FOOTPRINT DIMENSIONS ARE NOT AFFECTED.
- 3 - LIVING ROOM WINDOWS HAVE 79" SHUTTERS W/PANEL UNDER AND FLAT HEAD FEATURE
- 4 - FAMILY ROOM FRONT WDW. HAS 79" SHUTTERS W/PANEL UNDER.
- 5 - FRONT PORCH IS 4'-0" DEEP WITH OPTIONAL FAMILY ROOM.
- 6 - FRONT DOOR HAS 4-LITE INSERT

**BATH FIXTURE SCHEDULE**

POUNDER ROOM: 30" VANITY  
30" MIRROR  
LITE STRIP



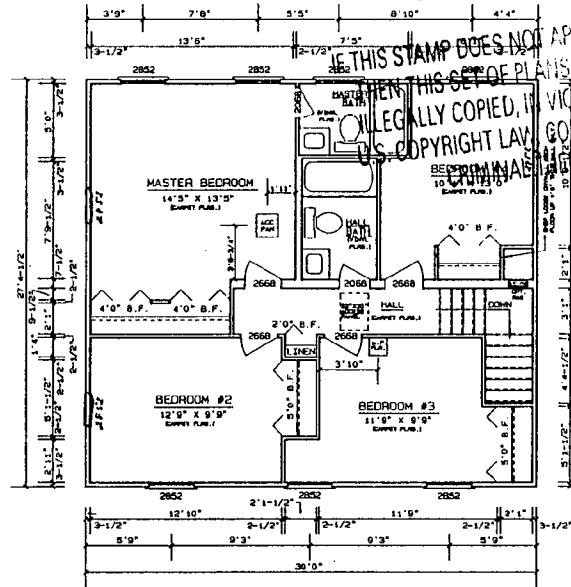
**FIRST FLOOR PLAN**

MODEL <b>OXFORD II</b>	FLOOR PLAN	REVISED 3-4-86 5/26/87 4-8-83 J.L. (33-843) 8-8-83 L.M. (53-943)
	SCALE 1/8"=1'-0"	
COPYRIGHT 1982	SHEET 3 OF 16	
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**NOTES:**

- 1 - SEE COVER SHEET FOR APPROPRIATE NOTES
- 2 - THESE DRAWINGS ARE SHOWN WITH 2 X 4 EXTERIOR WALLS. WHEN THE 2 X 6 EXTERIOR WALL OPTION IS SELECTED, THE INTERIOR SPACES IS RELEASED, BATHING WALLS DO NOT CHANGE AND DOORS, LIGHTS, ETC. ARE ADJUSTED ACCORDINGLY. THE WALL INSULATION IS INCREASED TO R-19 BATT. THE FOOTPRINT DIMENSIONS ARE NOT AFFECTED.
- 3 - FRONT WINDOWS HAVE 63" SHUTTERS


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BATH FIXTURE SCHEDULE  
 HALL BATH 21" VANITY  
 RECESSED MED. CABINET W/LIGHT STRIP  
 MASTER BATH 24" VANITY  
 RECESSED MED. CABINET W/LIGHT STRIP

SECOND FLOOR PLAN

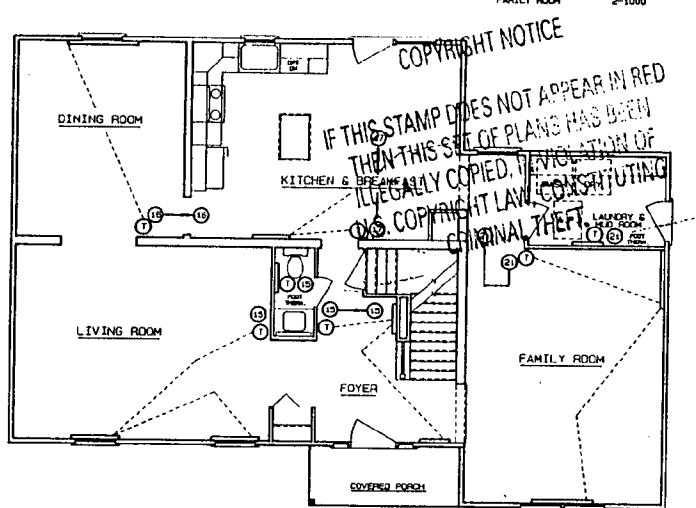
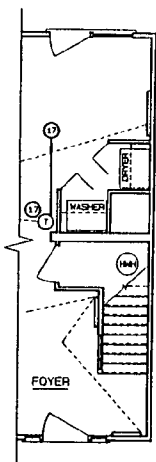
MODEL	SECOND FLOOR PLAN	REVISED
<b>OXFORD II</b>	SCALE 1/8" = 1'-0"	S.A.O. 5/9/87 4-8-83 J.H. (83-842)
COPYRIGHT 1982		JAN. 21, 1982
		SHEET 4 OF 16 <b>North American Housing Corp.</b> CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100

(A)

NOTES:  
1 - SEE COVER SHEET FOR APPROPRIATE NOTES

ELECTRICAL B.B. HEAT SCHEDULE

AREA	24-112
LIVING ROOM	1000
DINING ROOM	1000
KITCHEN & BREAKFAST	1000
HALL BATH	500
MASTER BATH	500
PORCH	500
MASTER BEDROOM	1500
BEDROOM #2	1000
BEDROOM #3	1500
BEDROOM #4	750
FOYER	500
LAUNDRY	750
FAMILY ROOM	2-1000



ELECTRIC B.B. HEAT LAYOUT

MODEL <b>OXFORD II</b>	ELEC. B.B. HEAT	REVISED S.A.G. 5/26/87 9/7/90 MCA (88-184)
COPYRIGHT 1982	SCALE 1/8"=1'-0"	THE 11/2/2/86
		SHEET 7 OF 16
<b>North American Housing Corp.</b> CORPORATE HEADQUARTERS P.O. BOX 145 PDINT OF ROCKS, MD 21777 301-694-9100		

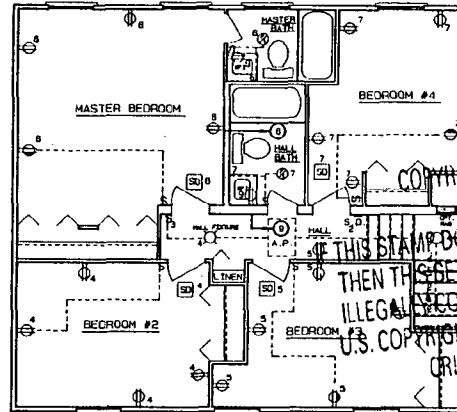
71

**NOTES:**

- 1 - SEE COVER SHEET FOR APPROPRIATE NOTES
- 2 - BLDG. IN FIELD MUST FURNISH AND INSTALL A SMOKE DETECTOR IN THE BASEMENT TO ACT IN TANDEN W/THE FIRST AND SECOND FLOOR DETECTOR (WHERE APPL.)
- 3 - BLDG. IN FIELD TO WIRE OODS ON THE TRANSFORMER W/BASEMENT LIGHTING CIRCUIT WHERE APPL.


**BATH FIXTURE SCHEDULE**

HALL BATH: 24" VANITY  
 RECESSED MED. CABINET W/LIGHT STRIP  
 MSTR BATH: 24" VANITY  
 RECESSED MED. CABINET W/LIGHT STRIP



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 ORIGINAL THEFT.

SECOND FLOOR ELECTRICAL CIRCUIT LAYOUT

MODEL <b>OXFORD II</b>	ELEC. CIR.	REVISED 3-8-82 6/9/87 8/2/82 8/2/82 10-1-81 8/1-82
COPYRIGHT 1982	SCALE 1/8"=1'-0"	SHEET 6 OF 16
 <b>North American Housing Corp.</b> CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100		

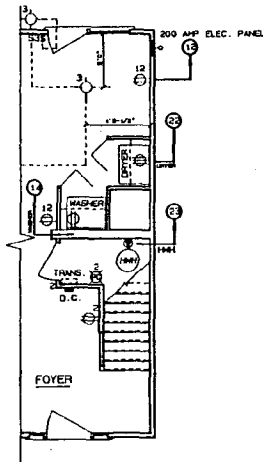
**BATH FIXTURE SCHEDULE**  
 POWDER ROOM 30" VANITY  
 30" MIRROR  
 LITE STRIP

**NOTES.**

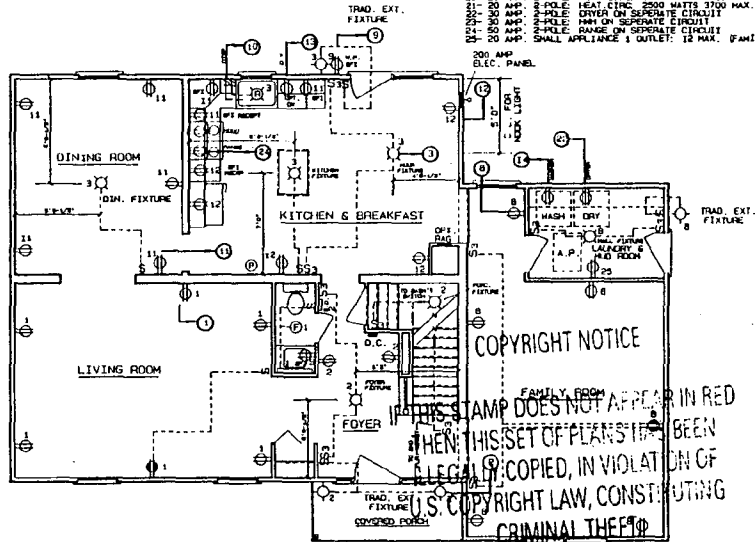
- 1 - SEE COVER SHEET FOR APPROPRIATE NOTES
- 2 - BLDG. IN FIELD MUST FURNISH AND INSTALL A SMOKE DETECTOR IN THE BASEMENT TO ACT IN TANKSH W/THE FIRST AND SECOND FLOOR DETECTOR (WHERE APPL.)
- 3 - BLDG. IN FIELD TO WIRE DOOR CHIME TRANSFORMER W/BASEMENT LIGHTING CIRCUIT (WHERE APPL.)

**ELECTRICAL CIRCUIT SCHEDULE**

- 1 - 15 AMP. LIGHTING CIRCUIT: 8 OUTLETS 8 MAX.
- 2 - 15 AMP. LIGHTING CIRCUIT: 8 OUTLETS 8 MAX.
- 3 - 15 AMP. LIGHTING CIRCUIT: 7 OUTLETS 8 MAX.
- 4 - 15 AMP. LIGHTING CIRCUIT: 7 OUTLETS 8 MAX.
- 5 - 15 AMP. LIGHTING CIRCUIT: 7 OUTLETS 8 MAX.
- 6 - 15 AMP. LIGHTING CIRCUIT: 7 OUTLETS 8 MAX.
- 004
- 8 - 15 AMP. LIGHTING CIRCUIT: 8 OUTLETS (FAMILY ROOM OPT.)
- 9 - 15 AMP. GFI CIRCUIT: 4 OUTLETS (BATHS)
- 10 - 15 AMP. DISPOSAL ON SEPARATE CIRCUIT
- 11 - 20 AMP. SMALL APPL. 5 OUTLETS: 12 MAX.
- 12 - 20 AMP. SMALL APPL. 5 OUTLETS: 12 MAX.
- 13 - 20 AMP. DISHWASHER ON SEPARATE CIRCUIT
- 14 - 20 AMP. WASHER ON SEPARATE CIRCUIT
- 15 - 20 AMP. 2-POLE HEAT CIRC. 3500 WATTS 3700 MAX. SEE SEPARATE ELECT. S.B. HEAT. PLAN
- 16 - 20 AMP. 2-POLE HEAT CIRC. 1000 WATTS 3700 MAX. SEE SEPARATE ELECT. S.B. HEAT. PLAN
- 17 - 20 AMP. 2-POLE HEAT CIRC. 3500 WATTS 3700 MAX. SEE SEPARATE ELECT. S.B. HEAT. PLAN
- 18 - 20 AMP. 2-POLE HEAT CIRC. 2500 WATTS 3700 MAX. SEE SEPARATE ELECT. S.B. HEAT. PLAN
- 19 - 20 AMP. 2-POLE HEAT CIRC. 2500 WATTS 3700 MAX. SEE SEPARATE ELECT. S.B. HEAT. PLAN
- 20 - 20 AMP. 2-POLE HEAT CIRC. 1250 WATTS 3700 MAX. SEE SEPARATE ELECT. S.B. HEAT. PLAN
- 21 - 20 AMP. 2-POLE HEAT CIRC. 1750 WATTS 3700 MAX. SEE SEPARATE ELECT. S.B. HEAT. PLAN
- 22 - 20 AMP. 2-POLE HEAT CIRC. 2500 WATTS 3700 MAX. SEE SEPARATE ELECT. S.B. HEAT. PLAN
- 23 - 20 AMP. 2-POLE HWT ON SEPARATE CIRCUIT
- 24 - 20 AMP. RANGE ON SEPARATE CIRCUIT
- 25 - 20 AMP. SMALL APPL. 4 OUTLET: 12 MAX. (FAMILY ROOM)



**ALT. CRAWL SPACE**  
 W/O OPT. FAMILY ROOM



**FIRST FLOOR ELECTRICAL CIRCUIT LAYOUT**

W/OPT. FAMILY ROOM & BASEMENT COND.

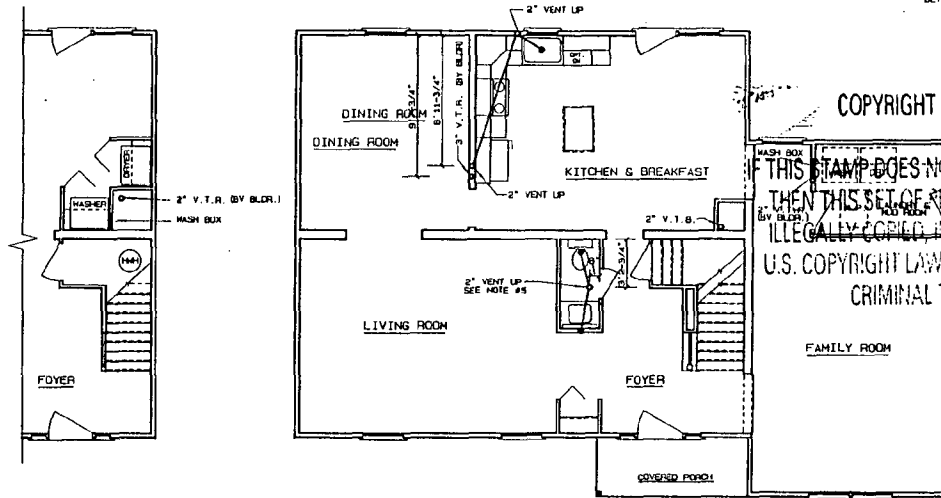
MODEL <b>OXFORD II</b>	ELEC. CIR.	REVISED 8/1/82 BY: [signature] 10-6-81 BY: [signature]
COPYRIGHT 1982	SCALE 1/8"=1'-0"	THE 11/25/82
		SHEET 5 OF 16
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(17)

BATH FIXTURE SCHEDULE  
 POWDER ROOM: 30" VANITY  
 30" MIRROR  
 LITE STRIP

NOTES:


- 1 - SEE COVER SHEET FOR APPROPRIATE NOTES
- 2 - ALL PLUMBING CONNECTIONS BELOW FLOOR, BETWEEN FLOORS AND IN ATTIC AREAS ARE TO BE MADE BY BLDG. IN FIELD AND TO BE IN ACCORDANCE W/LOCAL PLUMBING REGULATIONS.
- 3 - CAUTION: COMPRESSION FITTINGS AND TRAP NUTS ARE NOT CONNECTED.
- 4 - SOL. BOWL SINKS USED W/DISHWASHER OPTION UNLESS SPECIFIED
- 5 - PLUMBING VENT FOR POWDER ROOM TO BE VENTED UP THRU SECTION #3 WALL W/ CONNECTIONS BETWEEN BOXES MADE IN FIELD.



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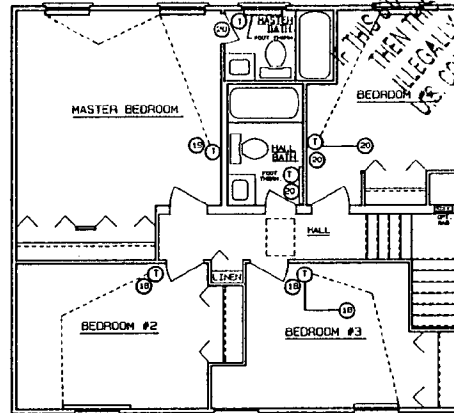
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FIRST FLOOR PLUMBING LAYOUT


MODEL <b>OXFORD II</b>	PLUMBING	REVISED 3/23/82 5-1-81 JLN (17-378)
COPYRIGHT 1982	SCALE 1/8"=1'-0"	THE ILLUSTRATION
		<b>North American Housing Corp.</b> CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100
		SHEET 9 OF 16

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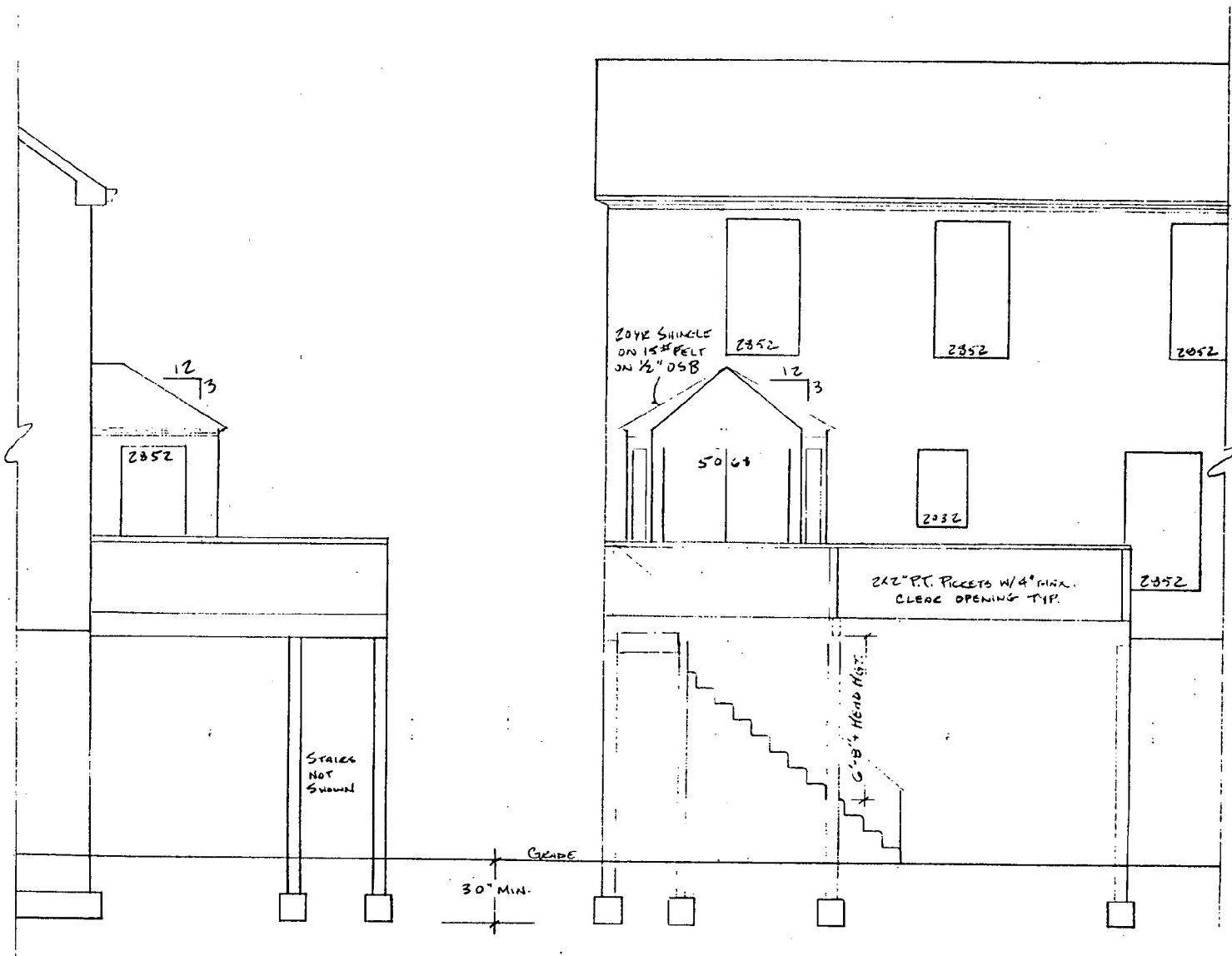


SECOND FLOOR ELECTRIC B.B. HEAT LAYOUT

MODEL <b>OXFORD II</b>	ELEC. B.B. HEAT	REVISED 3/6 5/9/87 3/8 2/5/88 REVISED B.B. HEAT SCHEDULE
COPYRIGHT 1982	SCALE 1/8"=1'-0"	JAN 21 1982
		SHEET <b>8</b> OF 16
<b>North American Housing Corp.</b> CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100		

61)

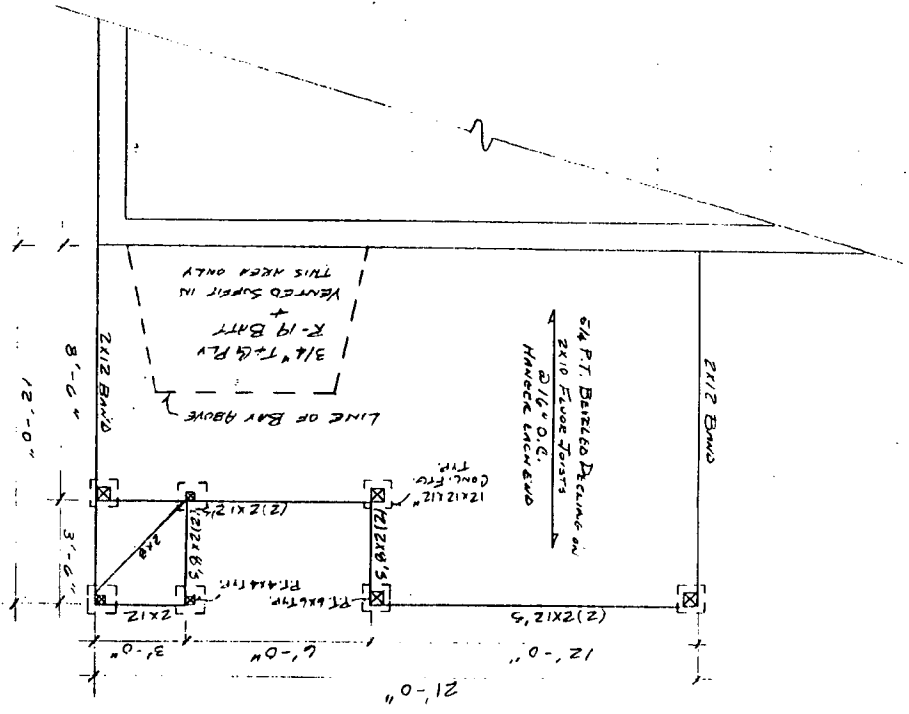




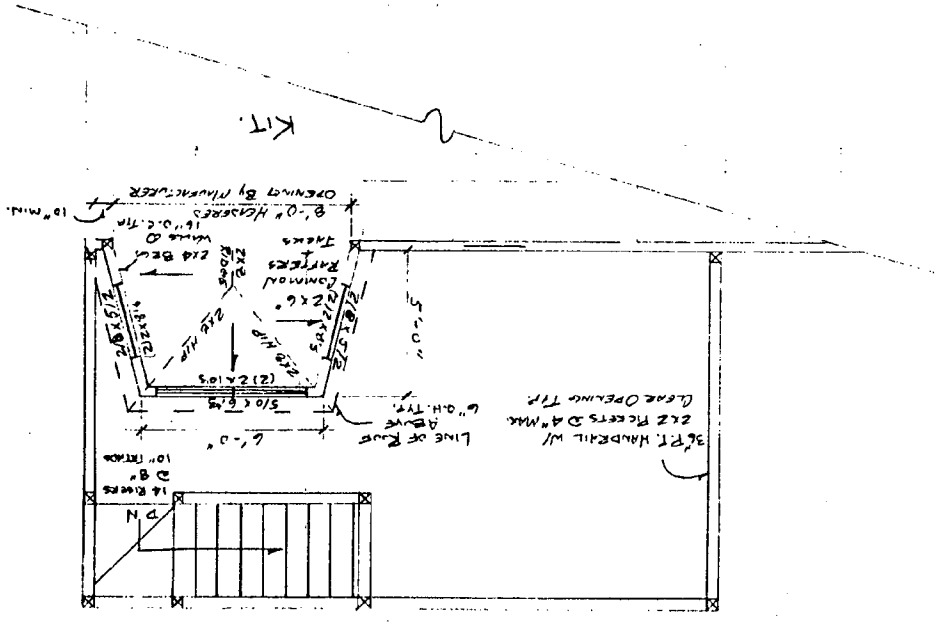
SIDE ELEVATION 1/4" = 1'-0"

REAR ELEVATION 1/4" = 1'-0"

FOUNDATION AND DECK FRAMING PLAN 1/4" = 1'-0"



ROOF FRAMING AND FLOOR PLAN 1/4" = 1'-0"



CONTINUOUS RIDGE VENT W/ SHINGLE CAPS OVER  
(INSTALLED BY BUILDER IN FIELD)  
2 - 1 X 4 RIDGE BOARDS

HINGED EXTENSION POINT WITH  
2 X 4 STUDS @ 16" O.C. NAILED  
W/ 100 NAILS @ 12" O.C.  
ALTERNATE DIRECTION OF EVERY OTHER  
NAIL (INSTALLED BY BLDG.) (TYP.)  
1 1/2" X 10" STRAP HINGE - 20 GA.

HINGED KING POST LENGTH OF HOUSE SET AND NAILED IN  
POSITION BY BUILDER 3-100 NAILS EVERY TRUSS  
2 X 4 KING POST STOP GAUGE

HINGED MONITOR - 24" O.C.  
2X6 SHINGLES OVER 1/2" PAPER OVER  
1/2" A.P.A. RATED SHEATHING FOR EQUITY  
OVER RATED SHEATHING (OPTIONAL SOF SHIELD)  
CONTINUOUS LATERAL BRACE  
SHINGLES AT HINGE INSTALLED BY BLDG.

HINGED TRUSS PLATE  
R-13 FIBERGLASS BATT INSULATION  
W/VAPOR BARRIER

TRUSS PLATE (TYP.)  
CARBOBOARD BAFFLES AT ALL EXT. WALLS  
TO HOLD INSULATION DOWN FOR VENT

5/8" T & O A.P.A. RATED SHEATHING  
GLED & NAILED (OR EQUIV.) (TYP.)  
2 X 10 FLOOR JOISTS @  
16" O.C. (TYP.)

2 X 4 PLATES (TYP.)  
2 - 2 X 10 CONTINUOUS BAND  
BOTH ENDS (TYP.)  
JOIST HANGER BOTH ENDS (TYP.)

1 X RIBBON BOARD W/WOOD SIDING  
INSTALLED BY BLDG.

2 X 8 CONTINUOUS BAND  
BOTH ENDS (TYP.)

R-19 INSULATION INSTALLED (12")  
AROUND EXT. PERIMETER

2 X 8 CEILING PANEL JOIST  
@ 24" O.C. SIDING  
(OTHER SIDINGS AVAILABLE)

OPTIONAL 3/4" STYROFOAM (R-4.00)  
TOTAL WALL - R-19

1/2" STRUCTURAL SHEATHING (TYP.)  
2 X 4 STUDS @ 16" O.C. (TYP.)  
R-13 FIBERGLASS BATT INSULATION  
W/VAPOR BARRIER (TYP.)

1/2" DRYWALL (TYP.)  
2" X 3" ALUMINUM CORNERPOST (SUPPLIED  
AND INSTALLED BY BUILDER)

1 X BAND BOARD W/WOOD SIDING  
INSTALLED BY BLDG.

LAST ROW OF VINYL SIDING &  
STARTER STRIP INSTALLED BY BLDG.

TOE NAIL JOIST BAND TO SILL  
W/100 NAILS @ 24" O.C. HANGING  
ENTIRE PERIMETER OF HOUSE  
BY BUILDER IN FIELD

FOR RECOMMENDED FOUNDATION DESIGN SEE APPROPRIATE  
CROSS SECTION OF FOUNDATIONS (SEPARATE SHEET)

125 NAILS (BETWEEN TRUSSES) 12" O.C.  
ALTERNATE DIRECTION OF EVERY OTHER  
NAIL (INSTALLED BY BUILDER) (TYP.)

NOTES

- SOFFIT AND FASCIA CONDITIONS CHANGE WITH SIDING USED.
- ALUMINUM OR VINYL SIDING USES ALUMINUM FASCIA TRIM
- ALUMINUM VENTED SOFFIT AND ALUMINUM QUARTER ROUND
- OPTIONAL WOOD SOFFIT AND SOFFIT HANGERS
- WOOD SIDING USES 1 X 8 BUTTER FASCIA BOARD
- WOOD SOFFIT HANGERS W/CONTINUOUS VENTILATION
- THESE DRAWINGS ARE SHOWN WITH 80% EXTENSION WALLS.
- WHEN THE 20% EXTENSION WALL OPTION IS SELECTED
- THE EXTENSION SPACE IS REDUCED AND THE WALLS DO
- NOT CHANGE AND DOORS, LIGHTS, ETC., ARE ADJUSTED
- ACCORDINGLY. THE WALL INSULATION IS INCREASED TO
- R-15 BATT. THE FOOTPRINT DIMENSIONS ARE NOT
- AFFECTED.

TRUSS DESIGN: TOLL = 30 PSF, OPT. 40 & 50 PSF  
TCEL = 7 PSF  
OODL = 10 PSF

OVERHANG VARIES

- 1 X 4 SPACER W/OPT. STYROFOAM
- FINISHED OVERHANGS
- DRIP EDGE
- FASCIA (SEE NOTES)
- 3" X 8" ALUMINUM BUTTER (SUPPLIED
- AND INSTALLED BY BUILDER)
- VENTED SOFFIT (SEE NOTES)
- FRIEZE BOARD
- (TYP. W/FINISHED OVERHANGS)
- NAILED TO HOUSE BY BLDG. W/  
100 NAILS @ 16" O.C.
- 2 - 2 X 4 PLATES (TYP.)
- 1/2" DRYWALL (TYP.)


R-13 INSULATION STAPLED TO  
2ND FLOOR DECK BAND  
BETWEEN JOISTS

CONNECT 2ND FLOOR JOIST BAND  
TO 1ST FLOOR CEILING BAND W/  
TRUSS PLATES @ 16" O.C.  
AROUND ENTIRE PERIMETER OF  
HOUSE BY BUILDER

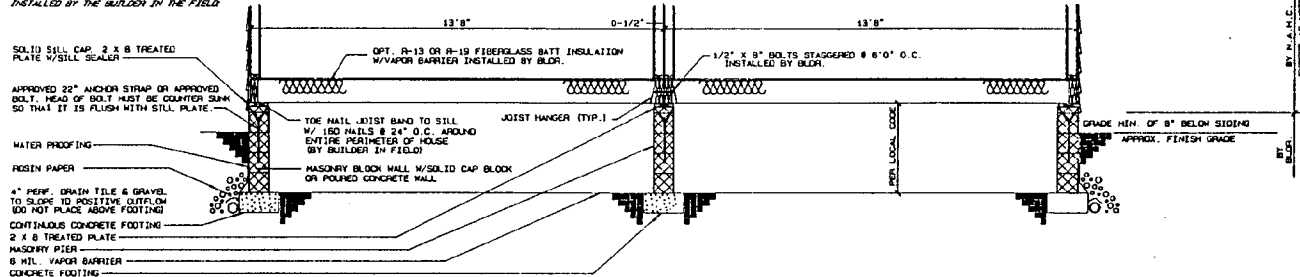
BY N.A.H.C.  
COPYRIGHT AS NOTED

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CRIMINAL THEFT.

MODEL	CROSS SECTION	REVISED
TWO STORY		8/1/91, JUNE (CHANGED INTO CAD)
13' 8" BOX 6/12 PITCH	SCALE 1/4" = 1' 0"	8/10/91, MCA (REVISED & REVISED)
COPYRIGHT 1985		9-3-91 J.H. (81-318)
		3/3/93 L.M. (83-042)
SHEET		OF
 <b>North American Housing Corp.</b> CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100		

ALL THE FOLLOWING ITEMS ARE SUPPLIED AND INSTALLED BY THE BUILDER IN THE FIELD



**CRAWL SPACE**

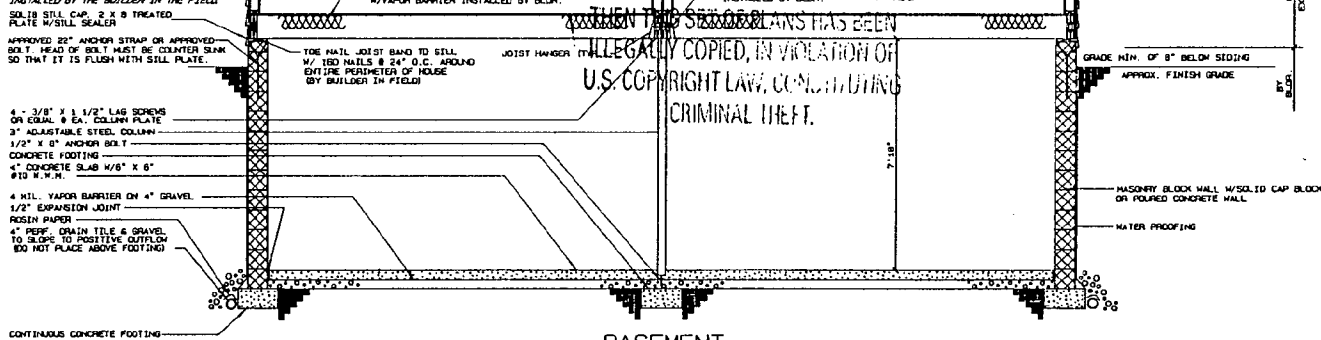
**FOUNDATION NOTES:**

- 1) BUILDER/DIRECTOR IS RESPONSIBLE FOR COMPLETE FOUNDATION INCLUDING BUT NOT LIMITED TO: SILL PLATE, ANCHOR BOLTS, BUSHINGS, WATERPROOFING, CONC. SLABS, FOOTINGS AND INSPECTIONS.
- 2) FOUNDATION HAS BEEN CERTIFIED FOR SEWER/PLACEMENT AND USE DET. ACTUAL FOUNDATION DESIGN IS THE RESPONSIBILITY OF THE BUILDER. ACTUAL DESIGN SHOULD BE BASED ON LOCAL SOIL CONDITIONS AND LOCAL BUILDING CODES.
- 3) DIMENSIONS ARE SHOWN FRAME TO FRAME. ANY ADJUSTMENTS RESULTING FOUNDATION ADJUSTMENTS SUCH AS OPTIONAL EXTENDING, SETTING, ARE THE SOLE RESPONSIBILITY OF THE BUILDER IN FIELD.
- 4) SEE FOUNDATION PLAN FOR SUGGESTED BLOCK AND FOOTING SIZES.

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ALL THE FOLLOWING ITEMS ARE SUPPLIED AND INSTALLED BY THE BUILDER IN THE FIELD

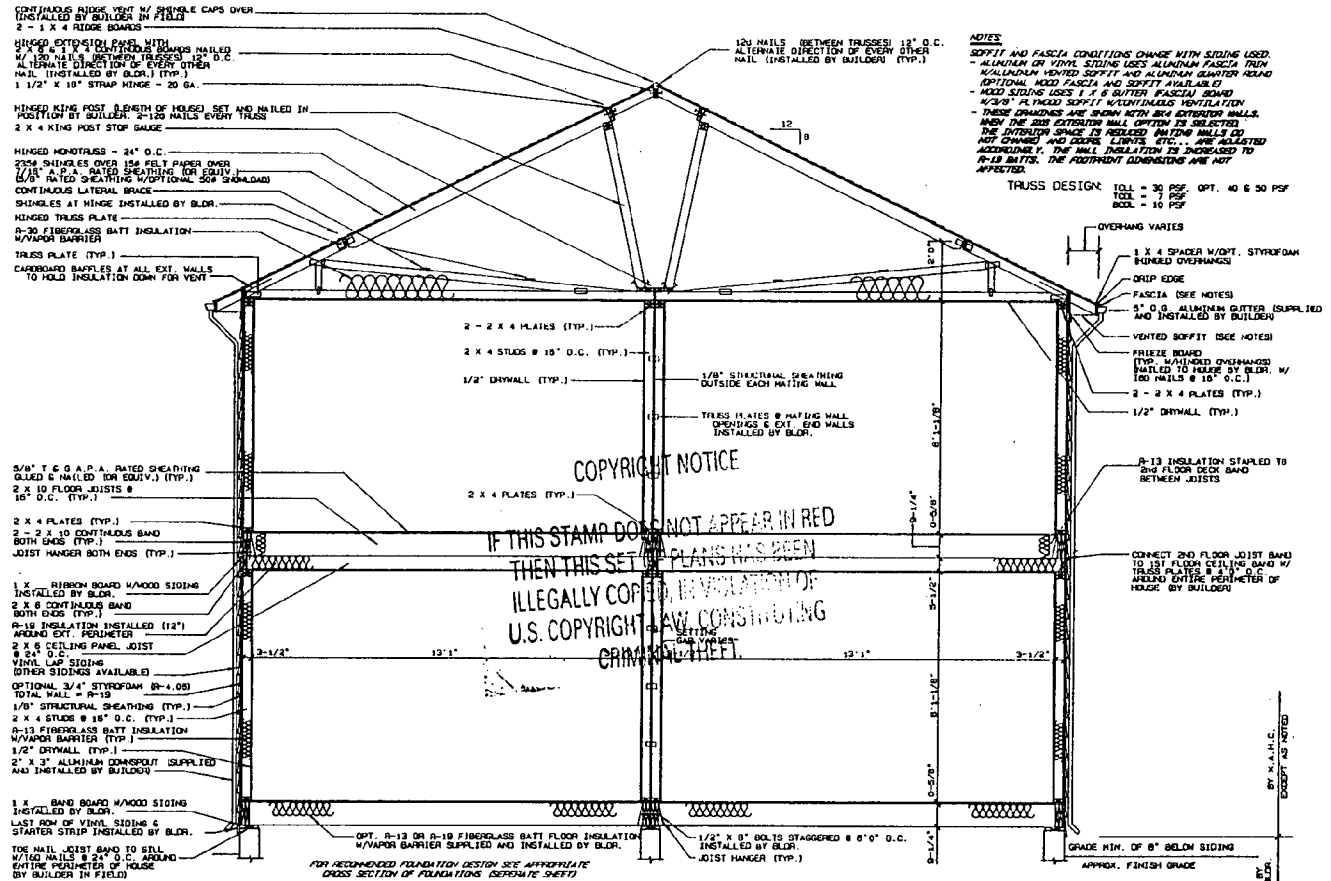


**BASEMENT**

MODEL <b>TWO STORY</b> 13' 0" BOX CRAWL & BSM'T	CROSS SECTION SCALE 1/4" = 1' 0"	REVISED 10/1/87 J.R.E. REVISIONS INTO CAD 3/1/91 M.C.A. UPDATED & REVISED 3/5/93 L.O.A. (93-0-42)
COPYRIGHT 1985		SHEET OF



**North American Housing Corp.**  
CORPORATE HEADQUARTERS  
P.O. BOX 145 POINT OF ROCKS, MD 21777  
301-694-9100

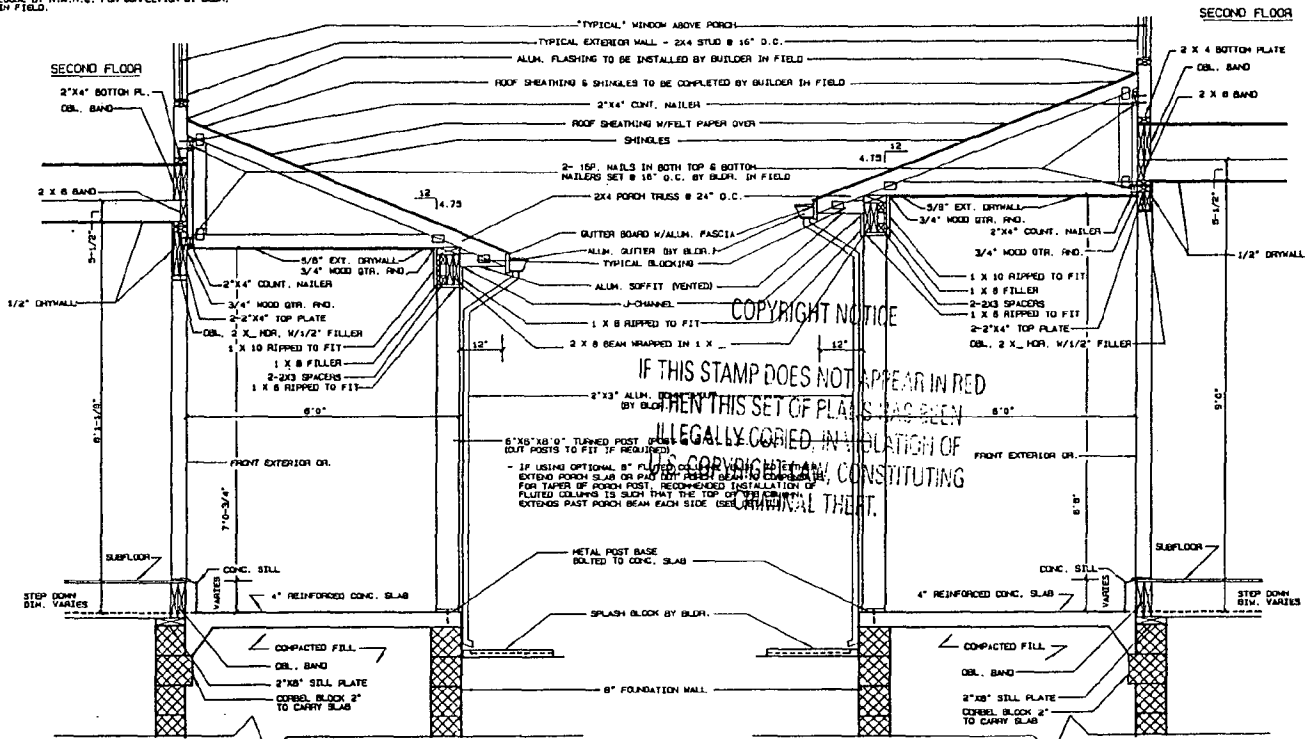


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MODEL <b>TWO STORY</b> 13'8" BOX 6/12 PITCH COPYRIGHT 1985	CROSS SECTION SCALE 1/4" = 1'0"	REVISED 8/1/87 J.L.W. (CHANGED INTO CAP) 3/26/91 MCA. (UPDATED & REVISED) 9-2-91 A.H. (81-91) 3/5/93 LGA (83-84)
North American Housing Corp. CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100		SHEET OF

**NOTES:**

1. SEE COVER SHEET FOR APPROPRIATE NOTES.
2. SEE FOUNDATION DRAWING FOR ADDITIONAL INFORMATION.
3. N.A.H.C. TO ASSEMBLE PORCH TRUSSES ONLY. ALL MATERIAL FOR PORCH WILL BE SHIPPED LOOSE BY N.A.H.C. FOR COMPLETION BY BLDG. IN FIELD.



MODEL <b>2 STORY</b> <b>PORCH DETAILS</b>	PORCH DETAILS	REVISED
COPYRIGHT 1980	SCALE 3/8"=1'0"	8/27/80 BHTG CAD #18-81 MCA REVISED 7-1-81 THT 8-8-81 J.H. 01-5187 (31-548) 10-9-81 J.H. 01-5187
		SHEET <b>14</b> OF <b>16</b>

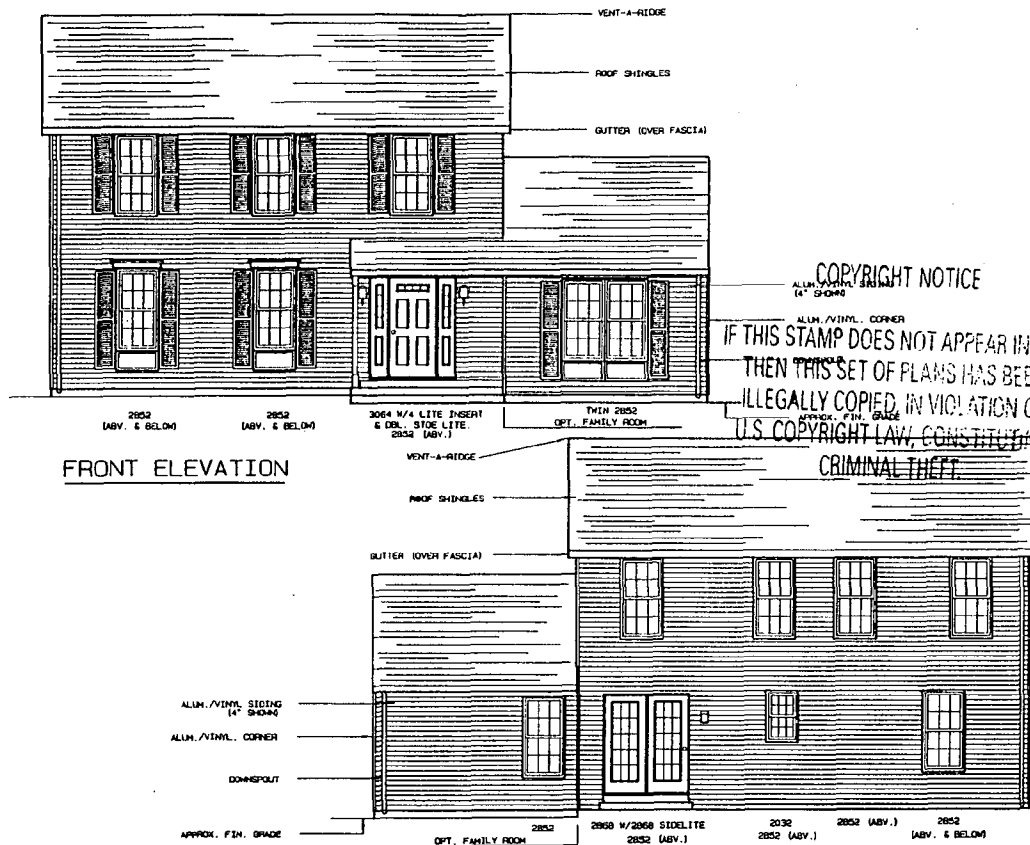


**North American Housing Corp.**  
CORPORATE HEADQUARTERS  
P.O. BOX 145 POINT OF ROCKS, MD 21777  
301-694-9100









FRONT ELEVATION

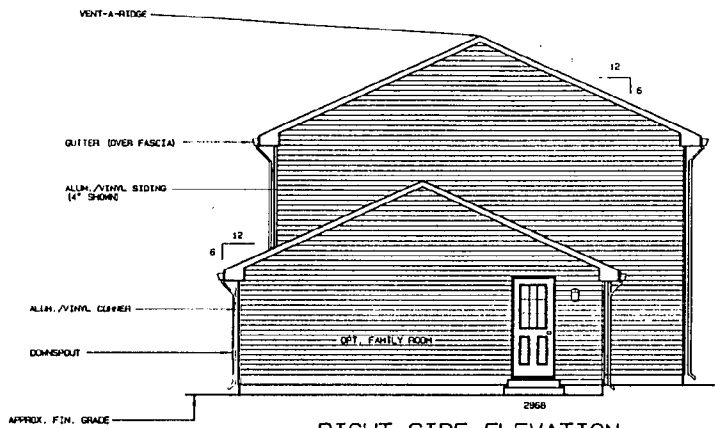
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- NOTES:
1. SEE COVER SHEET FOR APPROPRIATE NOTES.
  2. LIVING RM. WINDOWS TO HAVE PANELS UNDER AND HEAD FEATURES OVER 1/2" SHUTTERS.
  3. SECOND FLOOR FRONT WINDOWS TO HAVE 8" SHUTTERS.
  4. OPT. FAMILY RM. FRONT WINDOWS TO HAVE PANELS UNDER & 7/8" SHUTTERS.

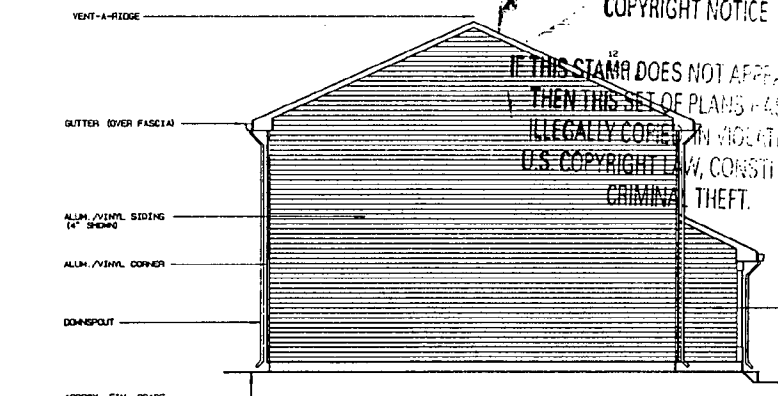
REAR ELEVATION

MODEL	ELEVATIONS	REVISED
OXFORD II	SCALE 1/8"=1'-0"	S.A.G. 8/9/97 2/1/91 85 (90-388)
COPYRIGHT 1982		JAN. 21, 1982
		SHEET 12 OF 16
<p>North American Housing Corp. CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100</p>		



RIGHT SIDE ELEVATION


NOTES:  
1. SEE COVER SHEET FOR APPROPRIATE NOTES.



LEFT SIDE ELEVATION

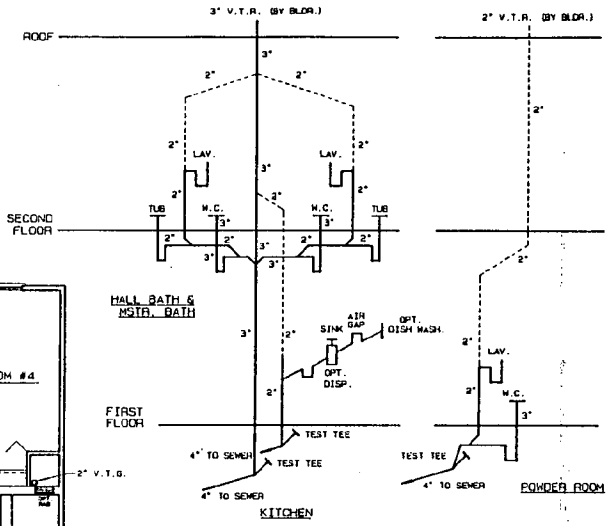
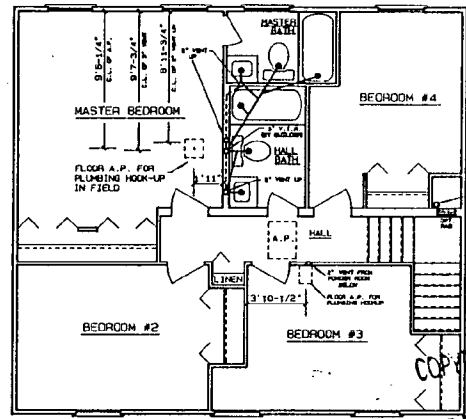
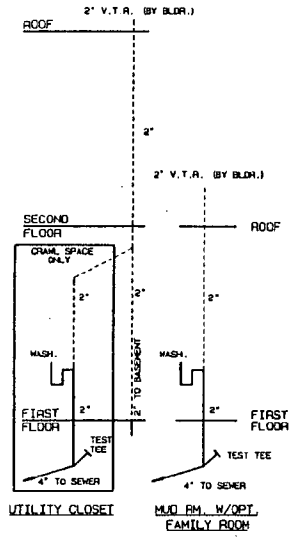
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MODEL	ELEVATIONS	REVISED	S.A.O. 6/9/87 2/1/91 @ 00'3000
OXFORD II	SCALE 1/8"=1'-0"		
COPYRIGHT 1982			SHEET 11 OF 16
		<b>North American Housing Corp.</b> CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100	

**BATH FIXTURE SCHEDULE**  
 HALL BATH 24" VANITY  
 RECESSED MED. CABINET W/LIGHT STRIP  
 HSTR BATH 24" VANITY  
 RECESSED MED. CABINET W/LIGHT STRIP

- NOTES:**
- 1 - SEE COVER SHEET FOR APPROPRIATE NOTES
  - 2 - ALL PLUMBING CONNECTIONS BELOW FLOOR, BETWEEN FLOORS AND IN ATTIC AREAS ARE TO BE MADE BY BLDG. IN FIELD AND TO BE IN ACCORDANCE W/LOCAL PLUMBING REGULATIONS.
  - 3 - CAUTION: COMPRESSION FITTINGS AND TRAP NUTS ARE NOT CONNECTED.

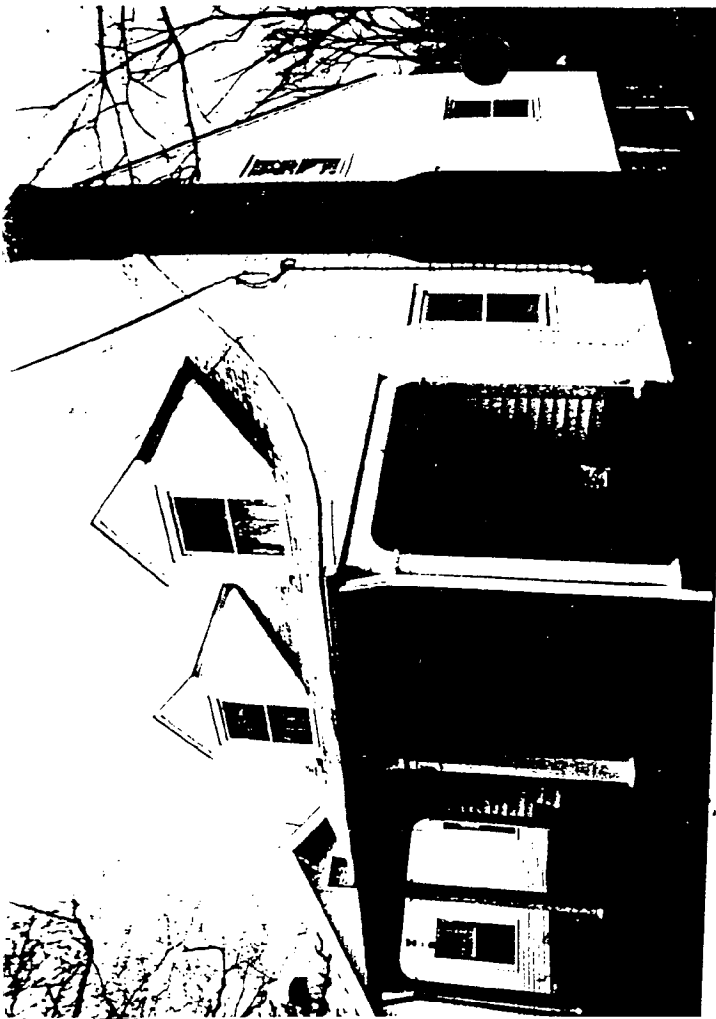


**PLUMBING SCHEMATIC**

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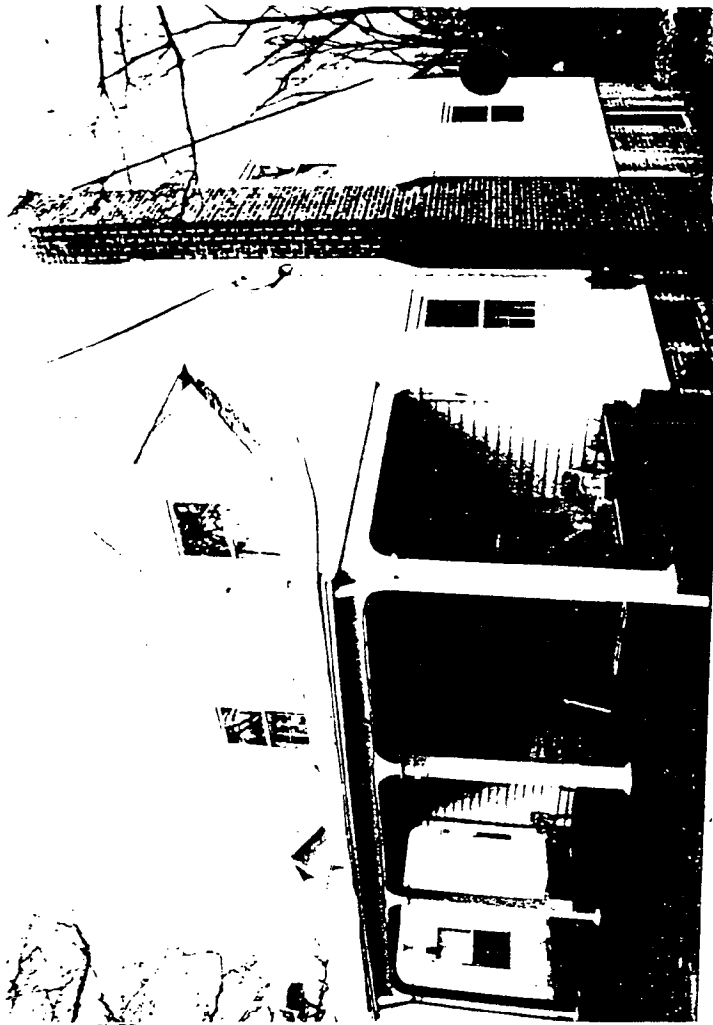
**SECOND FLOOR PLUMBING**

MODEL	PLUMBING	REVISED
<b>OXFORD II</b>		3/19/90, 9/2/97 8/17/90, 1/26/90-2/7/91, 3/8/90-3/8/90
COPYRIGHT 1992	SCALE 1/8"=1'-0"	
		SHEET 10 OF 16
<b>North American Housing Corp.</b> CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100		

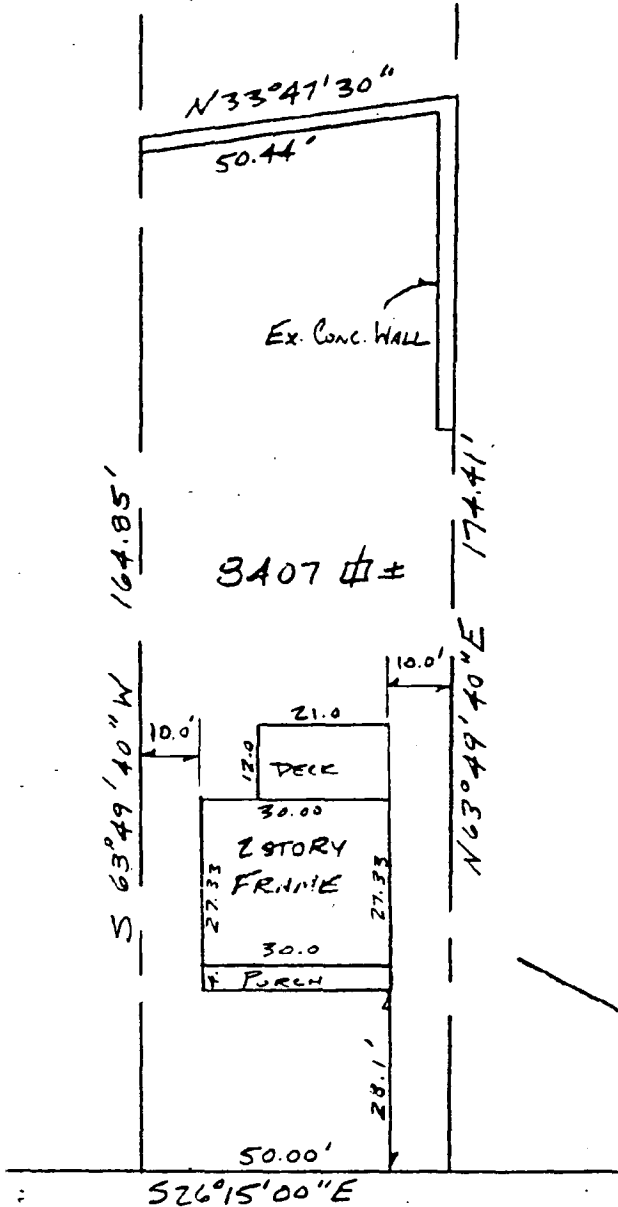


~~houses~~ houses

31 across ST.



11-09-66



LOT 7 BLOCK 31  
CAPITOL VIEW PARK  
MONTGOMERY COUNTY, MARYLAND

FOLIO 653  
LIBER 11606

CAPITOL VIEW AVENUE  
(FORMERLY GLEN INN AVE.)

PROPOSED HOUSE LOCATION PLAT 1" = 30'



## PRESERVATION RESOURCES GROUP

Bobbi Hahn

FAX MESSAGE  
(301)495-7340

Date: Dec. 1  
To: Pat Parker HPC  
Phone/FAX number: 495-1307  
Number of pages including this cover sheet: 2  
Message:

As per our discussion here are our  
concerns - approved by LHP! Let  
us know what happens!

Thanks,

Bobbi

November 30, 1993

To: HPC

From: David Clough, Capitol View Park LAP

Subject: HAWP 31/7-93G

The Capitol View Park LAP has reviewed the plans for new construction at 9908 Capitol View Avenue (HAWP 31/7-93G) and although it has no serious reservations about the style of the house it has the following concerns which we hope you will address before issuing a permit. The application does not include either 1) a grading plan (as required by the HAWP permit form) nor 2) a plan which shows the relationship of the footprint of the proposed new house to its existing neighbors. As this house will be on the most highly visible street within the historic district, its impact on the streetscape is of the greatest importance.

In the absence of a grading plan showing existing and proposed contours it is impossible to ascertain the finished floor elevation or the ultimate height of the ridgeline of the roof. This figure is of great importance as most of the surrounding houses are 1 1/2 stories and infill construction must be respectful of the rhythm of the existing streetscape. We request that the applicant supply a contour grading plan and figures comparing the ridgeline height with that of the two adjacent structures.

We also ask that the applicant supply a plan showing the proposed siting of the new house and the existing siting of the adjacent houses. With this information an informed opinion can be expressed regarding the impact, if any, which this house will have on the existing streetscape. To avoid a negative impact it is our opinion that the front facade of the new construction (excluding porch) must not be forward of a line between the front facades (excluding porches) of the existing houses.

Thank you.

# R.T. SANDERS

BUILDING CONTRACTOR  
11010 Renner Road  
Woodsboro, MD 21798  
(301)898-5264

## ADDENDUM "A"

This addendum made and entered this 8th day of December, 1993 by and between Richard T. Sanders Building Contractor (Contractor), and William Ross Moulden (Owner), in accordance with the Terms and Conditions of the contract dated September 28, 1993.

### A. Additional Scope of Work:

- 1) Vinyl Siding to be Dutchlap, without wood grain, having a minimum of .42" gauge thickness.
- 2) 4" wood trim to be used around all windows and doors.
- 3) Side window to have shutters, same as front of house.
- 4) Wood cornice and fascia trim.
- 5) Wood corner boards.
- 6) 9/12 Roof Pitch
- 7) All exterior trim to be painted, 2 coats of white.
- 8) Gas water heater.
- 9) 12x12 pressure treated wood deck with rails, steps, and 3' walk from breakfast area as shown on plans.
- 10) Add 2'8"x5'2" window right side of house at stair landing  
*No shutters 4" wood trim only.*

### B. Additional Cost to Contract Price:

This addendum increases original contract price by Eight Thousand Five Hundred Dollars (\$ 8,500.00). Payments for this addendum to be made as follows:

Deposit Upon signing of Addendum	\$ 4,250.00
Mechanical Draw	\$ 2,125.00
Final inspection & Occupancy Permit w/deck	\$ 2,125.00

### C. Acceptance of Addendum "A":

William R. Moulden  
Mr. William Ross Moulden (Owner)

12/20/93  
DATE

Richard T. Sanders  
Richard T. Sanders (Contractor)

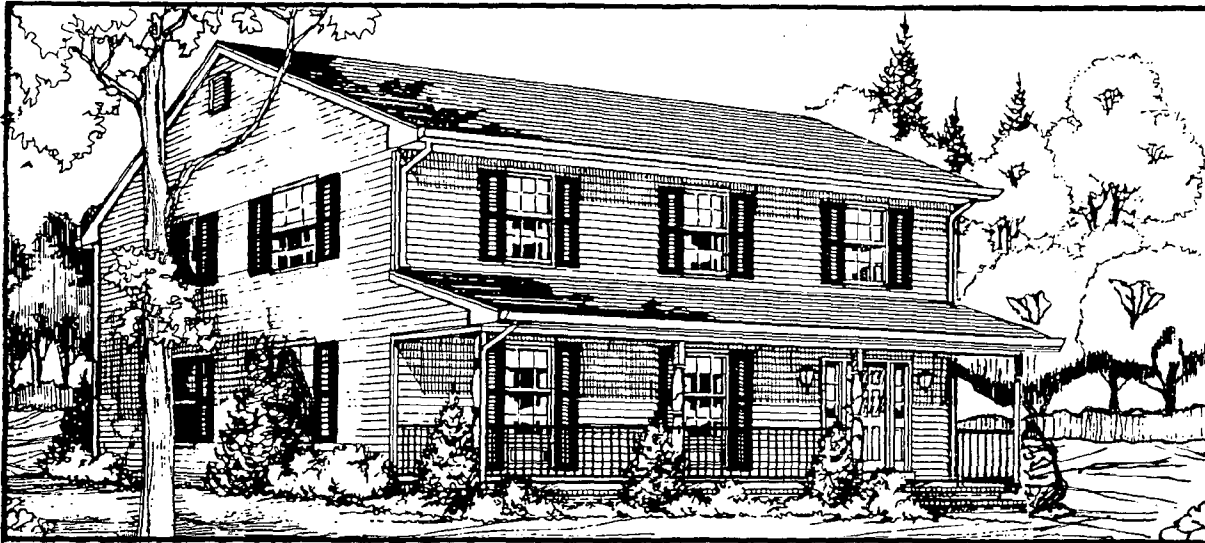
12/17/93  
DATE

\_\_\_\_\_  
Witness

\_\_\_\_\_  
DATE

# OXFORD

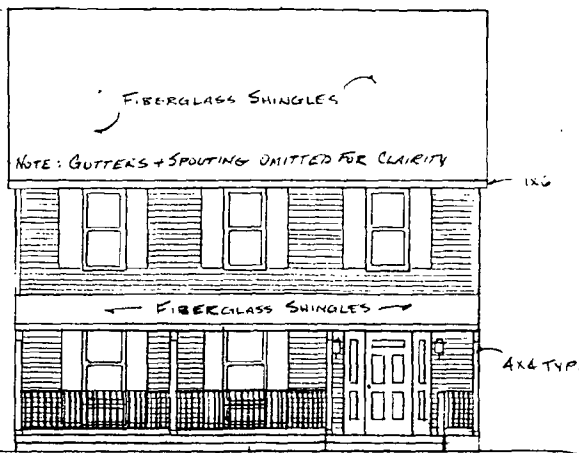
**TWO STORY**  
**2828 3028**



*Revised 12.20.93*

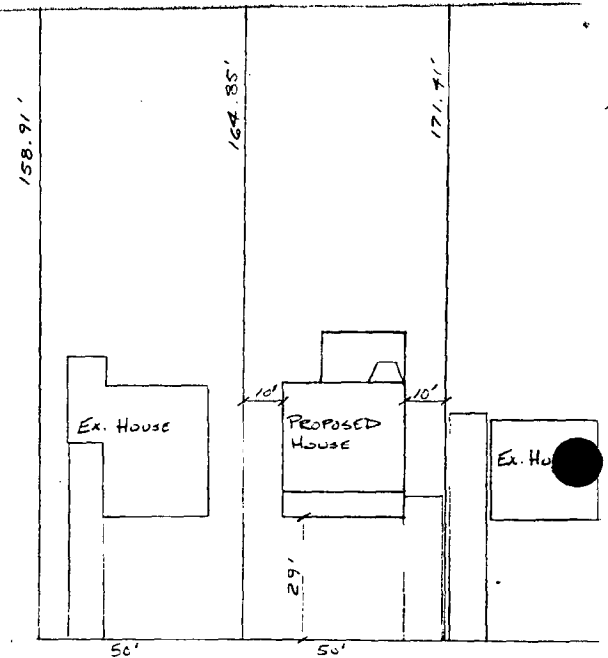


Ex. House

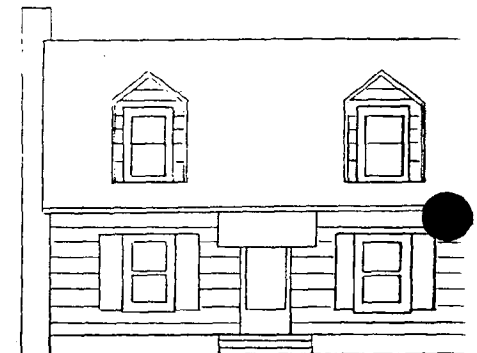


PROPOSED HOUSE - FRONT ELEVATION  
 9908 CAPITOL VIEW AVE.  
 SILVER SPRING, MD.  
 LOT 7 BLOCK 31 CAPITOL VIEW PARK

STREET SCAPE W/ ADJACENT HOUSES



PLAT 1" = 30'



Ex. House

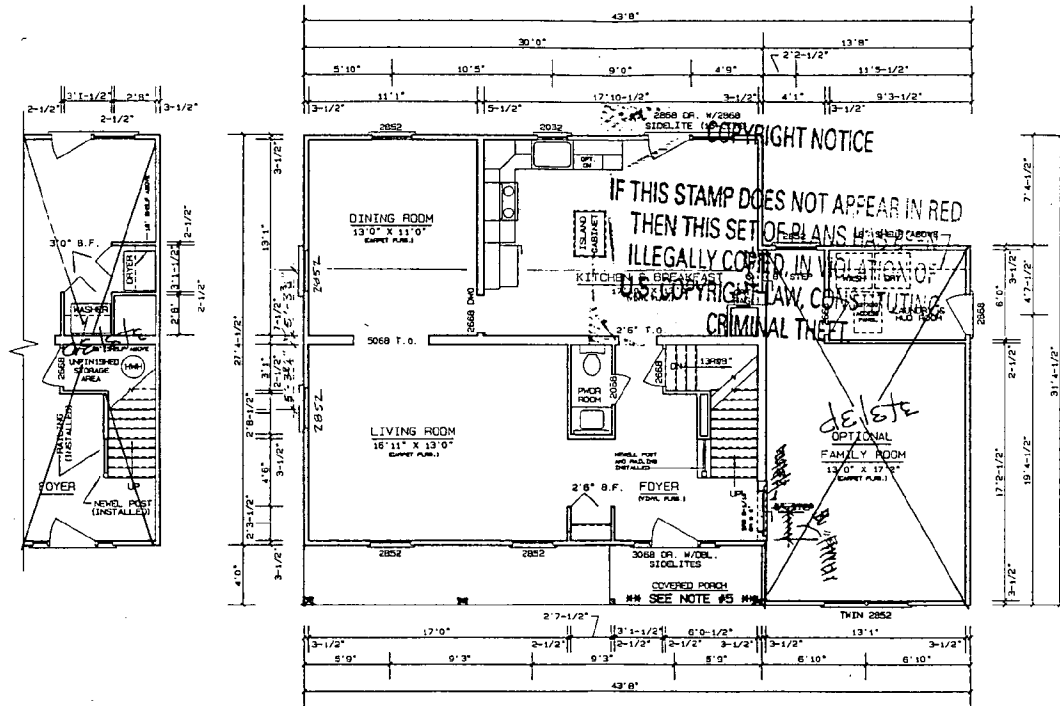
Revised 12-20-93

**NOTES.**

- 1 - SEE COVER SHEET FOR APPROPRIATE NOTES.
- 2 - THESE DRAWINGS ARE SHOWN WITH 2" X 4" EXTERIOR WALLS. WHEN THE 2" X 6" EXTERIOR WALL OPTION IS SELECTED, THE INTERIOR SPACE IS REDUCED (MATING WALLS DO NOT CHANGE AND DOORS, LIGHTS, ETC... ARE ADJUSTED ACCORDINGLY). THE WALL INSULATION IS INCREASED TO R-19 BATT. THE FOOTPRINT DIMENSIONS ARE NOT AFFECTED.
- 3 - LIVING ROOM WINDOWS HAVE 70" SHUTTERS W/PANEL UNDER.
- 4 - FAMILY ROOM FRONT WDW. HAS 70" SHUTTERS W/PANEL UNDER.
- 5 - FRONT PORCH IS 4'-0" DEEP WITH OPTIONAL FAMILY ROOM FRONT PORCH IS 6'-0" DEEP WITHOUT OPTIONAL FAMILY ROOM.
- 6 - FRONT DOOR HAS 4"-LITE INSERT

**BATH FIXTURE SCHEDULE**

POWDER ROOM: 30" VANITY  
30" MIRROR  
LITE STRIP

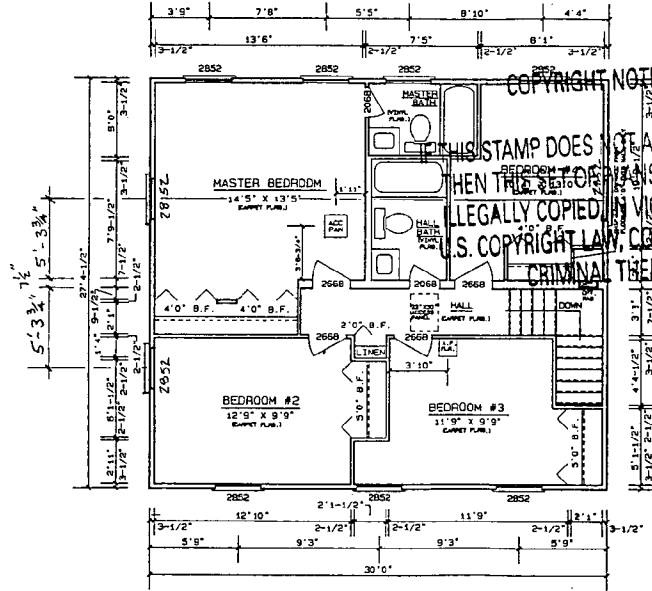


**FIRST FLOOR PLAN**

MODEL <b>OXFORD II</b>	FLOOR PLAN	REVISED 3-4-86 5/28/87 4-15-88 4-11 88-8-8-88 8-8-93 LGA 88-9-8-88
COPYRIGHT 1982	SCALE 1/8"=1'-0"	DATE 11/23/92
		<b>North American Housing Corp.</b> CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100
		SHEET 3 OF 16
		Revised 12-20-93

**NOTES**

- 1 - SEE COVER SHEET FOR APPROPRIATE NOTES
- 2 - THESE DRAWINGS ARE SHOWN WITH 2 X 4 EXTERIOR WALLS. WHEN THE 2 X 6 EXTERIOR WALL OPTION IS SELECTED THE INTERIOR SPACES IS REDUCED. PARTIAL WALLS DO NOT CHANGE AND DOORS, LIGHTS, ETC. ARE ADJUSTED ACCORDINGLY. THE WALL INSULATION IS INCREASED TO R-19 BATT'S. THE FOOTPRINT DIMENSIONS ARE NOT AFFECTED.
- 3 - FRONT WINDOWS HAVE 63" SILLTERS



**SECOND FLOOR PLAN**

**BATH FIXTURE SCHEDULE**

- HALL BATH: 24" VANITY  
RECESSED MED. CABINET W/LIGHT STRIP
- MASTER BATH: 24" VANITY  
RECESSED MED. CABINET W/LIGHT STRIP

<p>MODEL</p> <p style="text-align: center;"><b>OXFORD II</b></p> <p>COPYRIGHT 1992</p>	<p>SECOND FLOOR PLAN</p> <hr/> <p>SCALE 1/8"=1'-0"</p>	<p>REVISED</p> <p style="font-size: small;">S.A.G. 6/9/87 4-6-93 JJI 03-040</p>	<p>JAN 21, 1993</p> <p style="text-align: right;">SHEET 4 OF 16</p>
<p><b>North American Housing Corp.</b> CORPORATE HEADQUARTERS P.O. BOX 145 POINT OF ROCKS, MD 21777 301-694-9100</p>		<p>Revised 12-20-93</p>	



SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT  
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*OPEN LOT*

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*SEE ATTACHED PLANS AND PICTURES*

*2-STORY SINGLE FAMILY, FULL FRONT PORCH WITH  
WOOD TOP AND BOTTOM RAIL AND WOOD PICKETS*

*6 ADDITIONAL WINDOWS 4 ON LEFT SIDE OF HOUSE 2 ON TOP 2 ON BOTTOM  
2 ON RIGHT SIDE 1-TOP ONE BOTTOM, SHUTTERS ON FRONT AS SHOWN*

*THIS HOUSE DOESN'T INCLUDE OPTIONAL FAMILY ROOM AND GARAGE.*

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

*2-Story Single Family Secy - Pithers*

- b. the relationship of this design to the existing resource(s):

*The House will Align with Porch to Existing House To Left*

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

*Property Has NO KNOWN HISTORIC VALUE*

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name Mrs. Ralph Hoover  
 Address 9910 Capitol View Ave.  
 City/Zip Silver Spring, Md. 20910
2. Name ARTHUR H. Rode  
 Address 9906 Capitol View Ave.  
 City/Zip Silver Spring, Md. 20910

3. Name MR. John Rayburn  
Address 9834 CAPITOL VIEW AVE.  
City/Zip Silver Spring, Md. 20910

4. Name MR. John Walsh  
Address 9909 CAPITOL VIEW AVE.  
City/Zip Silver Spring, Md. 20910

5. Name MR. Michael D. Mc. CURRY  
Address 9911 CAPITOL VIEW AVE  
City/Zip SILVER Spring, Md. 20910

6. Name MR. Robert Wilson  
Address 9907 CAPITOL VIEW AVE.  
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