

29/6-2-97A 11200 River View Drive
Potomac, (MP Site #29/6-2)

Perry -

What did the
HPC decide?

Lucia

(No record made)

Marwood Home Owners Association
Architectural Control Committee

Transmittal

March 25, 1998

To

Perry Kephart

Regarding

Marwood Entry Feature at River Road and River View Drive in Potomac

Enclosures

(2) pages

cc

n/a

These are transmitted as indicated below

Transmitted Via

For Pricing

Messenger

For Your Information

Fed Express

X For Your Review

By Hand

As Requested

X Fax

Remarks

Enclosed please find our revised design for the entry feature at Marwood. Changes from the original submittal include:

- 1 The size is much smaller than what was previously proposed*
- 2 The wall and railing have been removed
- 3 A pier has been added to the north side of the entry drive
- 4 Both piers will be situated parallel to River Road
- 5 Material and colors will complement the nearby Marwood Gatehouse
- 6 Retaining walls and sign panels are marked for future addition

*We have taken considerable time to be sure the piers are adequately sized for their location at River View Drive while maintaining appropriate scale with the Gatehouse.

Now that all lots have been sold, we are very quite anxious to proceed. I look forward to talking with you.

By

Mitchell Kuff

Mitchell - These are designed as a pair - if that has become a problem we need to possibly discuss either an alternative design or a suitable for obtaining the land needed for

Mitchell Kuff

11221 River View Drive Potomac Maryland 20854 - 1565 301 765 0979 tel 301 765 0989 fax

completing the project - Perry.

**Marwood Home Owners Association
Architectural Control Committee****Transmittal**

March 25, 1998

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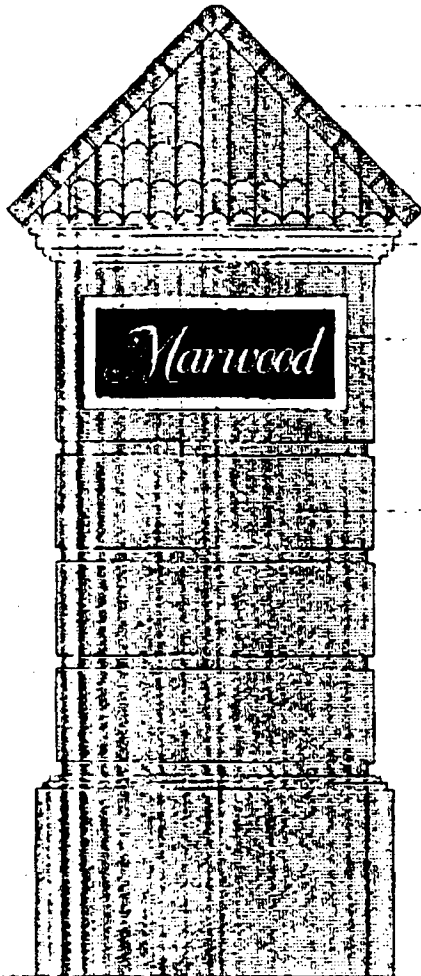
By

Mitchell Kuff

Mitchell Kuff
11221 River View Drive Potomac Maryland 20854 - 1565 301 765 0979 tel 301 765 0989 fax



4'-9"



Clay tile roof

Painted molding

Painted sign plate
Duron 5925N
Graphite
with white lettering
and border

Synthetic stucco
to closely match
Gatehouse

11'-0"



A Front Elevation at Typical Pier

2 required

Scale 1/2" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Handwritten signature] 7/2/98

Entry Feature

Marwood

Marwood Homeowners Association

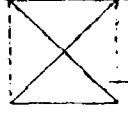
Mitchell & Company Graphic Design

March 25, 1998

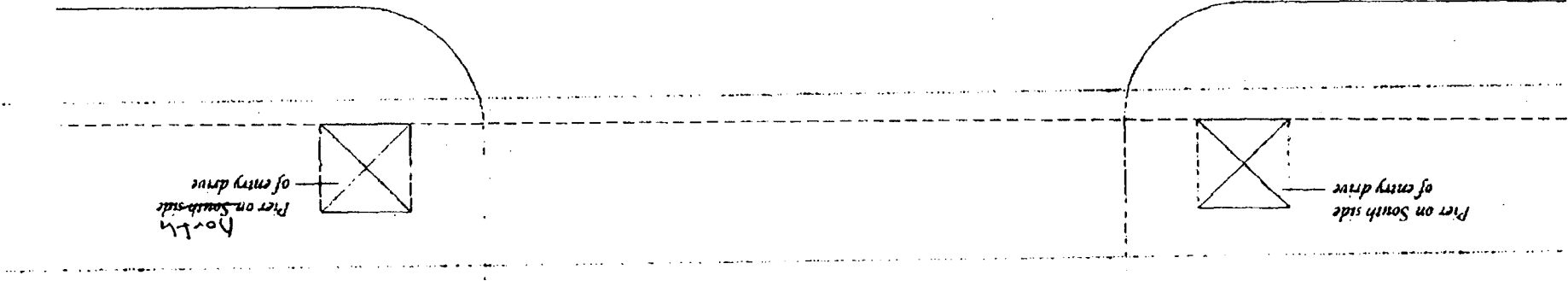
Page 1



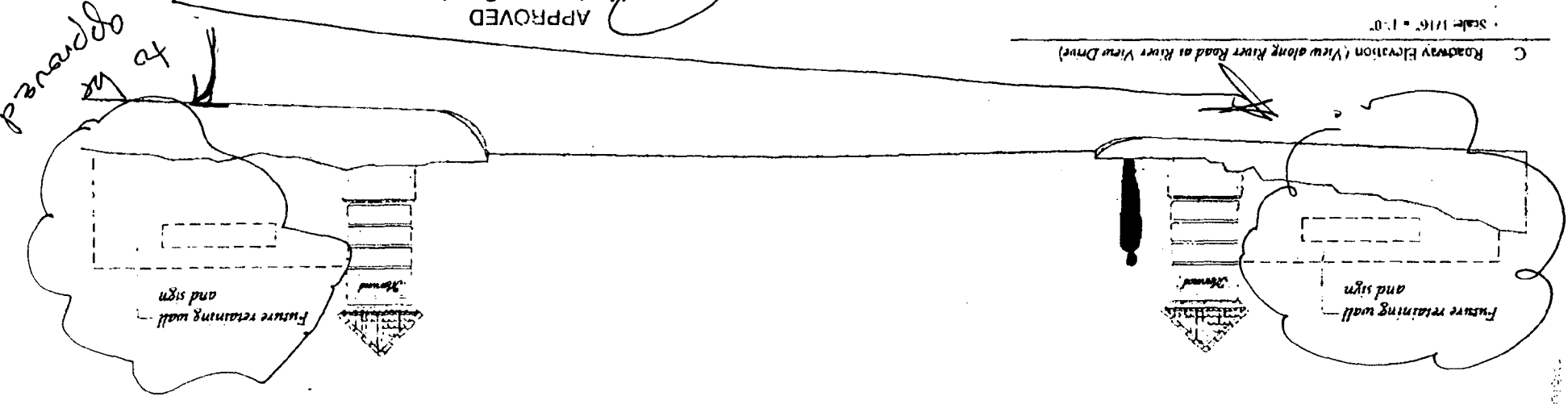
Pier on South side
of entry drive



B Roadway Plan
Scale: 1/16" = 1'-0"



C Roadway Elevation (View along River Road as River View Drive)
Scale: 1/16" = 1'-0"



Marwood
Entry Feature

APPROVED
Montgomery County
Historic Preservation Commission
South of River 7/2/98

Marwood Homeowners Association
Mitchell & Company Graphic Design
March 25, 1998

**Marwood Home Owners Association
Architectural Control Committee**

Transmittal

January 14, 1998

To

Perry Kephart

Regarding

Marwood Entry Feature at River Road and River View Drive in Potomac

Enclosures

(2) pages

cc

n/a

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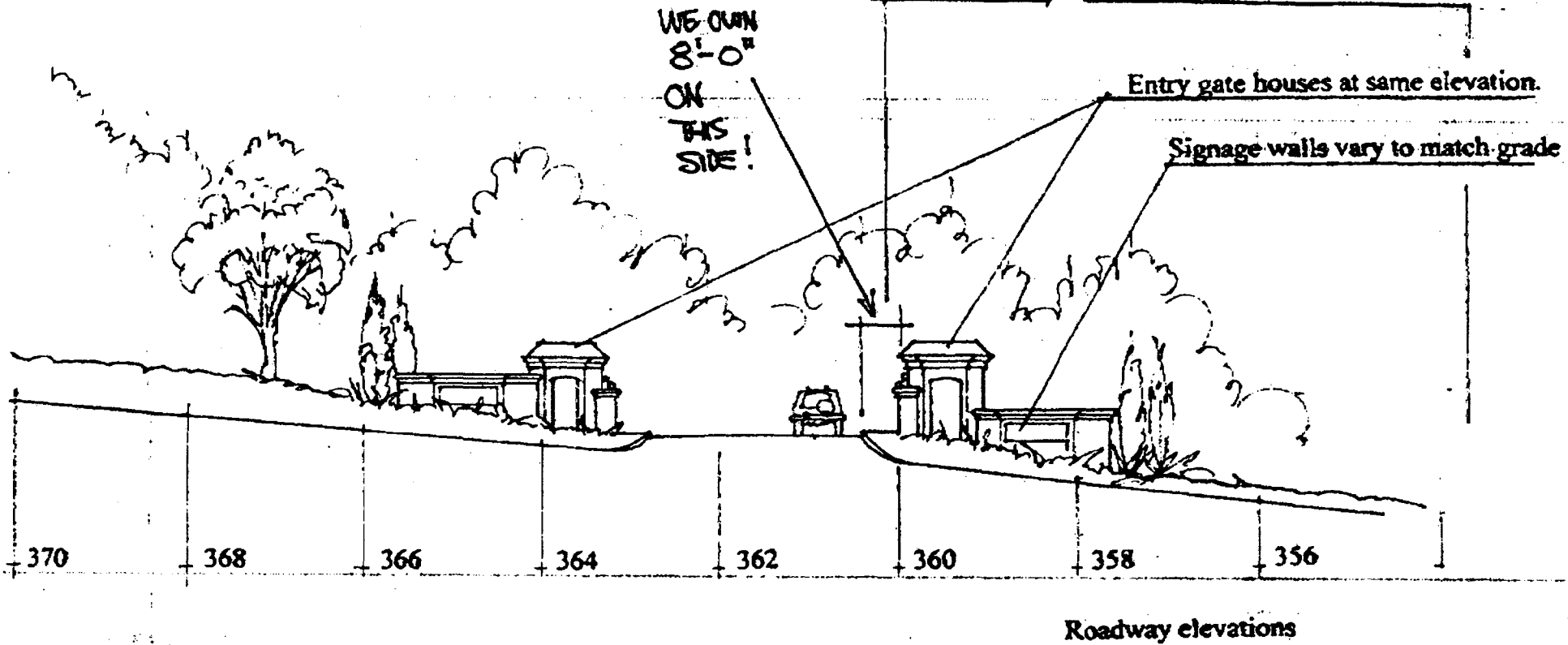
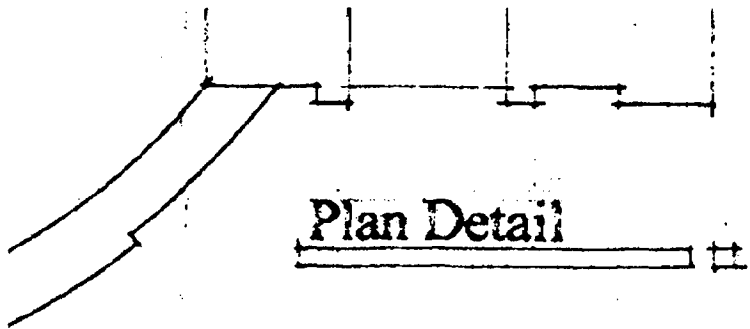
Remarks

Enclosed please find a concept drawing for the entry feature which I do not think you have seen. Our board prefers the elegance and charm of this entry wall to the column and wall design you reviewed this past year. I look forward to hearing your thoughts.

Also, thanks for taking the time to talk with me today. We are very excited about creating a tasteful entrance to the development and appreciate the concerns of your group.

By

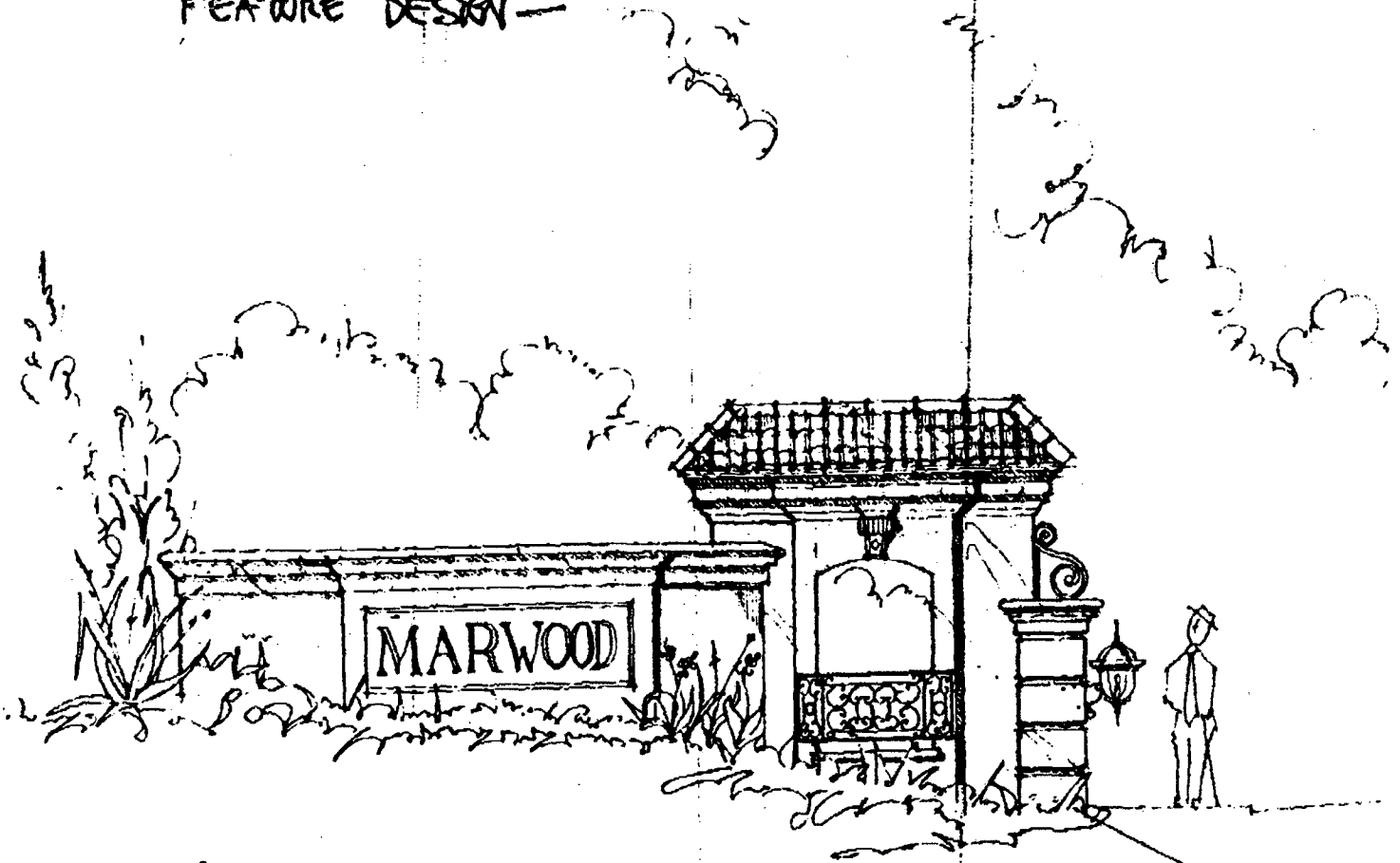
Mitchell Kuff



Site Section

1.14.98 PAE!

ORIGINAL ENTRY WALL
FEATURE DESIGN



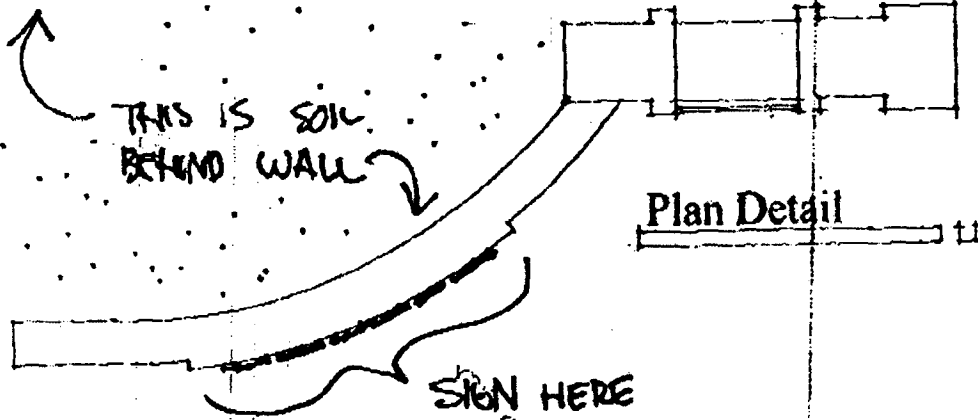
PERKY:

RAIL SHOWN AT ARCH WINDOW
IS LIKE TOP. MANSION

Elevation Detail

1/4" = 1'-0"

364



Plan Detail

Slides & Photos

- Enclosure









7.8-97

2:10 p.m.

Perry -

Re: Mirard Gatehouse

Cell Russ Barton

again ...

301-983-9494

I told him he may not be
able to build another
residence on this lot at all...

The subdivision is so new, that
the C.C. intentions are pretty clear.

But... talk to him! R

7 1/2

400

Perry -

Marwood Gate
House has sold

They want to make

Changes. Do you want

to take the project?

Call:

Russ Barton

301-983-9494

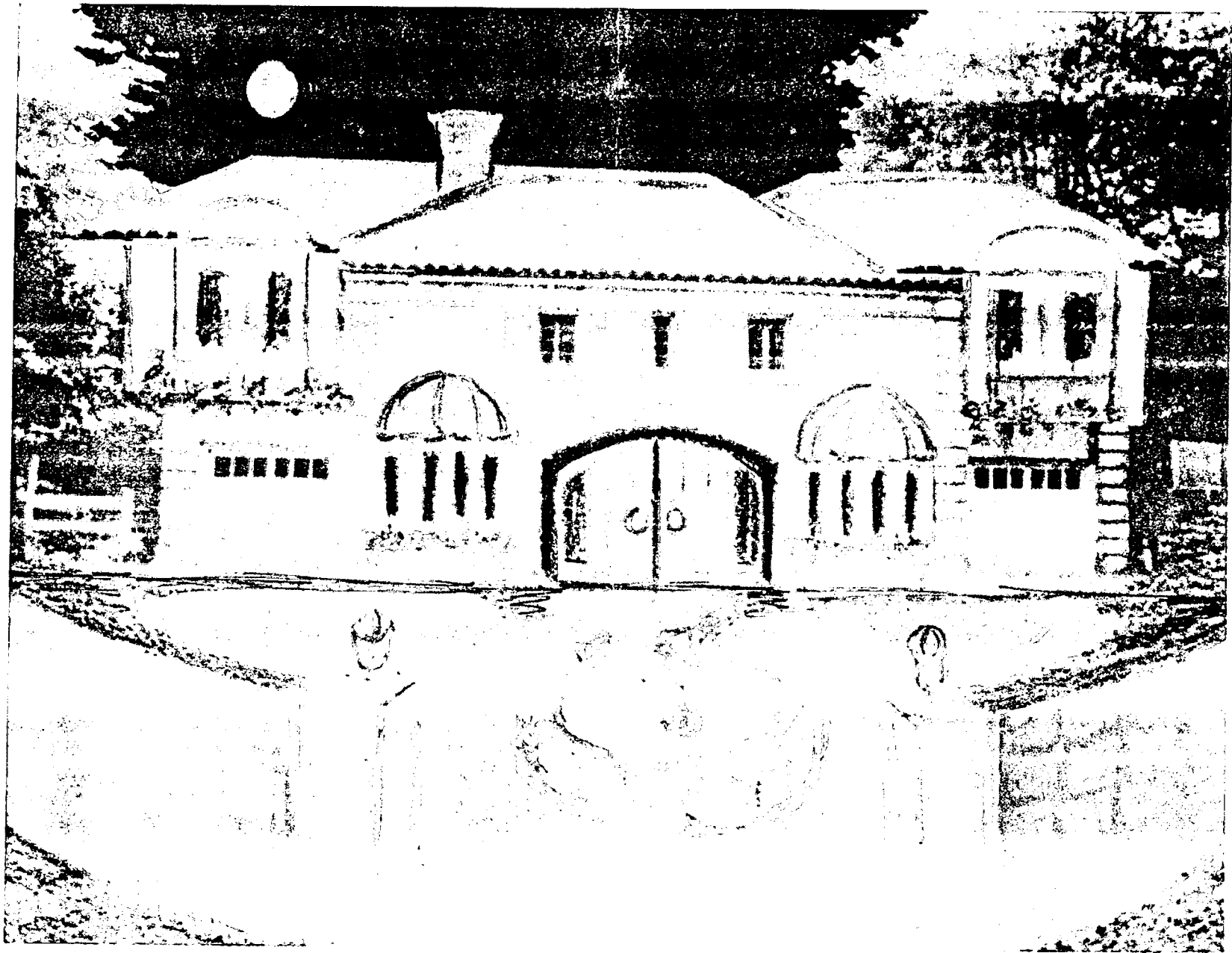
Take designation

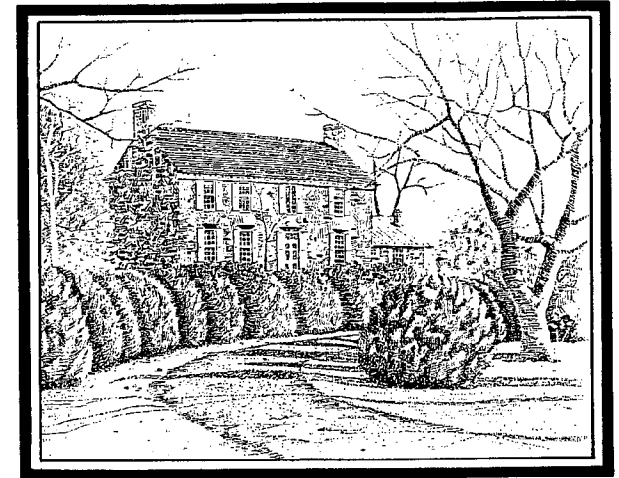
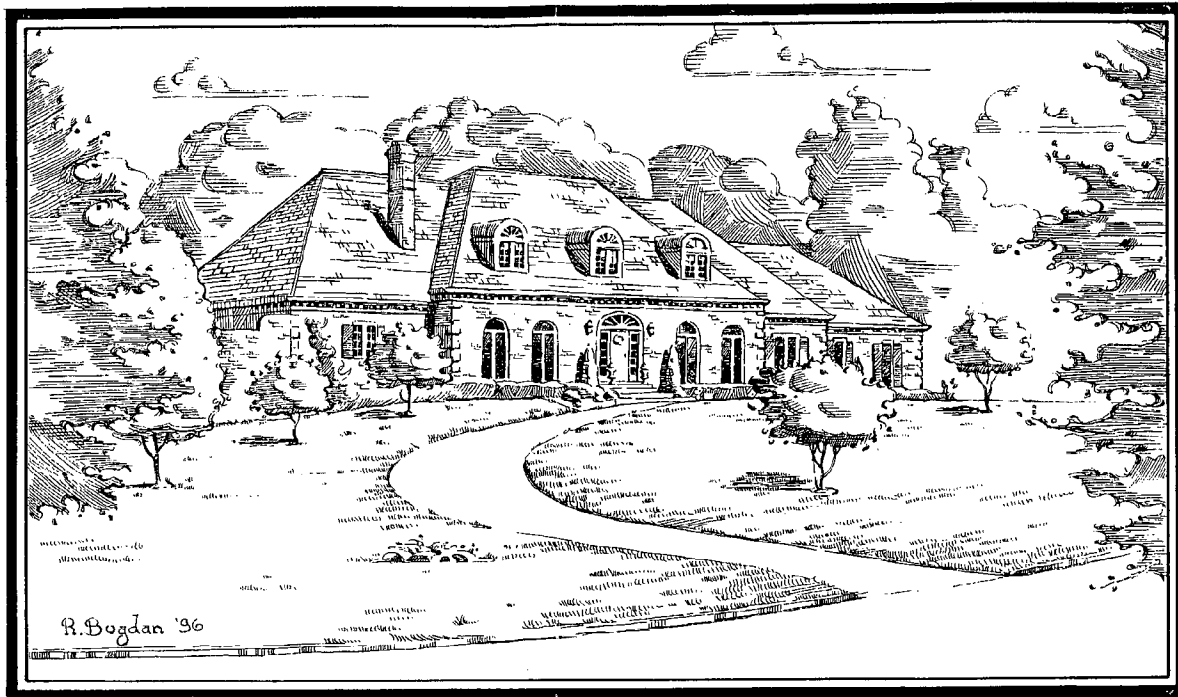
Marwood designation +
info on HAWP ←
He wants us to provide ↑

"Reinforce the walls"
Add railing + baluster
to both terraces.

Add on to building with
addition and

Building another building
adjacent to the
gatehouse

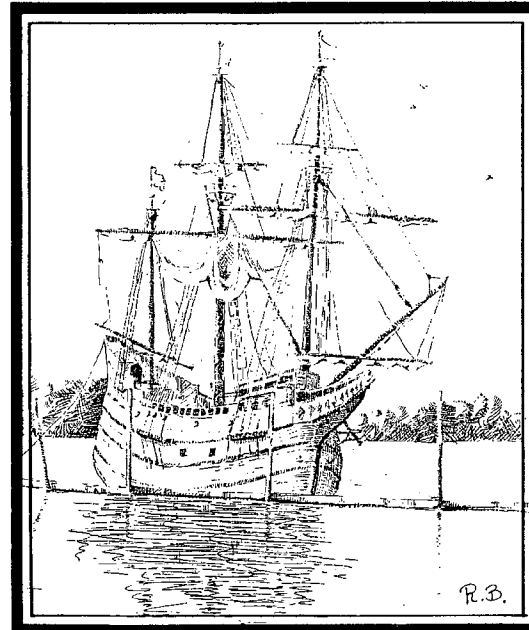
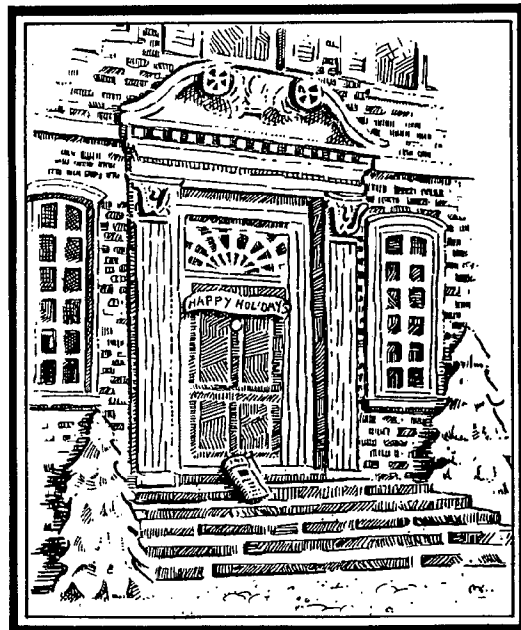




Chestnut Lawn Farm, VA

Pen & Ink
Portraits

by
Russ Bogdan



Half Moon - N.Y. Harbor

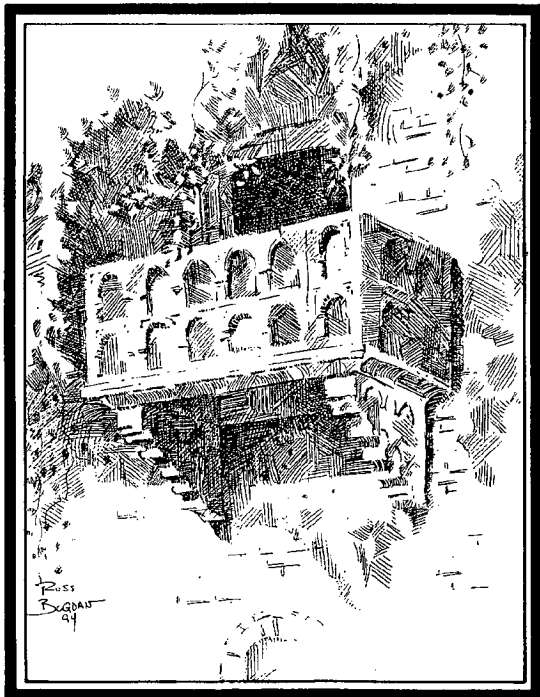
12217 Bradbury Drive
Gaithersburg, MD 20878
(301) 977-7654

A native of Potomac, MD, Russ Bogdan has been taking on house portrait commissions in the Metropolitan area for the past 8 years. By combining his knowledge of classical art and skill as a fine painter, Mr. Bogdan is able to bring a rare Old World quality to his ink drawings which are often reminiscent of antique etchings. In addition to being framed for display these handsome drawings allow for excellent reproduction of stationary and greeting cards as well as for commercial use.

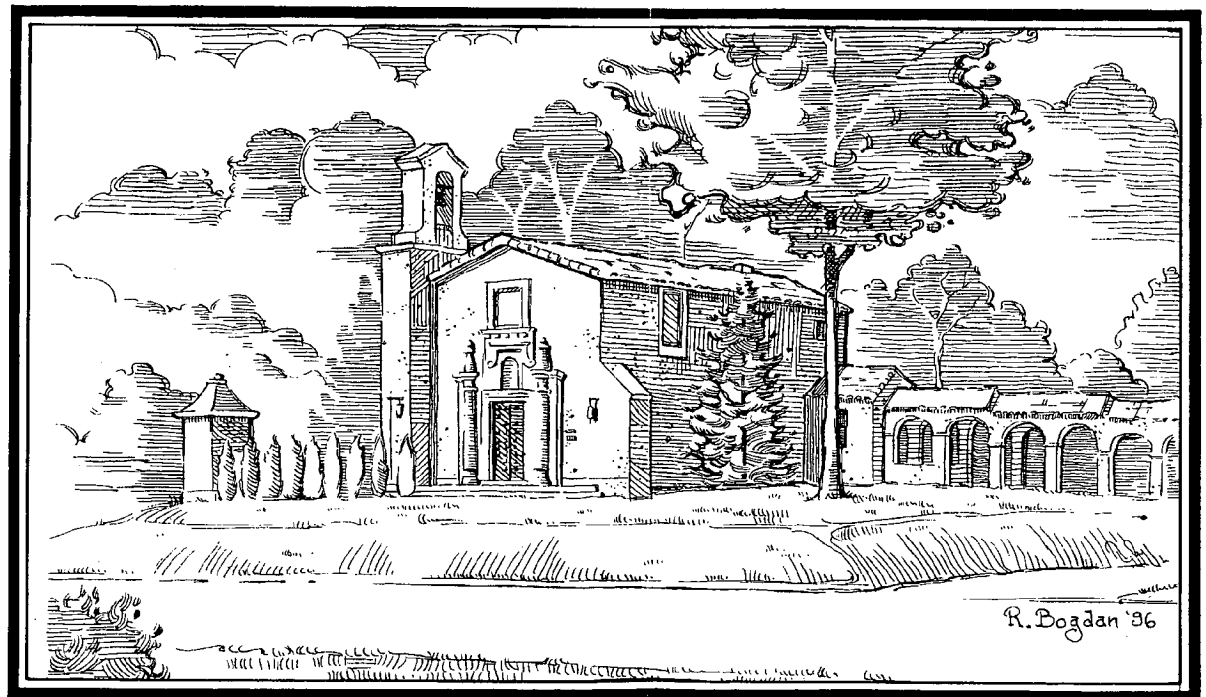
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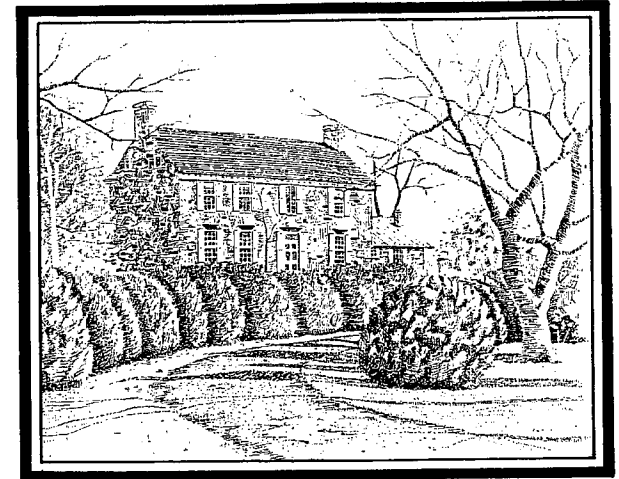
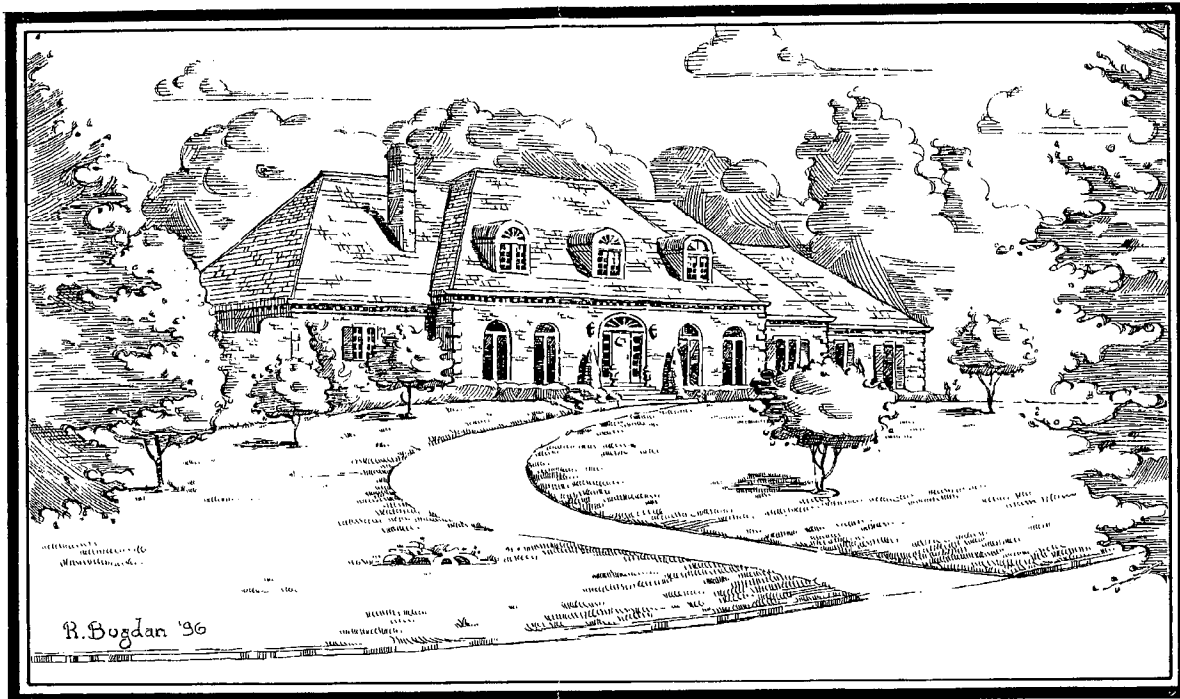
Chateau Peyrenê - Potomac, MD



Romeo & Juliet Balcony - Verona, Italy



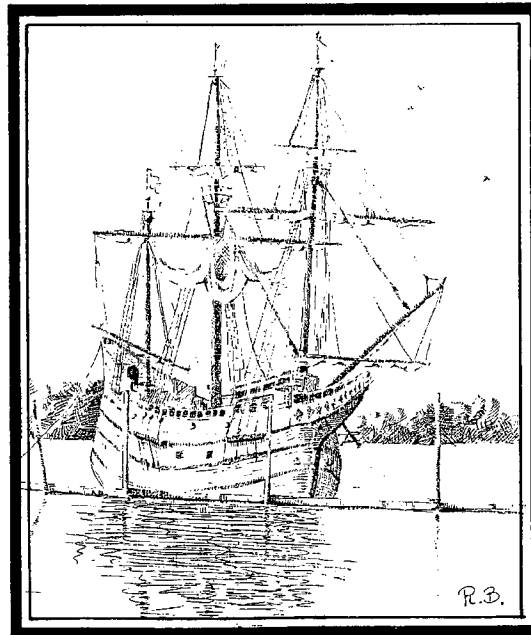
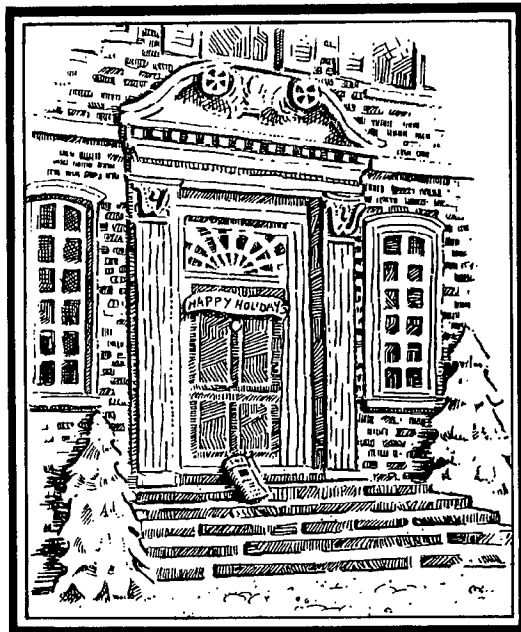
Chapel of Our Lady of Guadalupe - Potomac, MD



Chestnut Lawn Farm, VA

Pen & Ink
Portraits

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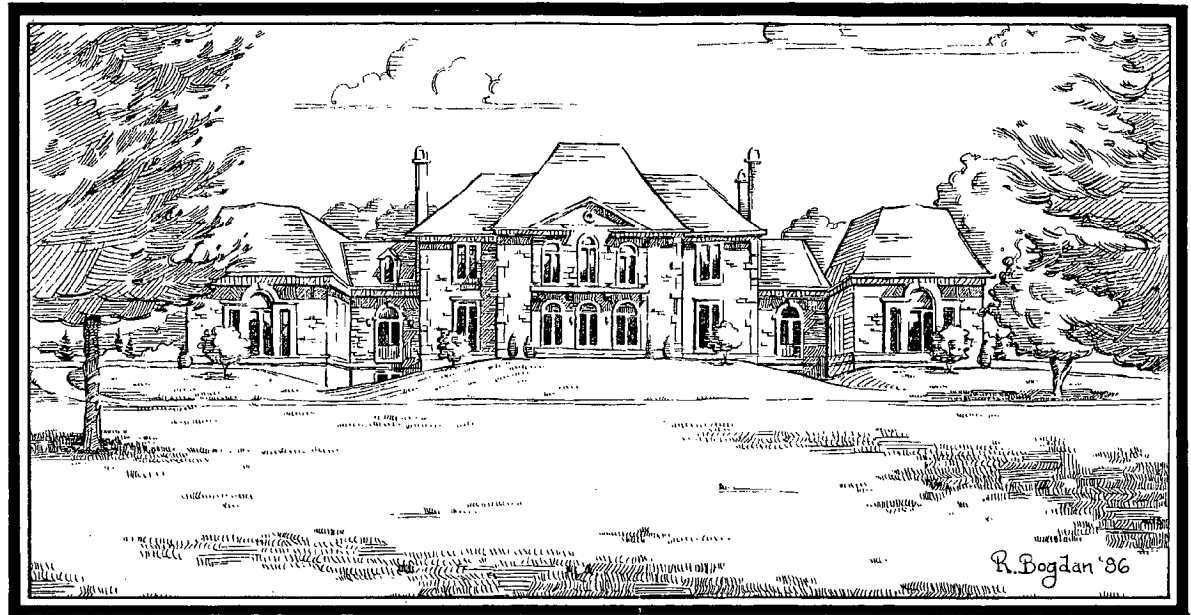


Half Moon - N.Y. Harbor

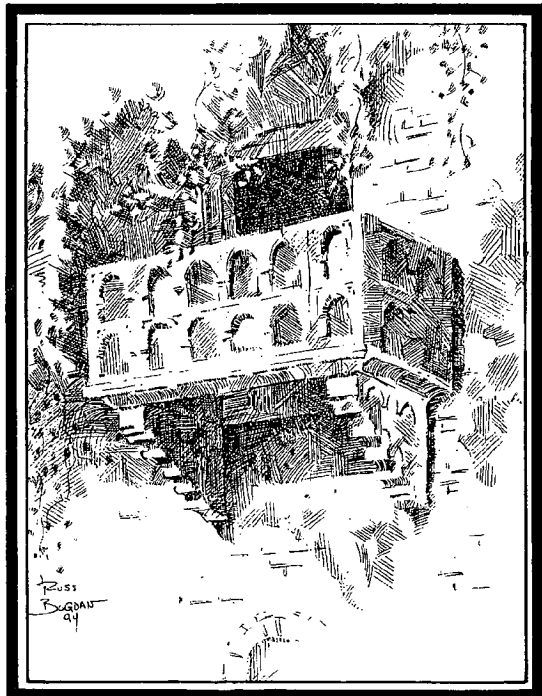
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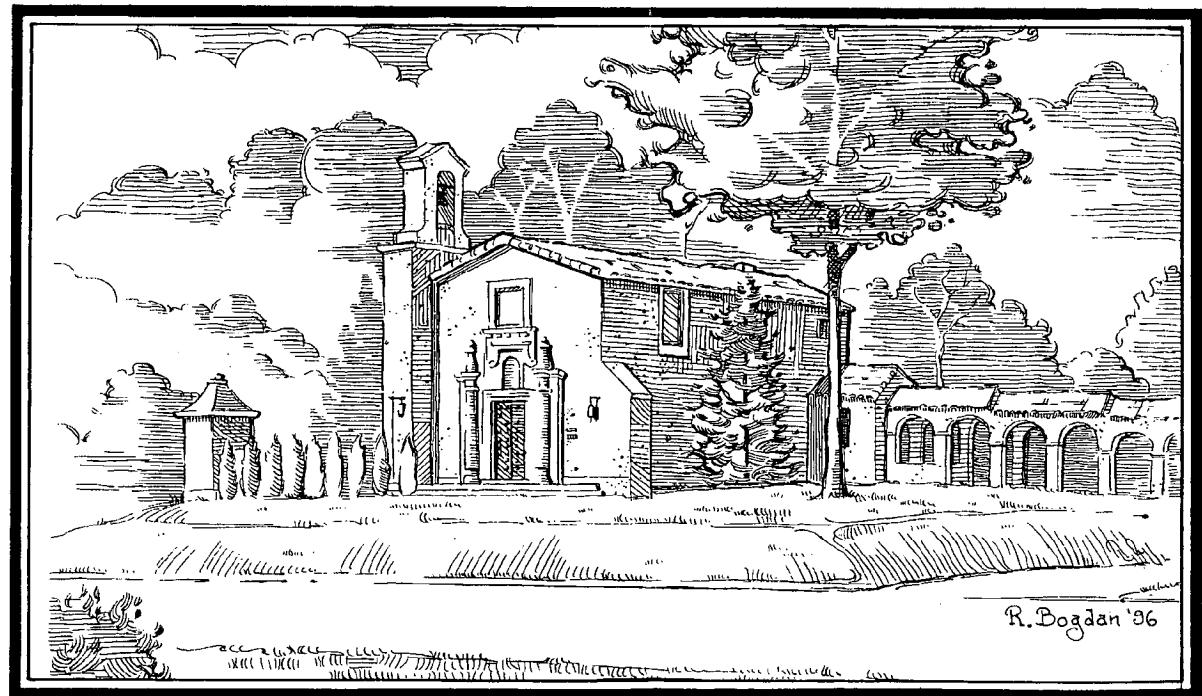
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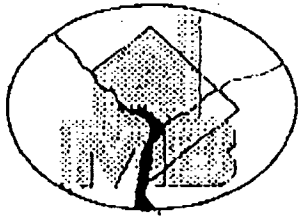
Chateau Peyrené - Potomac, MD



Romeo & Juliet Balcony - Verona, Italy



Chapel of Our Lady of Guadalupe - Potomac, MD



Mitchell & BestSM

FACSIMILE COVER SHEET

TO: 714 TIME: 5:20

FROM: PERRY KEPHANT

COMPANY: HISTORIC PRESERVATION

TELEPHONE: 301-495-1307

NAME: MARY SCHMIDT

ADDRESS: MARWOOD

NO. OF PAGES INCLUDING COVER: 2

REMARKS/REVISIONS:
WE REALLY NEED
THAT EXTENSION!

The

MITCHELL & BEST

family of companies is proud
of its recent recognition...

MITCHELL & BEST HOMEBUILDERS
Homebuilder/Developer

- Celebrating Over 20 Years of Building Excellence
- Finest for Family Living Judges' Choice Award 1996
- Suburban Maryland "Builder of the Year" for
Nine Consecutive Years:
1988* 1989* 1990* 1991* 1992* 1993* 1994* 1995* 1996

MITCHELL, BEST & VISNIC, INC.
Custom Homebuilder

- Suburban Maryland "Builder of the Year" for
Four Consecutive Years:
1992* 1993* 1994* 1995
- Finest for Family Living Grand Award Winner
1992* 1993* 1994* 1995* 1996
- National Association of Homebuilders
Builder's Spotlight for Business Excellence -
Gold Medal Award

MITCHELL, BEST & GOLDSBOROUGH, INC.
Design/Build Remodeler

- Southeast Homebuilder and Remodeler
Magazine Chrysler Awards -
1995 & 1996 Maryland Remodeler of the Year
1996 Southeast Region Remodeler of the Year

Homebuilders
1686 E. Gude Drive
Rockville, Maryland 20850
(301)762-9511

Visnic
1686 E. Gude Drive, Suite 301
Rockville, Maryland 20850
(301)309-6470

Goldsborough
1686 E. Gude Drive, Suite 301
Rockville, Maryland 20850
(301)762-8224



Robert L. Mitchell
Louis A. Best
Theodore M. Visnic

OFFICE: (301) 309-6470

FAX: (301) 309-8820

Mitchell, Best & Visnic
INCORPORATED
Custom Homebuilders

Rock Manor Office Park • 1684 E. Gude Drive, Suite 301 • Rockville, Maryland 20850

July 14, 1997

Ms. Perry Kephart
Historic Preservation Commission
1109 Spring Street #801
Silver Spring MD 20910

Re: Marwood Entry Feature

Dear Perry:

Sorry this is taking so long, but as of now there is no way I can get the revised drawings you need by 5:00 on Wednesday, July 16th. Therefore, I am asking you to give us a week's extension on this matter, till July 23, 1997.

Also, the package you got last week ought to clarify the rails we wish to use. Please let me know if that is now to the Commission's satisfaction.

Sincerely,

Mary M. Schmidt
Administrative Assistant

/mms

cc: Ted Visnic
Marty Mitchell
File 141710-80

Robert L. Mitchell
Louis A. Best
Theodore M. Visnic



OFFICE: (301) 309-6470

FAX: (301) 309-8820

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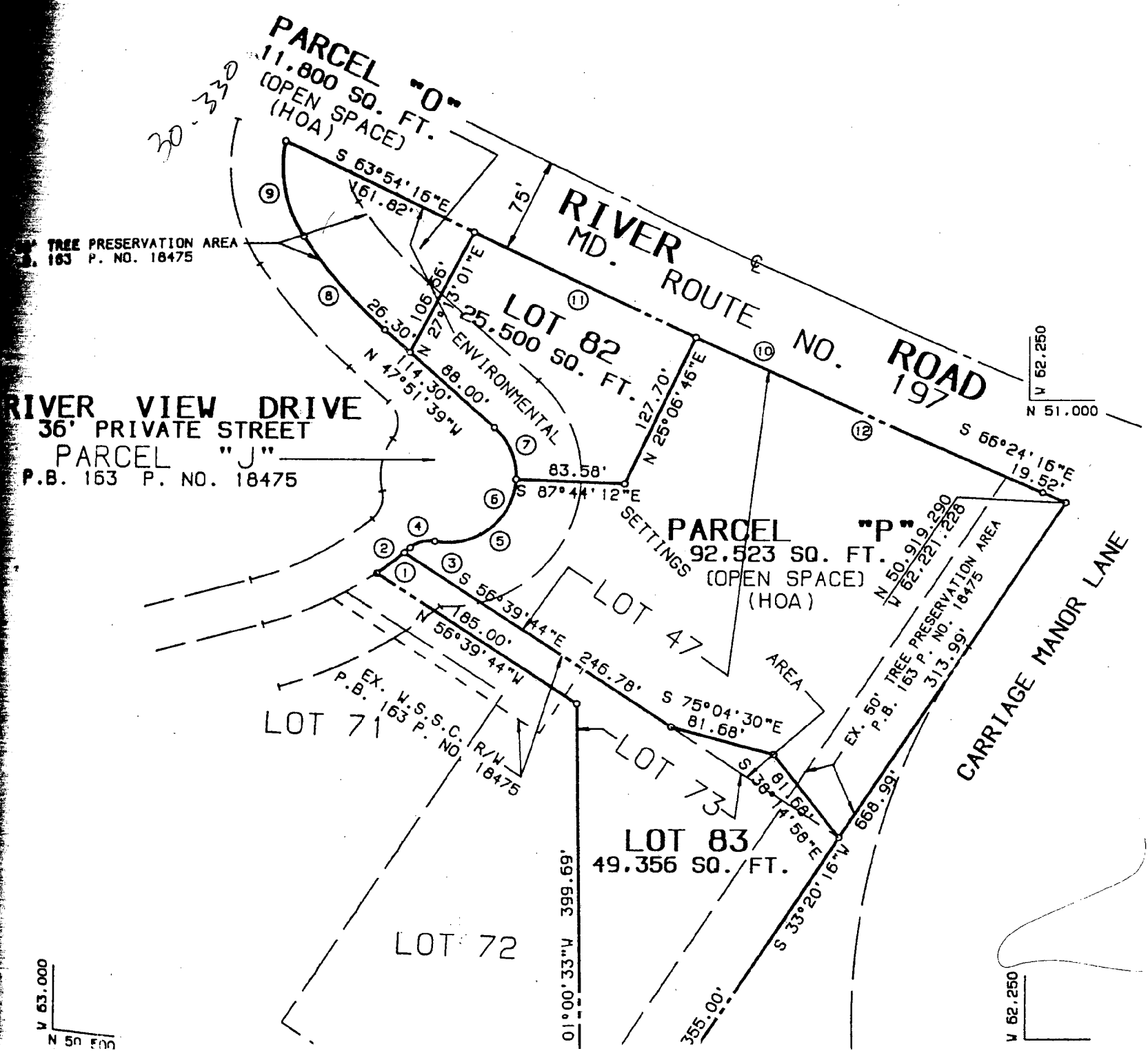
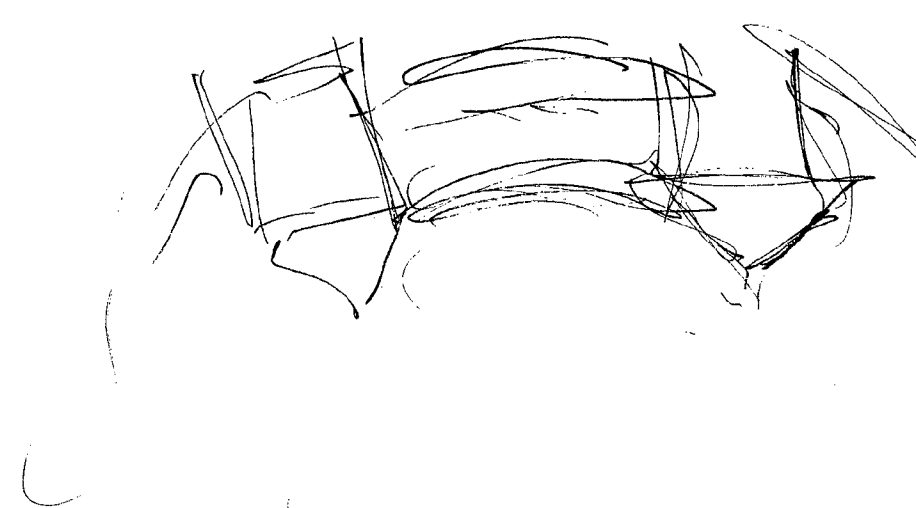
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Mary M. Schmidt
Administrative Assistant

/mms

cc: Ted Visnic
Marty Mitchell
File 141710-80



PARCEL "O"
11,800 SQ. FT.
(OPEN SPACE)
(HOA)

TREE PRESERVATION AREA
P.B. 163 P. NO. 18475

RIVER VIEW DRIVE
36' PRIVATE STREET
PARCEL "J"
P.B. 163 P. NO. 18475

RIVER ROUTE NO. 197
MD.

LOT 82
25,500 SQ. FT.

PARCEL "P"
92,523 SQ. FT.
(OPEN SPACE)
(HOA)

EX. 50' TREE PRESERVATION AREA
P.B. 163 P. NO. 18475
3/13/99

CARRIAGE MANOR LANE

LOT 71

LOT 72

LOT 83
49,356 SQ. FT.

LOT 47

LOT 73

EX. W.S.S.C. R/W
P.B. 163 P. NO. 18475

30-330

N 50.000
V 63.000

N 51.000
V 62.250

N 51.000
V 62.250

MARWOOD

SITE TABULATION

A. Gross site area	=	187.89 Acres	=	
B. Dedication to MD. Route 197	=	2.22 Acres	=	
C. Dedication to private roads	=	0.11 Acres	=	0.11 Acres
D. Open space	=	17 Acres	=	17 Acres
E. Reservation for Existing historic manor house (Lot 74)	=	13 Acres	=	13 Acres
F. Area remaining for development of new units	=	56 Acres	=	56 Acres

TABULATION OF DEVELOPMENT STANDARDS

G. Net site area = A-B	=	185.67	=	185.67
H. Number of existing units	=	1	=	1
I. Number of proposed units	=	70	=	70
J. Density of development = (H+I)/G	=	0.38	=	0.38 /units acre
K. Average lot size for new development = F/I	=	0.80	=	0.80 acres
L. Minimum lot size = 0.70 acres	=	10	=	10 square feet
M. Building Restriction Lines (BRL)				
Front = 40 feet				
Side = 15 feet				
Rear = 15 feet (50' at outside subdivision boundary)				

SHEET INDEX

SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	VICINITY PLAN
3	DESIGN DEVELOPMENT SITE PLAN
4	DESIGN DEVELOPMENT SITE PLAN
5	DESIGN DEVELOPMENT SITE PLAN
6	DESIGN DEVELOPMENT SITE PLAN
7	DESIGN DEVELOPMENT SITE PLAN
8	DESIGN DEVELOPMENT SITE PLAN
9	DESIGN DEVELOPMENT SITE PLAN
10	DESIGN DEVELOPMENT SITE PLAN
11	DESIGN DEVELOPMENT SITE PLAN
12	DESIGN DEVELOPMENT SITE PLAN
13	DESIGN DEVELOPMENT SITE PLAN
14	DESIGN DEVELOPMENT SITE PLAN
15	DESIGN DEVELOPMENT SITE PLAN
16	DESIGN DEVELOPMENT SITE PLAN
17	DESIGN DEVELOPMENT SITE PLAN
18	LANDSCAPE, LIGHTING & MISCELLANEOUS DETAILS
19	SITE AMENITY DETAILS
20	TREE PROTECTION DETAILS
21	SITE SURVEY OF EXISTING NATURAL RESOURCES
22	CONCEPT EROSION & SEDIMENT CONTROL PLAN
23	CONCEPT EROSION & SEDIMENT CONTROL PLAN

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 PC. COPYING OR USE IN ANY MANNER
 WITHOUT PRIOR WRITTEN CONSENT IS
 STRICTLY PROHIBITED.

The undersigned agrees to execute all the features and requirements of this site plan in accordance with the agreement between the Montgomery County Planning Board and the undersigned dated

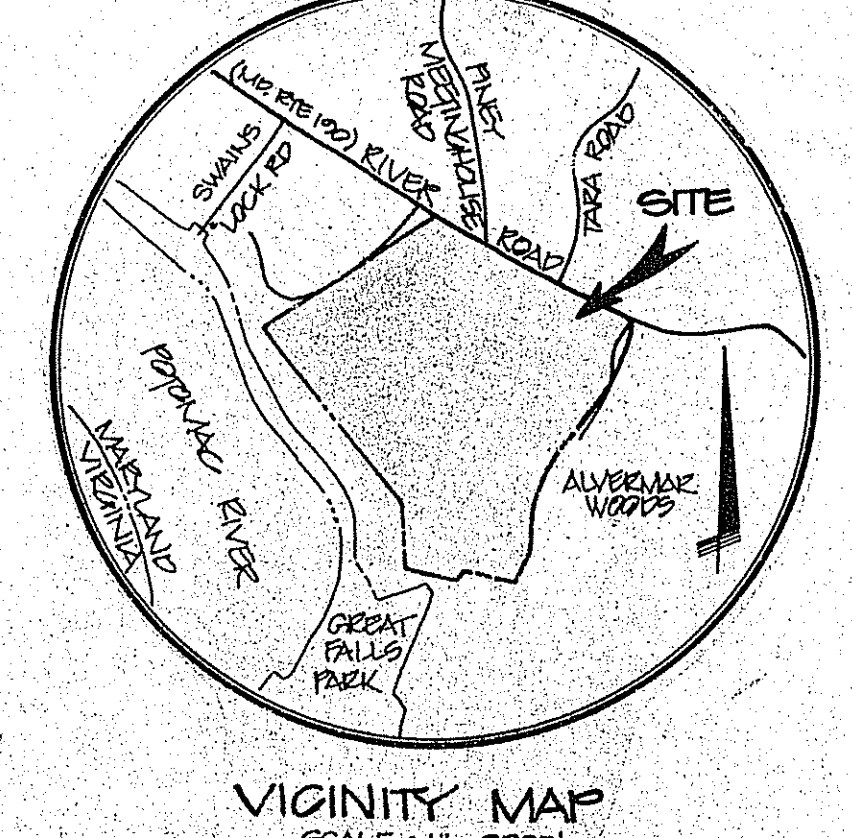
Potomac Marwood, L.L.C.
 By: Potomac Mid-Atlantic Partners, L.P.
 Managing Member
 By: Eastern-Maco, Inc.
 Managing General Partner
 By:
 Robert J. Jacoby
 Vice President

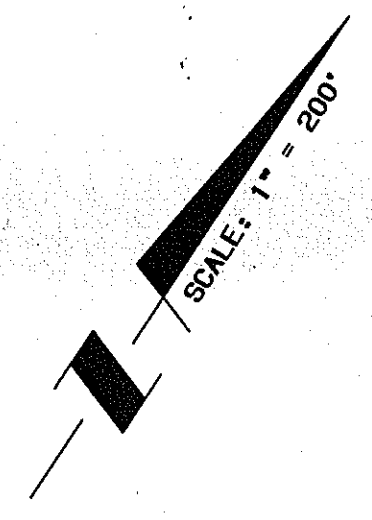
GENERAL NOTES

- This plan was the subject of Preliminary Plan No. 1-89180 approved by the Montgomery County Planning Board on January 25, 1990 and iterative schematic Site Plan revision subsequently reviewed and approved by M-NCPPC staff.
- Boundary information shown on these plans was based upon a survey performed by Hanson & Den Ouder, Ltd., dated September 12, 1988.
- Topographic information is based upon aerial and field run surveys performed by Jotis Associates June, 1990 and PHRA & June, 1990 and October 1991.
- Total area of the subject property is 187.8877 acres.
- The property shown hereon is zoned RE-2C.
- The property is located in the Potomac Valley Area of the Potomac Subregion, Montgomery County, Maryland.
- The total number of proposed new residential dwellings is 73.
- The existing historic dwelling and pool facilities will be preserved on lot 74. The existing gatehouse will be on lot 97, as shown, as an accessory building. Other existing buildings to be removed.
- It is the intent of the developer of this property to sell "finished" lots singly or in groups. The individual units shown on these plans are therefore representative and recommended types for general site and specific lot site design feasibility, but final unit types may vary.
- The property shown hereon is currently undergoing a filling operation under sediment control and stormwater management approvals #8310170060 and #8609160000.
- The proposed revisions shown herein to the existing Erosion and Sediment Control Plan referenced above will provide controls solely for general site grading, road and utility construction, installation of other utility infrastructure systems and general site stabilization. Construction of individual dwellings and lot specific improvements will require individual small land disturbance permits.
- All streets, on-site storm drainage and amenity features will be privately owned and maintained by a Homeowner's Association to be formed by the developer.
- For information regarding storm drainage and stormwater management, refer to revised Stormwater Management and Storm Drainage Study issued by PHRA, November, 1990. However, a concept for a complete waiver of on-site stormwater management, based on the development density has been discussed with M-NCPPC and will be formally submitted for review and approval. Outfall channels below the proposed amenity ponds shown on these plans will be designed in accordance with M-NCPPC requirements for this purpose.
- The water service category is W-1. Public water service is proposed under pending MSDC authorization #6030082.
- The sanitary service category is S-5, with a conditional service category change to S-3 approval in 1988 under resolution 10-1640 for application number 85-POT-01. Public pressure sewer service is proposed under pending MSDC authorization #6030082.
- All public utilities will be located within public utility easements.
- Drainage, interconnection, and signalization improvements within the MD Route 197 right-of-way will be in accordance with MSHA standards and will be reviewed and approved by MSHA prior to construction.
- A publicly maintained bikeway will be installed by the developer along the northeastern side of River Road as part of the construction of required improvements along River Road.
- In accordance with Section 59-C-1.527 of the Montgomery County Zoning Code, all proposed streets shown herein are to be privately owned and maintained by a Homeowner's Association to be formed by the developer.
- All proposed private street cross-sections are as shown herein. Horizontal and vertical design will conform to MCDOT standards for tertiary residential roads with speed limits not to exceed 25 MPH.
- The area of the current fill operation (Phase II) is to be landscaped as indicated generally by these plans, by the developer. Street trees and bare plantings along River Road and all on-site streets shall be installed to meet or exceed the minimum standards of the Montgomery County Department of Transportation. Other areas of the site (open spaces) shall be landscaped by a reforestation plan and site specific slope stabilization program to be developed, but generally as indicated by these plans.
- All existing major trees on the steep slope areas bordering the C & D Canal, and within the National Park Service Easement are to be protected in accordance with the requirements and restrictions of the existing scenic easement agreements in the land records of Montgomery County under L. 4751 F. 084 and L. 5092 F. 137. Terms and conditions, requirements and restrictions of the proposed scenic easement expansion are to be determined between the developer/owner and the National Park Service.
- All areas shown as open space are to be privately owned and maintained by a Homeowner's Association formed by the developer. Except as indicated by these plans, all existing major trees beyond the limits of clearing or grading shown on these plans shall be protected and saved by employment of protective fencing, root pruning, root zone aeration and other appropriate tree save measures, subject to the following note.
- The southerly wooded portion of the site (Phase II) has been the subject of a tree inventory survey performed by Steve Clark and Associates, Urban Foresters as numbered on the site plans and annotated by the attached "Data Collection Tree Survey" addressing tree size, species, existing root radius and quality assessment. Except for driveway crossings, a 50-foot wide tree save strip is to be maintained on either side of the right-of-way overlaying the existing drive (River View Drive). Expansion of River View Drive is to be minimized by the private street design and tree removal or damage is to be minimized as feasible utilizing tree protection measures as noted above, and on Sheet 10.
- All minimum lot setbacks, lot widths, and lot areas shall be in accordance with Section 59-C-1.535 of the Montgomery County Zoning Ordinance, with the exception of the site boundary area contiguous to the C & D Canal, where additional restrictions apply as shown herein.
- The site plans for Phase II (Lots 47 thru 73) indicate recommended lot design to maximize feasibility of tree saving within building envelopes as indicated by the limits of clearing. Feasibility of saving specific specimen trees within these building envelopes is indicated with the conceptual type and lot grading shown, but not warranted by these plans. Major trees coinciding with the limits of clearing, are however, intended to be saved in place and appropriate tree protection measures, as indicated above, are to be employed by any developers of the individual lots, including driveway crossings of the 50-foot tree protection strips adjacent to street "E".
- Foundation designs for buildings within the fill zone will be based directly on soil boring data and recommendations made by a registered soils engineer. Soil borings will be taken along the foundation line at intervals specified by the soils engineer.
- M-NCPPC staff must inspect tree-save areas and protection devices prior to clearing and grading. Tree-save protection devices shall be those shown on the future erosion and sediment control plans approved by M-NCPPC, applicable details within the Trees Technical Manual prepared by M-NCPPC and adopted July 1992 or as shown on sheet 20.



SITE DEVELOPMENT PLAN MONTGOMERY COUNTY, MARYLAND





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 STRICTLY PROHIBITED.

The undersigned agrees to execute all the features and requirements of this site plan in accordance with the Agreement between the Montgomery County Planning Board and the undersigned dated _____

Potomac Marwood, L.L.C.
 By: Potomac Mid-Atlantic Partners, L.P.
 Managing Member
 By: Eastern-Maco, Inc.
 Managing General Partner
 By: Robert J. Jacoby
 Vice President

APPROXIMATE LOCATION OF EXISTING UNRECORDED EASEMENT FOR UNDERGROUND WATER AND ELECTRIC FACILITIES BENEFITTING THE MAYOR & COUNCIL OF ROCKVILLE, CITY OF ROCKVILLE WATER FILTRATION PLANT

ZONING INFORMATION
 RE-2 RESIDENTIAL ESTATE 2 ACRE
 RE-2C RESIDENTIAL 2 ACRE CLUSTER

No.	REVISIONS	DATE	CHKD.
1	ISSUED FOR M.N.C.P.P.C. SIGNATURE SITE PLAN REVIEW	4/21/92	RET
2	VARIOUS REVISIONS REPRESENTING UNK/P/R, MONTGOMERY CO. STAFF REVIEW	11/20/91	hgs
3	SITE SECTION LINES ADDED	11/20/91	hgs
4	ISSUED TO M.N.C.P.P.C. FOR REVIEW	11/20/91	

OWNER:
 ROBERT J. JACOBY, VICE PRESIDENT
 POTOMAC MARWOOD, L.L.C.
 C/O EASTERN-MACO, INC.
 1568 SPRINGHILL ROAD
 MCLEAN, VIRGINIA 22102
 703-821-3625 EXT. 4200

MARWOOD GORE PROPERTY
 LIBER 911 FOLIO 092
 TAX PARCEL 445 TAX MAP FP 123
 10TH ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND

VICINITY PLAN

PHR&A
 Patton Harris Rust & Associates, P.C.
 Engineers, Surveyors, Planners, Landscape Architects
 205 Church Street, S.E.
 Leesburg, Virginia 22075
 703-777-3616

Offices:
 Fairfax, Va.
 Bridgewater, Va.
 Leesburg, Va.
 Rockville, Md.
 Virginia Beach, Va.
 Chantilly, Va.
 Winchester, Va.

SURVEY	OTHERS/PHR & A	DATE
DESIGN	L.K.B.	OCTOBER, 1990
CHKD.	I.A.C.	CADD / BLP
SHEET	24	SCALE 1" = 200'
OF	23	FILE NO. 2319-A-0



SEE SHT 11 FOR CONTINUATION

GARAGE MAJOR LANE

BRANCH AVENUE ASSOCIATION

ALVERMAR WOODS
P.B. 135 P. 15630

The undersigned agree to execute all the features and requirements of this site plan in accordance with the Agreement between the Montgomery County Planning Board and the undersigned dated _____

Potomac Marwood, L.L.C.
By: Potomac Mid-Atlantic Partners, L.P.
Managing Member
By: Eastern-Maco, Inc.
Managing General Partner
By: Robert J. Jacoby
Vice President

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STRICTLY PROHIBITED.

No.	REVISIONS	DATE	CHKD.
2	ISSUED FOR M-NCPPC SIGNATURE SITE PLAN REVIEW	4/21/95	RET
1	ISSUED TO M.N.C.P.P.C. FOR REVIEW	1/29/95	

OWNER
ROBERT J. JACOBY, VICE PRESIDENT
POTOMAC MARWOOD, L.L.C.
C/O EASTERN-MACO, INC.
1688 SPRINGHILL ROAD
MCLEAN, VIRGINIA 22102
703-821-3625 EXT. 4200

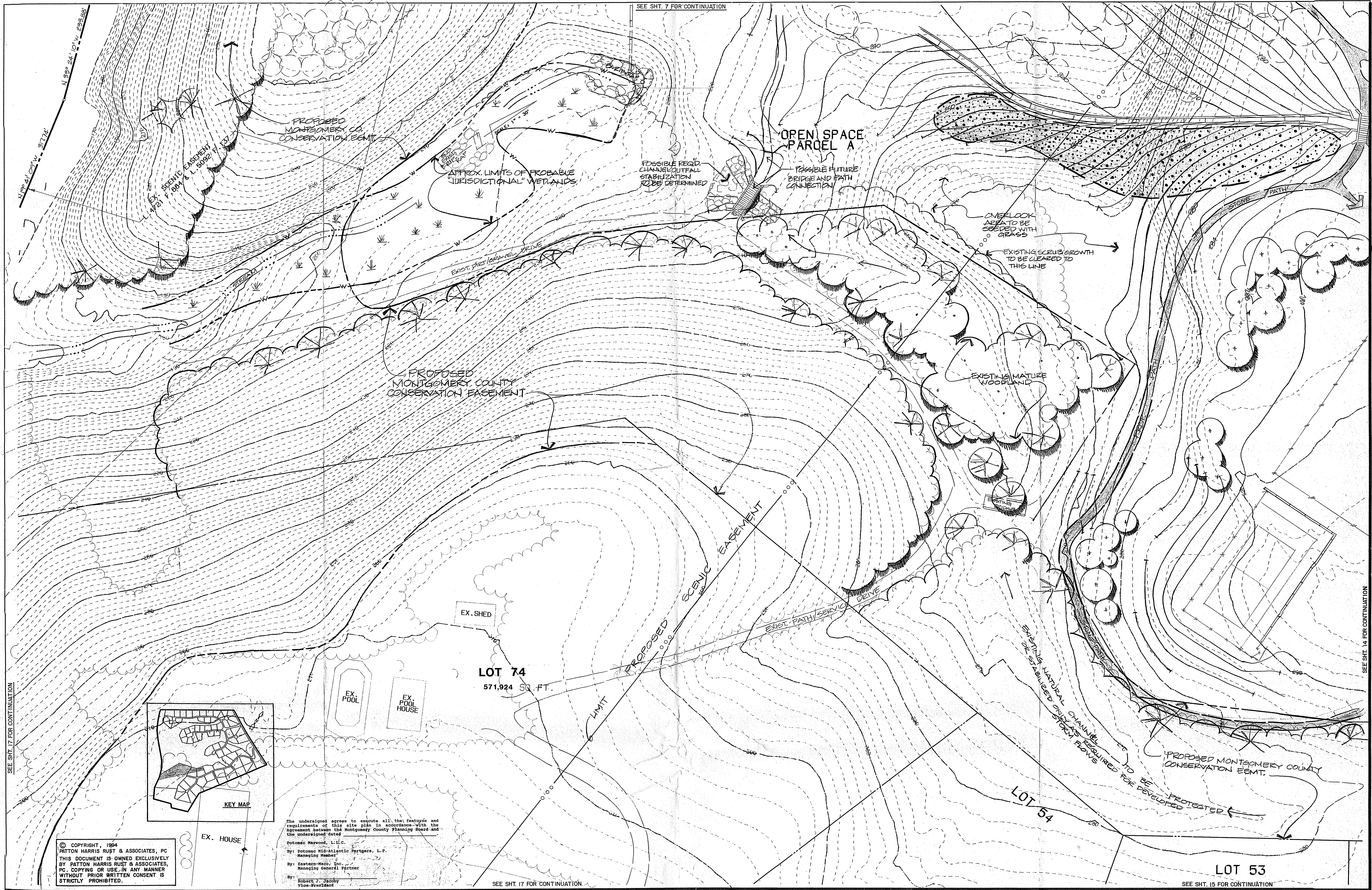
MARWOOD GORE PROPERTY
LIBER 911 FOLIO 092
TAX PARCEL 445 TAX MAP FP 123
10TH ELECTION DISTRICT
MONTGOMERY COUNTY, MARYLAND

DESIGN DEVELOPMENT SITE PLAN

PHR&A
Patton Harris Rust & Associates, P.C.
Engineers, Surveyors, Planners, Landscape Architects
208 Church Street, S.E.
Leeburg, Virginia 22075
703-777-3616
MEMO-478-1164

Offices:
Fairfax, Va.
Bridgewater, Va.
Leesburg, Va.
Roanoke, Va.
Virginia Beach, Va.
Chantilly, Va.
Winchester, Va.

SURVEY	OTHERS/PHR & A	DATE	OCTOBER, 1990
DESIGN	L.K.B.	DRAWN	CADD / BLP
CHKD.	I.A.C.	SCALE	1" = 30'
SHEET 12 OF 23		FILE NO.	2319-A-O



SEE SHT. 7 FOR CONTINUATION

SEE SHT. 17 FOR CONTINUATION

SEE SHT. 14 FOR CONTINUATION

SEE SHT. 17 FOR CONTINUATION

SEE SHT. 15 FOR CONTINUATION

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 PC. COPYING OR USE IN ANY MANNER
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 Potomac Marwood, L.L.C.
 By: Potomac Mid-Atlantic Partners, L.P.
 Managing Member
 By: Eastern-Maco, Inc.
 Managing General Partner
 By: Robert J. Jacoby
 Vice-President

No.	REVISIONS	DATE	CHKD.
2	ISSUED FOR M-NCCPC SIGNATURE SITE PLAN REVIEW	4/21/95	RET
1	ISSUED TO M.N.C.P.P.C. FOR REVIEW	11/20/91	

OWNER
 ROBERT J. JACOBY, VICE PRESIDENT
 POTOMAC MARWOOD, L.L.C.
 C/O EASTERN-MACO, INC.
 1568 SPRINGHILL ROAD
 MCLEAN, VIRGINIA 22102
 703-821-3625 EXT. 4200

OWNER
 ROBERT J. JACOBY, VICE PRESIDENT
 POTOMAC MARWOOD, L.L.C.
 C/O EASTERN-MACO, INC.
 1568 SPRINGHILL ROAD
 MCLEAN, VIRGINIA 22102
 703-821-3625 EXT. 4200

MARWOOD GORE PROPERTY
 LIBER 911 FOLIO 092
 TAX PARCEL 445 TAX MAP FP 123
 10TH ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND

DESIGN DEVELOPMENT SITE PLAN

PHR&A
 Patton Harris Rust & Associates, PC
 Engineers, Surveyors, Planners, Landscape Architects
 205 Church Street, S.E.
 Leesburg, Virginia 22075
 703-777-9616
 Metro-478-1164

Offices:
 Fairfax, Va.
 Bridgewater, Va.
 Leesburg, Va.
 Rockville, Md.
 Virginia Beach, Va.
 Chantilly, Va.
 Winchester, Va.

SURVEY	OTHERS/PHR & A	DATE
		OCTOBER, 1991
DESIGN	L.K.B.	DRAWN CADD / BLP
CHKD.	I.A.C.	SCALE 1" = 30'
SHEET 8 OF 23	FILE NO. 2319-A-0	

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 11200 River View Drive, Potomac

Meeting Date: 06/25/97

Resource: Master Plan Site #29/6-2
Marwood Gatehouse

HAWP: Construction

Case Number: 29/6-2-97A

Tax Credit: No

Public Notice: 06/11/97

Report Date: 06/18/97

Applicant: Martin J. Mitchell

Staff: Perry Kephart

PROPOSAL: Construct entry feature.

RECOMMEND: Approval
w/conditions.

DATE OF CONSTRUCTION: 1931

SIGNIFICANCE: Gatehouse at entrance to Master Plan Site #29/6-1, Marwood.

ARCHITECTURAL DESCRIPTION

Beaux Arts two-story stuccoed brick gatehouse with red tiled roof. The Gatehouse served as the entrance to Marwood with a single car width arch in the center of the structure through which the driveway leading to the main house formerly was routed. There is a two bay residence above the archway on the 2nd story with ground level one story wings on either side of the archway that each contain two car garage openings with tile terraces on the level above.

BACKGROUND

When Marwood was subdivided, a new road (River View Drive) was constructed approximately 180' to the right of the historic resource and the existing driveway was closed to vehicular traffic. However, the Gatehouse has a substantial environmental setting including the land between the new road and the historic structure. For that reason, any improvements on this land are to be reviewed as to their impact on the Gatehouse. As a separate Master Plan site, the Marwood Gatehouse is subject to the highest level of review.

PROPOSAL

The applicant proposes to construct an entry feature for the subdivision on the left side of River View Drive. The structure is to suggest one half of an entrance gate and contain a kiosk-like pillar (with no openings) on the right with a side buttress and a curved length of stucco wall topped by iron fencing with filigree insets. At the left end a smaller pillar is proposed that will be topped by a lamp of black anodized aluminum. The main or kiosk pillar is proposed to be approximately 13' tall and the overall structure is approximately 20' long. The main pillar is proposed to have a tile roofcap and signage with ground level spot lighting. The overall structure is to be constructed of concrete block covered with synthetic stucco.

STAFF DISCUSSION

The design of the entry structure is, for the most part, an effective derivation of the Beaux Arts style of the Gatehouse and Marwood itself. It is, however, problematic for two reasons. First and most importantly, the entry feature is designed to look like one half of a gate and, in

①

staff's opinion, will look unbalanced and incomplete. Usually a gate or portal has two sides and staff feels that if the gate design is to be used it should have symmetrical components.

Secondly, staff is concerned that the entry is overly grandiose for its setting. The Gatehouse is a relatively diminutive building approximately 30' long by 28' high and in danger of being overwhelmed by this entry replacement. An extremely large entry feature is probably not necessary as the Gatehouse will continue to provide a distinctive landmark by which the Marwood property can be identified even if it is no longer the point of entry to the estate. Staff would suggest that an entry design that is scaled down and symmetrical would be more effective in this setting, and would still provide a highly visible entrance into the subdivision.

One further detail of the design that staff would also recommend modifying is the filigree work on the iron railings. This should be omitted from the railing design in the interests of simplicity and also, in staff's opinion, because the filigree mimics or parodies rather than evokes the design of the historic resource.

It should be noted that no actual signage or sign lighting has been included in this application and will be the subject of a later review.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the Historic Area Work Permit as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

with the conditions that:

1. A second entry monument be installed on the opposite side of River View Drive.
2. The size of both structures be scaled back by at least 25%.
3. The iron railing be simple bars with no filigree work.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 54-1748403

CONTACT PERSON Martin J. Mitchell
DAYTIME TELEPHONE NO. (301) 762-9511

NAME OF PROPERTY OWNER Potomac Marwood LLC DAYTIME TELEPHONE NO. (301) 762-9511

ADDRESS 1686 East gude Drive Rockville MD 20850
CITY STATE ZIP CODE

CONTRACTOR Mitchell, Best & Visnic TELEPHONE NO. B-01) 309-6470
CONTRACTOR REGISTRATION NUMBER BC-3168 exp. 4/8/99

AGENT FOR OWNER Martin J. Mitchell DAYTIME TELEPHONE NO. (301) 762-9511

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 11200 (EW) STREET River View Drive

TOWN/CITY Potomac NEAREST CROSS STREET River Road

LOT 82 section A BLOCK MARWOOD SUBDIVISION

LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition

Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove

Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other entrance feature

1B. CONSTRUCTION COST ESTIMATE \$ 10,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SEPTIC 03 () OTHER _____

2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT 13 feet 0 inches (top of column) retaining portion, 3'.

3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:

On party line/property line _____ Entirely on land of owner ^{xxx} _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT

Martin J. Mitchell Signature of owner or authorized agent Date 6/2/97

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

3

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING STRUCTURE IS THE GATEHOUSE FOR MARWOOD THAT STANDS ON RIVER ROAD. THE GATEHOUSE IS SIGNIFICANT DUE TO ITS 67[±] YEAR PRESENCE ON RIVER ROAD.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROJECT IS THE CONSTRUCTION OF AN ENTRANCE WALL AT THE NEW ENTRANCE TO MARWOOD. THE NEW WALL IS USING LIKE MATERIALS TO THE GATEHOUSE TO MINIMIZE IMPACT.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

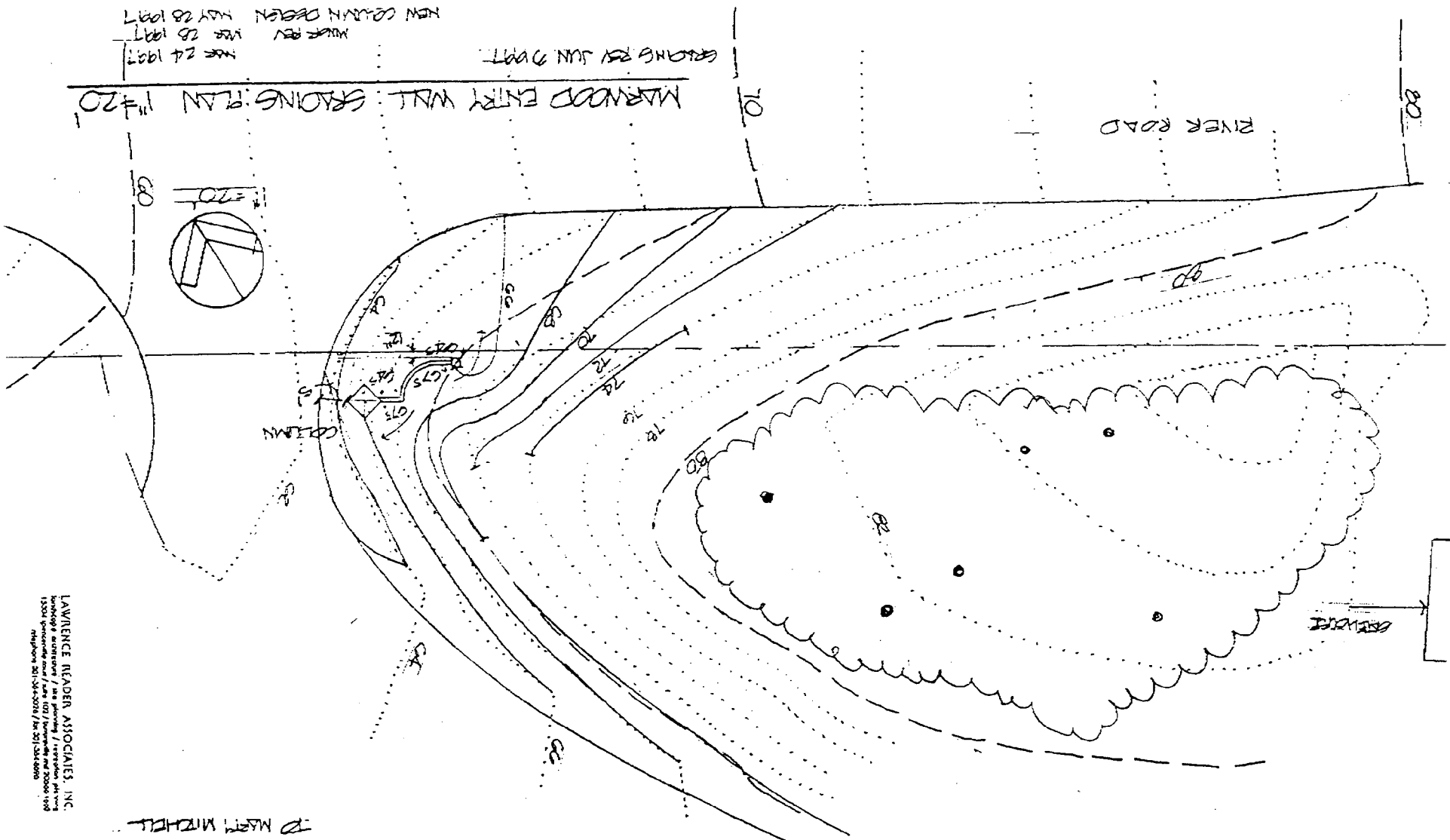
6. TREE SURVEY - N/A

4

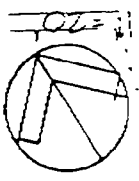
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location,

5

DATE: 01/26/01



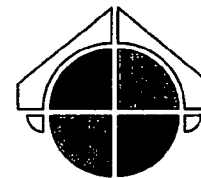
MARWOOD ENTRY WALL SKYING PLAN 11#20
 SKYING REV JUN 29 1997
 WALL REV MAY 28 1997
 NEW COLUMN DESIGN MAY 28 1997



MARTIN MITCHELL

LAWRENCE BEADER ASSOCIATES, INC.
 13204 Greenbriar Court / Suite 103 / Birmingham, AL 35244
 Telephone: 205-358-9274 / Fax: 205-358-6890

Custom



Design Concepts
ARCHITECTURE

PROJECT #0620

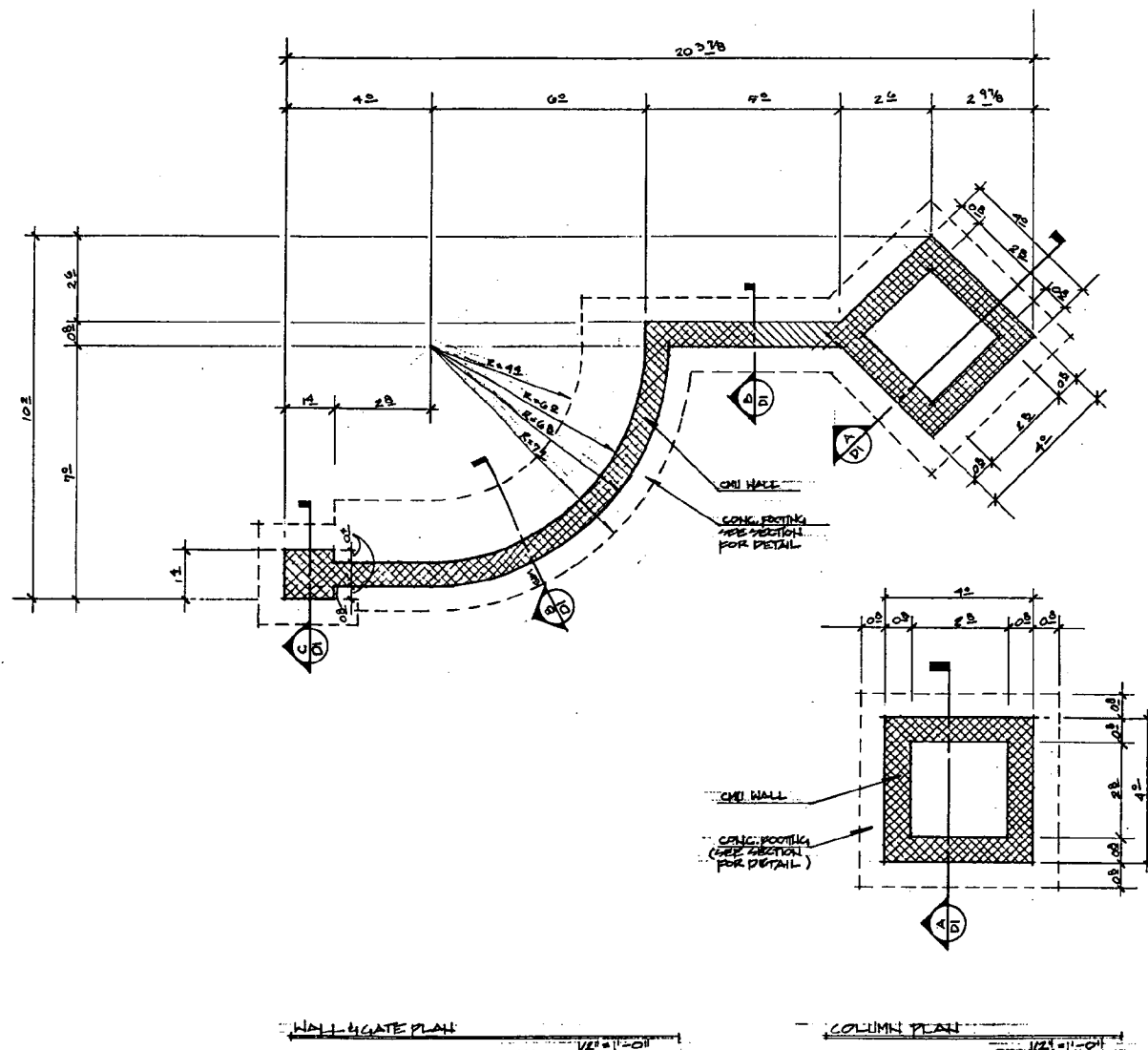
POTOMAC
MAROOD
ENTRY GATE

Mark E. Stuenkel AIA, P.C.
8731 Curran Street 3rd Floor
Manassas, Va 22101
(703) 749 - 8040

DATE:

06.21.97

A1



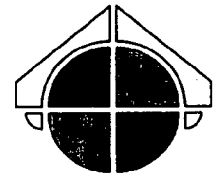
WALL & GATE PLAN

COLUMN PLAN

(9)

GOLF COURSE, INC. 5/13/97 11:15 AM

Custom



Design Concepts

ARCHITECTURE

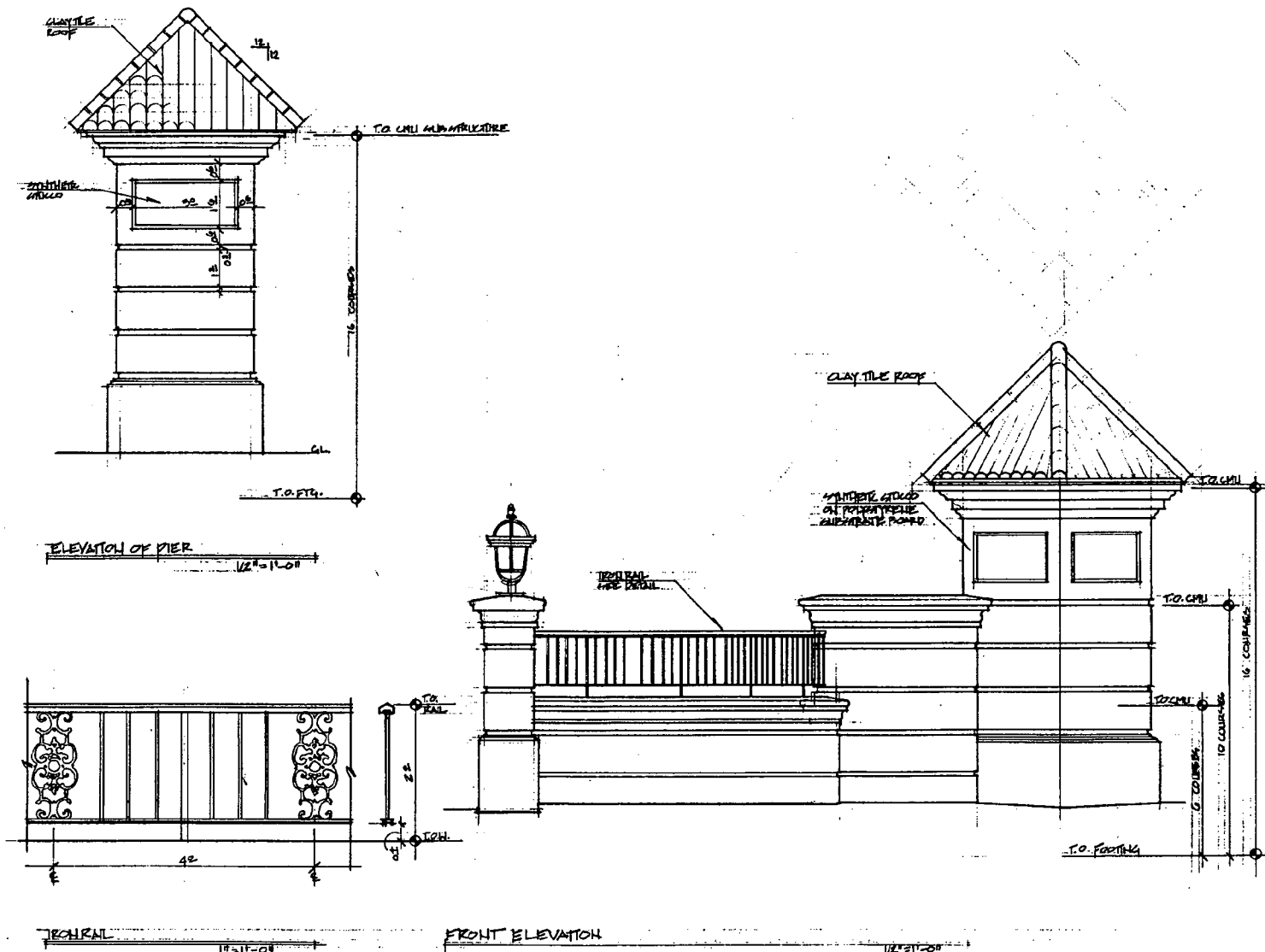
PROJECT #0628

POTOMAC
MAROOD
ENTRY GATE

Mark E. Sullenberger A.I.A., P.C.
6781 Curran Street 3rd Floor
McLean, VA 22101
(703) 749 - 9940

DATE:
06.21.97

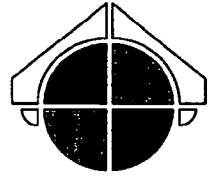
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CAD FILE: 06-101-001-0100 - 0001

7

Custom



Design Concepts
ARCHITECTURE

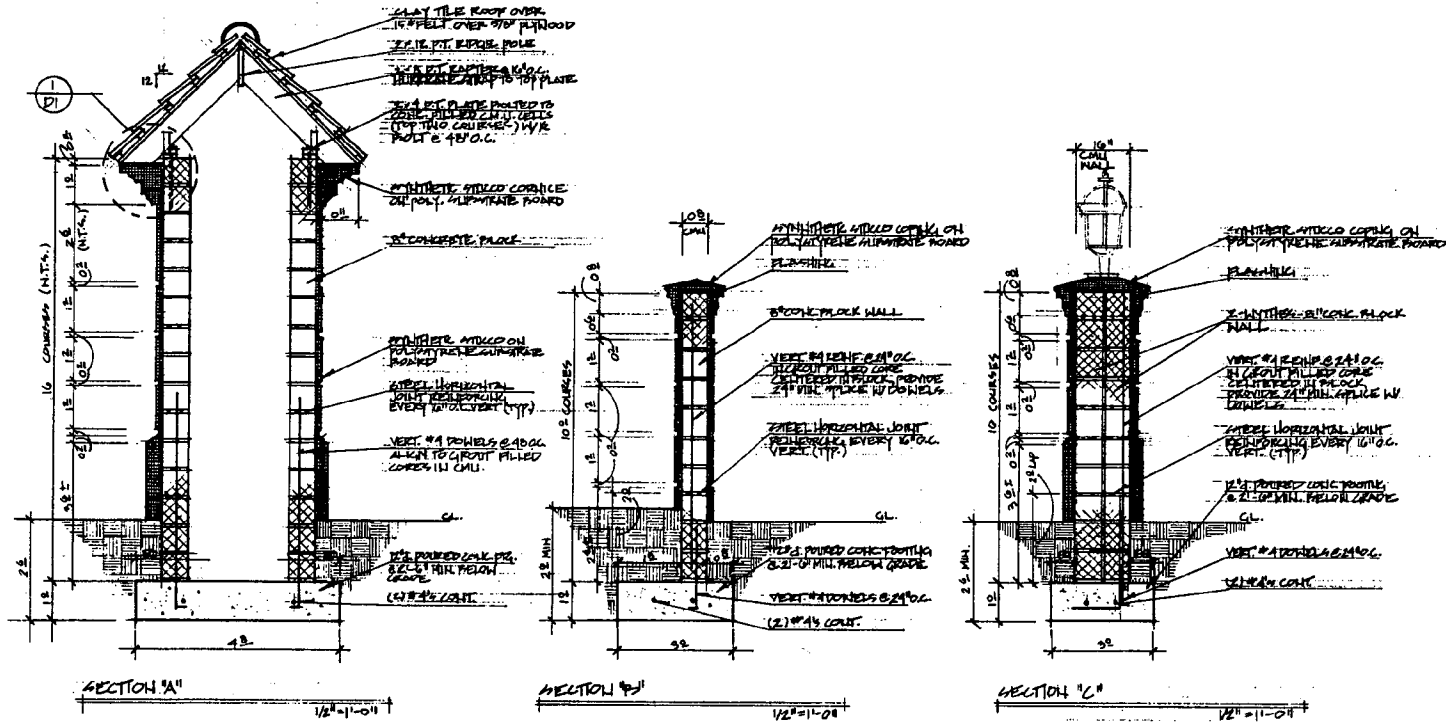
PROJECT #0620

POTOMAC
MAROOD
ENTRY GATE

Mark R. Sullenberger AIA, P.C.
6731 Curran Street 3rd Floor
McLean, VA 22101
(703) 718 - 9840

DATE
05.21.97

D1



STRUCTURAL NOTES

1. GENERAL

- A. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:
SURCHARGE 100 PSF

2. EARTHWORK

- A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.
B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.
C. FOUNDATION WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 30 PCF ASSUMING A FREE DRAINING MATERIAL OR DRAINING BOARD BEHIND WALL WITH A PERIMETER DRAINTILE SYSTEM. NOTIFY ENGINEER IF SOIL CONDITIONS DIFFER.

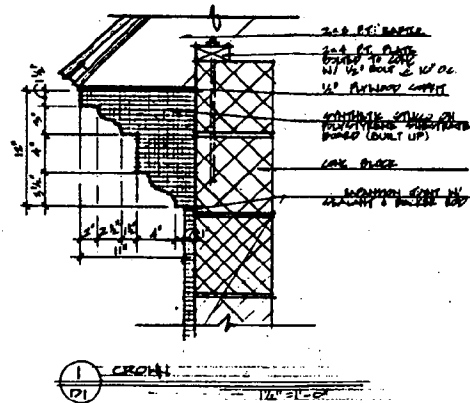
3. CONCRETE

- A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (F_c) = 3000 PSI IN 28 DAYS. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.

- B. ALL REINFORCING STEEL TO MEET ASTM-A-615 GRADE 60.

4. MASONRY

- A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C-90 FOR LOADBEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING @ 16" O.C. HORIZONTALLY. MORTAR TO BE ASTM C-270 TYPE S.



C&G ARCH. INC. 201-331-1110



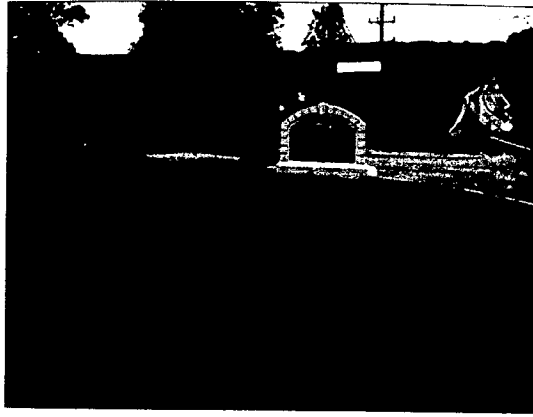
MARWOOD ENTRANCE FEATURE SITE PIX



VIEW LOOKING NORTH FROM MARWOOD TOWARDS ENTRANCE FEATURE LOCATION



VIEW LOOKING EAST ALONG RIVER ROAD TOWARDS ENTRANCE FEATURE LOCATION



VIEW LOOKING WEST ALONG RIVER ROAD TOWARDS ENTRANCE FEATURE LOCATION

1.

10

MARWOOD ENTRANCE FEATURE SITE PIX



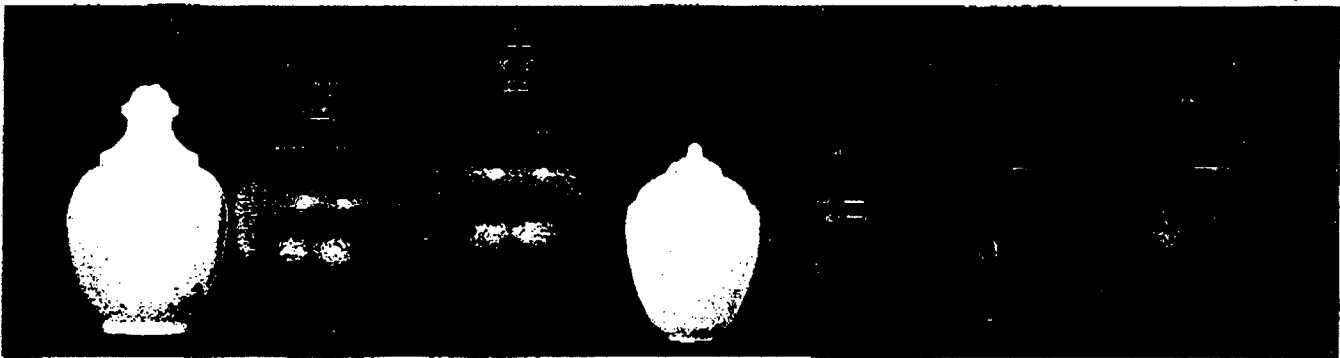
VIEW FROM SECOND FLOOR OF GATEHOUSE WEST TOWARDS ENTRANCE SIGN LOCATION.
LOCATION CANNOT BE SEEN FROM HERE.



VIEW FROM TARA ROAD LOOKING SOUTH TOWARDS MARWOOD & ENTRANCE FEATURE LOCATION.

11

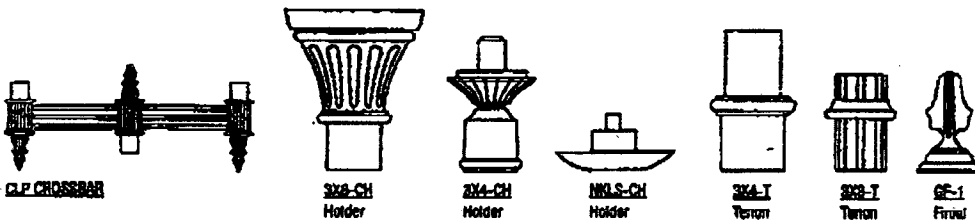
Brandon Industries Lamp Parts



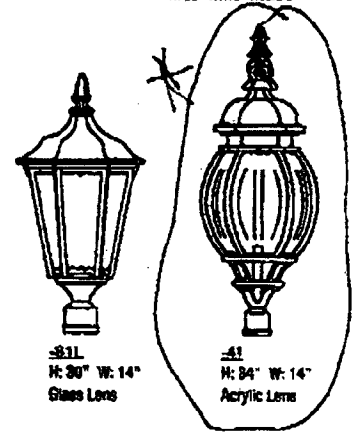
-16 Polycarbonate H: 21" W: 14" Neck: 7.5"	-26 Polycarbonate H: 22" W: 14" Neck: 8"	-27 Polycarbonate H: 25" W: 16.25" Neck: 8" or 8"	-14 Polycarbonate H: 17" W: 11" Neck: 4"	-24 Polycarbonate H: 17" W: 11" Neck: 4"	-28 Polycarbonate H: 23" W: 14" Neck: 6"	-29 Polycarbonate H: 23" W: 15" Neck: 8"
---	---	--	---	---	---	---



-10 Polycarbonate 10" dia. 4" Neck	-10A Acrylic 10" dia. 4" Neck	-11A Acrylic 11" dia. 4" Neck	-12 Polycarbonate 12" dia. 4" Neck	-30A Acrylic 14" dia. Neckless
---	--	--	---	---

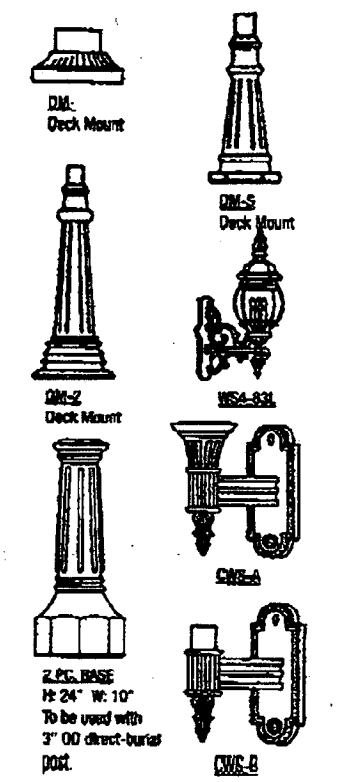


CLP CROSSBAR 30A-CH Holder 20A-CH Holder 10A-S-CH Holder 30A-T Turret 30B-T Turret 30F-1 Finial

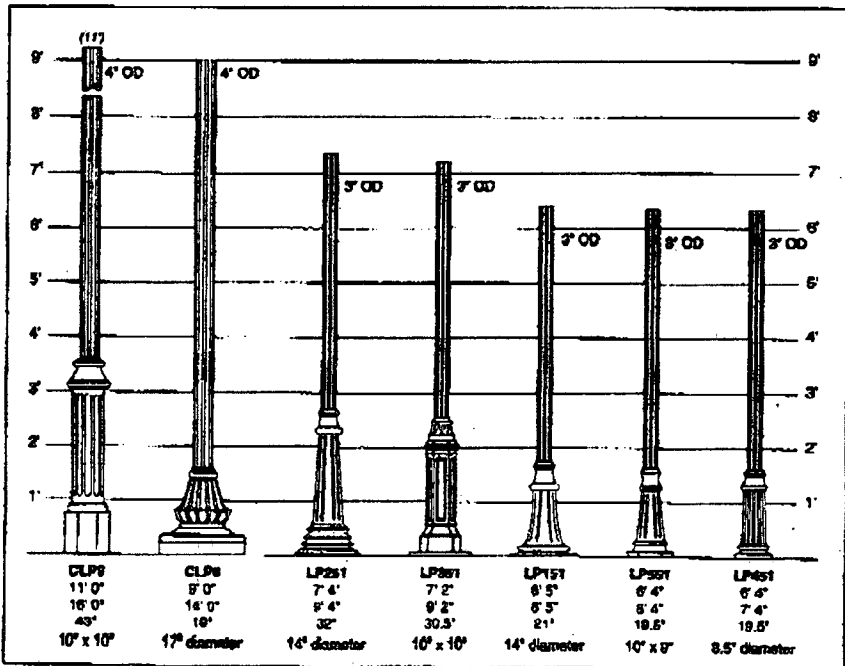


-31L
H: 30" W: 14"
Glass Lens

-41
H: 34" W: 14"
Acrylic Lens



DM Deck Mount DM-S Deck Mount DM-2 Deck Mount Z.C.C. BASE
 H: 24" W: 10"
To be used with
3" OD direct-burial
post. WSA-32L CWB-A CWB-B



12

MANHOOD ENTRANCE WALL
PROPERTY OWNERS

Dr. Adrian M. Cohen
11301 River Road
Potomac MD 20854

Mr. Zivan Cohen
10701 Tara Road
Potomac MD 20854

Mr. Tom Courtney
PO Box 580
Sewickley PA 15143

13

Transmittal



Custom Design Concepts
ARCHITECTURE
Mark R. Sollenberger A.I.A., P.C.

TO: MARY KENYON
COMPANY: MICHAEL BOST & VISNICK

FROM: MIRIAM DILLON PROJECT #: 9526
DATE: 6/18/97 PROJECT NAME: WALWOOD CTR

CONTENTS:

# COPIES	DESCRIPTION

TRANSMITTED:

- | | |
|---|--|
| <input type="checkbox"/> AS REQUESTED | <input type="checkbox"/> APPROVED AS SUBMITTED |
| <input type="checkbox"/> FOR REVIEW & COMMENT | <input type="checkbox"/> APPROVED AS NOTED |
| <input type="checkbox"/> FOR APPROVAL | <input type="checkbox"/> _____ |

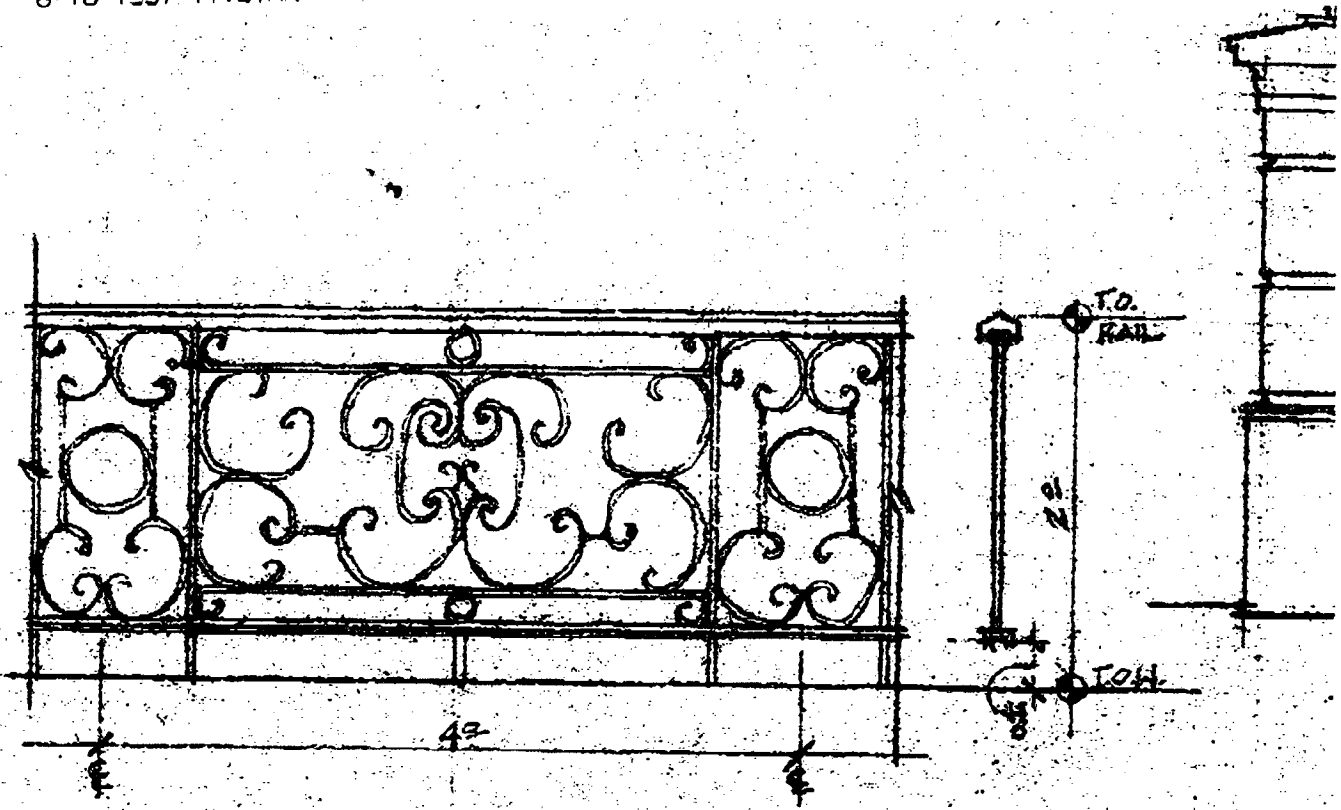
MEMO:

1) LIGHTING SPECIFICATION
2) RAILING DETAIL

SENT VIA:

- | | |
|---|--|
| <input type="checkbox"/> USPS | <input type="checkbox"/> MESSENGER |
| <input type="checkbox"/> OVERNIGHT | <input type="checkbox"/> HAND DELIVERY |
| <input type="checkbox"/> FAX: <u>3</u> PAGES (including cover sheet) TO <u>(301) 610-0086</u> | |

6731 Curran Street, Third Floor
McLean, VA 22101
(703) 749 - 9040
Fax (703) 749 - 7906



IRON RAIL

11-00

FRONT



ZAILING TO
MATCH
MANSSION



LETTERING FOR ENTRY FEATURE
AT MARWOOD:

BRASS PLAQUE W/ RAISED
LETTERS

"MARWOOD" - 5"

"MITCHELL, BEST OF USMC" - 2"

LIGHTING -

1 LIGHT WASHING ON
SMALL END

2 ON LARGE END

150 WATT FLOOD
LIGHTS

RAIL WROUGHT IRON, PAINTED -
WILL MATCH IRON WORK
ON MANSION - BLACK.

LAMP WILL BE BLACK TO
MATCH IRON WORK
ACRYLIC ~~LENS~~ LENSES.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 11200 River View Drive, Potomac

Meeting Date: 06/25/97

Resource: Master Plan Site #29/6-2
Marwood Gatehouse

HAWP: Construction

Case Number: 29/6-2-97A

Tax Credit: No

Public Notice: 06/11/97

Report Date: 06/18/97

Applicant: Martin J. Mitchell

Staff: Perry Kephart

PROPOSAL: Construct entry feature.

RECOMMEND: Approval
w/conditions.

DATE OF CONSTRUCTION: 1931

SIGNIFICANCE: Gatehouse at entrance to Master Plan Site #29/6-1, Marwood.

ARCHITECTURAL DESCRIPTION

Beaux Arts two-story stuccoed brick gatehouse with red tiled roof. The Gatehouse served as the entrance to Marwood with a single car width arch in the center of the structure through which the driveway leading to the main house formerly was routed. There is a two bay residence above the archway on the 2nd story with ground level one story wings on either side of the archway that each contain two car garage openings with tile terraces on the level above.

BACKGROUND

When Marwood was subdivided, a new road (River View Drive) was constructed approximately 180' to the right of the historic resource and the existing driveway was closed to vehicular traffic. However, the Gatehouse has a substantial environmental setting including the land between the new road and the historic structure. For that reason, any improvements on this land are to be reviewed as to their impact on the Gatehouse. As a separate Master Plan site, the Marwood Gatehouse is subject to the highest level of review.

PROPOSAL

The applicant proposes to construct an entry feature for the subdivision on the left side of River View Drive. The structure is to suggest one half of an entrance gate and contain a kiosk-like pillar (with no openings) on the right with a side buttress and a curved length of stucco wall topped by iron fencing with filigree insets. At the left end a smaller pillar is proposed that will be topped by a lamp of black anodized aluminum. The main or kiosk pillar is proposed to be approximately 13' tall and the overall structure is approximately 20' long. The main pillar is proposed to have a tile roofcap and signage with ground level spot lighting. The overall structure is to be constructed of concrete block covered with synthetic stucco.

STAFF DISCUSSION

The design of the entry structure is, for the most part, an effective derivation of the Beaux Arts style of the Gatehouse and Marwood itself. It is, however, problematic for two reasons. First and most importantly, the entry feature is designed to look like one half of a gate and, in

①

staff's opinion, will look unbalanced and incomplete. Usually a gate or portal has two sides and staff feels that if the gate design is to be used it should have symmetrical components.

Secondly, staff is concerned that the entry is overly grandiose for its setting. The Gatehouse is a relatively diminutive building approximately 30' long by 28' high and in danger of being overwhelmed by this entry replacement. An extremely large entry feature is probably not necessary as the Gatehouse will continue to provide a distinctive landmark by which the Marwood property can be identified even if it is no longer the point of entry to the estate. Staff would suggest that an entry design that is scaled down and symmetrical would be more effective in this setting, and would still provide a highly visible entrance into the subdivision.

One further detail of the design that staff would also recommend modifying is the filigree work on the iron railings. This should be omitted from the railing design in the interests of simplicity and also, in staff's opinion, because the filigree mimics or parodies rather than evokes the design of the historic resource.

It should be noted that no actual signage or sign lighting has been included in this application and will be the subject of a later review.

STAFF RECOMMENDATION

Staff recommends that the Commission approve the Historic Area Work Permit as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired,

with the conditions that:

1. A second entry monument be installed on the opposite side of River View Drive.
2. The size of both structures be scaled back by at least 25%.
3. The iron railing be simple bars with no filigree work.

and with the general condition applicable to all Historic Area Work Permits that the applicant shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

Robert L. Mitchell
Louis A. Best
Theodore M. Visnic



OFFICE: (301) 309-6470

FAX: (301) 309-8820

Mitchell, Best & Visnic
INCORPORATED
Custom Homebuilders

Rock Manor Office Park • 1684 E. Gude Drive, Suite 301 • Rockville, Maryland 20850

July 3, 1997

Ms. Perry Kephart
Historic Preservation Commission
1109 Spring Street #801
Silver Spring MD 20910

Re: Marwood Entry Feature

Dear Perry:

Enclosed please find one set of plans for the Marwood entry feature incorporating the changes suggested by the Historical Commission. Please let me know as soon as you can if the Commission will approve this feature.

Thanks.

Sincerely,

Mary M. Schmidt
Administrative Assistant

/mms

cc: 141710-80

Will bring in new
design for July 9
or get it condensed
to July 23 -

Can draw on staff
must be by Jul 17

APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Martin J. Mitchell
DAYTIME TELEPHONE NO. (301) 762-9511
TAX ACCOUNT # 54-1748403
NAME OF PROPERTY OWNER Potomac Marwood LLC DAYTIME TELEPHONE NO. (301) 762-9511
ADDRESS 1686 East gude Drive Rockville MD 20850
CITY STATE ZIP CODE
CONTRACTOR Mitchell, Best & Visnic TELEPHONE NO. (8-01) 309-6470
CONTRACTOR REGISTRATION NUMBER BC-3168 exp. 4/8/99
AGENT FOR OWNER Martin J. Mitchell DAYTIME TELEPHONE NO. (301) 762-9511

LOCATION OF BUILDING/PREMISE
HOUSE NUMBER 11200 (EW) STREET River View Drive
TOWN/CITY Potomac NEAREST CROSS STREET River Road
LOT 82 section A BLOCK MARWOOD SUBDIVISION
LIBER FOLIO PARCEL

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other entrance feature
1B. CONSTRUCTION COST ESTIMATE \$ 10,000
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS N/A

2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SEPTIC 03 () OTHER _____
2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT 13 feet 0 inches (top of column) retaining portion, 3'.
3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
On party line/property line _____ Entirely on land of owner ^{XXX} _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Martin J. Mitchell Signature of owner or authorized agent Date 6/2/97

APPROVED _____ For Chairperson, Historic Preservation Commission
DISAPPROVED _____ Signature _____ Date _____

3

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

WATERBURY

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING STRUCTURE IS THE GATEHOUSE FOR MARWOOD THAT FRONTS ON RIVER ROAD. THE GATEHOUSE IS SIGNIFICANT DUE TO ITS 67th YEAR PRESENCE ON RIVER ROAD.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROJECT IS THE CONSTRUCTION OF AN ENTRANCE WALL AT THE NEW ENTRANCE TO MARWOOD. THE NEW WALL IS USING LIKE MATERIALS TO THE GATEHOUSE TO MINIMIZE IMPACT.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY - N/A

4

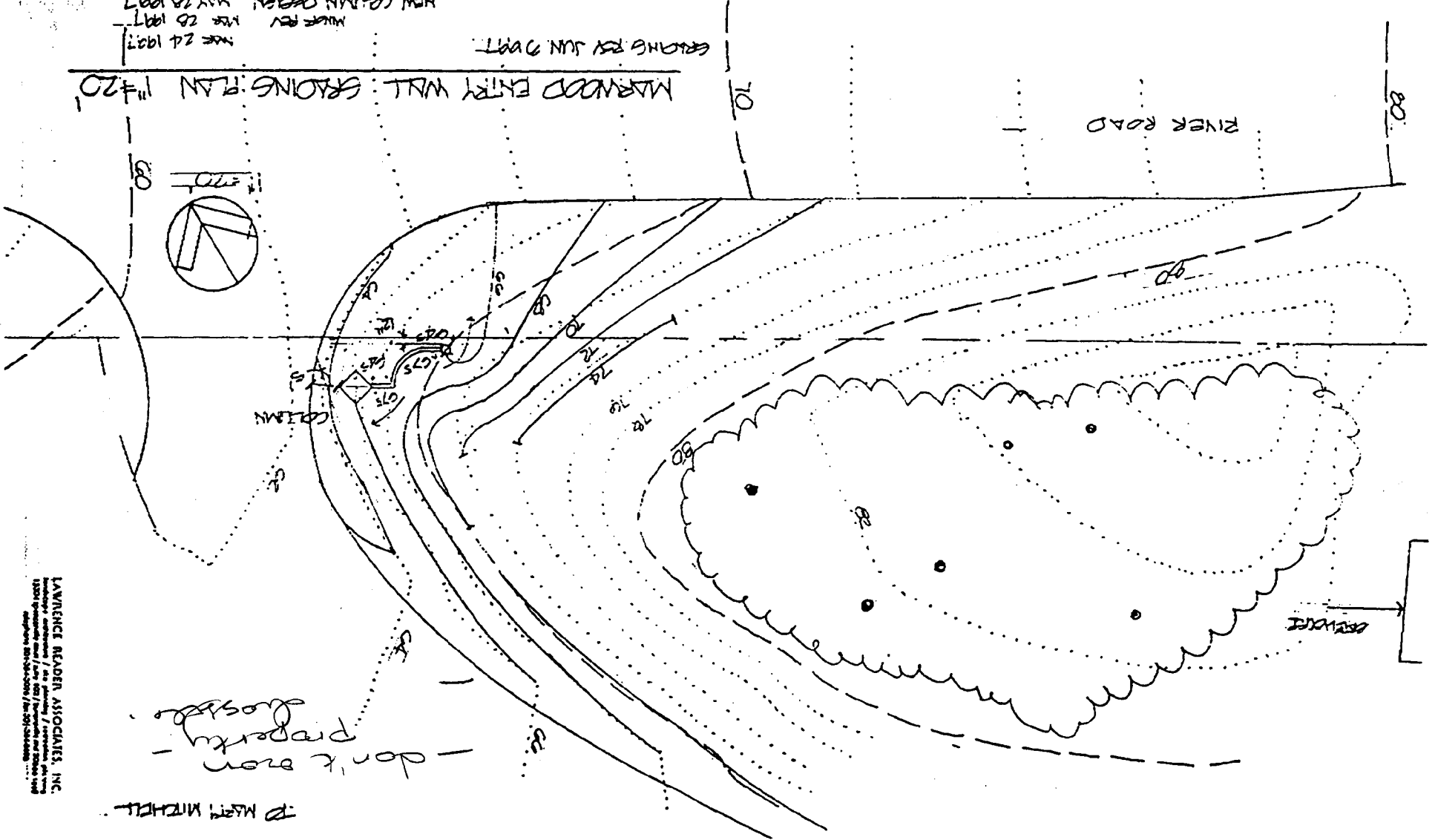
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at

DATE 24 1997
MURKIN REV. MAY 28 1997
NEW COLUMN DESIGN MAY 28 1997

ERASING FOR SUN PROT.

MARWOOD ENTRY WALL ERASING PLAN #20

RIVER ROAD

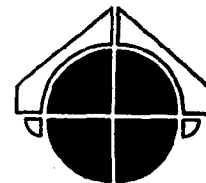


- don't erode property -
- don't erode property -

P. MITCHELL

LAVINCE READER ASSOCIATES, INC.
1000 Pennsylvania Ave., Suite 1000, Washington, DC 20004
Tel: (202) 462-1100 Fax: (202) 462-1101
www.lavinco.com

Custom



Design Concepts
ARCHITECTURE

PROJECT #0628

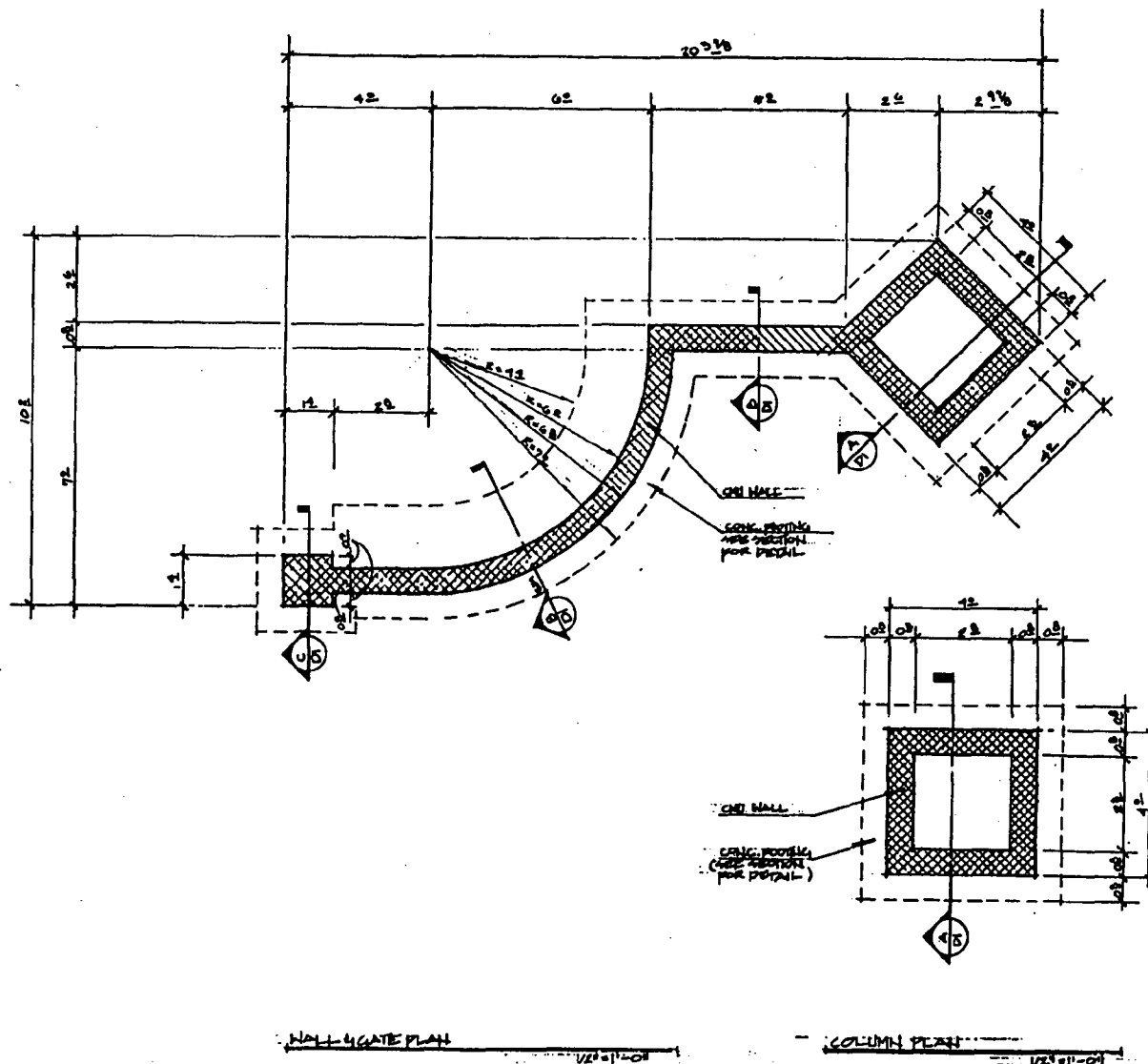
POTOMAC
MAROOD
ENTRY GATE

Mark R. Schimberg AIA, P.E.
6721 Curry Street 3rd Floor
Beltsville, MD 20711
(703) 748 - 0000

DATE:

08-21-97

A1

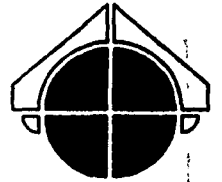


WALL & GATE PLAN

COLUMN PLAN

9

Custom



Design Concepts
ARCHITECTURE

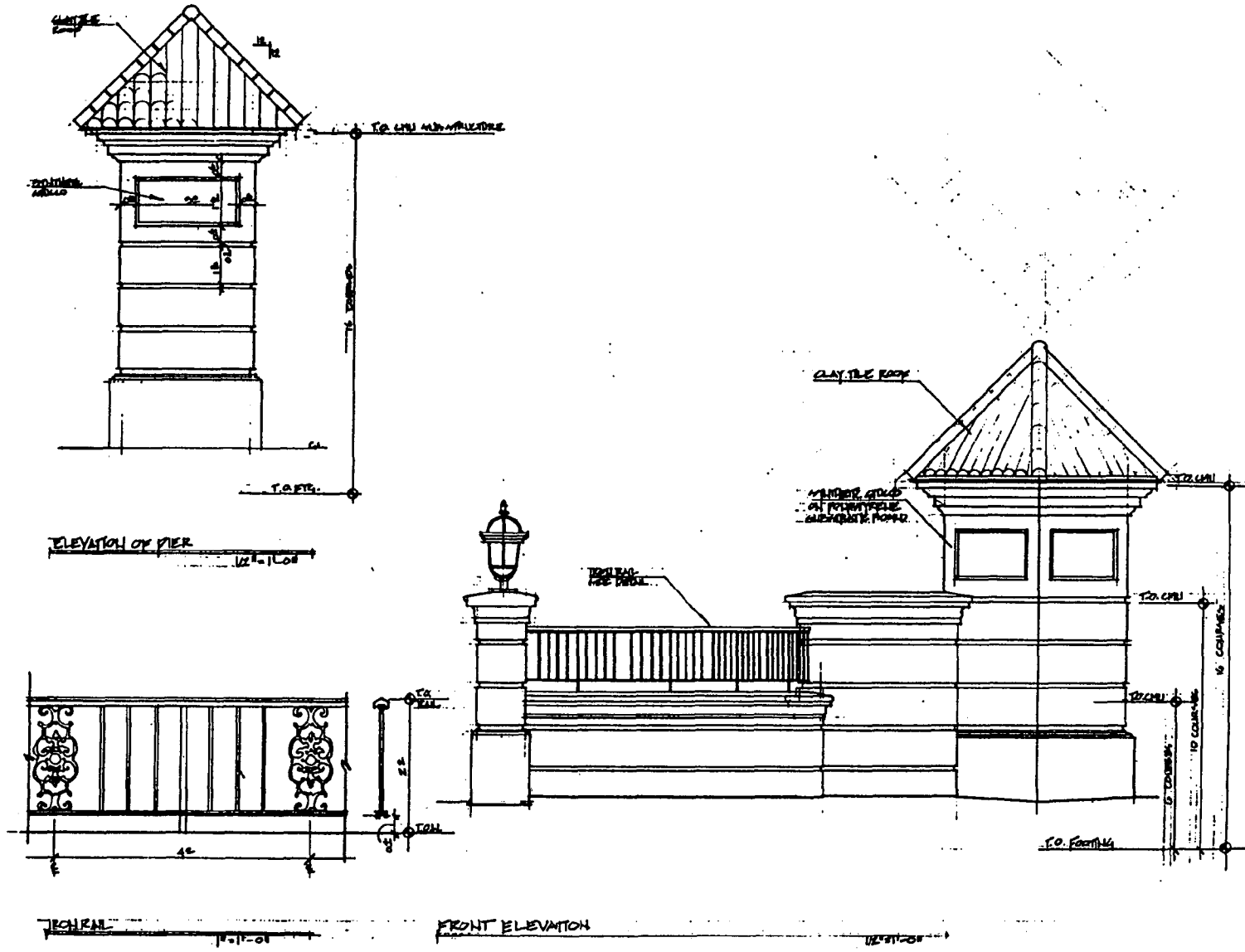
PROJECT #6636

POTOMAC
MAROOD
ENTRY GATE

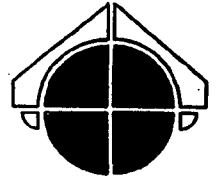
Mark E. Sollenberger A.I.A., P.C.
8781 Curran Street 3rd Floor
Madison, VA 22101
(703) 700-8800

DATE:	
08.21.07	

A2



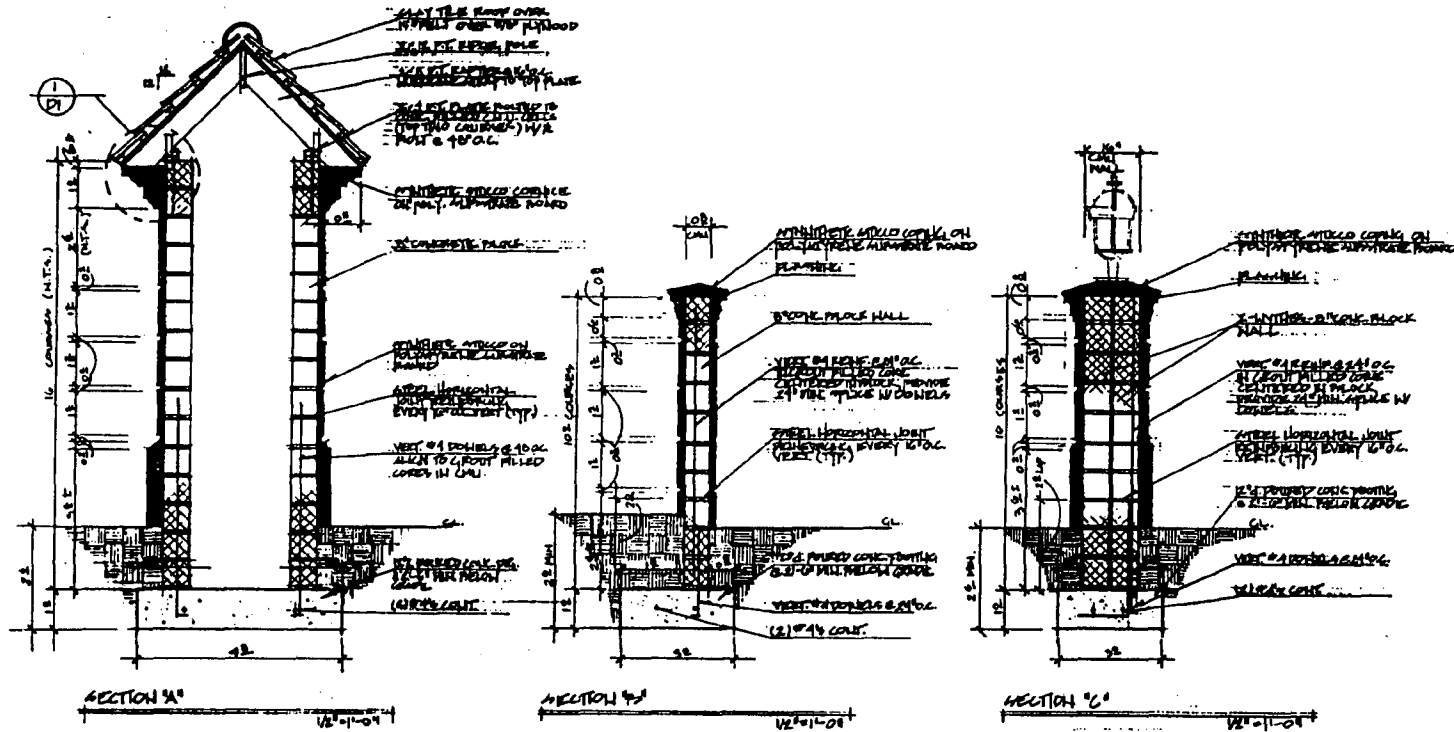
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PROJECT #0628

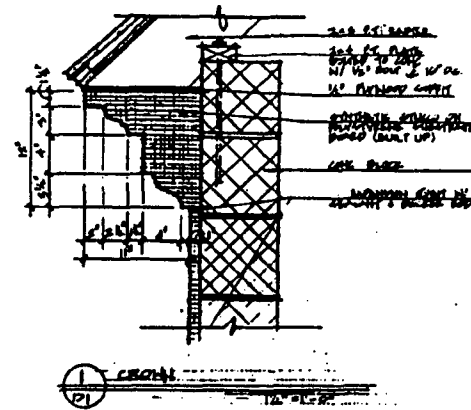
**POTOMAC
MAROOD
ENTRY GATE**

Mark E. Saldinger AIA, P.C.
6721 Curran Street 3rd Floor
McLean, VA 22101
(703) 749-8860



STRUCTURAL NOTES

1. GENERAL
 - A. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:
SURCHARGE 100 PSF
2. EARTHWORK
 - A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.
 - B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.
 - C. FOUNDATION WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 30 PCF ASSUMING A FREE DRAINING MATERIAL OR DRAINING BOARD BEHIND WALL WITH A PERIMETER DRAIN/TILE SYSTEM. NOTIFY ENGINEER IF SOIL CONDITIONS DIFFER.
3. CONCRETE
 - A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (f'c) = 3000 PSI IN 28 DAYS. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.
 - B. ALL REINFORCING STEEL TO MEET ASTM-A-615 GRADE 60.
4. MASONRY
 - A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC. C-90 FOR LOADBEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING @ 18" O.C. HORIZONTALLY. MORTAR TO BE ASTM C-270 TYPE B.

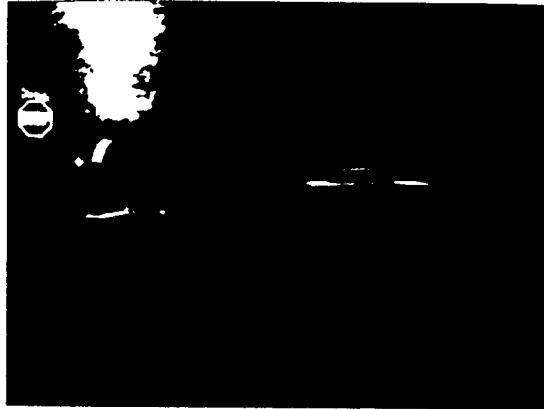


DATE	
06.21.97	

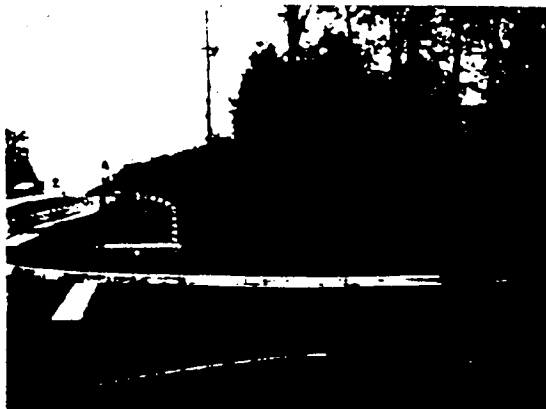
D1

8

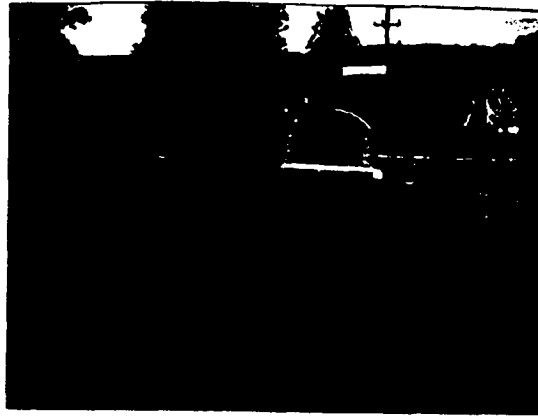
MARWOOD ENTRANCE FEATURE SITE PIX



VIEW LOOKING NORTH FROM MARWOOD TOWARDS ENTRANCE FEATURE LOCATION



VIEW LOOKING EAST ALONG RIVER ROAD TOWARDS ENTRANCE FEATURE LOCATION



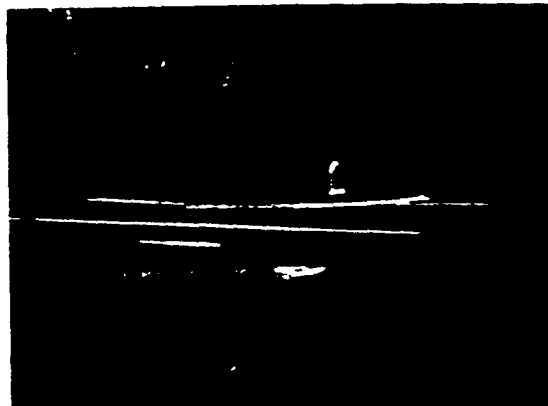
VIEW LOOKING WEST ALONG RIVER ROAD TOWARDS ENTRANCE FEATURE LOCATION

1.

MARWOOD ENTRANCE FEATURE SITE PIX



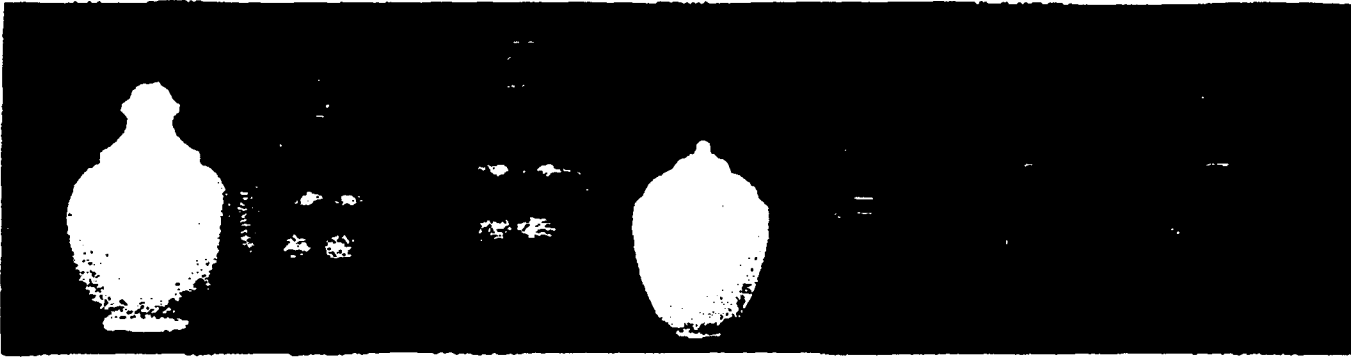
VIEW FROM SECOND FLOOR OF GATEHOUSE WEST TOWARDS ENTRANCE SIGN LOCATION.
LOCATION CANNOT BE SEEN FROM HERE.



VIEW FROM TARA ROAD LOOKING SOUTH TOWARDS MARWOOD & ENTRANCE FEATURE LOCATION.

11

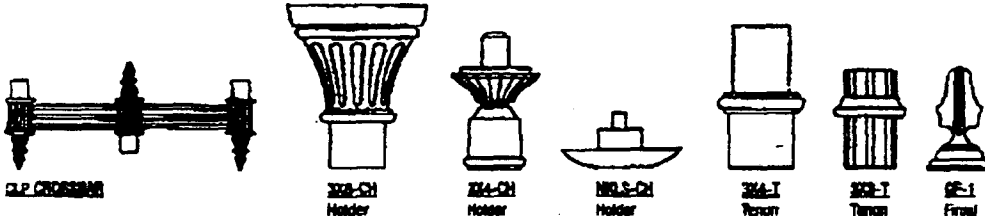
Brandon Industries Lamp Parts



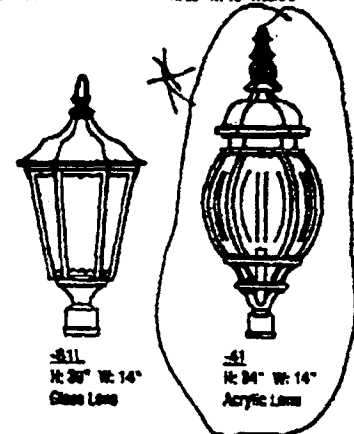
-18 Polycarbonate H: 21" W: 14" Neck: 7.5"
-20 Polycarbonate H: 22" W: 14" Neck: 6"
-22 Polycarbonate H: 25" W: 18.25" Neck: 8" or 8"
-14 Polycarbonate H: 17" W: 11" Neck: 4"
-24 Polycarbonate H: 17" W: 11" Neck: 4"
-28 Polycarbonate H: 20" W: 14" Neck: 6"
-29 Polycarbonate H: 20" W: 15" Neck: 6"



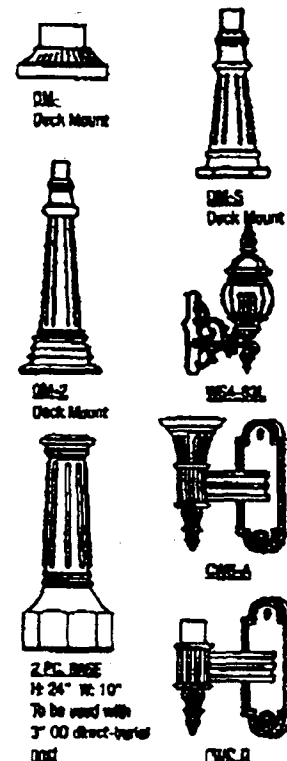
-10 Polycarbonate 10" dia. 4" Neck
-10A Acrylic 10" dia. 4" Neck
-11A Acrylic 11" dia. 4" Neck
-12 Polycarbonate 12" dia. 4" Neck
-26A Acrylic 14" dia. Neckless



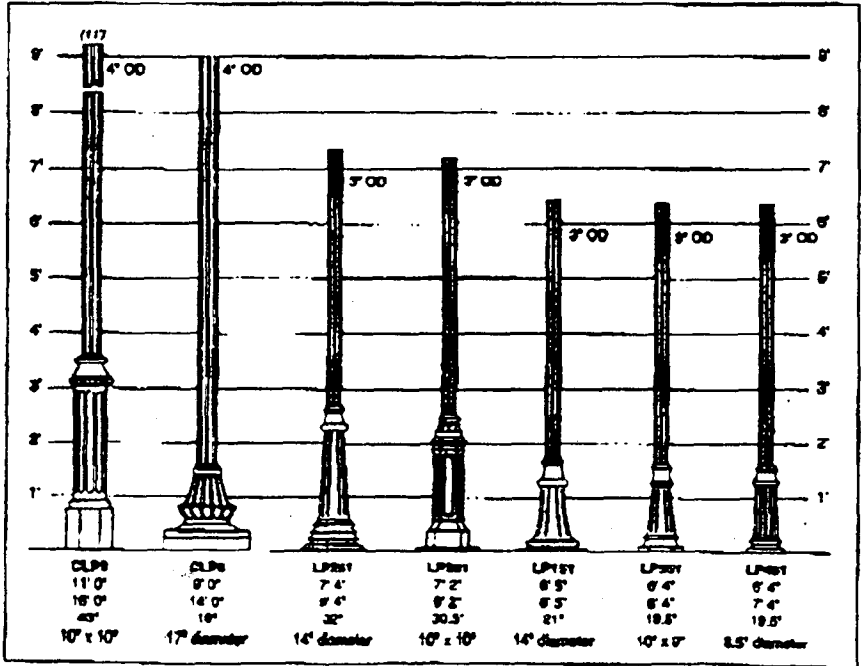
CLP CROSSBAR
26A-CH Holder
26A-CH Holder
26A-T Turner
26A-T Turner
26A-F Finial



-31L H: 26" W: 14" Glass Lens
-31 H: 24" W: 14" Acrylic Lens



DM Deck Mount
DM-S Deck Mount
DM-Z Deck Mount
2-PC BRGE H: 24" W: 10" To be used with 3" OD direct-typer
DM-F
DM-B



MANHOOD ENTRANCE WALL
PROPERTY OWNERS

Dr. Adrian M. Cohen
11301 River Road
Potomac MD 20854

Mr. Zivan Cohen
10701 Tara Road
Potomac MD 20854

Mr. Tom Courtney
PO Box 580
Sewickley PA 15143

13



RETURN TO: Department of Environmental Protection
 Division of Development Services and Regulation
 250 Hungerford Drive, Rockville, Maryland 20850
 (301) 217-6370

Historic Preservation Commission

(301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 54-1748403
 NAME OF PROPERTY OWNER Potomac Marwood LLC
 ADDRESS 1686 East gude Drive Rockville MD 20850
 CONTACT PERSON Martin J. Mitchell
 DAYTIME TELEPHONE NO. (301) 762-9511
 DAYTIME TELEPHONE NO. (301) 762-9511
 CITY STATE ZIP CODE
 CONTRACTOR Mitchell, Best & Visnic TELEPHONE NO. 8-01) 309-6470
 CONTRACTOR REGISTRATION NUMBER BC-3168 exp. 4/8/99
 AGENT FOR OWNER Martin J. Mitchell DAYTIME TELEPHONE NO. (301) 762-9511

LOCATION OF BUILDING/PREMISE
 HOUSE NUMBER 11200 (EW) STREET River View Drive
 TOWN/CITY Potomac NEAREST CROSS STREET River Road
 LOT 82 SECTION A SUBDIVISION MARWOOD
 LIBER 1001 FOLIO 1001 PARCEL 3001

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other entrance feature
 1B. CONSTRUCTION COST ESTIMATE \$ 10,000
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT 13 feet 0 inches (top of column) retaining portion, 3'
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner XXX On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT

Signature of owner or authorized agent [Signature] Date 6/2/97

APPROVED _____ For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: 9706040063 DATE FILED: _____ DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

2916-2-97A

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING STRUCTURE IS THE GATEHOUSE FOR MARWOOD THAT FRONTS ON RIVER ROAD. THE GATEHOUSE IS SIGNIFICANT DUE TO ITS 67[±] YEAR PRESENCE ON RIVER ROAD.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROJECT IS THE CONSTRUCTION OF AN ENTRANCE WALL AT THE NEW ENTRANCE TO MARWOOD. THE NEW WALL IS USING LIKE MATERIALS TO THE GATE HOUSE TO MINIMIZE IMPACT.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
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3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

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- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY - N/A

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.



RETURN TO: Department of Environmental Protection
 Division of Development Services and Regulation
 250 Hungerford Drive, Rockville, Maryland 20850
 (301) 217-6370

Historic Preservation Commission
 (301) 495-4570

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 54-1748403

CONTACT PERSON Martin J. Mitchell
 DAYTIME TELEPHONE NO. (301) 762-9511

NAME OF PROPERTY OWNER Potomac Marwood LLC DAYTIME TELEPHONE NO. (301) 762-9511

ADDRESS 1626 East gude Drive Rockville MD 20850

CITY STATE ZIP CODE

CONTRACTOR Mitchell, Best & Visnic TELEPHONE NO. (301) 309-6470
 CONTRACTOR REGISTRATION NUMBER BC-3168 exp. 4/8/99

AGENT FOR OWNER Martin J. Mitchell DAYTIME TELEPHONE NO. (301) 762-9511

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 11200 (EW) STREET River View Drive

TOWN/CITY Potomac NEAREST CROSS STREET River Road
 section

LOT 02 BLOCK A SUBDIVISION MARWOOD

LIBER _____ FOLIO _____ PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition

Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove

Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other entrance feature

1B. CONSTRUCTION COST ESTIMATE \$ 10,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS N/A

2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SEPTIC 03 () OTHER _____

2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT 13 feet 0 inches (top of column) retaining portion, 3'

3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner ^{XXX} _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

[Signature] 6/2/97
 Signature of owner or authorized agent Date

APPROVED _____ For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: 117 1748403 DATE FILED: _____ DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

MARWOOD ENTRANCE FEATURE SITE PIX



VIEW LOOKING NORTH FROM MARWOOD TOWARDS ENTRANCE FEATURE LOCATION



VIEW LOOKING EAST ALONG RIVER ROAD TOWARDS ENTRANCE FEATURE LOCATION



VIEW LOOKING WEST ALONG RIVER ROAD TOWARDS ENTRANCE FEATURE LOCATION

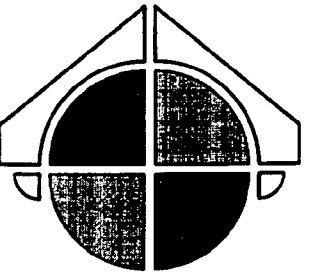
MARWOOD ENTRANCE FEATURE SITE PIX



VIEW FROM SECOND FLOOR OF GATEHOUSE WEST TOWARDS ENTRANCE SIGN LOCATION.
LOCATION CANNOT BE SEEN FROM HERE.



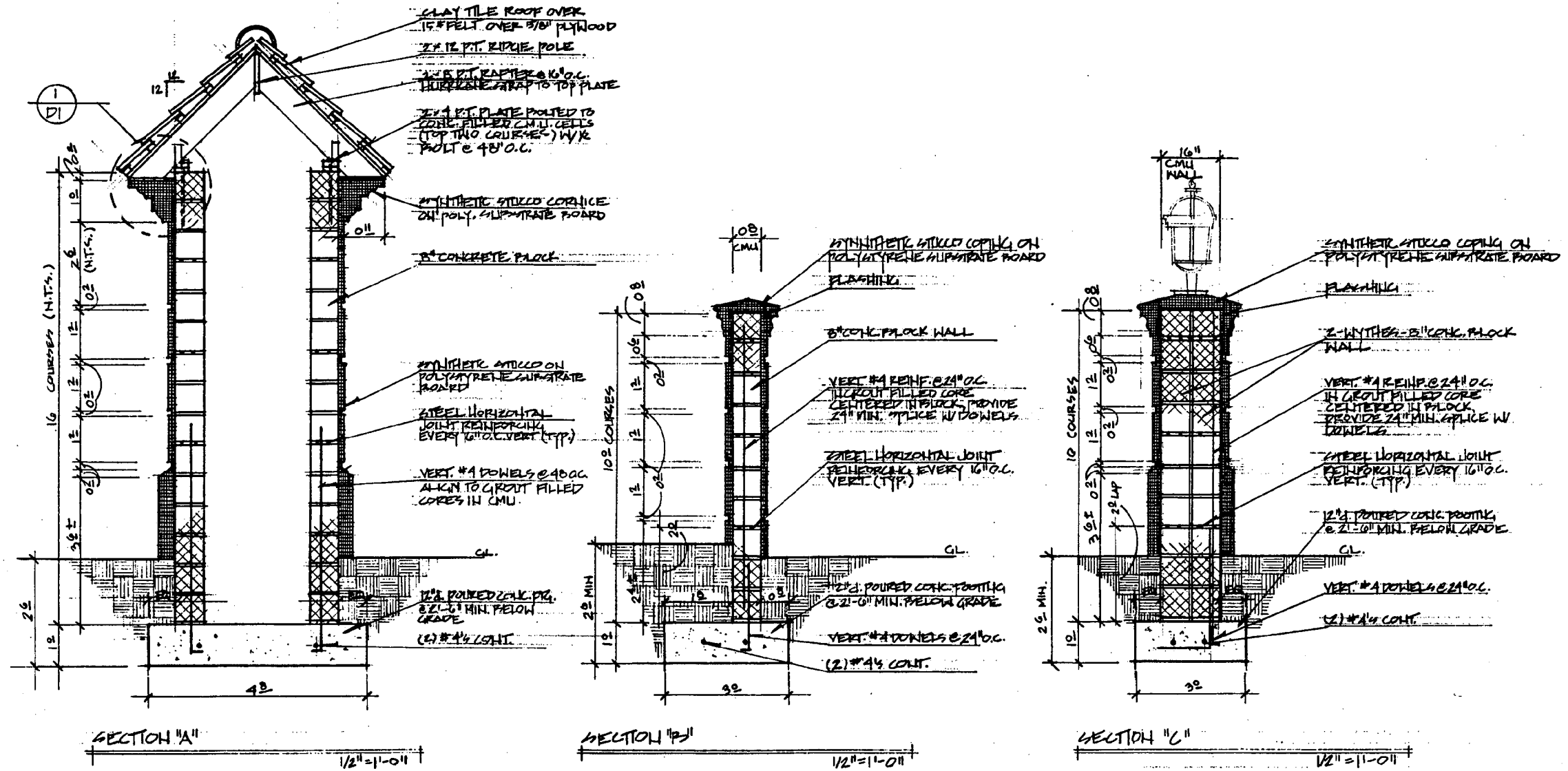
VIEW FROM TARA ROAD LOOKING SOUTH TOWARDS MARWOOD & ENTRANCE FEATURE LOCATION.



PROJECT #9528

POTOMAC
MAROOD
ENTRY GATE

Mark R. Sullenberger A.I.A., P.C.
6731 Curran Street 3rd Floor
McLean, VA 22101
(703) 749 - 9040



STRUCTURAL NOTES

1. GENERAL

A. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

SURCHARGE 100 PSF

2. EARTHWORK

- A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.
- B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.
- C. FOUNDATION WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 30 PCF ASSUMING A FREE DRAINING MATERIAL OR DRAINING BOARD BEHIND WALL WITH A PERIMETER DRAINTILE SYSTEM. NOTIFY ENGINEER IF SDIL CONDITIONS DIFFER.

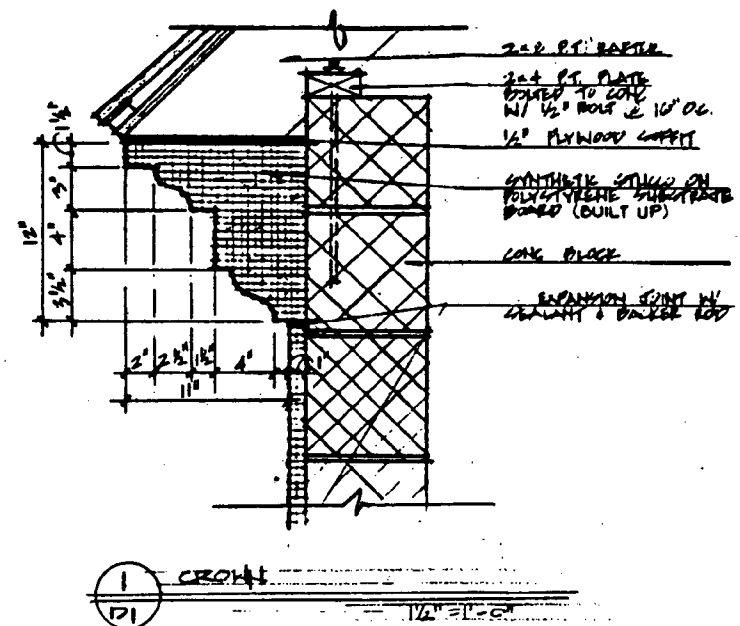
3. CONCRETE

A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (F'c) = 3000 PSI IN 28 DAYS. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.

B. ALL REINFORCING STEEL TO MEET ASTM-A-615 GRADE 60.

4. MASONRY

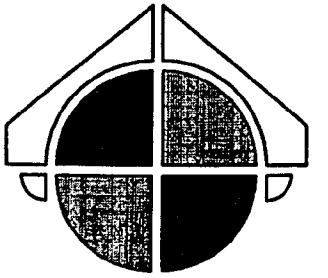
A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C-90 FOR LOADBEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING @ 16" O.C. HORIZONTALLY. MORTAR TO BE ASTM C-270 TYPE S.



DATE:	
05.21.97	

D1

C u s t o m



Design Concepts
ARCHITECTURE

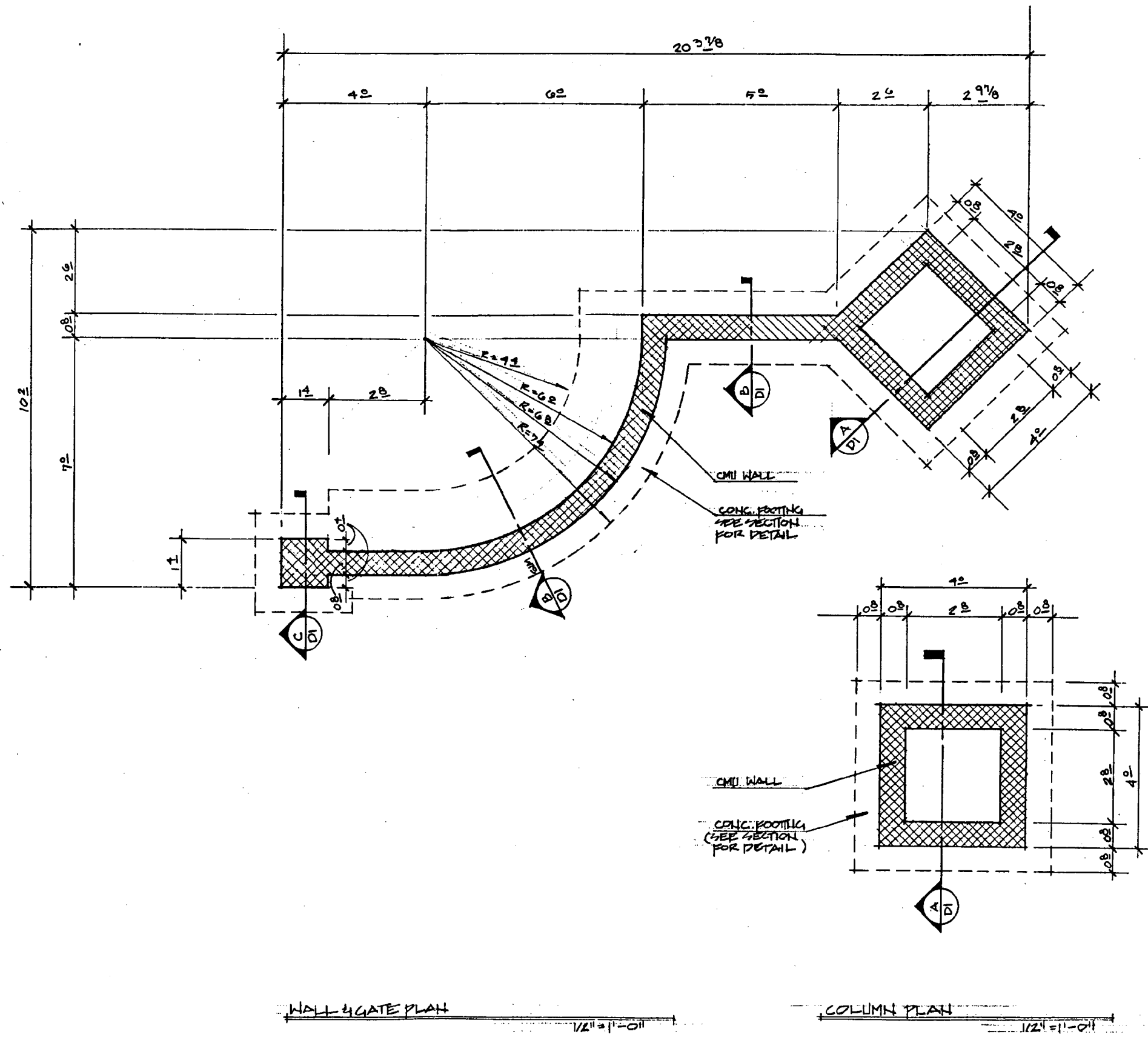
PROJECT #8528
**POTOMAC
MAROOD
ENTRY GATE**

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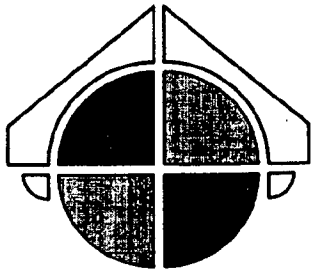
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A1



Custom



Design Concepts

ARCHITECTURE

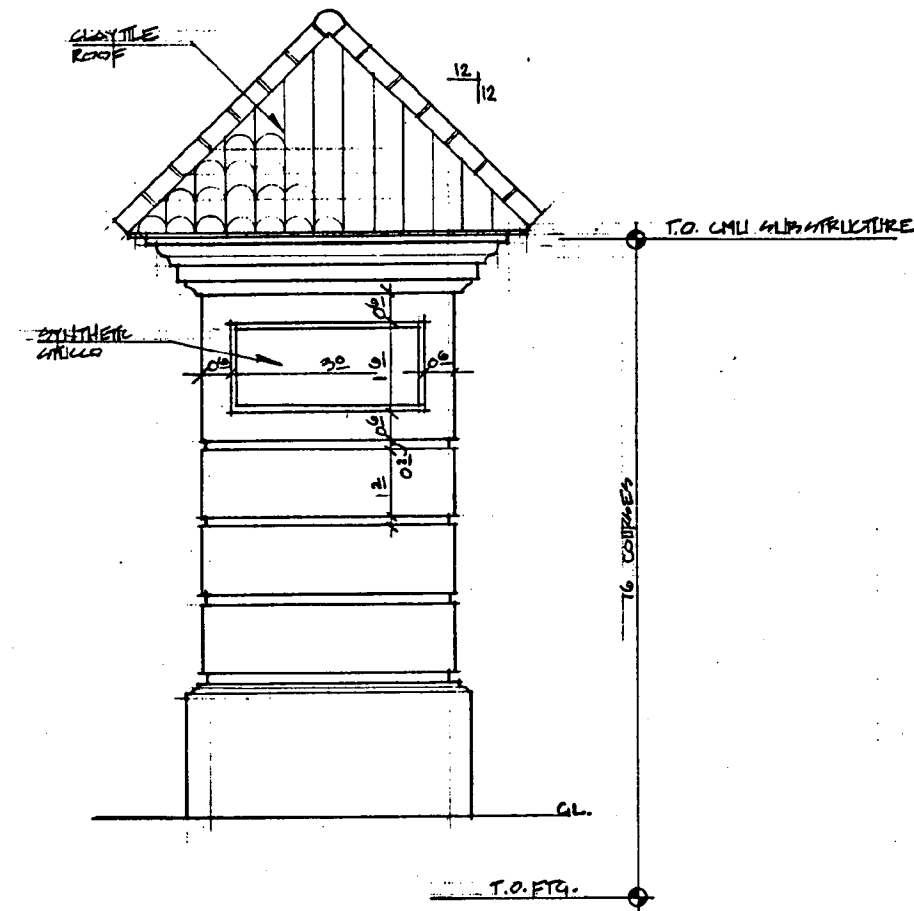
PROJECT #8528

POTOMAC
MAROOD
ENTRY GATE

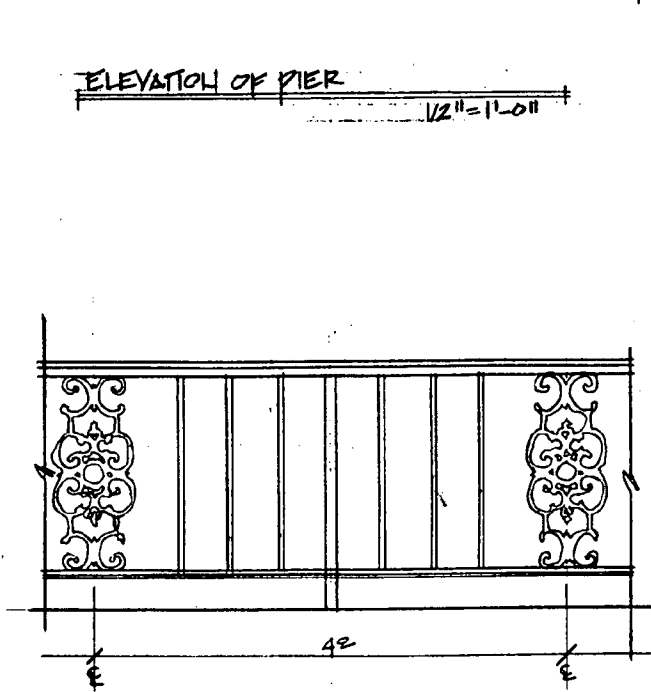
Mark R. Sullenberger A.I.A., P.C.
6731 Curran Street 3rd Floor
McLean, VA 22101
(703) 749 - 9040

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05.21.97

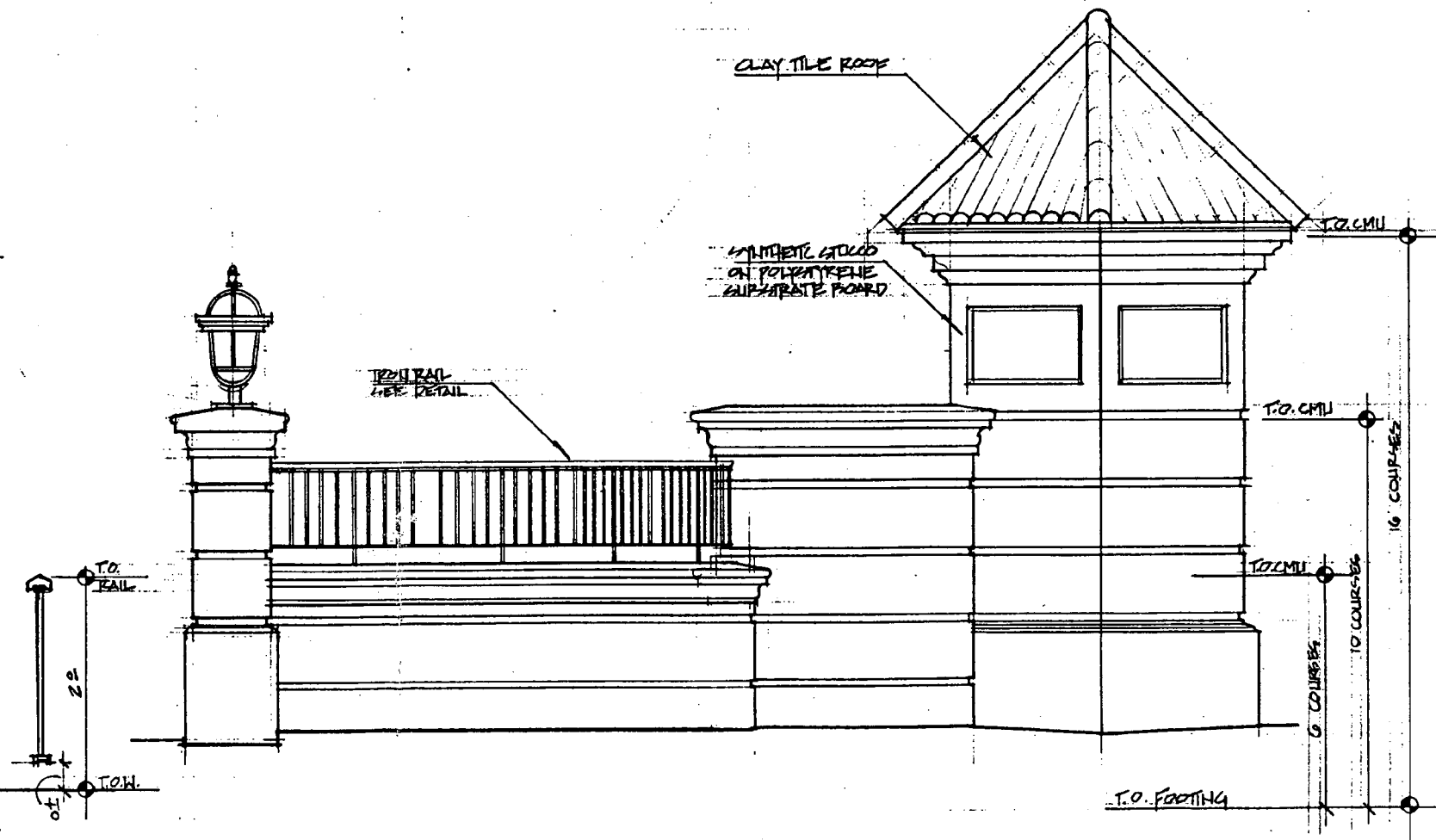
A2



ELEVATION OF PIER
1/2" = 1'-0"



IRON RAIL
1" = 1'-0"



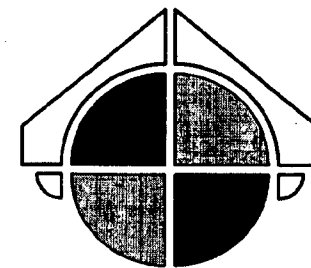
FRONT ELEVATION
1/2" = 1'-0"

Are there 2 ?

Details on lamp
& signage.

iron or coated rail

C u s t o m



Design Concepts

ARCHITECTURE

PROJECT #9528

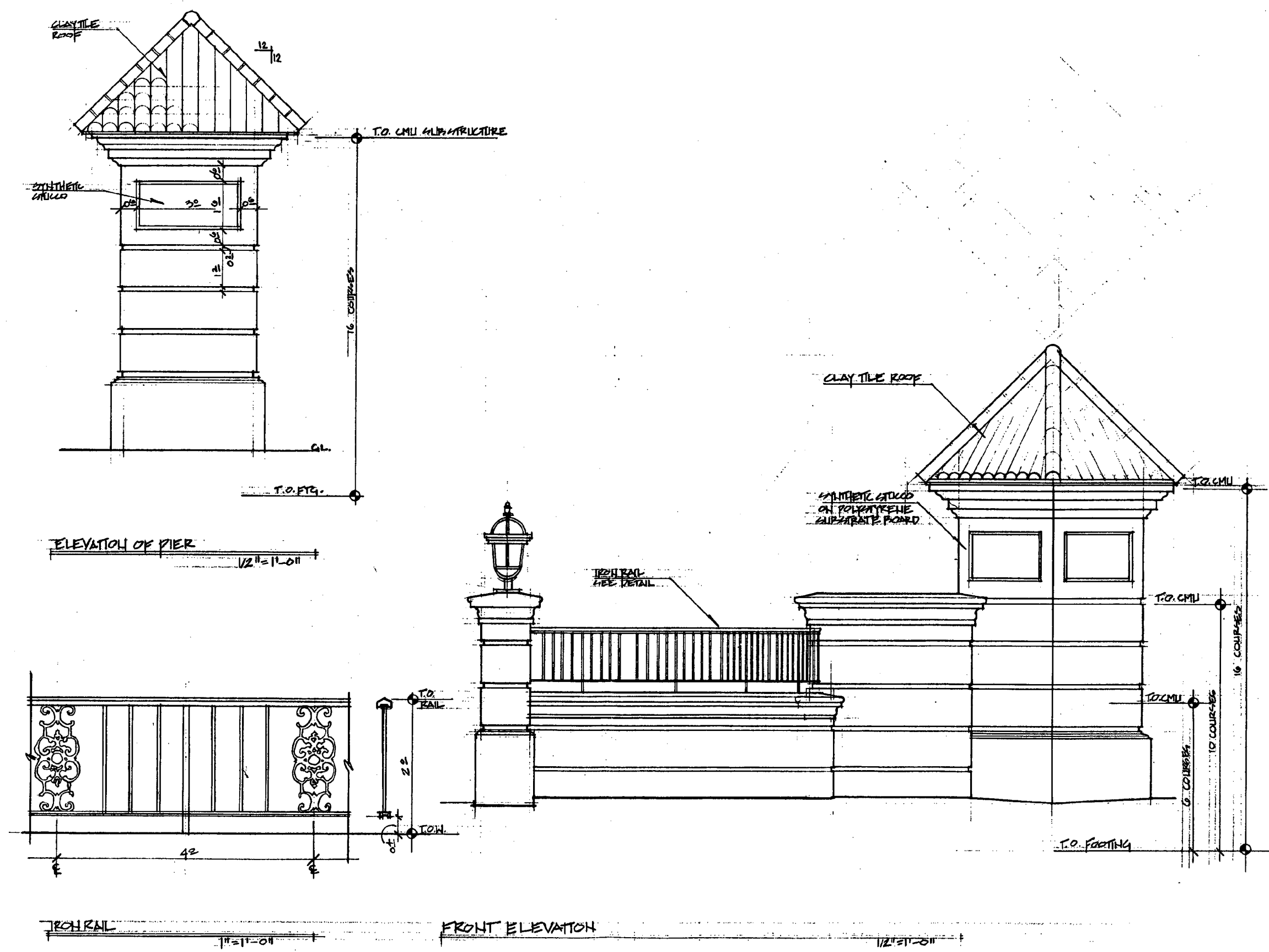
POTOMAC MAROOD ENTRY GATE

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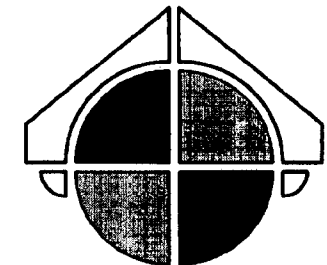
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05.21.07	

A2



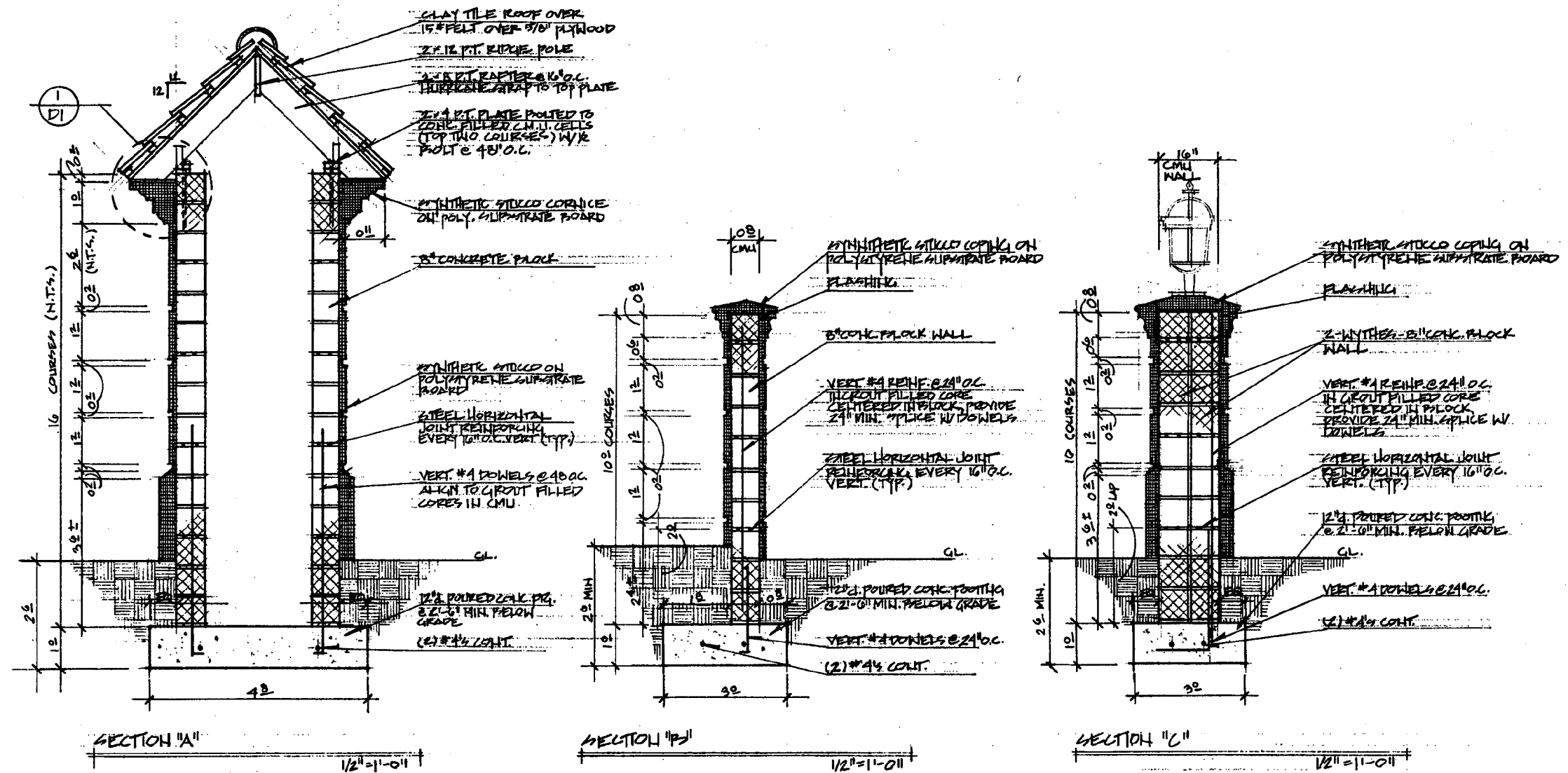
08997
011-595-1170
C&D INC.



PROJECT #9528

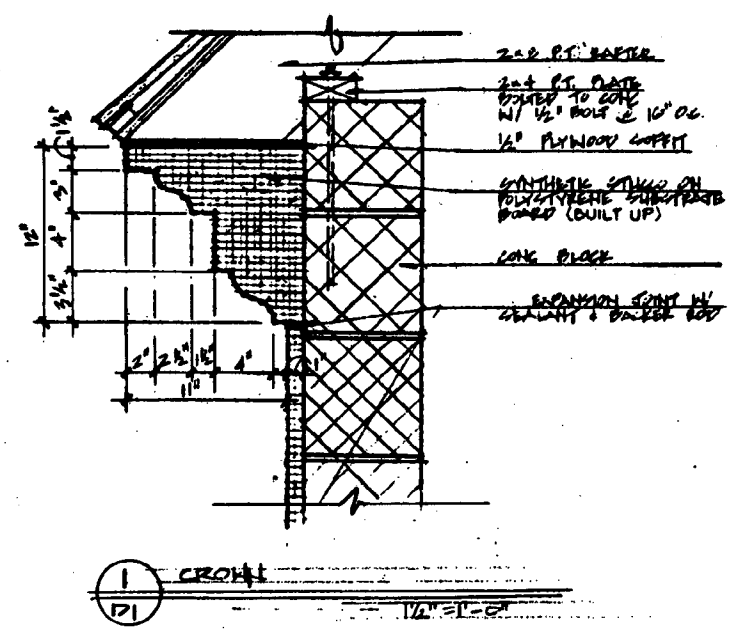
POTOMAC MAROOD ENTRY GATE

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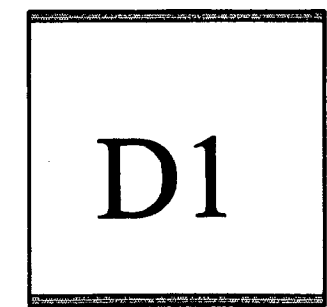
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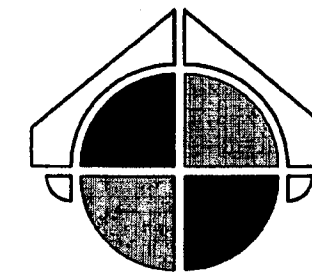


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05.21.97	



C u s t o m



Design Concepts
ARCHITECTURE

PROJECT #8528

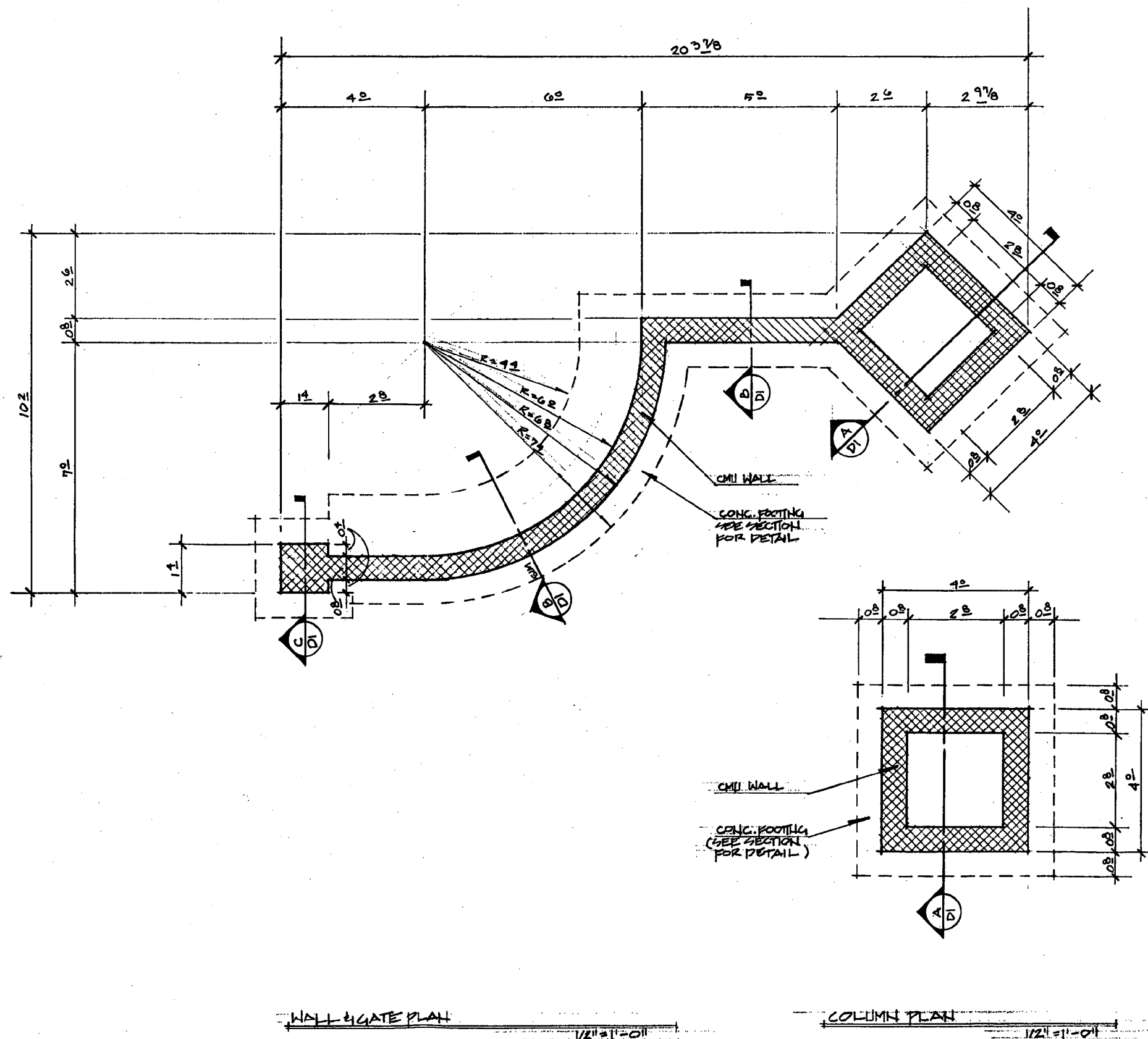
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MAROOD
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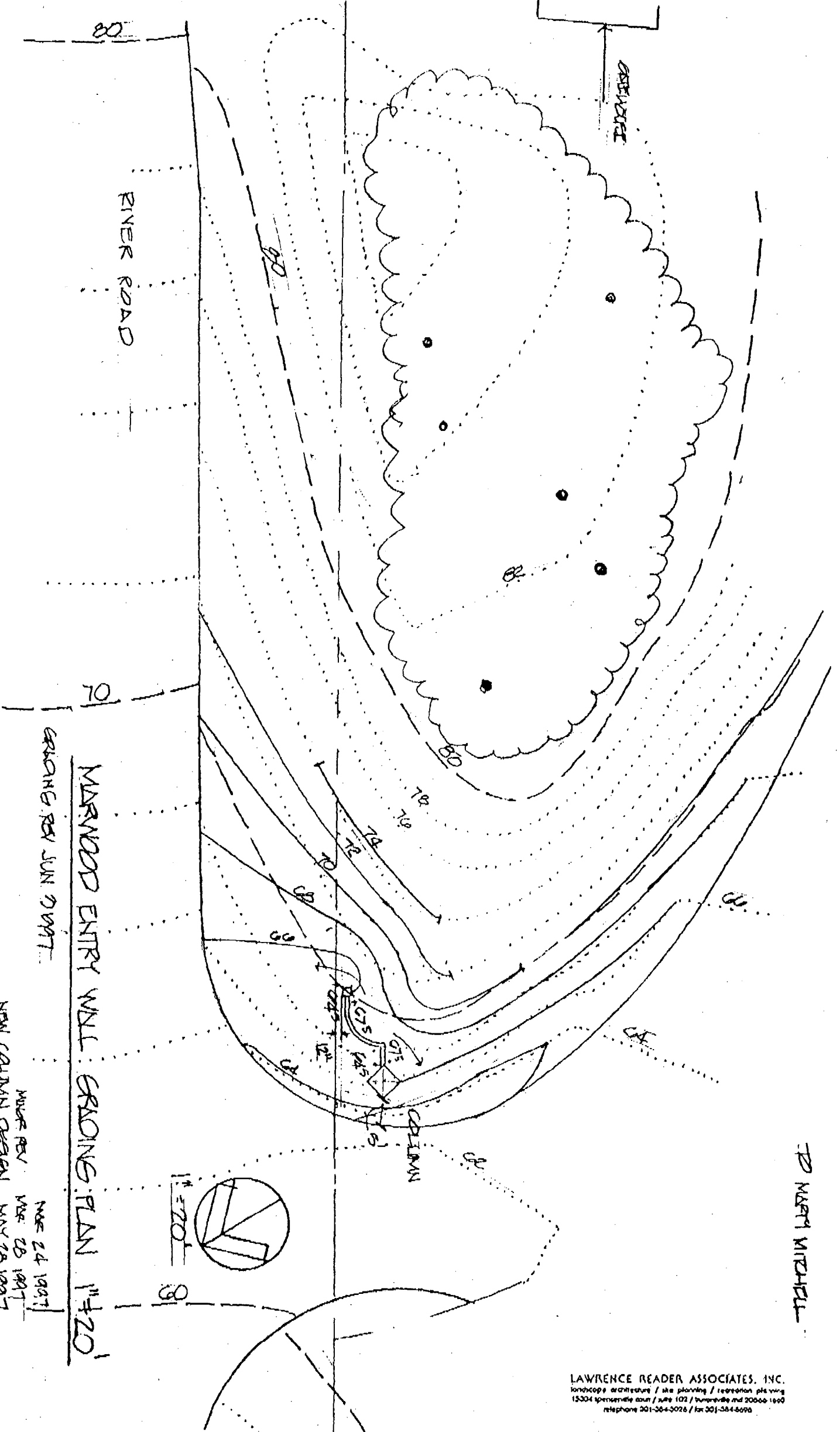
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A1

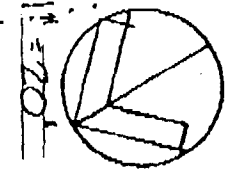




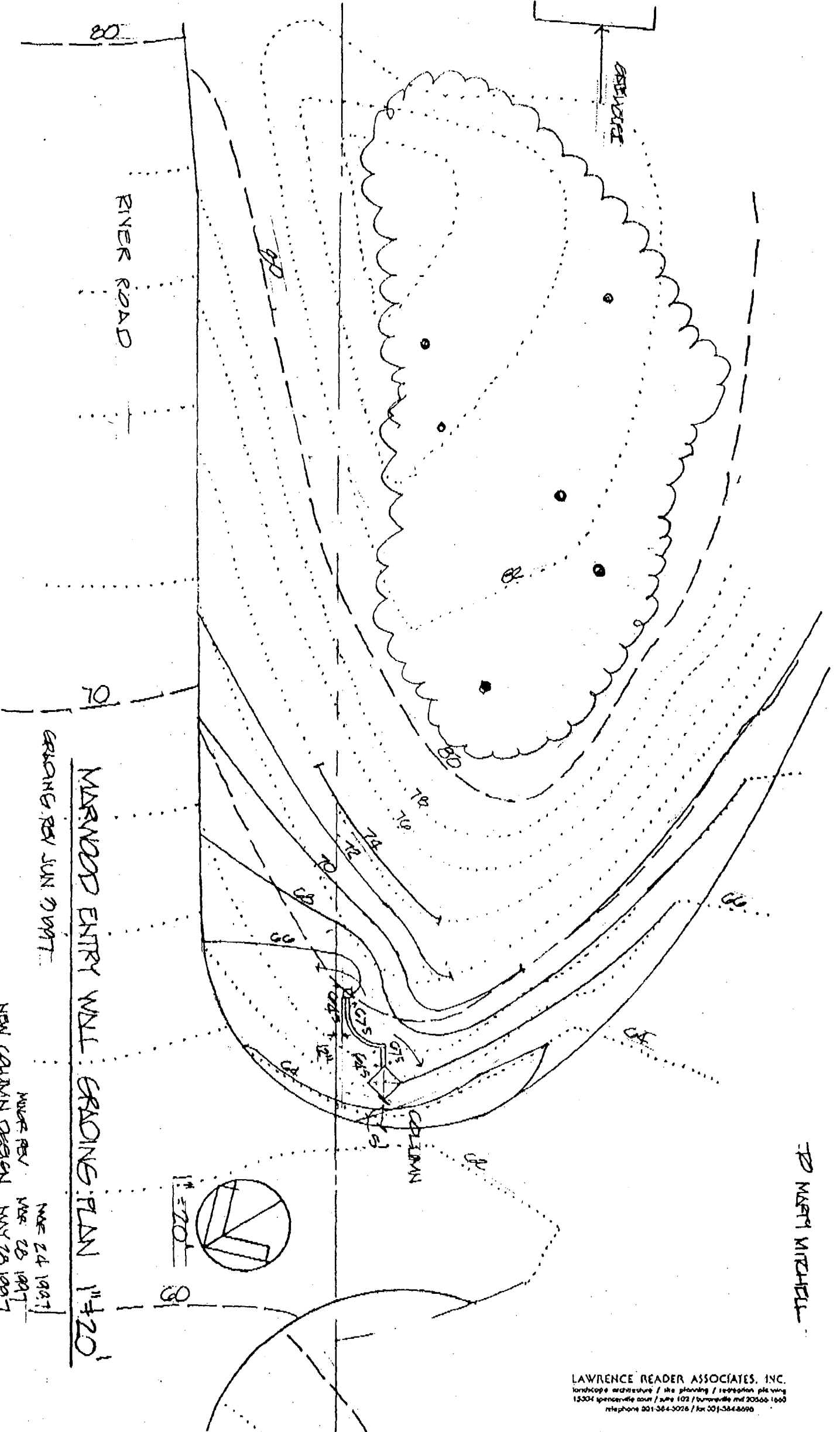
GRADING REV JUN 3 1997

WOOD ENTRY WALL GRADING PLAN 11/22/97

MADE REV 24 1997
WRE REV 28 1997
NEW COLUMN DESIGN MAY 28 1997



ED MARY MITCHELL



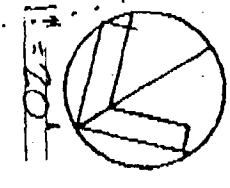
RIVER ROAD

BUILDING

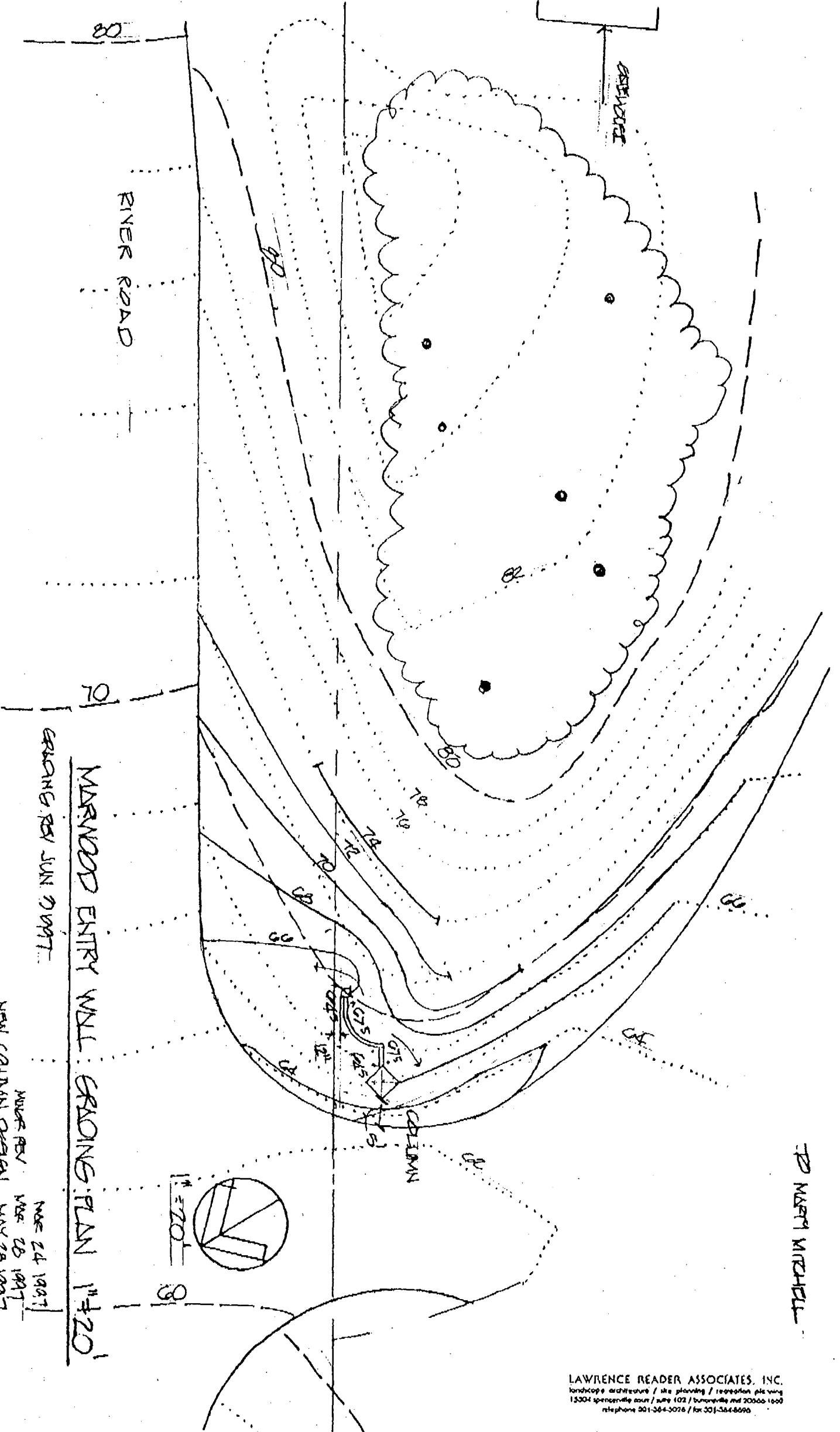
COLUMN

GRADING PLAN 11/20

NEW COLUMN DESIGN



EDWARD MITCHELL

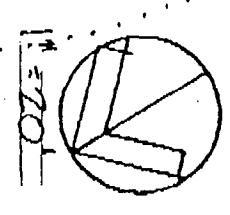


RIVER ROAD

WATERWOOD ENTRY WALL GRADING PLAN 11/20

GRADING REV JUN 1997

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MADE REV MAY 28 1997
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TD NORTH MITCHELL