__29/6-2-97A 11200 River View Drive Potomac, (MP Site #29/6-2) Perry -What did the HPC decide ?

(No record made)

(IV TELLICA VINACE

Marwood Home Owners Association **Architectural Control Committee**

Tránsmittal

March 25, 1998

To

Perry Kephart

Regarding

Marwood Entry Feature at River Road and River View Drive in Potomac

Enclosures

(2) pages

n/a

These are transmitted as indicated below

Transmitted Via

For Pricing

Messenger

For Your Information

Fed Express

For Your Review

By Hand

As Requested

X Fax

Ramarks

Enclosed please find our revised design for the entry feature at Marwood. Changes from the briginal submittal include:

- The size is much smaller than what was previously proposed
- 2. The wall and railing have been removed
- 3. A pier has been added to the north side of the entry drive
- 4. Both piers will be situated parallel to River Road
- 5 Material and colors will complement the nearby Marwood Gatehouse
- 6 Retaining walls and sign panels are marked for future addition

We have taken considerable time to be sure the piers are adequately sized for their location River View Drive while maintining appropriate scale with the Gatehouse.

Now that all lots have been sold, we are very quite anxious to proceed. Fleick forward to talking with you.

become a pro مككم

Milchell Kuff

1/1221 River View Drive Potomac Maryland 20854 - 1565 301 765 0979 tel 301 765 0989 fax

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Mitchell Kuff

Mitchell Kuff

\$1221 River View Drive Potomac Maryland 20854 - 1565 301 765 0979 tel 301 765 0989 fax



-4'-9"

Darved 1

-- Clay tile roof

Painted molding

Painted sign plate Duron 5925N Graphite with white lettering and border

Synthetic stucco to closely match Gatehouse

+- 11' - **0**"

From Flevation at Typical Pier

icale 172" - 170"

2 required

APPROVED

Montgomery County

Historic Preservation Commission

validir Collinission 1/2

Entry Feature

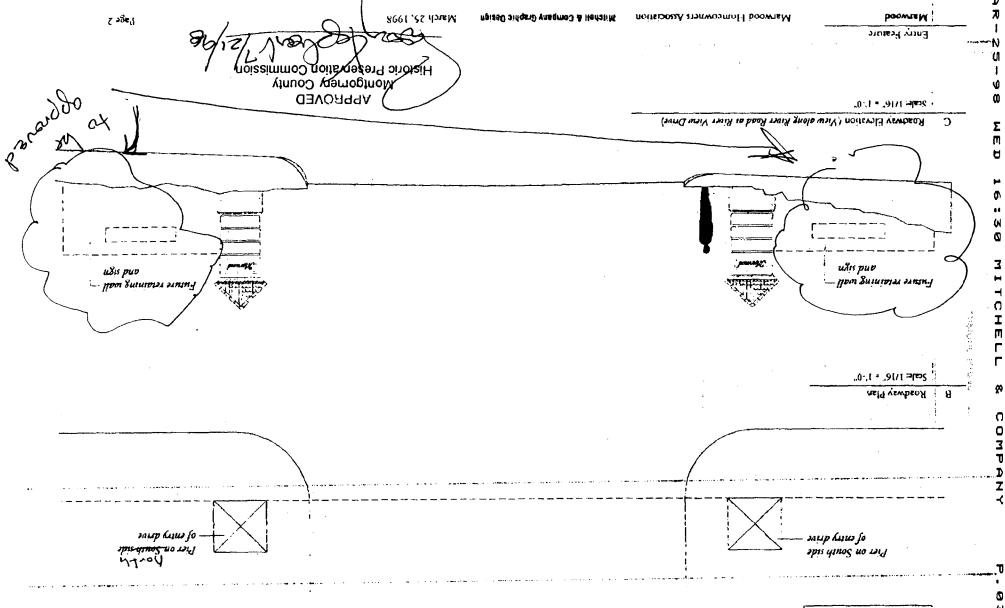
Malwood

Marwood Homeowners Association

Mitchell & Company Graphic Design

March 25, 1998

P.yc



Marwood Home Owners Association **Transmittal** Architectural Control Committée January 14, 1998 Ťo Perry Kephart Regarding Marwood Entry Feature at River Road and River View Drive in Potomac Enclosures Œ n/a (S) pages Trans mitted Via These are transmitted as indicated below For Pricing Medsenger Fed Express For Your Information By Hand For Your Review As Requested Fax

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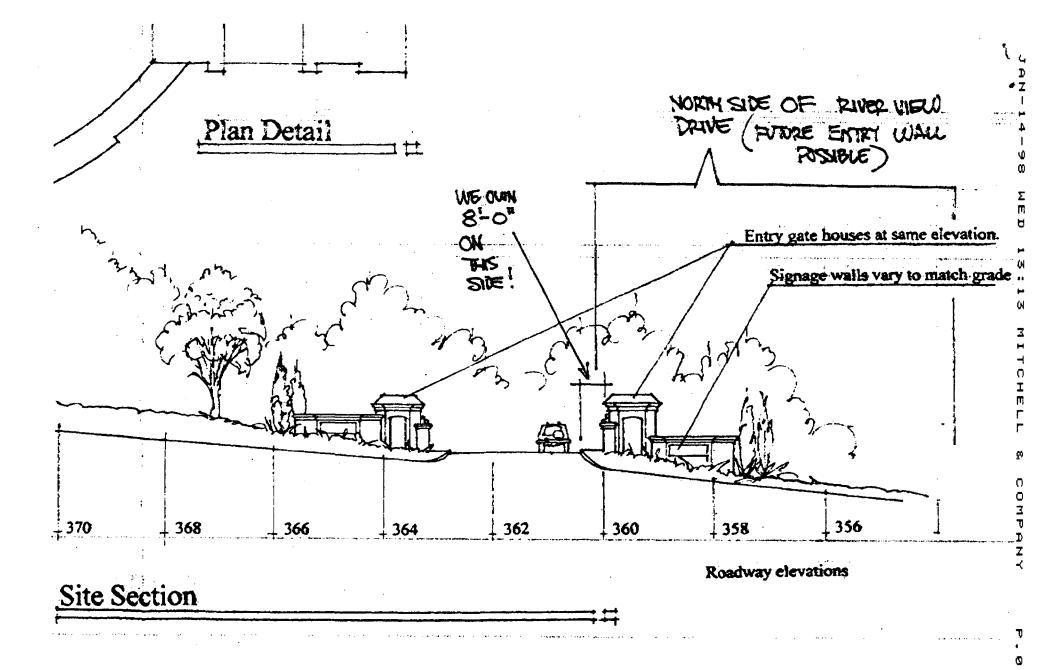
Enclosed please find a concept drawing for the entry feature which I do not think you have seen. Our board prefers the elegance and charm of this entry wall to the column and wall design you reviewed this past year. I look forward to hearing your thoughts.

Also, thanks for taking the time to talk with me today. We are very excited about creating a tasteful entrance to the development and appreciate the concerns of your group.

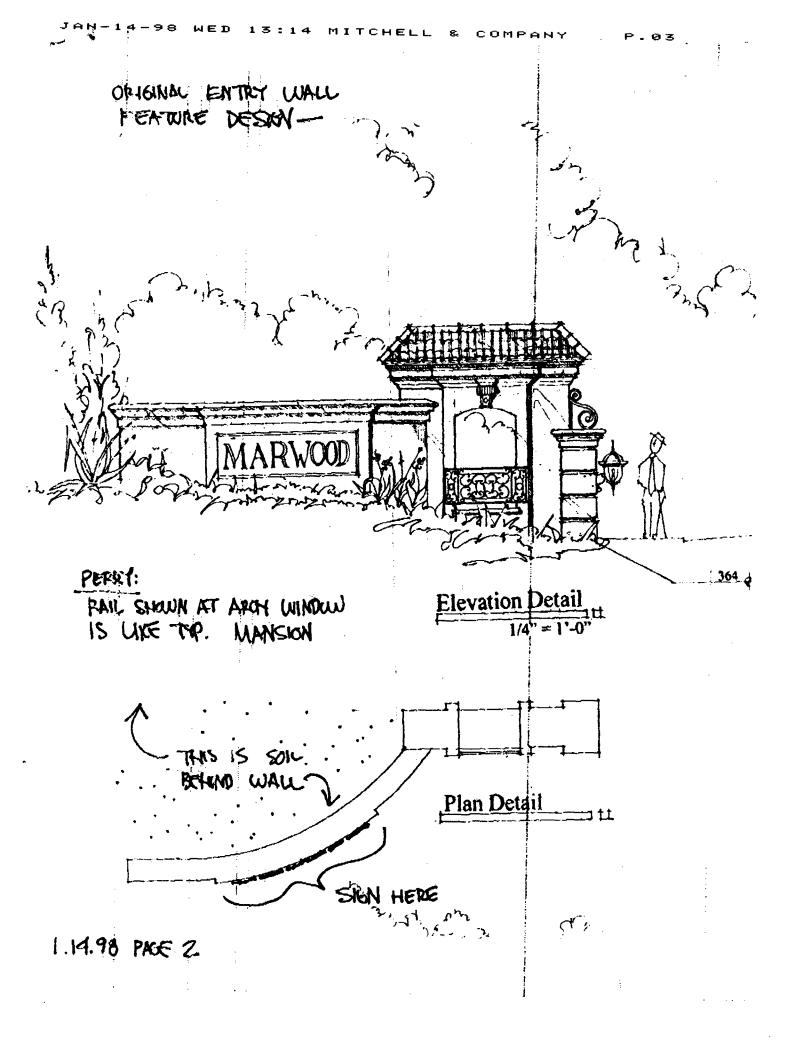
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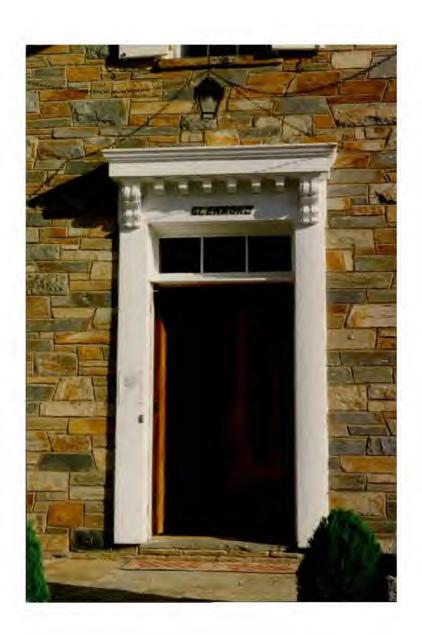
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7.8-97 210 p.m.
Perry Re: Mound Catchaise
Cel Rus Barton
agam...
301-983-9494

T fold him he way not be able to build another residence in Pris lot at all...
The Subdivision is so new that me C.C. whenting are putty clear.
But... talk to him! R

71/2

Marword Gate
House has sold
They would be make
Changes. Do you want
to take The Propert:

Call:

Russ Barton
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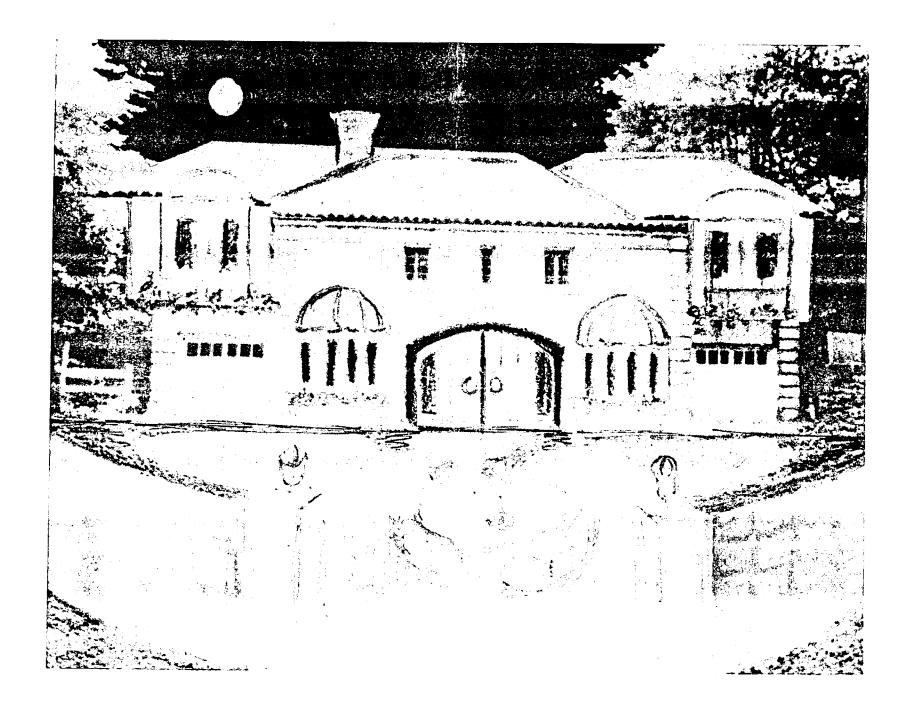
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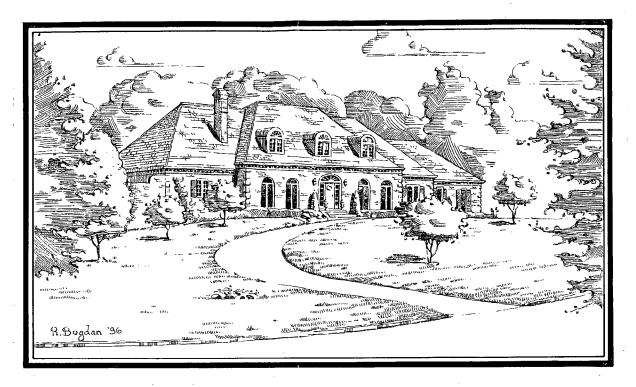
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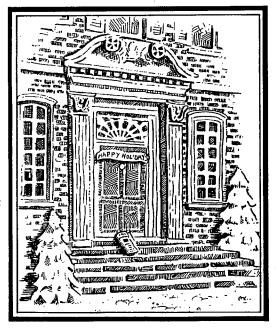
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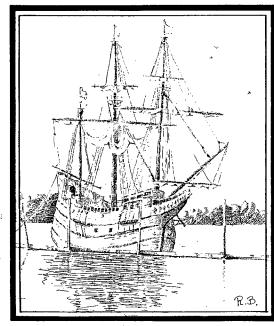
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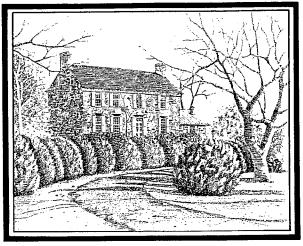




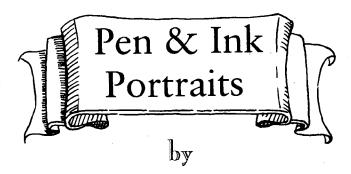




Half Moon - N.Y. Harbor



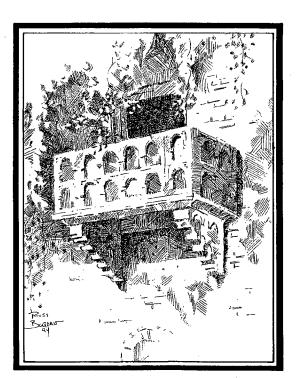
Chestnut Lawn Farm, VA



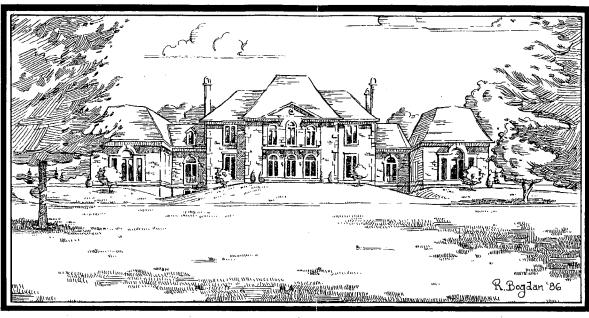
Russ Bogdan

12217 Bradbury Drive Gaithersburg, MD 20878 (301) 977-7654 Anative of Potomac, MD, Russ Bogdan has been taking on house portrait commissions in the Metropolitan area for the past 8 years. By combining his knowledge of classical art and skill as a fine painter, Mr. Bogdan is able to bring a rare Old World quality to his ink drawings which are often reminiscent of antique etchings. In addition to being framed for display these handsome drawings allow for excellent reproduction of stationary and greeting cards as well as for commercial use.

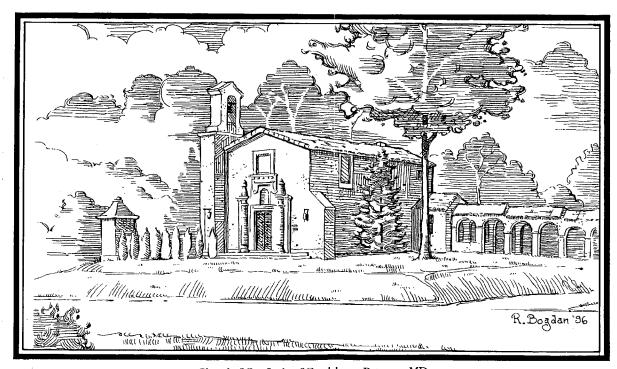
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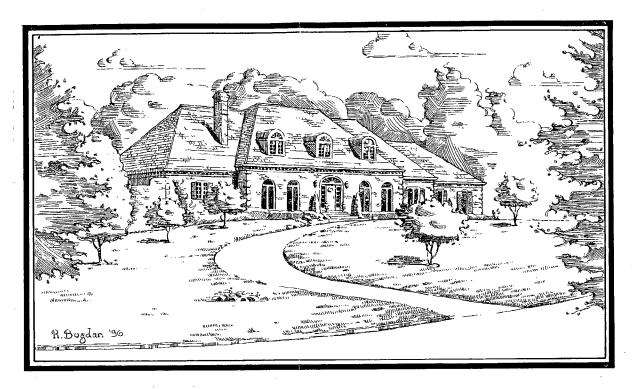
Romeo & Juliet Balcony - Verona, Italy

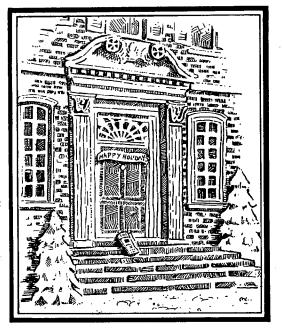


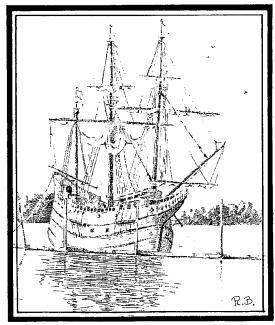
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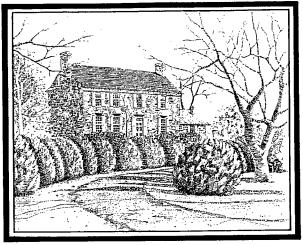
Chapel of Our Lady of Guadalupe - Potomac, MD



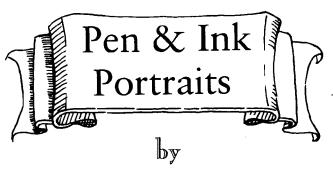




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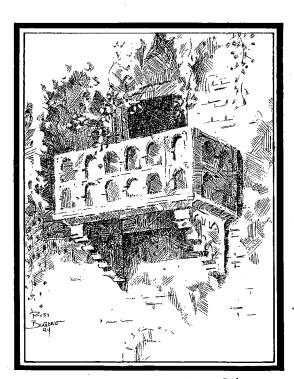
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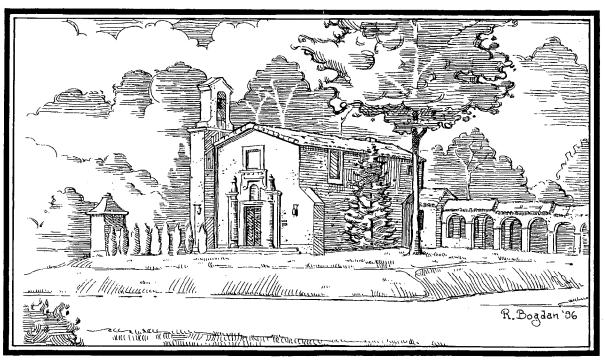
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Romeo & Juliet Balcony - Verona, Italy



Chateau Peyrenĉ - Potomac, MD



Chapel of Our Lady of Guadalupe - Potomac, MD



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DAIDAHY HISTORIC PRESERVATION
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MITERIELL PRINT & GOLDSBORQUER INC. Design/Build Remodeler

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Richt L. Ginde Drive, Saint 301
Richville, Maryhand 20350
(501)309 6470

Civilistip (putth)
1686 E. Gode Drive, Soite 304
Roctivitie, Maryland 20850
(301)762 8224

Robert L. Mitchell Louis A. Best Theodore M. Visnic



OFFICE: (301) 309-6470 FAX: (301) 309-8820

Rock Manor Office Park • 1684 E. Gude Drive, Suite 301 • Rockville, Maryland 20850

July 14, 1997

Ms. Perry Kephart
Historic Preservation Commission
1109 Spring Street #801
Silver Spring MD 20910

Re: Marwood Entry Feature

Dear Perry.

Sorry this is taking so long, but as of now there is no way I can get the revised drawings you need by 5:00 on Wednesday, July 16th. Therefore, I am asking you to give us a week's extension on this matter, till July 23, 1997.

Also, the package you got last week ought to clarify the rails we wish to use. Please let me know if that is now to the Commission's satisfaction.

Sincerely,

Mary M. Schmidt

Administrative Assistant

/mms

CC:

Ted Visnic Marty Mitchell File 141710-80 Robert L. Mitchell Louis A. Best Theodore M. Visnic



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FAX: (301) 309-8820

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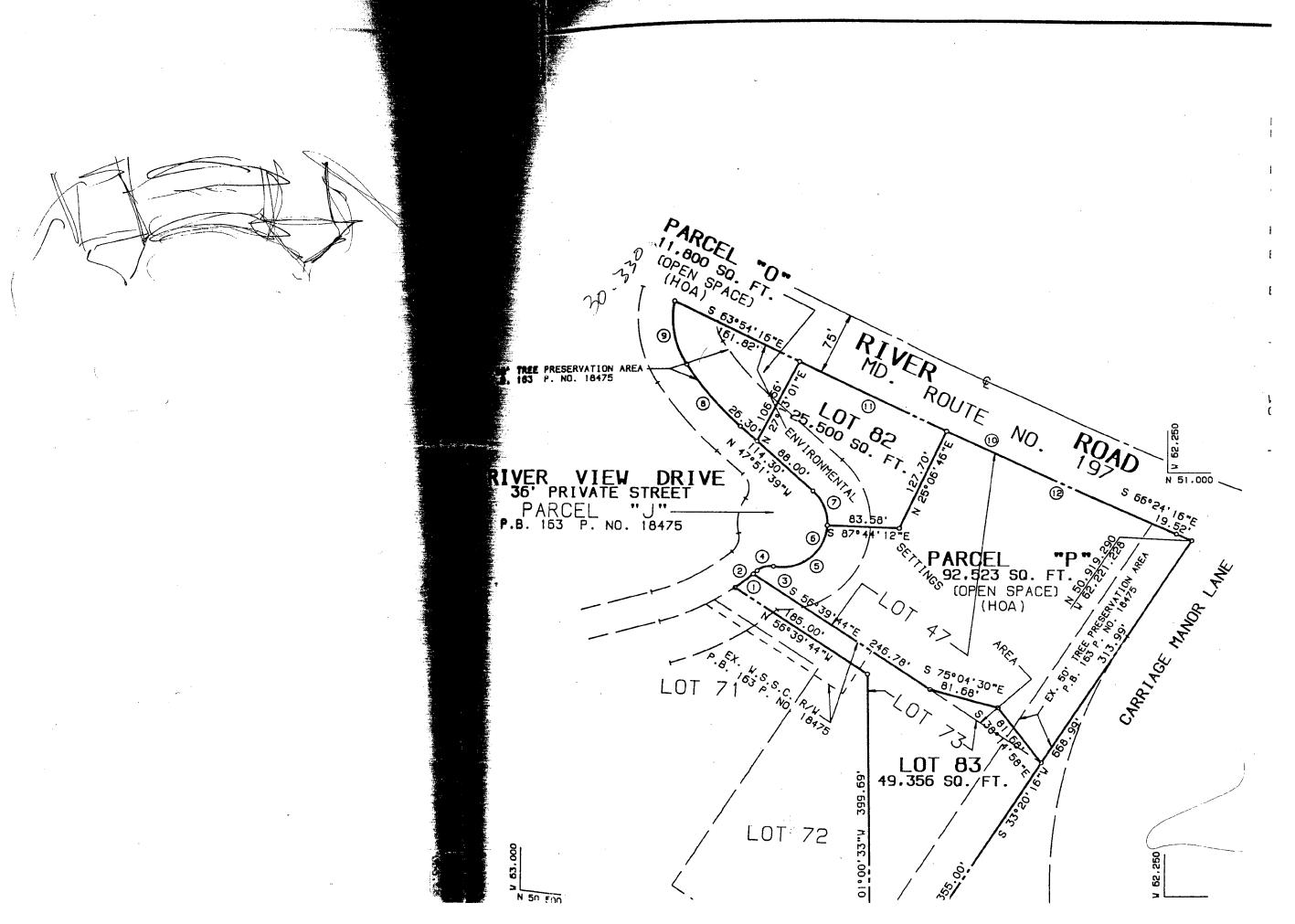
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Marty Mitchell

File 141710-80



SITE TABULATION

187.89 Acres A. Gross site area B. Dedication to MD. Route 197 2.22 Acres 8.81 Aspes - Ol Acres C. Dedication to private roads). Open space 17 Acres E. Reservation for Existing
historic manor house (Lot 74) 1 = 13 Acres F. Area remaining for development of new units **56** Acres TABULATION OF DEVELOPMENT STANDARDS G. Net site area = A-B 1855 . 67 H. Number of existing units 1. Number of proposed units J. Density of development = (H+1)/G = O _ _________/units acre K. Average lot size for new development = F/I = 1 _ _ _ _ _ _ _ acres L. Minimum lot size = 0.70 cores 30 - 412 square feet M. Building Restriction Lines (BRL) Front = 40 feet Side = 15 feet Rear = 15 feet (50 at outside subdivision boundary)

SHEET NUMBER COVER SHEET VICINITY PLAN DESIGN DEVELOPMENT SITE PL DESIGN DEVELOPMENT SITE PL DESIGN DEVELOPMENT SITE PL DESIGN DEVELOPMENT SITE PL LANDSCAPE, LIGHTING & MISCE I _____ SITE AMENITY DETAILS TREE PROTECTION DETAILS SITE SURVEY OF EXISTING NATURAL CONCEPT EROSION & SEDIMENT CON CONCEPT EROSION & SEDIMENT CON

> COPYRIGHT, 1994 PATTON HARRIS RUST & ASSOCIATES, PC THIS DOCUMENT IS OWNED EXCLUSIVELY BY PATTON HARRIS RUST & ASSOCIATES, PC. COPYING OR USE IN ANY MANNER WITHOUT PRIOR WRITTEN CONSENT IS STRICTLY PROHIBITED.

The undersigned agrees to execute all the features and requirements of this site plan in accordance with the Agreement between the Montgomery County Planning Board and the undersigned dated Potomac Marwood, L.L.C. By: Potomac Mid-Atlantic Partners, L.P. By: Eastern-Maco, Inc.

MARWOODD



SITE DEVELOPMENT PLAN MONTGOMERY COUNTY, MARYLAND

GENERAL NOTES

- 1. This plan was the subject of Preliminary Plan No. 1-89180 approved by the Montgomery County Planning Board on January 25, 1990 and iterative schematic Site Plan revision subsequently reviewed and approved by M-NCPPC staff.
- Boundary information shown on these plans was based upon a survey performed by Hanson & Den Outer. Ltd.. dated September 12. 1988.
- Topographic information is based upon derial and field run surveys performed by Jodie Associates June, 1990 and PHR&A June, 1990 and October 1991.
- 4. Total area of the subject property is 187.8877 acres.
- 5. The property shown hereon is zoned RE-2C.
- 6. The property is located in the Potomac Policy Area of the Potomac Subregion, Montgomery County, Maryland.
- 7. The total number of proposed new residential dwellings is 73.
- 8. The existing historic dwelling and pool facilities will be preserved on lot 74. The existing gatehouse will be on Lot 47, as shown, as an accessory building. Other existing
- 9. It is the intent of the developer of this property to sell "finished" lots singly or in groups. The individual units shown on these plans are therefore representative and recommended types for general site and specific lot site design feasibility, but final unit types may vary.
- 10. The property shown hereon is currently undergoing a filling operation under sediment control and stormwater management approvals #8310170060 and #8609160006.
- 11. The proposed revisions shown herein to the existing Erosion and Sediment Control Plan referenced above will provide controls solely for general site grading, road and utility construction. installation of other utility infrastructure systems and general site stabilization. Construction of individual dwellings and lot specific improvements will require individual small land disturbance permits.
- 12. All streets, on-site storm drainage and amenity features will be privately owned and maintained by a Homeowner's Association
- 13. For information regarding storm drainage and stormwater management, refer to revised Stormwater Management and Storm Drainage Study issued by PHR&A, November, 1990. However, a concept for a complete waiver of on-site stormwater management, based on low development density has been discussed with MCDEP and will be formally submitted for review and approval. Outfall channels below the proposed amenity ponds shown on these plans will be designed in accordance with MCDEP requirements for this purpose.

to be formed by the developer.

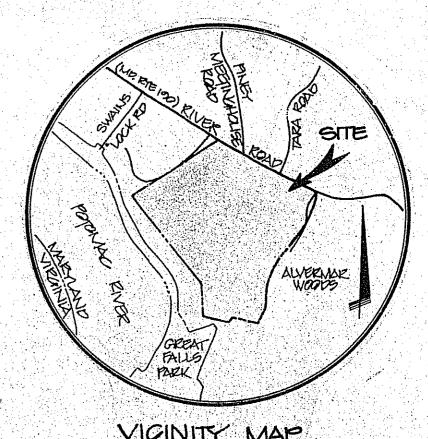
- 14. The water service category is W-1. Public water service is proposed under pending WSSC authorization #603082.
- 15. The sanitary service category is S-6, with a conditional service category change to S-3 approved in 1988 under resolution 10-1640 for application number 85-POT-01. Public pressure sewer service is proposed under pending WSSC authorization #503082.
- 16. All public utilities will be located within public utility
- 17. Drainage, intersection, and signalization improvements within the MD. Route 197 right-of-way will be in accordance with MSHA standards and will be reviewed and approved by MSHA prior to
- 18. A publicly maintained bikeway will be installed by the developer along the northeasterly side of River Road as part of the construction of required improvements along River Road.
- 19. In accordance with Section 59-C-1.527 of the Montgomery County Zoning Code, all proposed streets shown herein are to be privately owned and maintained by a Homeowner's Association to.

be formed by the developer.

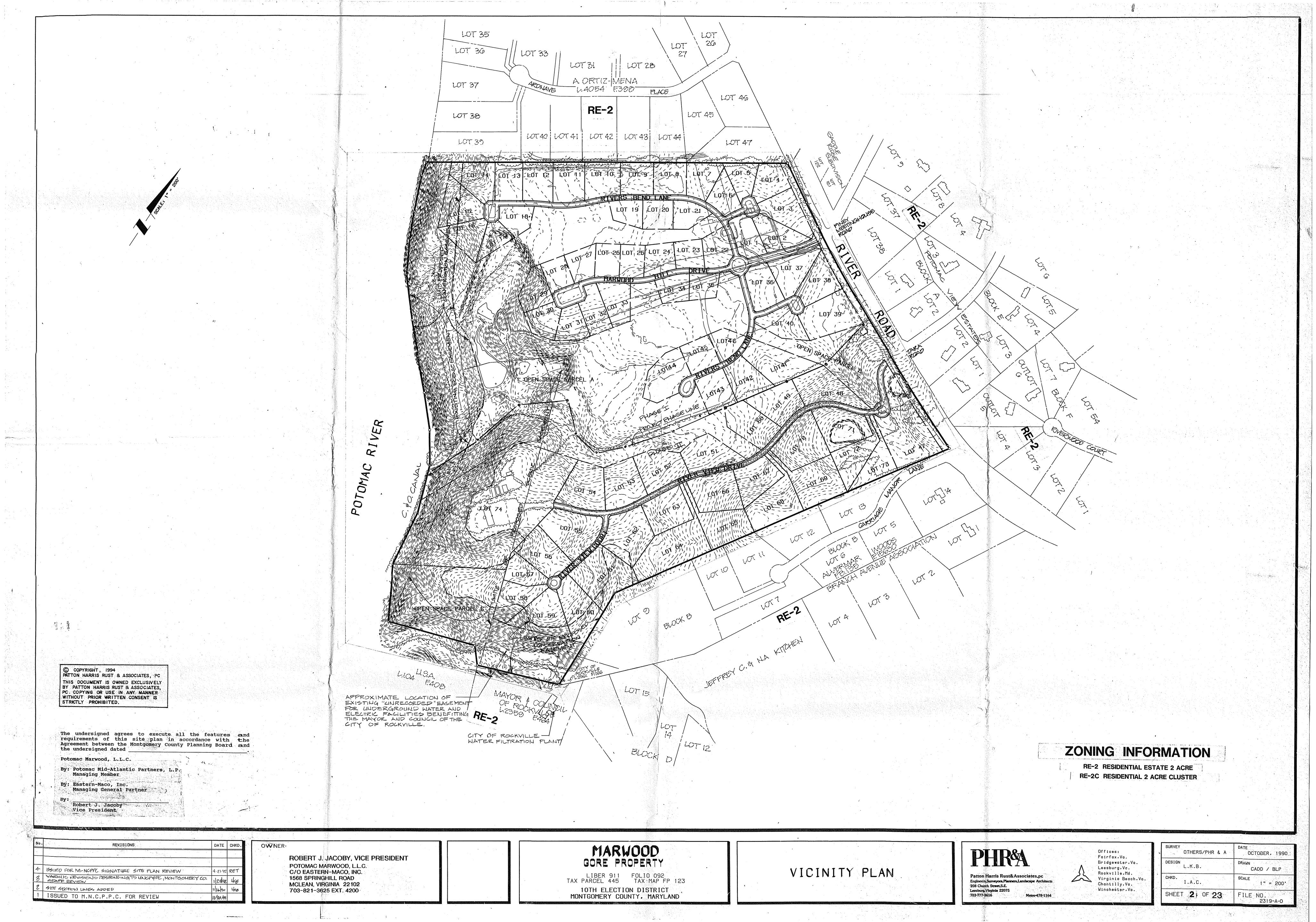
- 20. All proposed private street cross-sections are as shown herein. Horizontal and vertical design will conform to MCDOT standards for tertiary residential roads with speed limits not to exceed 25 MPH.
- 21: The area of the current Fill operation (Phase I) is to be landscaped as indicated generally by these plans, by the developer. Street tree and berm plantings along River Road and all on-site streets shall be installed to meet or exceed the minimum standards of the Montgomery County Department of Transportation. Other areas of the site (open spaces) shall be landscaped by a reforestation plan and meadow/steep slope stabilization program to be developed, but generally as indicated by these plans.
- 22. All existing major trees on the steep slope areas bordering the C&O Canal, and within the National Park Scenic Easement are to be protected in accordance with the requirements and restrictions of the existing scenic easement agreements in the land records of Montgomery County under L. 4721 F. 884 and L. 5092 F. 137. Terms and conditions, requirements and restrictions of the proposed scenic easement expansion are to be determined between the developer/owner and the National
- 23. All areas shown as open space are to be privately owned and maintained by a Hameowner's Association formed by the developer. Except as indicated by these plans, all existing major trees beyond the limits of clearing or grading shown on these plans shall be protected and saved by employment of protective fending, root pruning, root zone deration and other appropriate tree save measures, subject to the following note
- 24. The southerly wooded portion of the site (Phase II) has been the subject of a tree inventory survey performed by Steve Clark and Associates. Urban Foresters as numerically coded an the site plans and enumerated by the attached "Data Collection - Tree Survey" addressing tree size, species, estimated root radius and quality assessment. Except for driveway crossings. a 50-foot wide tree save strip is to be maintained on either side of the right-of-way overlaying the existing drive (River View Drive). Expansion of River View Drive is to be minimized by the private street design, and tree removal or damage is to be minimized as feasible utilizing tree protection measures as
- 25. All minimum lot setbacks, lot widths, and lot areas shall be in accordance with Section 59-C-1.535 of the Montgomery County Zoning Ordinance, with the exception of the site boundary area contiguous to the C & O Canal, where additional restrictions apply as shown herein.

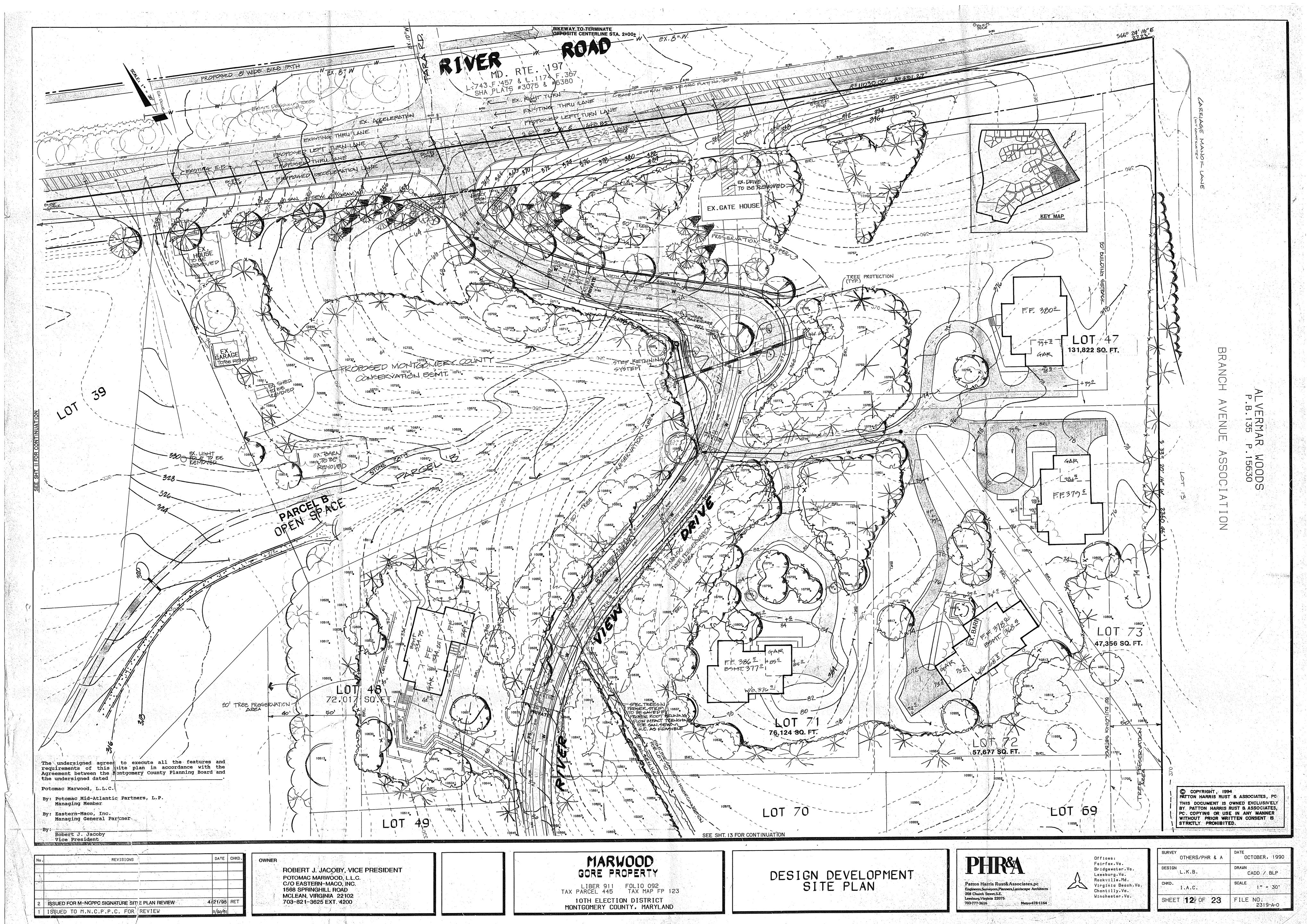
noted above, and on Sheet 18.

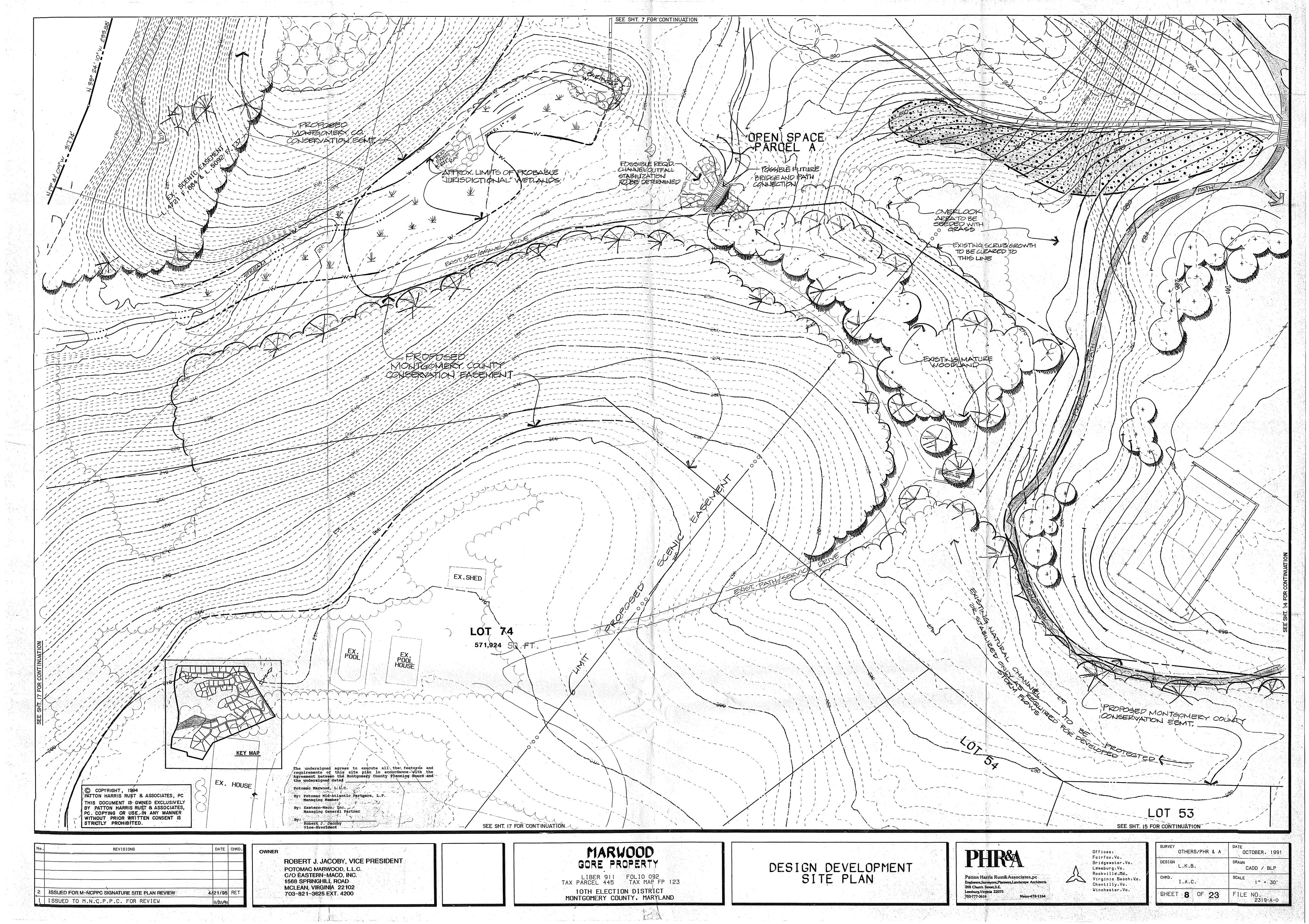
- 26. The site plans for Phose II (Lots 47 thru 73) indicate recommended lot design to maximize feasibility of tree saving within building envelopes as indicated by the limits of within building envelopes as indicated by the limits of clearing. Feasibility of saving specific specimen trees within these building envelopes is indicated with the conceptual type and lot grading shown but is not warranteed by these plans. Major trees coinciding with the limits of clearing, are however, intended to be saved in place and appropriate tree protection measures, as indicated above, are to be employed by any developers of the individual lots, including driveway crossings of the 50-foot tree protection strips adjacent to street 'E'.
- 27. Foundation designs for buildings within the fill zone will be based directly on soil boring data and recommendations made by a registered soils engineer. Soid borings will be taken along the foundation line at intervals specified by the soils
- 28. M-NCPPC staff must inspect tree-save areas and protection devices prior to clearing and grading. Tree-save protection devices shall be those shown on the future erosion and sediment control plans approved by MCDEP, applicable details within the Trees Technical Manual prepared by M-NCPPC and adopted July 1992 or as shown on sheet 20.



COVER SHEET (SITE COMPILATION) - 575 (0.530) PF: GORE 1010 18-Nov-91 08:15 AM / 2319-1-8-99







HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 11200 River View Drive, Potomac Meeting Date: 06/25/97

Resource: Master Plan Site #29/6-2 **HAWP:** Construction

Marwood Gatehouse

Case Number: 29/6-2-97A Tax Credit: No

Public Notice: 06/11/97 Report Date: 06/18/97

Applicant: Martin J. Mitchell Staff: Perry Kephart

PROPOSAL: Construct entry feature. **RECOMMEND:** Approval

w/conditions.

DATE OF CONSTRUCTION: 1931

SIGNIFICANCE: Gatehouse at entrance to Master Plan Site #29/6-1, Marwood.

ARCHITECTURAL DESCRIPTION

Beaux Arts two-story stuccoed brick gatehouse with red tiled roof. The Gatehouse served as the entrance to Marwood with a single car width arch in the center of the structure through which the driveway leading to the main house formerly was routed. There is a two bay residence above the archway on the 2nd story with ground level one story wings on either side of the archway that each contain two car garage openings with tile terraces on the level above.

BACKGROUND

When Marwood was subdivided, a new road (River View Drive) was constructed approximately 180' to the right of the historic resource and the existing driveway was closed to vehicular traffic. However, the Gatehouse has a substantial environmental setting including the land between the new road and the historic structure. For that reason, any improvements on this land are to be reviewed as to their impact on the Gatehouse. As a separate Master Plan site, the Marwood Gatehouse is subject to the highest level of review.

PROPOSAL

The applicant proposes to construct an entry feature for the subdivision on the left side of River View Drive. The structure is to suggest one half of an entrance gate and contain a kiosk-like pillar (with no openings) on the right with a side buttress and a curved length of stucco wall topped by iron fencing with filigree insets. At the left end a smaller pillar is proposed that will be topped by a lamp of black anodized aluminum. The main or kiosk pillar is proposed to be approximately 13' tall and the overall structure is approximately 20' long. The main pillar is proposed to have a tile roofcap and signage with ground level spot lighting. The overall structure is to be constructed of concrete block covered with synthetic stucco.

STAFF DISCUSSION

The design of the entry structure is, for the most part, an effective derivation of the Beaux Arts style of the Gatehouse and Marwood itself. It is, however, problematic for two reasons. First and most importantly, the entry feature is designed to look like one half of a gate and, in



staff's opinion, will look unbalanced and incomplete. Usually a gate or portal has two sides and staff feels that if the gate design is to be used it should have symmetrical components.

Secondly, staff is concerned that the entry is overly grandiose for its setting. The Gatehouse is a relatively diminutive building approximately 30' long by 28' high and in danger of being overwhelmed by this entry replacement. An extremely large entry feature is probably not necessary as the Gatehouse will continue to provide a distinctive landmark by which the Marwood property can be identified even if it is no longer the point of entry to the estate. Staff would suggest that an entry design that is scaled down and symmetrical would be more effective in this setting, and would still provide a highly visible entrance into the subdivision.

One further detail of the design that staff would also recommend modifying is the filigree work on the iron railings. This should be omitted from the railing design in the interests of simplicity and also, in staff's opinion, because the filigree mimics or parodies rather than evokes the design of the historic resource.

It should be noted that no actual signage or sign lighting has been included in this application and will be the subject of a later review.

STAFF RECOMMENDATION

Staff recommends that the Commission approve the Historic Area Work Permit as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

with the conditions that:

- 1. A second entry monument be installed on the opposite side of River View Drive.
- 2. The size of both structures be scaled back by at least 25%.
- 3. The iron railing be simple bars with no filigree work.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services0 (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



APPLICATION FOR HISTORIC AREA WORK PERMIT

	201 , 769 0511
TAX ACCOUNT # 54-1748403	DAYTIME TELEPHONE NO. 301) 762-9511
NAME OF PROPERTY OWNER Potomac Marwood IIC	DAYTIME TELEPHONE NO. (201.) 762.0511
ADDRESS 1686 Fast gude Drive Rockville MD 20850	STATE ZIP CODE
CONTRACTOR Mitchell, Best & Visnic	TELEPHONE NO. <u>8-01) 309-6470</u> BC-3168 exp. 4/8/99
CONTRACTOR REGISTRATION NUMBER	3C-3168 exp. 4/8/99
AGENT FOR OWNER Martin J. Mitchell	DAYTIME TELEPHONE NO. (301) 762-9511
LOCATION OF BUILDING/PREMISE	
HOUSE NUMBER 11200 (EW) STREET River View	v Drive
TOWN/CITY Potomac section LOT 82 XBLXXXX A SUBDIVISION	MADLIOOD
LIBER FOLIO PARCEL	
PART ONE: TYPE OF PERMIT ACTION AND USE	
Construct Extend Alter/Renovate Repair Move Porch	all (complete Section 4) Single Family Other feature
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND 2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SE	EPTIC 03 () OTHER
2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () W	ELL 03 () OTHER
·	retaining portion, 3'. of column)
3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE C	The state of the s
On party line/property line Entirely on land of owr	XXX ner On public right of way/easement
HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGO THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AC TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT Signature of owner or authorized agent	ING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT SENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS 6/2/97 Date
APPROVEDFor Chairperson, Histori	is Preservation Commission
DISAPPROVED Signature	Date
Oliveral A	U2(0

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS WRITTEN DESCRIPTION OF PROJECT Description of existing structure(s) and environmental setting, including their historical features and significance: THEEXISTH STALLTING IS THE GATENOISE FOR MARLEON ON RUCK ROAD. THE BATTHOUSE IS SUNFICE PRESEICE ON RIVER ROAD General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district: PROSECT IS THE CONSTRUCTION OF ANEXTWERE THE NEW CONTINES TO MAN WOOD E ME WALL IS USING LIKE MATERIAL TO Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include: the scale, north arrow, and date; a. dimensions of all existing and proposed structures; and b. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping. **PLANS AND ELEVATIONS** 3. You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred. Schematic construction plans, with marked dimensions, indicating location, size and general type of Tell walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required. 4. **MATERIALS SPECIFICATIONS** General description of materials and manufactured items proposed for incorporation in the work of the above project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

> Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.

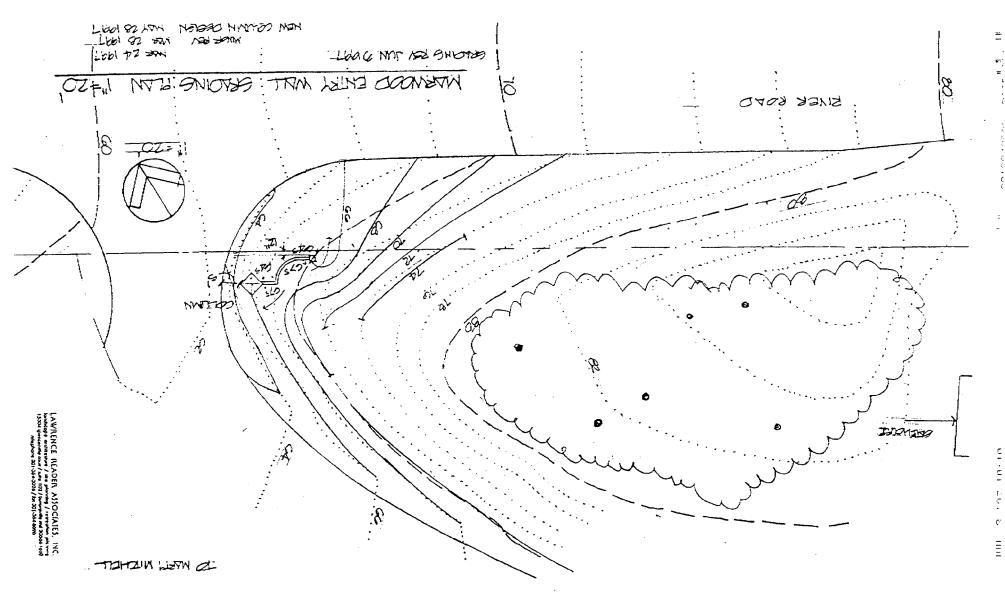
717

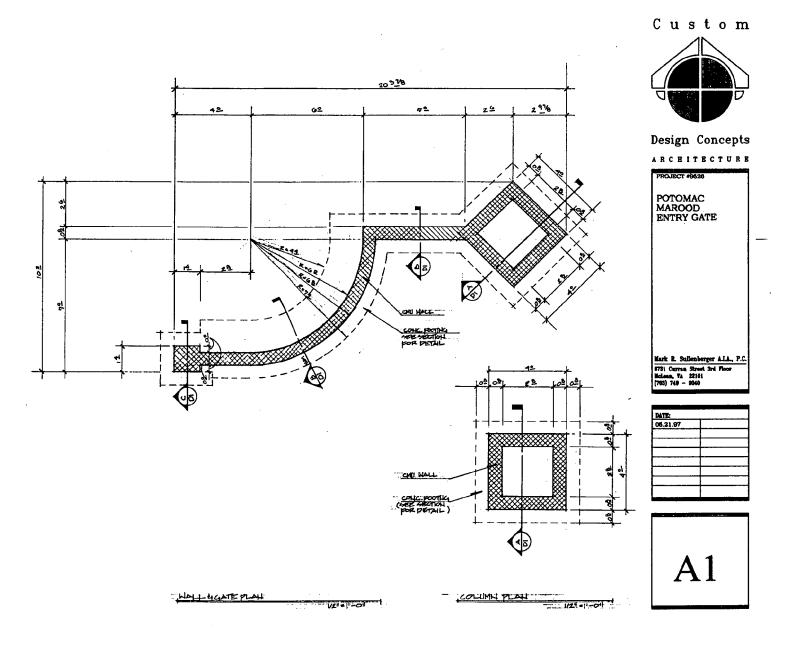
Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY -

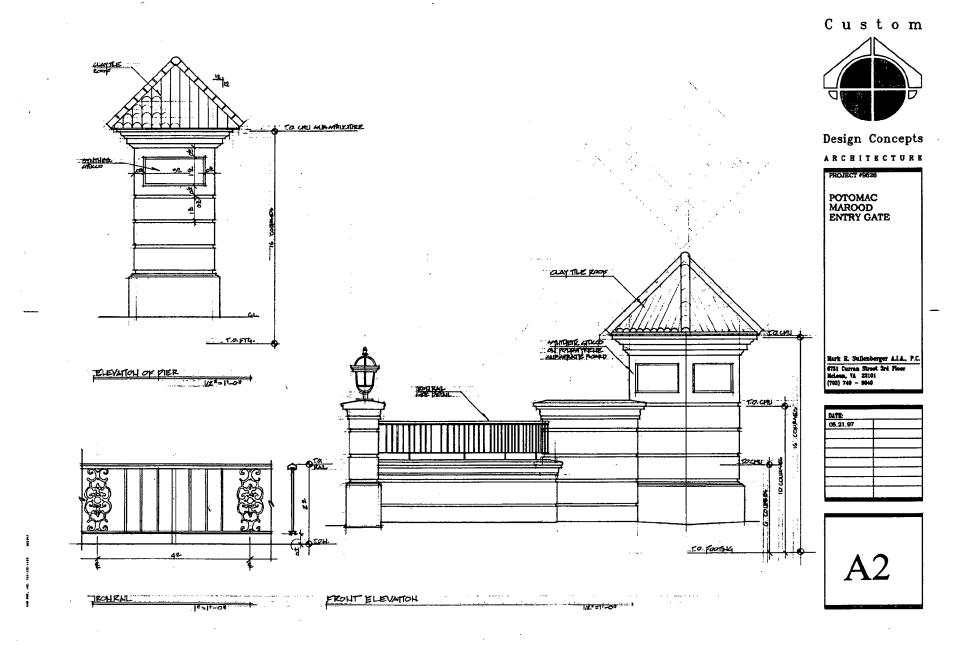
> If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, seed













LLAY THE ROOF OVER TEIR PIT EPOR POLE TOP THE COURSE) WE MINTE STUD CORDICE MATHER MICCO COPILG ON BI CONCEPTE PLACE PLASTING. BANK BOOK MALL HALL BICOK FLOCK MERC LORIZONAL LOUNT RELIVERATION EVERY 1610C. WERT #4 POWERS @ 4000 ALLIN TO GROOT PILLED CORES IN CMU. LA PORRED WILL PROPER TO A POUND CONCESSATION YES * ADOND ACHOC. VEHILLA CONC CHRYCHE VERT WHUCKELS 62402. (2)#45 COUT. AECTION A" MECTION PH HECTION "C" 1/2=1-01 1/2"=1'-0"

STRUCTURAL NOTES

1. GENERAL

A. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

SURCHARGE

100 PS

2. EARTHWORK

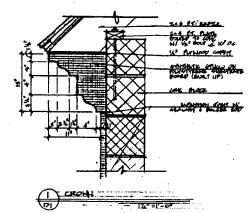
- A. SOIL SEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF. THIS VALUE IS TO BE VERRIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.
- B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2"-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.
- C. FOUNDATION WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 30 PCF ASSUMING A FREE DRAINING MATERIAL OR DRAINING BOARD BEHIND WALL WITH A PERIMETER DRAINTILE SYSTEM. MOTIFY ENGINEER IF SOIL CONDITIONS DIFFER.

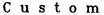
3. CONCRETE

- A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (F'e) = 3000 PSI III 28 DAYS. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.
- B. ALL REINFORCING STEEL TO MEET ASTM-A-615 GRADE 60.

MARCHED

A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C- 90 FOR LOADBEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING 9 10" O.C. HORIZONTALLY. MORTAR TO BE ASTM C- 270 TYPE S.







Design Concepts

ARCHITECTURE

DATE: 05.21,97

(703) 749 - 9940

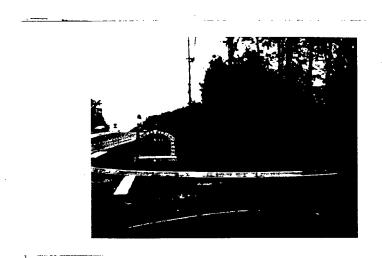
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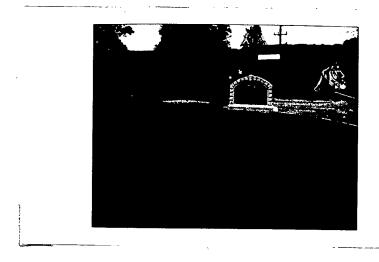
MARWOOD ENTRANCE FEATURE SITE PIX



VIEW LOOKING NORTH FROM MARWOOD TOWARDS ENTRANCE FEATURE LOCATION

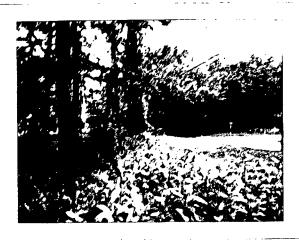


VIEW LOOKING EAST ALONG RIVER ROAD TOWARDS ENTRANCE FEATURE LOCATION

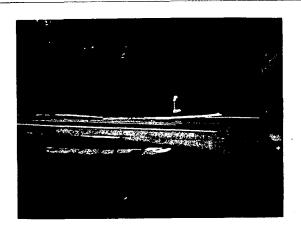


VIEW LOOKING WEST ALONG RIVER ROAD TOWARDS ENTRANCE FEATURE LOCATION

1.

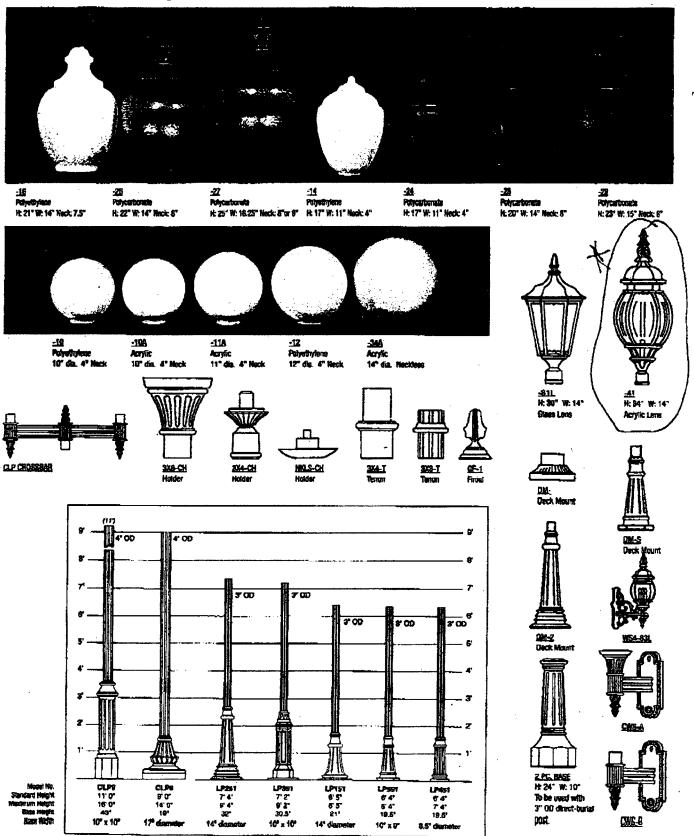


VIEW FROM SECOND FLOOR OF GATEHOUSE WEST TOWARDS ENTRANCE SIGN LOCATION. LOCATION CANNOT BE SEEN FROM HERE.



6-18-1997 10:43AM

Brandon Industries Lamp Parts



MARNOOD ENTANCE WACE PROPARY CURRENS

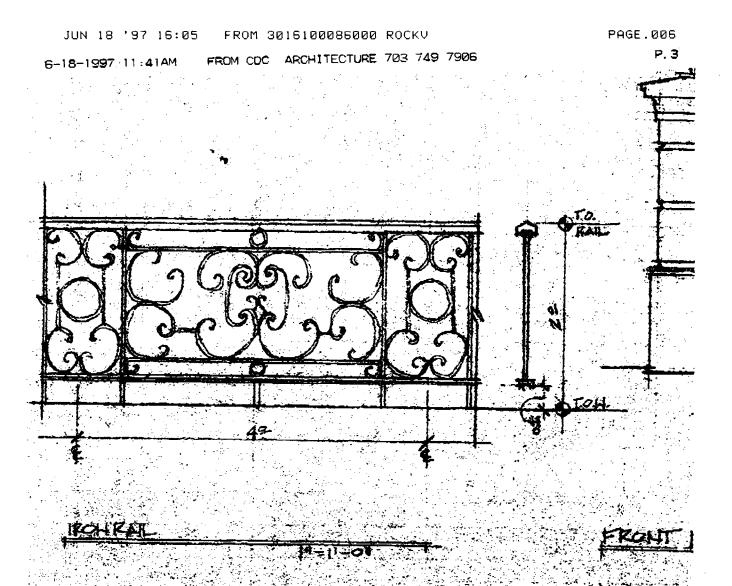
Dr. Adrian M. Cohen 11301 River Road Potomac MD 20854

Mr. Zivan Cohen 10701 Tara Road Potomac MD 20854

Mr. Tom Courtney PO Box 580 Sewickley PA 15143

Transmittal		
Custom Design Concepts ARCHITECTURE Mark R. Søllenberger A.L.A., P.C.		
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HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 11200 River View Drive, Potomac Meeting Date: 06/25/97

Resource: Master Plan Site #29/6-2 HAWP: Construction

Marwood Gatehouse

Case Number: 29/6-2-97A Tax Credit: No

Public Notice: 06/11/97 Report Date: 06/18/97

Applicant: Martin J. Mitchell Staff: Perry Kephart

PROPOSAL: Construct entry feature. RECOMMEND: Approval

w/conditions.

DATE OF CONSTRUCTION: 1931

SIGNIFICANCE: Gatehouse at entrance to Master Plan Site #29/6-1, Marwood.

ARCHITECTURAL DESCRIPTION

Beaux Arts two-story stuccoed brick gatehouse with red tiled roof. The Gatehouse served as the entrance to Marwood with a single car width arch in the center of the structure through which the driveway leading to the main house formerly was routed. There is a two bay residence above the archway on the 2nd story with ground level one story wings on either side of the archway that each contain two car garage openings with tile terraces on the level above.

BACKGROUND

When Marwood was subdivided, a new road (River View Drive) was constructed approximately 180' to the right of the historic resource and the existing driveway was closed to vehicular traffic. However, the Gatehouse has a substantial environmental setting including the land between the new road and the historic structure. For that reason, any improvements on this land are to be reviewed as to their impact on the Gatehouse. As a separate Master Plan site, the Marwood Gatehouse is subject to the highest level of review.

PROPOSAL

The applicant proposes to construct an entry feature for the subdivision on the left side of River View Drive. The structure is to suggest one half of an entrance gate and contain a kiosk-like pillar (with no openings) on the right with a side buttress and a curved length of stucco wall topped by iron fencing with filigree insets. At the left end a smaller pillar is proposed that will be topped by a lamp of black anodized aluminum. The main or kiosk pillar is proposed to be approximately 13' tall and the overall structure is approximately 20' long. The main pillar is proposed to have a tile roofcap and signage with ground level spot lighting. The overall structure is to be constructed of concrete block covered with synthetic stucco.

STAFF DISCUSSION

The design of the entry structure is, for the most part, an effective derivation of the Beaux Arts style of the Gatehouse and Marwood itself. It is, however, problematic for two reasons. First and most importantly, the entry feature is designed to look like one half of a gate and, in

staff's opinion, will look unbalanced and incomplete. Usually a gate or portal has two sides and staff feels that if the gate design is to be used it should have symmetrical components.

Secondly, staff is concerned that the entry is overly grandiose for its setting. The Gatehouse is a relatively diminutive building approximately 30' long by 28' high and in danger of being overwhelmed by this entry replacement. An extremely large entry feature is probably not necessary as the Gatehouse will continue to provide a distinctive landmark by which the Marwood property can be identified even if it is no longer the point of entry to the estate. Staff would suggest that an entry design that is scaled down and symmetrical would be more effective in this setting, and would still provide a highly visible entrance into the subdivision.

One further detail of the design that staff would also recommend modifying is the filigree work on the iron railings. This should be omitted from the railing design in the interests of simplicity and also, in staff's opinion, because the filigree mimics or parodies rather than evokes the design of the historic resource.

It should be noted that no actual signage or sign lighting has been included in this application and will be the subject of a later review.

STAFF RECOMMENDATION

Staff recommends that the Commission approve the Historic Area Work Permit as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

with the conditions that:

- 1. A second entry monument be installed on the opposite side of River View Drive.
- 2. The size of both structures be scaled back by at least 25%.
- 3. The iron railing be simple bars with no filigree work.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services0 (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



Robert L. Mitchell Louis A. Best Theodore M. Visnic



OFFICE: (301) 309-6470

FAX: (301) 309-8820

Rock Manor Office Park ● 1684 E. Gude Drive, Suite 301 ● Rockville, Maryland 20850

July 3, 1997

Ms. Perry Kephart
Historic Preservation Commission
1109 Spring Street #801
Silver Spring MD 20910

Re:

Marwood Entry Feature

Dear Perry:

Enclosed please find one set of plans for the Marwood entry feature incorporating the changes suggested by the Historical Commission. Please let me know as soon as you can if the Commission will approve this feature.

Thanks.

Sincerely,

Mary M. Schmidt Administrative Assistant

/mms

CC:

141710-80

will bring in new design for July 23-Car olray onstall mest be by Jul 17

APPLICATION FOR HISTORIC AREA WORK PERMIT

	CONTACT PERSON THAT LITTLE 1 762 OF 11
TAX ACCOUNT # 54-1748403	DAYTIME TELEPHONE NO. 301) 762-9511
NAME OF PROPERTY OWNER Potomac Marwood IIC	DAYTIME TELEPHONE NO(301_) 762-9511
ADDRESS 1686 Fast gude Drive Rockville MD 2085	STATE ZP CODE
CONTRACTOR Mitchell, Best & Visnic	
CONTRACTOR	TELEPHONE NO. 6-01) 309-6470 BC-3168 exp. 4/8/99
AGENT FOR OWNER Martin J. Mitchell	DAYTIME TELEPHONE NO(301_) 762-9511
LOCATION OF BUILDING/PREMISE	
HOUSE NUMBER 11200 (EW) STREET River Vie	w Drive
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Construct Extend Alter/Renovate Repair Move Porch	
Wreck/Raze Install Revocable Revision Fence/V	Wall (complete Section 4) Single Family Other Feature
18. CONSTRUCTION COST ESTIMATE \$ 10,000	
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PE	RMIT SEE PERMIT #
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2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () V	WELL 03 / NOTHER
	WELL VS () OTHER
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(Signature of owner or authorized agent	Date
APPROVEDFor Chairperson, History	oric Preservation Commission
DISAPPROVEDSignature	Date

TH	E FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUM	ENTS
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•	c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mequipment, and landscaping.	
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	You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". 8 1/2" X 11" paper are preferred.	Plans on 131
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	be noted on the elevations drawings. An existing and a proposed elevation drawing facade affected by the proposed work is required.	OI WACII
	MATERIALS SPECIFICATIONS	
	General description of materials and manufactured items proposed for incorporation in the w project. This information may be included on your design drawings.	ork of the
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If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at

Clearly labeled photographic prints of each facade of existing resource, including details of the

Clearly label photographic prints of the resource as viewed from the public right-of-way and of the

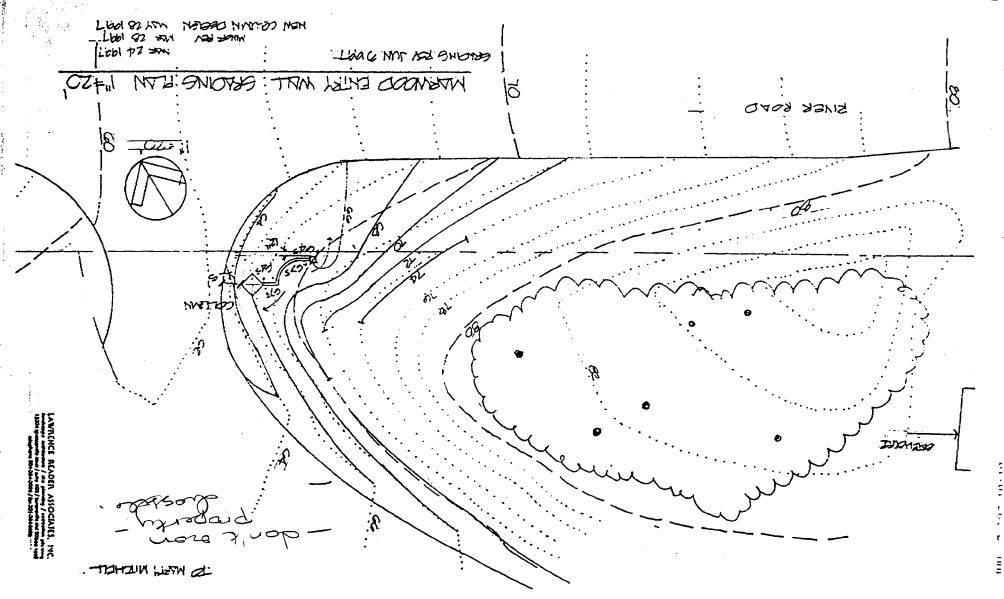
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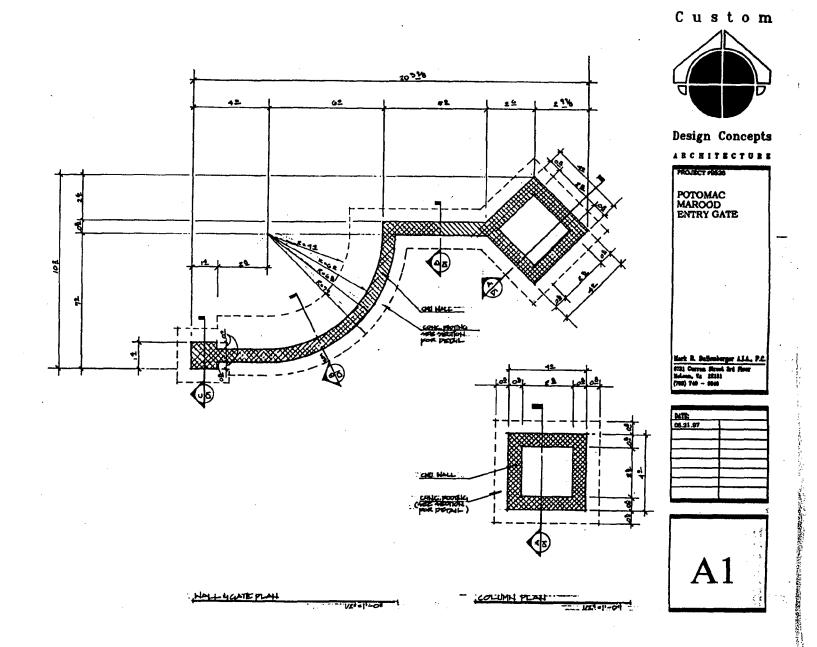
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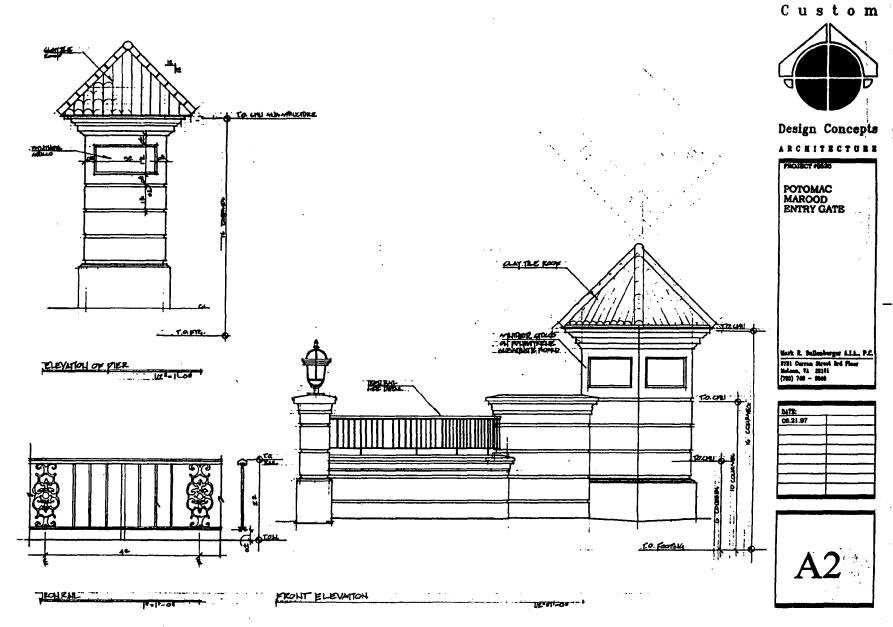
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Custom

Design Concepts

PROJECT #8628

POTOMAC

MAROOD

ENTRY GATE

Mark 2. Sullenbarger ALL, P.C. 9721 Curves Street 3rd Roor Midsen, VL 20101 (703) 749 - 9040

08.21.97

D1

STRUCTURAL NOTES

1. SERVERAL

A. THE POLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

BURCHARGE

100 PSF

2. EARTHONOGE

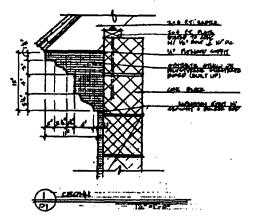
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- B. ALL REINFORCING STEEL TO MEET ASTM-A-818 GRADE 60.

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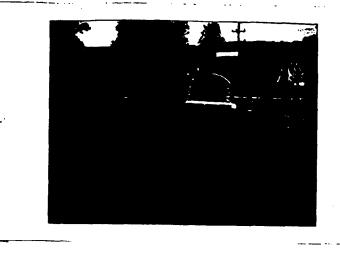
MARWOOD ENTRANCE FEATURE SITE PIX



VIEW LOOKING NORTH FROM MARWOOD TOWARDS ENTRANCE FEATURE LOCATION



VIEW LOOKING EAST ALONG RIVER ROAD TOWARDS ENTRANCE FEATURE LOCATION



VIEW LOOKING WEST ALONG RIVER ROAD TOWARDS ENTRANCE FEATURE LOCATION

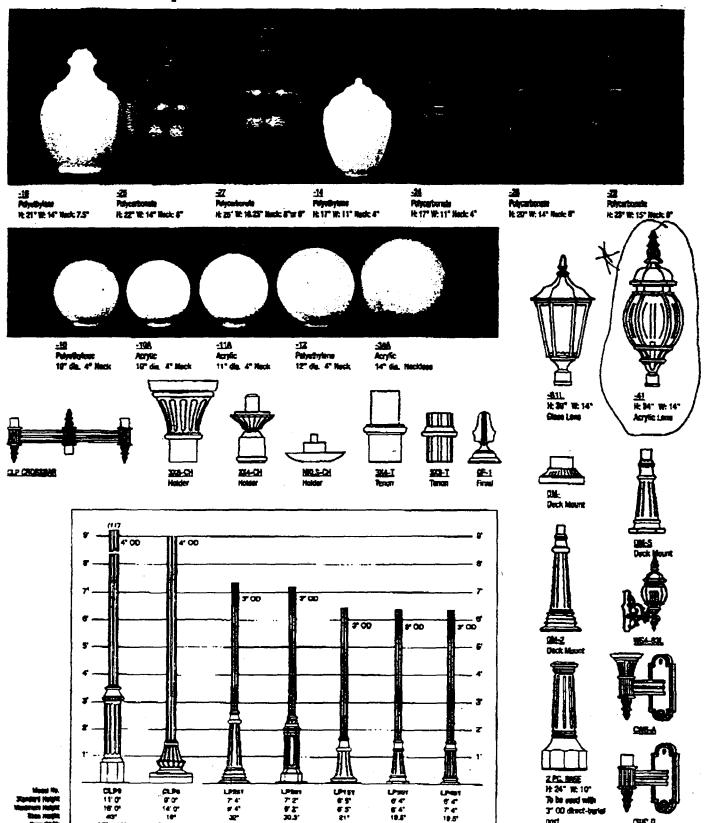


VIEW FROM SECOND FLOOR OF GATEHOUSE WEST TOWARDS ENTRANCE SIGN LOCATION. LOCATION CANNOT BE SEEN FROM HERE.



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Brandon Industries Lamp Parts



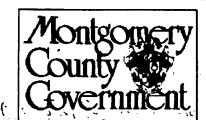
10" x 5"

MARNOOD ENTARIEE WACE PROPERTY CUMERS

Dr. Adrian M. Cohen 11301 River Road Potomac MD 20854

Mr. Zivan Cohen 10701 Tara Road Potomac MD 20854

Mr. Tom Courtney PO Box 580 Sewickley PA 15143



RETURN TO: Department of Environmental Protection Division of Development Services and Regulation 250 Hungerford Drive, Rockville, Maryland 20850

(301) 217-6370

Historic Preservation Commission

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HISTORIC AREA WOR	N PENIVITAL X 2109
	contact person Martin J. Mitchell 301) 762-9511
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CONTRACTOR REGISTRATION NUMBER _	(201) 750 0511
AGENT FOR OWNER MARTIN J. MITCHELL	DAYTIME TELEPHONE NO(301) 762-9511 X 2) [
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The second secon	
HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREITHE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL. TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT	GOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS
/Signature of owner/or authorized agent	Nata
APPROVED For Chairmann His	The second secon
For Chairperson, His	tone Preservation Commission
Signature	Control of the Control of Control of the Control of
APPLICATION/PERMIT NO: 970/2040063	DATE FILED: DATE ISSUED:

SEE REVERSE SIDE FOR INSTRUCTIONS

29/6-2-97A

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THEEXION STRUCTURE IS THE GATTHOUSE FOR MARWOODS

JUST FRONT ON RUCK ROAD. THE CATTHOUSE IS SINIFICATE

ONE TO IT 67 ± 48AR PRESENCE ON RIVER ROAD.

 General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROSECT IS THE CONSTRUCTION OF ANEXTRANCE

WALL AT THE NEW CHARACE TO MANGOOD.

THE NEW WALL IS WING LIKE MATERIALS TO THE

GATE HOUSE TO MINIMIZE IMPACE.

SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

2.

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. <u>Schematic construction plans</u>, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY — NA

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For <u>all</u> projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.



RETURN TO: Department of Environmental Protection

Division of Development Services and Regulation 250 Hungerford Drive, Rockville, Maryland 20850

(301) 217-6370

Historic Preservation Commission

(301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

	CONTACT PERSON Martin J. Fitchall
TAX ACCOUNT # 54-1748403	DAYTIME TELEPHONE NO. 601) 762-9511
NAME OF PROPERTY OWNER Potomac Marwood 11 C	DAYTIME TELEPHONE NO. (201) 769 051
ADDRESS 1686 Fast gude Drive Rockville MO 20850	STATE ZIP CODE
CONTRACTOR Nitchell Best & Visnic	TELEPHONE NO
CONTRACTOR REGISTRATION NUMBER	3C-3168 exp. 4/8/99
AGENT FOR OWNER Nartin J. Mitchell	DAYTIME TELEPHONE NO. (301) 762-9513
LOCATION OF BUILDING/PREMISE	
HOUSE NUMBER 11200 (EW) STREET River View	v Drive
TOWN/CITY Potomac	
Section LOT 92 BLOCK A SUBDIVISION	NEAREST CHOSS STREET
LOT	MADUIDOD
LIBER FOLIO PARCEL	
PART ONE: TYPE OF PERMIT ACTION AND USE	
1A. CIRCLE ALL APPLICABLE: CIRCLE	ALL APPLICABLE: A/C Slab Room Addition
Construct Extend Alter/Renovate Repair Move Porch	Deck Fireplace Shed Solar Woodburning Stove
Wreck/Raze Install Revocable Revision Fence/W	all (complete Section 4) Single Family Other entrance
TO DOC	an (complete section 4) Single Laminy Other Teateure
1B. CONSTRUCTION COST ESTIMATE \$ 10,000	
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PER	RMIT SEE PERMIT #
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND	EXTEND/ADDITIONS ##/A
2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SE	EPTIC 03 () OTHER
2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () W	ELL 03 () OTHER
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING	WALL retaining portion, 31.
3A. HEIGHT 13 feet inches 0 (top (of column)
3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE O	CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
	XXX er On public right of way/easement
I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGO THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AC	ING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT SENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS
TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.	6/2/27
Signature of owner or authorized agent	6/?/?7 Date
APPROVEDFor Chairperson, Histori	ic Preservation Commission
DISAPPROVED Signature	Date
APPLICATION/PERMIT NO: 1/1/1/1/1/1/1/1/	. DATE FILED: DATE ISSUED:

MARWOOD ENTRANCE FEATURE SITE PIX



VIEW LOOKING NORTH FROM MARWOOD TOWARDS ENTRANCE FEATURE LOCATION



VIEW LOOKING EAST ALONG RIVER ROAD TOWARDS ENTRANCE FEATURE LOCATION



VIEW LOOKING WEST ALONG RIVER ROAD TOWARDS ENTRANCE FEATURE LOCATION



VIEW FROM SECOND FLOOR OF GATEHOUSE WEST TOWARDS ENTRANCE SIGN LOCATION. LOCATION CANNOT BE SEEN FROM HERE.



VIEW FROM TARA ROAD LOOKING SOUTH TOWARDS MARWOOD & ENTRANCE FEATURE LOCATION.

I.	G	eneral Conditions
	1.	Consenection is to be completed in accordance with the following order
	2.	Use of these documents without written permission of the Architect is forbidden. © Copyright
	3.	Any and all drawings and specifications for sirework, plumbing supply or small, electrical circuiting, and heating, ventilation and air conditioning systems not
		contained in the "list of drawings" listed on this page are not pain of the professional services provided to the Owner by the Architect under their Agreement. Any discrepancies between the following documents and documents
	•	provided by any of the above listed services should be indicated in writing to the Architect unsuddately.
II.	Str	ructural Specifications
A.	Gene	ral Requirements
	i.	The conditions and assumptions stated in these spacifications shall be verified by the Couractor for conformance to local codes and conditions. In the event of a discrepancy between these specifications and local creds or conditions, the Couractor shall notify the Architect til writing of the discrepancy and the teccusary precasions shall be stilled to insure the building's structural integrity.
	2	These requirements may be superseded by muse conserve information consumed within the drawings. The more stringent shall be tollowed.
).	Soil conditions: the following creers have been used to design this structure:
		Bearing capacity: Min. 2000 paf. field verrify, under all florings and slabs. Water l'able: Min. 2°-0° below bottom of all commete slabs and favotreps. Footings, florendations, walks and slabs belall not be placed on or its Marine Clay. Peat or other organic materials.
	4.	Bottom of all flottings shall extend to below frost line of the locality or to a minimum of 2° -6° below grade.
	5.	Free draining granular backfill shall be used against fuundation walls. Equivalent fluid pressure or backfill not to exceed 30 pcf, unless otherwise moted on foundation details. If backfill pressures exceed 30 pcf, then walls must be designed for actual pressures by structural engineer.
	6.	All backfill under slabs and funtings shall be clean, purous soil compacted in 8" layers to 95% density.
В.	Conc	·
	1.	All concrete shall attain the following compressive strengths:
		Foundation Walts, Footings, Piers and Interior Slabs
	2	Reinforcing seed shall conform to ASTM A-615, new billet, grade 60.
	3.	Welded wire mesh shall conform to ASTM A-185, with minimum laps of 8".
	4.	Maximum slump 5".
	5,	All expused exterior concrete shall be 6 = 1 % air entrained or shall conform to ASTM C260.
	4	Walls with lateral earth pressures shall be shored or fluor/roof construction shall be ut place prior to back filling.
_	7.	All concrete work shall be in accordance with ACI 318.
C.	Steel 1.	All structural steel specified in these documents shall conform to ASTM A-16.
	2.	Steri pipe shall conform to ASTM A-53.
	3.	All welds shall comply with AWS standards.
	4.	All boits in boited stori connections shall continue to ASTM A-325.
	5.	All required steet anchors, stress, cape, and joint hangers shall be constructed of order approved galvanized steet.
	6.	All connections shall conform to AISC standards.
	7.	Flitch fleares: unless rosed otherwise, all steel flitch beams shall be exacerbled with 2 rows of 1-2" bolts, 12" o.e. usp and bottom, stagger rows 6". There shall be a bolt top and bottom 2" from each end.
D.	Wood	
	1.	All structural wood joints and headers shall be stress graded #2 Hern Fir. (9% M.C. in accordance with NDS by NFoFA unless otherwise much. All wood shall comply to the following minimum specifications:
		22 Hem Fir. 19% M.C.
		F, min: 973 pai repetitive member use 850 pai single member use
		E min: 1,300,000 pm
		F _e min: 75 psi
		F _e min: 1,250 pai

	•
e2 Serve	e PincFir 19% M.C. (42 S.P.F.)
Fy min:	1,000 pai repetitive member use 875 pai single member use
E ma	
F, min:	70 pai
F, min:	725 pai
F _{et} min:	425 pai
#1 South	orn Piec. K.D15 (#2 S.Y.P.)
Fy min:	1.200 pm expeciaive member use 1,000 pm sangle member use
E min	1,600,000 pm
f, min	
F, max	
F _a max	
Note:	Pressure treated lumber shall be #2 Southern Fine KD-15 pressure
	treated to .40 pounds per cubic tout chemical resention and shall be denoted as (P.T.).
Micro La	m.(Girnle 2,QE)
F _b max	2,810 per
E ma	2,000.000 pm
F, ma	285 pm
F _c mm	2.7(п) ры
F _L men:	100 pm
All stude i	n bearing walls shall conform to the following minimum specifications
Stud Grad	s Sprace Pinc Fit 19% M.C.
F _b miss:	650 psi repetitive member use 550 psi ungle member use
	1.200,000 pm
F. min	
F. min:	
•	
	iscrived would trusses and truss headers shall be designed by ser according to EPI and other requirements specified by local building
authority.	Manufacturer shall submit to Architect 3 legible copies of shap and calculations scaled by a Professional Engiteet registered in the
BOVETHING	jurisdiction. Erection shall be in accordance with [P! detions. Roof Transes and all bridging and/or lateral bracing required
for structur	ral imagnity of roof trans system is to be designed by Manufacturer and or Manufacturer's drawings.
	ral wood exposed to nutside, unprotected or hearing directly on
concrete si	nail he pressure treased with approved materials to resist decay and by termines and moisture.
	If plates shall be min. 2×4 and shall be anchood into foundation walls
15" into gr	ved galvanized stert anchors min. 8" into powed in place concrete and outed CMU. Minimum 2 anchors per section of plate. Maximum anchors 6"-0", and anchors placed 12" from end of each plate.
	r wood framework supported on approved foundation walls shall be \$^ above thisis grade.
from the co	risinal exercior convers shall be laterally broad 6'-0" each direction where with 1/2" externor plywood or other app; swed structural or approved galvanued steel corner bracing.
Previde co	mirroom double top place at all bearing stud walls.
Joine shall	be supported internily at the ends at each support by full-depth solid
rim joist or	scept where the ends of joints are nailed or botted to a header, band or ras an adjoining stud. Solid blucking shall be not less than 2 inches in
sominal dis	Joints having a depth-to-chickness ratio exceeding 6 to 1 based on mensions shall be supported inserally by solid blocking, diagonal
	road or metal) or a 1- by 3-inch bridging naited to the bottom of the reals set exceeding 10 feet.
	ral would posts under beams and headers over 4"-0" span shall be min. ean noted otherwise.
	peritions shall be min, 2 x 4 studs at 16" o.c. or as noted, with blocking at said height.

ride solid blocking at 4'-0" o.c. between rim joint mal first interior parallel

All framing shall be detailed and installed in accordance with NFoPA Manual for

Physical subfloors shall be tongue and groove, glood stif naided to Floor Joints with APA approved elastometric structural adhesive and 8d contains naids specual at 6" o.e. at peace edges and 12" o.e. at intermediate se

```
Manufectured Floor France: unless otherwise nated, manufactured floor manufactured
                               shall be "TR True Joints" manufactured by True Joint Corporation. TR True Joints shall be installed in accordance with Manufacturer's specifications and details.
                16. All plywood root, floor and wall sheething shall be APA approved panels.
                                    Interinds
Morter: Type "S" ASTM C270
Hollow CMC: ASTM C-90
Face Brick: ASTM C-216
Grown Aggregated: ASTM C-404

    All measury shall be presented from freezing for not less than 48 hours after
installment and shall not be constructed below 40 degrees it without precautions
measurery to prevent freezing. No nati-freeze minimum shall be added to the

                         Birick venuer shalf be attached to wood frome with minimum #22 galvanized sheet gauge corroson-restore corrugated secta bes, min. 7/8" wide, at vertical instructor men. 16" and hortzontal unserval or min. 16" and hortzontal venteral or min. 16". Provide weep holes at 2".0" o.e. at first course above such hintets.
                         The top course of all meaniny hearing wells shall be constructed of solid meaniny 
units or group filled hollow units or otherwise designed to insure adequate 
distribution of load.

    All massing work shall conform to the applicable requirements of BIA and
NCMA.

III. Doors and Windows
                         Unless otherwise noted, window sizes define intended aesthetic size and type by indicating such opening in fost and inches. Contractor shall verify that windows his he installed comply with local codes standards for egress, light, ventilation and
                         Hazardous locations for glazing shall be determined by and built in accordance with CABO Code 1992 Edition, section 208.
```

IV. Thermal and Moisture Protection

- 1. All state on grade as conditioned spaces shall be travelesed with min. R-5 rigid
- Waterproof all exterior foundation walls below grade enclosing habitable spaces as specified by code at exterior face of wall.
- Flashing: code approved corrosion resistive flashing shall be provided at top of all exterior window and door openings in such manner as to be leabproof, except that self-flashing windows having a continuous lap of not less than 1 1/8" over the sheathing meneral around the primater of the opening, including correst. As not require additional fleshing. Similar flashings shall be installed at the intersection of chimneys or other manney construction with frame or stucco walls, with projecting lips on both sides under stucco copings; under and at the ends of manney, would or metal copings and sills: continuously above all projecting wood trim at well and mod intersections; under building student; at junctions of chamneys and roofs; and in all roof valleys and around all roof openings.
- Building paper: when vener of brick, clay tile, concrete, or natural or artificial stone are used, 15 pound felt or paper shall be attached to the sheathing with floshing whenever necessary to prevent most present potentiation behind the vener. Approved water resistant streaking or air infiltration burrier may be substituted.

V. Finish Materials

- All hardwood floors shall be installed per specifications and re the National Onk Flooring Manufacturers Association.
- 2. All certanic tile shall be installed per l'île Council of America speci

VI. Mechanical/Electrical/Plumbing

- All electrical installations shall be in conformance with the National Electrical

Area Calculations

Custom Area Calculations include gross floor area to exterior face of wall for all conditioned spaces and exclude upper levels of multi-story spaces.



Design Concepts

ARCHITECTURE

PROJECT #9528

Symbols and Abbreviations

Dunies Outles **POTOMAC** Duplex Outles, Weather Protected Dupiex Outlet, Floor Mounted MAROOD Duplex Outles, Switch Operand Duplex Onthe, 3'-4" Above Subfloo **ENTRY** 220V Outlet GATE Ceiling Mounted Incanden haction Box

K Emerior Flood Lights Wall Mounted Incar • Pall Switch Light

Eyeball Light

Wall Washer Light | Received Recessed Light

One Way Switch These Way Switch Switch With Dimmer Smoke Detector

₹3۩ Television Outlet

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Telephone Outlet ∭_{F0} Floor Drain Front Proof Hose Bib he

т.у....

M.C.

S.C.

D.H.

C.S.

A.S.F.

T.O.S.

T.O.W.

O... Recessed Watermoof Light **Dedicated Circuit Outlet** Return Air Location

All codar shake and shingle roofs shall be instelled in accordance with the Cedar Shake and Shingle Buress Design and Application Manual for New Construction

I	ist of Drawings
1 -	ist of Diawnigs
CG	COVER MIEET
ᄓ	DEPLS
<u> </u>	FOUR PRINCIPLE PLAN
200	PURVANION
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Shelf & Pole in Closet

Medicine Cabinet

Solid Core

Double Hung

Casement Window

Above Sub-Floor

Top of Slab

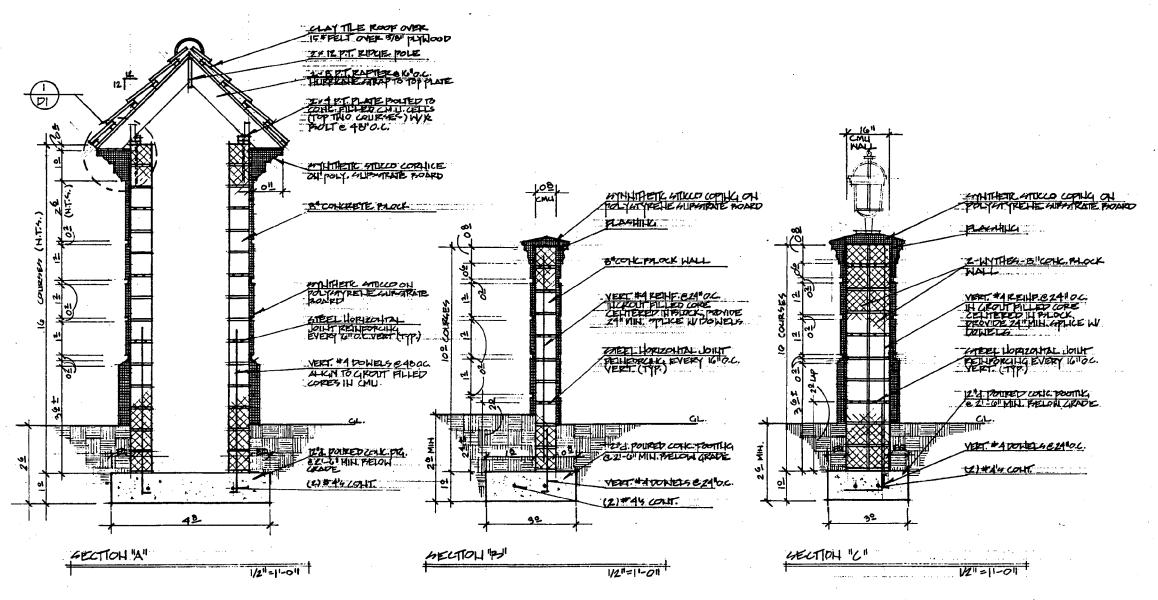
Top of Wall

G.P.D.W. Oypour Planter Dryws

MTE:	
DATE: 05.21,97	
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Hark R. Sullenberger A.L.A.





STRUCTURAL NOTES

1. GENERAL

A. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

SURCHARGE

2. EARTHWORK

A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.

8. ALL REI

MASONRY

A. ALL CO

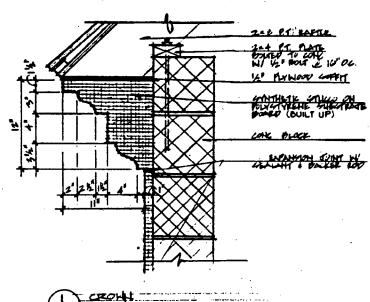
100 PSF

- B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.
- C. FOUNDATION WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 30 PCF ASSUMING A FREE DRAINING MATERIAL OR DRAINING BOARD BEHIND WALL WITH A PERIMETER DRAINTILE SYSTEM. NOTIFY ENGINEER IF SDIL CONDITIONS DIFFER.

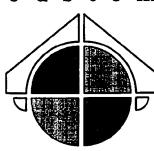
3. CONCRETE

- A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (F'c) = 3000 PSI IN 28 DAYS. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.
- 8. ALL REINFORCING STEEL TD MEET ASTM-A-615 GRADE 60.

ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C- 90 FOR LOADBEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING @ 16" O.C. HORIZONTALLY. MORTAR TO BE ASTM C- 270 TYPE S.



Custom



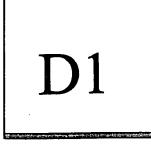
Design Concepts

ARCHITECTURE

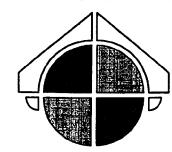
PROJECT #9528 **POTOMAC** MAROOD. **ENTRY GATE** Mark R. Sullenberger A.I.A., P.C. 6731 Curran Street 3rd Ploor McLean, VA 22101

DATE:	
05.21.97	
Marine Marine Water State Marine States and July States and States	d described and subsequently and advantage on the second side

(703) 749 - 9040



C u s t o m



Design Concepts

ARCHITECTURE

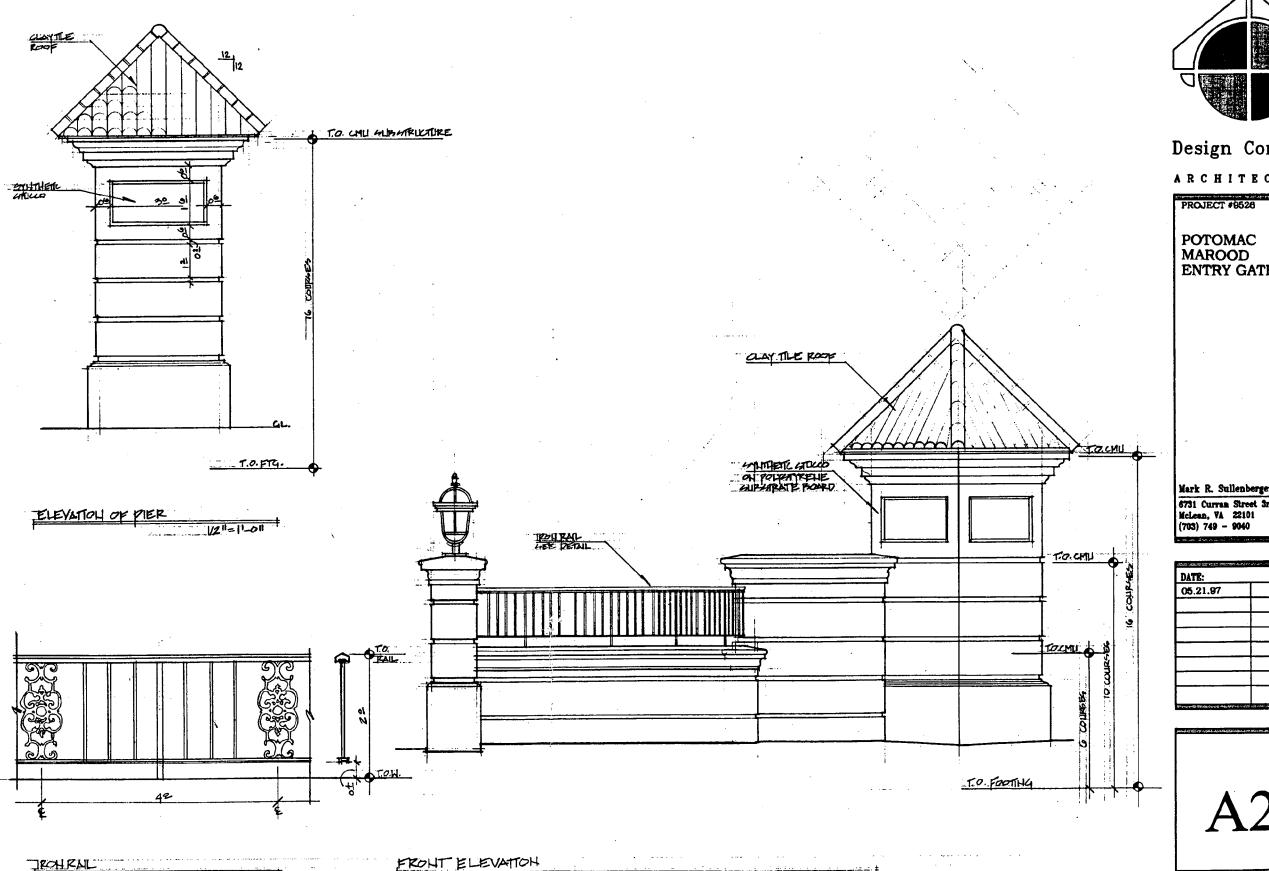
PROJECT #9526

POTOMAC
MAROOD
ENTRY GATE

Mark R. Sullenberger A.I.A., P.C. 6731 Curran Street 3rd Floor McLean, Va 22101 (703) 749 - 9040

DATE:
05.21.97

A1



One then 2? Details on lang & signage. non or coated rail

I. General Conditions .

- 1. Construction is to be completed in accordance with the following code:
- 2. Use of these documents without written permission of the Architect is forbidden.
- Any and all drawings and specifications for sitework, plumbing supply or wante, etectrical circuiting, and heating, ventilation and air conditioning systems no contained in the "list of drawings" listed on this page are not pan of the professional services provided to the Choner by the Architect under their processional services provided to the Owner by the Architect under their Agreement. Any discrepancies between the following documents and documents provided by any of the above listed services should be indicated in writing to the

II. Structural Specifications

- The conditions and assumptions stated in these specifications shall be verified by the Contractor for conformence to local codes and conditions. In the event of a all contractor for construence to local cours and construent. In an event of a discrepancy between these specifications and local codes or conditions, the Contractor shall notify the Architect in writing of the discrepancy and the accessary procautions shall be utilized to insure the building's structural integrity.
- These requirements may be superseded by more stringent inform within the drawings. The more stringent shall be totlowed.
- 3. Sail conditions: the following criteria have been used to design this structure

Bearing capacity: Min. 2000 psf. field verify, under all footings and slabs Water Fable: Min. 2*-0* below hottom of all councret slabs and fourings. Footings, Sundaturus, walls and slabs shall not be placed on or in Marine Clay. Peat or other organic materials.

- Bottom of all footings shall extend to below frost line of the locality or to a minimum of 2"-6" below grade.
- Free draining granular backfill shall be used against foundation walls. Equivalent fluid pressure of backfill not to exceed 30 pcf, unless otherwise noted on foundation details. If backfill pressures exceed 30 pcf, then walls must be designed for actual pressures by structural engineer
- All backfill under slabs and funtions shall be clean, nursus soil compacted in 8"

- 1. All concrete shall attain the following compressive sarengths:
- 2. Reinforcing seed shall conform to ASTM A-615, new billet, grade 60.
- 3. Welded wire mesh shall conform to ASTM A-185, with minimum lasts of 8".
- All exposed exterior concrete shall be 6 = 1 % air entrained or shall conform to ASTM C260.
- Walls with lateral earth pressures shall be shored or floor/roof construction shall be in place prior to backfilling.
- All concrete work shall be in accordance with ACI 318.

- All structural seed specified in these documents shall conform to ASTM A-36
- 2. Steel pipe shall conform to ASTM A-53.
- 3. All welds shall comply with AWS standards.
- 4. All boits in bolted steel connections shall conform to ASTM A-325.
- All required steel anchors, straps, caps, and joist hangers shall be constructed of code approved galvanized steel.
- All connections shall conform to AISC standards.
- Flitch Beams: unless noted otherwise, all steel flitch beams shall be assembled with 2 rows of 1°2" bolts. 12" o.e. top and bottom, stagger rows 6". There shall be a bolt top and bottom 8" from each end.

All structural wood joists and headers shall be stress graded #2 Hem Fir, 19%, M.C. in accordance with NDS by NFoPA unless otherwise noted. All wood shall

#2 Hem Fig. 19% M.C.

P_b min: 975 psi repetitive member use

E min: 1,300,000 pai

F. min: 75 pai

F, min: 1,250 pai

F_ min: 405 pei

#2 Sprace Pipe Fir 19% M.C. 1#2 S.P.F.1...

F_b min: 1,000 psi repetitive member use \$75 pm single member use

E mia: 1,300,000 pai

F., min: 70 pai F. min: 725 pai

F_{ed} min: 425 psi

#2 Southern Pine, K.D.-15 (#2 S.Y.P.)

F_b min: 1,200 pai repetitive member use 1,000 pai single member use

E min: 1,600,000 pai

F, man: 1,500 pm

F₄₄ mass: 565 pm

Pressure treated humber shall be #2 Southern Pine KD-15 pressure treated to .40 pounds per cubic fact chemical retention and shall be denoted as (P,T,t).

Micro Lama Grade 2:001

F. min: 2.800 pm

E main 2,000,000 ps

F, min 2,700 psi

F., man: 100 pm

All studs in bearing walls shall conform to the following minimum specifications

Stud Grade Souce Pine Fir 19th M.C.

Fe min: 650 psi repetitive member us

E min: 1,200,000 pui

F. min: 70 pm F_e min: 425 poi

F_{a.} min: 425 psi

- All manufactured would trusses and truss headers shall be designed by manufacturer according to TPI and other requirements specified by local building authority. Manufacturer shall submit to Architect 3 legible copies of shop attwings and acclustations sended by a Professional Engineer registered in the governing jurisdiction. Erection shall be in accordance with TPI ndations. Roof Trusses and all bridging and/or lateral bracing required for structural integrity of roof trass system is to be designed by Manufacturer and installed per Manufacturer's drawings.
- All structural wood exposed to outside, unprotected or hearing directly on concrete shall be pressure treated with approved materials to resist decay and indestation by termites and moisture.
- All wall sill plates shall be min. 2 x 4 and shall be anchored into foundation walls with approved galvanized steel anchors min. 5" into poured in place concrete and 15" into grouted CMU. Minimum 2 anchors per section of plate. Maximum spacing of anchors 6"-0", and anchors placed 12" from end of each plate.
- All exterior wood framework supported on approved frandation walls shall be minimum 8" above thirds grade.
- All wood framed exterior corners shall be laterally braced 4'-0" each direction from the corner with 1/2" exterior phywood or other approved structural membrane or approved galvanized steel corner bracing.
- Provide continuous double top plate at all bearing stud walls.
- Joists shall be supported laterally at the ends at each support by full-depth solid blocking except where the ends of joists are nailed or botted to a header. band or rise joist or to an adjoining stud. Solid blocking shall be not less than 2 inches in thickness. Joists having a depth-to-thickness ratio exceeding 6 to 1 based on thickness. Joists having a depth-to-thickness ratio exceeding 6 to 1 based on nominal dimensions shall be supported laterally by solid blocking, diagonal bridging (wood or metal) or a 1- by 3-inch bridging nailed to the bottom of the
- All structural wood posts under beams and headers over 4°-0° span shall be min
- All hearing partitions shall be min. 2 x 4 study at 16" c.c. or as noted, with
- Provide solid blocking at 4"-0" o.c. between rim joist and first interior parallel
- All framing shall be detailed and installed in accordance with NFoPA Manual for
- 13. Phywood subfloors shall be tongue and groove, gland and nailed to Floor Joints with APA approved elastometric structural achiesive and 8d common naits space at 6" o.e. at panel edges and 12" o.e. at intermediate supports.

- All wood posts labeled continuous (cont.) shall be continuous from underside of beam to concrete or steel bearing, with no horizontal plates to interrupt bearing.
- Manufactured Floor Trusses: unless otherwise noted, manufactured floor trusses shall be "FIT Trus Joists" manufactured by Trus Joist Corporation. "III Trus Joists shall be installed in accordance with Manufacturer's specifications and details.
- 16. All plywood roof, floor and well shouthing shall be APA approved penete.

Mortar: Type "S" ASTM C270
Hollow CMD: ASTM C-90
Face Brick: ASTM C-216 Face Brick: ASTM C-21
Grout Aggregated: ASTM C-40

- All manuary shall be presented from freezing for not less than 48 hours after installation and shall not be constructed below 40 degrees F without precautions successery to prevent freezing. No anti-firms mixtures shall be added to the
- Brick venuer shall be estached to wood frame with minimum #22 galvanized short gauge corronon-resistive corrugated metal bits. min. 78" wide, as vertical instervals max. 10" and hortunated instervals max. 16". Provide weep holes as 2'-0" o.c. of first course above grade and first course above seed limets.
- Perside homeonial joint minforcement (Dumwalls in all mesons wells @ 1" a.c.
- The top course of all meaners hearing wells shall be constructed of solid meaners units or group filled hollow units or otherwise designed to insure adequate distribution of leak.
- All massery work shall conform to the applicable requirements of BIA and NCMA.

III. Doors and Windows

- Unless otherwise noted, window sizes define intended aesthetic size and type by indicating such opening in feet and inches. Contractor shall verify that windows to be installed comply with local codes standards for egress, light, ventilation and
- Hazardous locations for glazing shall be determined by and built in accordance with CABO Cude 1992 Edition, section 208.

IV. Thermal and Moisture Protection

- All slabs on grade in conditioned spaces shall be insulated with min. R-5 rigid insulation from top of slab downward to 24" below slab or inward 24" from exterior of slab at all slab perimeter areas.
- Waterpenof all exterior foundation walls below grade enclosing habitable spaces as specified by code at exterior face of wall.
- Flashing: code approved corrosion resistive flashing shall be provided at top of all exterior window and door openings in such manner as to be leak-proof, except that self-flashing windows having a continuous lap of not less than 1 1/8" over the sheathing manerial around the perimeter of the opening, including corners, do not require additional flashing. Similar flashings shall be installed at the intersection of chimneys or other masoney construction with frame or stucco walls, with projecting lips on both sides under stucco capings; under and at the ends of rassoury, wood or metal copings and sills, continuously above all projecting wood trius at wall and roof intersections; under built in gutters; at junctions of chimneys and roofs; and in all roof valleys and around all roof openings.
- 4. Building paper: when veneer of brick, clay tite, concrete, or natural or artificial stone are used, 15 pound felt or paper shall be attached to the sheathing with fleshing whenever necessary to prevent moisture penetration behind the veneer. Approved water resistant sheathing or air infiltration bertier may be substituted for building paper.
- All cedar shake and shingle roofs shall be installed in accordance with the Cedar Shake and Shingle Bureau Design and Application Manual for New Construction.

V. Finish Materials

- All hardwood floors shall be installed per specifications and re the National Oak Flooring Manufacturers Association.
- 2. All ceramic tile shall be installed per Tile Council of America specification

VI. Mechanical/Electrical/Plumbing

- All electrical installations shall be in conformance with the National Electrical
- Oround fault circuit interrupters shall be installed per section 200 of the National Electrical Code.

Area Calculations Area Calculations include gross floor area to exterior face of wall for all conditioned spaces and exclude upper levels of multi-story spaces

Symbols and Abbreviations

Duplex Outlet, Weather Protected

Duplex Dustet, 3'-6" Above Subfloo

Duplex Outlet, Floor Mounted

Duplex Outlet, Switch Opera

Cailing Mounted Incandescer

Wall Washer Light (Recessed

Duplex Outlet

220V Outlet

Junction Box

Evehall Light

Recessed Light

Fluorescent Lish

Exterior Flood Lights

Wall Mounted Incand

Pull Switch Light

One Way Switch

Three Way Switch

Switch With Dimme

Buthroom Exhaust Fan

Television Outlet

Telephone Outlet

Front Proof Hose Bib Recessed Watermoof Light

Dedicated Circuit Outle

Return Air Location

Shelf & Pole in Clos

Medicine Cabine

Solid Core

Top of Slab

G.P.D.W. Gypsum Plaster Drywal

Top of Wall

Double Hung

Casement Windo

Above Sub-Floor

Floor Drain

Smoke Detector Chime

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S.C.

D.H.

C.S.

A.S.F.

T.O.S.

TDW

H

Custom

Design Concepts

ARCHITECTURE

PROJECT #9528 **POTOMAC**

MAROOD **ENTRY**

GATE

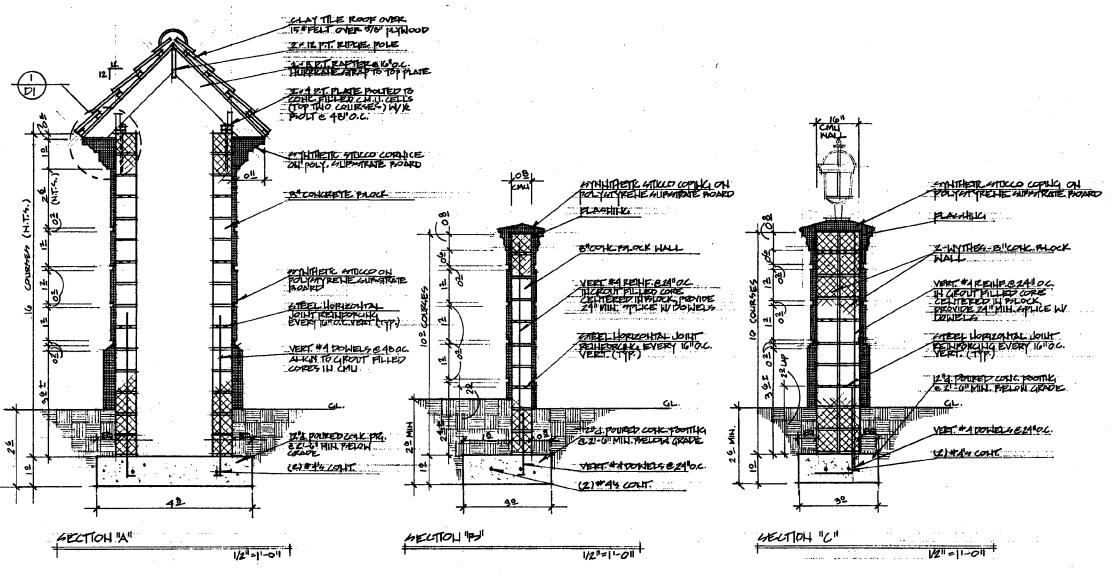
Mark R. Sullenberger A.I.A.

List of Drawings CSI COVER -HEET AL POUNDATION PLAN PU ELEVATION.



Custom





STRUCTURAL NOTES

1. GENERAL

A. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

SURCHARGE

100 PSF

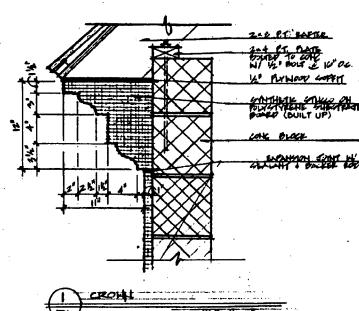
2. EARTHWORK

- A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.
- B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-8" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.
- C. FOUNDATION WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 30 PCF ASSUMING A FREE DRAINING MATERIAL OR DRAINING BOARD BEHIND WALL WITH A PERIMETER DRAINTILE SYSTEM. NOTIFY ENGINEER IF SOIL CONDITIONS DIFFER.

3. CONCRETE

- A. ALL CONCRETE TO HAVE MINIMULA COMPRESSIVE STRENGTH (F'c) = 3000 PSI IN 28 DAYS. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR
- B. ALL REINFORCING STEEL TO MEET ASTM-A-815 GRADE 60.

A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C- 90 FOR LOADBEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING @ 16" O.C. HORIZONTALLY. MORTAR TO BE ASTM C- 270 TYPE S.







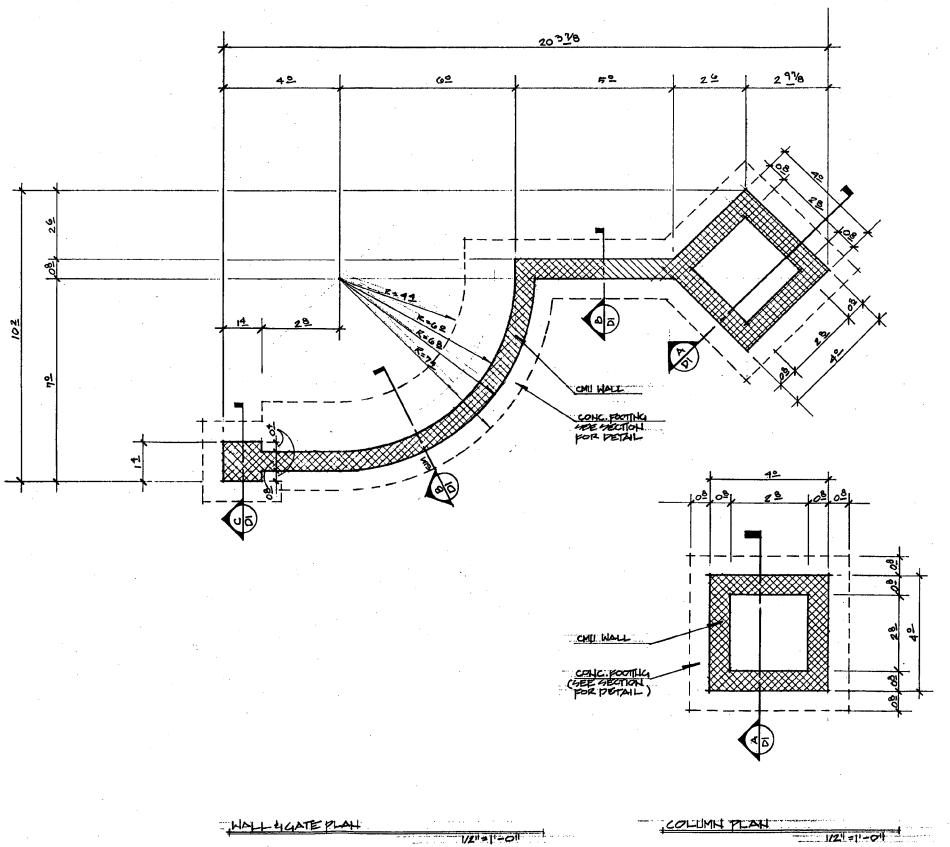
Design Concepts

ARCHITECTURE

PROJECT #9526 **POTOMAC** MAROOD **ENTRY GATE**

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DATE:	
05.21.97	



, iwc. 301-595-1120 G

