

3177-96K 10216 Capitol View Avenue  
(Capitol View Park Historic District)



License #2862  
Insured and Bonded

*Steve Welty*

WELTY CONSTRUCTION CO.  
New Homes

CARL G. WELTY  
Office (301) 530-4364  
Home (301) 530-7492

5916 Johnson Ave.  
Bethesda, MD 20817

12/1/96 -  
12:20pm.

Steve Welty Construction  
- No problem. -

530-4364

Rhonda Dove - 754-7440 (w)

Rear Deck approved by DEP as  
part of house plans.

But deck not indicated on  
12/1/96 - plot plan.

Spoke w/Darrian to alert him.  
He has referred to DEP who deck  
approval. When he is called he will  
either explain approval for deck  
or refer to us.

Post-it™ Fax Note

7671

Date

# of pages ▶

To *Steve Welty*

From *Post Bank*

Co./Dept *Welty Construction*

Co. *MARCO / DEP*

Phone # *(301) 530-7492*

Phone # *(301) 495-4730*

Fax # *(301) 530-7492*

Fax # *(301) 495-1307*

10-21-96

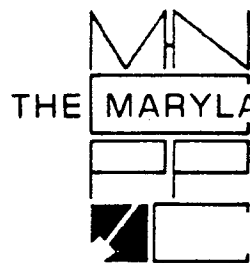
Historic Preservation Commission

C/O Pat Parker

Subject: Field Change  
10216 Capitol View Avenue  
Silver Spring, Maryland, 20910

- (1) To use wood one over one windows.
- (2) Finished concrete in place of brick veneer.

John Dove



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

October 7, 1996

Mt. Steve Welty  
WELTY CONSTRUCTION CO.  
5916 Johnson Avenue  
Bethesda, Maryland 20817

Re: 10216 Capitol View Avenue

Dear Mr. Welty:

It was a pleasure for Gwen Marcus and me to meet you and your father on site today. Gwen pointed out to me another very successful project that your company completed in the Capitol View Park Historic District. We look forward to your completion of the new house at 10216 Capitol View Avenue for The Dove family.

The Historic Preservation Commission approved a Historic Area Work Permit (HAWP) application for John Dove on September 25, 1996 to construct a new house at 10216 Capitol View Avenue. I have enclosed a copy of the conditions included as part of the HPC approval. Please review them and incorporate them in your building program for this site. If you should decide that retaining walls or any other features, currently undocumented, need to be constructed on this site, you will need an approved Historic Area Work Permit before commencing construction of these changes from the drawings reviewed and approved by the HPC on September 25th. And you will note that as one of the conditions for approval, the HPC has required submission of a site plan indicating the location and description of the driveway and any other impervious surfacing prior to commencing construction.

Please also fax or mail a copy of the DEP approved first floor elevation for the new house and proposed grades for the property - especially the elevations closest to the house in the area of the garage entrance and the pedestrian door entrance at the rear. If you intend to change the proposed location of the house to be closer to the existing fence line (to the west), or are required by DEP to make changes, this information should be received by our office prior to construction.

I have also enclosed a copy of a letter mailed to John Dove concerning tree removal. Mr. Dove will be required, and he has agreed, to tree replacement. The HPC, as a matter of record, has required applicants to replace loss caliber due to the taking of live trees in the process of construction. And it is very important to protect trees during the construction process that are to be retained on site. I have therefore included a copy of a tree survey also approved by the HPC at the September 25th meeting.

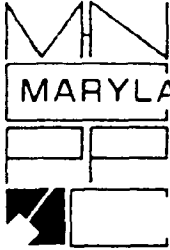
If you have any questions, please do not hesitate to call me at (301)495-4570. We look forward to your company completing another very successful project at this site.

Sincerely,

A handwritten signature in cursive script that reads "Patricia E. Hayes Parker".

Patricia E. Hayes Parker  
Historic Preservation Planner

encls.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: September 26, 1996

MEMORANDUM

TO: Robert Hubbard, Chief  
Division of Development Services and Regulation  
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved  Denied  
 Approved with Conditions:

- 1) The applicant may use artificial siding; 2) Brick may be used for chimney construction.
- 3.) wood doors and windows shall be used with eucers to match the meeting rails of the windows for panel alignment. Metal garage doors shall be trimmed out with 4" brn. wood trim.
- 4.) Porch rail details shall include a painted wood top & bottom rail with pickets inset 4" max. o.c.
- 5.) A metal flue shall not protrude above the chimney.
- 6.) Driveway and entrance walk shall be submitted to staff and approved prior to construction.
- 7.) The applicant shall submit to staff for approval a tree to planting plan.
- 8.) Excess fill dirt should not be placed close to existing live tree specimens.
- 9.) Plastic mesh construction fencing shall be installed at the limit of disturbance as determined by M-NCPPC Development Review Division staff.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: John Dove

Property Address: 10216 Capitol View Avenue, Silver Spring, Md

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

Mailing Address: 3925 Decatur Avenue  
Kensington, Md. 20895



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

October 2, 1996

Mr. John Dove  
3925 Decatur Avenue  
Kensington, Maryland 20895

Re: Tree Removal - 10216 Capitol View Avenue  
Silver Spring, Maryland

Dear Mr. Dove:

On September 25, 1996, the Historic Preservation Commission (HPC) approved a Historic Area Work Permit to remove two 12" pine trees, one 15" pine tree and a 36" maple tree. The HPC **did not approve** removing the 45" maple or the 12" pine tree located closest to the property line. I have attached a copy of your site plan (to be used as a reference) with those trees marked that were approved for removal.

However, you may remember that the HPC approved trimming certain limbs of the 45" maple tree. Therefore, HPC Staff will make a site visit on Monday, October 7, 1996 to meet with your contractor concerning the amount of excavation necessary to construct the new house as proposed. And at that time, we have requested an M-NCPPC arborist to also make a site visit to determine which limbs of the 45" maple could be removed.

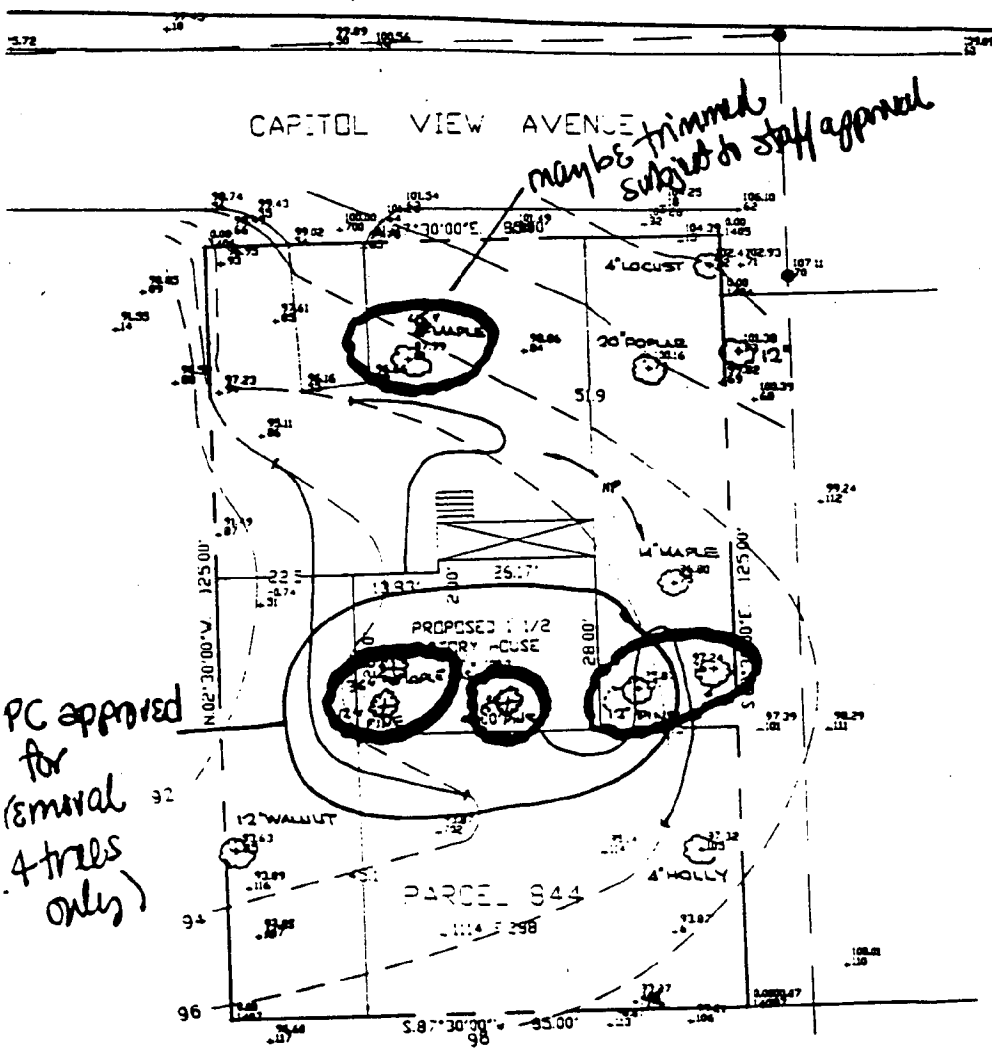
Tree removal does not require an approved permit from the Department of Environmental Protection. But, when trees having a caliber greater than 4" are proposed for removal within Historic Districts in Montgomery County, an approved Historic Area Work Permit is required. Tree removal is a part of your approved Historic Area Work Permit. Therefore, you may begin this activity now. Please remember that you may **only remove those tree specimens for which you have received approval.**

Sincerely,



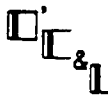
Patricia Parker  
Historic Preservation Planner

encl.



SIT  
 10216 CAPIT  
 CAPITOL  
 PAR  
 L.11

NOTE: TOPOGRAPHY IS FIELD RUN USING ASSUMED DATUM  
 NOTE: NO TREES GREATER THAN 24" ON SUBJECT PROPERTY

 <b>O'CONNOR</b> SURV 17904 Georgia Tel: 404		
DESIGNED BY JJB	DRAWN BY JJB	JUL



chron file



October 2, 1996

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 Kensington, Maryland 20895

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 Historic Preservation Planner

encl.



## WELTY CONSTRUCTION CO., INC.

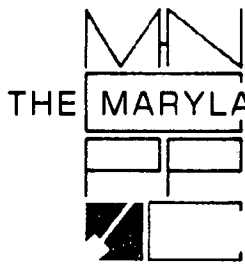
5916 Johnson Avenue  
Bethesda, Maryland 20817  
Phone 301/530-4364

Owners: David G. Welty  
Steven E. Welty  
Carl G. Welty

FACSIMILE TRANSMITTAL COVER SHEETDATE: 1-6-97NUMBER OF PAGES 1  
(Includes Cover Sheet)TIME: 11:45 amTo: Patricia ParkerCompany Name: MD National Cap. Park + PlanningFrom: Steven WeltyCompany Name: Welty Construction Co., Inc.FAX Number: Call (301) 530-7492 prior to sending FAXMESSAGE:

Subject: Elevation of the Dove house  
relative to the pavement on Capitol  
View Ave, at Parcel 844, 10216 Capitol  
View Ave.

The elevation of the first floor  
of the house is approximately  
three feet higher than the  
curb in line with the center of  
the house.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

October 7, 1996

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WELTY CONSTRUCTION CO.  
5916 Johnson Avenue  
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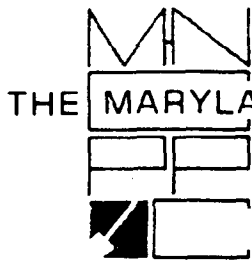
Sincerely,

A handwritten signature in cursive script that reads "Patricia E. Hayes Parker".

Patricia E. Hayes Parker  
Historic Preservation Planner

encls.





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

October 2, 1996

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3925 Decatur Avenue  
Kensington, Maryland 20895

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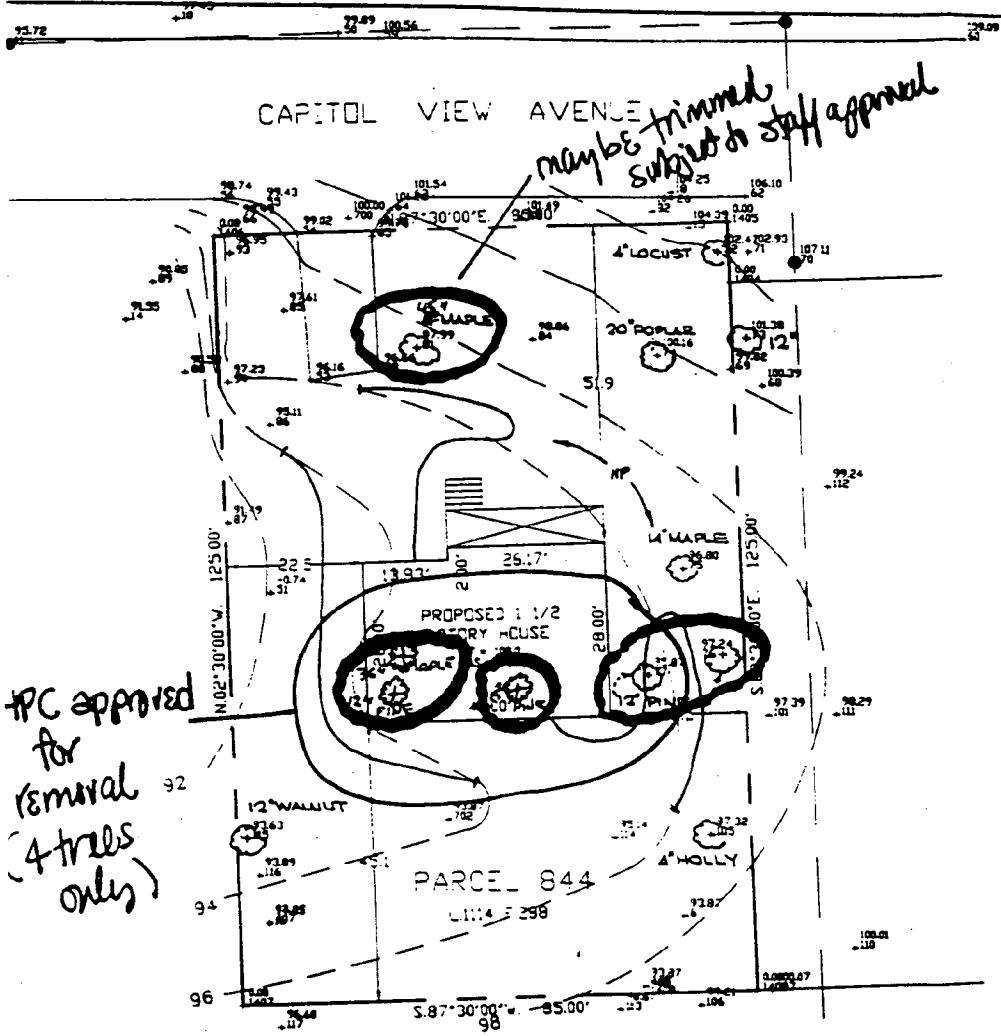
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Patricia Parker  
Historic Preservation Planner

encl.



*IPC approved for removal (4 trees only)*

*maybe trimmed subject to staff approval*

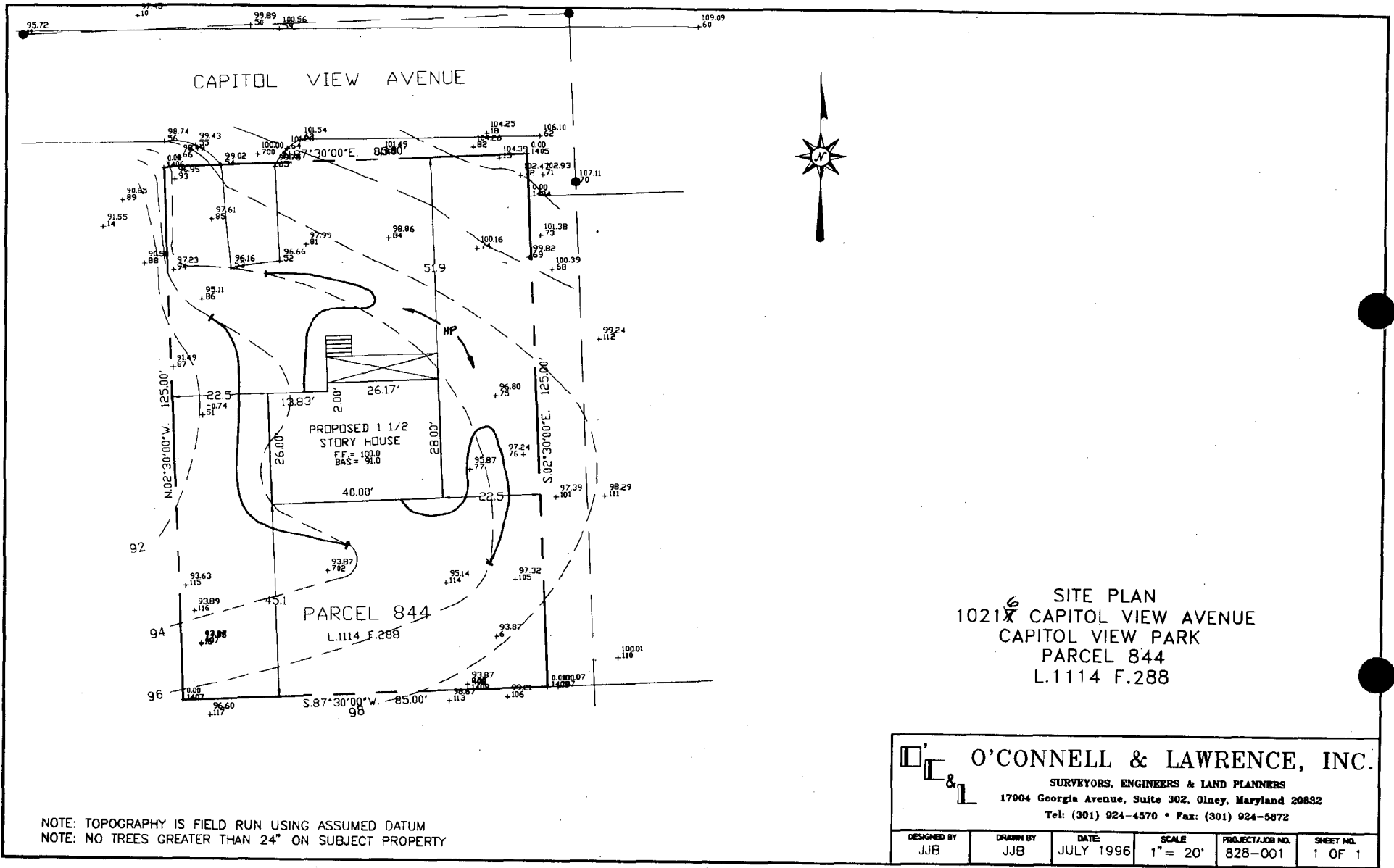


SIT  
10216 CAPITOL  
PAR  
L.11

NOTE: TOPOGRAPHY IS FIELD RUN USING ASSUMED DATUM  
NOTE: NO TREES GREATER THAN 24" ON SUBJECT PROPERTY

<b>O'CONNOR &amp; L.</b> SURV 17904 Georgia Tel: (404) 251-1111		
DESIGNED BY JJB	DRAWN BY JJB	JU.





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NOTE: NO TREES GREATER THAN 24" ON SUBJECT PROPERTY

● FRONT OF PROPERTY ●

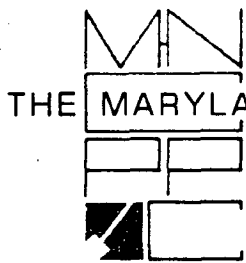


● ●  
LEFT SIDE OF PROPERTY



RT SIDE OF PROPERTY





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

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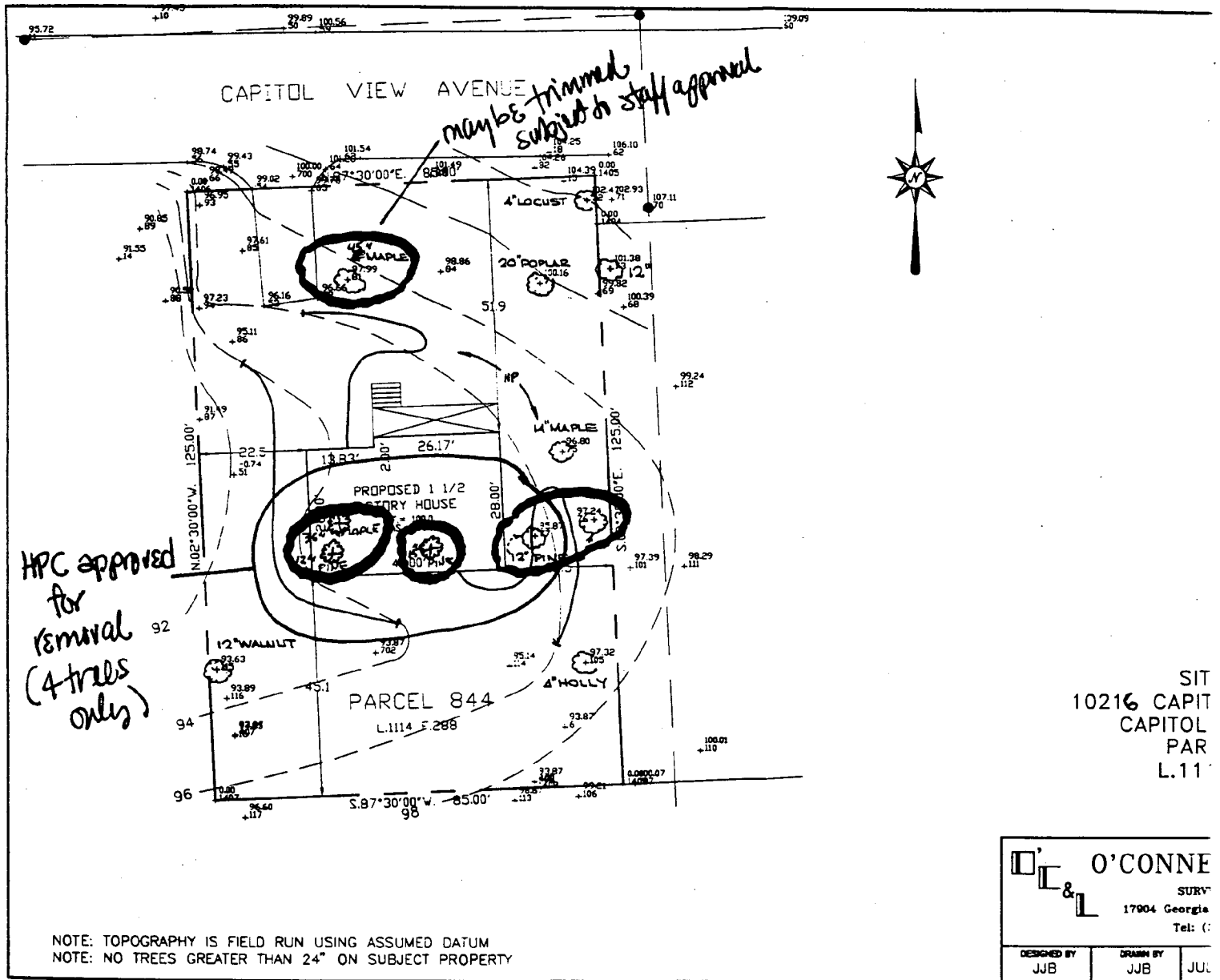
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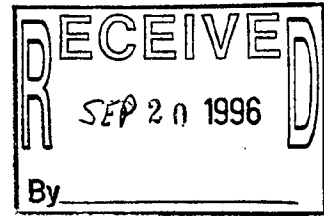
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SIT  
10216 CAPIT  
CAPITOL  
PAR  
L.11



FAX



To: Pat Parker 301 495-1307

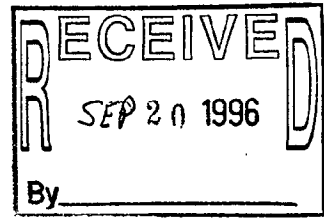
From: Capitol View PK LAP (Rosalee Chiao  
202-418-0754)

Re: Dove Appl.

LAP appears of small size of house & general style but finds insufficient information on how house would fit on Lot, ie no information on Grading. Also we have not seen tree plan. Our information says no tree removal under 24" - we need anything over 6". Recommend tabling application pending further review. Thanks



FAX



To: Pat Parker 301 495-1307

From: Capitol View PK LAP (Rosalee Chiao  
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HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10216 Capitol View Avenue

Meeting Date: 9/25/96

Resource: Capitol View Park Historic District

HAWP: New Construction

Case Number: 31/7-96K

Tax Credit: No

Public Notice: 9/12/96

Report Date: 9/18/96

Applicant: John Dove

Staff: Patricia Parker

PROPOSAL: Construction of new single-family  
1-1/2 story house w/deck;  
Removal of six trees

RECOMMEND: Approve  
w/conditions

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BACKGROUND

On August 9, 1995, the Historic Preservation Commission reviewed a Historic Area Work Permit submitted by John Dove retroactively for demolition of a structure at 10216 Capitol View Avenue. A permit was not issued for this work and no HAWP was requested or received.

The applicant explained that he received a violation notice from the Montgomery County Department of Housing and Community Development. This notice provided only two options to him. Either he should repair the structure - or demolish it. Upon receipt of this notice and unaware that his property was located in the Capitol View Park Historic District, the applicant heeded the advice of a local contractor to demolish the structure. The contractor razed the structure without filing for a permit for demolition. Therefore he did not receive the required approval from the Historic Preservation Commission before commencing any construction activity.

At the same meeting, County Attorney Loretta Shapiro, advised the Commission that this violation of the HAWP requirement did not affect the applicant's ability to rebuild; but she would have to complete further research to determine if the applicant would be subject to any fines.

Therefore, the remaining issue was the impact of this HAWP and future proposals upon this property and the Capitol View Park Historic District as a whole. The Commissioners felt that issues of size, scale, massing, tree preservation and maintaining the rural character of the district should be a part of any proposal to come before the Commission for review. Moreover, the applicant was advised that if he intended to rebuild that the Commission would recommend that he submit a proposal for a one and one-half story structure (approximately **the same size** as the house that was demolished) **and of no greater mass or scale** than that which he removed.

This HAWP proposal is to construct a one and one-half story frame structure with garage below street grade on unimproved property in the Capitol View Park Historic District. The new house, as proposed, would be approximately 2800 square feet in total size including the base-ment/garage level but not including the unenclosed rear deck or front porch. The footprint of the house, as proposed, would be approximately 28' x 40' or 1120 square feet. The application also

includes removal of six trees - one 36" and one 45" maple, three 12" pine trees and one 15" pine tree.

The structure on the property which was demolished was constructed between 1917-1935 (a contributing resource). Resources that are adjacent to 10216 are also contributing resources. Confronting properties are mostly nominal in character, i.e. non-contributing. Diagonally across from this property is an outstanding resource of the period of 1870-1916; and to the rear of this property are non-contributing resources recently constructed on Meadowneck Court.

## DISCUSSION

Capitol View Park is a community of importance because of its relationship to the development of Montgomery County over the last 100 years. The historic district is small, located between Kensington and Forest Glen and is one of a few railroad suburbs dating from the beginning of the Metropolitan Branch of the B & O railroad in the 1870's. The community is important historically because it was a location of importance in the opening up of the county and the railroad. These developments altered the face and life of the county.

Many changes have occurred within the area included within the historic district and these changes are partly reflected in the mixed types of suburban architecture over the last 100 years. There is a tremendous variety of style, material, age, workmanship and scale through the historic district. Homes within the district are of three categories: historic, contributing and other. 10216 Capitol View Avenue was a contributing resource.

As this property is new construction in the Capitol View Park Historic District, it should receive **a more lenient level of design review** than those structures that are of an earlier period of construction. The review should emphasize the importance of the new resource to the overall streetscape and its compatibility with existing patterns within the historic district.

Recent in-fill in historic districts has tended to produce homes too large which causes disruption to the streetscape and to the historic district as a whole. Historically, houses in Capitol View Park were built close to the road with long, large rear yards. However, in this portion of the district, some houses have a different orientation. By example, the house on the adjacent property of 10212 Capitol View Avenue is oriented with its side elevation facing the public street. Staff feels that because the subject property experiences a substantial grade change and because the front of the house faces the public street (as most other houses on Capitol View Avenue), the HPC should approve the house location as proposed.

Because the structure at 10216 Capitol View Avenue was removed before staff visited the site, staff is without knowledge as to the overall size of the demolished structure. Staff feels that the footprint and overall size of the proposed house is generally consistent with other houses close to the subject property and within the Capitol View Historic District. Staff would recommend that the HPC approve the size and footprint of the house as proposed.

The applicant has also chosen not to site the house close to the road; instead, to design a house that will use the topography to its advantage and limit the disturbance on site by incorporating a below street grade garage with doors to face away from the public street. Staff feels that this approach will allow more trees to be saved and recommends HPC approval of an integral below street grade garage.

Staff also feels that the reversed house plan is compatible in size, scale and massing and would be appropriate for the historic district. Staff has requested a tree survey from the applicant to determine which trees, if any, would be taken to provide space for construction. And staff is concerned about where the applicant would locate fill dirt resulting from excavation. If the dirt

will be located on site, then appropriate protection measures for existing tree specimens should be enforced.

Staff is not convinced that the 45" maple proposed for taking should be removed. Staff feels that it may be possible to construct an entrance driveway for garage access without disturbing the large maple tree.

As requested, the applicant has submitted a tree removal plan (included as part of this report). After talking with the applicant by telephone, he feels that this tree, a large silver maple, has soft wood and has limbs which if not removed, could harm the house. Also several other limbs on this tree need to be trimmed back from the public street.

Staff is also concerned about the proposed removal of a 12" pine located closest to the property line. Unless the 12" pine and 45" maple are in poor health, staff would recommend that limbs closest to the proposed house and in public space be trimmed as necessary. Staff recommends HPC approval of the proposal to remove the remaining two 12" pines, 15" pine and 36" maple tree. In the past, the HPC has required that the applicant submit a re-planting plan with 2 for 1 replacement. This site is very wooded and may not permit further planting of trees. The applicant could consider planting trees elsewhere in the historic district. The HPC may choose to discuss this portion of the proposal with the applicant.

The applicant has also included an itemized description of materials proposed for construction. The frame house on concrete foundation would be sheathed using artificial siding. In the past, staff has encouraged applicants to use wood siding for in-fill construction within historic districts. However, the HPC has approved the use of artificial siding on Capitol View Avenue in the past. Staff would encourage the HPC to require the applicant to use painted wood siding. Staff would recommend approval of the applicant's proposal to use brick veneer on concrete block below the first floor, stone for chimney construction, wood windows with true divided lites or 1/1, wood doors, painted lattice, asphalt shingles for roofing, wood posts and railing for the front porch and wood louver venting.

The applicant has also proposed to use a 5'0" wide sliding glass door and a bay window facing out toward the rear of the property; and to use an 8'0" wide garage door. Staff feels that the garage door could be of wood or metal, built out with wood trim. The sliding glass door and the bay window would not be visible from the public street and would face a wooded area and other nominal resources on Meadowneck Court. Staff recommends approval of these features.

As submitted, the front elevations include shutters at each side of the windows. If shutters are utilized, staff would recommend that they be 1/2 the width of each window. The proposal does not include exterior lighting, except for the front porch light. Staff feels the applicant should indicate all exterior site lighting and if a driveway is to be constructed, the driveway materials and location should be indicated.

#### STAFF RECOMMENDATION

Staff applauds the applicant for his submission of a very detailed plans and material list which is sensitive to its site, small in scale and massing and appropriate for the historic district. With the following conditions, staff recommends that the Commission find the proposal **consistent** with the purposes of Chapter 24A-8(b)2

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #1 and #9:

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment; and

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment; and with the following conditions:

### Conditions

1. The applicant shall employ painted wood siding as sheathing.
2. Wood doors and windows shall be used with screens to match the meeting rails of the windows for proper alignment. If the applicant uses metal garage doors, they should be trimmed out using 4" min. width wood trim
3. Porch rail details shall include a painted wood top and bottom rail with pickets inset 4" max. o.c.
4. A metal flue shall not protrude above the chimney.
5. The driveway and entrance walks shall be indicated on the plans and their location and materials shall be approved by staff prior to construction.
6. An exterior site lighting plan shall be submitted to staff and approved prior to construction.
7. The applicant shall submit to staff for approval a tree re-planting plan.
8. Excess fill dirt, although temporary, should not be placed close to existing live tree specimens.
9. Plastic mesh construction fencing shall be installed at the limit of disturbance as determined by M-NCPPC Development Review Division staff. This measure is to provide protection for existing tree specimens on adjacent properties. Temporary fencing should also be installed around existing live tree specimens during construction;

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

17 September 1996

Montgomery County Historic Preservation Commission  
Maryland-National Capital Park and Planning Commission  
8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Dear Sirs:

I received your letter concerning a Historic Area Work Permit (HAWP) for the property next to mine which is listed as "John Dove, for construction of a new house at 10216 Capitol View Avenue, Silver Spring (HPC Case No. 31/7-96K) (Capitol View Historic District)". I do not object to construction of this house; however, I have some concerns about the rain runoff that flows across the Dove property on its way to a storm drain. I am the owner of the property at 10212 Capitol View Avenue which is next to 10216 Capitol View Avenue.

There is a long history of correspondence with the MCHPC and Montgomery County concerning the rain runoff from the houses on Meadowneck Court (behind my property). A great deal of rain runoff flows from the Meadowneck Court houses generally along the rear of my property and across the Dove property to the storm drain on the far side of the Dove property. This storm drain was installed several years ago by the State of Maryland to mitigate the rain runoff problem.

The Montgomery County Government has told me that a property owner can block the flow of rain runoff water across his property and that my only recourse in this situation is litigation. Consequently, I would like this letter to become part of the HAWP Records for this property in case of future litigation. I will also forward a copy of this letter to the Montgomery County Government.

If the flow of rain runoff is not permitted to cross the Dove property on its way to the storm drain, then it will collect in a pond in my side yard. There is a lot of water flowing during heavy rains and, if the flow is blocked, the resulting pond may even back up into my basement. This could result in my property being condemned and a total loss of its value. The present situation has resulted in some basement flooding and, I believe, a decrease in the value of my property.

Both my daughter and I have discussed this matter with John Dove and he has indicated a willingness to work out a mutually agreeable solution to this problem. I believe that this rain runoff problem is a result of negligence on the part of the Montgomery County Government and the builders, in that the properties on Meadowneck Court should have been graded to divert the rain runoff to existing storm drains. I believe that both Mr. Dove and I are "victims" of this negligence.

Thank You,



Charles E. H. Edward

Mailing address:  
3300 Wake Drive  
Kensington, Maryland 20895  
(301)949-7006



RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

Historic Preservation Commission  
 (301) 495-4570

# APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 995387 CONTACT PERSON Dove, John  
 DAYTIME TELEPHONE NO. (703) 790-1447  
 NAME OF PROPERTY OWNER Dove, John DAYTIME TELEPHONE NO. 703, 790-1447  
 ADDRESS 3925 Decatur Ave. Ken. Md. 20895  
CITY STATE ZIP CODE  
 CONTRACTOR Welty TELEPHONE NO. 301 530-4364  
 CONTRACTOR REGISTRATION NUMBER 2862 EXP. 7-1-98  
 AGENT FOR OWNER Dove, John DAYTIME TELEPHONE NO. (703) 790-1447

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 10216 STREET Capital View  
 TOWN/CITY Ken. NEAREST CROSS STREET Meredith Ave.  
 LOT R BLOCK \_\_\_\_\_ SUBDIVISION #5  
 LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL 11844

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: Construct  Extend  Alter/Renovate  Repair  Move  Wreck/Raze  Install  Revocable  Revision  Fence/Wall (complete Section 4)  Single Family  Other \_\_\_\_\_

CIRCLE ALL APPLICABLE: A/C  Slab  Room Addition  Porch  Deck  Fireplace  Shed  Solar  Woodburning Stove

1B. CONSTRUCTION COST ESTIMATE \$ 150,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01  WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_

2B. TYPE OF WATER SUPPLY 01  WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

John A. Dove Signature of owner or authorized agent Date 8-8-96

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Build New house. House will be built in Reverse

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

New construction, subject to H.P.C. approval

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).



Beth Skyford  
10220 Capitol View

August Zinsser  
10217 Capitol View

Catherine Edwards  
10212 Capitol View

Phyllis Book  
10116 Meadow Neck Ct.

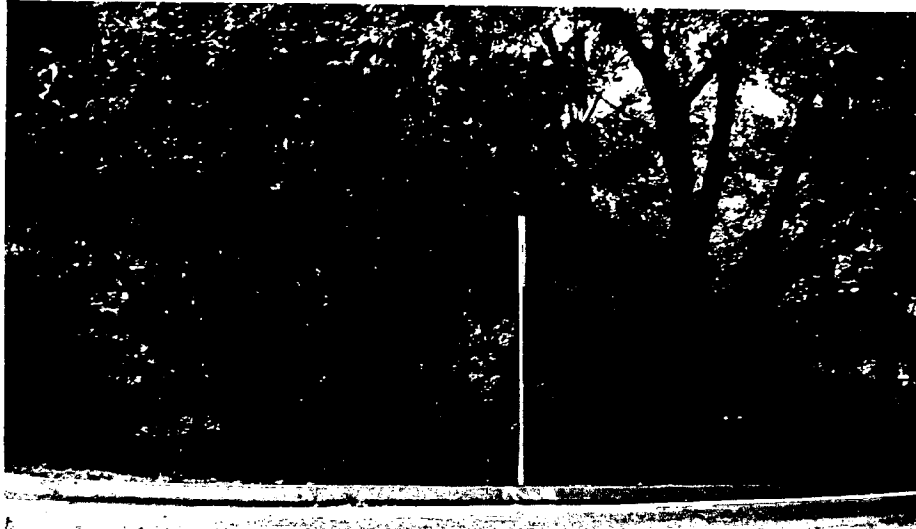
FRONT OF PROPERTY



LEFT SIDE OF PROPERTY

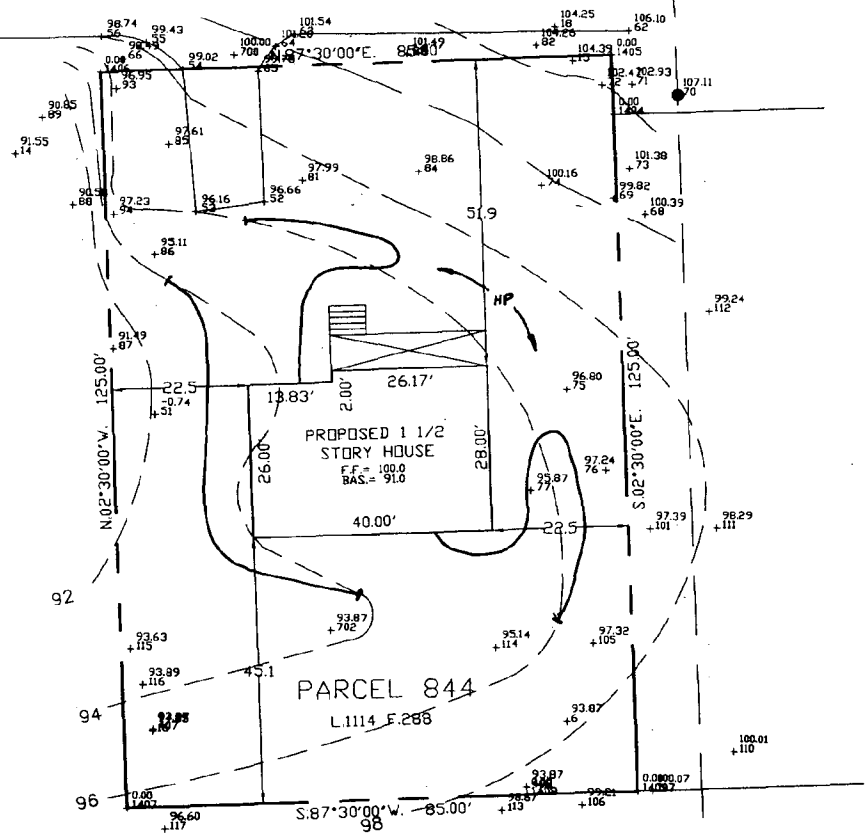


RT SIDE OF PROPERTY





CAPITOL VIEW AVENUE

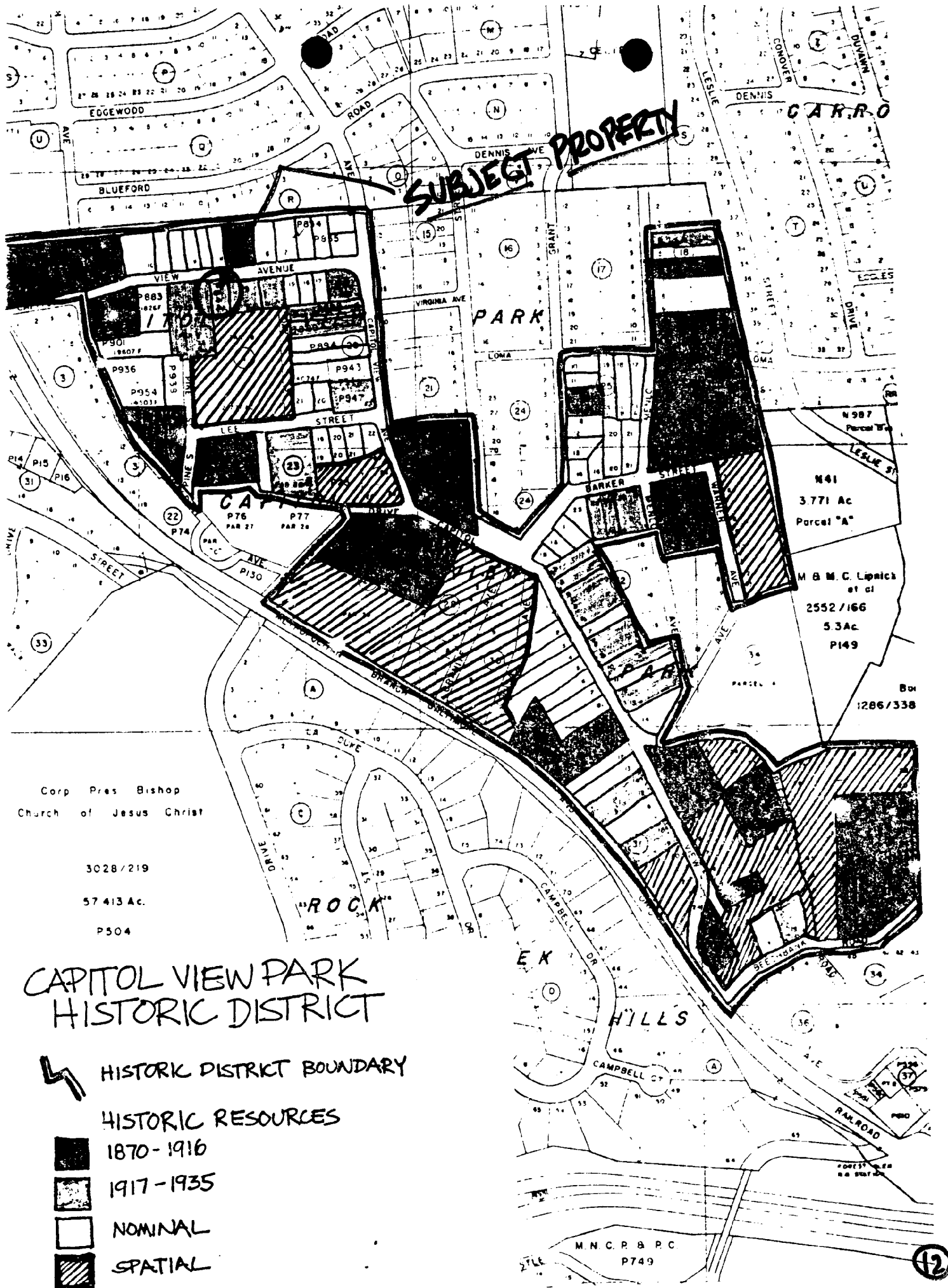


SITE PLAN  
1021<sup>6</sup> CAPITOL VIEW AVENUE  
CAPITOL VIEW PARK  
PARCEL 844  
L.1114 F.288

NOTE: TOPOGRAPHY IS FIELD RUN USING ASSUMED DATUM  
NOTE: NO TREES GREATER THAN 24" ON SUBJECT PROPERTY

**O'CONNELL & LAWRENCE, INC.**  
SURVEYORS, ENGINEERS & LAND PLANNERS  
17904 Georgia Avenue, Suite 302, Olney, Maryland 20832  
Tel: (301) 924-4570 \* Fax: (301) 924-5872







DESIGNED BY JJB	DRAWN BY JJB	DATE JULY 1996	SCALE 1" = 20'	PROJECT/JOB NO. 828-001	SHEET NO. 1 OF 1
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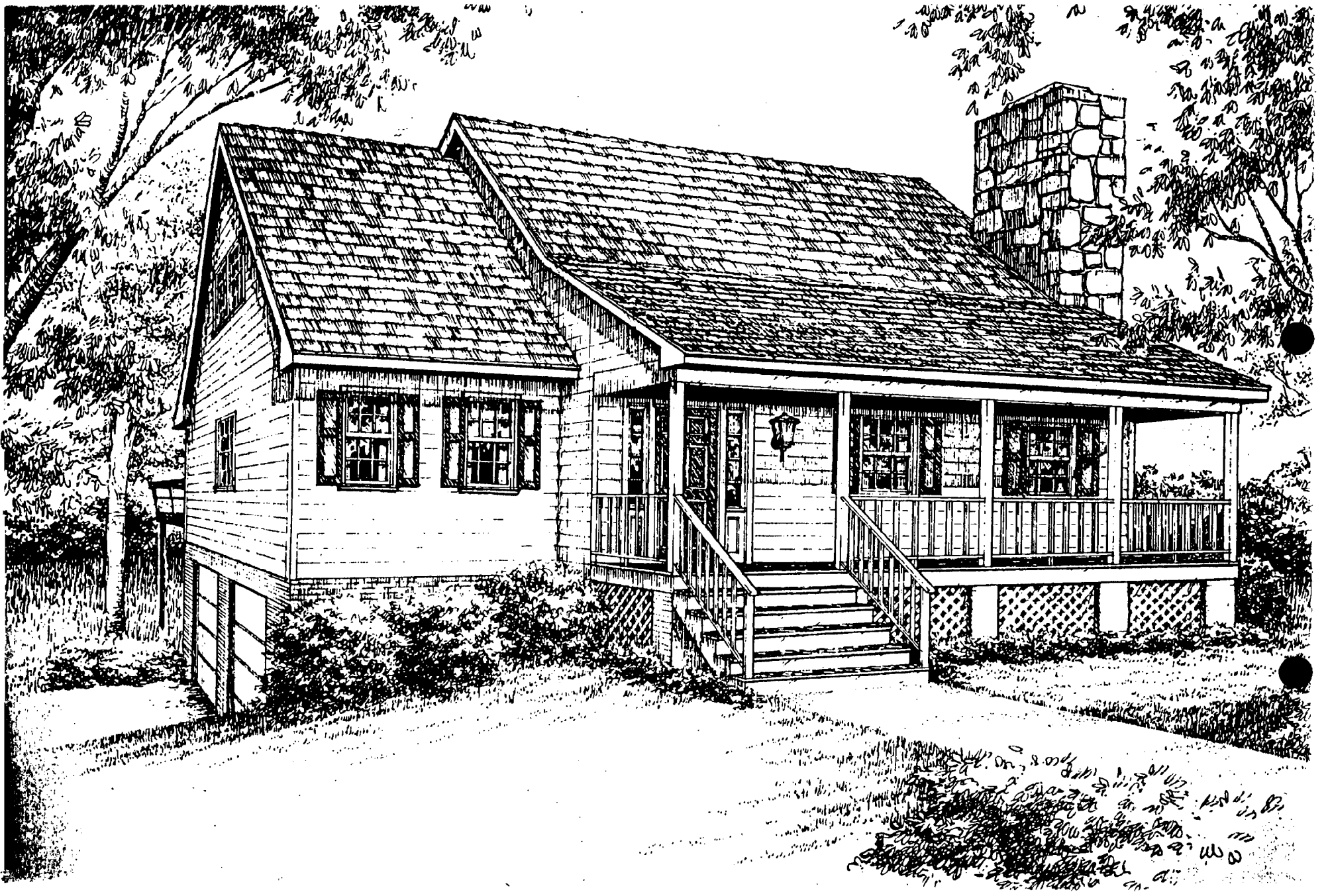
**SUBJECT PROPERTY**

Corp Pres Bishop  
 Church of Jesus Christ  
  
 3028/219  
 57.413 Ac.  
 P504

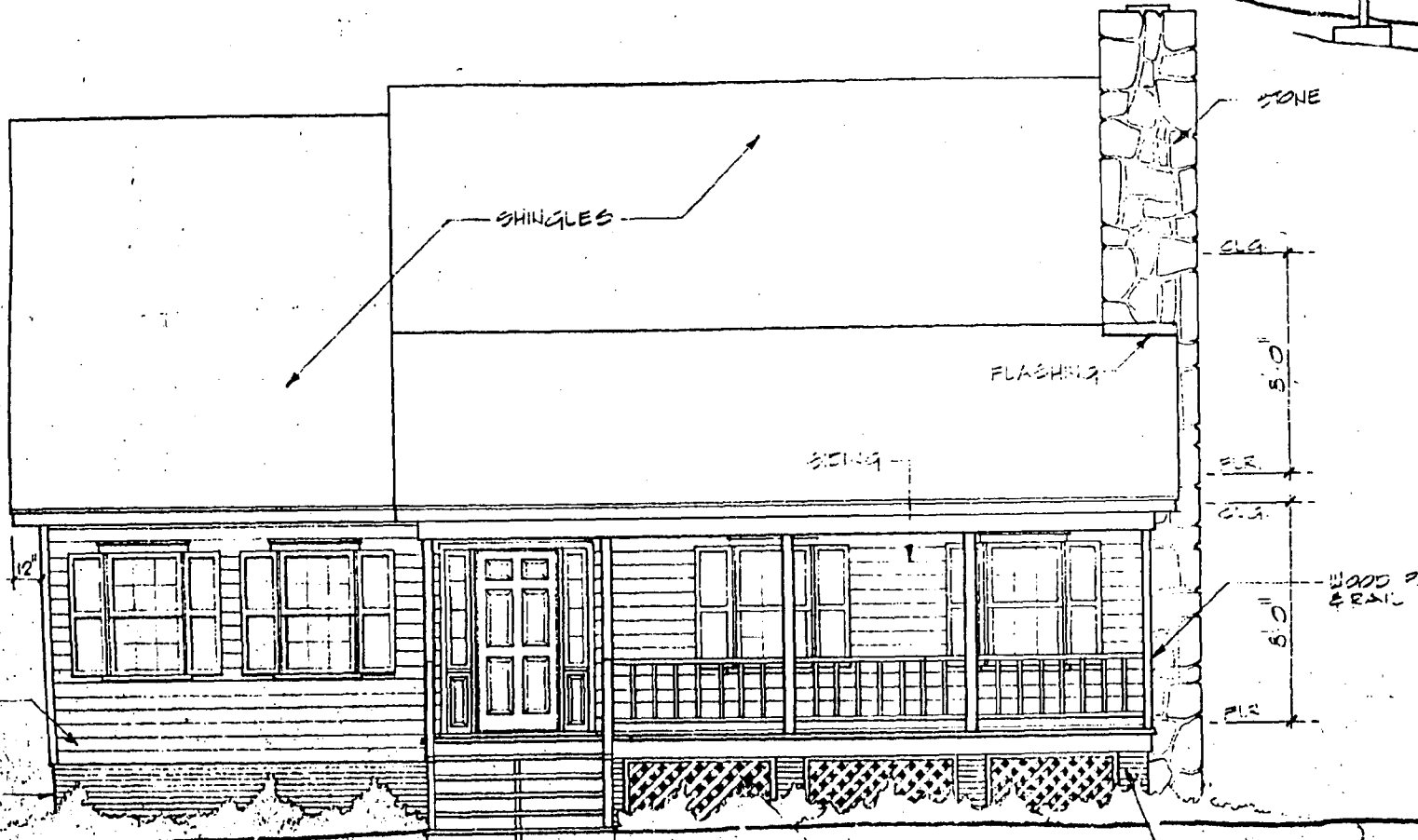
**CAPITOL VIEW PARK  
 HISTORIC DISTRICT**

-  HISTORIC DISTRICT BOUNDARY
-  HISTORIC RESOURCES
-  1870-1916
-  1917-1935
-  NOMINAL
-  SPATIAL





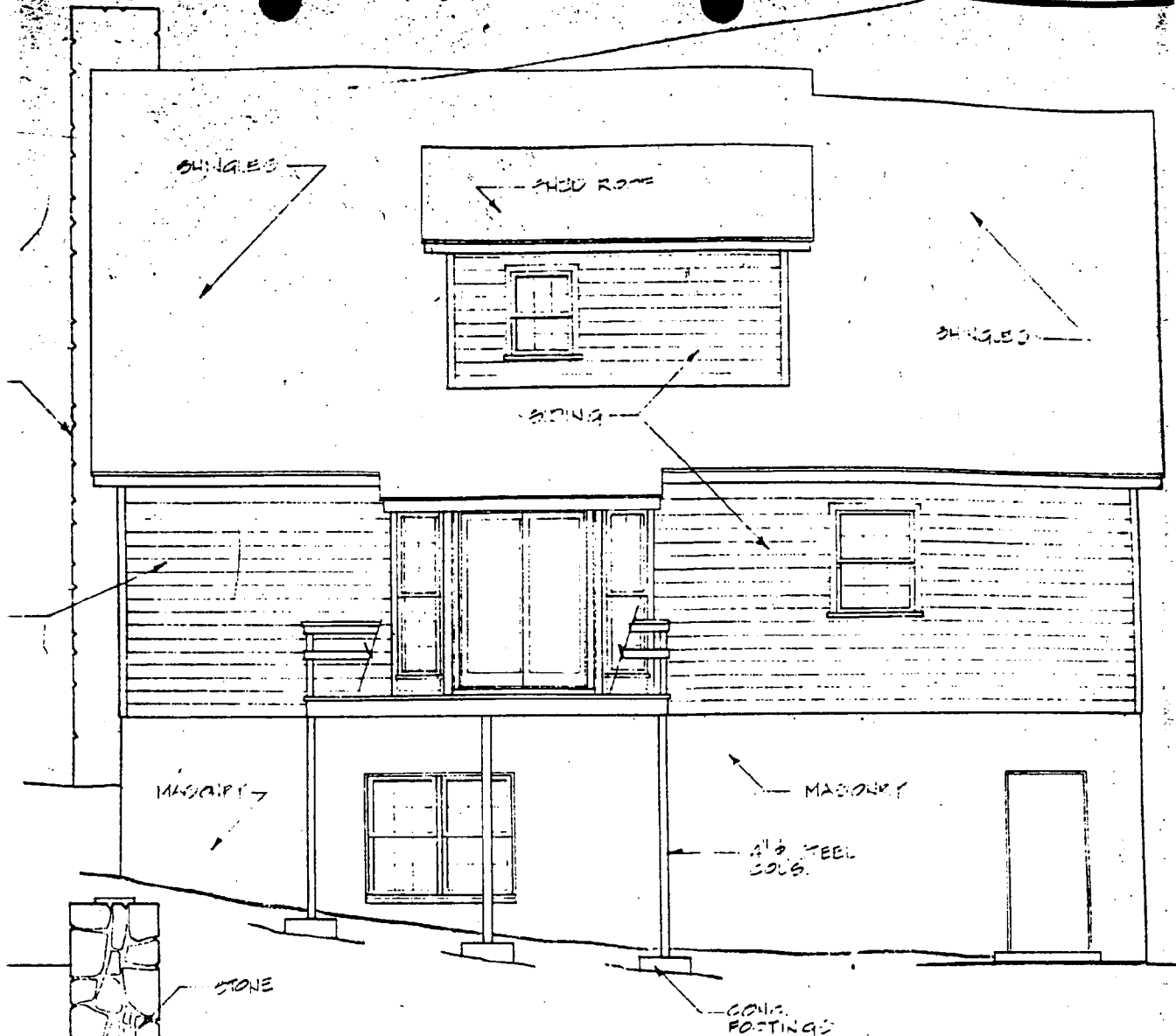




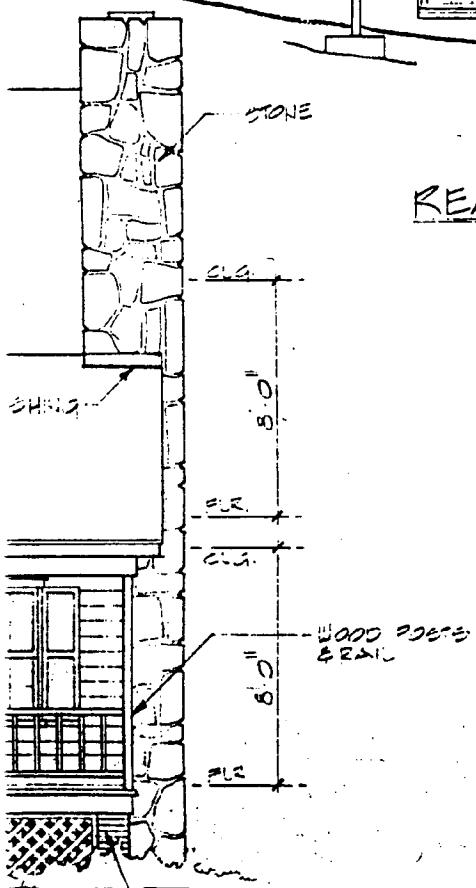
REAR - EL

FRONT ELEVATION + 106 1/4" x 10'

NOTE: CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE STARTING CONSTRUCTION.



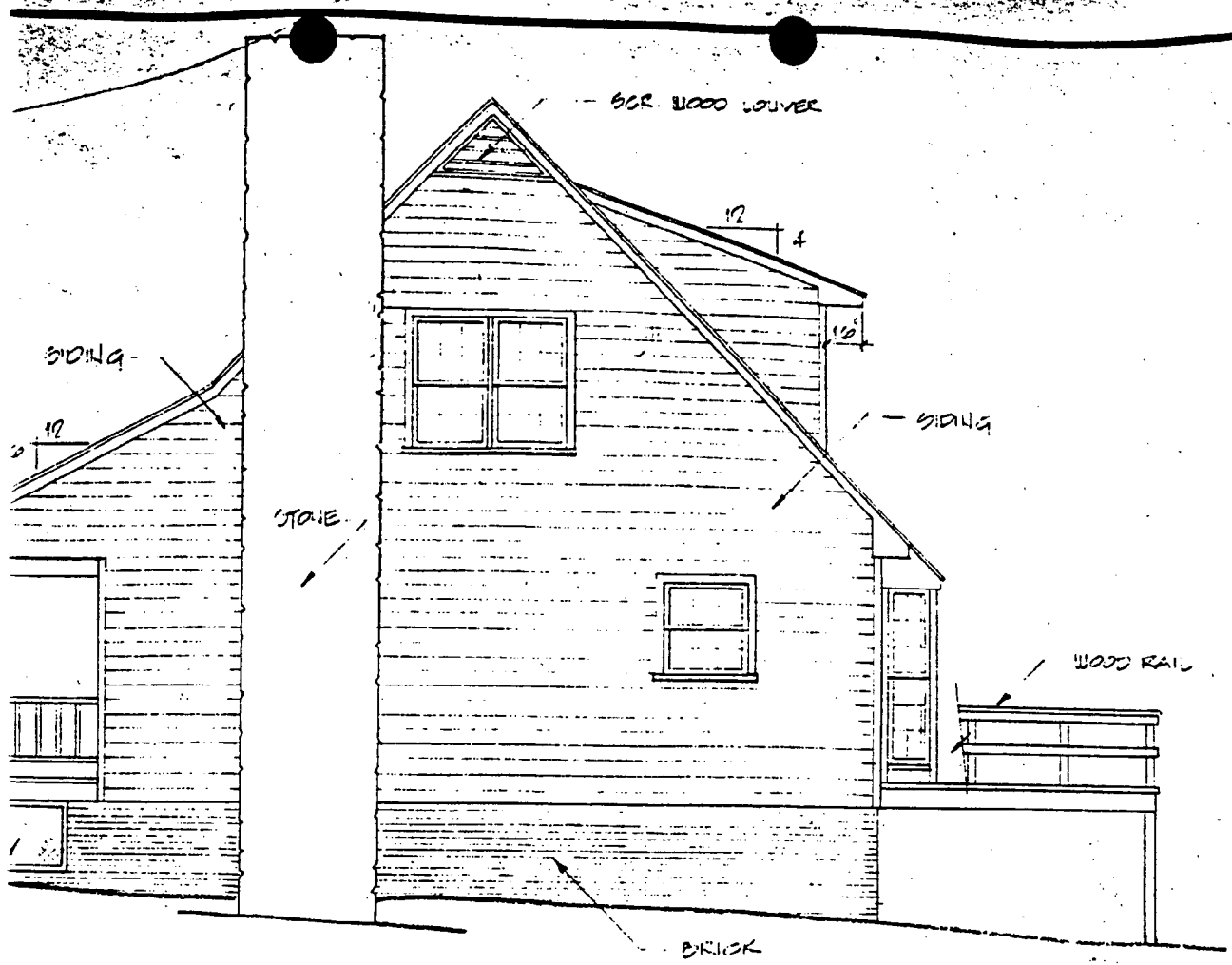
REAR ELEVATION  $\frac{1}{4}'' = 1'-0''$



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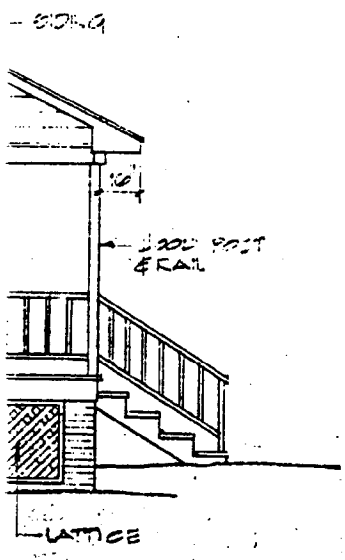
**W. L. Corley Plan Service**  
 P. O. BOX 90430 • ATLANTA, GEORGIA 30308



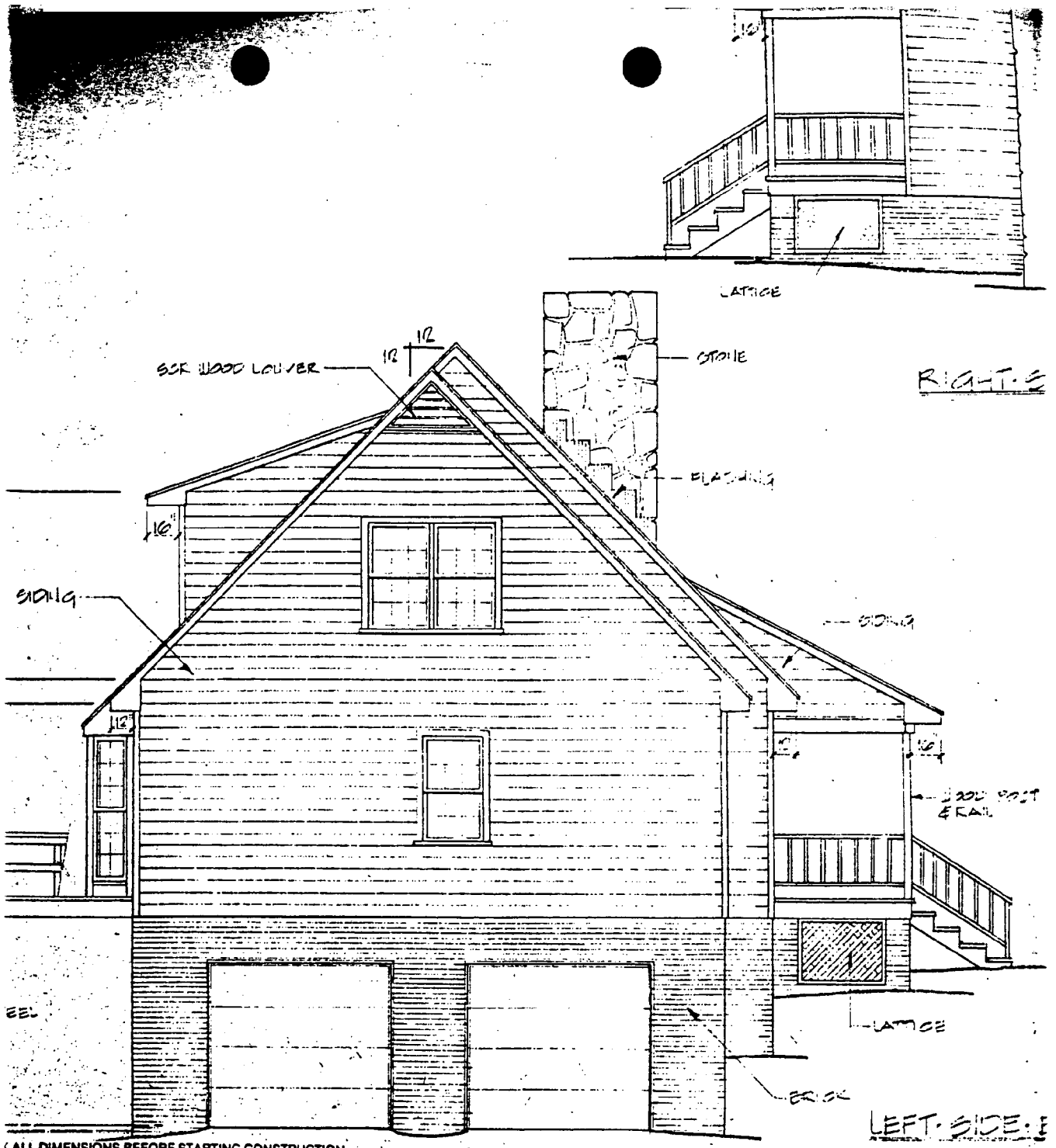


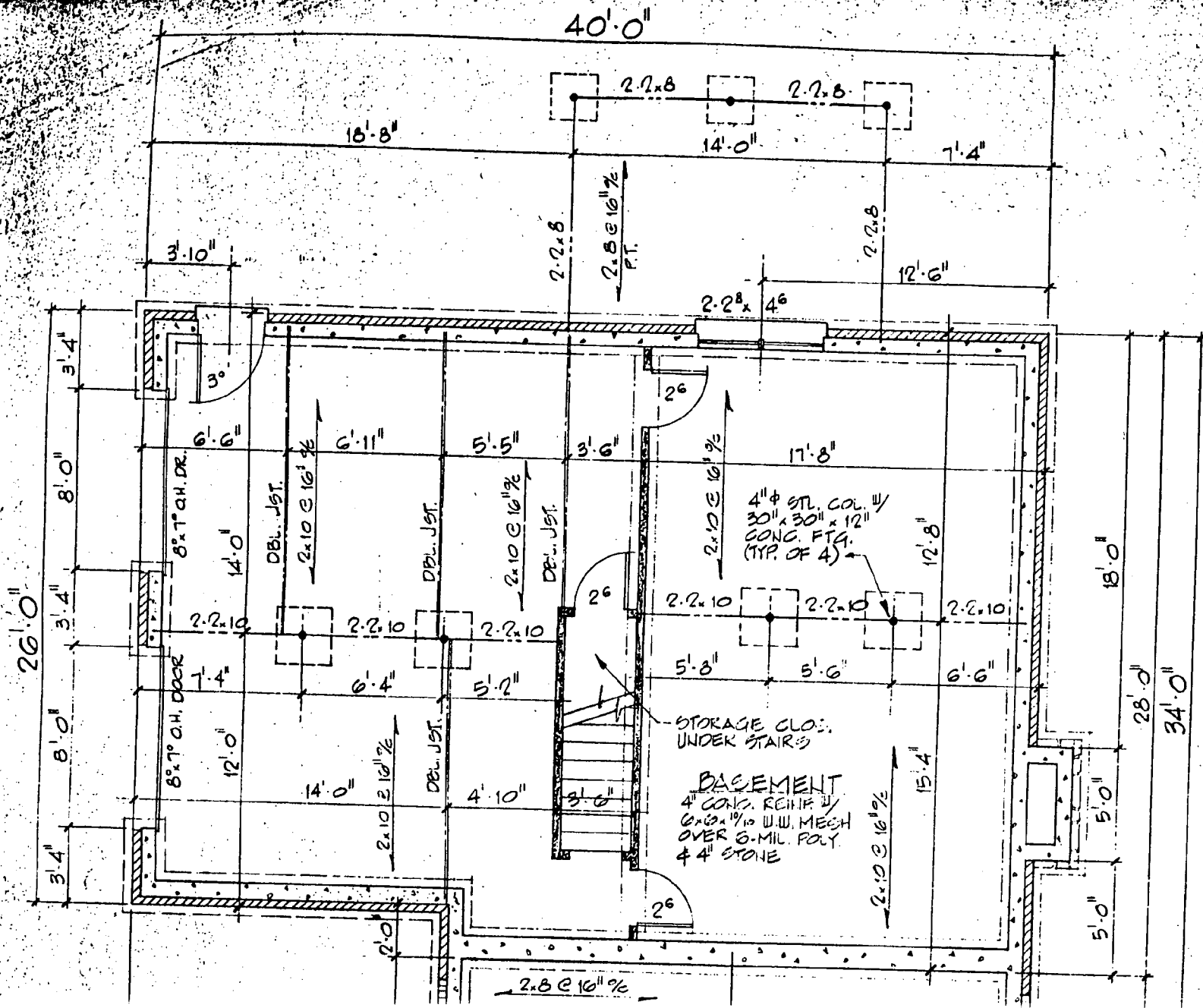
RIGHT-SIDE-ELEVATION 1/4" = 1'-0"

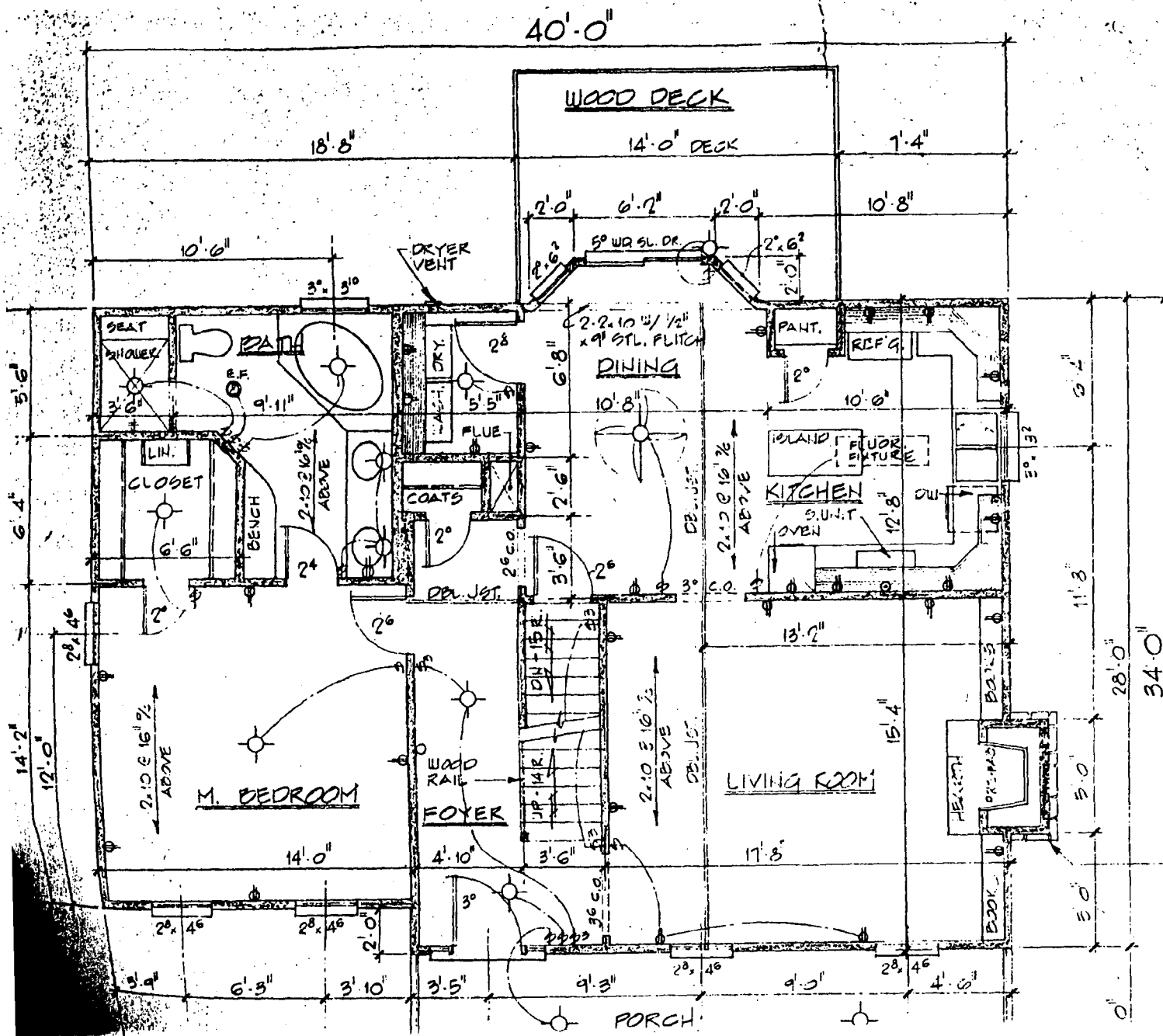
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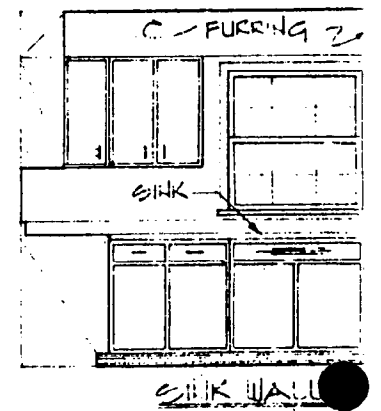
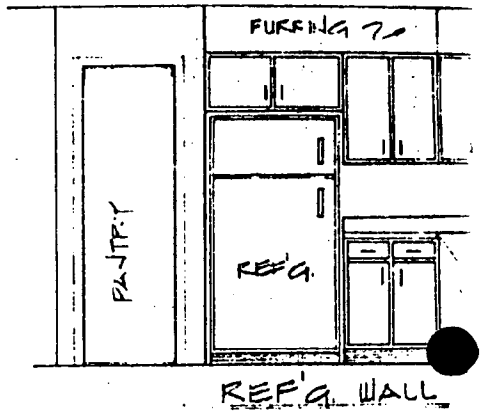
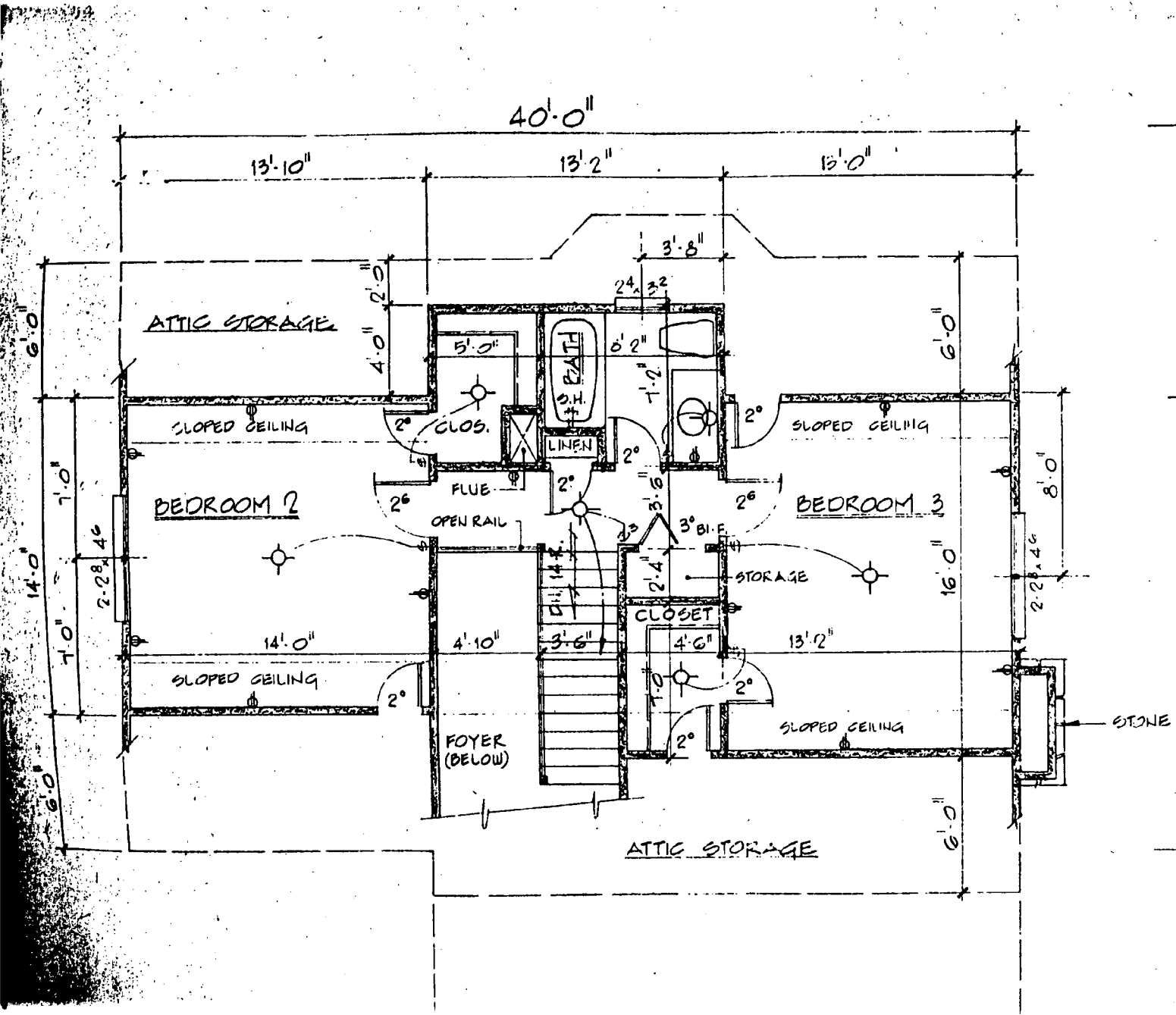


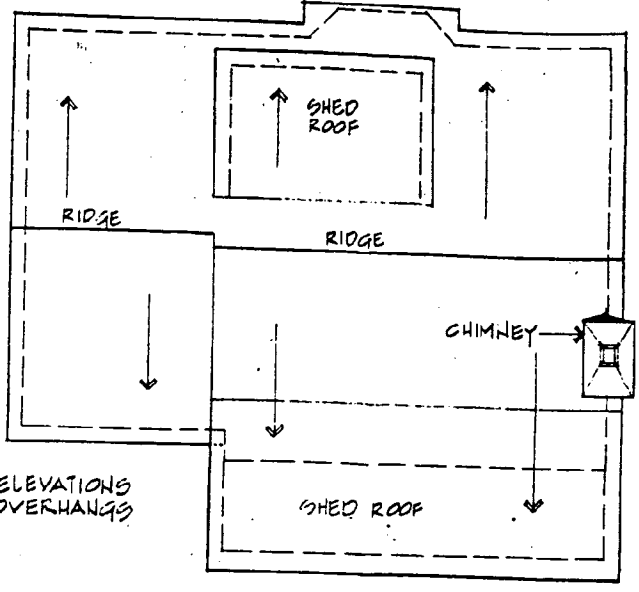
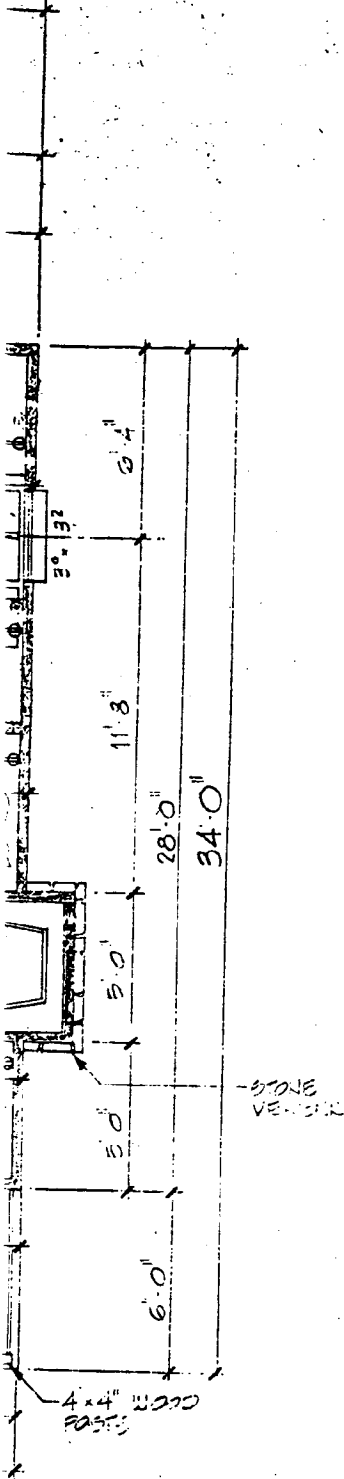
\*SEE ELEVATION FOR OVERHANG.

ROC

STONE VENTILATION

02





\*SEE ELEVATIONS FOR OVERHANGS

ROOF PLAN 1/8" = 1'-0"

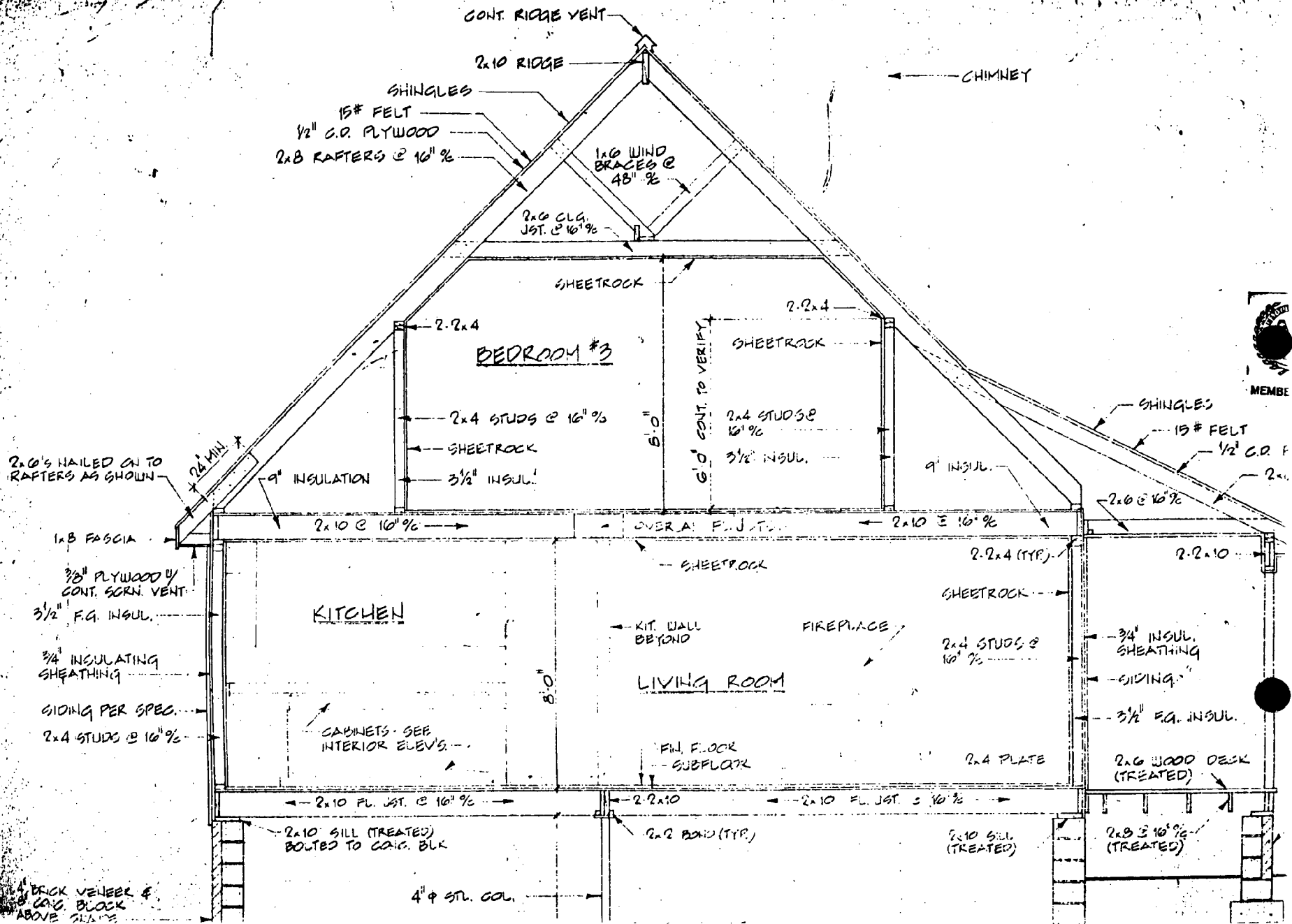


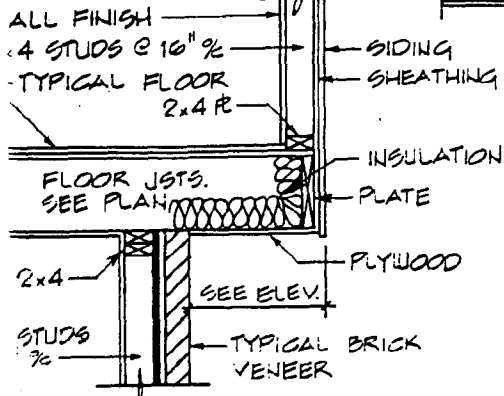
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**W. L. Corley Plan Service, Inc.**  
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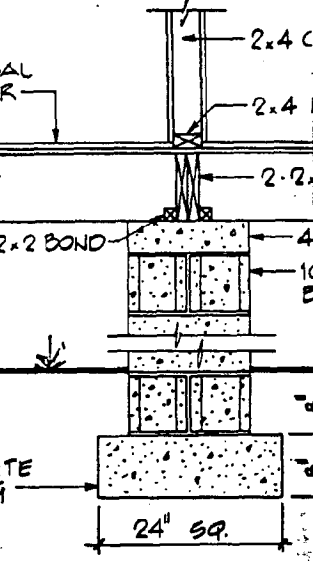
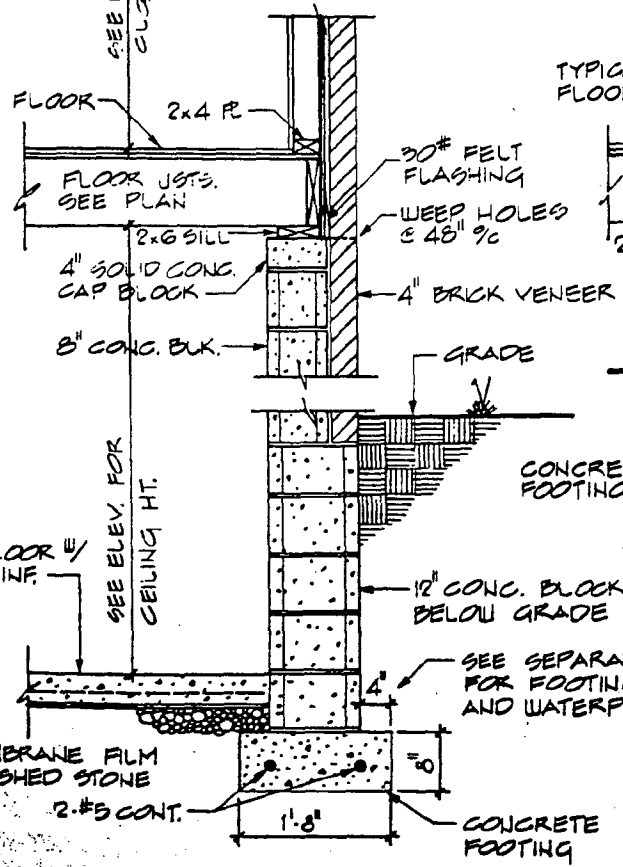
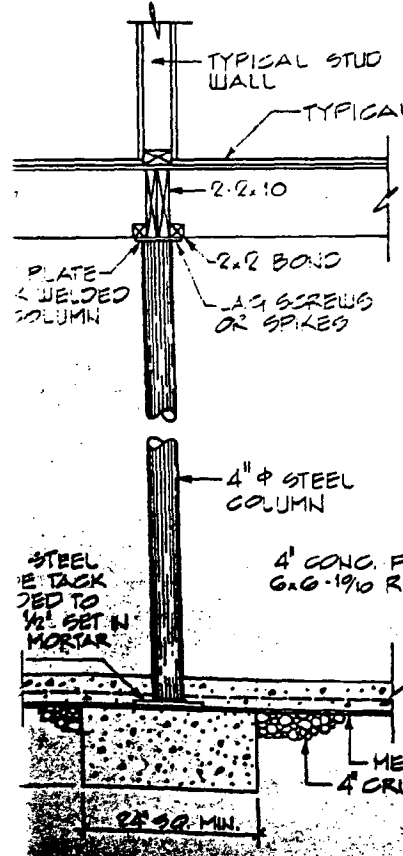
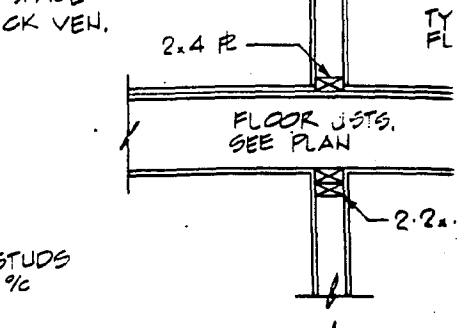
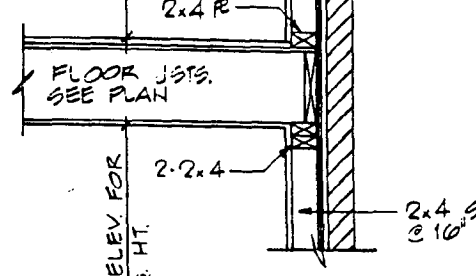
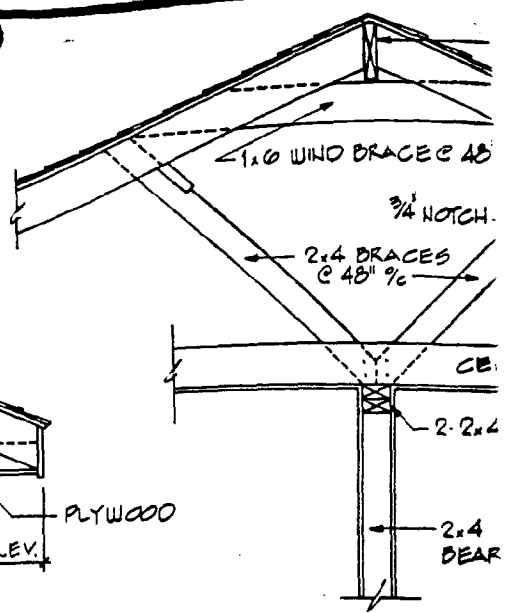
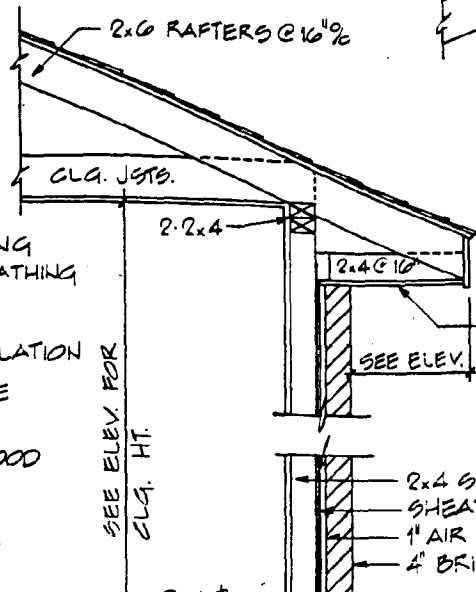






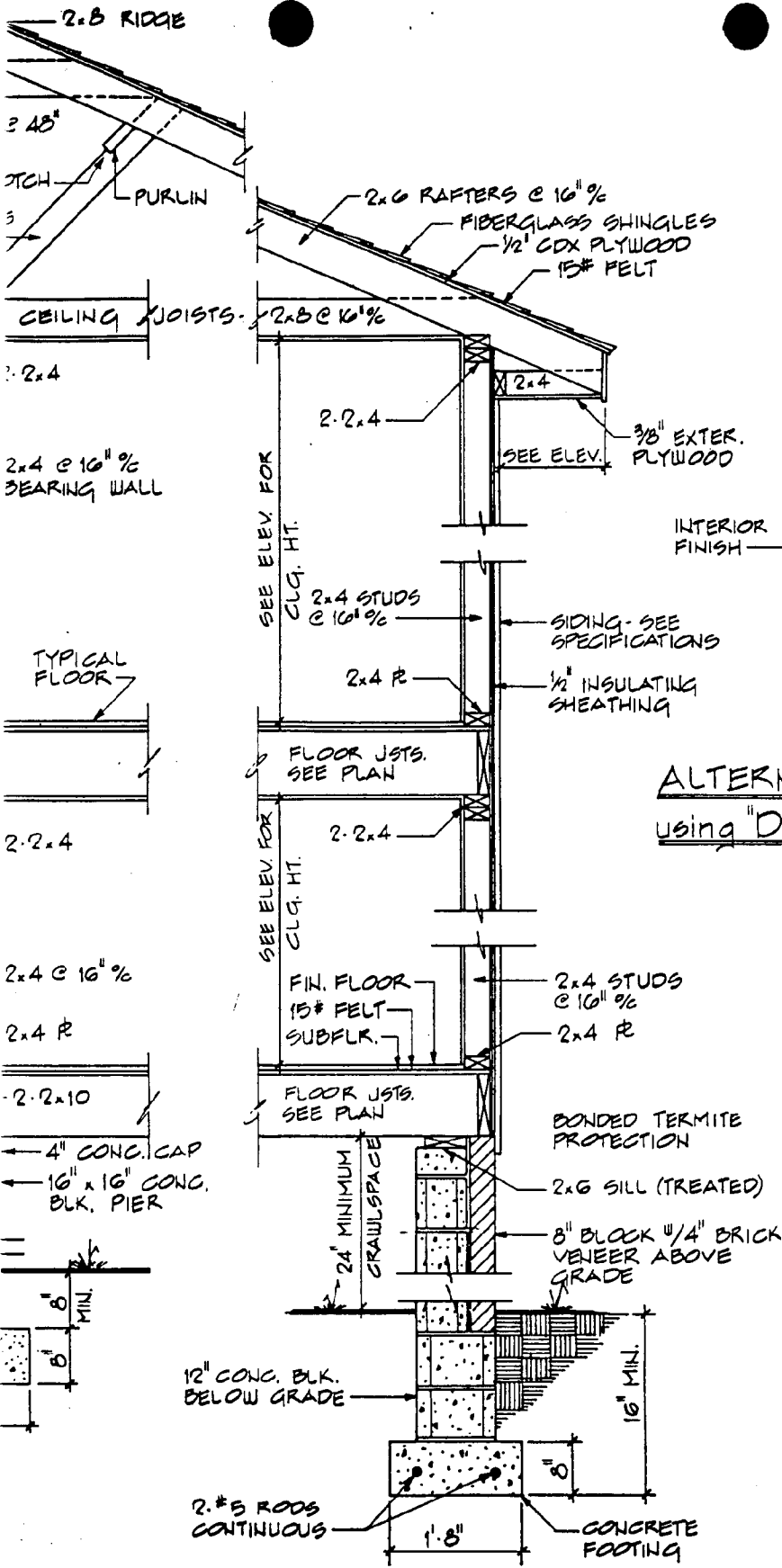
**SECTION @ CANTILEVER**

AS SHOWN ON PLAN  
 DETAILS THIS SHEET FOR  
 THE FRAMING & FOUNDATION



TYPICAL  
 3/4" x 1/2"  
 24

BRICK VENEER WALL SECTION



ALTERNATE WALL SECTION  
using "DRYVIT OUTSULATION"

TYPICAL FRAME WALL SECTION  
3/4" x 1'-0"

**W. L. Corley Plan Service, Inc.**  
P. O. BOX 80430 • ATLANTA, GEORGIA 30384

TWO STORY  
WALL SECTIONS

SHEET  
25

# SPECIFICATIONS FOR ENERGY EFFICIENCY

1. CAULK & CHINK AROUND ALL EXTERIOR DOORS, WINDOWS, ELECTRICAL OUTLETS, PIPES, AND ALL CANTILEVERED OVERHANGS. COVER THESE AREAS WITH VAPOR BARRIER.
2. WINDOWS TO BE INSULATED GLASS AND/OR STORM SASH. REDUCE GLASS AREA ON NORTH & WEST SIDES OF HOUSE AS MUCH AS POSSIBLE.
3. USE METAL CLAD FOAM CORE EXTERIOR DOORS WITH MAGNETIC WEATHERSTRIPPING.
4. FOR AMOUNT OF RECOMMENDED INSULATION, SEE CHART BELOW.
5. USE THERMOSTATICALLY CONTROLLED POWER VENTILATOR FOR ATTIC VENTILATION AND/OR CONTINUOUS RIDGE AND SOFFIT VENTS.

NOTE: SOME OF THESE SPECIFICATIONS MAY SHOW GREATER REQUIREMENTS THAN THE ACTUAL CONSTRUCTION PLANS. IN THAT CASE, THE INFORMATION ON THIS SHEET SHOULD TAKE PRECEDENCE.

IN ENERGY EFFICIENT HOUSING, SPECIAL EMPHASIS SHOULD BE PLACED ON MINIMUM INFILTRATION AROUND WINDOWS, DOORS, ELECTRICAL BOXES, PIPES, & CANTILEVERED AREAS.

GLASS AREAS SHOULD BE LIMITED AND DOUBLE GLAZING OR STORM SASH ARE OF GREAT VALUE. ADEQUATE ATTIC VENTILATION SHOULD BE PROVIDED.

THE DEGREE OF ENERGY EFFICIENCY IS DEPENDENT ON BOTH QUALITY OF WORKMANSHIP AND QUANTITY OF INSULATION.

SHRINE RIDGE VENT

SHRINE ANGLES  
FELT  
DECKING

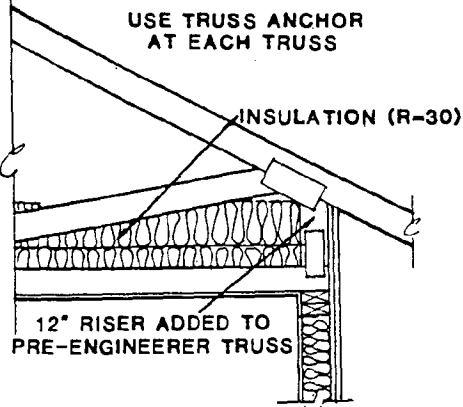


VENT

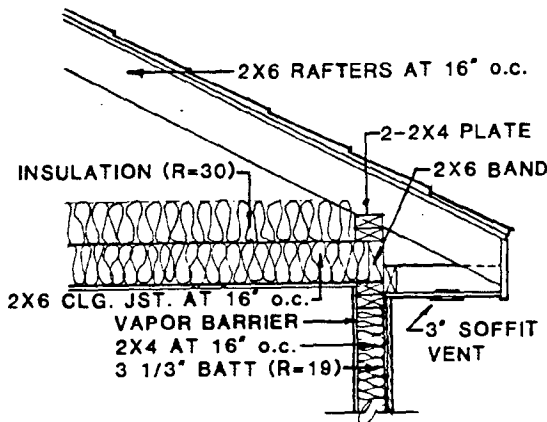
WOOD GUSSET  
2X12 RAFTERS

1 1/2" MIN.  
AIR SPACE

CEILING



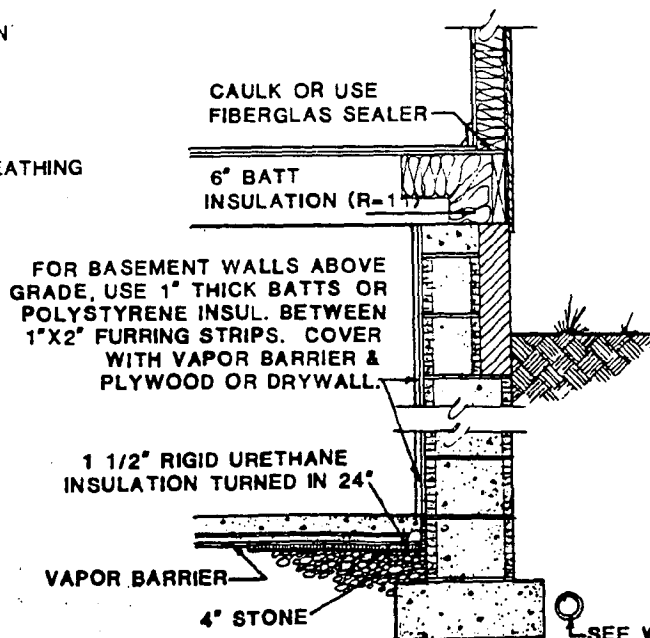
TRUSS DETAIL



3

N

WEATHERING



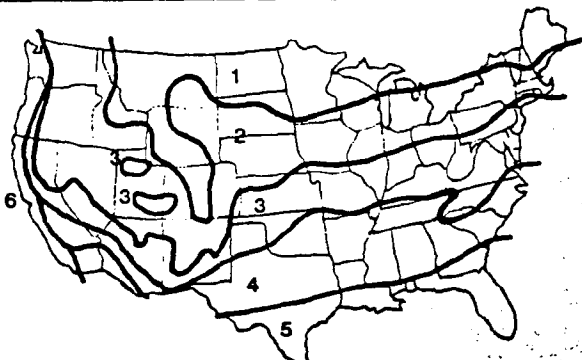
TYPICAL WALL SECTION

SEE WATERPROOFING  
DETAIL

## NEW (R-VALUE) INSULATION STANDARDS

RECOMMENDED FOR PASSIVE SOLAR HOMES

REGION	CEILING	WALLS	FLOOR
ZONE 1	38	19	22
ZONE 2	33	19	22
ZONE 3	30	19	19
ZONE 4	26	19	11
ZONE 5	26	13	11
ZONE 6	19	11	11



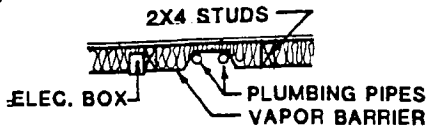
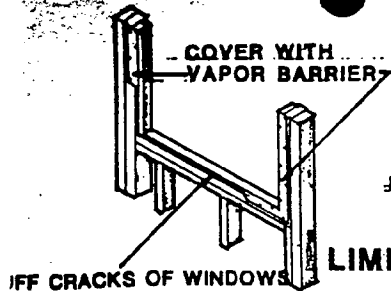
THIS MAP IS REASONABLY ACCURATE FOR MOST PARTS OF THE U.S. BUT IS NECESSARILY HIGHLY GENERALIZED & CONSEQUENTLY NOT TOO ACCURATE IN MOUNTAINOUS REGIONS, PARTICULARLY IN THE ROCKIES.

W. L. Corley Plan Service, Inc.  
P. O. BOX 90430 • ATLANTA, GEORGIA 30364

ENERGY SAVING

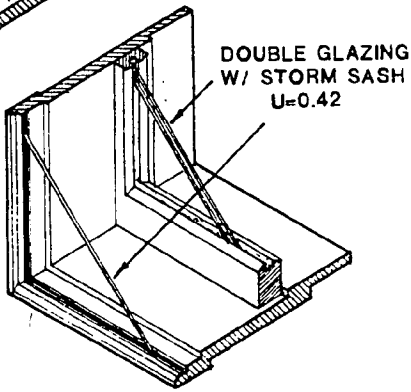
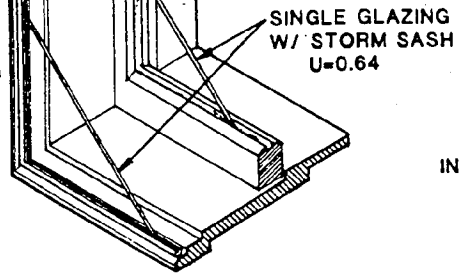
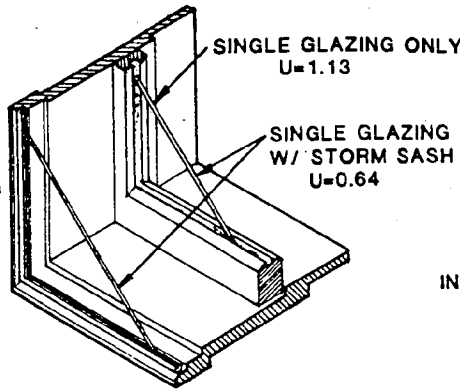
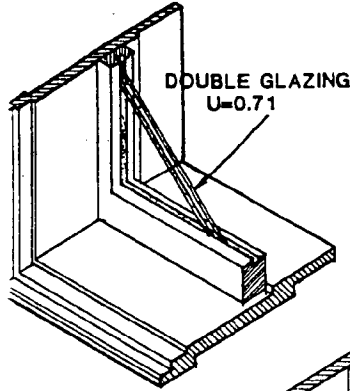
SHEET

26



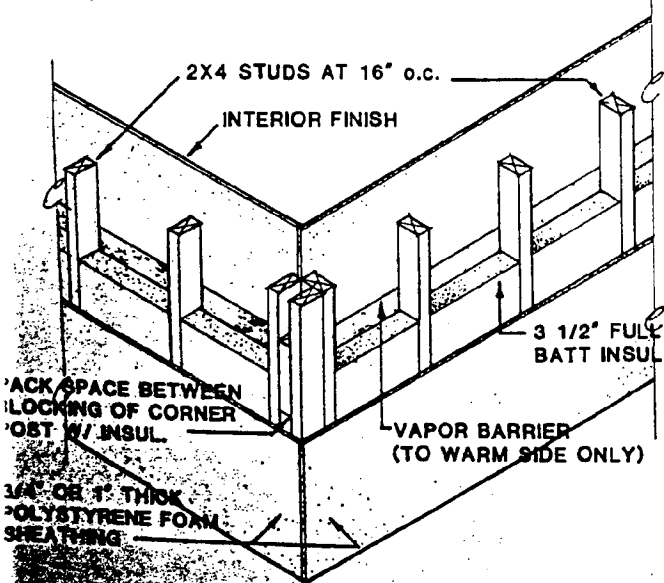
**LIMIT INFILTRATION**

SEAL OFF CRACKS OF WINDOWS  
EXT. DOORS WITH INSUL.  
USE 'MONOFOAM'  
POLYMERIC FOAM SEALANT



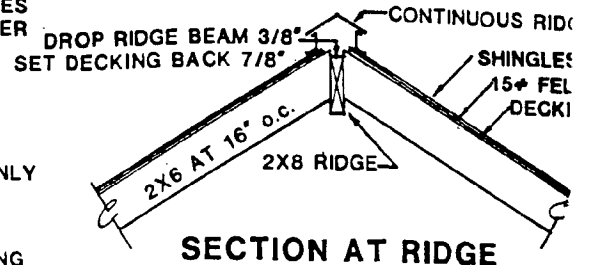
**INCREASE WINDOW GLAZING**

NOTE: WITH FOIL FACED FOAM SHEATHING, USE  
6-MIL. POLYETHYLENE VAPOR BARRIER INSIDE

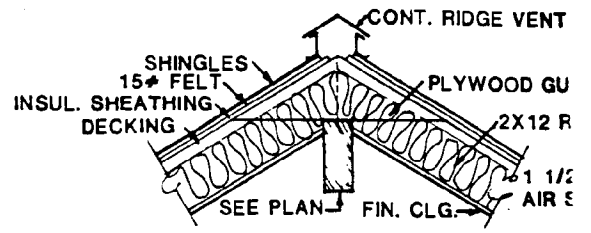


BACK SPACE BETWEEN  
CLOSING OF CORNER  
JOINT W/ INSUL.

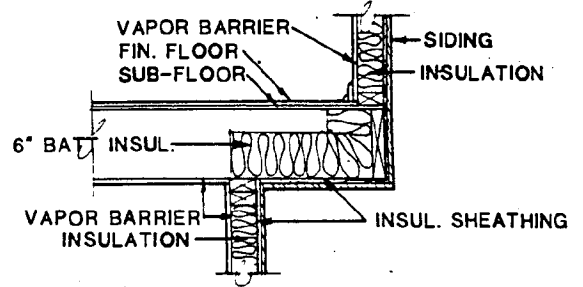
**EXTERIOR CORNER & FRAMING**



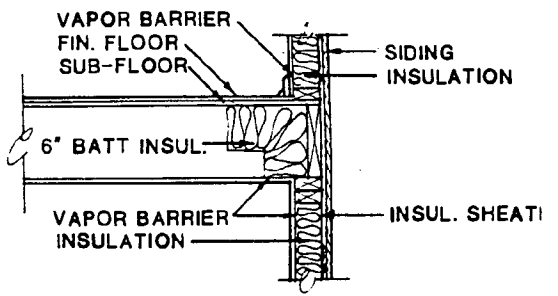
**SECTION AT RIDGE**



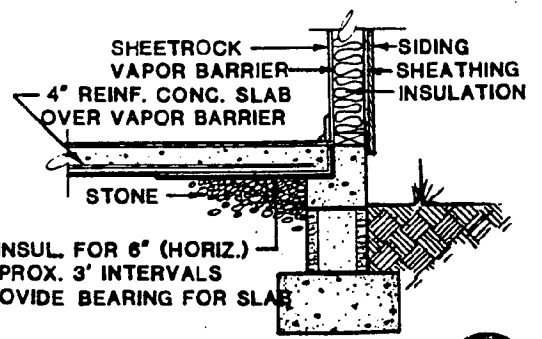
**SECTION AT CATHEDRAL CEILING**



**SECTION AT CANTILEVER**

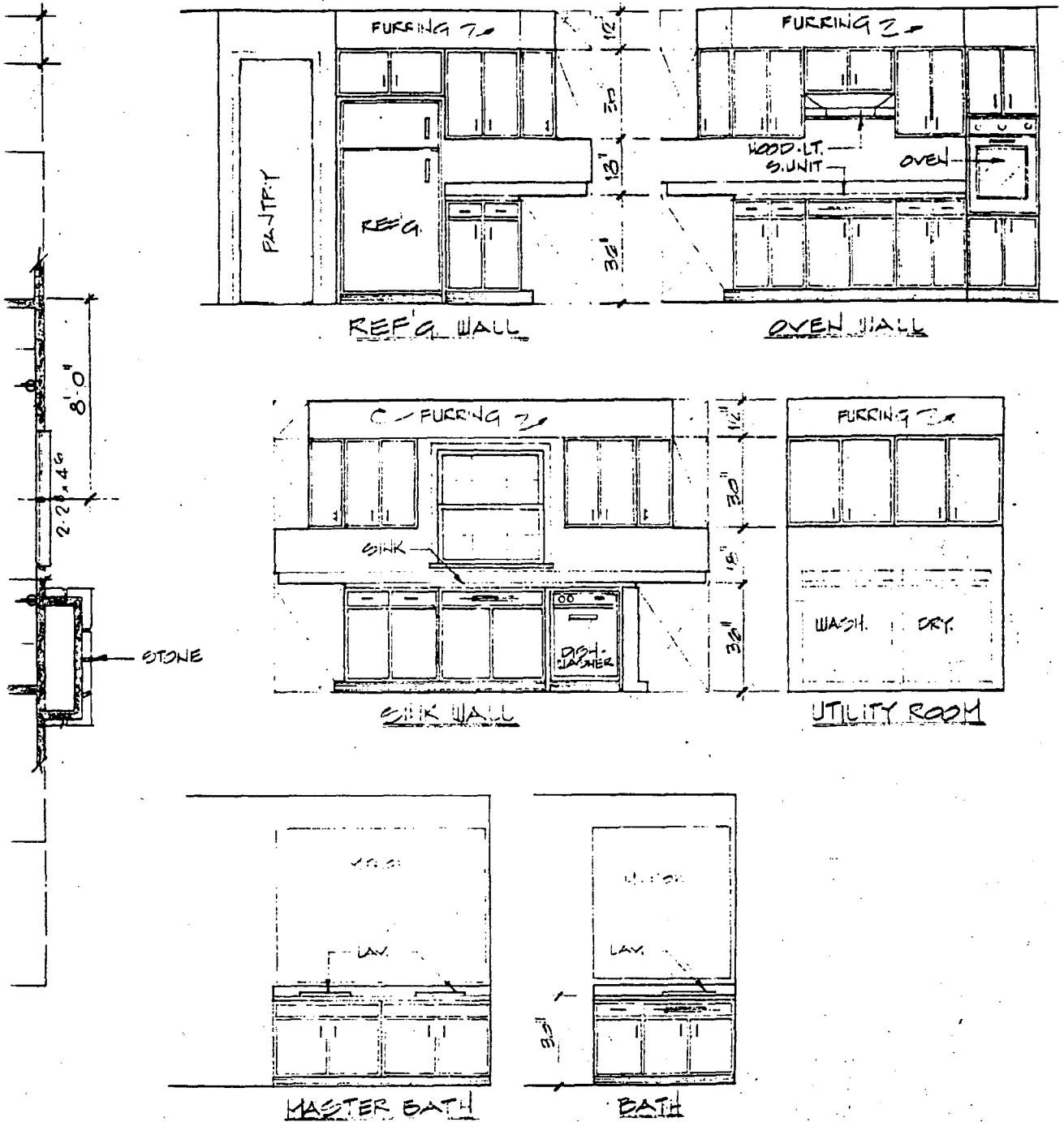


**SECTION AT 2ND FLOOR**



OMIT INSUL. FOR 6" (HORIZ.)  
AT APPROX. 3' INTERVALS  
TO PROVIDE BEARING FOR SLAB

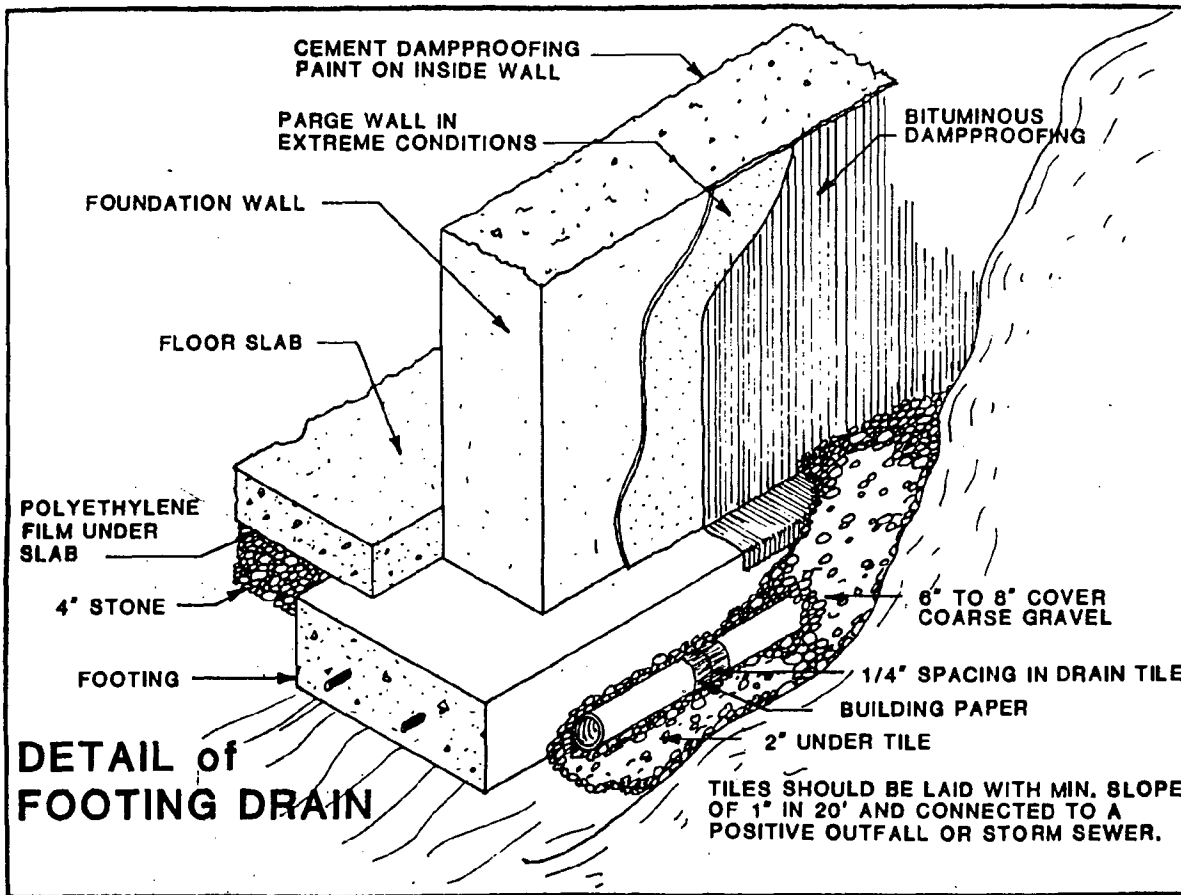
**SECTION AT SLAB FLOOR**



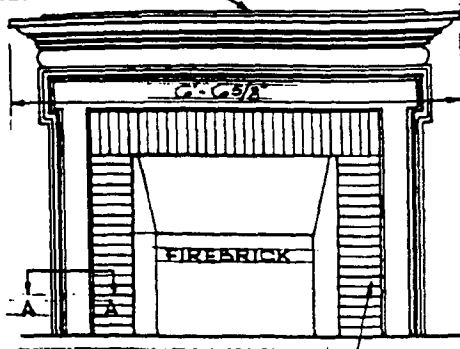
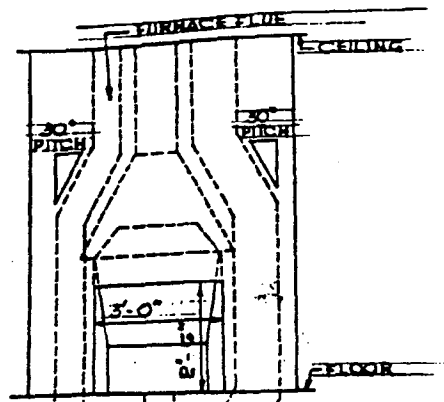
KITCHEN CABINET & VANITY ELEVATIONS — 3/8" = 1'-0"

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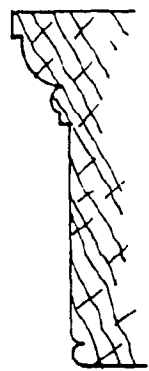


SEE SPECIFICATIONS FOR WALL FINISH  
 STYLE OF MANTEL BY OWNER



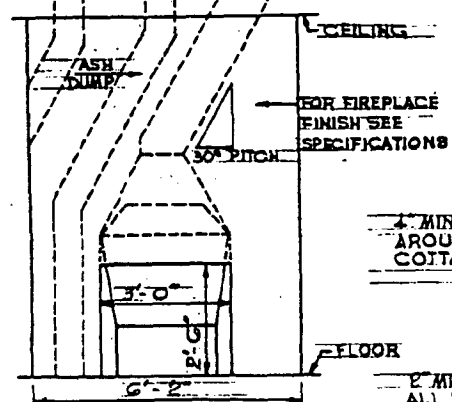
ELEVATION

SEE SPECIFICATIONS FOR FACING MATERIAL



SECTION

A-A  
 1/2" SCALE



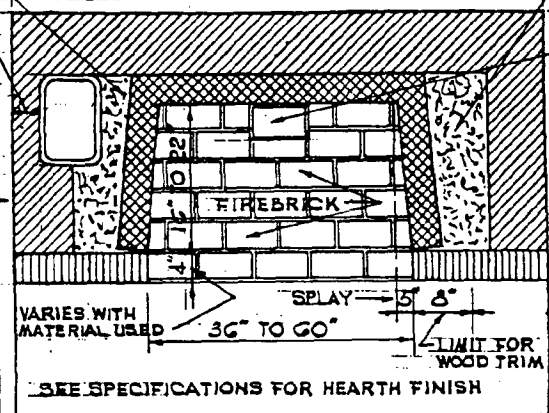
STACKED ELEVATION

SCALE 3/4" = 1'-0"

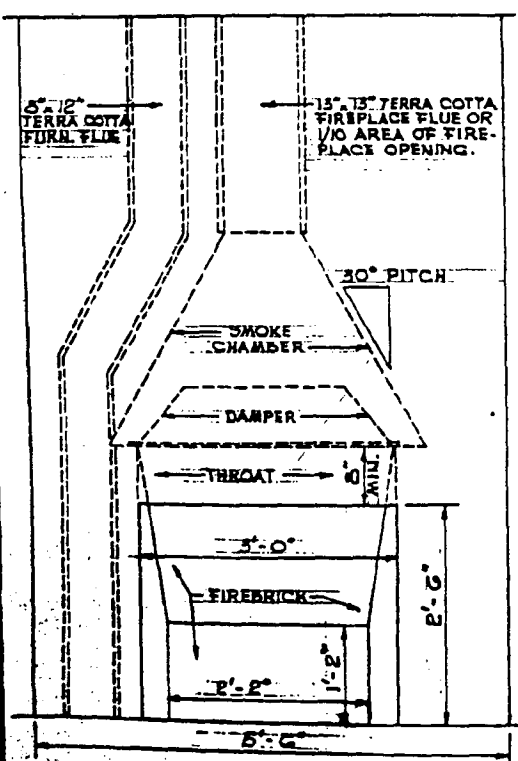
FOR FIREPLACE FINISH SEE SPECIFICATIONS  
 4" MIN. OF MASONRY AROUND 5" x 12" TERRA COTTA FLUE

2" MIN. CLEAR OF ALL WOOD FRAMING

5'-0" MIN. INCREASED TO 6'-2" WHEN STACKED FIREPLACES ARE USED



TYPICAL PLAN SCALE 3/4" = 1'-0"



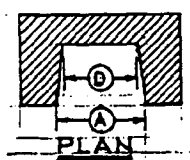
ELEVATION

SCALE 3/4" = 1'-0"

NOTE: CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE STARTING

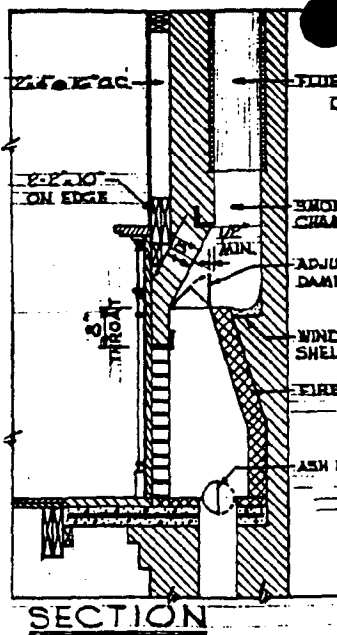
NOTE: USE THIS TABLE WHEN FIREPLACE OPENING WIDTH IS INCREASED (INCREASE OVERALLS PROPORTIONATELY)

DIMENSIONS TABLE						
A	B	C	D	E	F	
36"	30"	16"	20"	14"	8 3/4"	
42"	30"	16"	33"	14"	8 3/4"	
48"	33"	18"	36"	14"	8 3/4"	

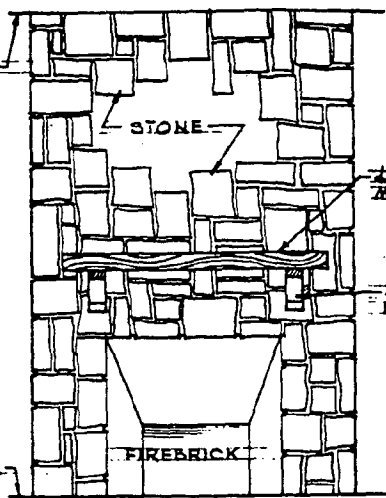


PLAN



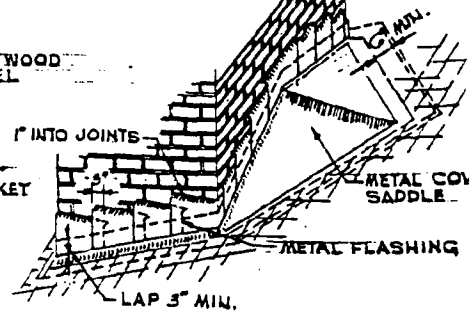


**SECTION**

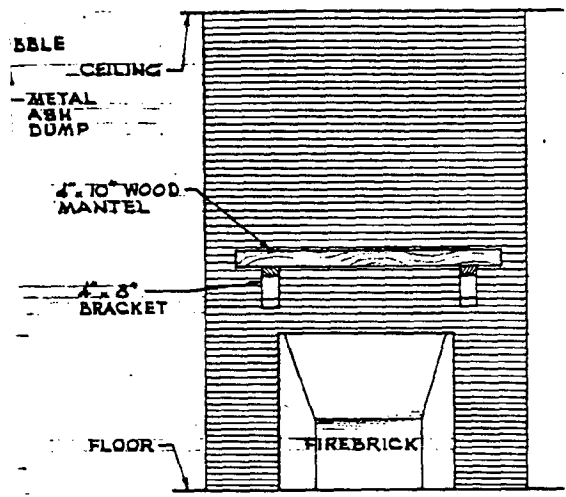


**ELEVATION**

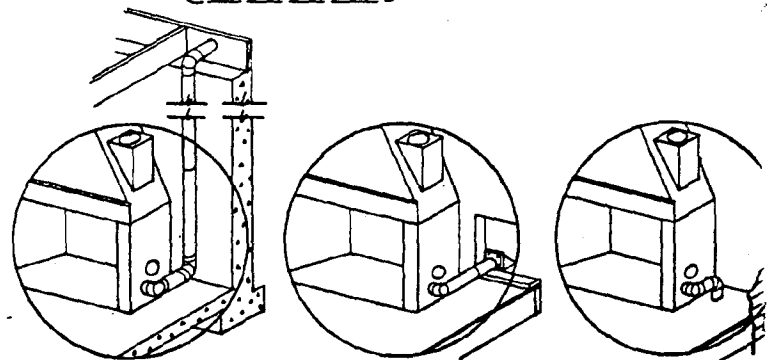
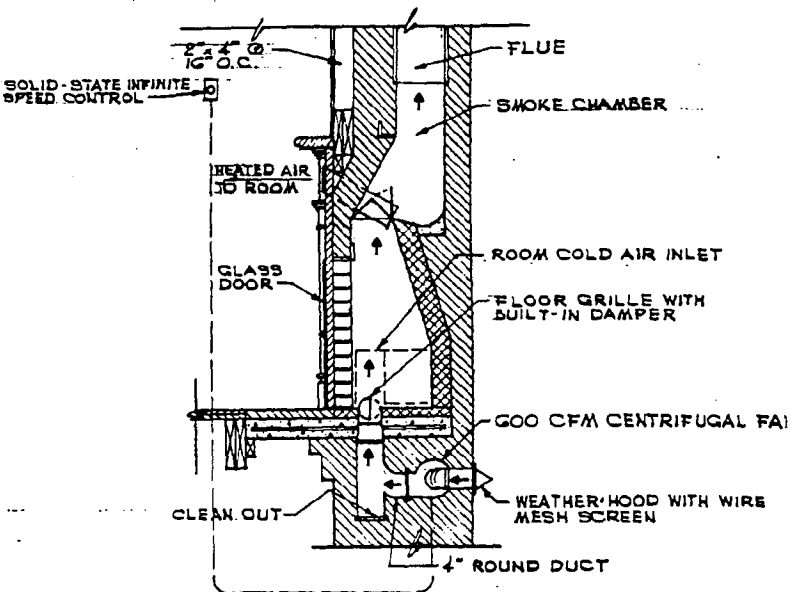
**NOTE: EXTEND CHIMNEY 2\"/>**



**CHIMNEY FLASHING**  
NO SCALE



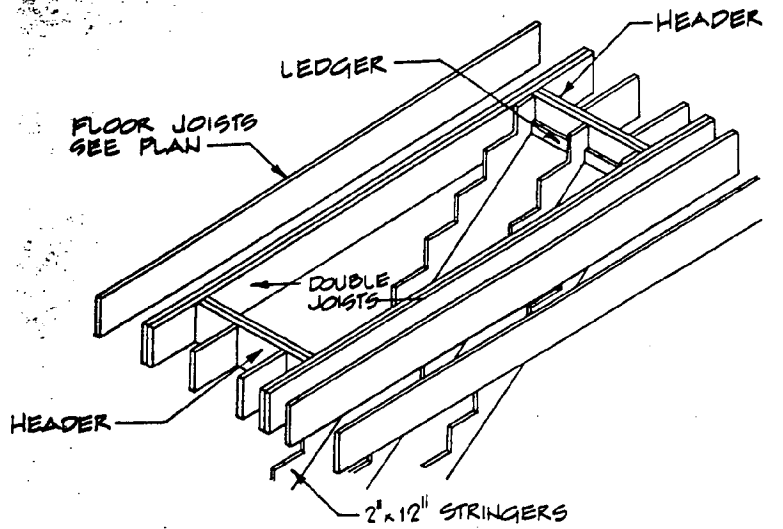
**ELEVATION**



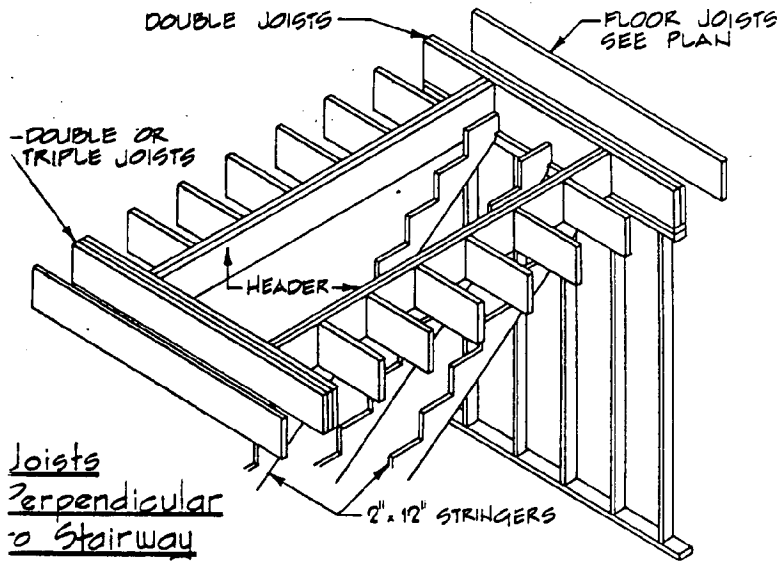
**TYPICAL OUTSIDE AIR INTAKE**

NO SCALE

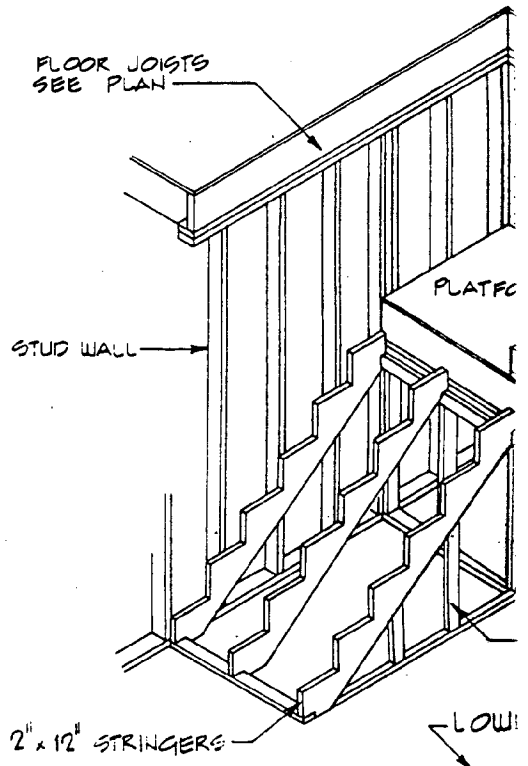
30



Floor Opening - Joists Parallel to Stairway

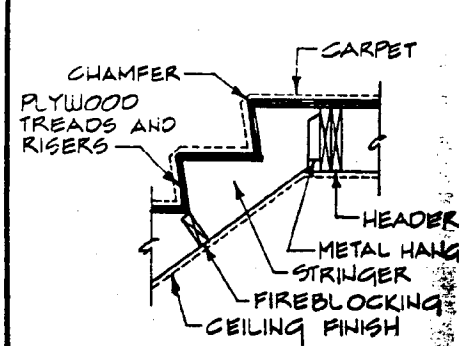
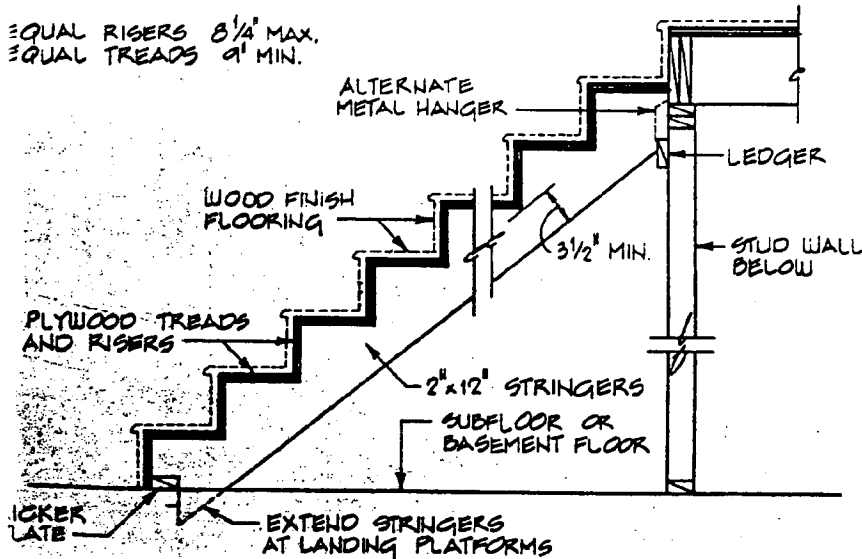


Joists  
Perpendicular  
to Stairway

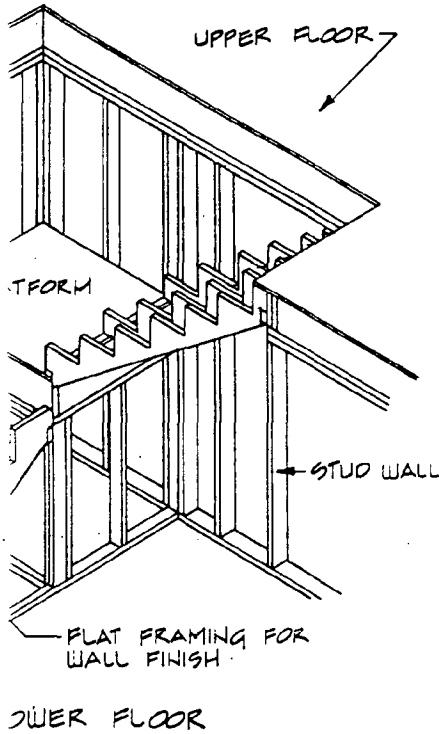


Typical Turned Sta

NOTE: For Pre-manufactured Staircases, See Manufa

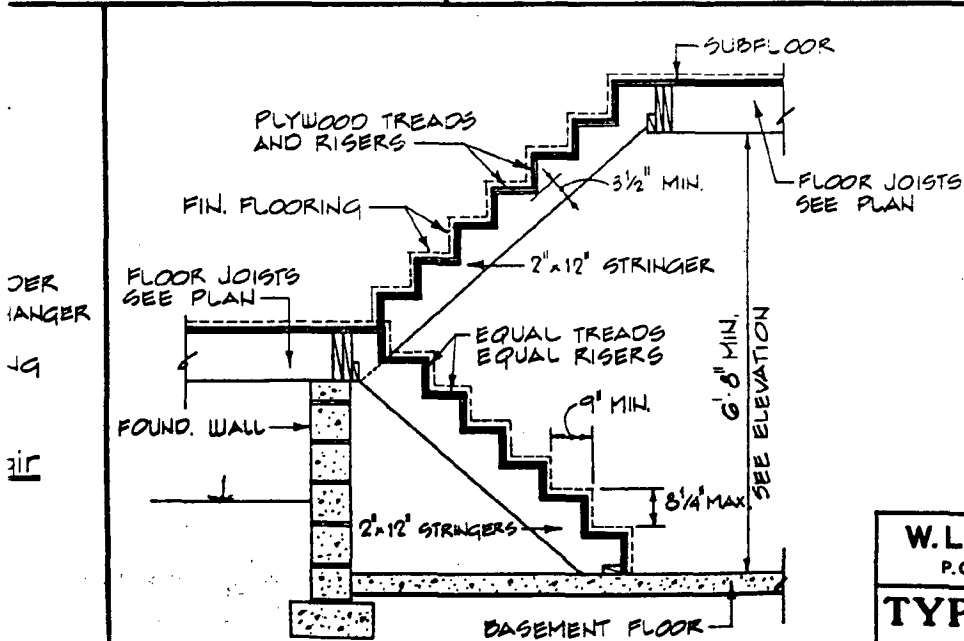
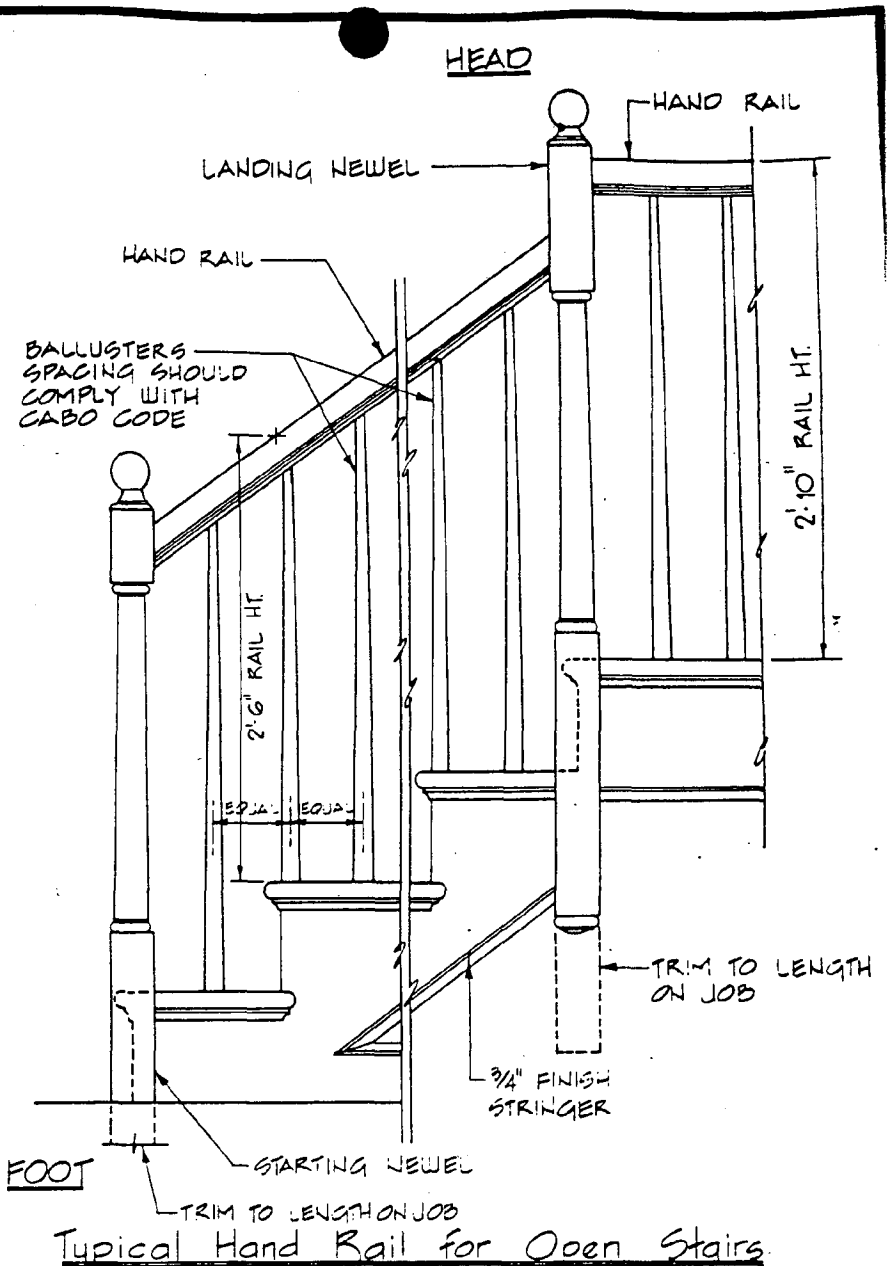


Detail @ Carpeted Stair



Stair Framing Detail

Structural Spiral or Circular  
Manufacturer's Details



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**TYPICAL STAIR** SHEET

**W. L. CORLEY PLAN SERVICE**  
 1677 Dorsey Avenue  
 East Point, Georgia 30544.

FOR ESTIMATING PURPOSES ONLY. CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION

QUANTITY	DESCRIPTION	UNIT PRICE	EXTENSION
	FOUNDATION		
8 yds.	1-2-4 concrete		
15 yds.	1-3-5 concrete		
425 ea.	8x12x16 block		
903 ea.	8x8x16 block		
118 ea.	1x8x16 cap block		
6300 ea.	face brick		
102 bag	mortar mix		
15 ton	sand		
20 ton	gravel		
	ROUGH HARDWARE		
2 rolls	reni wire		
1 box	wall ties		
7 ea.	1/4" iron col's 6 <sup>0</sup>		
1 ea.	8 1/2" angle iron		
1 ea.	48" " "		
2 ea.	108" " "		
8 1/2' ft.	5" O.I. gutter		
96' ft.	downspout		
12 ea.	O.I. elbow		
6 ea.	splash block		
	FIREPLACE		
540 sqft.	stone		
5000 ea.	common brick		
62 bag	mortar mix		
9 ton	sand		
11 ea.	12x12- flue liner		
1 ea.	36" pre-fab		
	FRAMING		
850' ft.	2x10- header, girder & etc.		
3100' ft.	2x4- plates & etc.		
140' ft.	2x6- coloure-sills		



QUANTITY	DISCRIPTION	UNIT PRICE	EXTENSION
500 lft.	1x4- #2 Y.P.		
84 lft.	2x8- ridge & etc.		
47 pc.	2x10-12' floor joist		
50 pc.	2x10-16' " "		
42 pc.	2x10-14' " "		
54 pc.	3/4x8x8 T&G plywood		
625 pc.	2x4- P.O. studs		
46 pc.	1/2x8 ins. board		
1800 ft.	siding		
66 lft.	2x4- calcure-porch		
66 lft.	2x8- calcure-porch		
9 pc.	2x8-12' calcure-porch		
13 pc.	2x6-12' calcure-porch		
11 pc.	2x6-12' ceiling joist		
19 pc.	2x6-10' " "		
16 pc.	2x8-14' " "		
23 pc.	2x6-14' rafter		
13 pc.	2x6-12' "		
3 pc.	2x6-24' "		
4 pc.	2x6-12' "		
13 pc.	2x6-22' "		
24 pc.	2x6-20' "		
49 pc.	1/2x8 C.D. plywood		
4 rolls	15# felt		
17 "	roofing		
	GORNICE, SHEETROCK & INSULATION		
150 lft.	5/4x4- trim		
340 lft.	1x8- fascia		
340 lft.	sprung bed mould		
260 lft.	1x4- frieze board		
16 pc.	3/8x8x8 A.C. plywood		
4 pc.	4x8 lattico panels		

FOR ESTIMATING PURPOSES ONLY. CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION.

QUANTITY	DISCRIPTION	UNIT PRICE	EXTENSION
5 ea.	4x4-8' col's		
64 lft.	2x4- C&Btr.		
64 pc.	2x2-36" pickets		
1928 sqft.	3/4" insulation		
1160 sqft.	6" "		
7387 sqft.	1/2" sheetrock		
11 ea.	5 gal. joint cement		
14 rolls	sheetrock tape		
	STAIRS		
4 pc.	2x12-16' Y.P.		
4 pc.	1x10-16' C&B		
42 lft.	C&B pine stepread		
46 lft.	1x8- C&B		
16 lft.	flr handrail		
13 pc.	42" oak stepread T/I end		
14 pc.	1x8-42" oak riser		
20 lft.	birch handrail		
2 ea.	starting post		
1 ea.	1/2- starting post		
21 ea.	36" balluster		
13 ea.	34" balluster		
8 lft.	oak landing tread		
	DECK		
3 pc.	2x10-14' caloure		
12 pc.	2x10-10' "		
24 pc.	2x6-14' "		
34 lft.	2x4- "		
34 lft.	2x6- "		
68 pc.	2x2-42" pickets		
	AILS		
300 lb.	16cc nails		
150 lb.	8cc nails		



PLAN NO. 8572

W. L. CORLEY PLAN SERVICE  
1677 Dorsey Avenue  
East Point, Georgia 30344.

PAGE 4

FOR ESTIMATING PURPOSES ONLY. CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION.

QUANTITY	DESCRIPTION	UNIT PRICE	EXTENSION
25 lb.	1 1/2 roofing nails		
50 lb.	8 R/S siding nails		
50 lb.	drywall nails		
50 lb.	assorted nails		
25 lb.	galv. nails		
	WINDOW UNITS		
5 sgl.	2 <sup>8</sup> x 4 <sup>6</sup> div. lite		
1 sgl.	3 <sup>0</sup> x 3 <sup>10</sup> " "		
2 sgl.	2 <sup>0</sup> x 6 <sup>2</sup> " "		
1 sgl.	3 <sup>0</sup> x 3 <sup>2</sup> " "		
3 twin	2 <sup>8</sup> x 4 <sup>6</sup> " "		
1 sgl.	2 <sup>4</sup> x 3 <sup>2</sup> " "		
11 ea.	2 <sup>8</sup> x 4 <sup>6</sup> FF screens		
1 ea.	3 <sup>0</sup> x 3 <sup>10</sup> " "		
2 ea.	2 <sup>0</sup> x 6 <sup>2</sup> " "		
1 ea.	3 <sup>0</sup> x 3 <sup>2</sup> " "		
1 ea.	2 <sup>4</sup> x 3 <sup>2</sup> " "		
16 ea.	sash locks		
32 ea.	bar lifts		
	EXTERIOR DOOR UNITS		
2 ea.	8 <sup>0</sup> x 7 <sup>0</sup> garage door		
1 ea.	3 <sup>0</sup> x 6 <sup>8</sup> ext. unit (bsmt.)		
1 ea.	5 <sup>0</sup> x 6 <sup>8</sup> glass sliding door		
1 ea.	12x3/Or12x6/8 ext. unit		
	INTERIOR DOOR UNITS		
1 ea.	2 <sup>4</sup> x 6 <sup>8</sup> door unit		
7 ea.	2 <sup>6</sup> x 6 <sup>8</sup> " "		
8 ea.	2 <sup>0</sup> x 6 <sup>8</sup> " "		
1 ea.	2 <sup>8</sup> x 6 <sup>8</sup> " "		
1 ea.	3 <sup>0</sup> x 6 <sup>8</sup> bi-fold unit		
1 ea.	3 <sup>6</sup> x 6 <sup>8</sup> C.O.		
1 ea.	3 <sup>0</sup> x 6 <sup>8</sup> C.O.		

PLAN NO. 8070

PAGE 1

**W. L. CORLEY PLAN SERVICE**  
 1677 Dorsey Avenue  
 East Point, Georgia 30344

FOR ESTIMATING PURPOSES ONLY. CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION.

QUANTITY	DESCRIPTION	UNIT PRICE	EXTENSION
	<b>HARDWARE</b>		
3 ea.	ext. keyed locks		
3 ea.	bed locks		
2 ea.	bath locks		
9 ea.	passage locks		
7 ea.	shelf & rod supports		
5 pr.	plastic pole sockets		
19 ea.	door bumpers		
	<b>MOULDING</b>		
700 lft.	base mould		
350 lft.	casing		
200 lft.	7/8 stop		
48 lft.	window stool		
120 lft.	W.P. shoe		
30 lft.	1 1/2 mill casing		
80 lft.	1x12- W.P.		
24 lft.	1 3/8 round rod		
4 pr.	2 <sup>8</sup> 7/8 blinds		



## HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10216 Capitol View Avenue

Meeting Date: 9/25/96

Resource: Capitol View Park Historic District

HAWP: New Construction

Case Number: 31/7-96K

Tax Credit: No

Public Notice: 9/12/96

Report Date: 9/18/96

Applicant: John Dove

Staff: Patricia Parker

PROPOSAL: Construction of new single-family  
1-1/2 story house w/deck;  
Removal of six trees

RECOMMEND: Approve  
w/conditions

---

### BACKGROUND

On August 9, 1995, the Historic Preservation Commission reviewed a Historic Area Work Permit submitted by John Dove retroactively for demolition of a structure at 10216 Capitol View Avenue. A permit was not issued for this work and no HAWP was requested or received.

The applicant explained that he received a violation notice from the Montgomery County Department of Housing and Community Development. This notice provided only two options to him. Either he should repair the structure - or demolish it. Upon receipt of this notice and unaware that his property was located in the Capitol View Park Historic District, the applicant heeded the advice of a local contractor to demolish the structure. The contractor razed the structure without filing for a permit for demolition. Therefore he did not receive the required approval from the Historic Preservation Commission before commencing any construction activity.

At the same meeting, County Attorney Loretta Shapiro, advised the Commission that this violation of the HAWP requirement did not affect the applicant's ability to rebuild; but she would have to complete further research to determine if the applicant would be subject to any fines.

Therefore, the remaining issue was the impact of this HAWP and future proposals upon this property and the Capitol View Park Historic District as a whole. The Commissioners felt that issues of size, scale, massing, tree preservation and maintaining the rural character of the district should be a part of any proposal to come before the Commission for review. Moreover, the applicant was advised that if he intended to rebuild that the Commission would recommend that he submit a proposal for a one and one-half story structure (approximately **the same size** as the house that was demolished) **and of no greater mass or scale** than that which he removed.

This HAWP proposal is to construct a one and one-half story frame structure with garage below street grade on unimproved property in the Capitol View Park Historic District. The new house, as proposed, would be approximately 2800 square feet in total size including the basement/garage level but not including the unenclosed rear deck or front porch. The footprint of the house, as proposed, would be approximately 28' x 40' or 1120 square feet. The application also

includes removal of six trees - one 36" and one 45" maple, three 12" pine trees and one 15" pine tree.

The structure on the property which was demolished was constructed between 1917-1935 (a contributing resource). Resources that are adjacent to 10216 are also contributing resources. Confronting properties are mostly nominal in character, i.e. non-contributing. Diagonally across from this property is an outstanding resource of the period of 1870-1916; and to the rear of this property are non-contributing resources recently constructed on Meadowneck Court.

## DISCUSSION

Capitol View Park is a community of importance because of its relationship to the development of Montgomery County over the last 100 years. The historic district is small, located between Kensington and Forest Glen and is one of a few railroad suburbs dating from the beginning of the Metropolitan Branch of the B & O railroad in the 1870's. The community is important historically because it was a location of importance in the opening up of the county and the railroad. These developments altered the face and life of the county.

Many changes have occurred within the area included within the historic district and these changes are partly reflected in the mixed types of suburban architecture over the last 100 years. There is a tremendous variety of style, material, age, workmanship and scale through the historic district. Homes within the district are of three categories: historic, contributing and other. 10216 Capitol View Avenue was a contributing resource.

As this property is new construction in the Capitol View Park Historic District, it should receive a more lenient level of design review than those structures that are of an earlier period of construction. The review should emphasize the importance of the new resource to the overall streetscape and its compatibility with existing patterns within the historic district.

Recent in-fill in historic districts has tended to produce homes too large which causes disruption to the streetscape and to the historic district as a whole. Historically, houses in Capitol View Park were built close to the road with long, large rear yards. However, in this portion of the district, some houses have a different orientation. By example, the house on the adjacent property of 10212 Capitol View Avenue is oriented with its side elevation facing the public street. Staff feels that because the subject property experiences a substantial grade change and because the front of the house faces the public street (as most other houses on Capitol View Avenue), the HPC should approve the house location as proposed.

Because the structure at 10216 Capitol View Avenue was removed before staff visited the site, staff is without knowledge as to the overall size of the demolished structure. Staff feels that the footprint and overall size of the proposed house is generally consistent with other houses close to the subject property and within the Capitol View Historic District. Staff would recommend that the HPC approve the size and footprint of the house as proposed.

The applicant has also chosen not to site the house close to the road; instead, to design a house that will use the topography to its advantage and limit the disturbance on site by incorporating a below street grade garage with doors to face away from the public street. Staff feels that this approach will allow more trees to be saved and recommends HPC approval of an integral below street grade garage.

Staff also feels that the reversed house plan is compatible in size, scale and massing and would be appropriate for the historic district. Staff has requested a tree survey from the applicant to determine which trees, if any, would be taken to provide space for construction. And staff is concerned about where the applicant would locate fill dirt resulting from excavation. If the dirt

will be located on site, then appropriate protection measures for existing tree specimens should be enforced.

Staff is not convinced that the 45" maple proposed for taking should be removed. Staff feels that it may be possible to construct an entrance driveway for garage access without disturbing the large maple tree.

As requested, the applicant has submitted a tree removal plan (included as part of this report). After talking with the applicant by telephone, he feels that this tree, a large silver maple, has soft wood and has limbs which if not removed, could harm the house. Also several other limbs on this tree need to be trimmed back from the public street.

Staff is also concerned about the proposed removal of a 12" pine located closest to the property line. Unless the 12" pine and 45" maple are in poor health, staff would recommend that limbs closest to the proposed house and in public space be trimmed as necessary. Staff recommends HPC approval of the proposal to remove the remaining two 12" pines, 15" pine and 36" maple tree. In the past, the HPC has required that the applicant submit a re-planting plan with 2 for 1 replacement. This site is very wooded and may not permit further planting of trees. The applicant could consider planting trees elsewhere in the historic district. The HPC may choose to discuss this portion of the proposal with the applicant.

The applicant has also included an itemized description of materials proposed for construction. The frame house on concrete foundation would be sheathed using artificial siding. In the past, staff has encouraged applicants to use wood siding for in-fill construction within historic districts. However, the HPC has approved the use of artificial siding on Capitol View Avenue in the past. Staff would encourage the HPC to require the applicant to use painted wood siding. Staff would recommend approval of the applicant's proposal to use brick veneer on concrete block below the first floor, stone for chimney construction, wood windows with true divided lites or 1/1, wood doors, painted lattice, asphalt shingles for roofing, wood posts and railing for the front porch and wood louver venting.

The applicant has also proposed to use a 5'0" wide sliding glass door and a bay window facing out toward the rear of the property; and to use an 8'0" wide garage door. Staff feels that the garage door could be of wood or metal, built out with wood trim. The sliding glass door and the bay window would not be visible from the public street and would face a wooded area and other nominal resources on Meadowneck Court. Staff recommends approval of these features.

As submitted, the front elevations include shutters at each side of the windows. If shutters are utilized, staff would recommend that they be 1/2 the width of each window. The proposal does not include exterior lighting, except for the front porch light. Staff feels the applicant should indicate all exterior site lighting and if a driveway is to be constructed, the driveway materials and location should be indicated.

#### STAFF RECOMMENDATION

Staff applauds the applicant for his submission of a very detailed plans and material list which is sensitive to its site, small in scale and massing and appropriate for the historic district. With the following conditions, staff recommends that the Commission find the proposal **consistent** with the purposes of Chapter 24A-8(b)2

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #1 and #9:

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment; and

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment; and with the following conditions:

**Conditions**

1. The applicant shall employ painted wood siding as sheathing.
2. Wood doors and windows shall be used with screens to match the meeting rails of the windows for proper alignment. If the applicant uses metal garage doors, they should be trimmed out using 4" min. width wood trim
3. Porch rail details shall include a painted wood top and bottom rail with pickets inset 4" max. o.c.
4. A metal flue shall not protrude above the chimney.
5. The driveway and entrance walks shall be indicated on the plans and their location and materials shall be approved by staff prior to construction.
6. An exterior site lighting plan shall be submitted to staff and approved prior to construction.
7. The applicant shall submit to staff for approval a tree re-planting plan.
8. Excess fill dirt, although temporary, should not be placed close to existing live tree specimens.
9. Plastic mesh construction fencing shall be installed at the limit of disturbance as determined by M-NCPPC Development Review Division staff. This measure is to provide protection for existing tree specimens on adjacent properties. Temporary fencing should also be installed around existing live tree specimens during construction;

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

17 September 1996

Montgomery County Historic Preservation Commission  
Maryland-National Capital Park and Planning Commission  
8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Dear Sirs:

I received your letter concerning a Historic Area Work Permit (HAWP) for the property next to mine which is listed as "John Dove, for construction of a new house at 10216 Capitol View Avenue, Silver Spring (HPC Case No. 31/7-96K) (Capitol View Historic District)". I do not object to construction of this house; however, I have some concerns about the rain runoff that flows across the Dove property on its way to a storm drain. I am the owner of the property at 10212 Capitol View Avenue which is next to 10216 Capitol View Avenue.

There is a long history of correspondence with the MCHPC and Montgomery County concerning the rain runoff from the houses on Meadowneck Court (behind my property). A great deal of rain runoff flows from the Meadowneck Court houses generally along the rear of my property and across the Dove property to the storm drain on the far side of the Dove property. This storm drain was installed several years ago by the State of Maryland to mitigate the rain runoff problem.

The Montgomery County Government has told me that a property owner can block the flow of rain runoff water across his property and that my only recourse in this situation is litigation. Consequently, I would like this letter to become part of the HAWP Records for this property in case of future litigation. I will also forward a copy of this letter to the Montgomery County Government.

If the flow of rain runoff is not permitted to cross the Dove property on its way to the storm drain, then it will collect in a pond in my side yard. There is a lot of water flowing during heavy rains and, if the flow is blocked, the resulting pond may even back up into my basement. This could result in my property being condemned and a total loss of its value. The present situation has resulted in some basement flooding and, I believe, a decrease in the value of my property.

Both my daughter and I have discussed this matter with John Dove and he has indicated a willingness to work out a mutually agreeable solution to this problem. I believe that this rain runoff problem is a result of negligence on the part of the Montgomery County Government and the builders, in that the properties on Meadowneck Court should have been graded to divert the rain runoff to existing storm drains. I believe that both Mr. Dove and I are "victims" of this negligence.

Thank You,



Charles E. H. Edward

Mailing address:  
3300 Wake Drive  
Kensington, Maryland 20895  
(301)949-7006



RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

Historic Preservation Commission  
 (301) 495-4570

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Dove, John  
 DAYTIME TELEPHONE NO. 703,790-1447  
 TAX ACCOUNT # 995387  
 NAME OF PROPERTY OWNER Dove, John DAYTIME TELEPHONE NO. 703,790-1447  
 ADDRESS 3925 Decatur Ave. Ken. Md. 20895  
 CITY STATE ZIP CODE  
 CONTRACTOR Welty TELEPHONE NO. 301 530-4364  
 CONTRACTOR REGISTRATION NUMBER 2862 EXP. 7-1-98  
 AGENT FOR OWNER Dove, John DAYTIME TELEPHONE NO. 703,790-1447

## LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 10216 STREET Capitol View  
 TOWN/CITY Ken. NEAREST CROSS STREET Meredith Ave.  
 LOT R BLOCK \_\_\_\_\_ SUBDIVISION #5  
 LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL NR44

## PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: Construct  Extend  Alter/Renovate  Repair  Move  Wreck/Raze  Install  Revocable  Revision  Fence/Wall (complete Section 4)  Single Family  Other \_\_\_\_\_  
 CIRCLE ALL APPLICABLE: A/C  Slab  Room Addition  Porch  Deck  Fireplace  Shed  Solar  Woodburning Stove

1B. CONSTRUCTION COST ESTIMATE \$ 150,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01  WSSC 02  SEPTIC 03  OTHER \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY 01  WSSC 02  WELL 03  OTHER \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

John A. Dove Signature of owner or authorized agent 8-8-96 Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Build New house. House will be built in Reverse

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

New construction, subject to H.P.C. approval

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Beth Shyford  
10220 Capitol View

August Zinsser  
10217 Capitol View

Catherine Edwards  
10212 Capitol View

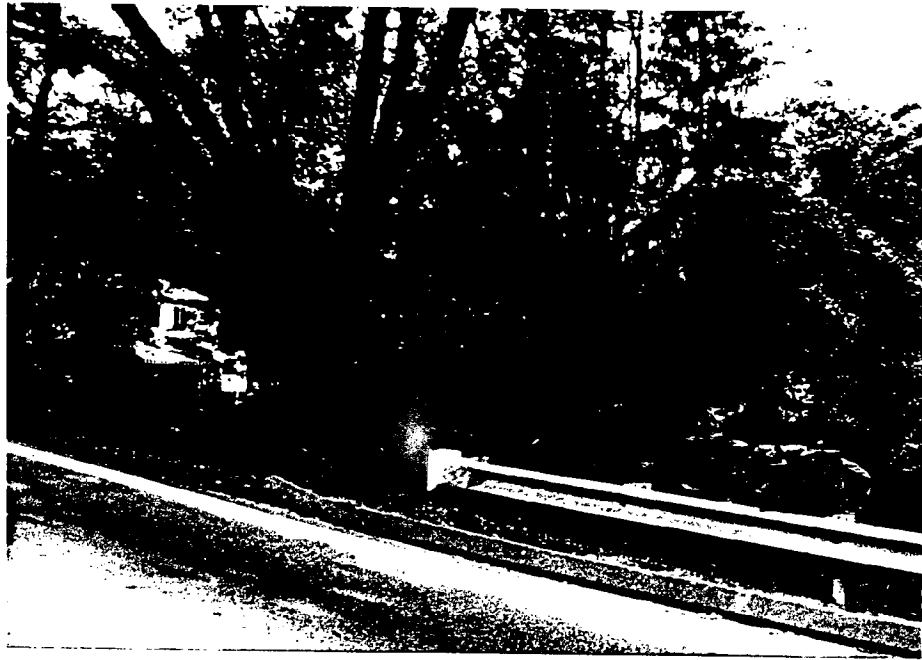
Phyllis Book  
10116 Meadow Neck Ct.



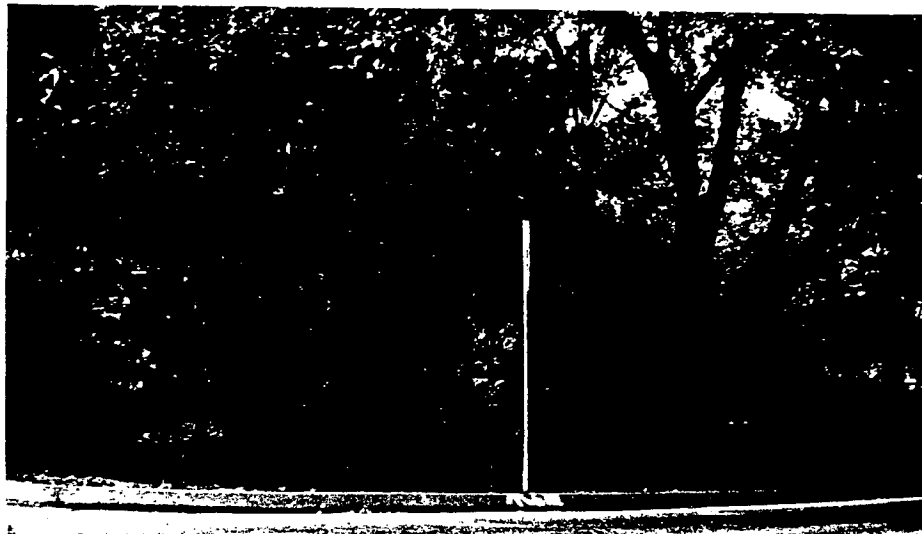
FRONT OF PROPERTY

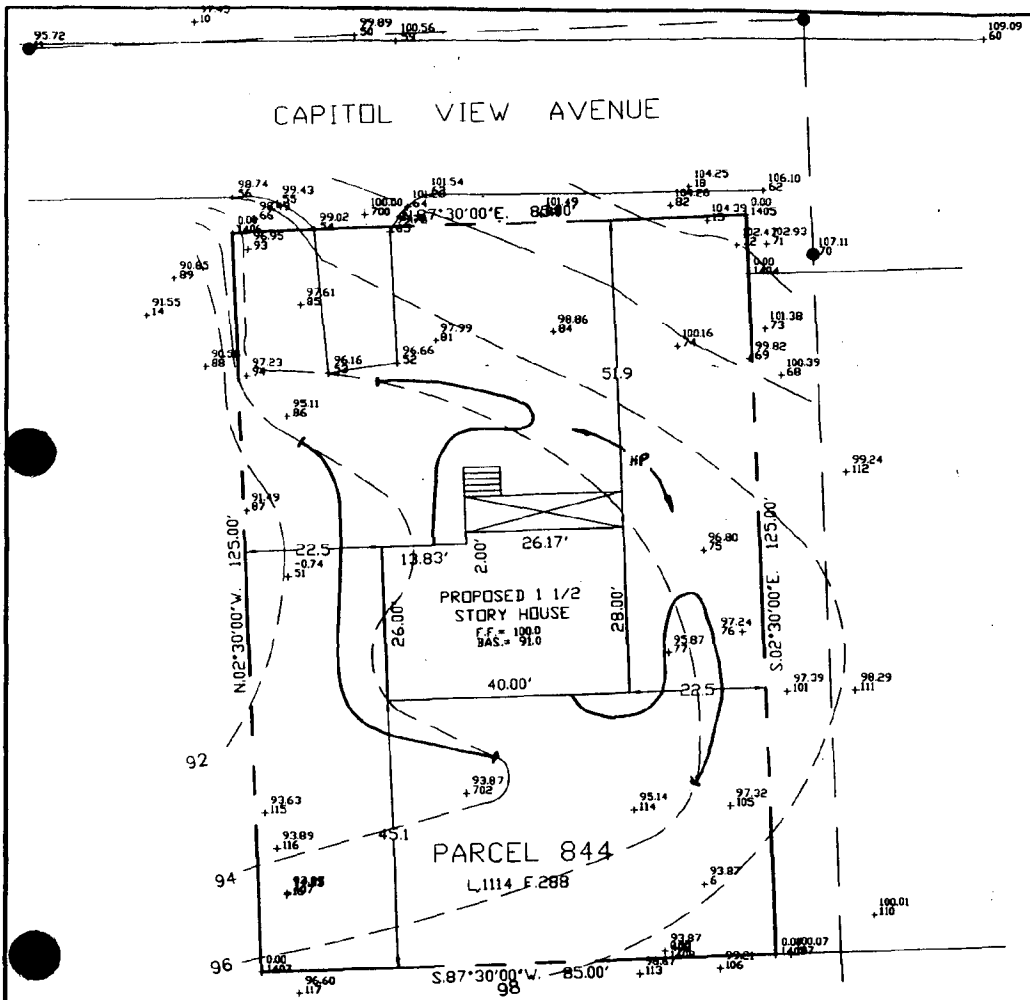


LEFT SIDE OF PROPERTY



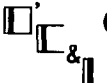
RT SIDE OF PROPERTY

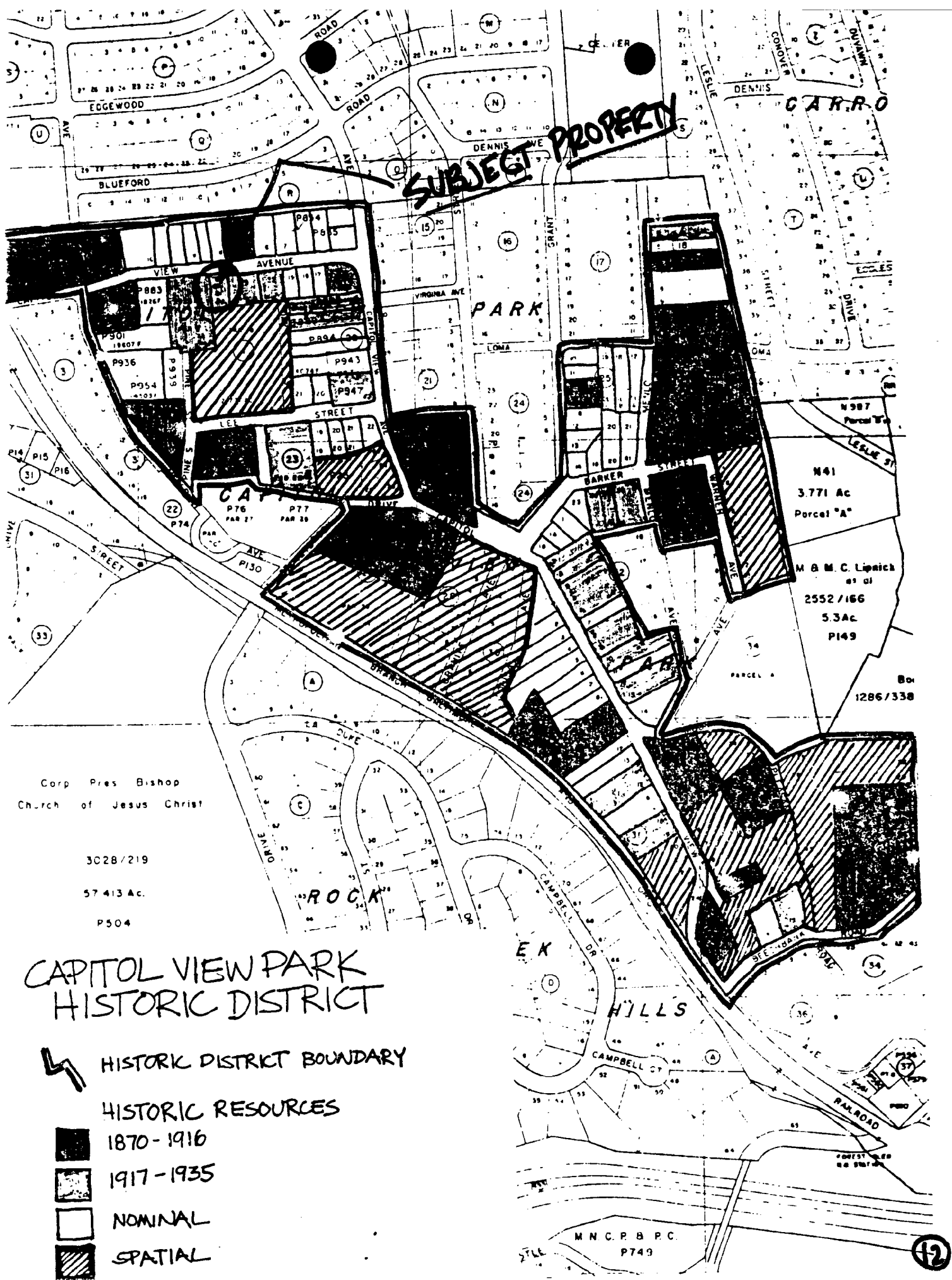




SITE PLAN  
 1021<sup>6</sup>/<sub>8</sub> CAPITOL VIEW AVENUE  
 CAPITOL VIEW PARK  
 PARCEL 844  
 L.1114 F.288

NOTE: TOPOGRAPHY IS FIELD RUN USING ASSUMED DATUM  
 NOTE: NO TREES GREATER THAN 24" ON SUBJECT PROPERTY

 <b>O'CONNELL &amp; LAWRENCE, INC.</b> SURVEYORS, ENGINEERS & LAND PLANNERS 17904 Georgia Avenue, Suite 302, Olney, Maryland 20832 Tel: (301) 924-4570 • Fax: (301) 924-5872					
DESIGNED BY JJB	DRAWN BY JJB	DATE JULY 1996	SCALE 1" = 20'	PROJECT/JOB NO. 828-001	SHEET NO. 1 OF 1



**SUBJECT PROPERTY**

CARRO

PARK

N41  
3.771 Ac  
Parcel "A"

M & M. C. Lippich  
et al  
2552 / 166  
5.3Ac  
P149

Box  
1286/338

Corp Pres Bishop  
Church of Jesus Christ

3028 / 219


57.413 Ac.

P504





ROCK

HILLS

# CAPITOL VIEW PARK HISTORIC DISTRICT

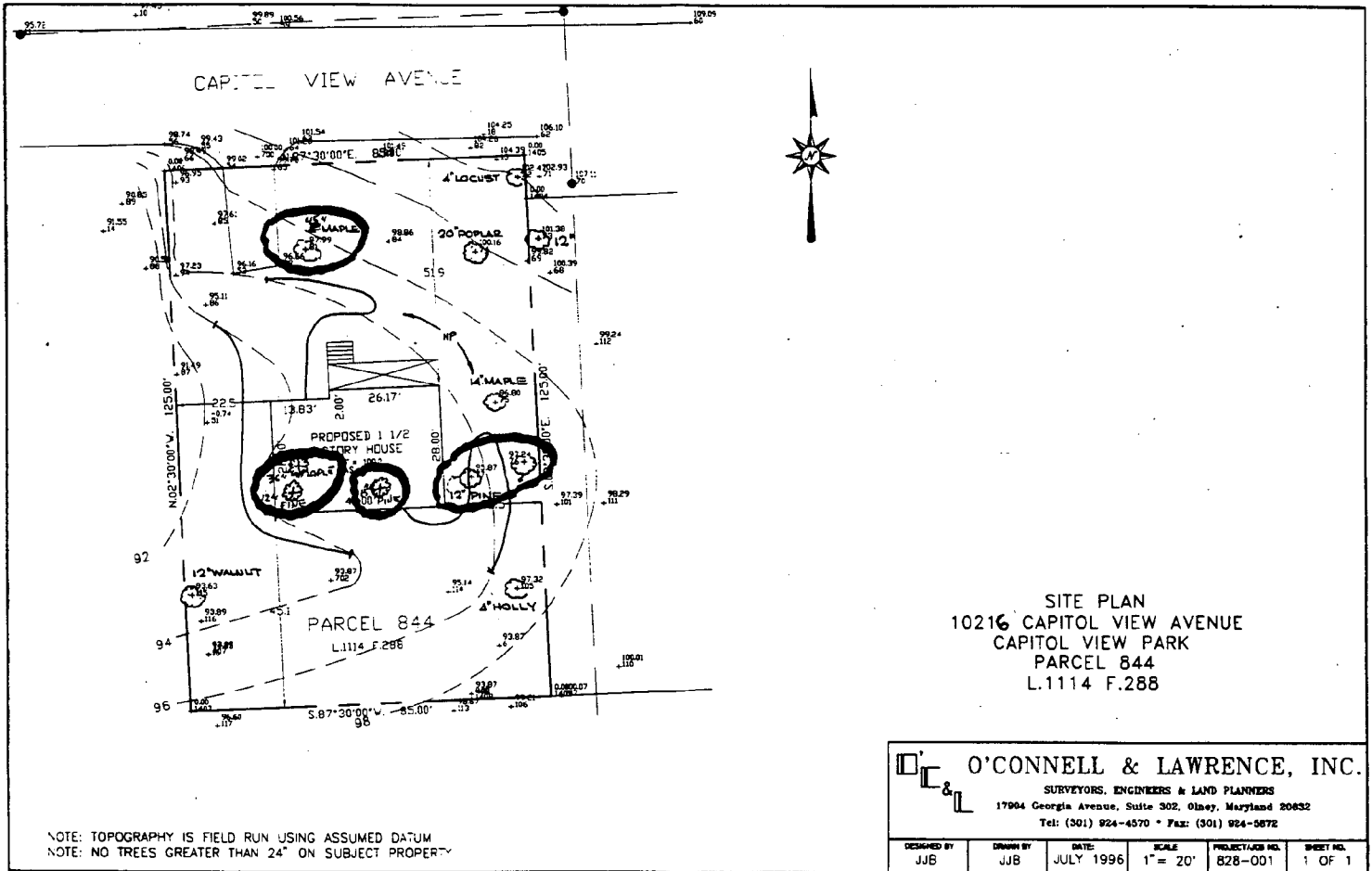
 HISTORIC DISTRICT BOUNDARY

HISTORIC RESOURCES

-  1870-1916
-  1917-1935
-  NOMINAL
-  SPATIAL

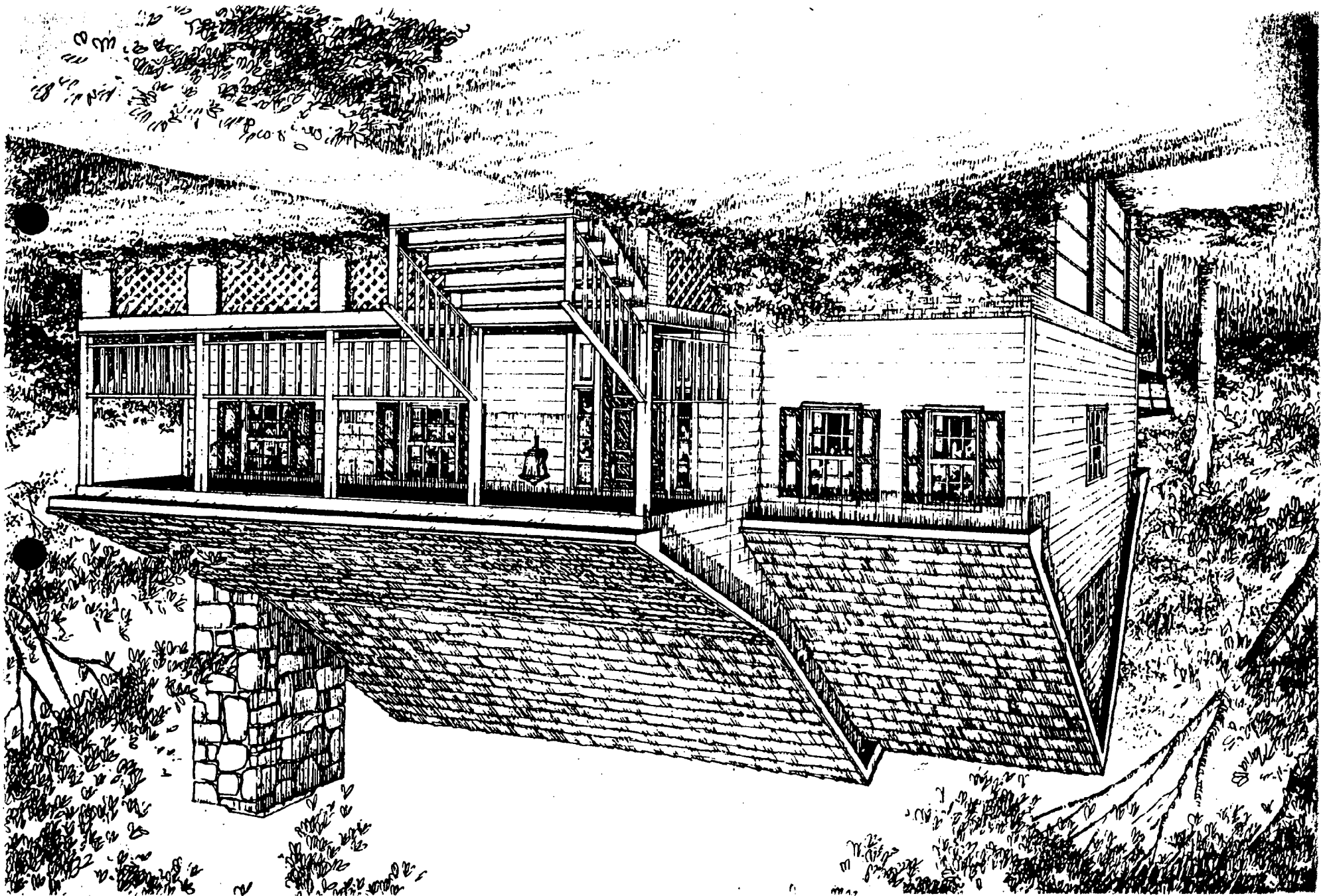
M.N.C.P.B.P.C.  
P749

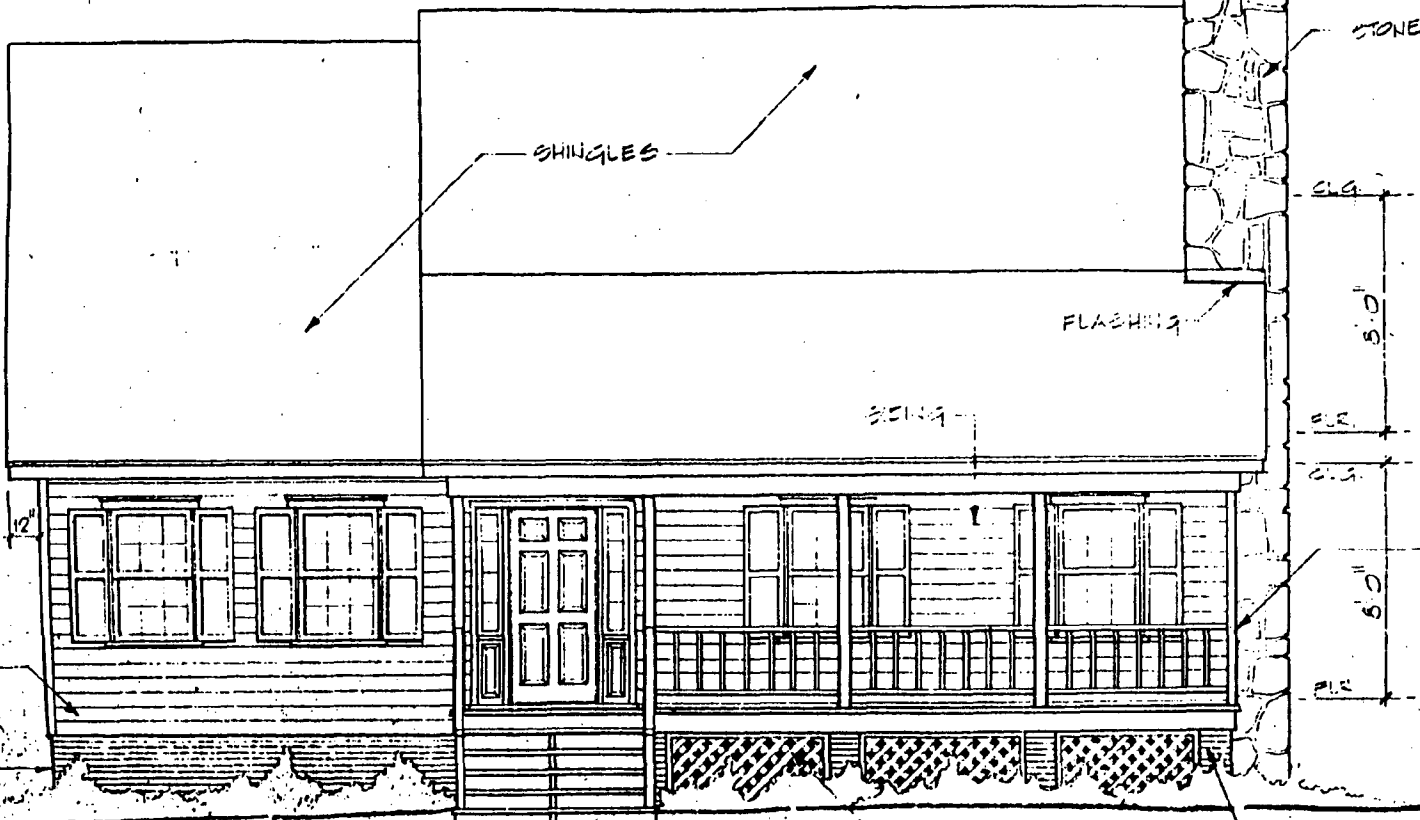
# TREES PROPOSED FOR REMOVAL



SITE PLAN  
10216 CAPITOL VIEW AVENUE  
CAPITOL VIEW PARK  
PARCEL 844  
L.1114 F.288

<b>O'CONNELL &amp; LAWRENCE, INC.</b> SURVEYORS, ENGINEERS & LAND PLANNERS 17904 Georgia Avenue, Suite 302, Olney, Maryland 20832 Tel: (301) 924-4570 • Fax: (301) 924-0872					
DESIGNED BY	DRAWN BY	DATE	SCALE	PROJECT/JOB NO.	SHEET NO.
JJB	JJB	JULY 1996	1" = 20'	828-001	1 OF 1



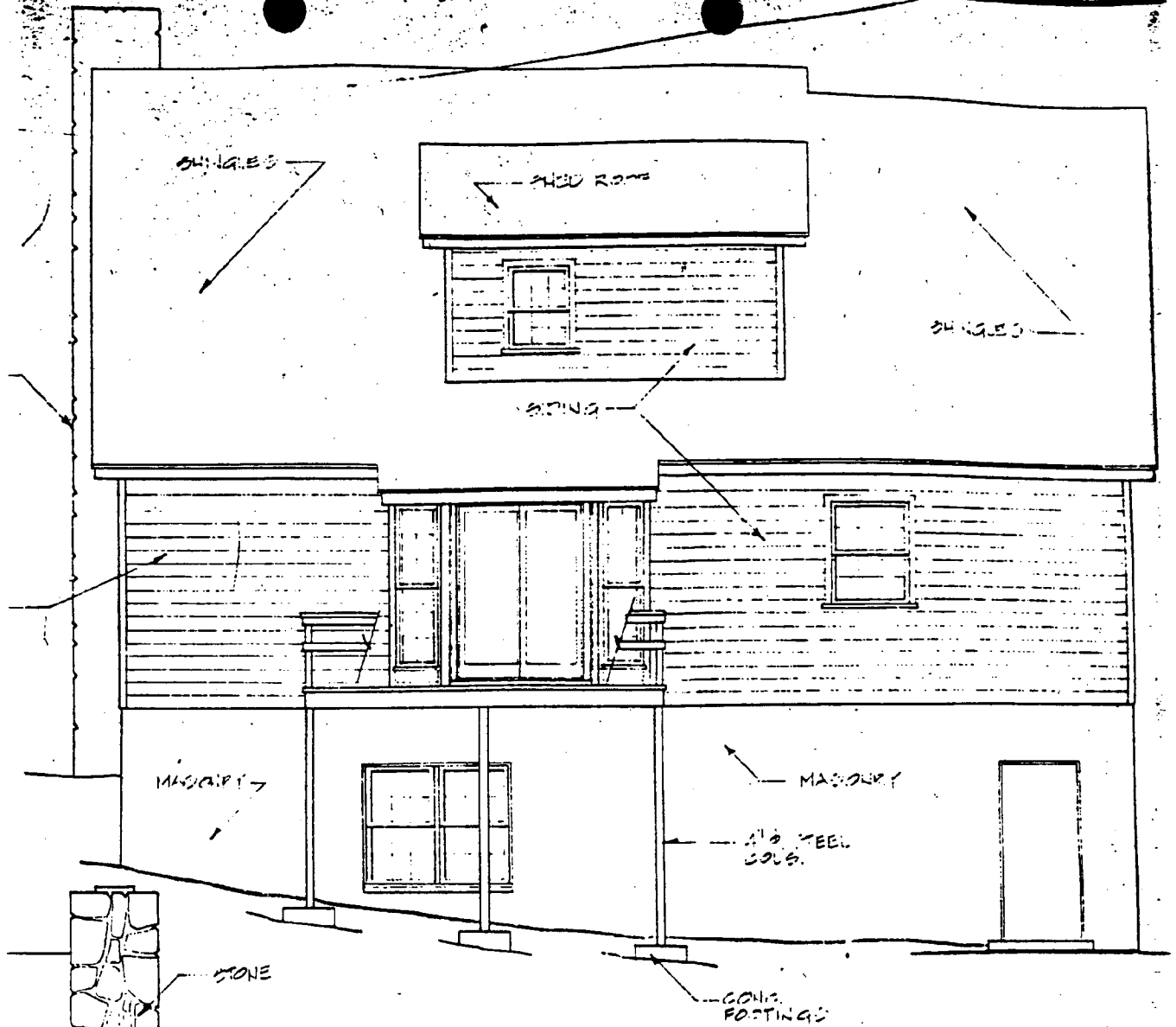


REAR - EL

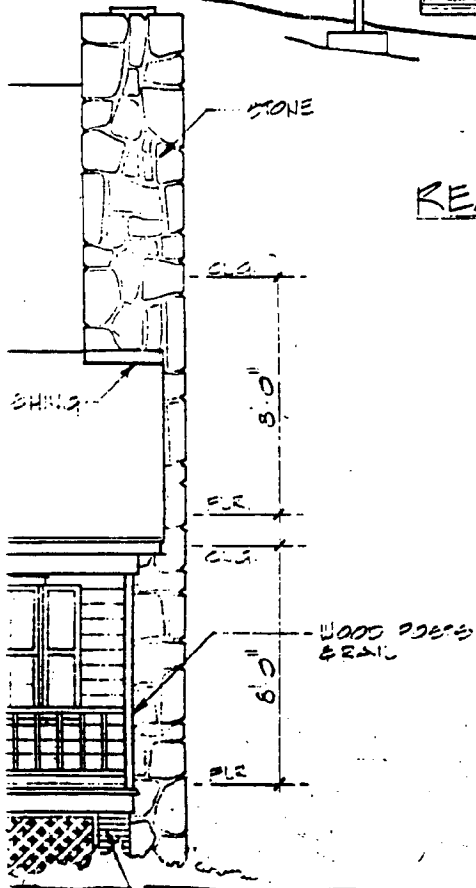
FRONT ELEVATION + 1/32" = 1'-0"

NOTE CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE STARTING CONSTRUCTION.





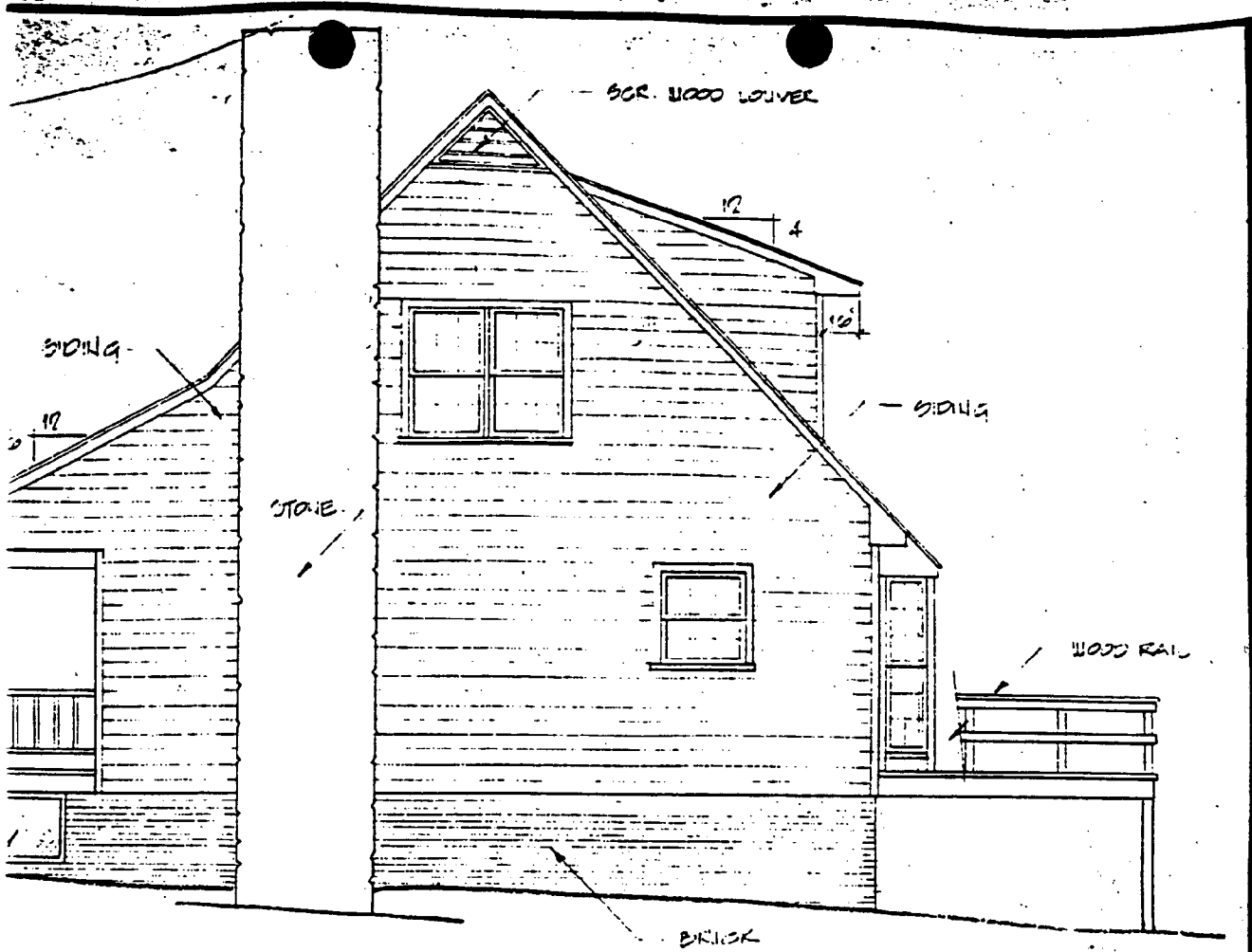
REAR ELEVATION  $\frac{1}{4}'' = 1'-0''$



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 MEMBER OF AMERICAN INSTITUTE OF BUILDING DESIGN

**W. L. Corley Plan Service**  
 P. O. BOX 90430 • ATLANTA, GEORGIA 303

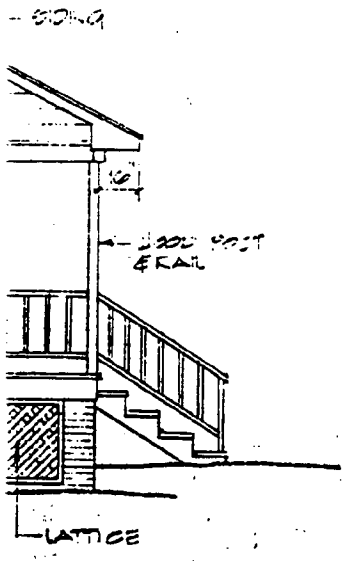




RIGHT-SIDE-ELEVATION  $\frac{1}{4}'' = 1'-0''$



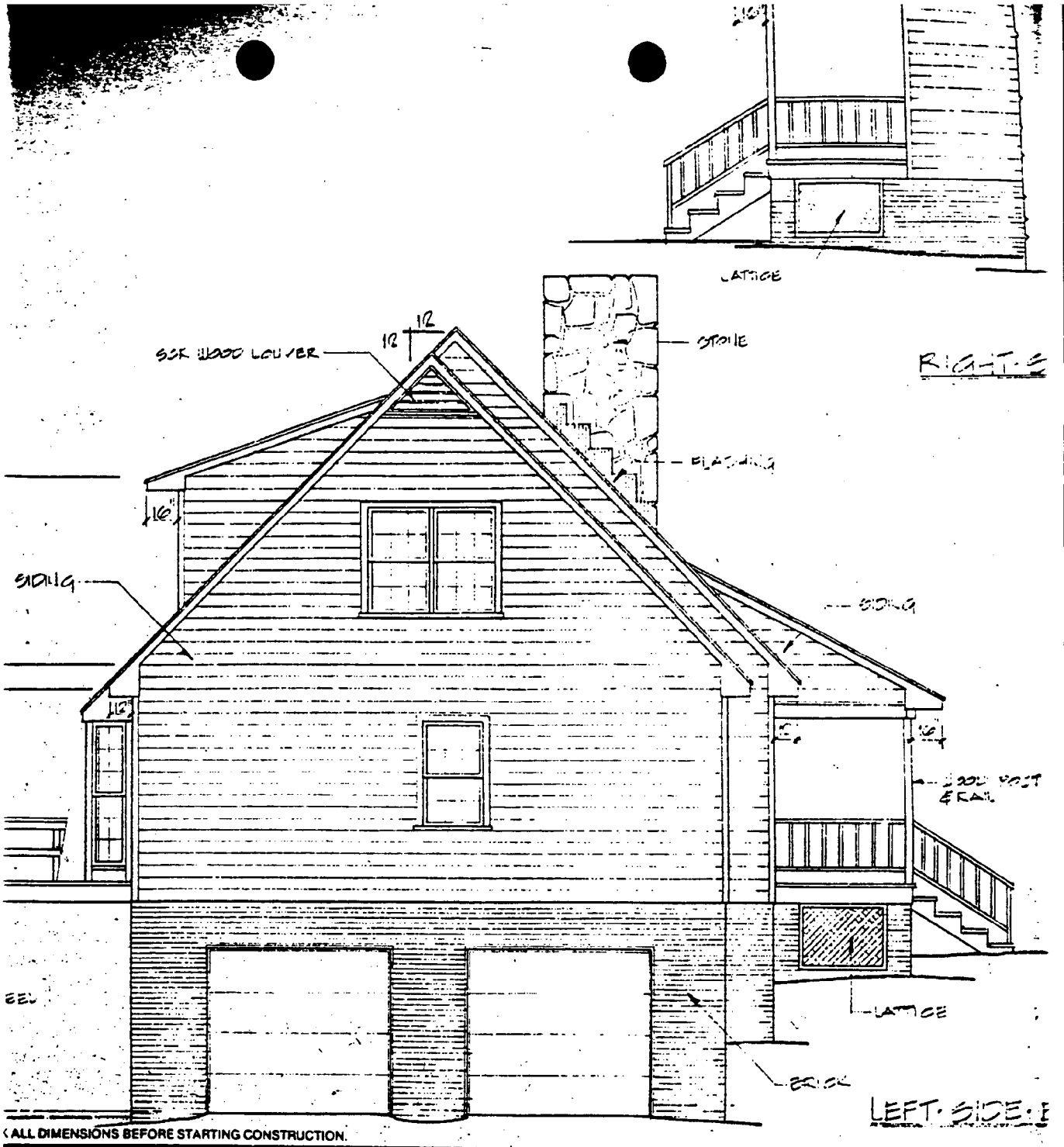
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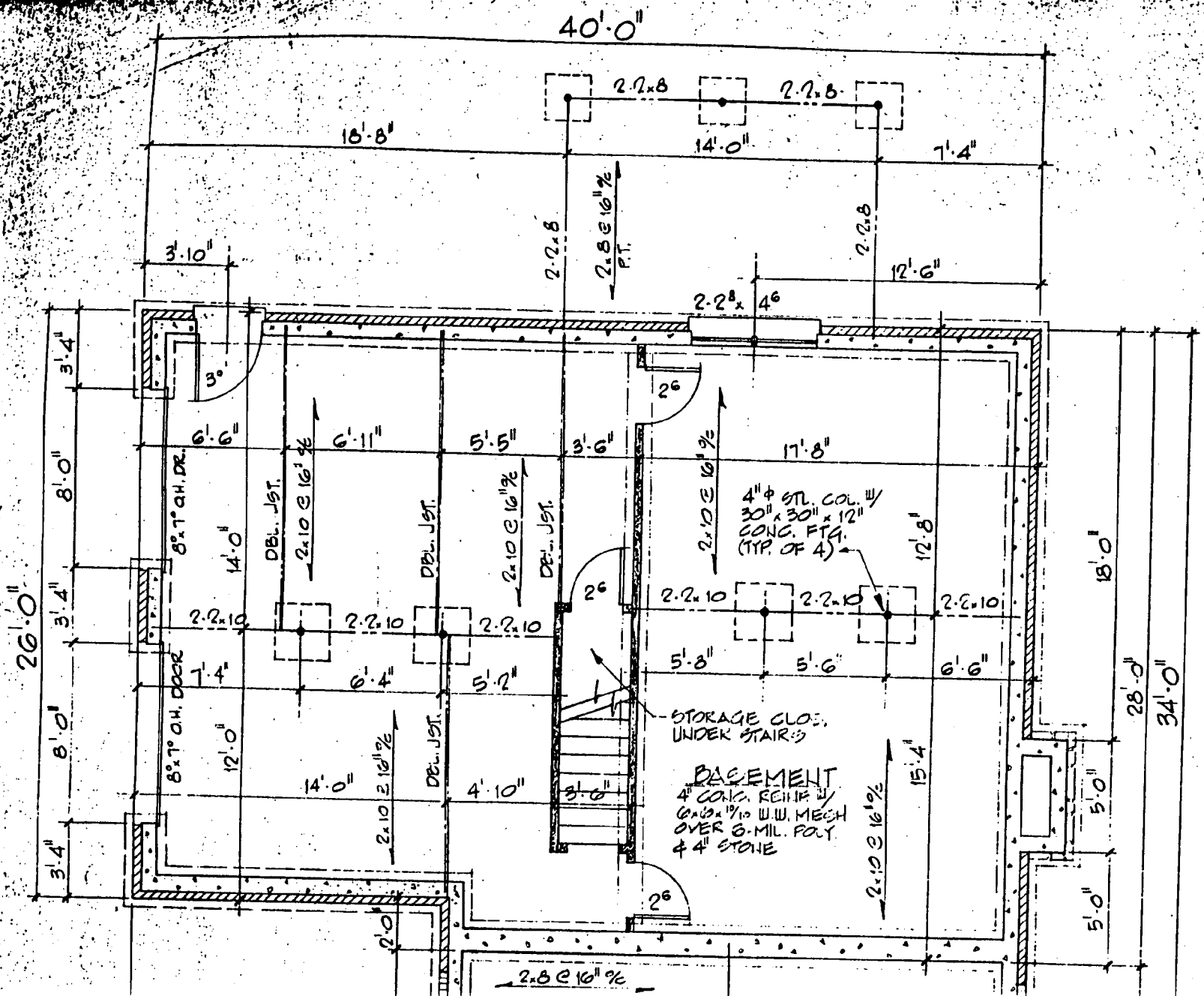
**W. L. Corley Plan Service, Inc.**  
 P. O. BOX 90430 • ATLANTA, GEORGIA 30364



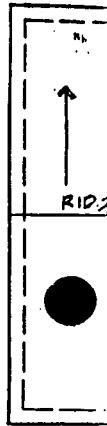
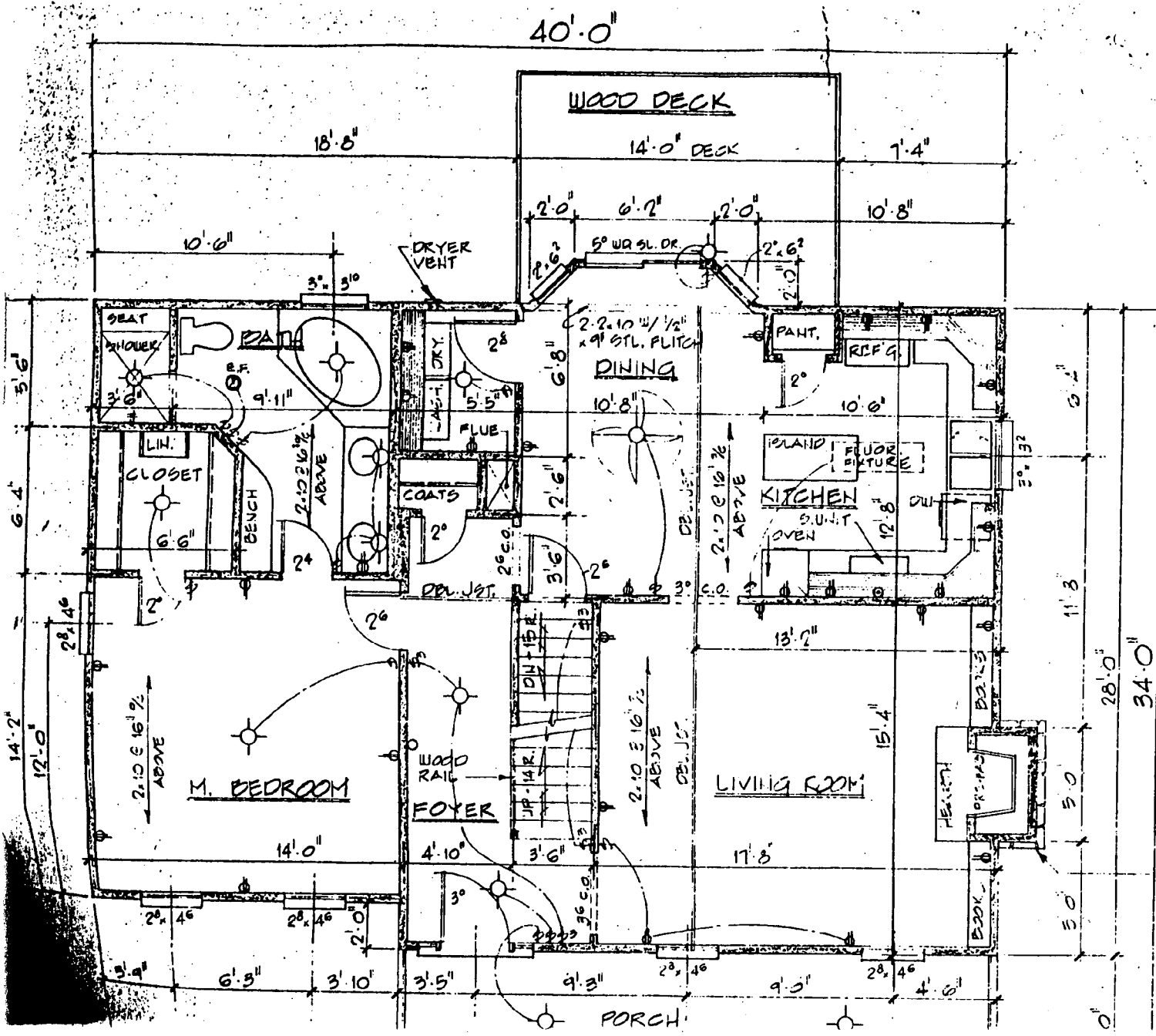
SHEET



ALL DIMENSIONS BEFORE STARTING CONSTRUCTION.



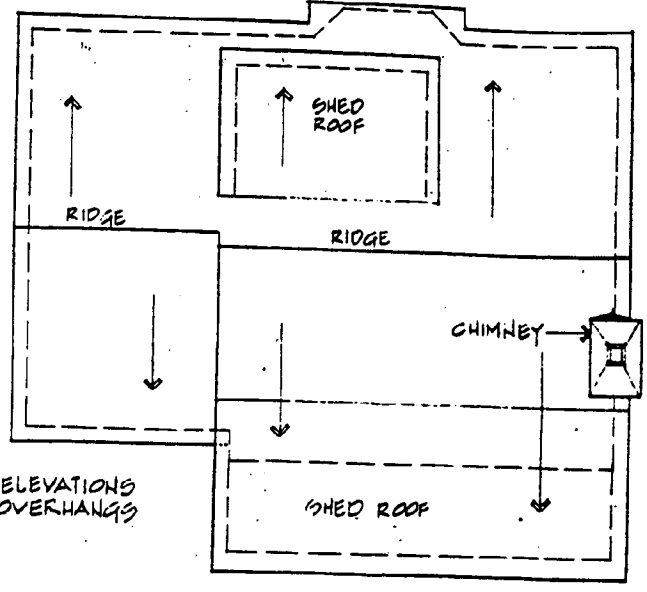
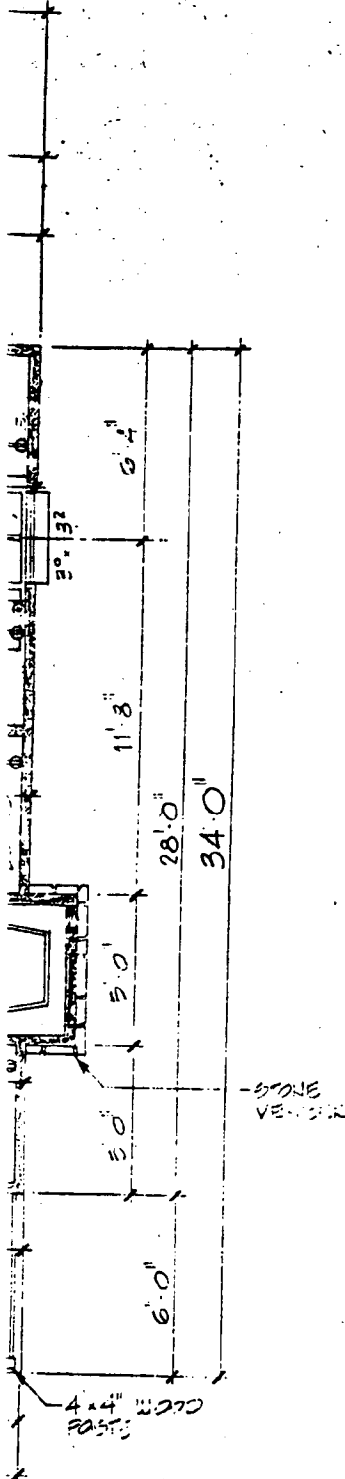
(6)



\* SEE ELEVATION FOR OVERHANG

ROC





\*SEE ELEVATIONS FOR OVERHANGS

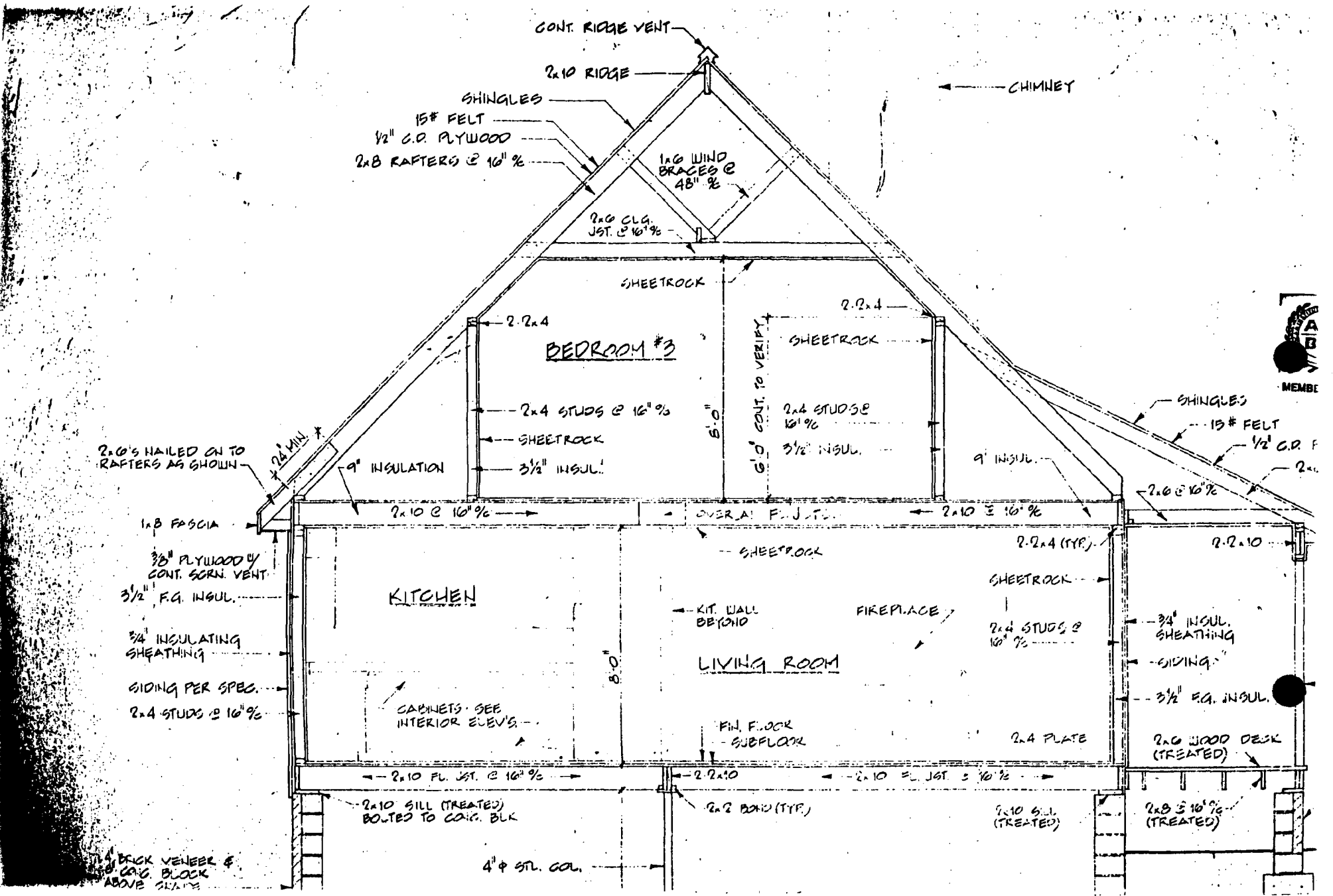
ROOF PLAN 1/8" = 1'-0"



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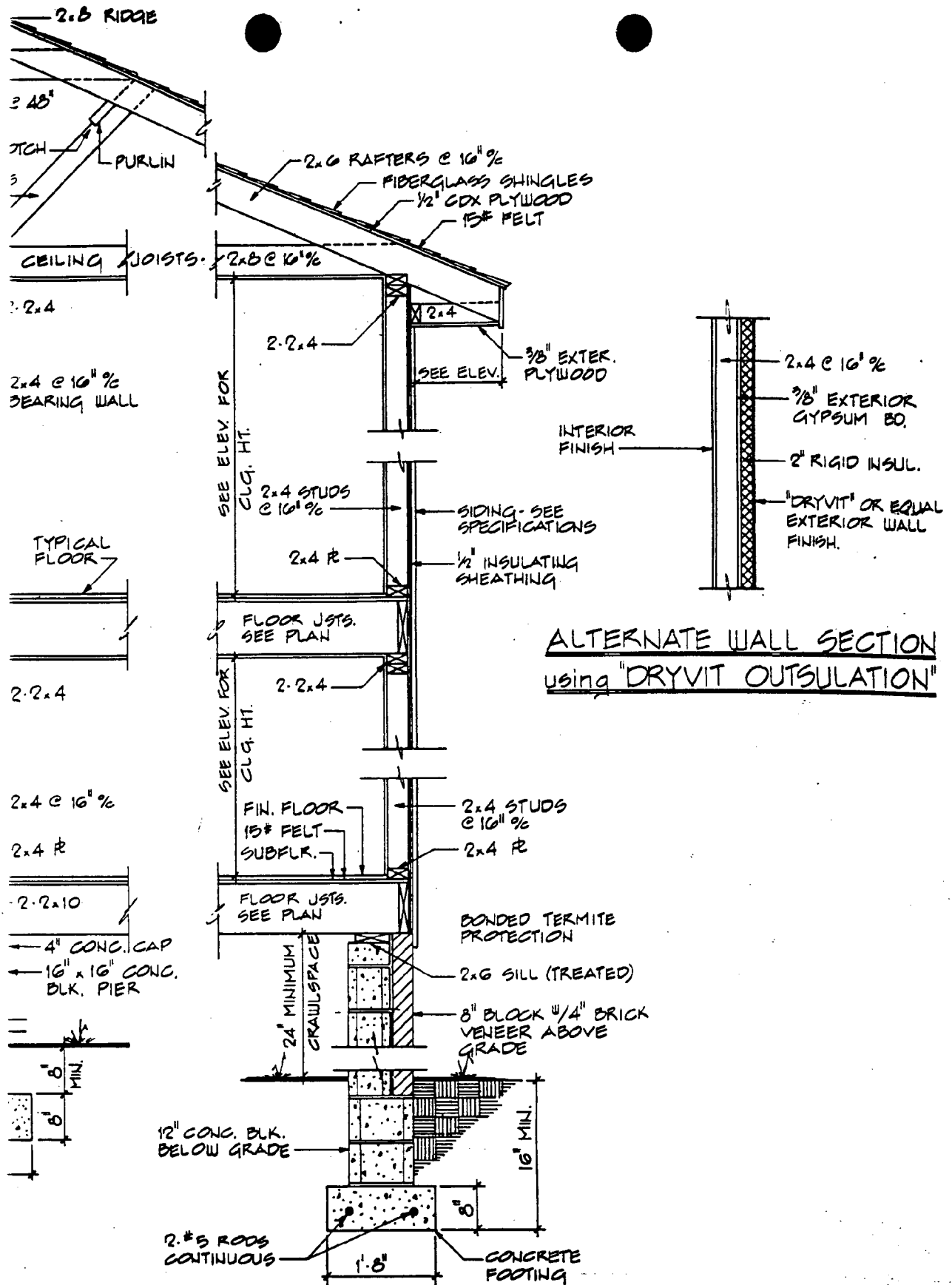
26

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# SPECIFICATIONS FOR ENERGY EFFICIENCY

1. CAULK & CHINK AROUND ALL EXTERIOR DOORS, WINDOWS, ELECTRICAL OUTLETS, PIPES, AND ALL CANTILEVERED OVERHANGS. COVER THESE AREAS WITH VAPOR BARRIER.
2. WINDOWS TO BE INSULATED GLASS AND/OR STORM SASH. REDUCE GLASS AREA ON NORTH & WEST SIDES OF HOUSE AS MUCH AS POSSIBLE.
3. USE METAL CLAD FOAM CORE EXTERIOR DOORS WITH MAGNETIC WEATHERSTRIPPING.
4. FOR AMOUNT OF RECOMMENDED INSULATION, SEE CHART BELOW.
5. USE THERMOSTATICALLY CONTROLLED POWER VENTILATOR FOR ATTIC VENTILATION AND/OR CONTINUOUS RIDGE AND SOFFIT VENTS.

NOTE: SOME OF THESE SPECIFICATIONS MAY SHOW GREATER REQUIREMENTS THAN THE ACTUAL CONSTRUCTION PLANS. IN THAT CASE, THE INFORMATION ON THIS SHEET SHOULD TAKE PRECEDENCE.

IN ENERGY EFFICIENT HOUSING, SPECIAL EMPHASIS SHOULD BE PLACED ON MINIMUM INFILTRATION AROUND WINDOWS, DOORS, ELECTRICAL BOXES, PIPES, & CANTILEVERED AREAS.

GLASS AREAS SHOULD BE LIMITED AND DOUBLE GLAZING OR STORM SASH ARE OF GREAT VALUE. ADEQUATE ATTIC VENTILATION SHOULD BE PROVIDED.

THE DEGREE OF ENERGY EFFICIENCY IS DEPENDENT ON BOTH QUALITY OF WORKMANSHIP AND QUANTITY OF INSULATION.

S RIDGE VENT

ANGLES  
FELT  
DECKING



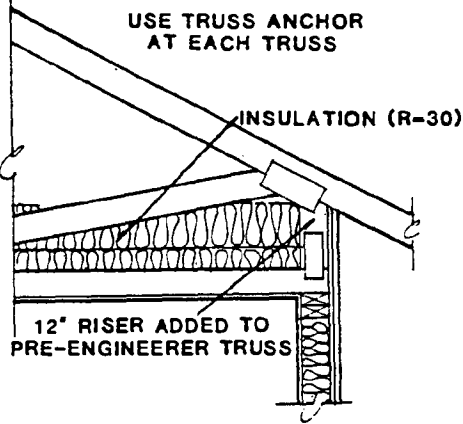
VENT

WOOD GUSSET

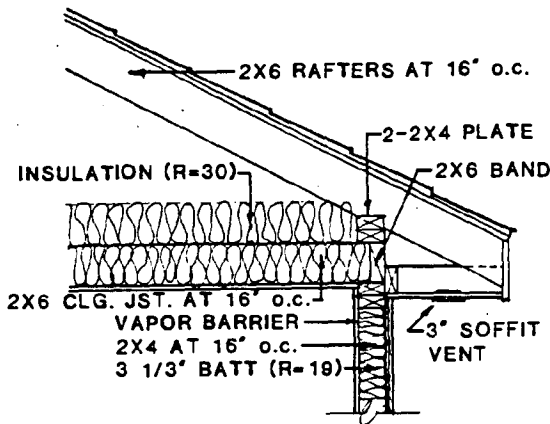
2X12 RAFTERS

1 1/2" MIN.  
AIR SPACE

CEILING



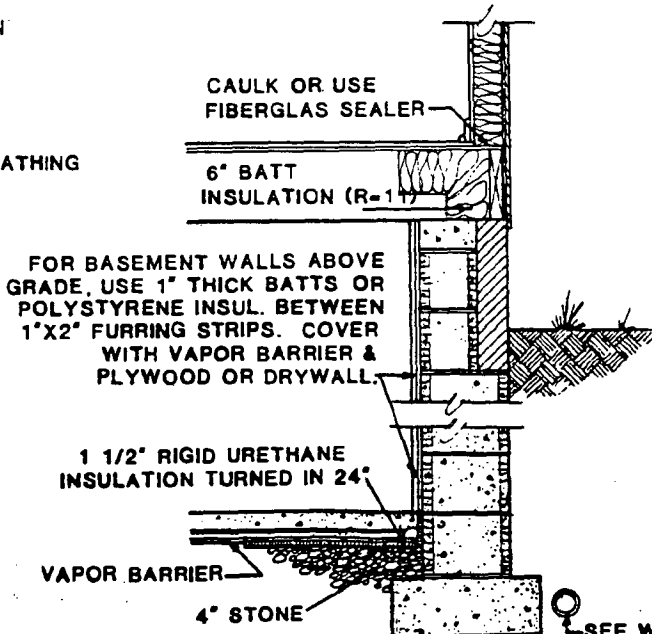
TRUSS DETAIL



3

N

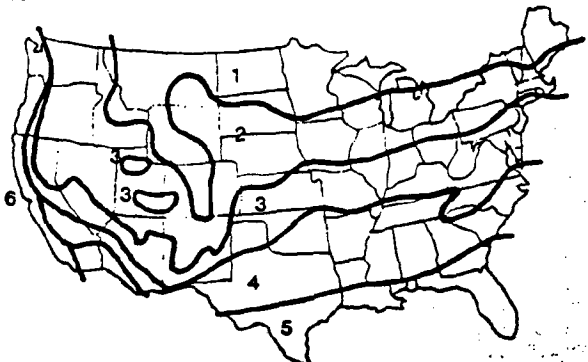
CEILING



TYPICAL WALL SECTION

## NEW (R-VALUE) INSULATION STANDARDS

RECOMMENDED FOR PASSIVE SOLAR HOMES			
REGION	CEILING	WALLS	FLOOR
ZONE 1	38	19	22
ZONE 2	33	19	22
ZONE 3	30	19	19
ZONE 4	26	19	11
ZONE 5	26	13	11
ZONE 6	19	11	11



THIS MAP IS REASONABLY ACCURATE FOR MOST PARTS OF THE U.S. BUT IS NECESSARILY HIGHLY GENERALIZED & CONSEQUENTLY NOT TOO ACCURATE IN MOUNTAINOUS REGIONS, PARTICULARLY IN THE ROCKIES.

W. L. Corley Plan Service, Inc.

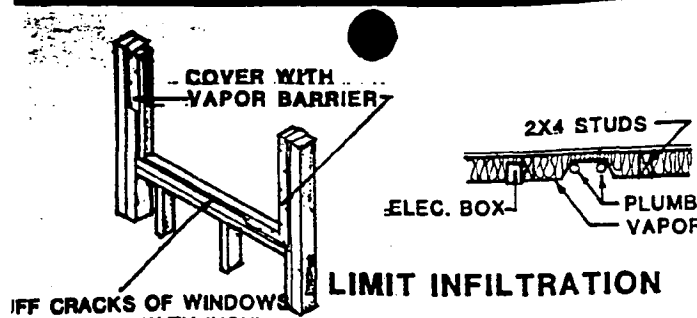
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SEE WATERPROOFING  
DETAIL

ENERGY SAVING

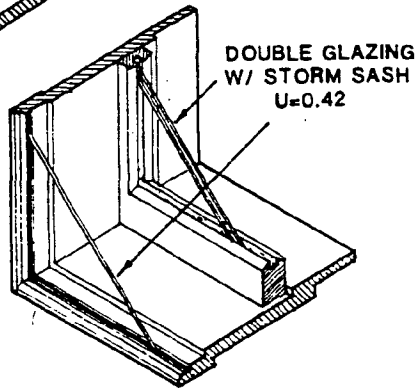
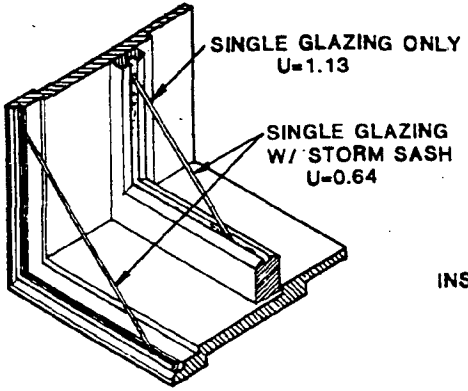
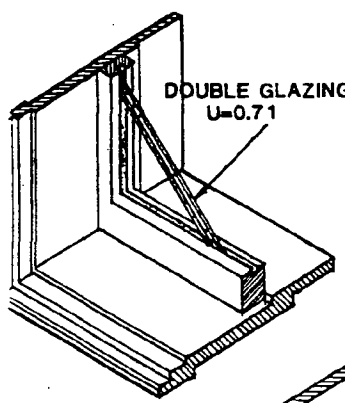
SHEET





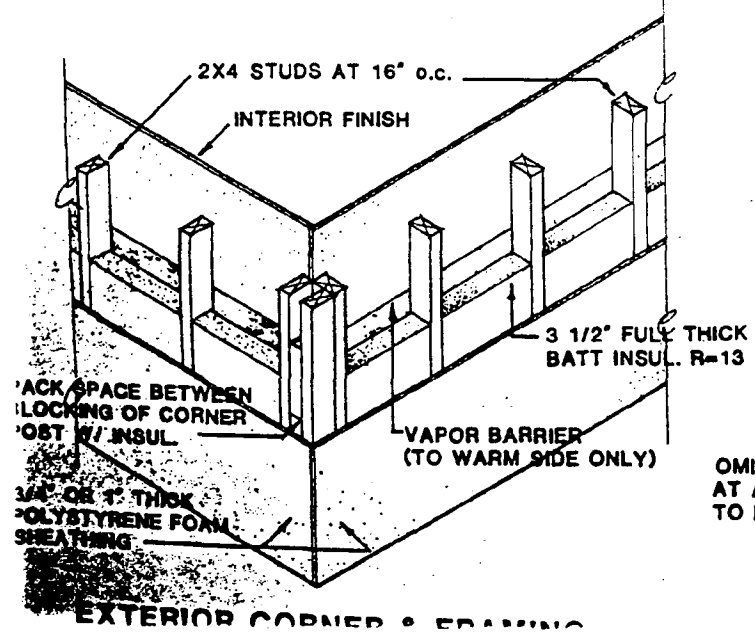
SEAL OFF CRACKS OF WINDOWS  
EXT. DOORS WITH INSUL.  
USE 'MONOFOAM'  
POLYMERIC FOAM SEALANT

**LIMIT INFILTRATION**

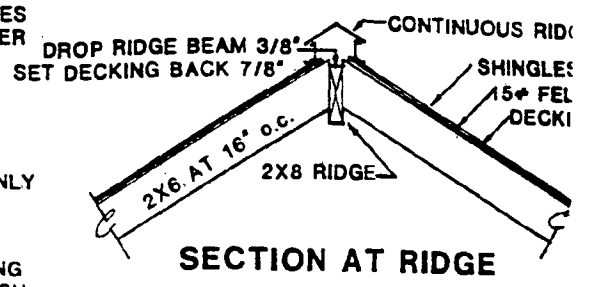


**INCREASE WINDOW GLAZING**

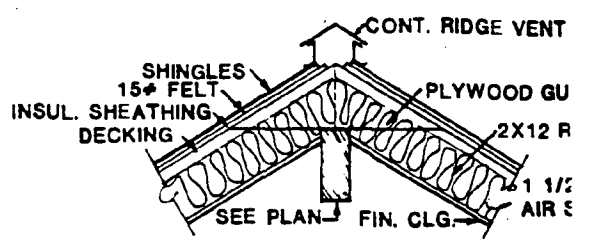
NOTE: WITH FOIL FACED FOAM SHEATHING, USE  
6-MIL. POLYETHYLENE VAPOR BARRIER INSIDE



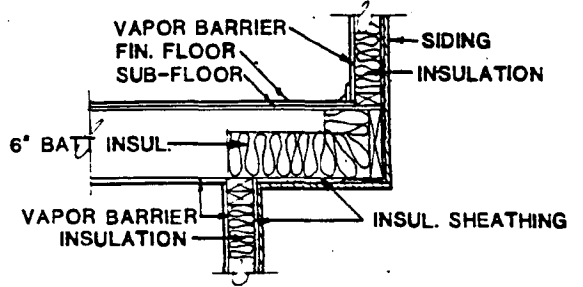
**EXTERIOR CORNER & FRAMING**



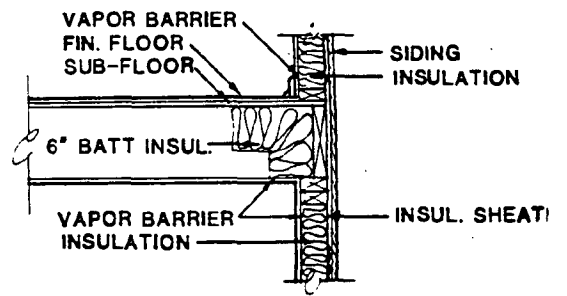
**SECTION AT RIDGE**



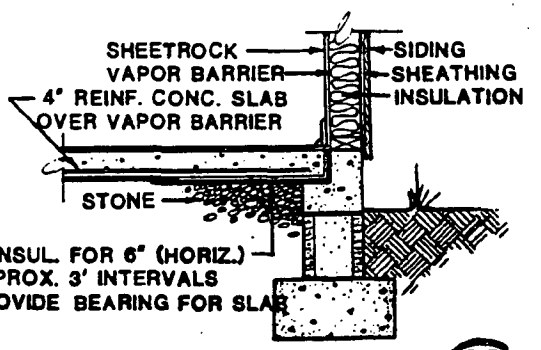
**SECTION AT CATHEDRAL CEIL**



**SECTION AT CANTILEVER**

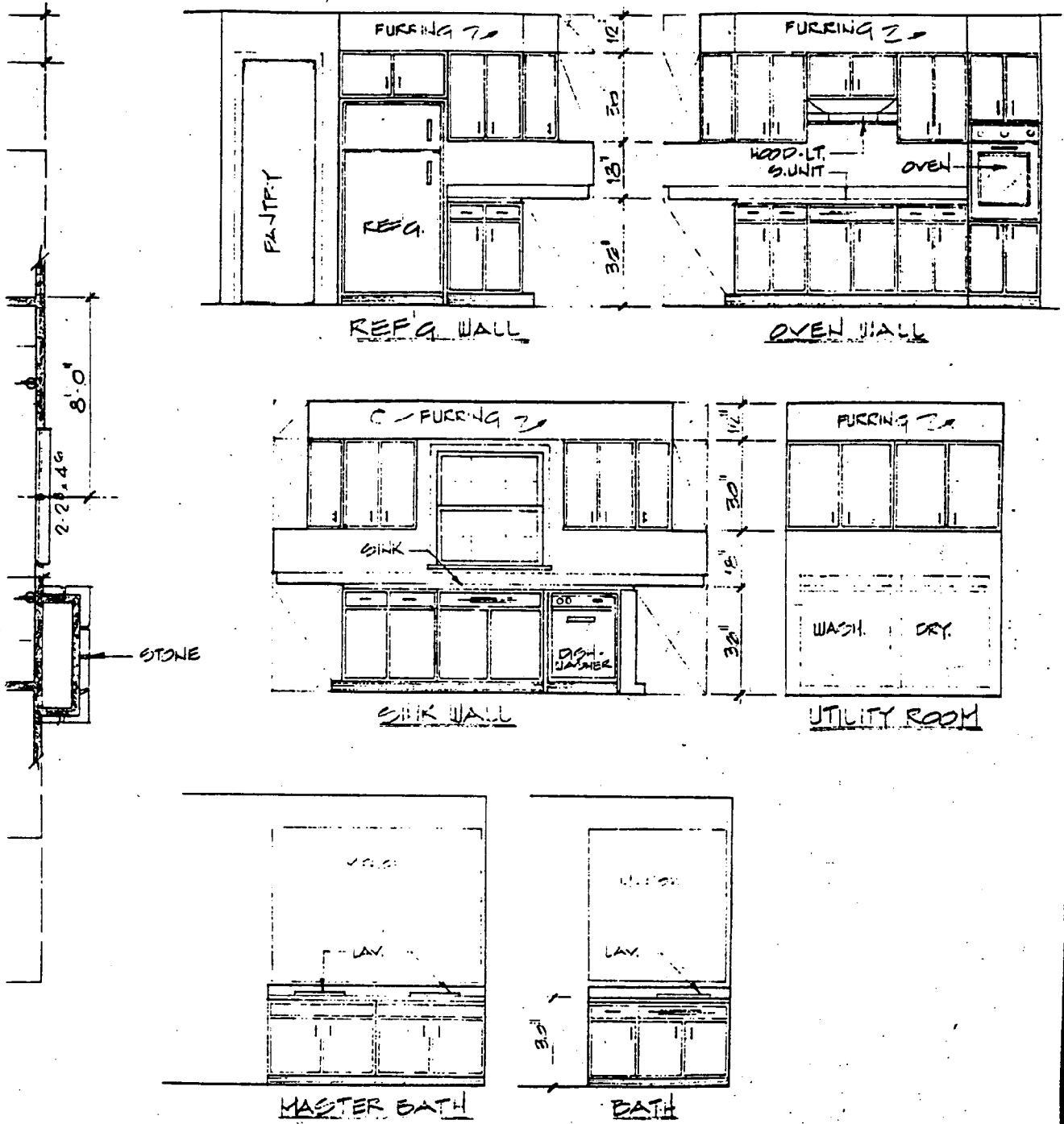


**SECTION AT 2ND FLOOR**



OMIT INSUL. FOR 6" (HORIZ.)  
AT APPROX. 3' INTERVALS  
TO PROVIDE BEARING FOR SLAB

**SECTION AT SLAB FLOOR**



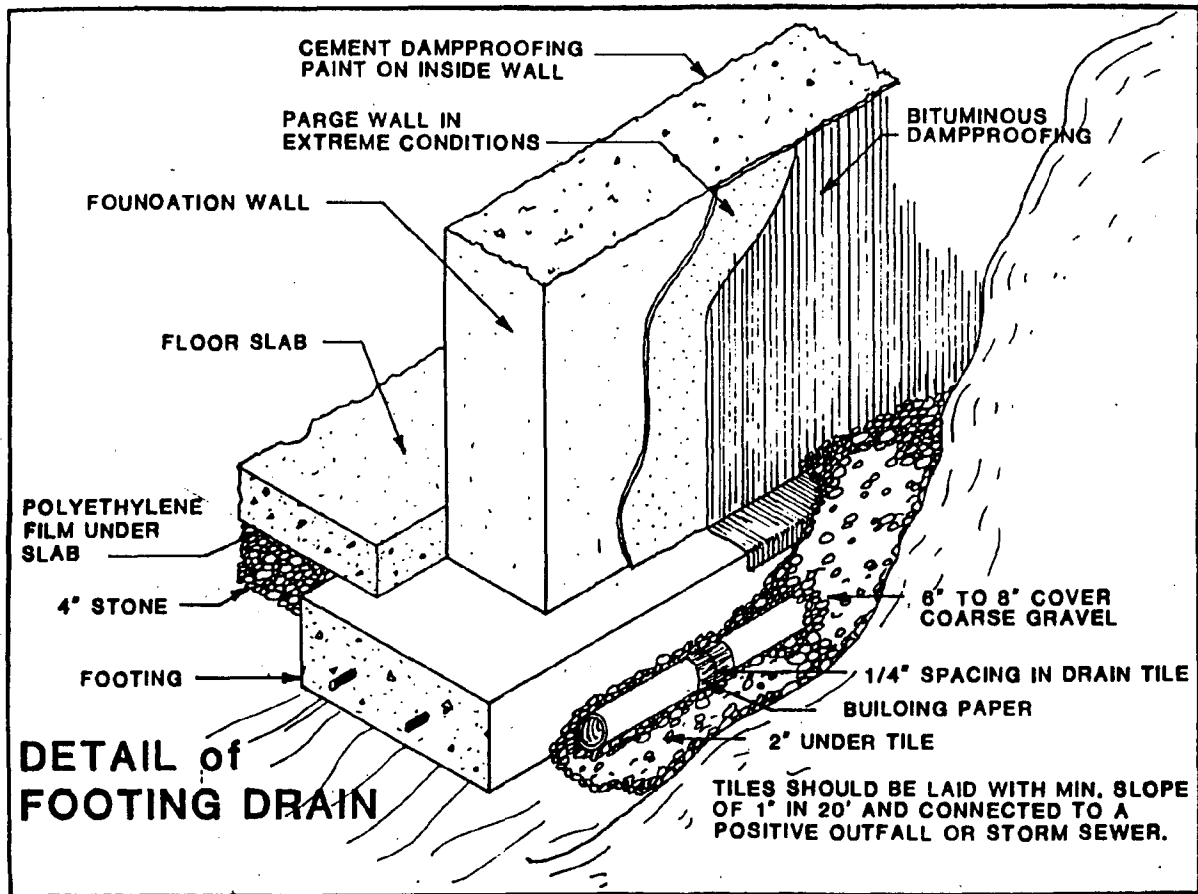
KITCHEN CABINET & VANITY ELEVATIONS — 1/8" = 1'-0"

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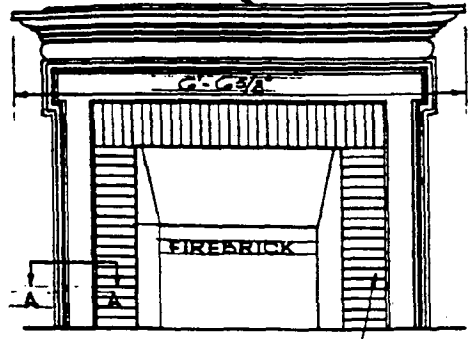
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28

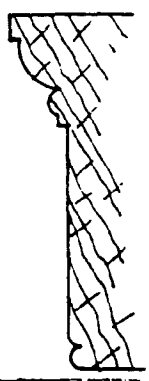
SHEET



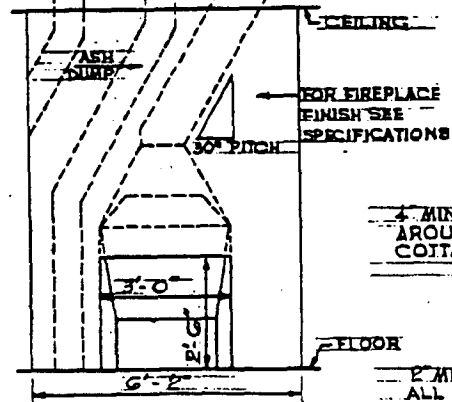
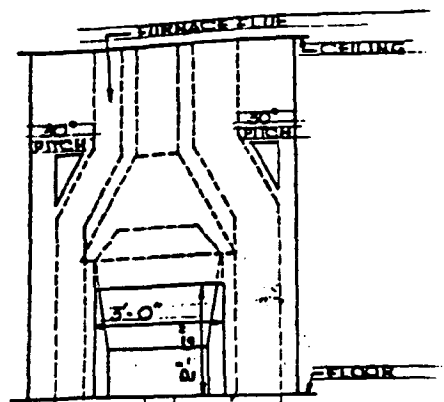
SEE SPECIFICATIONS FOR WALL FINISH  
 STYLE OF MANTEL BY OWNER



**ELEVATION**  
 SEE SPECIFICATIONS FOR FACING MATERIAL



**SECTION A-A**  
 1/2" SCALE



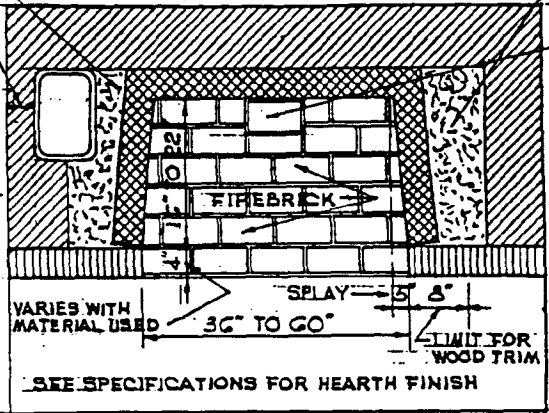
**STACKED ELEVATION**

SCALE 3/4" = 1'-0"

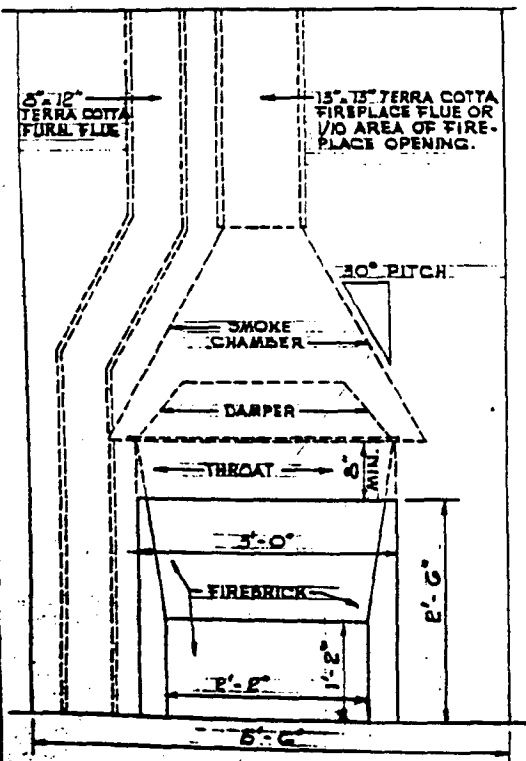
4" MIN. OF MASONRY AROUND 8" x 12" TERRA COTTA FLUE

2" MIN. CLEAR OF ALL WOOD FRAMING

5'-6" MIN. INCREASED TO 6'-2" WHEN STACKED FIREPLACES ARE USED.



**TYPICAL PLAN** SCALE 3/4" = 1'-0"



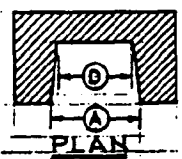
**ELEVATION**

SCALE 3/4" = 1'-0"

NOTE CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE STARTING

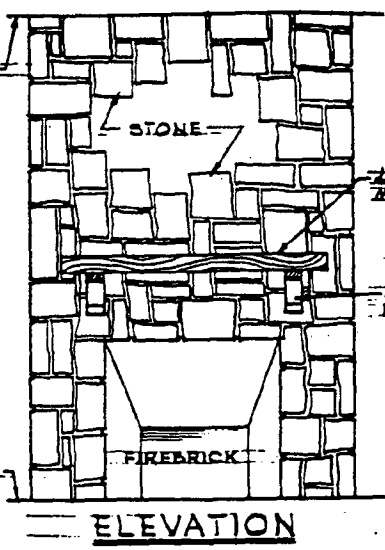
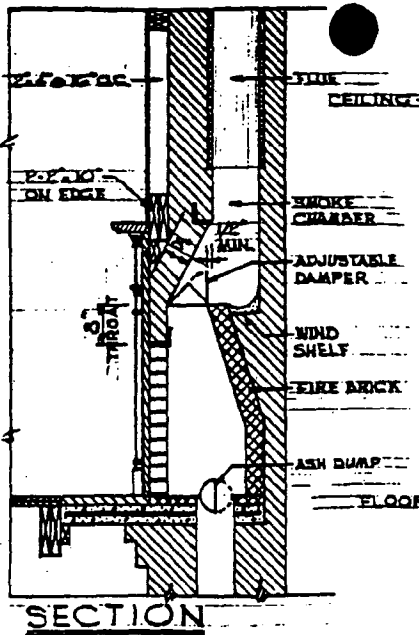
NOTE: USE THIS TABLE WHEN FIREPLACE OPENING WIDTH IS INCREASED (INCREASE OVERALLS PROPORTIONATELY)

DIMENSIONS TABLE					
A	B	C	D	E	F
36"	30"	16"	26"	14"	8 1/2"
42"	30"	16"	33"	14"	8 1/2"
48"	33"	18"	36"	14"	8 1/2"

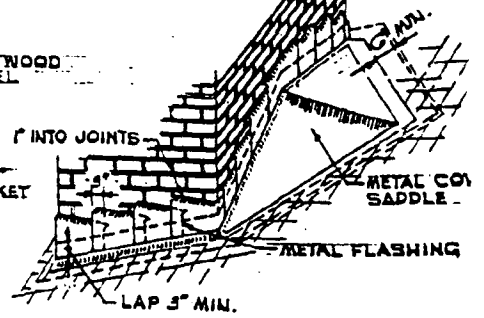


PLAN





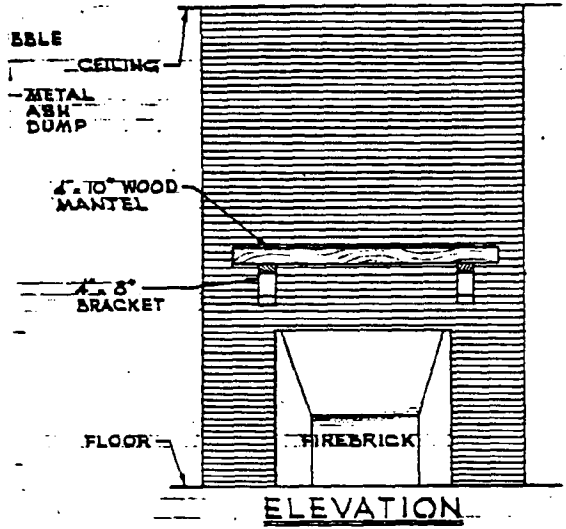
NOTE: EXTEND CHIMNEY 2' ABOVE ANY PART OF ROOF WITHIN 10'



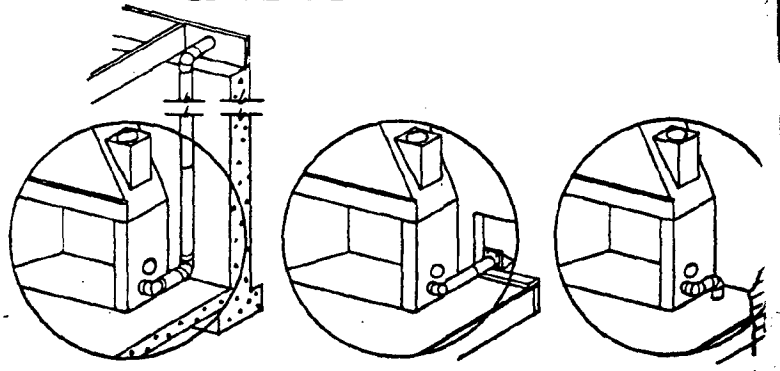
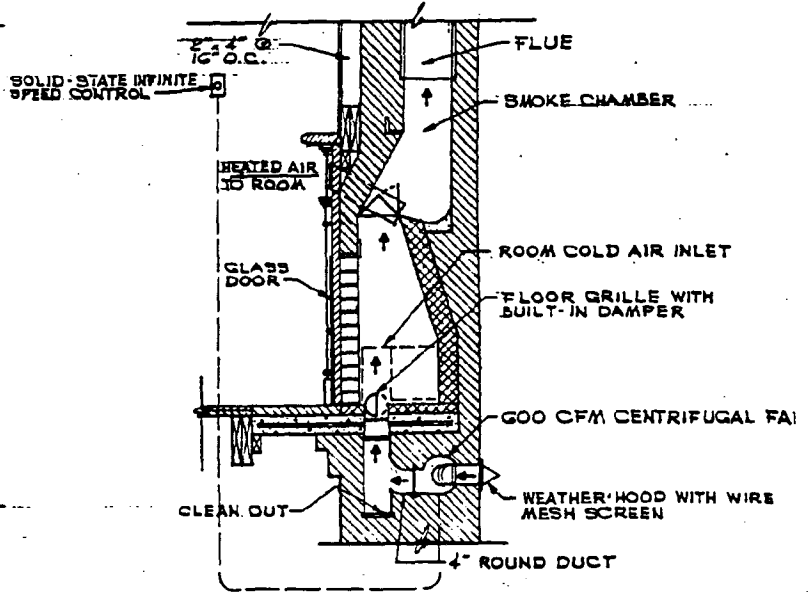
**CHIMNEY FLASHING**  
NO SCALE

**SECTION**

**ELEVATION**



**ELEVATION**

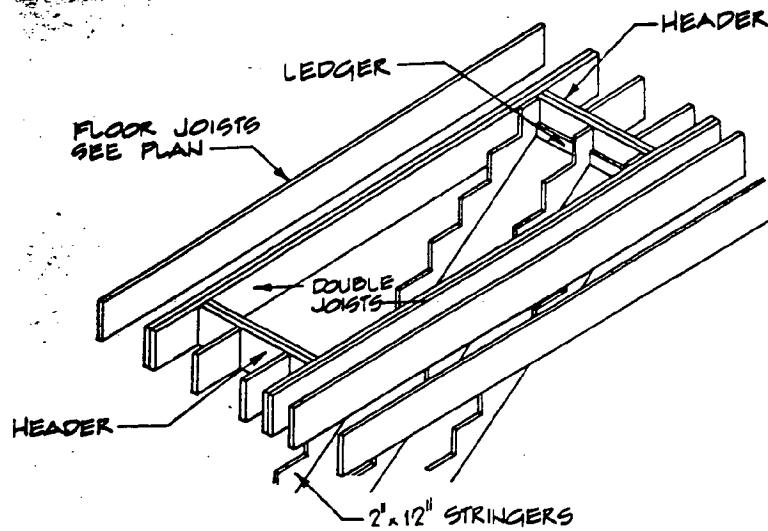


**TYPICAL OUTSIDE AIR INTAKE**

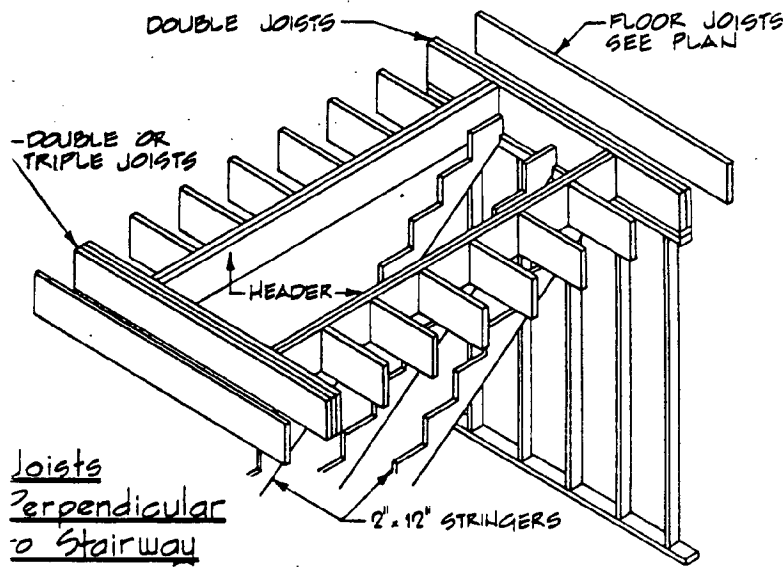
NO SCALE

30

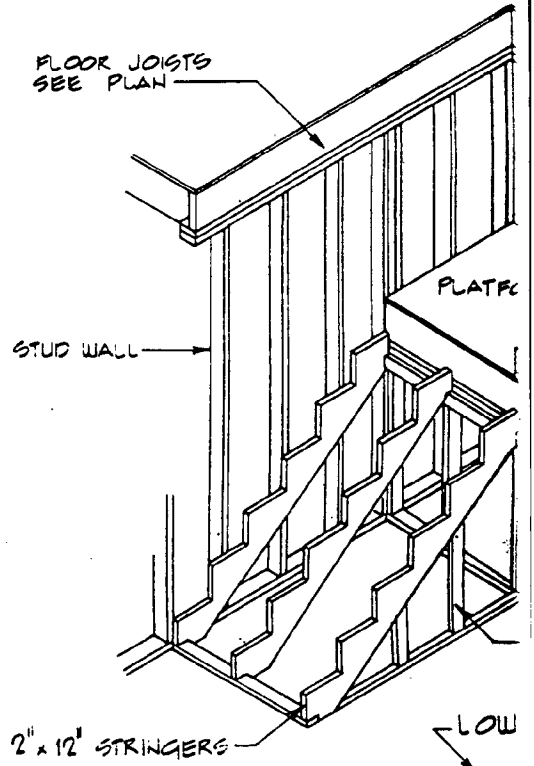




Floor Opening - Joists Parallel to Stairway

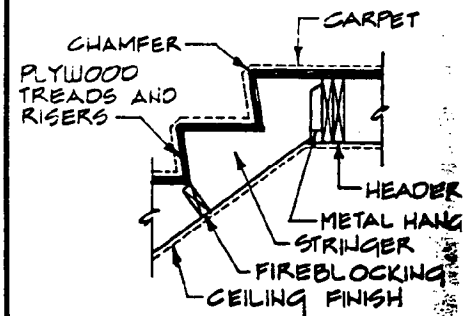
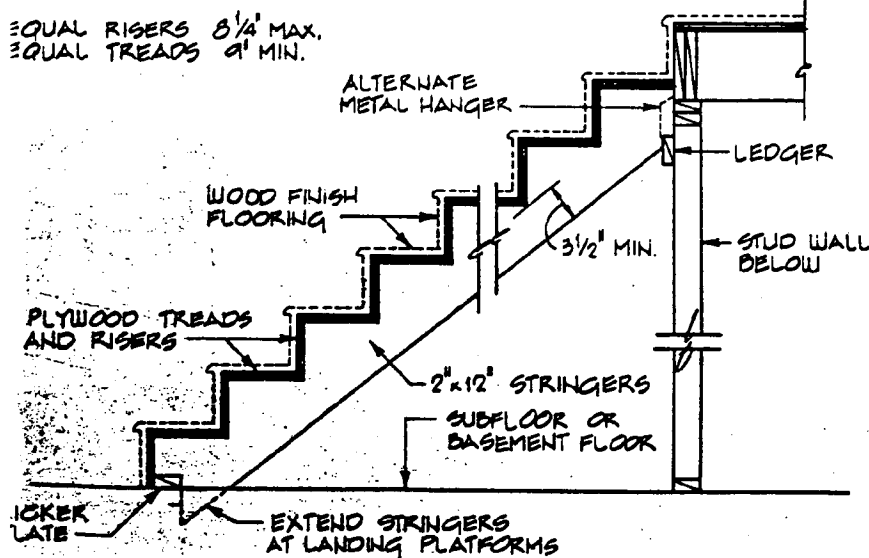


Joists Perpendicular to Stairway

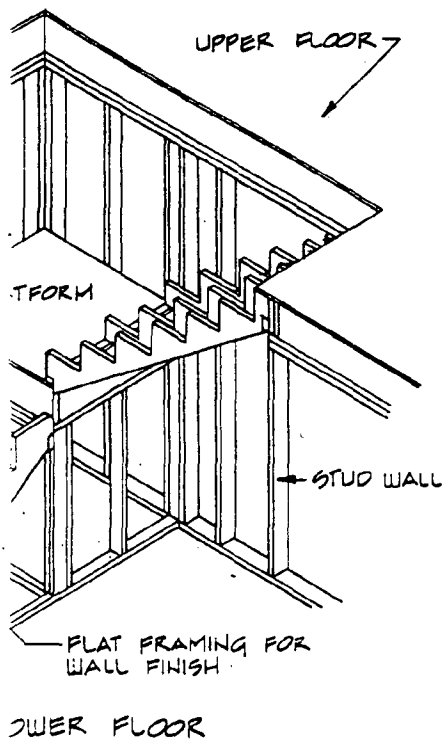


Typical Turned Stair

NOTE: For Pre-manufactured Staircases, See Manufacture



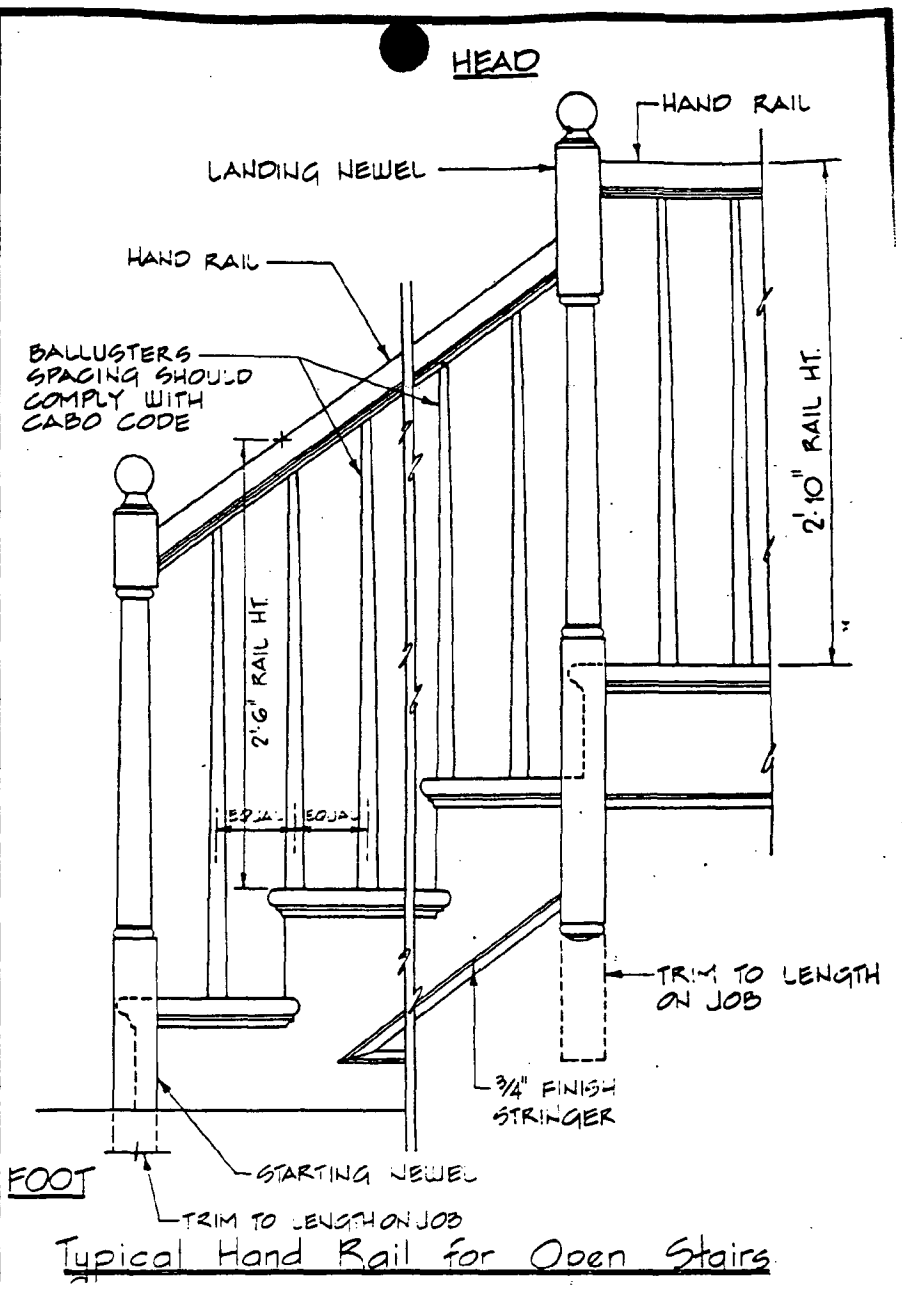
Detail @ Carpeted Stair



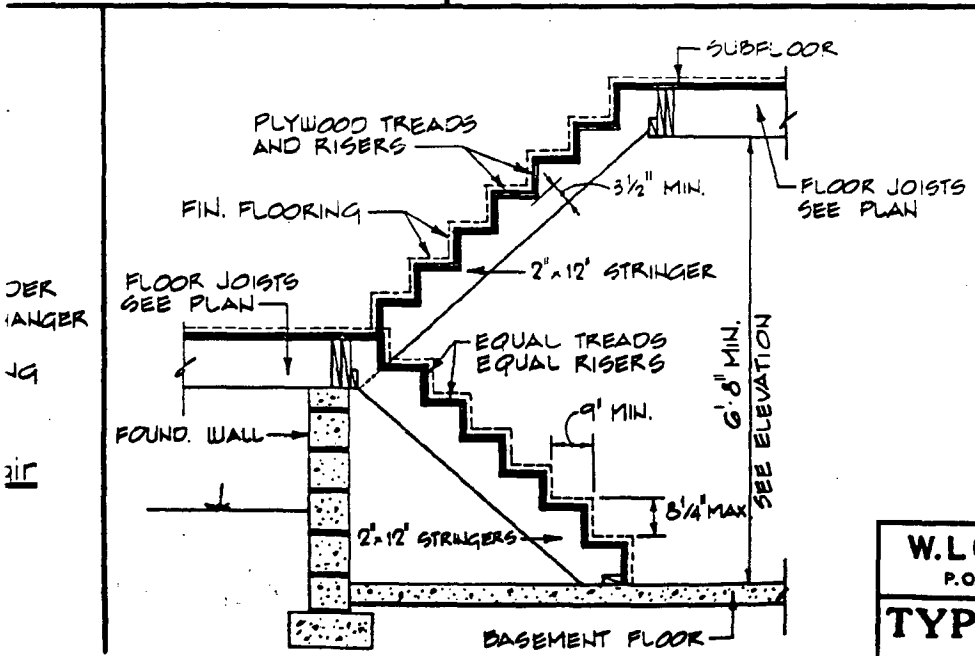
Stair Framing Detail

Structural Spiral or Circular

Manufacturer's Details



Typical Hand Rail for Open Stairs



W. L. Corley Plan Service, Inc.

P. O. BOX 90430 • ATLANTA, GEORGIA 30384

TYPICAL STAIR SHEET

**W. L. CORLEY PLAN SERVICE**  
 1677 Dorsey Avenue  
 East Point, Georgia 30344

FOR ESTIMATING PURPOSES ONLY. CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION

QUANTITY	DISCRIPTION	UNIT PRICE	EXTENSION
	FOUNDATION		
8 yds.	1-2-4 concrete		
15 yds.	1-3-5 concrete		
125 ea.	8x12x16 block		
903 ea.	8x8x16 block		
118 ea.	4x8x16 cap block		
6300 ea.	face brick		
102 bag	mortar mix		
15 ton	sand		
20 ton	gravel		
	ROUGH HARDWARE		
2 rolls	reni wire		
1 box	wall ties		
7 ea.	1/2" iron col's 8 <sup>0</sup>		
1 ea.	3/4" angle iron		
1 ea.	1/8" " "		
2 ea.	108" " "		
84 lft.	5" G.I. gutter		
96 lft.	downspout		
12 ea.	G.I. elbow		
6 ea.	splash block		
	FIREPLACE		
540 sqft.	stone		
5000 ea.	common brick		
62 bag	mortar mix		
9 ton	sand		
11 ea.	12x12- flus liner		
1 ea.	36" pre-fab		
	FRAMING		
850 lft.	2x10- header, girder & etc.		
3100 lft.	2x4- plates & etc.		
140 lft.	2x6- celcure-sills		



FOR ESTIMATING PURPOSES ONLY. CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION.

QUANTITY	DISCRPTION	UNIT PRICE	EXTENSION
500 lft.	1x4- #2 I.P.		
84 lft.	2x8- ridge & etc.		
47 pc.	2x10-12' floor joist		
50 pc.	2x10-16' " "		
42 pc.	2x10-14' " "		
54 pc.	3/4x8 T&G plywood		
625 pc.	2x4- P.C. studs		
46 pc.	1/2x8 ins. board		
1800 ft.	siding		
66 lft.	2x4- calcure-porch		
66 lft.	2x8- calcure-porch		
9 pc.	2x8-12' calcure-porch		
13 pc.	2x6-12' calcure-porch		
11 pc.	2x6-12' ceiling joist		
19 pc.	2x6-10' " "		
16 pc.	2x8-14' " "		
23 pc.	2x6-14' rafter		
13 pc.	2x6-12' "		
3 pc.	2x6-24' "		
4 pc.	2x6-12' "		
13 pc.	2x6-22' "		
24 pc.	2x6-20' "		
49 pc.	1/2x8 C.D. plywood		
4 rolls	15# felt		
17 "	roofing		
	CORNICE, SHEETROCK & INSULATION		
150 lft.	5/4x4- trim		
340 lft.	1x8- fascia		
340 lft.	sprung bed mould		
260 lft.	1x4- friese board		
16 pc.	3/8x8 A.C. plywood		
11 pc.	4x8 lattico panels		

PLAN NO. 8870

W. L. CORLEY PLAN SERVICE  
1677 Dorsey Avenue  
East Point, Georgia 30344

PAGE 3

FOR ESTIMATING PURPOSES ONLY. CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION.

QUANTITY	DISCRIPTION	UNIT PRICE	EXTENSION
5 ea.	4x4-8' col's		
64 lft.	2x4- C&B.		
64 pc.	2x2-36" pickets		
1928 sqft.	3 1/2" insulation		
1160 sqft.	6" "		
7387 sqft.	1/2" sheetrock		
11 ea.	5 gal. joint cement		
14 rolls	sheetrock tape		
	STAIRS		
4 pc.	2x12-16' Y.P.		
4 pc.	1x10-16' C&B		
42 lft.	C&B pine step tread		
46 lft.	1x8- C&B		
16 lft.	fir handrail		
13 pc.	42" oak step tread 1/1 end		
14 pc.	1x8-42" oak riser		
20 lft.	birch handrail		
2 ea.	starting post		
1 ea.	1/2" starting post		
21 ea.	36" balluster		
13 ea.	34" balluster		
8 lft.	oak landing tread		
	DECK		
3 pc.	2x10-14' colour		
12 pc.	2x10-10' "		
24 pc.	2x6-14' "		
34 lft.	2x4- "		
34 lft.	2x6- "		
68 pc.	2x2-42" pickets		
	AILS		
300 lb.	16cc nails		
150 lb.	8cc nails		



FOR ESTIMATING PURPOSES ONLY. CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION.

QUANTITY	DISCRIPTION	UNIT PRICE	EXTENSION
25 lb.	1 1/2 roofing nails		
50 lb.	8 R/S siding nails		
50 lb.	drywall nails		
50 lb.	assorted nails		
25 lb.	galv. nails		
	WINDOW UNITS		
5 sgl.	2 <sup>8</sup> x 4 <sup>6</sup> div. lite		
1 sgl.	3 <sup>0</sup> x 3 <sup>10</sup> " "		
2 sgl.	2 <sup>0</sup> x 6 <sup>2</sup> " "		
1 sgl.	3 <sup>0</sup> x 3 <sup>2</sup> " "		
3 twin	2 <sup>8</sup> x 4 <sup>6</sup> " "		
1 sgl.	2 <sup>4</sup> x 3 <sup>2</sup> " "		
11 ea.	2 <sup>8</sup> x 4 <sup>6</sup> FF screens		
1 ea.	3 <sup>0</sup> x 3 <sup>10</sup> " "		
2 ea.	2 <sup>0</sup> x 6 <sup>2</sup> " "		
1 ea.	3 <sup>0</sup> x 3 <sup>2</sup> " "		
1 ea.	2 <sup>4</sup> x 3 <sup>2</sup> " "		
16 ea.	sash locks		
32 ea.	bar lifts		
	EXTERIOR DOOR UNITS		
2 ea.	8 <sup>0</sup> x 7 <sup>0</sup> garage door		
1 ea.	3 <sup>0</sup> x 6 <sup>8</sup> ext. unit (bent.)		
1 ea.	5 <sup>0</sup> x 6 <sup>8</sup> glass sliding door		
1 ea.	12x3/3x12x6/8 ext. unit		
	INTERIOR DOOR UNITS		
1 ea.	2 <sup>4</sup> x 6 <sup>8</sup> door unit		
7 ea.	2 <sup>6</sup> x 6 <sup>8</sup> " "		
8 ea.	2 <sup>0</sup> x 6 <sup>8</sup> " "		
1 ea.	2 <sup>8</sup> x 6 <sup>8</sup> " "		
1 ea.	3 <sup>0</sup> x 6 <sup>8</sup> bi-fold unit		
1 ea.	3 <sup>6</sup> x 6 <sup>8</sup> C.O.		
1 ea.	3 <sup>0</sup> x 6 <sup>8</sup> C.O.		

PLAN NO. 8170

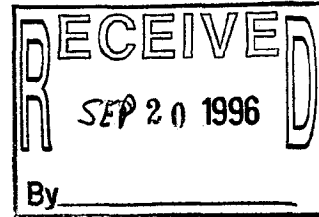
PAGE \_\_\_\_\_

**W. L. CORLEY PLAN SERVICE**  
 1677 Dorsey Avenue  
 East Point, Georgia 30344

FOR ESTIMATING PURPOSES ONLY. CONTRACTOR TO VERIFY BEFORE STARTING CONSTRUCTION.

QUANTITY	DISCRIPTION	UNIT PRICE	EXTENSION
	<b>HARDWARE</b>		
3 ea.	ext. keyed locks		
3 ea.	bed locks		
2 ea.	bath locks		
9 ea.	passage locks		
7 ea.	shelf & rod supports		
5 pr.	plastic pole sockets		
19 ea.	door bumpers		
	<b>MOULDING</b>		
700 lft.	base mould		
350 lft.	casing		
200 lft.	7/8 stop		
18 lft.	window stool		
120 lft.	W.P. shoe		
30 lft.	1 1/2 mill casing		
80 lft.	1x12- W.P.		
24 lft.	1 3/8 round rod		
4 pr.	2" x 7" blinds		

FAX



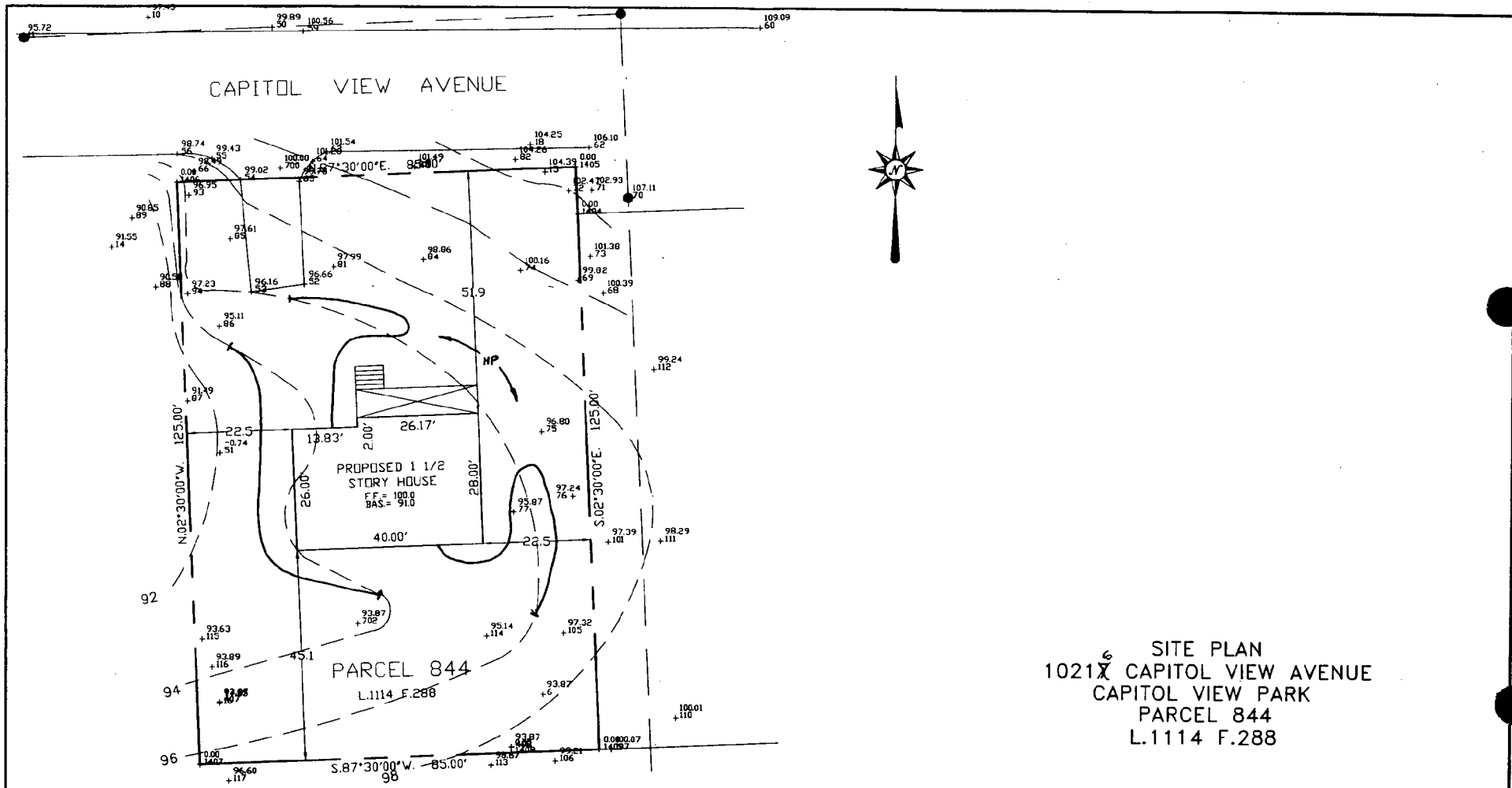
To: Pat Parker 301 495-1307.

From: Capitol View PK LAP (Rosalee Chios  
202-418-0754)

Re: Dove Appl.

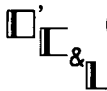
LAP appears of small size of house & general style but finds insufficient information on how house would fit on Lot, ie no information on grading. Also we have not seen tree plan. Our information says no tree removal under 24" - we need anything over 6". Recommend tabling application pending further review. Thanks

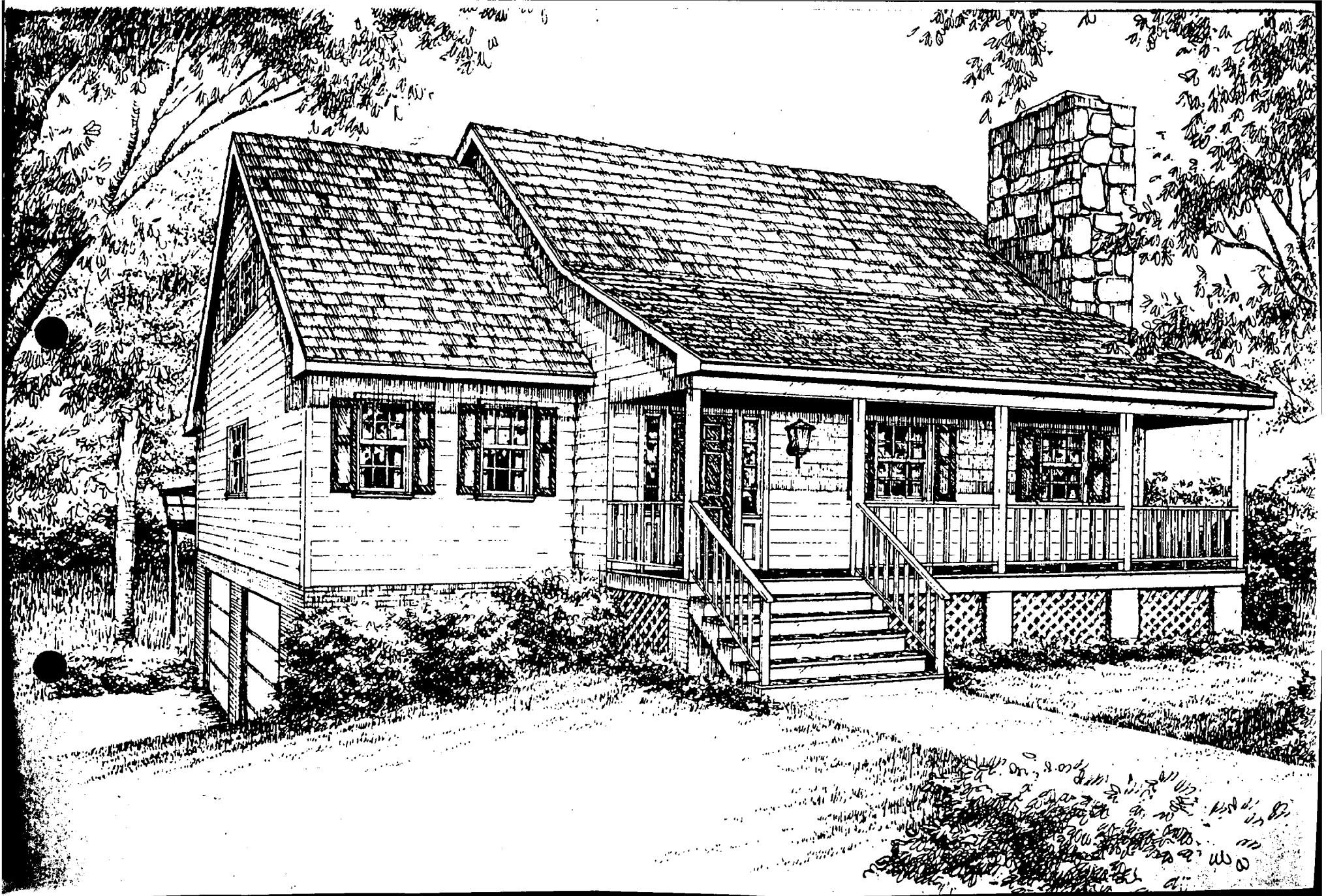


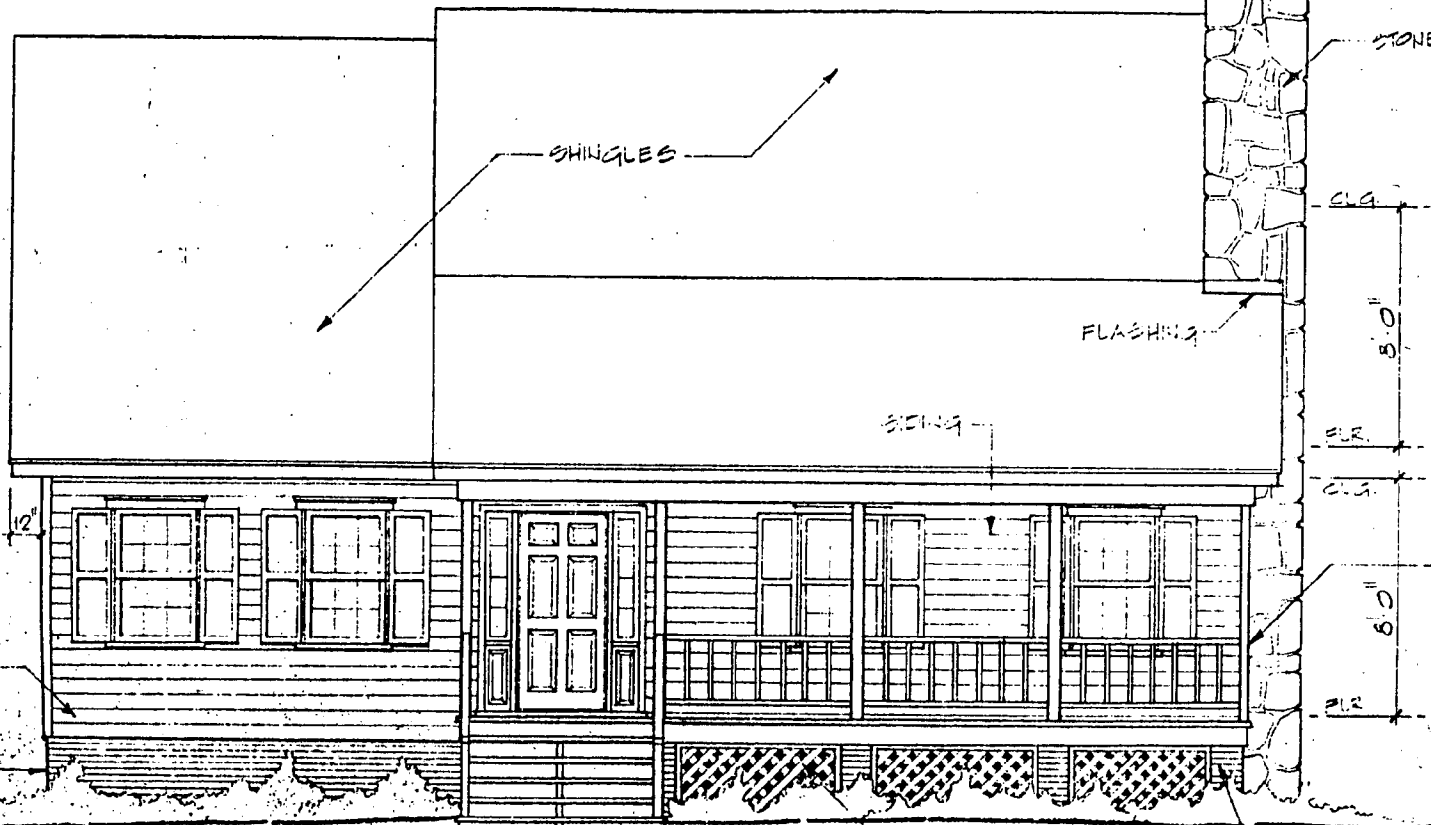


SITE PLAN  
 1021<sup>6</sup> CAPITOL VIEW AVENUE  
 CAPITOL VIEW PARK  
 PARCEL 844  
 L.1114 F.288

NOTE: TOPOGRAPHY IS FIELD RUN USING ASSUMED DATUM  
 NOTE: NO TREES GREATER THAN 24" ON SUBJECT PROPERTY

 <b>O'CONNELL &amp; LAWRENCE, INC.</b> SURVEYORS, ENGINEERS & LAND PLANNERS 17904 Georgia Avenue, Suite 302, Olney, Maryland 20832 Tel: (301) 924-4570 • Fax: (301) 924-5872					
DESIGNED BY JJB	DRAWN BY JJB	DATE JULY 1996	SCALE 1" = 20'	PROJECT/JOB NO. 828-001	SHEET NO. 1 OF 1





MASONRY

REAR EL

SHINGLES

STONE

FLASHING

SIDING

CLG

5' 0"

FLR

2' 6"

12"

WOOD POSTS & RAIL

6' 0"

FLR

SIDING

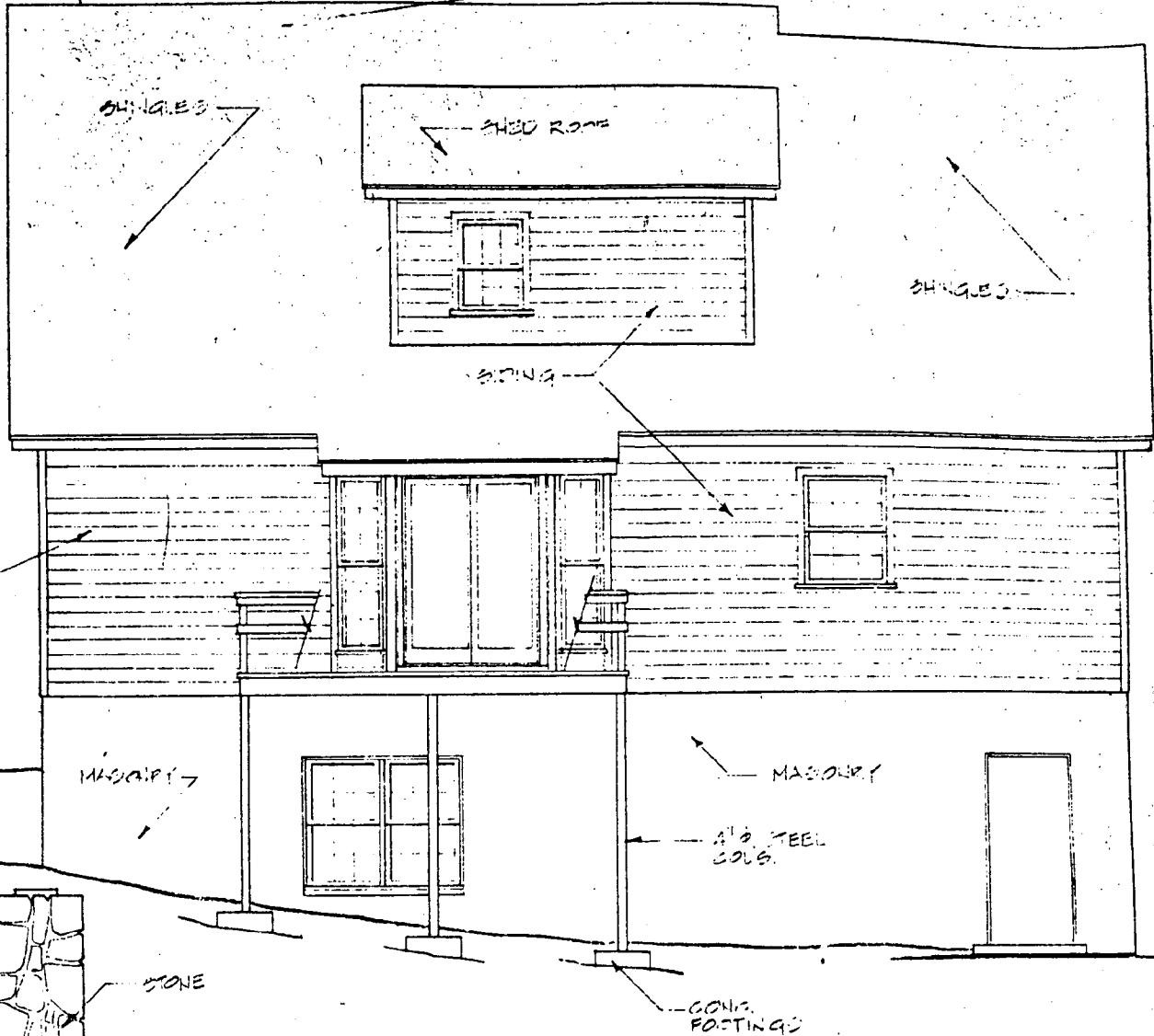
BRICK

FRONT ELEVATION + 30'-4" x 1'-0"

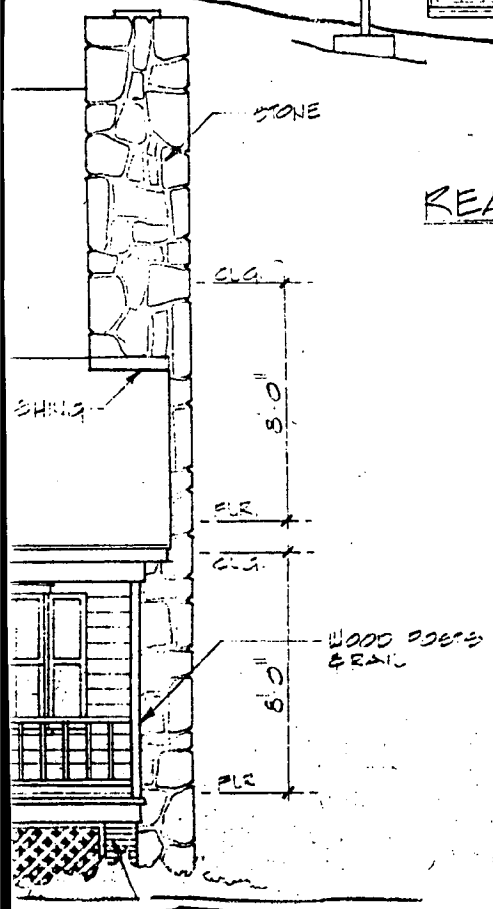
LATTICE PANELS BETWEEN PIERS

BRICK PIERS (FALSE)

NOTE: CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE STARTING CONSTRUCTION.

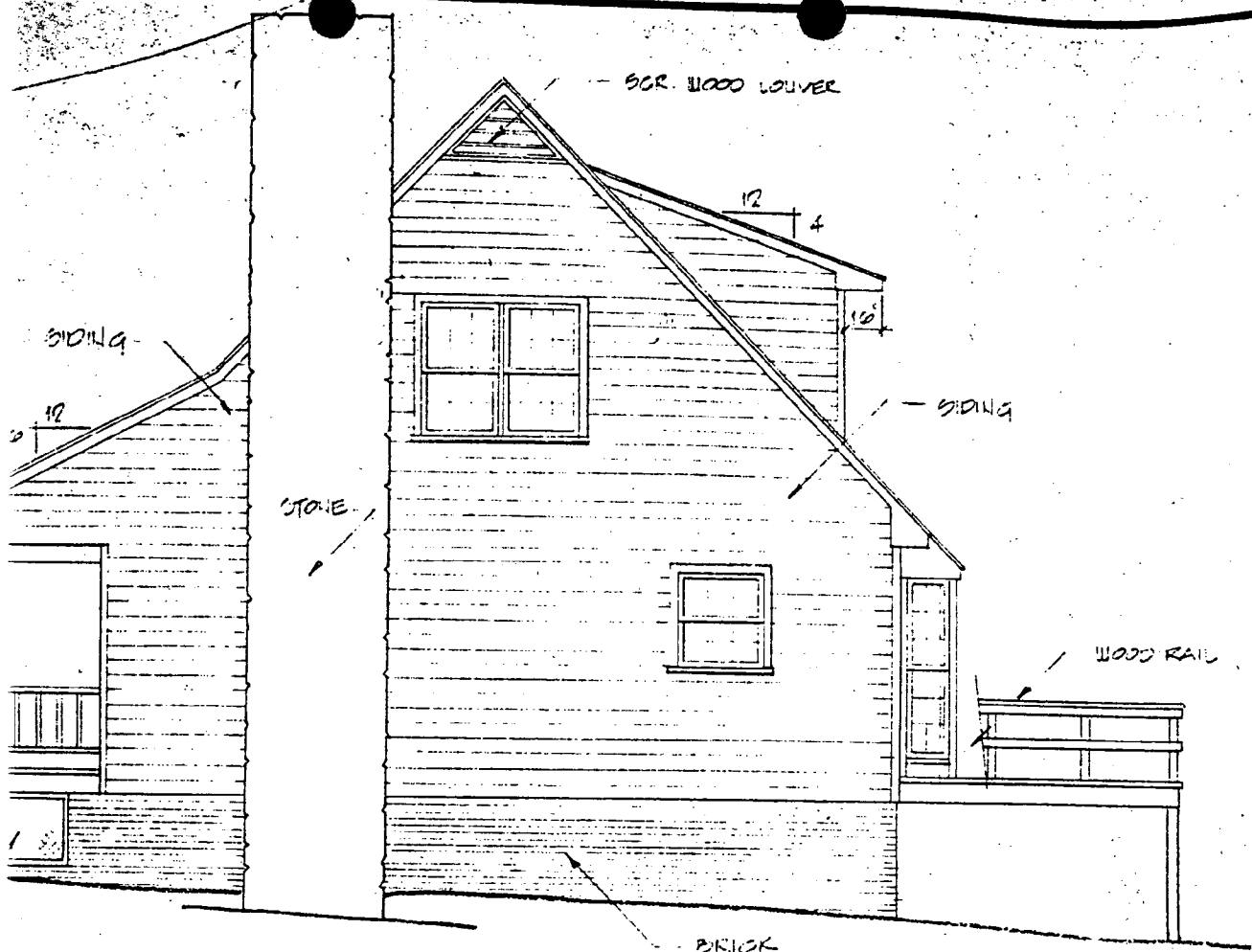


REAR ELEVATION  $\frac{1}{4}'' = 1'-0''$




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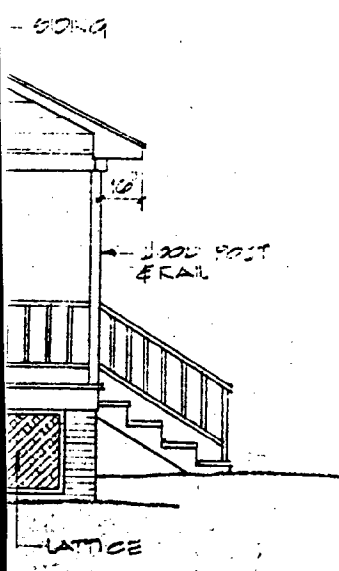
**W. L. Corley Plan Service, Inc.**  
 P. O. BOX 90430 • ATLANTA, GEORGIA 30308



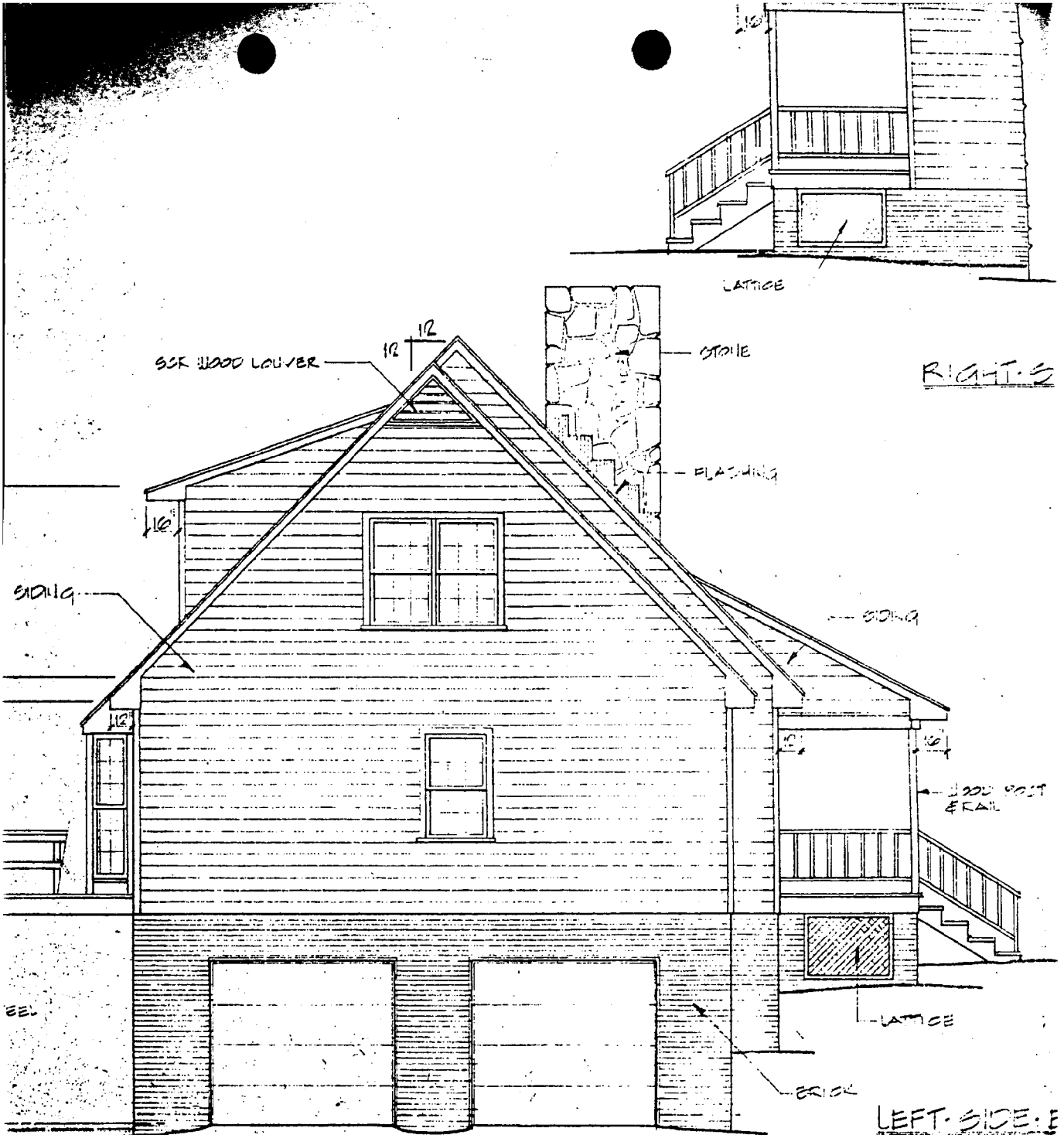
RIGHT-SIDE-ELEVATION 1/4" = 1'-0"



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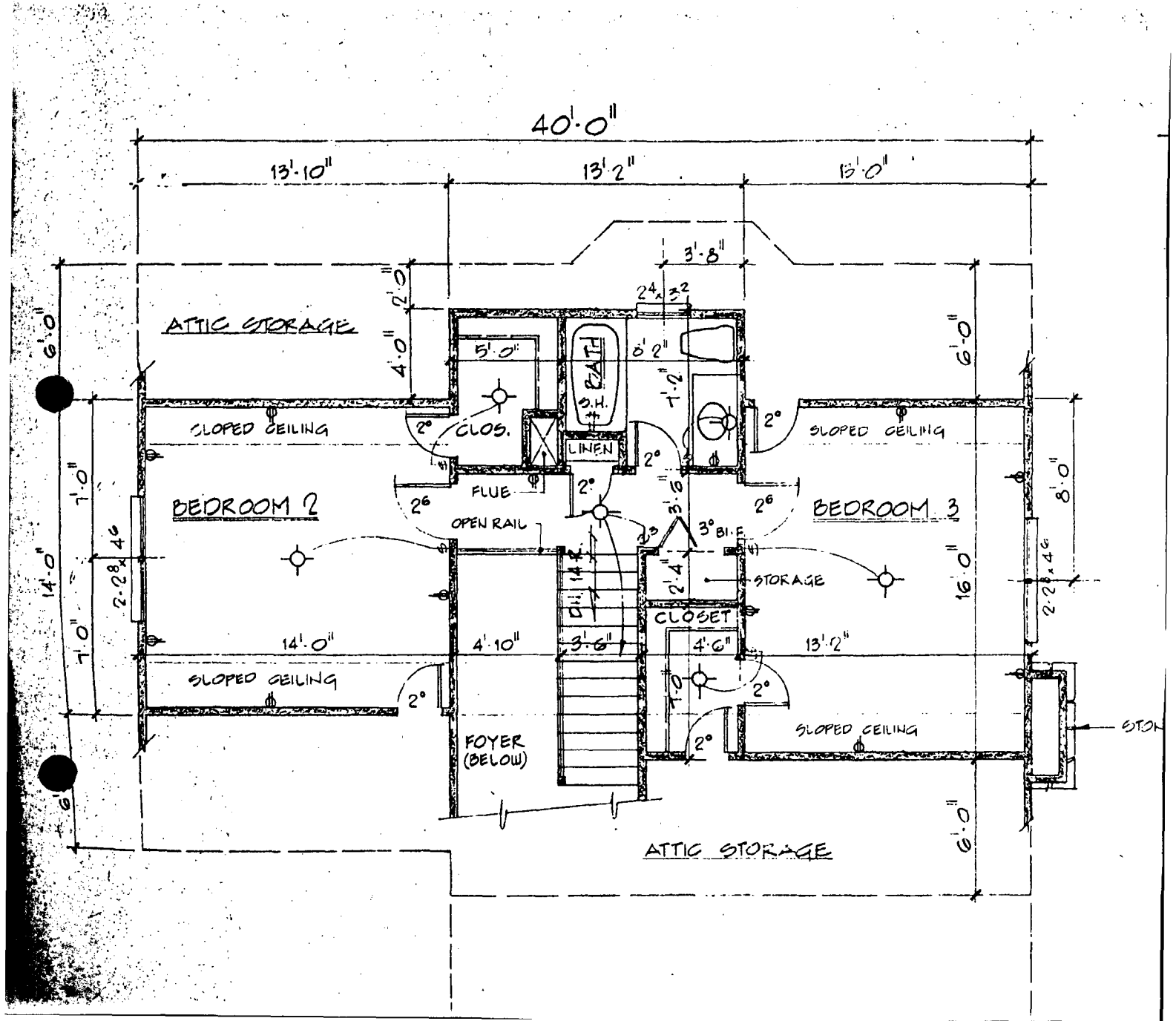


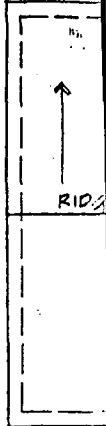
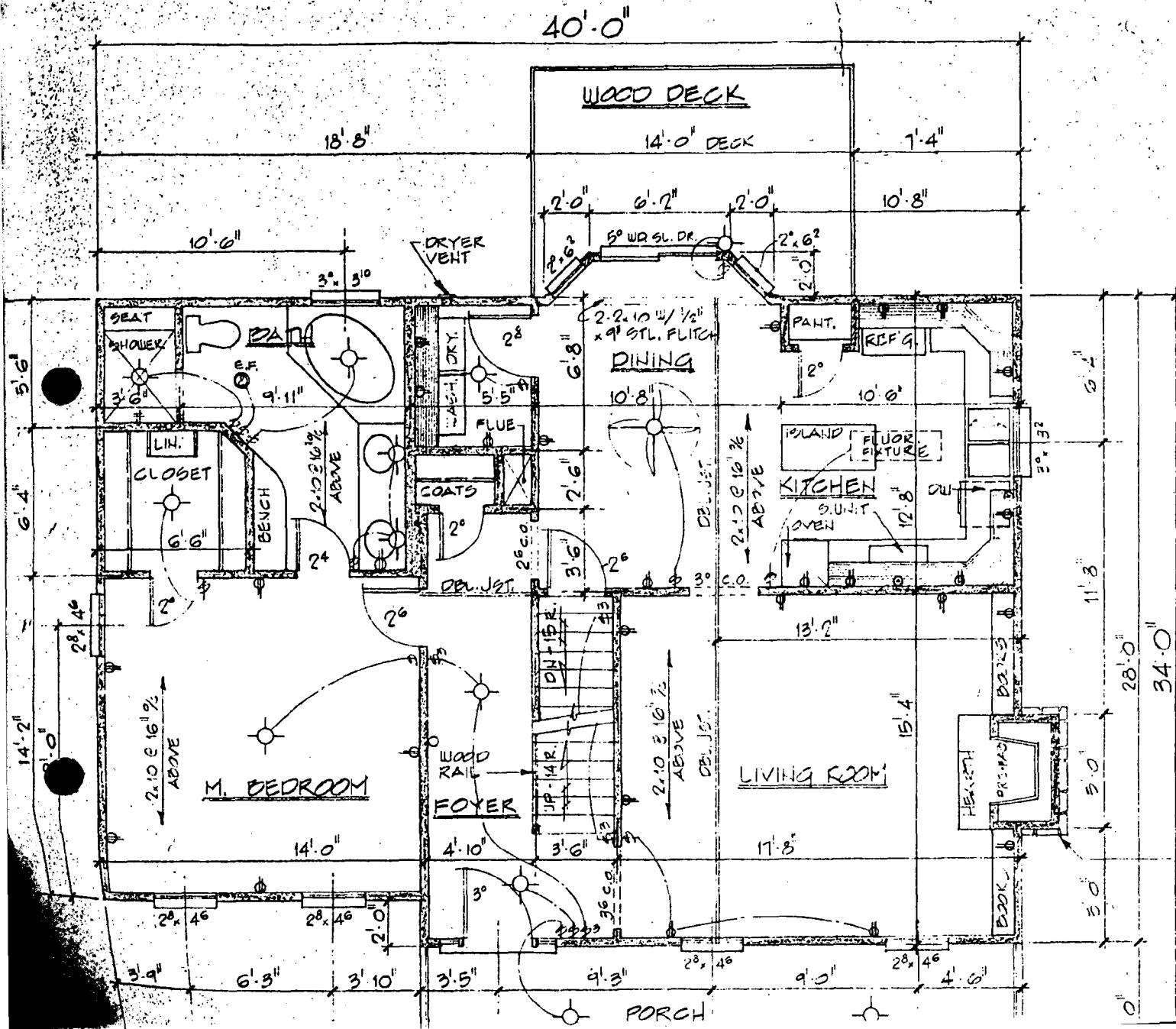
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ALL DIMENSIONS BEFORE STARTING CONSTRUCTION.

LEFT-SIDE-E





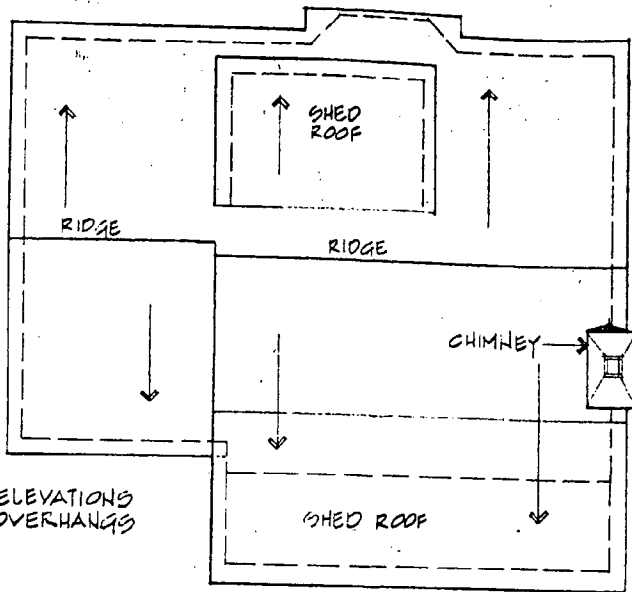
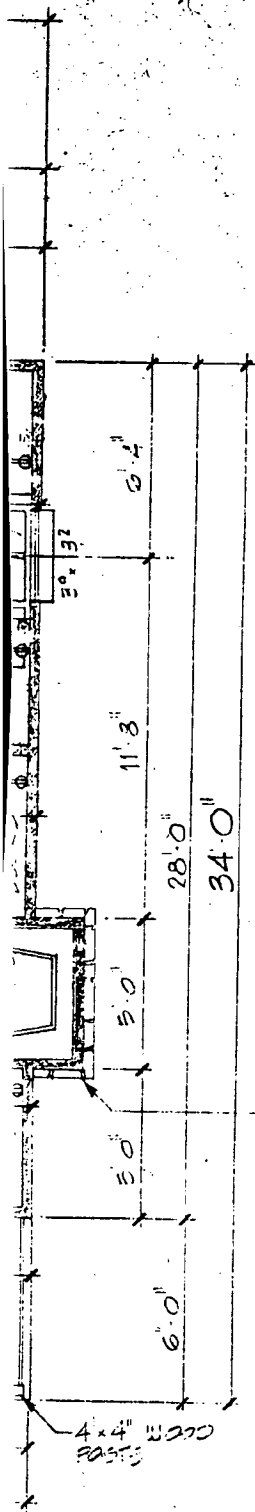
\* SEE ELEVATION FOR OVERHANG

ROC

STONE VENTILATOR







\* SEE ELEVATIONS FOR OVERHANGS

ROOF PLAN

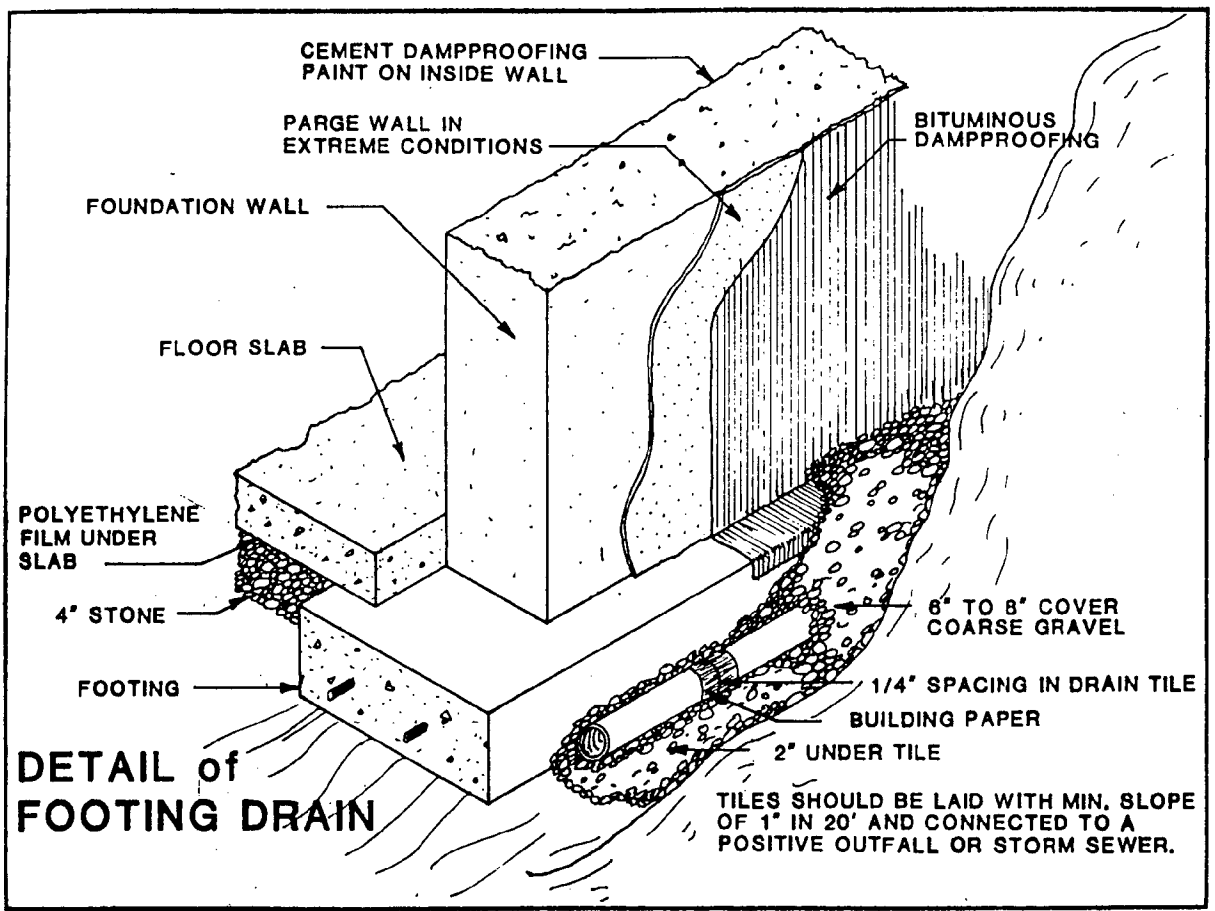
SC. 1/8" = 1'-0"



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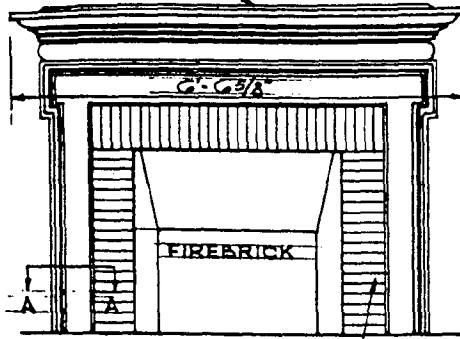
**W. L. Corley Plan Service, Inc.**  
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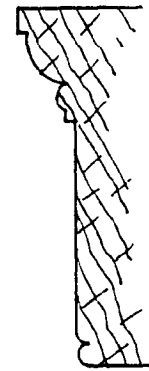
SEE SPECIFICATIONS FOR WALL FINISH

STYLE OF MANTEL BY OWNER

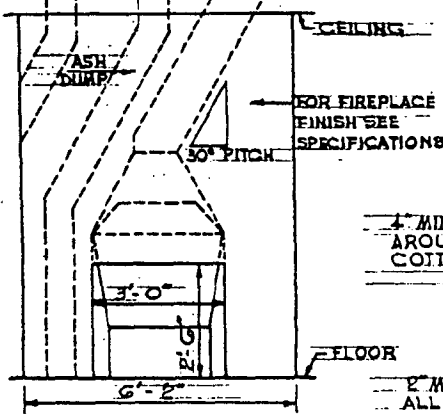
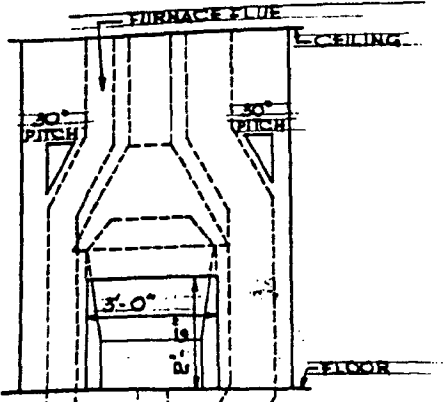


ELEVATION

SEE SPECIFICATIONS FOR FACING MATERIAL

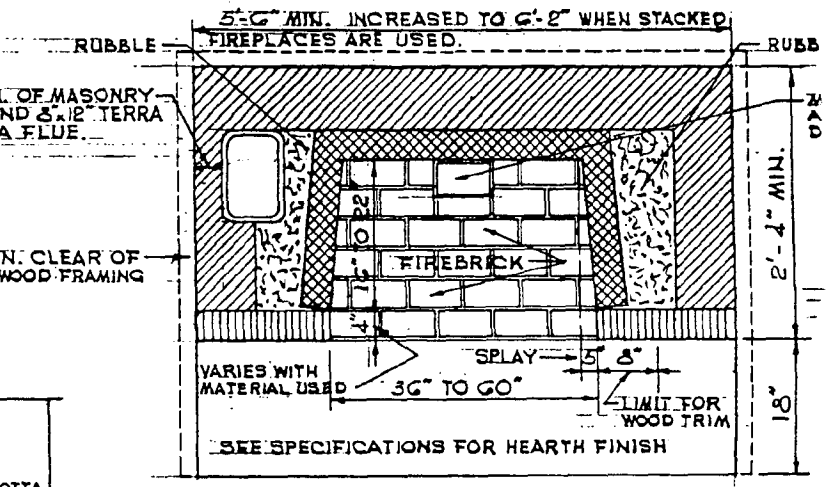


SECTION  
"A-A"  
1/2 SCALE

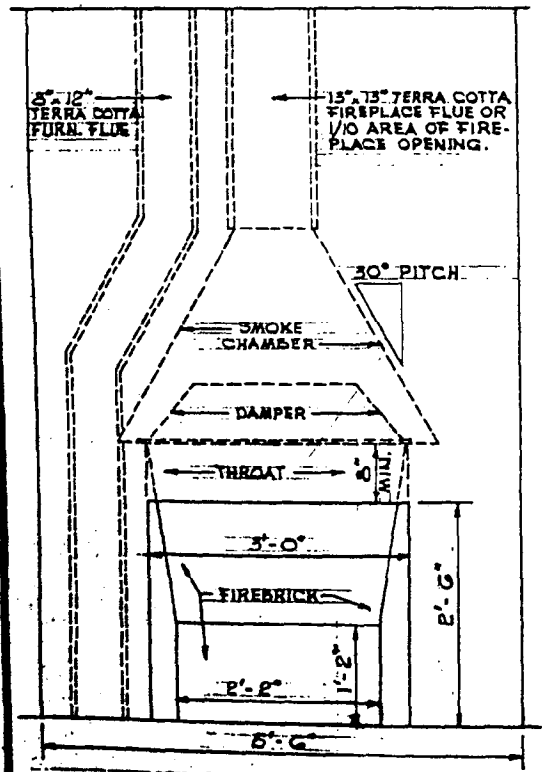


STACKED ELEVATION

SCALE 3/4" = 1'-0"



TYPICAL PLAN SCALE 3/4" = 1'-0"



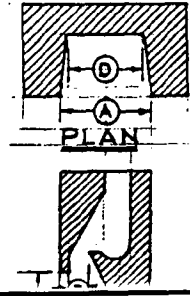
ELEVATION

SCALE 3/4" = 1'-0"

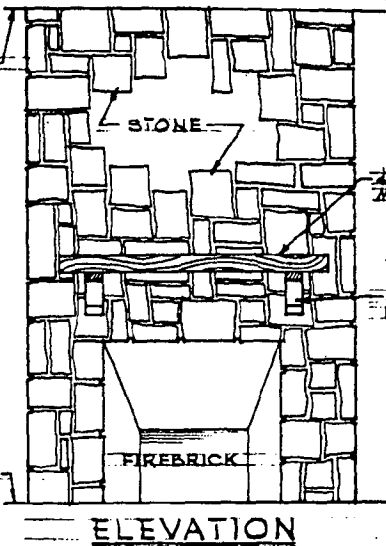
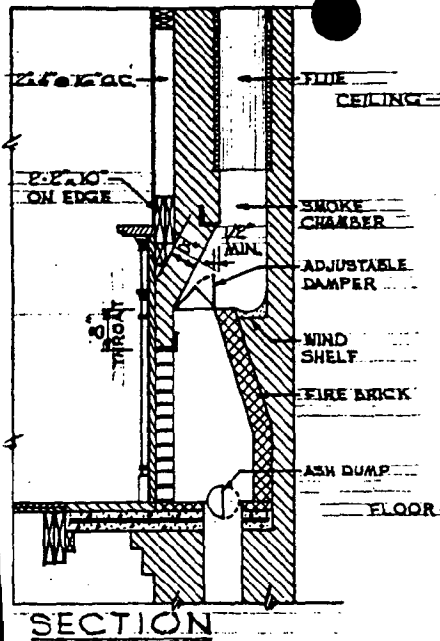
NOTE: CONTRACTOR TO CHECK ALL DIMENSIONS BEFORE STARTING

NOTE: USE THIS TABLE WHEN FIREPLACE OPENING WIDTH IS INCREASED (INCREASE OVERALLS PROPORTIONATELY)

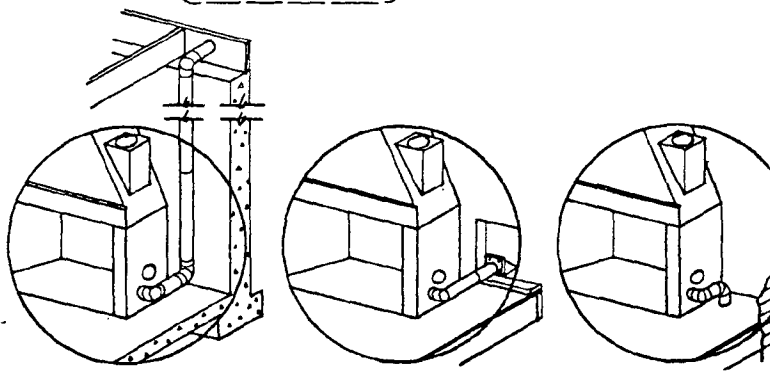
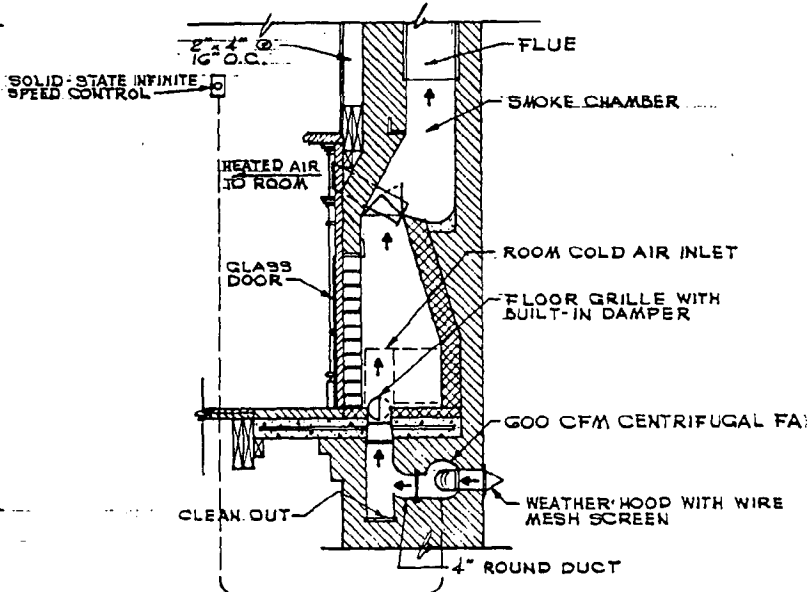
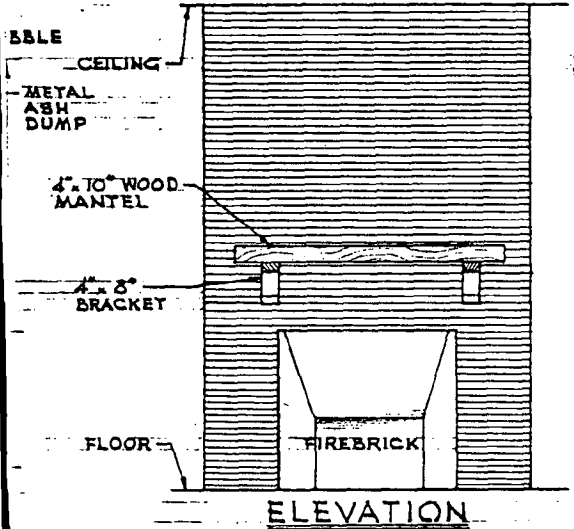
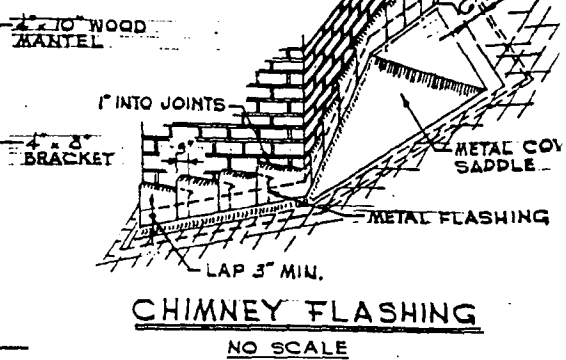
DIMENSIONS TABLE					
A	B	C	D	E	F
36"	30"	16"	20"	14"	8 1/2"
42"	30"	16"	33"	14"	8 3/4"
48"	35"	18"	36"	14"	8 1/2"



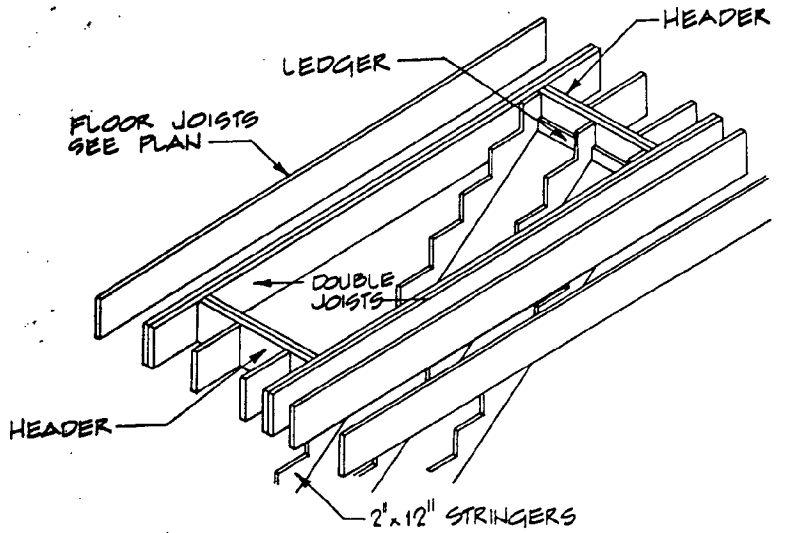
PLAN



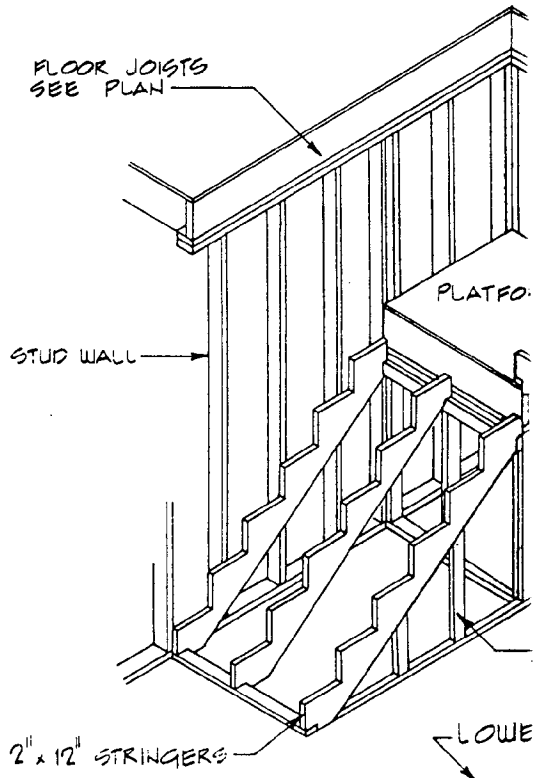
NOTE: EXTEND CHIMNEY 2' ABOVE ANY PART OF ROOF WITHIN 10'.



TYPICAL OUTSIDE AIR INTAKE  
NO SCALE

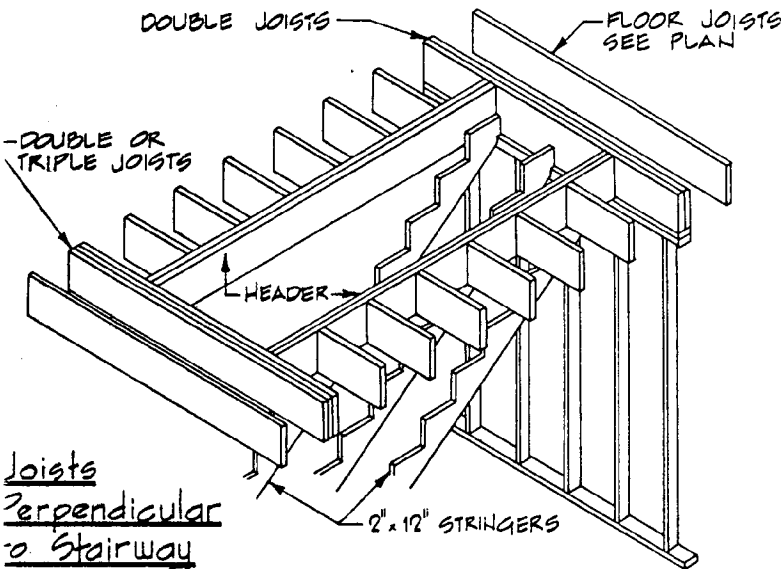


Floor Opening - Joists Parallel to Stairway

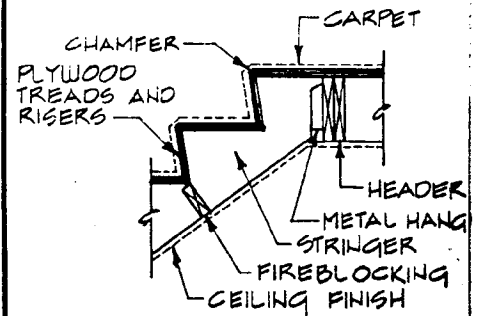
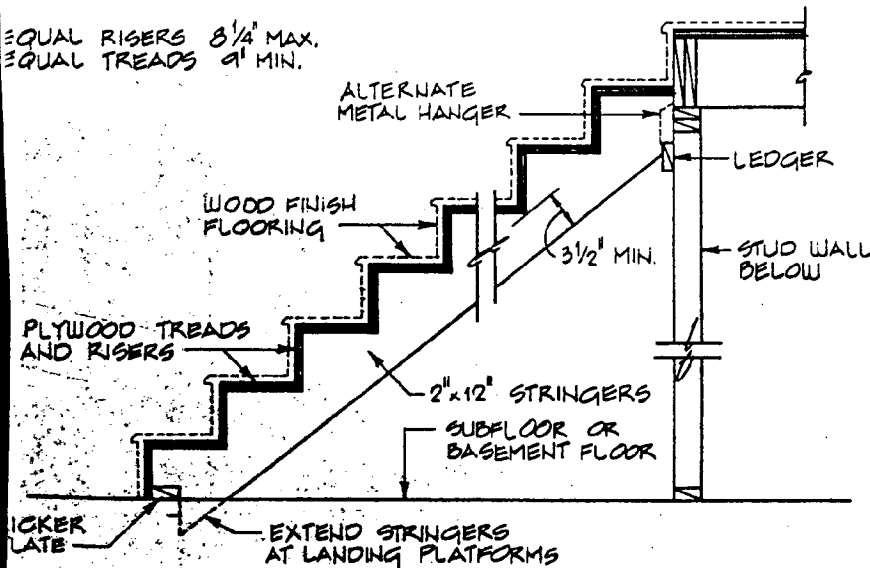


Typical Turned Stair

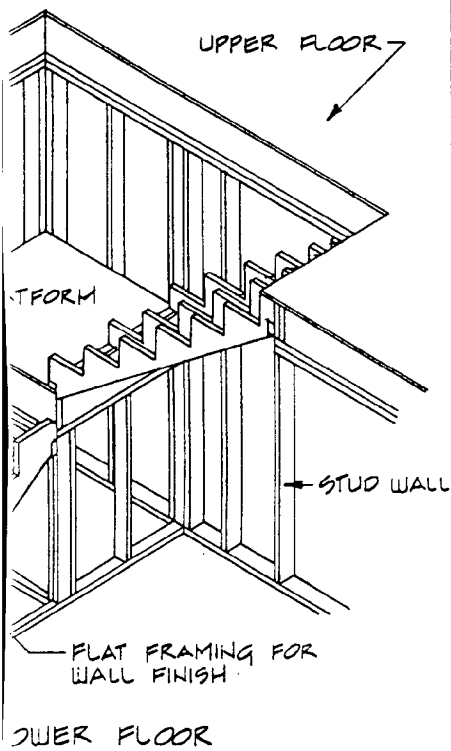
NOTE: For Pre-manufactured Staircases, See Manufacturer



Joists Perpendicular to Stairway

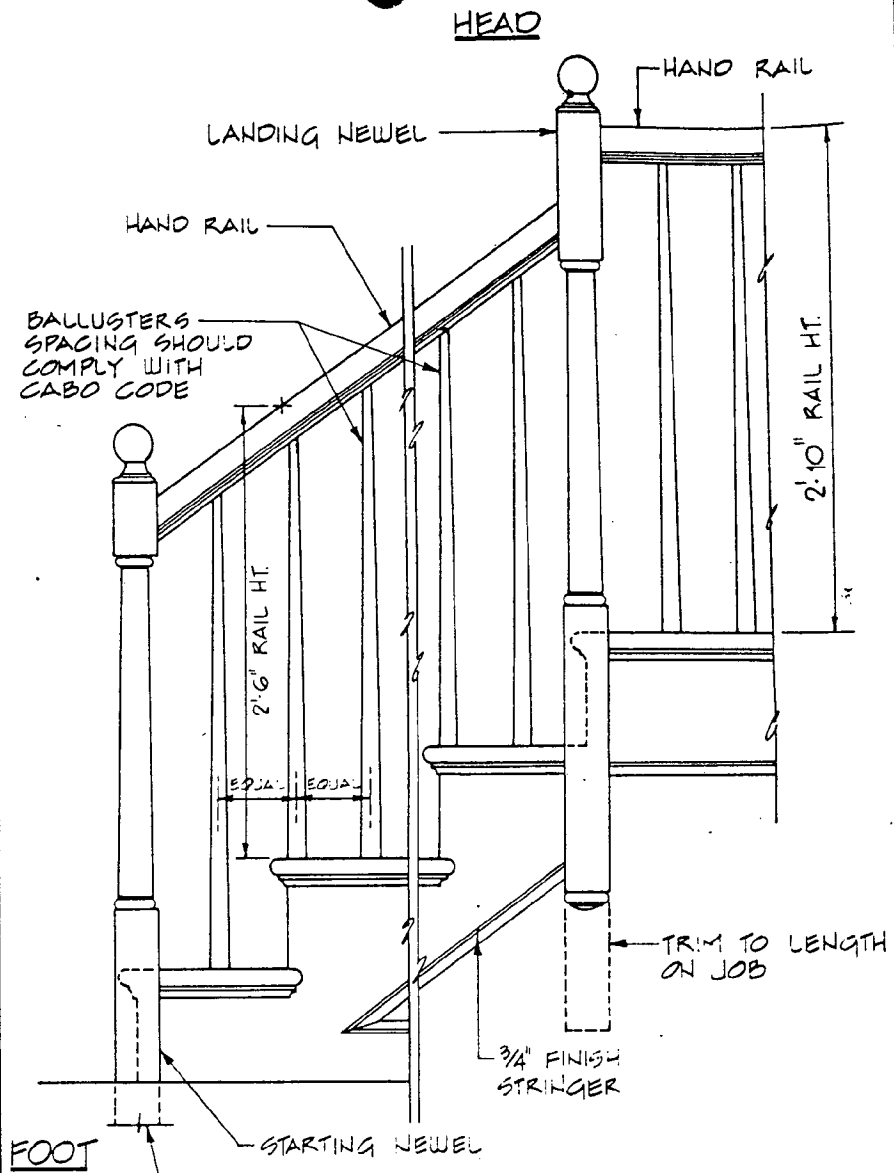


Detail @ Carpeted Stair

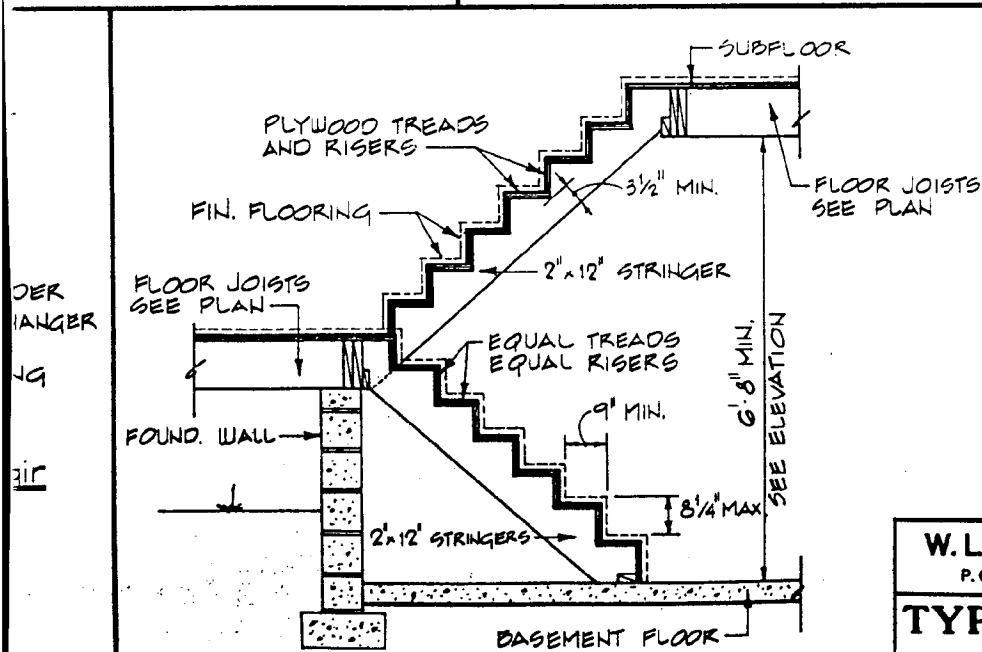


Stair Framing Detail

Structural Spiral or Circular  
Manufacturer's Details



Typical Hand Rail for Open Stairs

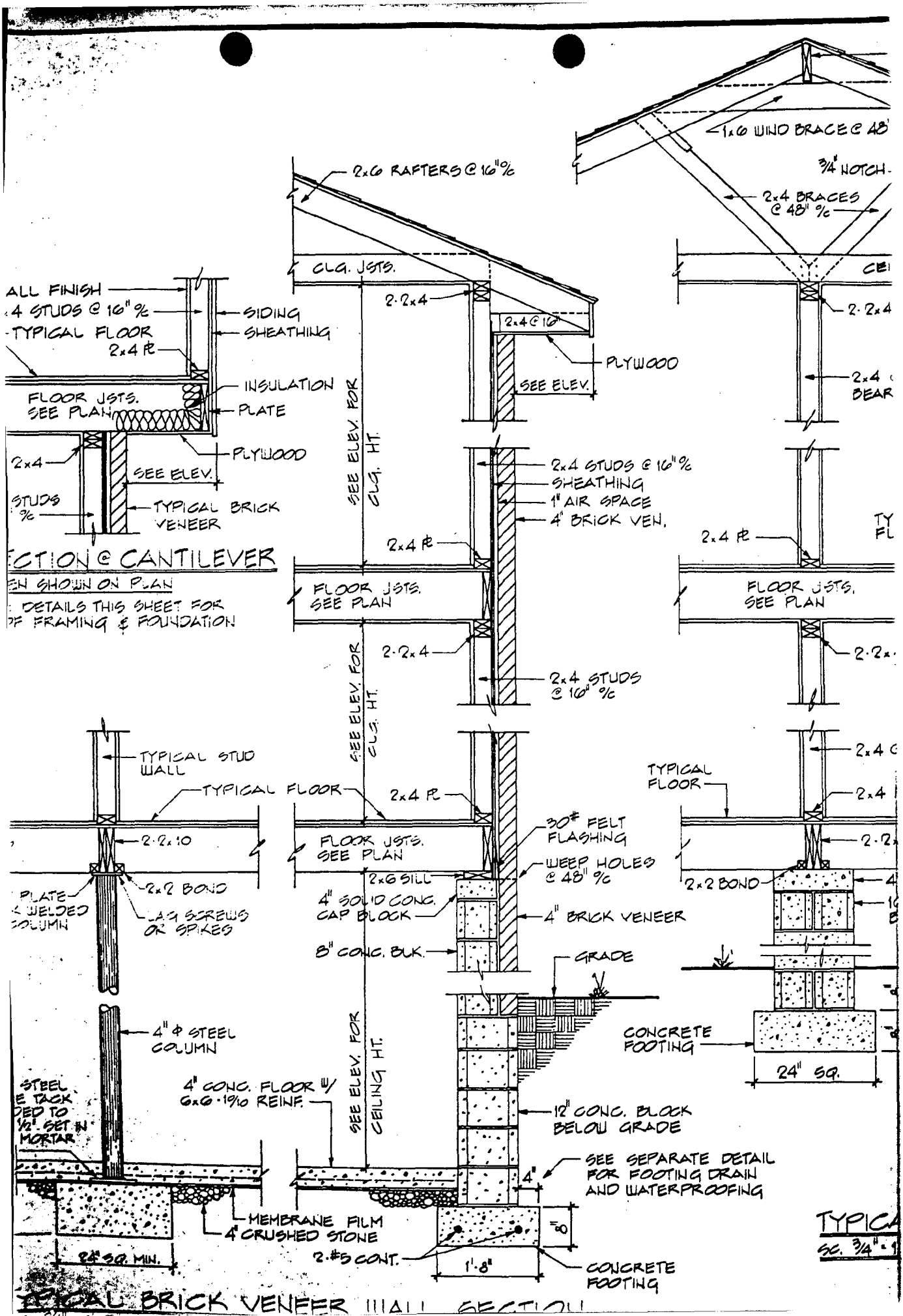


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**TYPICAL STAIR**

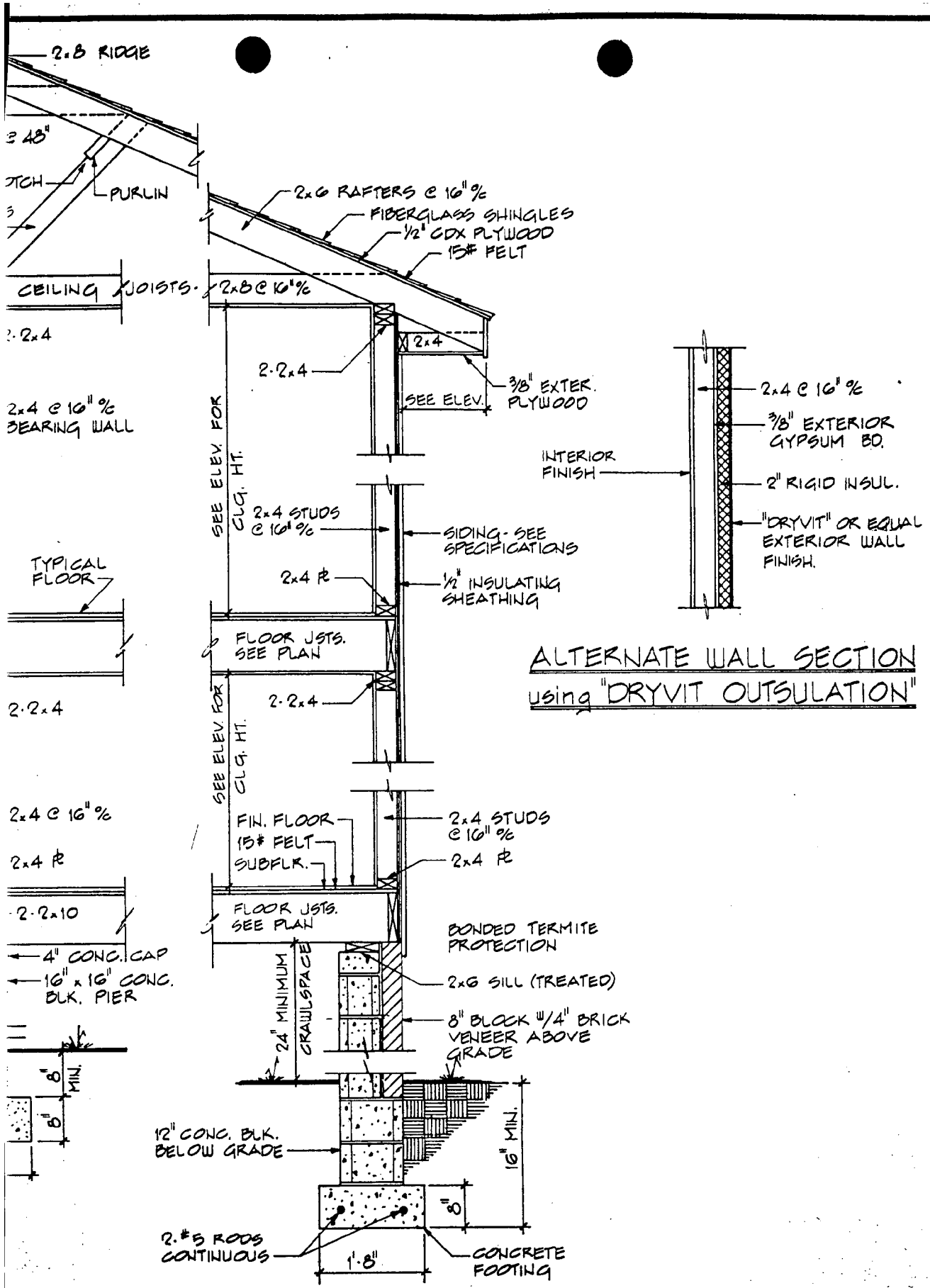
SHEET





TYPICAL  
 3/4" x 1"

TYPICAL BRICK VENEER WALL SECTION



ALTERNATE WALL SECTION  
using "DRYVIT OUTSULATION"

TYPICAL FRAME WALL SECTION

3/4" = 1'-0"

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<b>TWO STORY</b> <b>WALL SECTIONS</b>	SHEET

## SPECIFICATIONS FOR ENERGY EFFICIENCY

1. CAULK & CHINK AROUND ALL EXTERIOR DOORS, WINDOWS, ELECTRICAL OUTLETS, PIPES, AND ALL CANTILEVERED OVERHANGS. COVER THESE AREAS WITH VAPOR BARRIER.
2. WINDOWS TO BE INSULATED GLASS AND/OR STORM SASH. REDUCE GLASS AREA ON NORTH & WEST SIDES OF HOUSE AS MUCH AS POSSIBLE.
3. USE METAL CLAD FOAM CORE EXTERIOR DOORS WITH MAGNETIC WEATHERSTRIPPING.
4. FOR AMOUNT OF RECOMMENDED INSULATION, SEE CHART BELOW.
5. USE THERMOSTATICALLY CONTROLLED POWER VENTILATOR FOR ATTIC VENTILATION AND/OR CONTINUOUS RIDGE AND SOFFIT VENTS.

NOTE: SOME OF THESE SPECIFICATIONS MAY SHOW GREATER REQUIREMENTS THAN THE ACTUAL CONSTRUCTION PLANS. IN THAT CASE, THE INFORMATION ON THIS SHEET SHOULD TAKE PRECEDENCE.

IN ENERGY EFFICIENT HOUSING, SPECIAL EMPHASIS SHOULD BE PLACED ON MINIMUM INFILTRATION AROUND WINDOWS, DOORS, ELECTRICAL BOXES, PIPES, & CANTILEVERED AREAS.

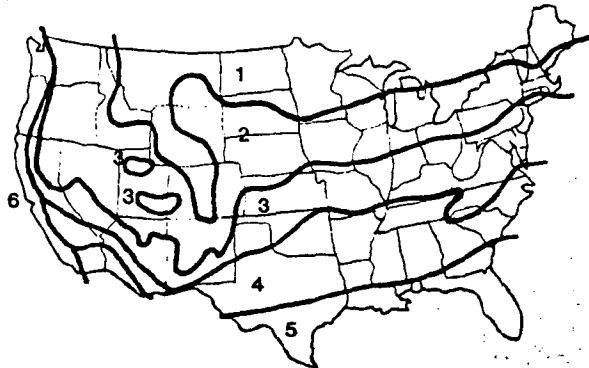
GLASS AREAS SHOULD BE LIMITED AND DOUBLE GLAZING OR STORM SASH ARE OF GREAT VALUE. ADEQUATE ATTIC VENTILATION SHOULD BE PROVIDED.

THE DEGREE OF ENERGY EFFICIENCY IS DEPENDENT ON BOTH QUALITY OF WORKMANSHIP AND QUANTITY OF INSULATION.

### NEW (R-VALUE) INSULATION STANDARDS

#### RECOMMENDED FOR PASSIVE SOLAR HOMES

REGION	CEILING	WALLS	FLOOR
ZONE 1	38	19	22
ZONE 2	33	19	22
ZONE 3	30	19	19
ZONE 4	26	19	11
ZONE 5	26	13	11
ZONE 6	19	11	11



THIS MAP IS REASONABLY ACCURATE FOR MOST PARTS OF THE U.S. BUT IS NECESSARILY HIGHLY GENERALIZED & CONSEQUENTLY NOT TOO ACCURATE IN MOUNTAINOUS REGIONS, PARTICULARLY IN THE ROCKIES.

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**ENERGY SAVING**

5" RIDGE VENT

ANGLES  
5" FELT  
DECKING

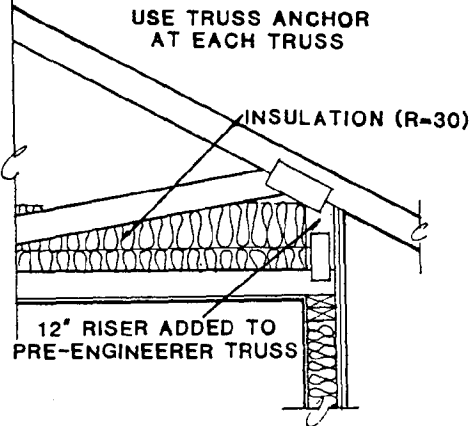
VENT

WOOD GUSSET

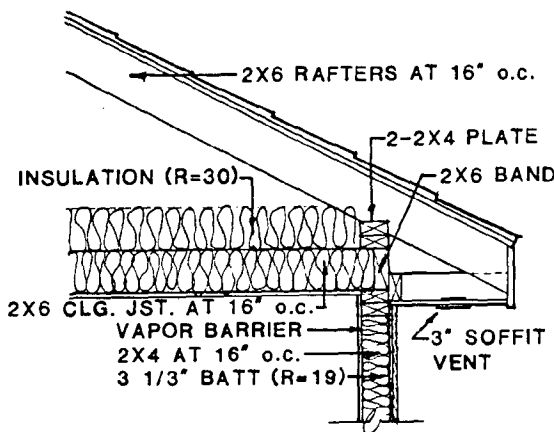
2" X 12 RAFTERS

1 1/2" MIN.  
AIR SPACE

CEILING



**TRUSS DETAIL**



CAULK OR USE  
FIBERGLAS SEALER

6" BATT  
INSULATION (R=19)

FOR BASEMENT WALLS ABOVE  
GRADE, USE 1" THICK BATTS OR  
POLYSTYRENE INSUL. BETWEEN  
1" X 2" FURRING STRIPS. COVER  
WITH VAPOR BARRIER &  
PLYWOOD OR DRYWALL.

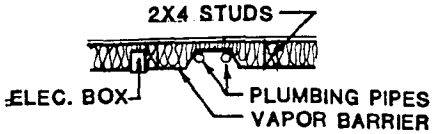
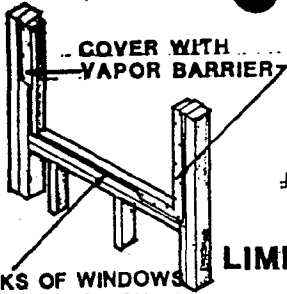
1 1/2" RIGID URETHANE  
INSULATION TURNED IN 24"

VAPOR BARRIER

4" STONE

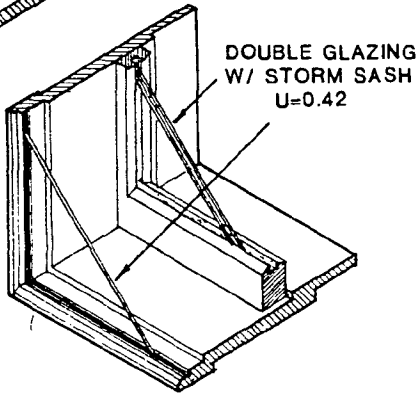
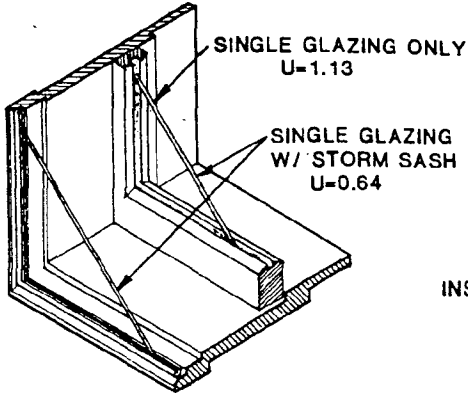
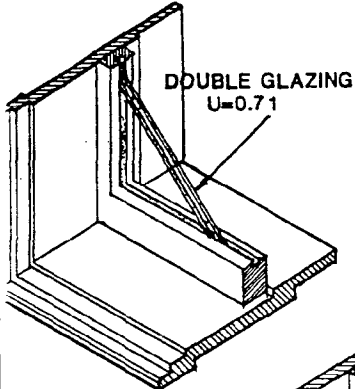
SEE WATERPROOFING  
DETAIL

**TYPICAL WALL SECTION**



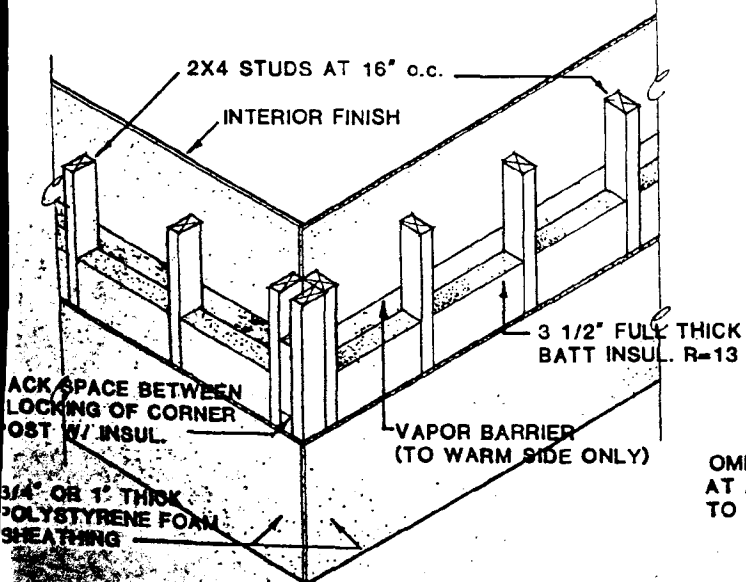
**LIMIT INFILTRATION**

SEAL OFF CRACKS OF WINDOWS  
EXT. DOORS WITH INSUL.  
USE 'MONOFOAM'  
POLYURETHANE FOAM SEALANT

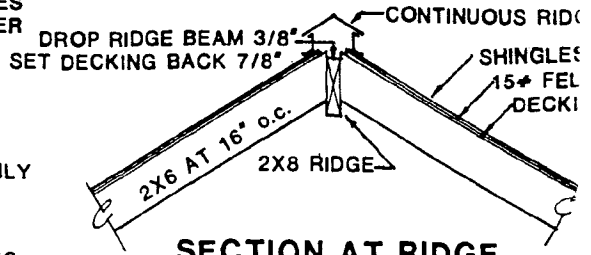


**INCREASE WINDOW GLAZING**

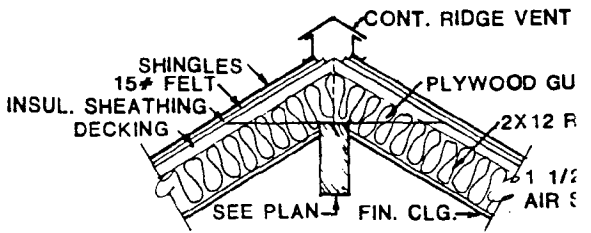
NOTE: WITH FOIL FACED FOAM SHEATHING, USE 6-MIL. POLYETHYLENE VAPOR BARRIER INSIDE



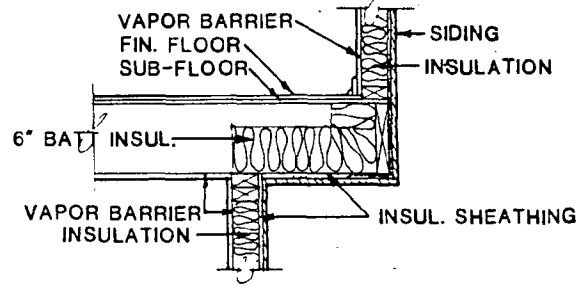
**EXTERIOR CORNER & FRAMING**



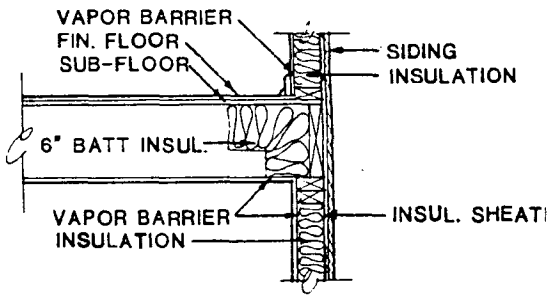
**SECTION AT RIDGE**



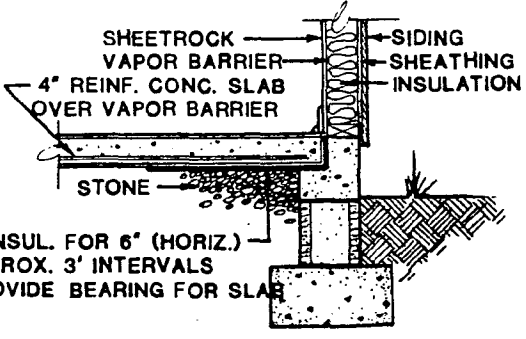
**SECTION AT CATHEDRAL CEIL**



**SECTION AT CANTILEVER**

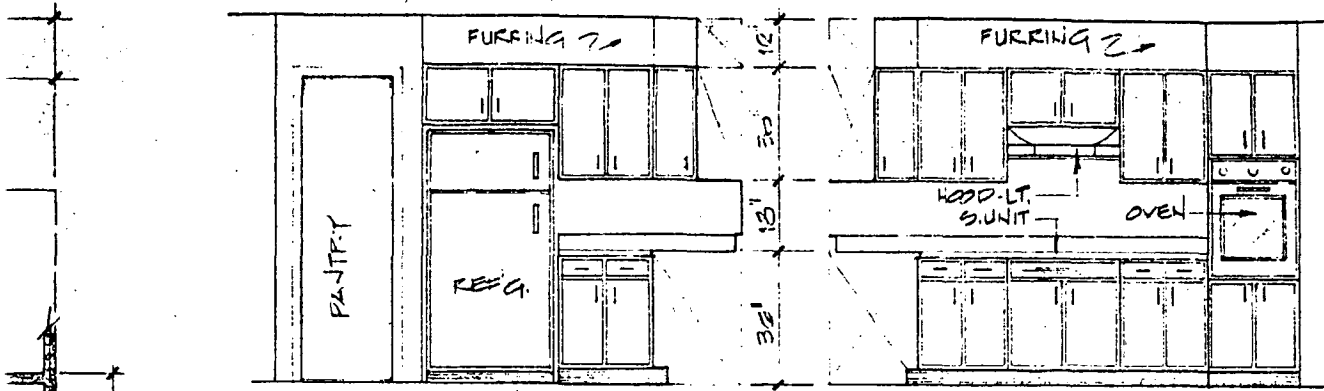


**SECTION AT 2ND FLOOR**



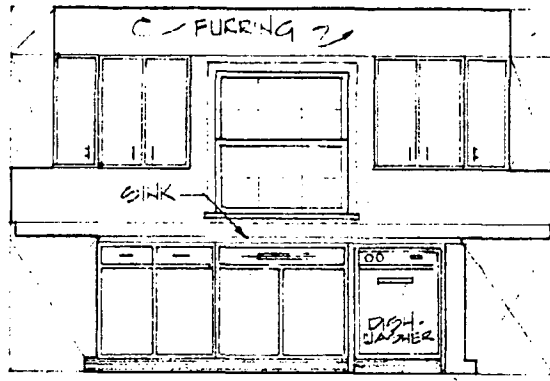
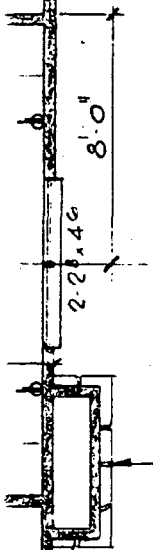
OMIT INSUL. FOR 6" (HORIZ.)  
AT APPROX. 3' INTERVALS  
TO PROVIDE BEARING FOR SLAB

**SECTION AT SLAB FLOOR**

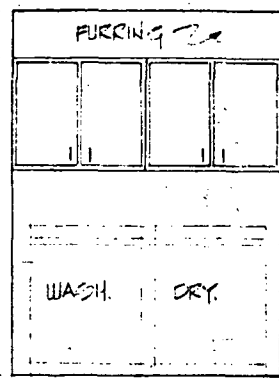


REFG WALL

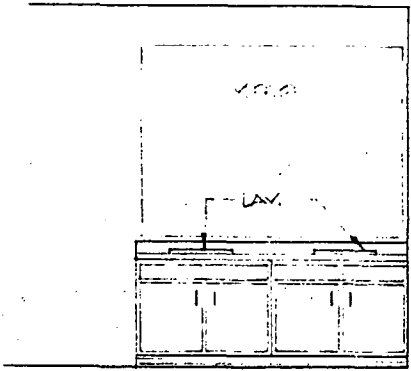
OVEN WALL



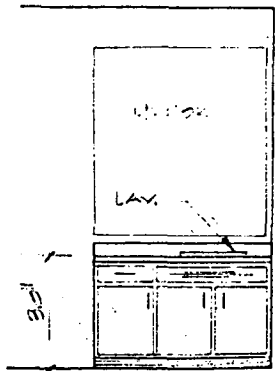
SINK WALL



UTILITY ROOM



MASTER BATH



BATH

KITCHEN CABINET & VANITY ELEVATIONS 1/8" = 1'-0"



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SHEET