

29/7-95A John McDonald House

10600 River Road, Potomac

HPC 7/26/95

HPC Case # 297-95A

10600 R. New Rd.

#297-95A John McDonald HSA



EXISTING NORTH ELEVATION  
BUILDING FACE TO RIGHT OF WAY

10000 RIVER ROAD, POTOMAC, MD



BUILDING FACE TO EAST PROP.

19000 RIVER ROAD, POTOMAC, MD



BUILDING EXE TO SOUTH PROP.

10600 RIVER ROAD, POTOMAC, MD





BUILDING FACE TO WEST PROPERTY

10600 RIVER ROAD, ROCKMAC, MD



EXISTING EAST ELEVATION

WOOD RIVER ROAD, POTOMAC, MD



EXISTING SOUTH ELEVATION

10600 RIVER ROAD, POTOMAC, MD





EXISTING WEST ELEVATION

1000 RIVER ROAD, POTOMAC, MD





DETAIL: PROPOSED NEW PORCH  
AREA - VIEW FROM NORTH

10600 RIVER ROAD, BOETMAC, MD



DETAIL: PROPOSED NEW/REPLACEMENT BAY - VIEW FROM SOUTH

10600 RIVER ROAD, POTOMAC, MD



DETAIL: PROPOSED NEW FAMILY RM.  
AREA - VIEW FROM EAST

10000 RIVER ROAD, POTOMAC, MD





DETAIL: PROPOSED NEW KITCHEN  
AREA - VIEW FROM SOUTH

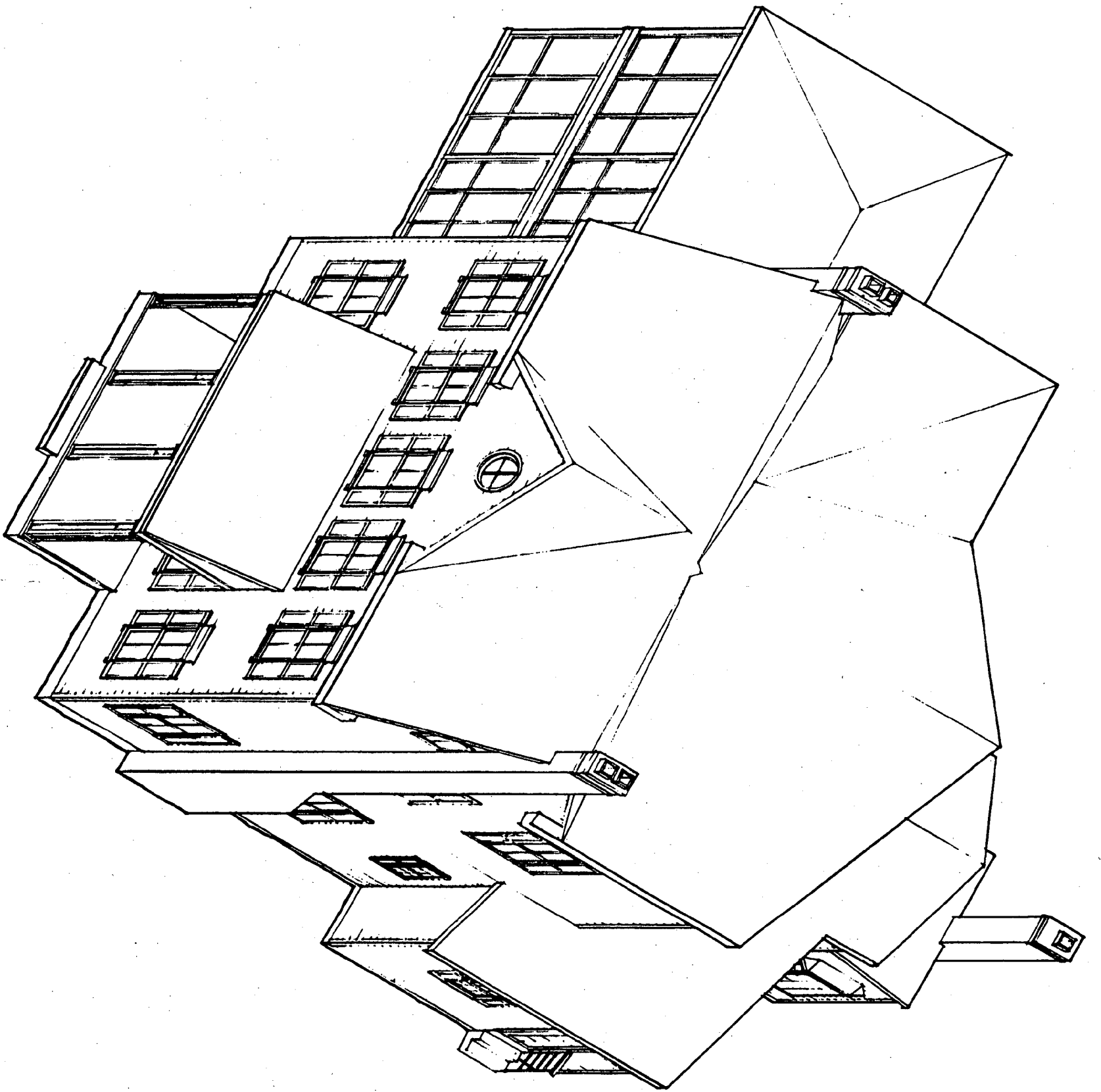
10600 RIVER ROAD, POTOMAC, MD





DETAIL: PROPOSED NEW KITCHEN  
AREA - VIEW FROM WEST

10600 RIVER ROAD, POTOMAC, MD



AXONOMETRIC VIEW FROM NORTHEAST

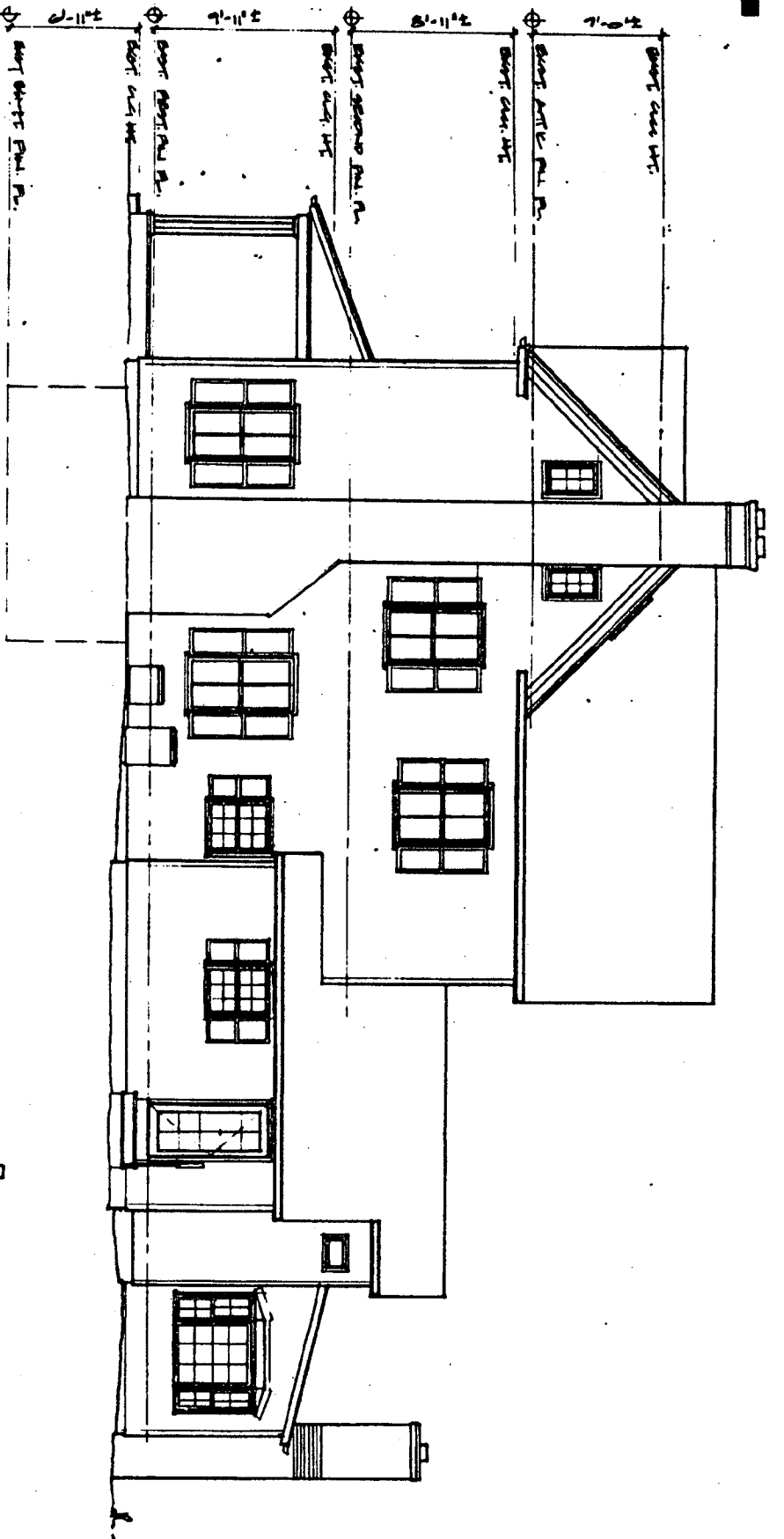
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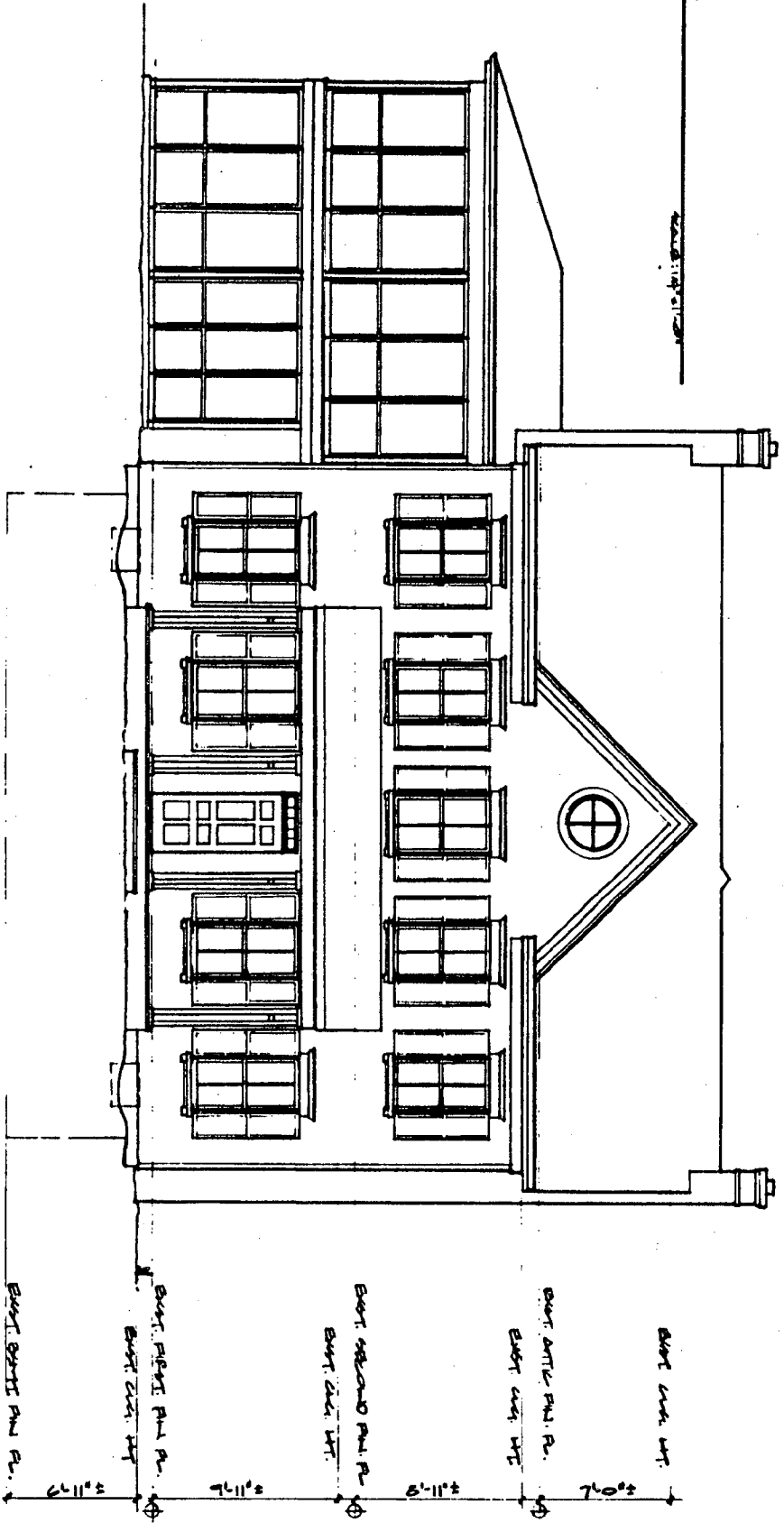
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CONWAY RESIDENCE  
10600 RIVER ROAD POTOMAC MD 20854

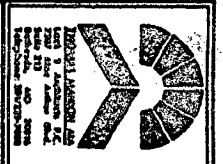




WEST ELEVATION



NORTH ELEVATION

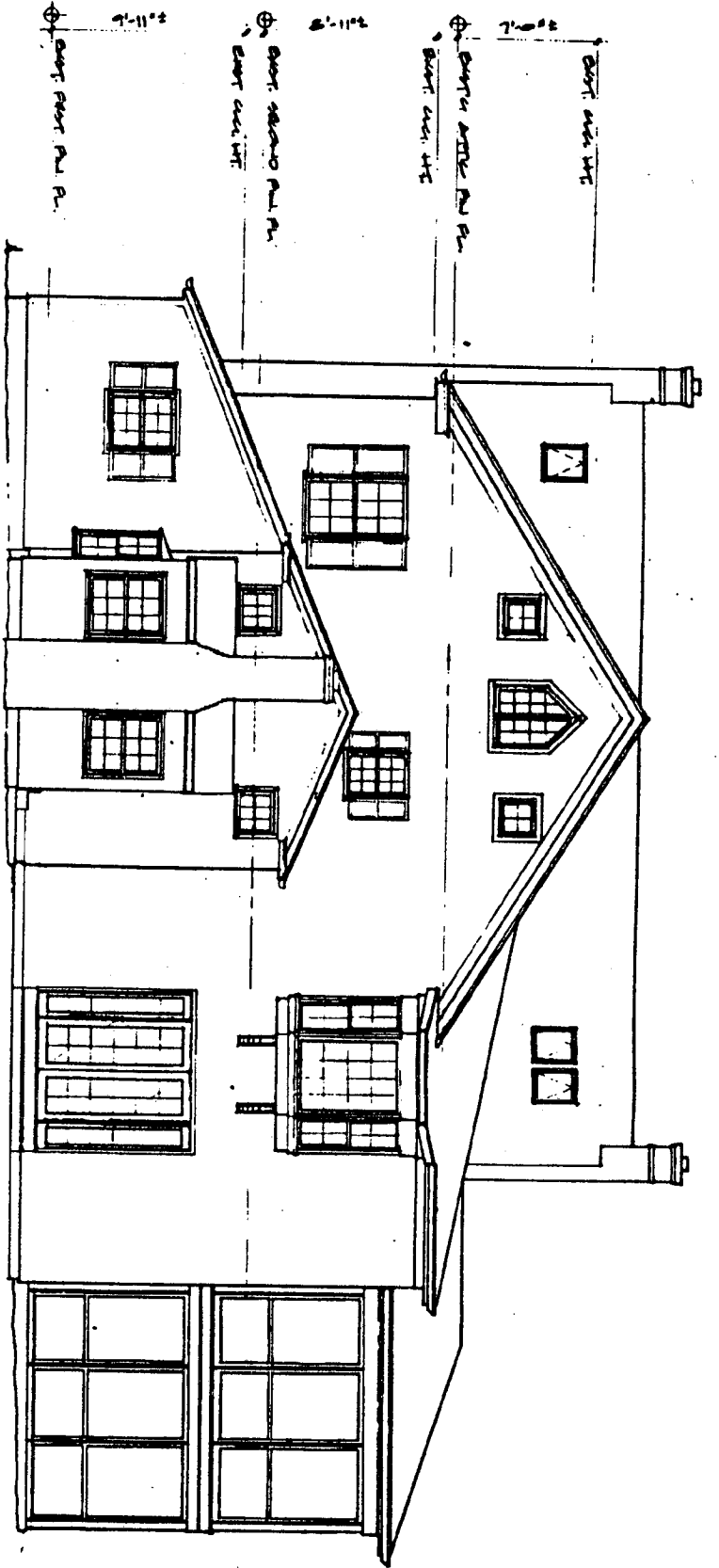


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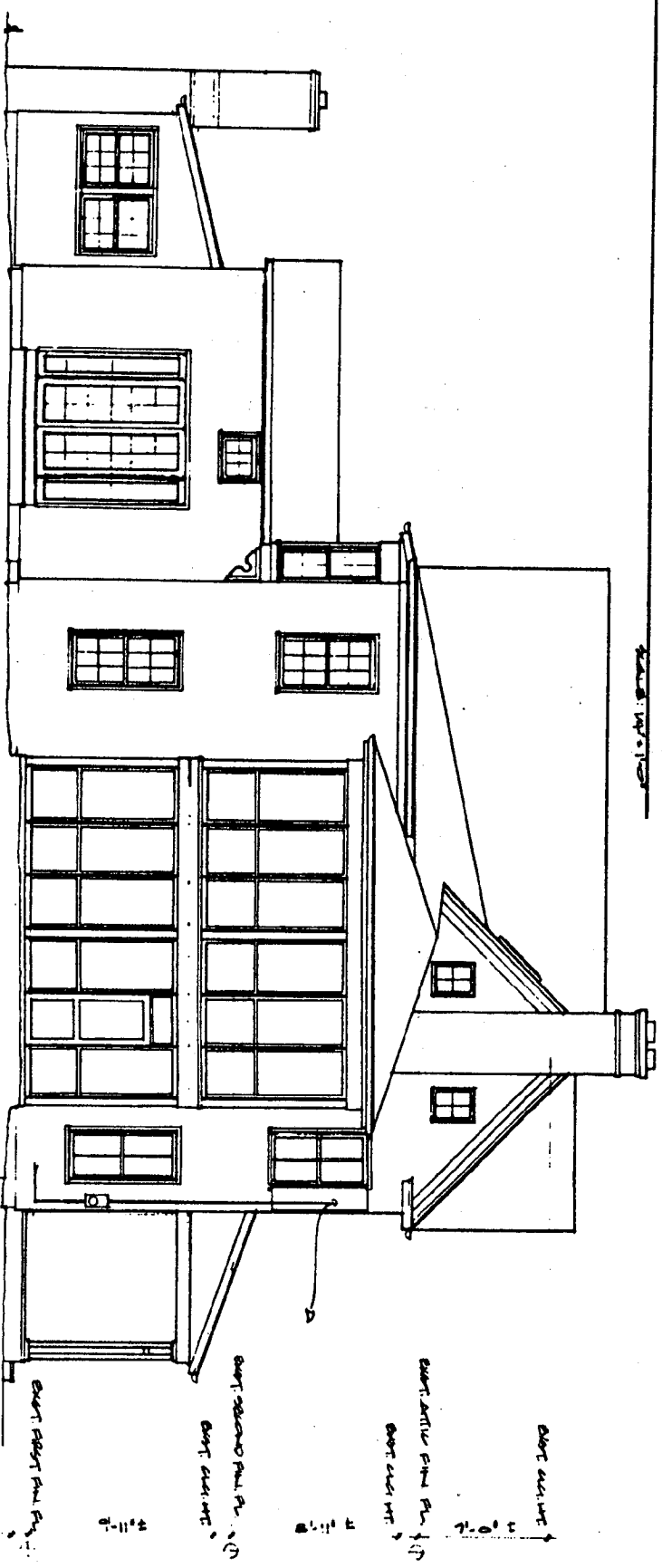
WEST ELEVATION  
NORTH ELEVATION

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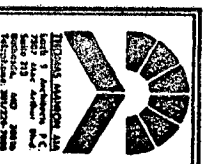
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SOUTH ELEVATION



EAST ELEVATION



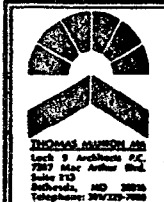
CONWAY RESIDENCE  
10600 RIVER ROAD POTOMAC MD 20854

SOUTH ELEVATION  
EAST ELEVATION

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of 6





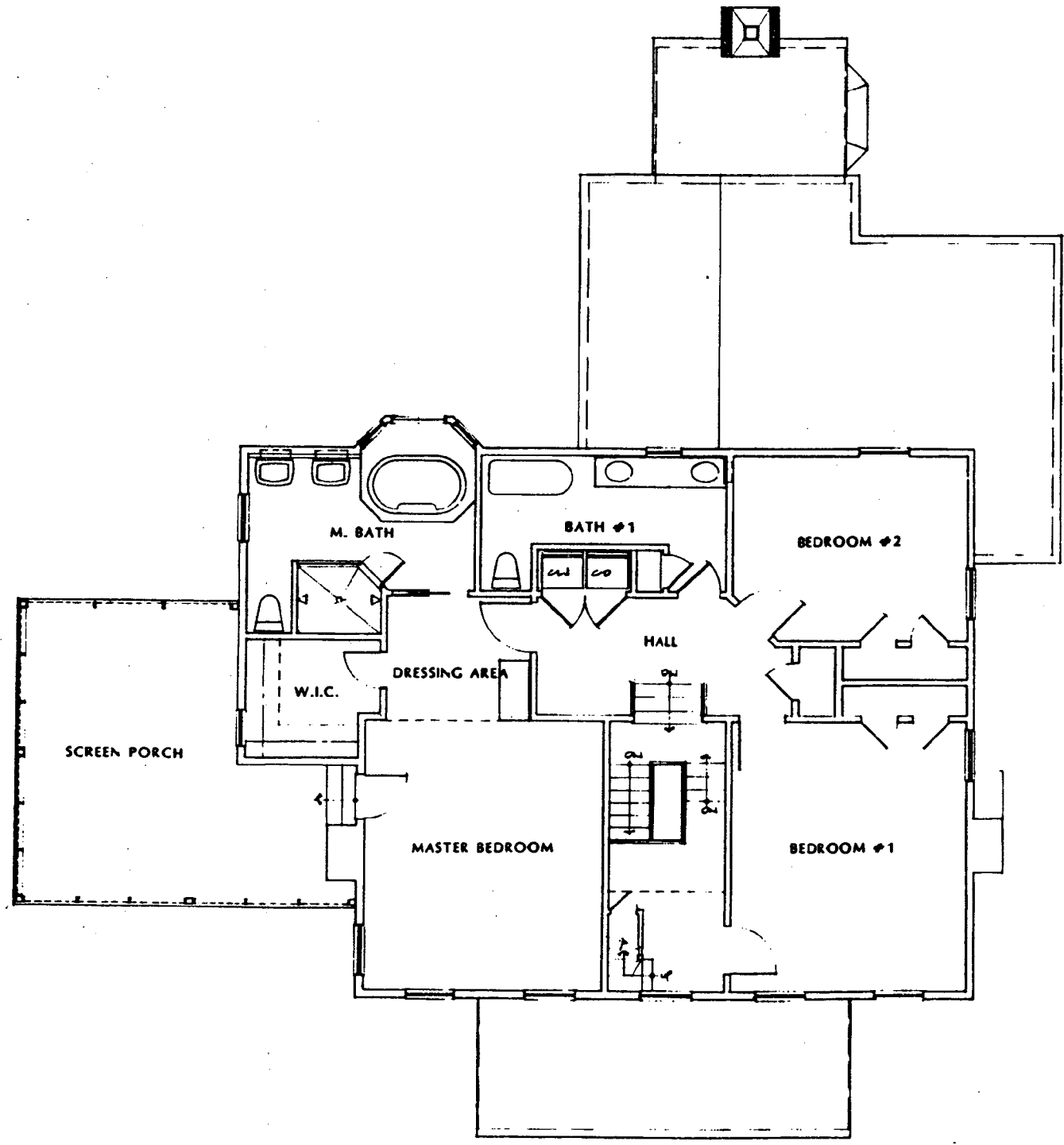
CONWAY RESIDENCE  
10600 RIVER ROAD POTOMAC MD 20854

SECOND FLOOR PLAN

THIS PLAN IS THE PROPERTY OF POTOMAC ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF POTOMAC ASSOCIATES, INC.

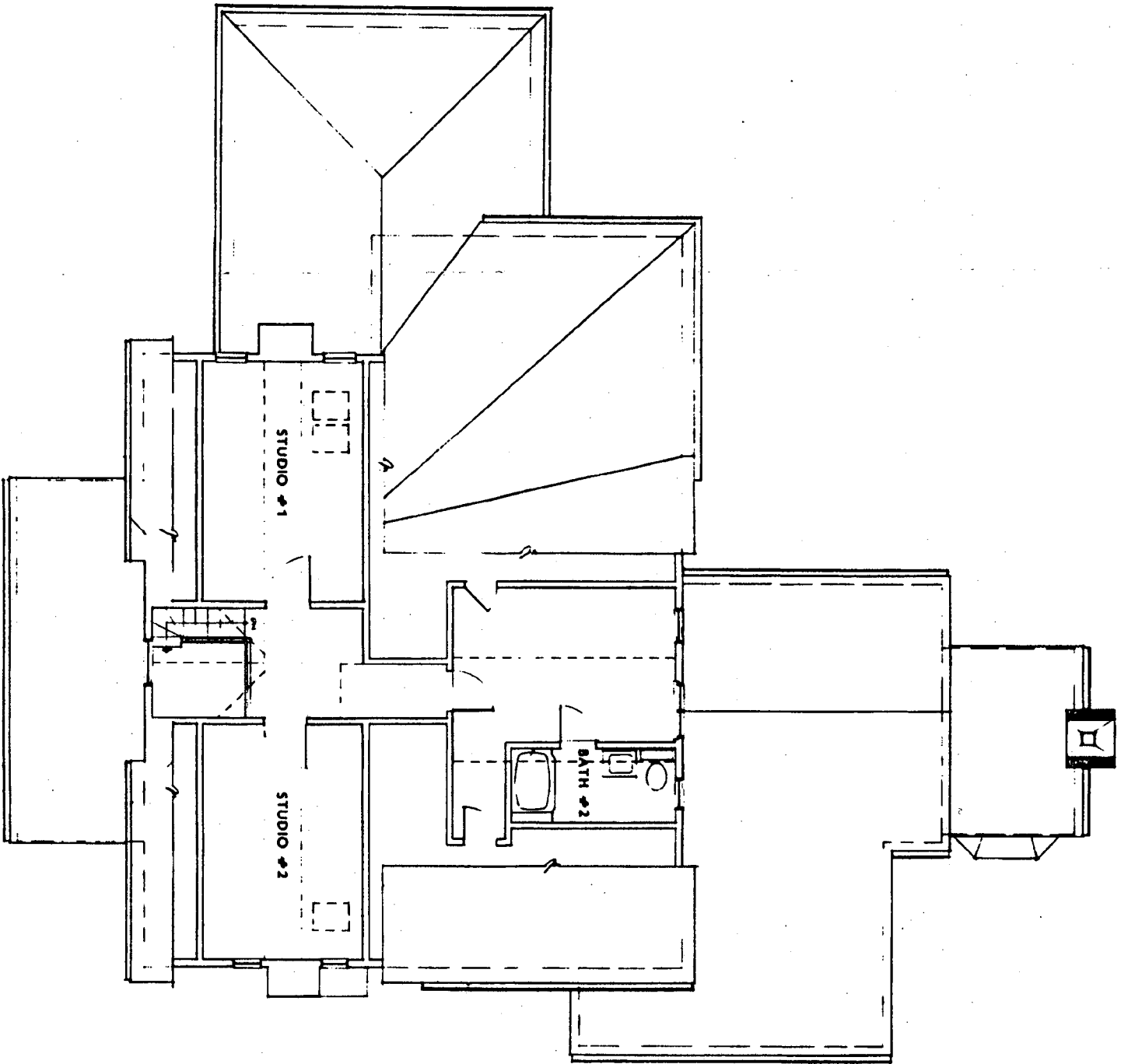
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of  
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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

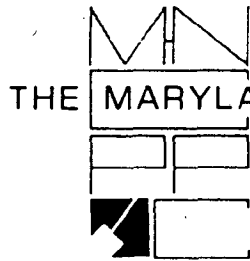


ATTIC FLOOR PLAN

NAME: [unclear]

<p>Sheet <b>PR-6</b> of 6</p>	<p>scale: 1/4" = 1'-0" date: drawn: OJL checked: revisions:</p>	<p><b>ATTIC FLOOR PLAN</b></p>	<p><b>CONWAY RESIDENCE</b> 10600 RIVER ROAD POTOMAC MD 20854</p>	
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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: July 26, 1995

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of  
Application/ Release of Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10600 River Road Meeting Date: 7/26/95  
Resource: Master Plan Site #29/7 HAWP: Alteration/Addition  
John McDonald House  
Case Number: 29/7-95A Tax Credit: Partial  
Public Notice: 07/12/95 Report Date: 7/19/95  
Applicant: William & Diana Conway Staff: Patricia Parker  
PROPOSAL: Removal & Reconstruction of front porch; Add front gable; alter window & door openings; Construct patio; Alter driveway; Remove trees RECOMMEND: Approval w/ conditions

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BACKGROUND

This proposal involves Master Plan Site #29/7, the John McDonald House in Potomac, Maryland. It was reviewed as a preliminary consultation at the most recent meeting of the HPC. The applicants, having received comments from HPC Commissioners, have incorporated these comments into this proposal and they now submit a formal Historic Area Work Permit application.

The proposal includes significant change proposed to the principal facade. Such changes include removing the existing one bay porch and reconstructing an enlarged porch of three bays composed of different features and the addition of a front gable with ocular window at the roof line.

On the east elevation the applicant proposes to remove two window openings and construct a single enlarged opening to contain two sidelights and a pair of french doors. On the south elevation the applicant proposes several changes. On the first level the applicant proposes to remove an opening in the shed addition, match and install wood siding in its place. On the second level, the bay window within an existing opening would be removed and reconstructed to meet the line of the roof. At the preliminary consultation, the applicant offered three different schemes to reconstruct the bay. HPC Commissioners felt that the simpler scheme below the roofline would be appropriate for the historic house. At the upper level, a new window opening would be created. And on the west elevation, an existing window opening would be enlarged to contain a single leaf french door with steps to grade.



Fig. 204(top). *Pleasant Prospect* (c. 1780-90), Prince George's County, presents Victorian gable and farmer's porch. HABS.

Fig. 205(bottom). The earliest part of *Partnership Farm*, or *Ellscliffe*, is what remains of the outer brick shell. Wilfong.

Two alternative schemes are presented for HPC consideration which would affect the historic driveway. These schemes are presented to address the requirement of access for an adjacent lot (Lot 43). There are no changes proposed which would involve the horse barn (particularly noteworthy), guest house, pool and outlying shelters. The applicant does include the removal of two holly trees which are encroaching upon the house and the construction of a patio at the rear.

#### STAFF DISCUSSION

Most changes are confined to the interior, which are not a part of this submission to the HPC. Staff is pleased that the applicant has chosen to work within the existing envelope of the historic house. Staff has reviewed the following changes with recommendations:

**Principal Facade:** The applicant proposes to remove the existing porch and add a front gable with ocular window. Staff and some Commissioners have visited the site and staff feels that a front gable may have been in existence according to the framing. But staff is concerned about the configured ocular window. Staff has included copies of photos of other resources within the county of this time period (Attached). Ocular windows do appear but they are single pane. Staff would recommend that the applicant revise the window, as proposed, to be single pane.

Photos of other resources also indicate the presence of three bay and five bay porches. But these porches do not have turned posts. Staff feels that the presence of turned posts would not be consistent with this historic house, but would appear on houses of the Queen Anne period. Also, this feature would appear as part of a balustrade (including a rail with pickets) in houses of the later period. Staff would recommend that a simpler post with small capital be used for this porch. Illustrations of post profiles are included as part of this report.

**Other Elevations:** Staff does not find changes proposed to the other elevations problematic. These changes would appear on elevations that are somewhat remote from public view. Staff also considers these changes as proposed to be modest.

#### **Changes to the exterior:**

1) **Patio** - The applicant proposes to construct an uncovered patio on the south elevation. Staff recommends approval as this change would be at the rear of the property.

2) **Removal of Holly Trees** - The applicant proposes to remove two holly trees. Staff confirms that the holly trees are located very close to the house and could be encroaching. Therefore, removal of these trees would be an improvement and offer continued good maintenance for the historic house.

3) Driveway - The applicant offers two schemes to provide access within the easement for one adjacent lot (Lot 43) within the approved subdivision of this property (at time of designation, the property consisted of 19.93 acres). Staff would recommend HPC approval of Scheme One because it is the only option possible as access in accordance with the State Highway Administration would be denied for Scheme Two.

STAFF RECOMMENDATION

The staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with Standards #2, #3, #6, #9 and #10:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided; and

Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken; and

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence; and

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment; and

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired;

and with the following conditions:

1. Porch posts shall have a straight profile with simple capital.

2. The new ocular window in the new front gable shall be single pane.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Bill Conway  
 DAYTIME TELEPHONE NO. (202) 274-2951

TAX ACCOUNT # \_\_\_\_\_  
 NAME OF PROPERTY OWNER William B. Conway Jr.  
Diana E. Conway DAYTIME TELEPHONE NO. (301) 589-6453

ADDRESS 10201 Meredith Ave, Silver Spring MD 20910  
CITY STATE ZIP CODE

CONTRACTOR Angles Unlimited TELEPHONE NO. (202) 234-2300  
 CONTRACTOR REGISTRATION NUMBER MD 7602

AGENT FOR OWNER John Rietschel DAYTIME TELEPHONE NO. (202) 234-2300

LOCATION OF BUILDING/PREMISE  
 HOUSE NUMBER 10600 STREET River Road  
 TOWN/CITY Potomac MD 20854 NEAREST CROSS STREET Chapel Road  
 LOT 42 BLOCK D SUBDIVISION Potomac Manors II  
 LIBER 13395 FOLIO 679 PARCEL \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition
- Construct  Extend  Alter/Renovate  Repair  Move  Porch  Deck  Fireplace  Shed  Solar  Woodburning Stove
- Wreck/Raze  Install  Revocable  Revision  Fence/Wall (complete Section 4)  Single Family  Other center gable doors and windows and other changes as shown on attachment
- 1B. CONSTRUCTION COST ESTIMATE \$ 140,000 - including interior changes
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL 01 ( ) WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_
- 2B. TYPE OF WATER SUPPLY 01 ( ) WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

William B. Conway Jr. Signature of owner or authorized agent 7/5/95 Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS  
MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See staff report of APC dated 6/14/95 and  
incorporated by reference

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attachment

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**



## 1. WRITTEN DESCRIPTION OF PROJECT

### b. General Description:

- Addition of a center gable and three-bay porch on the north elevation as shown on the attached plans and elevations. Removal of existing shed-roofed one bay porch.
- Additions and modification of doors and windows on the south, east and west elevations as shown on the attached plans and elevations.
- Construction of a patio in the rear of the house as shown on the attached plans.

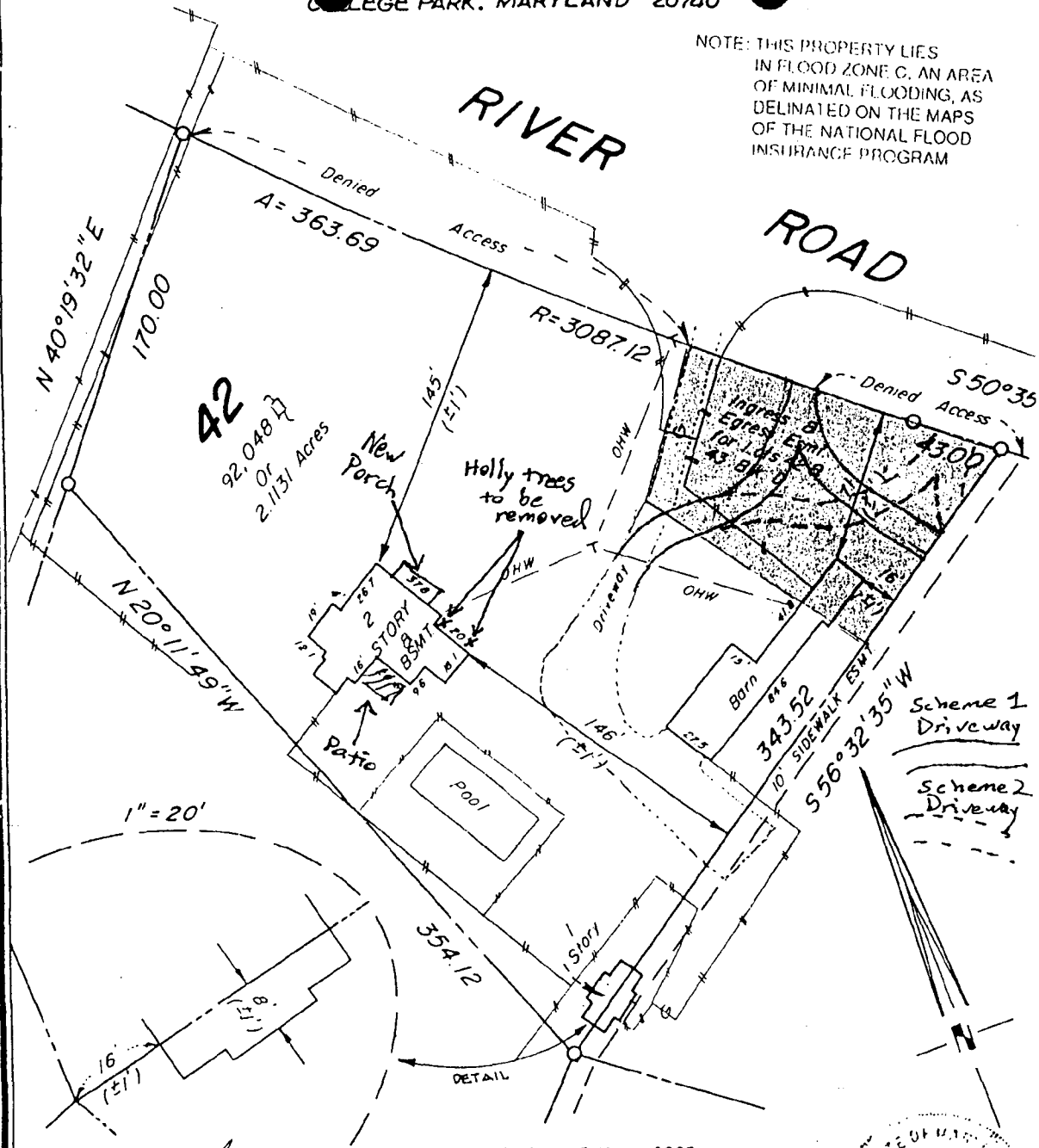
*With the exception of the new porch, no change to the existing footprint of the house is proposed. Proposed changes to the south, east and west elevations will not be visible from public areas. Applicants have attempted to ensure that the proposed changes to the exterior of the house are consistent with its historic character and design elements. As a site visit by Commissioners and staff has revealed, a center gable was definitely present on the house at some time in the past. A front porch larger than the existing one is likely to have existed.*

- Removal of two holly trees adjoining the sleeping porches on the east end of the house as shown on the attached site plan. No other trees will be affected by the proposed changes.
- Relocation of the driveway under one of two alternative schemes as shown on the attached site plan. Scheme One is shown with a solid line. Scheme Two is shown with a dotted line. This relocation is proposed in order to mitigate the effect on the property of an existing ingress/egress easement in favor of the adjoining Lot 43. Construction is contingent upon additional approval from the owner of Lot 43 as well as the State Dept. of Highways.

## 6. TREE SURVEY

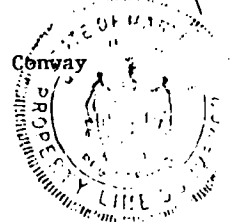
The only trees affected by the construction are the two holly trees proposed to be removed. These are located as shown on the site plan.

NOTE: THIS PROPERTY LIES  
 IN FLOOD ZONE C, AN AREA  
 OF MINIMAL FLOODING, AS  
 DELINEATED ON THE MAPS  
 OF THE NATIONAL FLOOD  
 INSURANCE PROGRAM



NOTES: Acknowledged and received this 9th day of May, 1995.  
 William B. Conway, Jr. Diana E. Conway

1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.



LOCATION PLAT OF: 10600 RIVER ROAD Montgomery County, Maryland SUBDIVISION Section One POTOMAC MANORS	LOT: 42	BLOCK: 0
	PLAT BOOK: 156	PLAT NO: 17718
	DATE: April 5, 1995	SCALE: 1" = 60'
	CASE NO:	FILE NO: 1st 95021

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

*Graden A. Rogers*  
 GRADEN A. ROGERS — PROP. L.S. MD. LIC. NO. 119



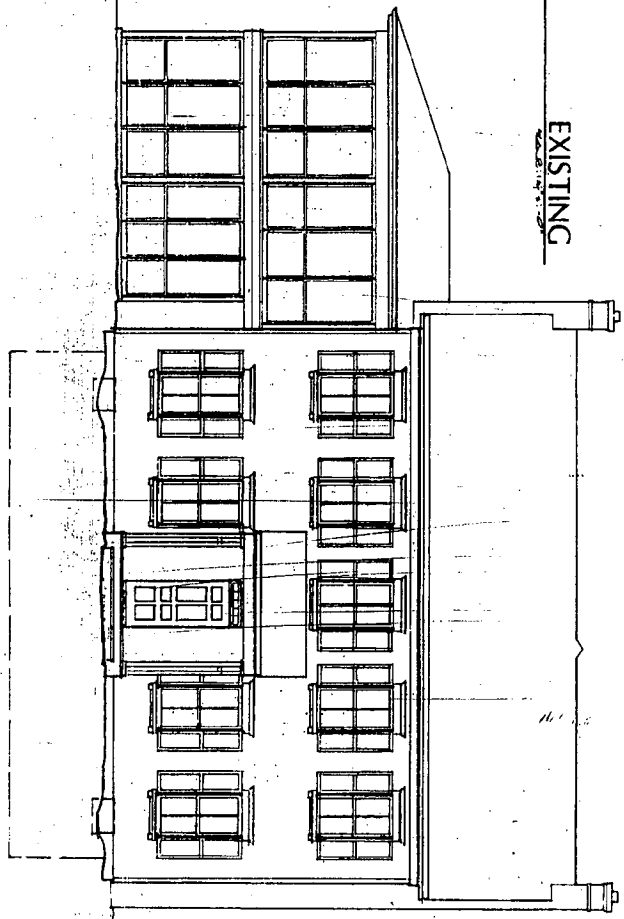
# ⬡ MATERIALS SPECIFICATIONS

1. New true divided light (TDL) painted wood windows.
  2. New 36"x80" TDL painted wood door.
  3. Similar to spec. #1 with additional matching replacement window.
  4. Similar to spec. #2 with additional TDL transom and sidelights.
  5. New 60"x96" TDL painted wood french door with sidelights.
  6. New custom bay window with 2 TDL double hung side windows and center picture sash.
- NOTE: All new windows shall have 7/8" wide muntin bars, insulated Low "E" glazing, and argon gas fill; manufactured by Weathershield or equal.
8. New louvered wood shutter to match existing.
  9. New brick mould trim.
  10. New 5/4x4 flat casing trim.
  11. Framed-in opening of removed existing window /door.
  12. New wood siding to match existing type and exposure. New runs to be continuous spanning from corner/opening to corner/opening.
  13. New painted wood stair with closed risers.
  14. New 1" thick flagstone random pattern tread on cmu step with stone-faced riser to match existing.
  15. New 1" thick flagstone random pattern patio pavers set in compacted stone dust (14'x20').
  16. Front porch -- new 1" thick flagstone random pattern pavers set in mortar on concrete slab on 8" cmu stepped foundation stone-faced to match existing (10'x22.5').
  17. New 6x6 turned wood columns -- painted.
  18. New painted metal standing seam roof with half-round gutter to match existing screen porch roof.
  19. Extended existing painted metal roof above new bay construction with new half-round gutter to match existing.

20. Front gable -- new novelty siding on 2x4 framing with lapped rake trim to match existing front facade.
21. New asphalt shingle roof to match existing with feathered valleys. The existing roofing was installed recently, therefore, match can be made exact.
22. New structural wood brackets -- painted.
23. New exterior lighting -- wall mount traditional lantern type.
24. Line of demolished existing rear concrete stoop and step.
25. Line of demolished existing front porch including brick stoop, columns, roof, etc.

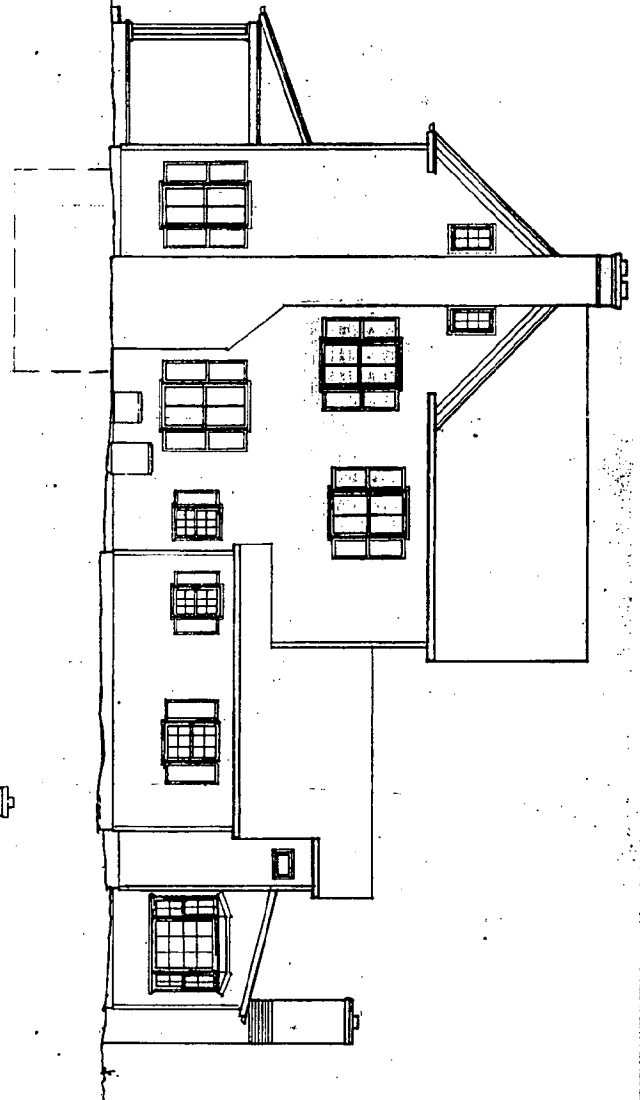
NORTH ELEVATION

EXISTING



WEST ELEVATION

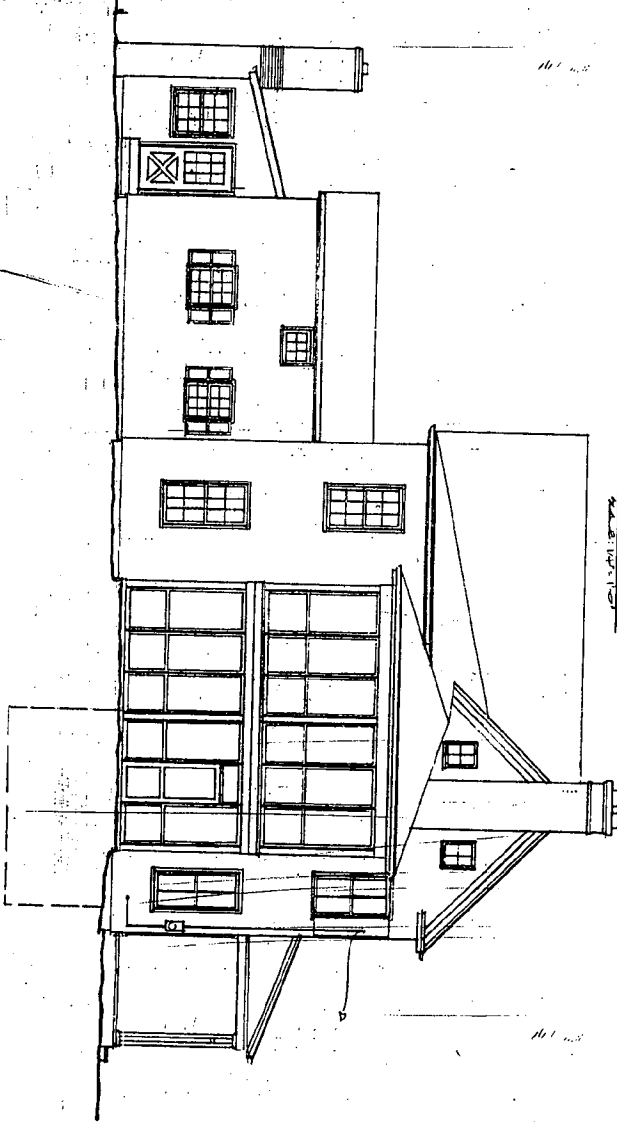
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<p>Sheet <b>EX-7</b> of 5</p>	<p>DATE: 12/21/21 PROJECT: CONWAY RESIDENCE DRAWN BY: [Name] CHECKED BY: [Name]</p>	<p><b>WEST ELEVATION NORTH ELEVATION</b></p> <p>EXISTING</p>	<p><b>CONWAY RESIDENCE</b> 10600 RIVER ROAD POTOMAC MD 20854</p>	
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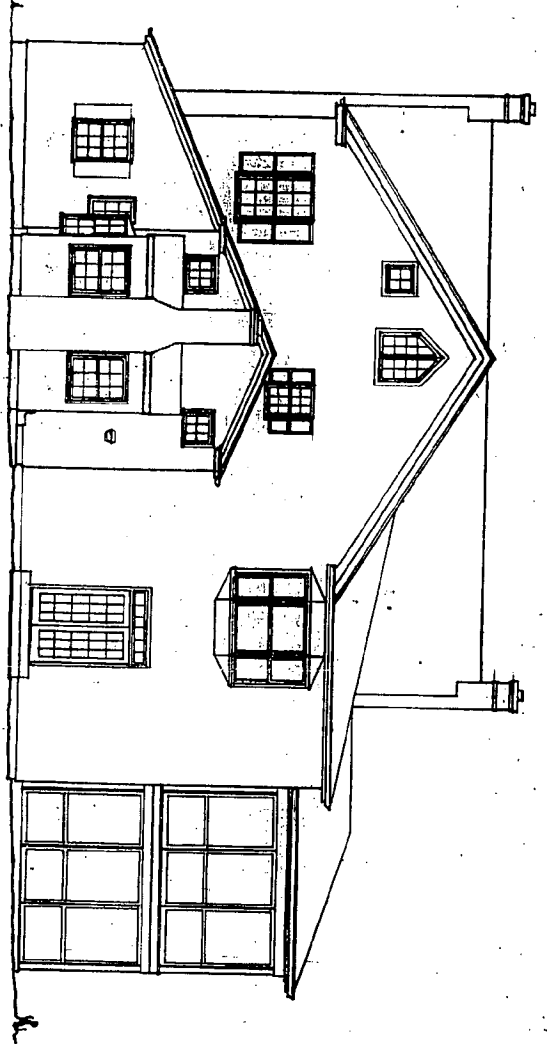
EAST ELEVATION

EXISTING



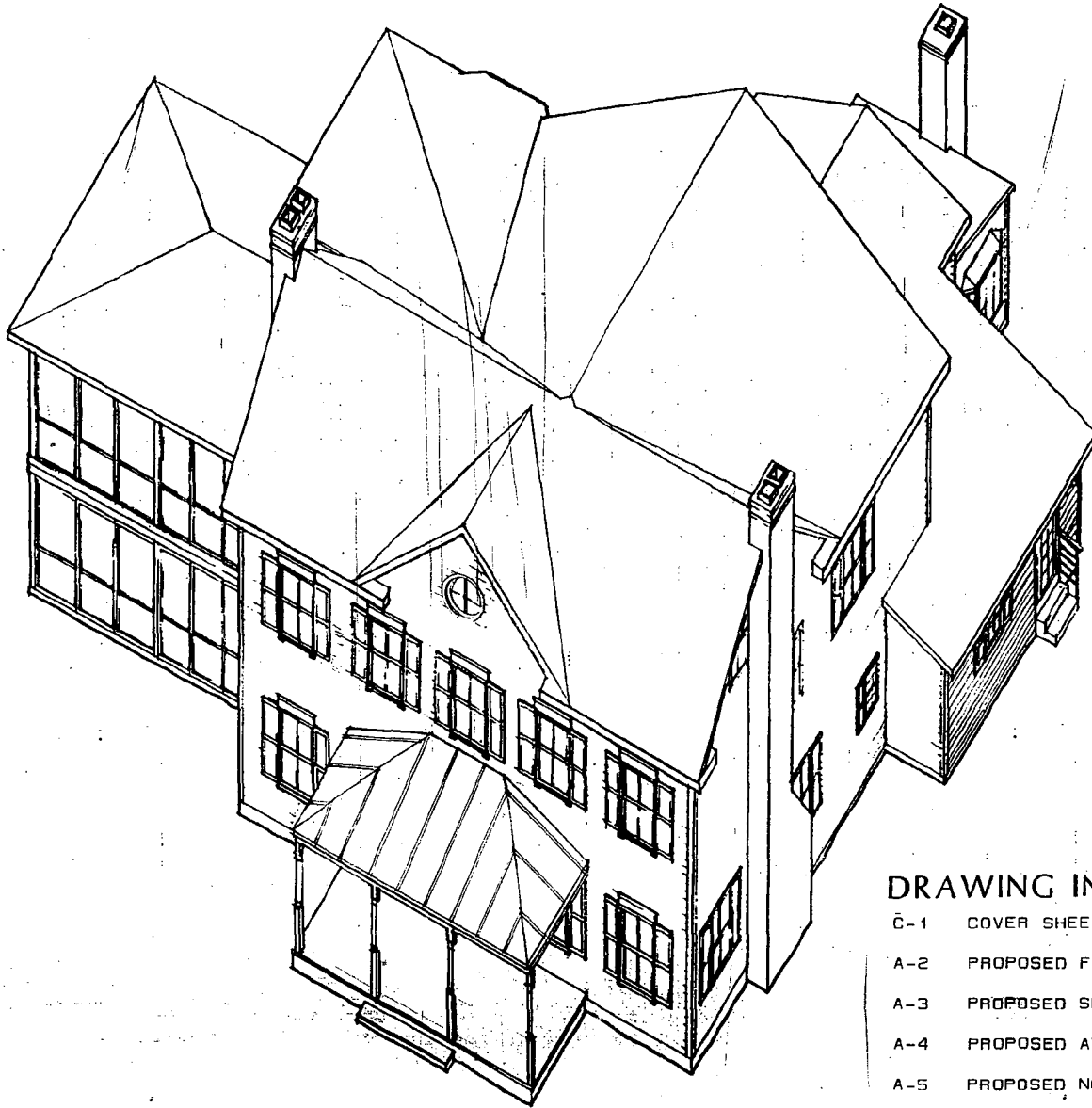
SOUTH ELEVATION

EXISTING



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JULY 7, 1995



AXONOMETRIC VIEW FROM NORTHEAST

**DRAWING INDEX**

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- A-3 PROPOSED SECOND FLOOR PLAN
- A-4 PROPOSED ATTIC FLOOR PLAN
- A-5 PROPOSED NORTH AND WEST ELEVATIONS
- A-6 PROPOSED SOUTH AND EAST ELEVATIONS
- EX-7 EXISTING NORTH AND WEST ELEVATIONS
- EX-8 EXISTING SOUTH AND EAST ELEVATIONS



CONWAY RESIDENCE  
10600 RIVER ROAD POTOMAC MD 20854

COVER SHEET

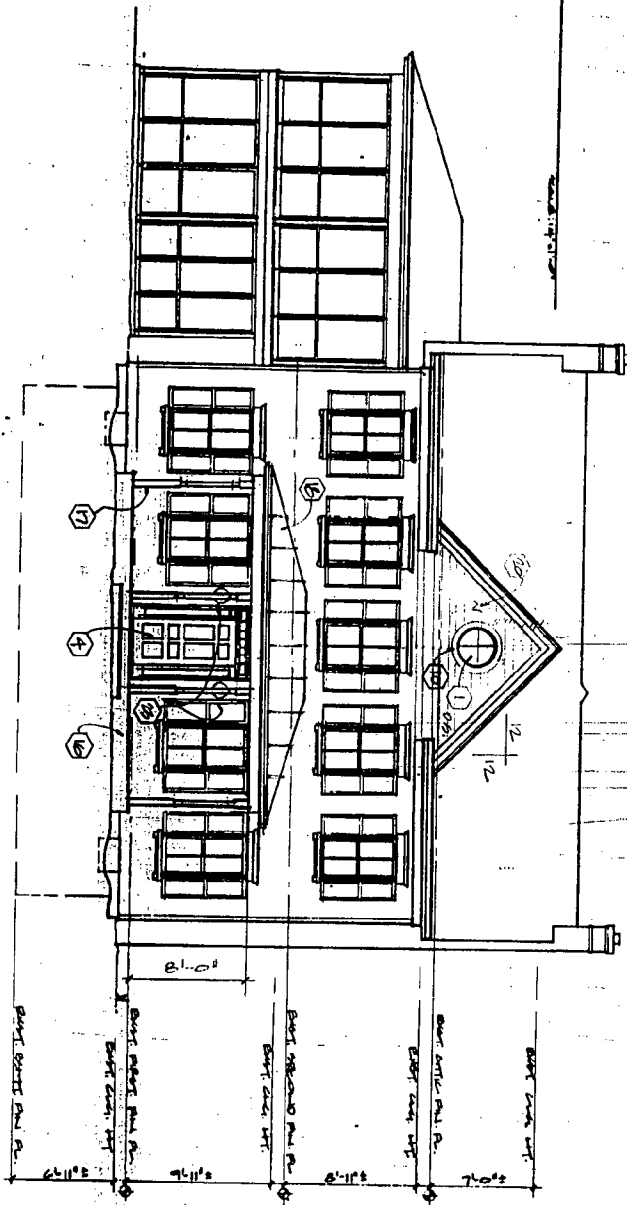


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REVISIONS:

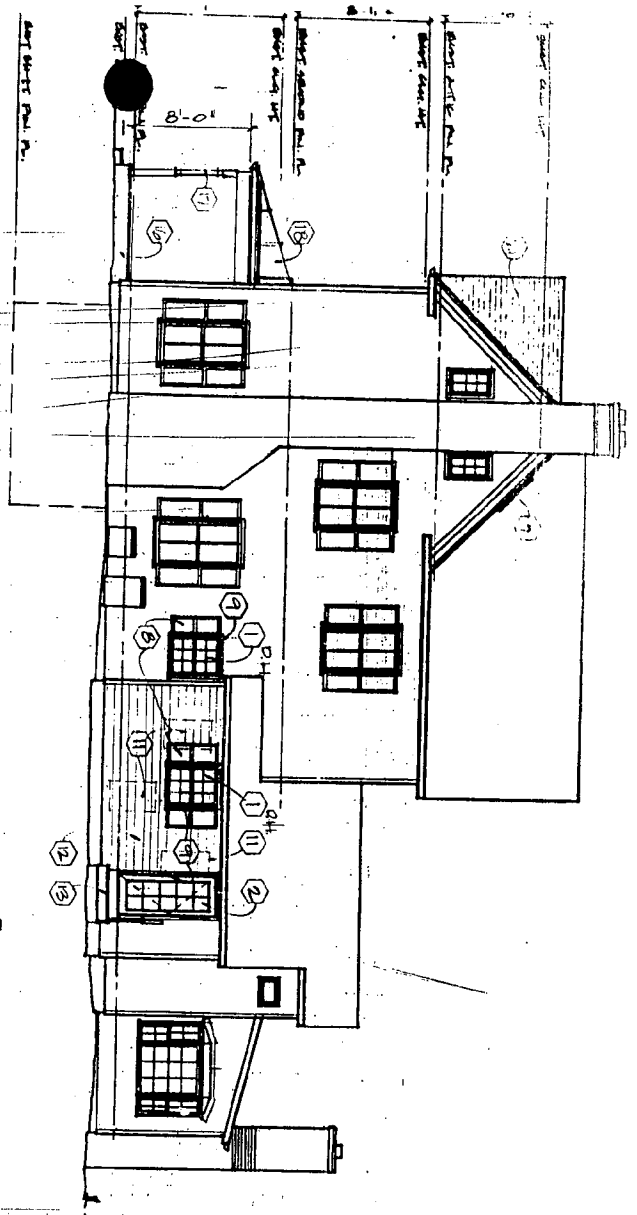




NORTH ELEVATION

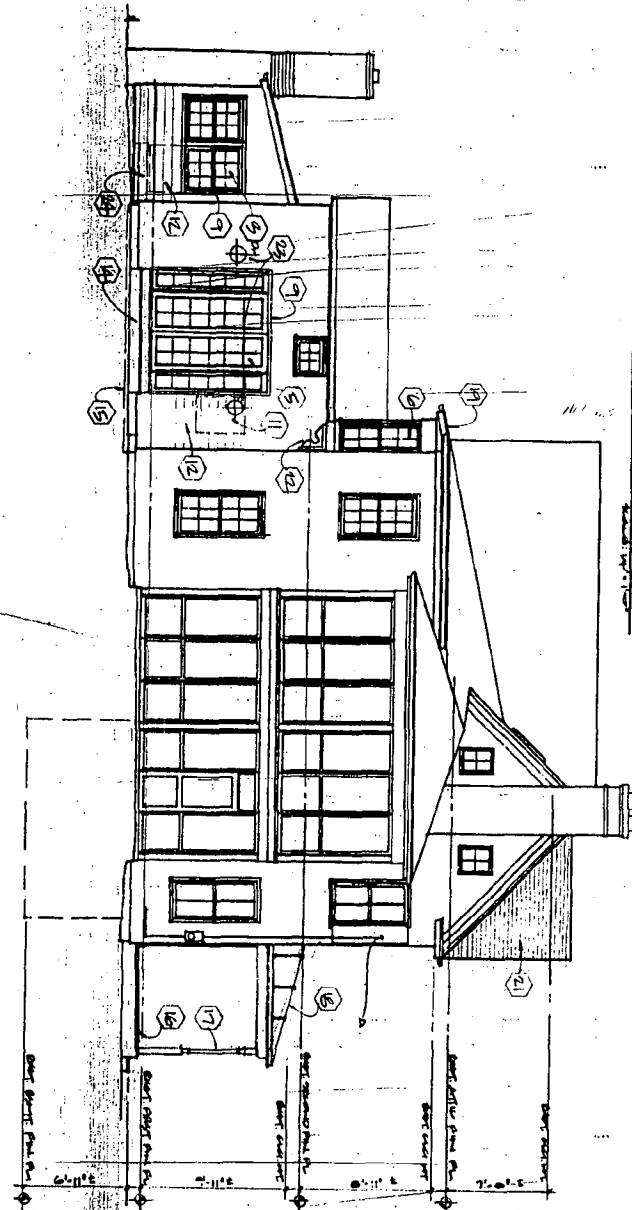


WEST ELEVATION

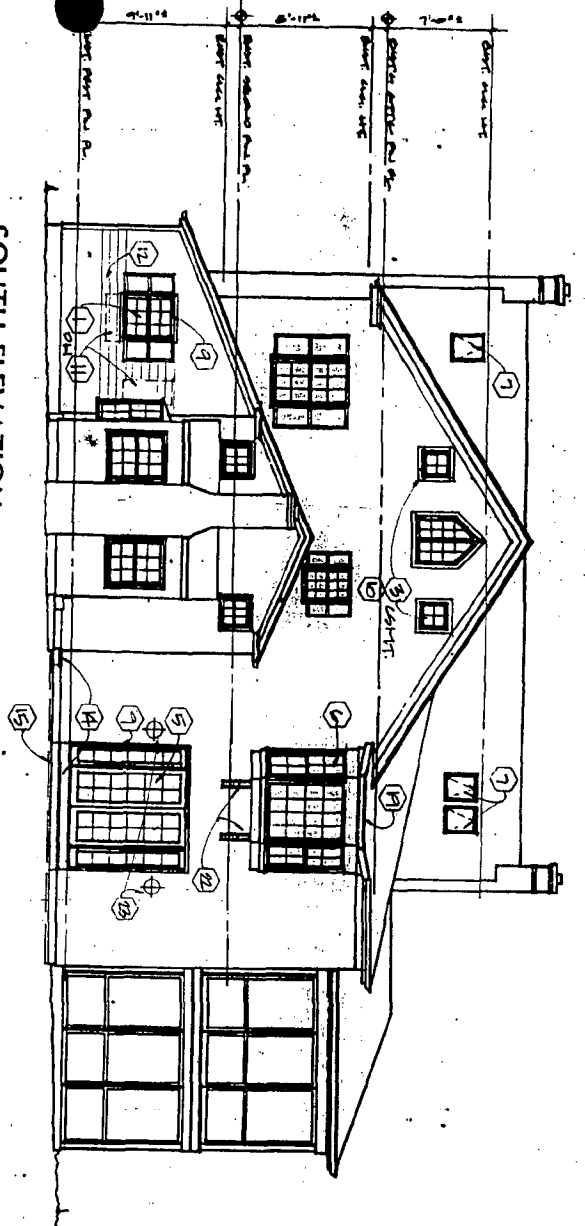


	<p>DATE: 7-5-15          DRAWN BY: [Name]          CHECKED BY: [Name]          PROJECT: [Name]</p>	<p>WEST ELEVATION          NORTH ELEVATION</p>	<p>CONWAY RESIDENCE          10600 RIVER ROAD POTOMAC MD 20854</p>	
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EAST ELEVATION



SOUTH ELEVATION



<p>Sheet <b>A-6</b> of 5</p>	<p>CONWAY RESIDENCE 10600 RIVER ROAD POTOMAC, MD 20854</p>	<p><b>SOUTH ELEVATION EAST ELEVATION</b></p>	<p><b>CONWAY RESIDENCE</b> 10600 RIVER ROAD POTOMAC MD 20854</p>	
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CONWAY RESIDENCE  
-10600 RIVER ROAD POTOMAC MD 20854

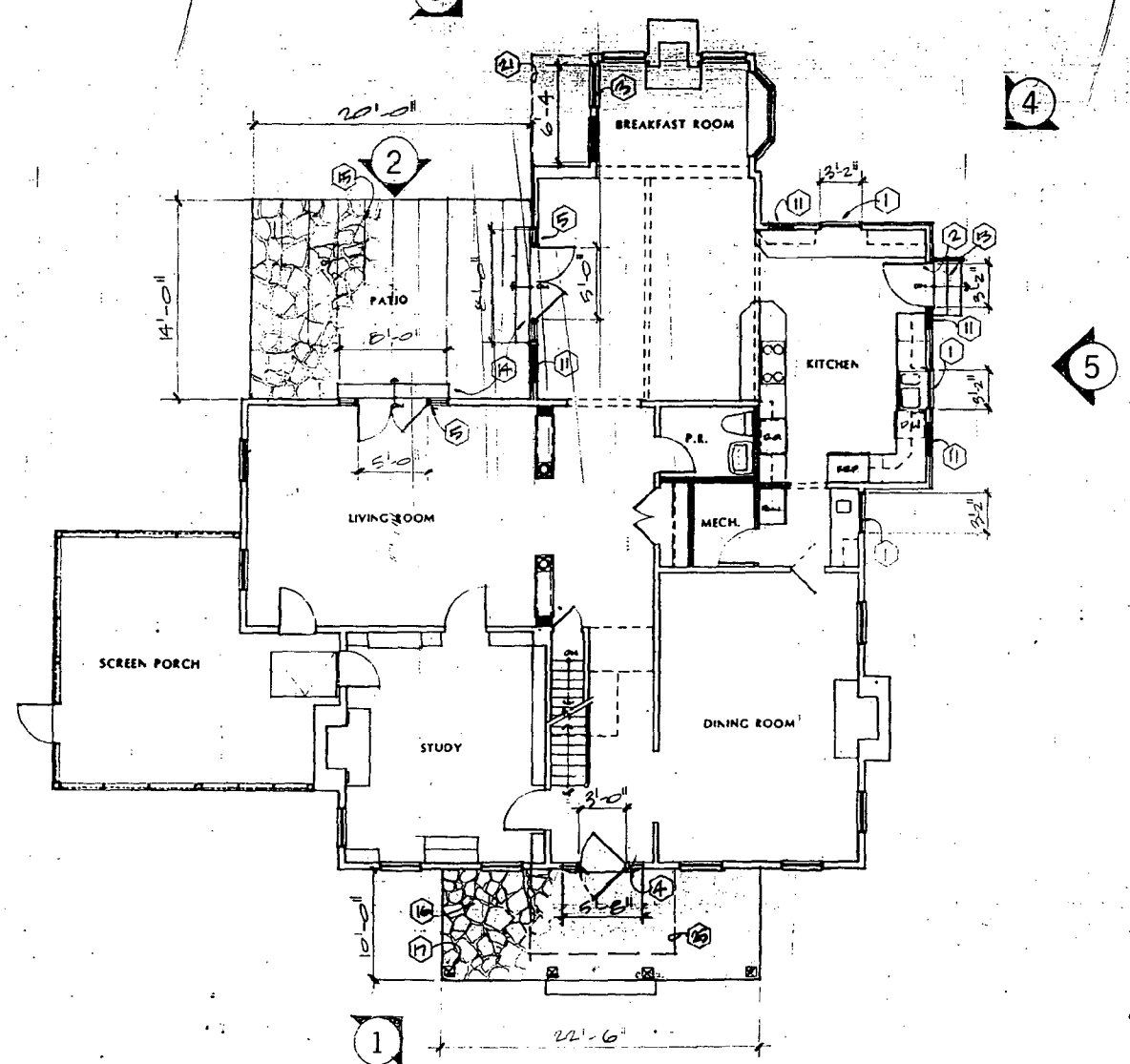
FIRST FLOOR PLAN



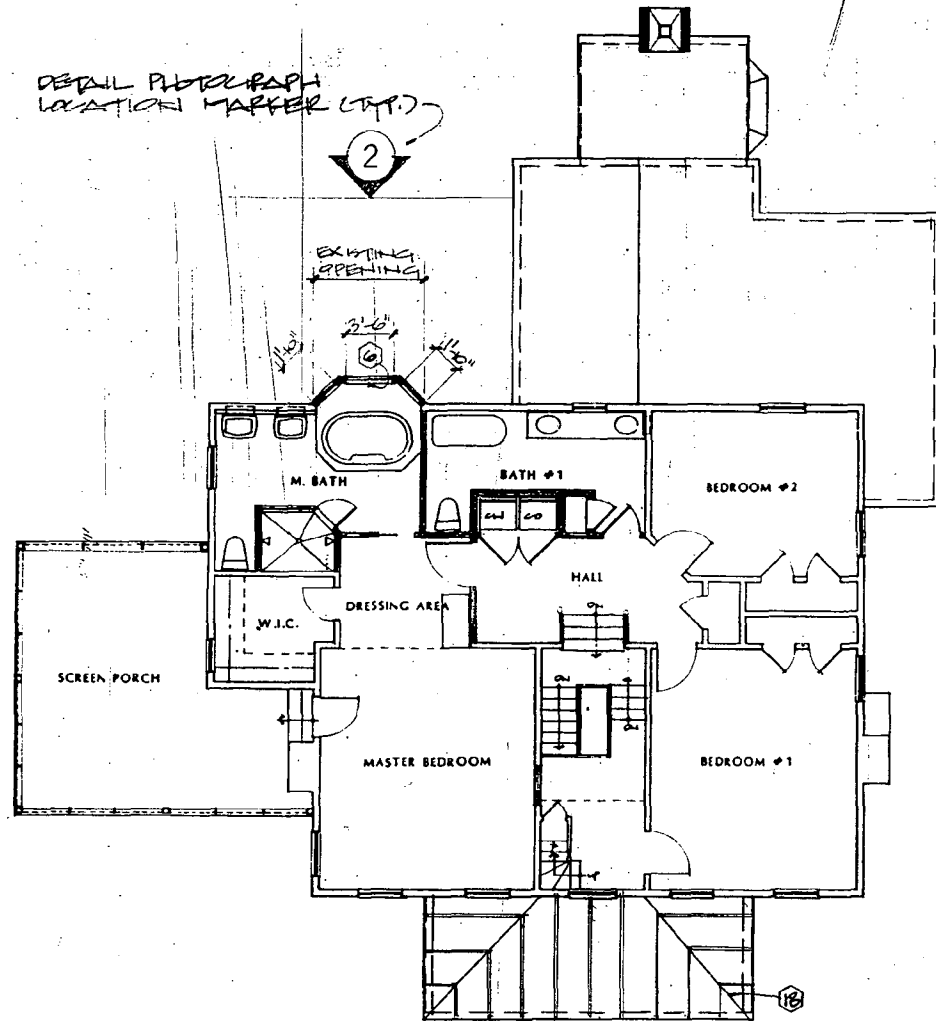
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date: 11-5-78  
drawn: C.L.  
checked:  
revisions:

sheet  
A-2  
of  
3

DETAIL PHOTOGRAPH  
LOCATION MARKER (TYP)



FIRST FLOOR PLAN



DETAIL PHOTOGRAPH  
LOCATION MARKER (TYP.)

2

EXISTING  
OPENING

1

**SECOND FLOOR PLAN**



**CONWAY RESIDENCE**  
10600 RIVER ROAD - POTOMAC MD - 20854

SECOND FLOOR PLAN

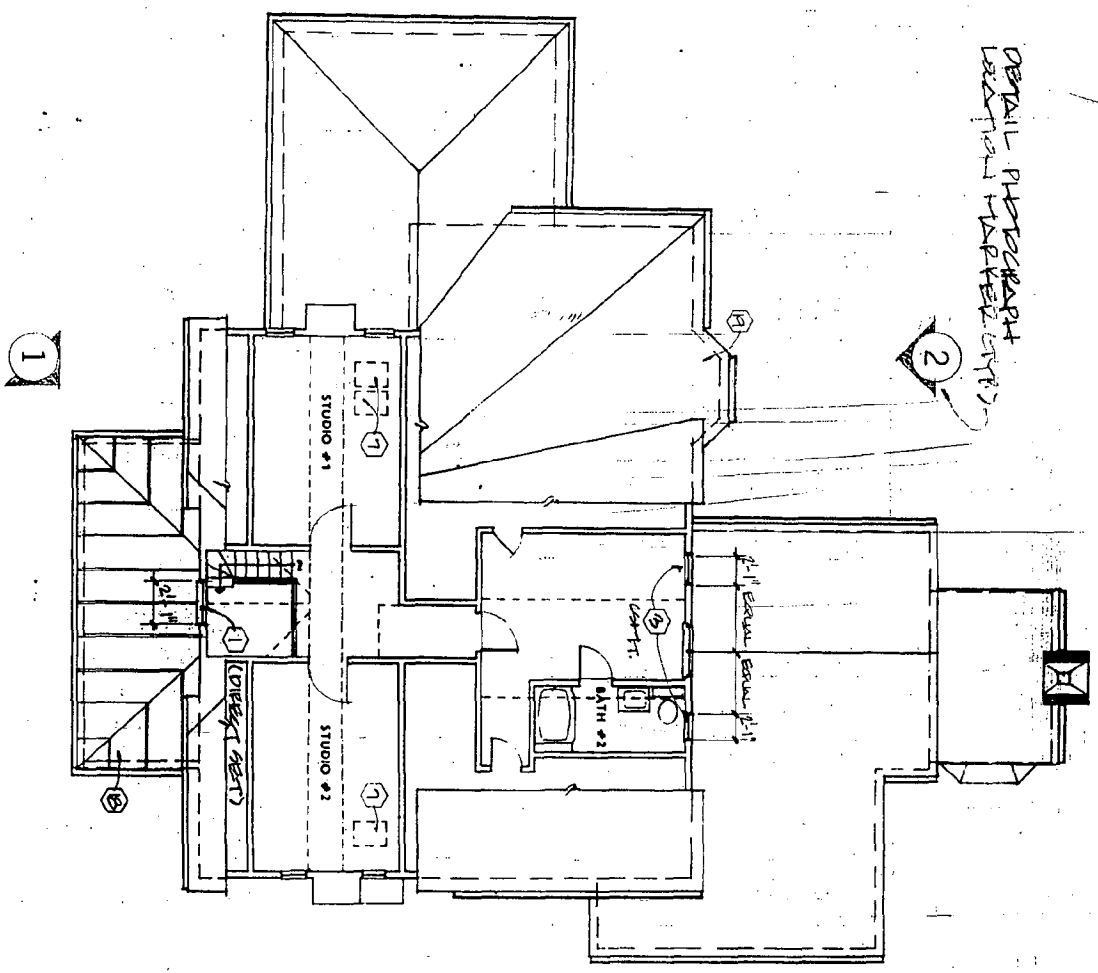
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DRAWN BY:	WJL
CHECKED BY:	
REVISIONS:	

Scale: 1/4" = 1'-0"  
date: 7/1/95  
drawn: WJL  
checked:  
revisions:

sheet  
**A-3**  
of 6

18

ATTIC FLOOR PLAN



	<p>DATE: 1.5.15          DESIGNED BY: [Name]          CHECKED BY: [Name]          REVISIONS:</p>	<p>ATTIC FLOOR PLAN</p>	<p>CONWAY RESIDENCE          10600 RIVER ROAD POTOMAC MD 20854</p>	
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EXISTING NORTH ELEVATION  
BUILDING FACE TO RIGHT OF WAY



BUILDING FACE TO EAST PROP.



BUILDING FACE TO SOUTH PROP.



BUILDING FACE TO WEST PROPERTY



EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION



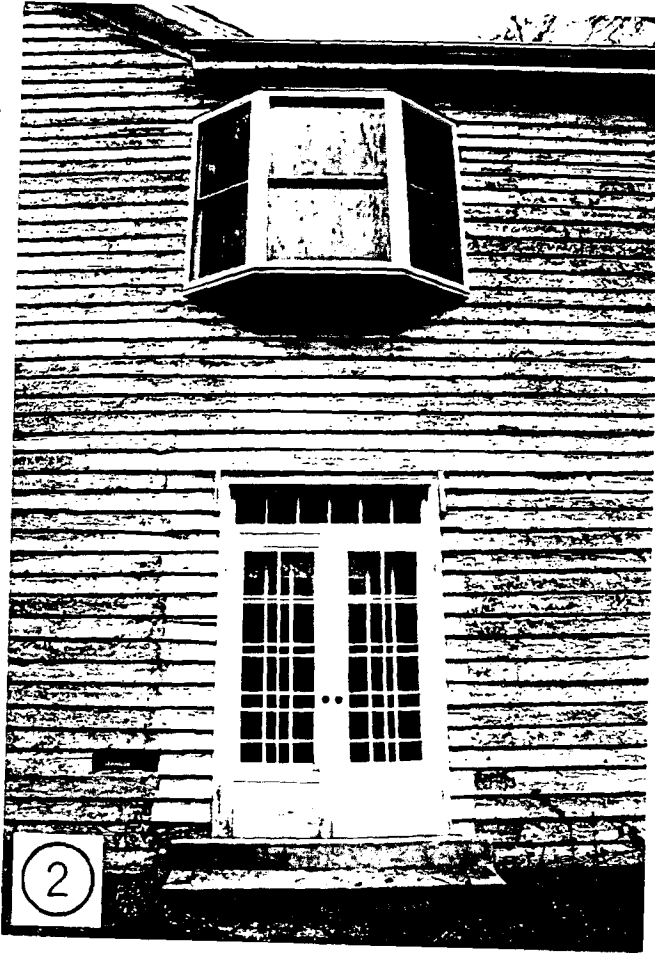
DETAIL: PROPOSED NEW PORCH  
AREA - VIEW FROM NORTH



EXISTING WEST ELEVATION



DETAIL: PROPOSED NEW/REPLACE-  
MENT BAY - VIEW FROM SOUTH



DETAIL: PROPOSED NEW FAMILY RM.  
AREA - VIEW FROM EAST



DETAIL: PROPOSED NEW KITCHEN  
AREA - VIEW FROM SOUTH



DETAIL: PROPOSED NEW KITCHEN  
AREA - VIEW FROM WEST

~~REMOVED~~  
CENTRAL CROSS CIRCLE  
EXAMPLE OF FRONT GABLE & OCULAR WINDOW



#18/40 DARBY MILL HOUSE - FRONT FACADE (1988)  
20320 BUCK LODGE RD EAST  
BUILT c. 1864



#18/40 DARBY MILL HOUSE - SIDE FACADE  
(NORTH)

NOTABLE FEATURES

ITALIANATE/GOthic CENTER GABLE

EXAMPLE OF FRONT GABLE W/ PORCH



22/30 BARNESLEY HOUSE M.P.

15715 AVERY RD ROCKVILLE

1860

Note + triangular arched window

ITALIANATE influence: wide cornice at eaves } Italianate  
wide lintels }  
classical porch columns  
transom above door

NOTABLE FEATURES

GOTHIC CENTER GABLE

EXAMPLE OF FRONT GABLE & 3-BAY PORCH



28/19 PLEASANT VIEW M.P.  
410 NORWOOD RD SILVER SPRING

c1879

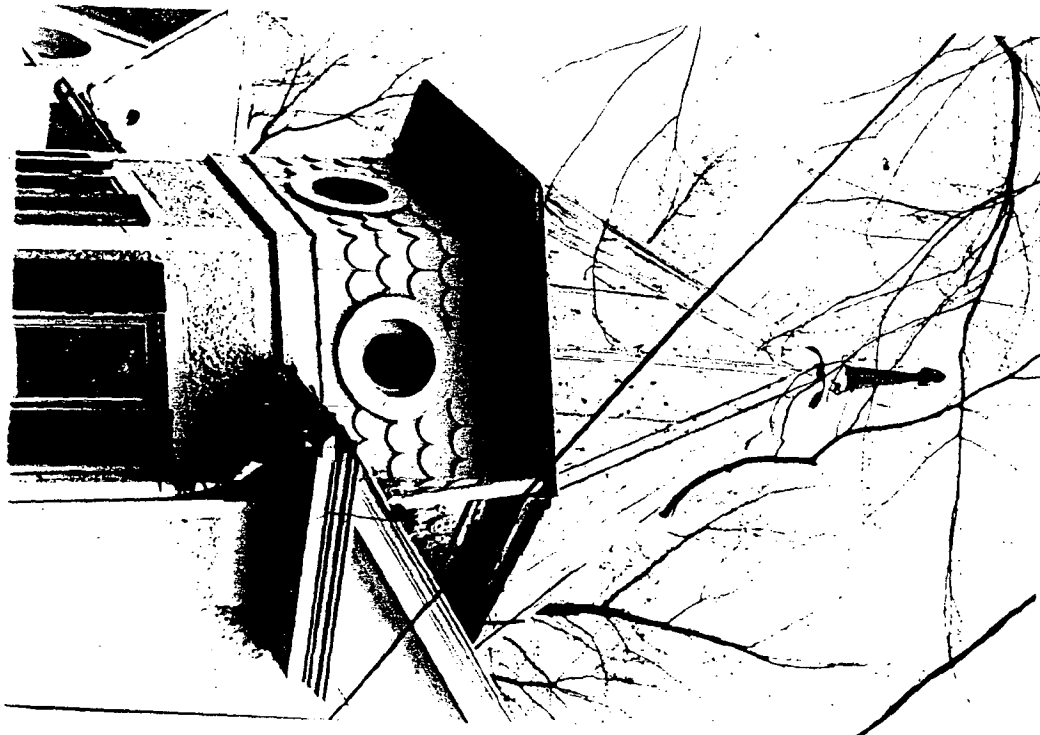
Classic Revival  
Gable returns,  
round arch windows  
Square column porch  
Decorative trim + side light

# EXAMPLE OF OCULAR NINDON & HALF ROUND NINDON

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2519 HARRISON G. WARD (1885)  
13501 TRAVILAH RD.



EXAMPLE OF PORCH ACROSS FULL FACADE



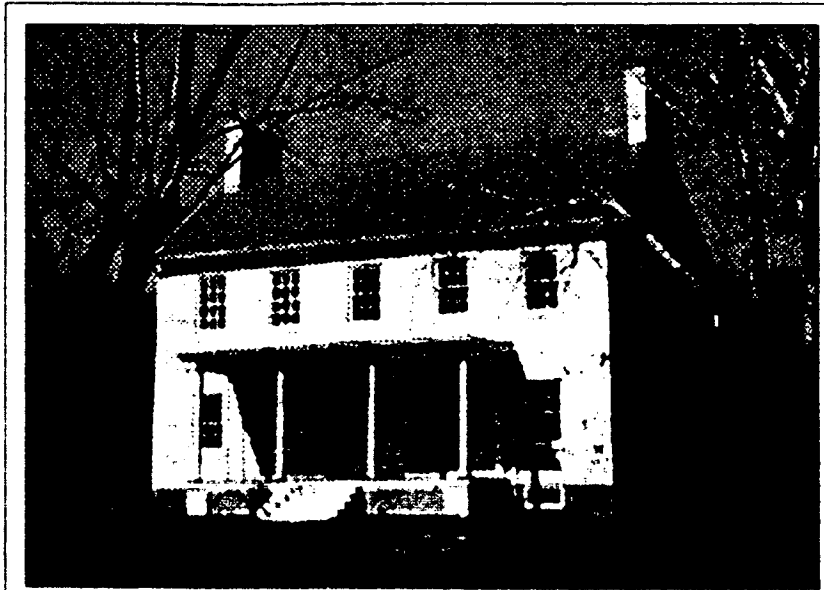
WINDSOR'S STORE  
 DARNESTOWN, MD.  
 NO LONGER EXSTANT

BUILT BY 1879

SOURCE: MONTGOMERY CO. HISTORICAL SOCIETY  
 (Darnestown H.D. Deed file)  
 #24/19



## EXAMPLE OF 3-BAY PORCH



**WASHINGTON COUNTY, MD** Magnolia Plantation, circa 1835, brick Federal manor house sited on 131-plus manicured acres. House retains all original details including curved staircase and mantels. Extensive renovation completed. Site features barn and outbuildings and lovely new lake. Located just 60 minutes from the Washington/Baltimore areas. Priced at \$729,000. Please call Re/Max Achievers, Roger Fairbourn, (800) 296-7140.

ATLAS #: 23/019-000 HIST. NAME: RETIREMENT M.P.  
 ADDRESS: 5501 GRIFFITH ROAD LOCATION: OLNEY PHONE: 301-253-2673  
 OWNER: PERCY W. & I. G. WILLETT  
 A: 5501 GRIFFITH ROAD CITY: GAITHERSBURG ST: MD Z: 20877  
 TAX ACCT. #: 00003333 TAX MAP #: HW011 MAP COORD.: 231W05  
 LOT/BL/PARCEL: P909 - ACREAGE: 87.100  
 AREA MASTER PLAN: OLNEY 1980 CIVIC ASSOC.: 238 0 0  
 EX. ZONING: RDT EX. USE: RESIDENTIAL

\*\*\*\*\* DESCRIPTION/SIGNIFICANCE \*\*\*\*\*

ORDINANCE CRITERIA 1A: 1B: 1C: X 1D: X 2A: X 2B: 2C: 2D: 2E:  
 YEAR: 1842 COND.: GOOD STYLE: FEDERAL WITH REVIVAL INFLUENCES  
 ENVIR. SETTING & APPURT.: HPC REC. = APPROXIMATELY FIVE ACRES WHICH INCLUD  
 THE HOUSE, LOG MEAT HOUSE, AND GRIFFITH FAMILY CEMETERY

\*\*\*\*\* STATUS \*\*\*\*\*

SITE: X DISTRICT: RESOURCE: LATLAS: X MPLAN: REMOVE LA:  
 HISTORIC PRES. COMM. EVAL DATE: 04/05/84 HPC TRANS DATE: 06/22/84 HPC REC: POS  
 PLAN. BD. PUBLIC HEARING DATE: 04/21/86 PB ACTION DATE:  
 COUNTY COUNCIL PH DATE: CC ACTION DATE:  
 CC RESOLUTION NO.: PB RES. NO.: PB RES. DATE:  
 FULL COMM. RES. NO.: FC RES. DATE: ENTRY DATE: 04/16/86

EXAMPLE OF  
 3-DAY  
 PORCH





17/23 KILMAIN II  
19015 WASCHE RD.

5 LIGHT TRANSOM  
3 LIGHT SIDE-LIGHTS

BUILT c1810-1815 (FRONT PORCH  
A. W. H. SCOTT?)

BRICK

EXAMPLE OF  
3-BAY PORCH



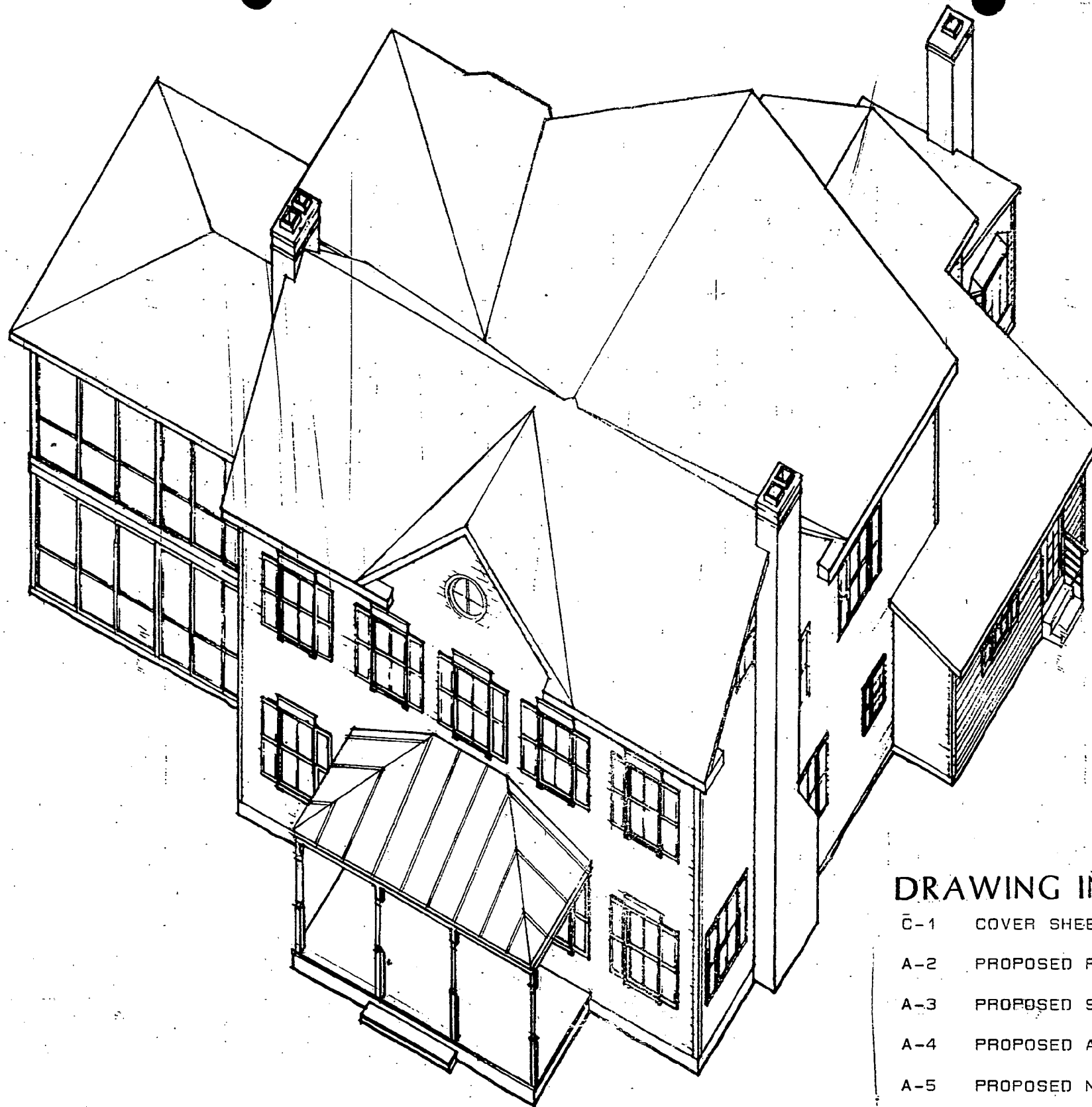
Extra



# MATERIALS SPECIFICATIONS

1. New true divided light (TDL) painted wood windows.
  2. New 36"x80" TDL painted wood door.
  3. Similar to spec. #1 with additional matching replacement window.
  4. Similar to spec. #2 with additional TDL transom and sidelights.
  5. New 60"x96" TDL painted wood french door with sidelights.
  6. New custom bay window with 2 TDL double hung side windows and center picture sash.
- NOTE: All new windows shall have 7/8" wide muntin bars, insulated Low "E" glazing, and argon gas fill; manufactured by Weathershield or equal.
8. New louvered wood shutter to match existing.
  9. New brick mould trim.
  10. New 5/4x4 flat casing trim.
  11. Framed-in opening of removed existing window /door.
  12. New wood siding to match existing type and exposure. New runs to be continuous spanning from corner/opening to corner/opening.
  13. New painted wood stair with closed risers.
  14. New 1" thick flagstone random pattern tread on cmu step with stone-faced riser to match existing.
  15. New 1" thick flagstone random pattern patio pavers set in compacted stone dust (14'x20').
  16. Front porch -- new 1" thick flagstone random pattern pavers set in mortar on concrete slab on 8" cmu stepped foundation stone-faced to match existing (10'x22.5').
  17. New 6x6 turned wood columns -- painted.
  18. New painted metal standing seam roof with half-round gutter to match existing screen porch roof.
  19. Extended existing painted metal roof above new bay construction with new half-round gutter to match existing.
  20. Front gable -- new novelty siding on 2x4 framing with lapped rake trim to match existing front facade.
  21. New asphalt shingle roof to match existing with feathered valleys. The existing roofing was installed recently, therefore, match can be made exact.
  22. New structural wood brackets -- painted.
  23. New exterior lighting -- wall mount traditional lantern type.
  24. Line of demolished existing rear concrete stoop and step.
  25. Line of demolished existing front porch including brick stoop, columns, roof, etc.

□ JULY 7, 1995



AXONOMETRIC VIEW FROM NORTHEAST

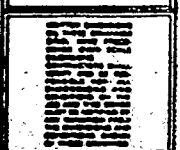
### DRAWING INDEX

- C-1 COVER SHEET
- A-2 PROPOSED FIRST FLOOR PLAN
- A-3 PROPOSED SECOND FLOOR PLAN
- A-4 PROPOSED ATTIC FLOOR PLAN
- A-5 PROPOSED NORTH AND WEST ELEVATIONS
- A-6 PROPOSED SOUTH AND EAST ELEVATIONS
- EX-7 EXISTING NORTH AND WEST ELEVATIONS
- EX-8 EXISTING SOUTH AND EAST ELEVATIONS



CONWAY RESIDENCE  
10600 RIVER ROAD POTOMAC MD 20854

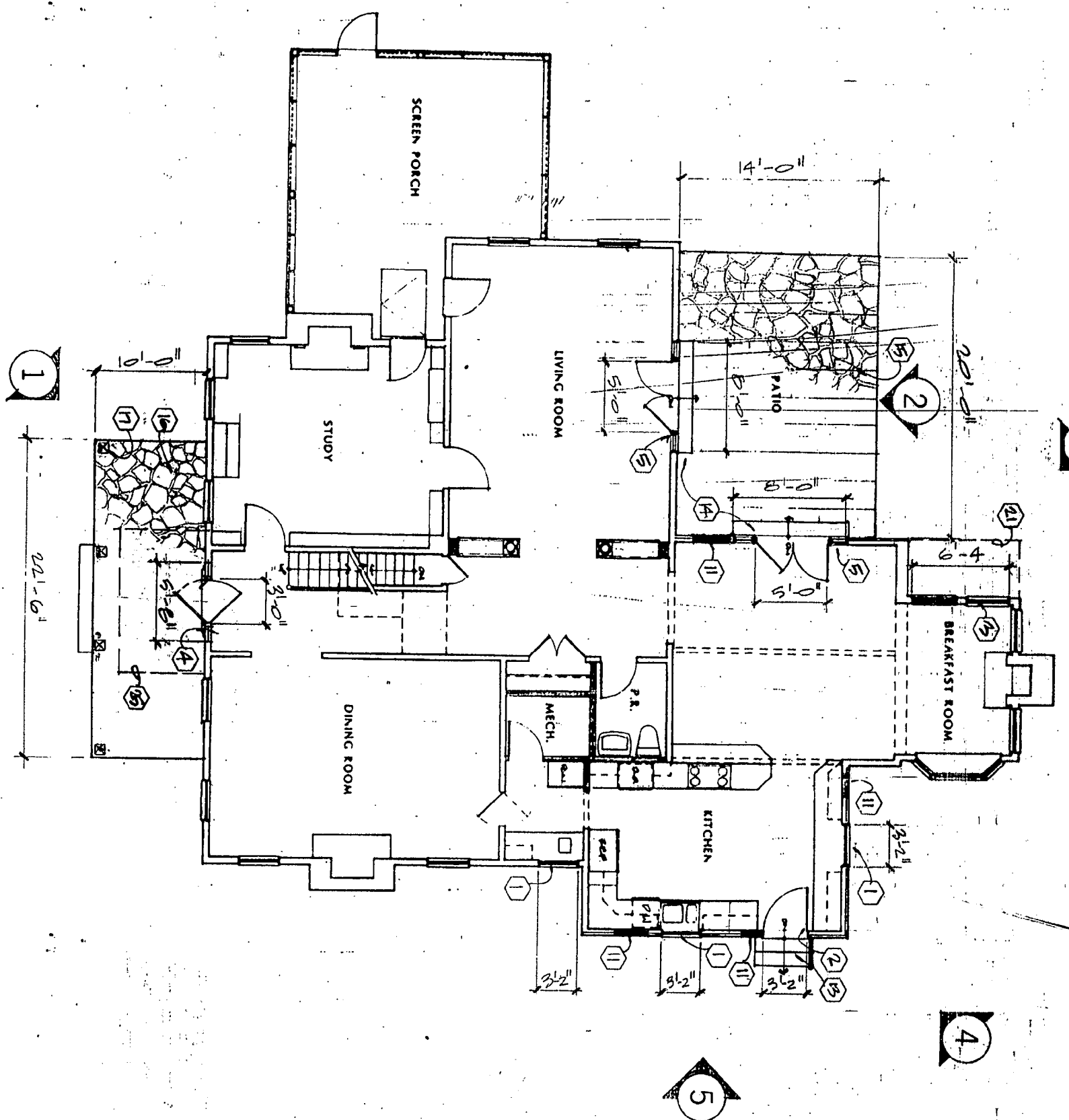
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checked:  
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C-1

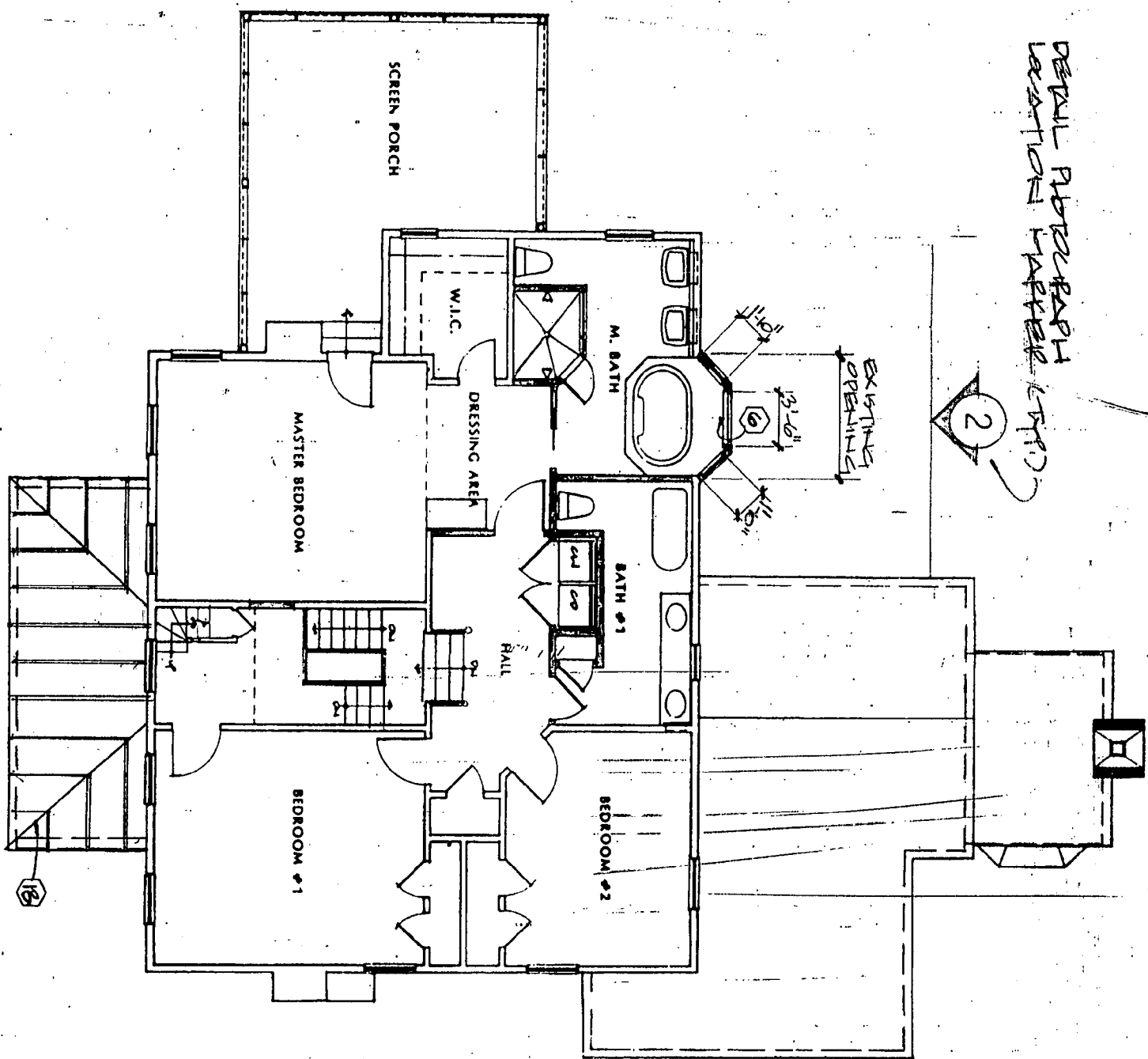
FIRST FLOOR PLAN



3  
DETAIL APPROXIMATE  
LOCATION WATER CTR

<p>Sheet <b>A-2</b> of 8</p>	<p>scale: 1/8" = 1'-0" date: 7-5-95 drawn: OWM checked: revisions:</p>	<p><b>FIRST FLOOR PLAN</b></p>	<p><b>CONWAY RESIDENCE</b> 10600 RIVER ROAD POTOMAC MD 20854</p>	
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DETAIL PHOTOGRAPH  
LOCATION MARKED (1) & (2)



SECOND FLOOR PLAN

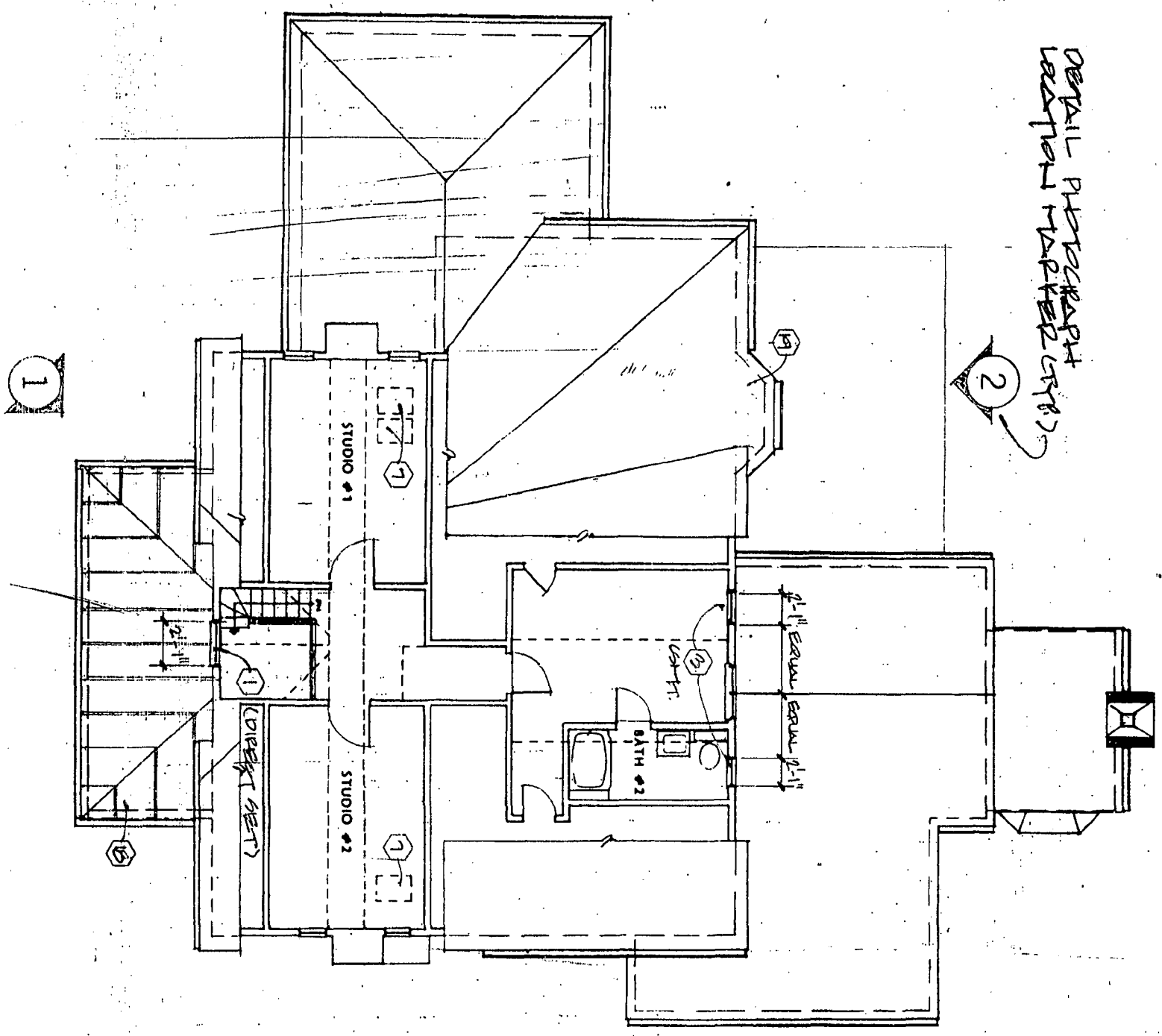
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2

	CONWAY RESIDENCE	
	10600 RIVER ROAD POTOMAC MD 20854	
SECOND FLOOR PLAN		
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Checked: PML	Revisions:	
Sheet A-3 of 6		



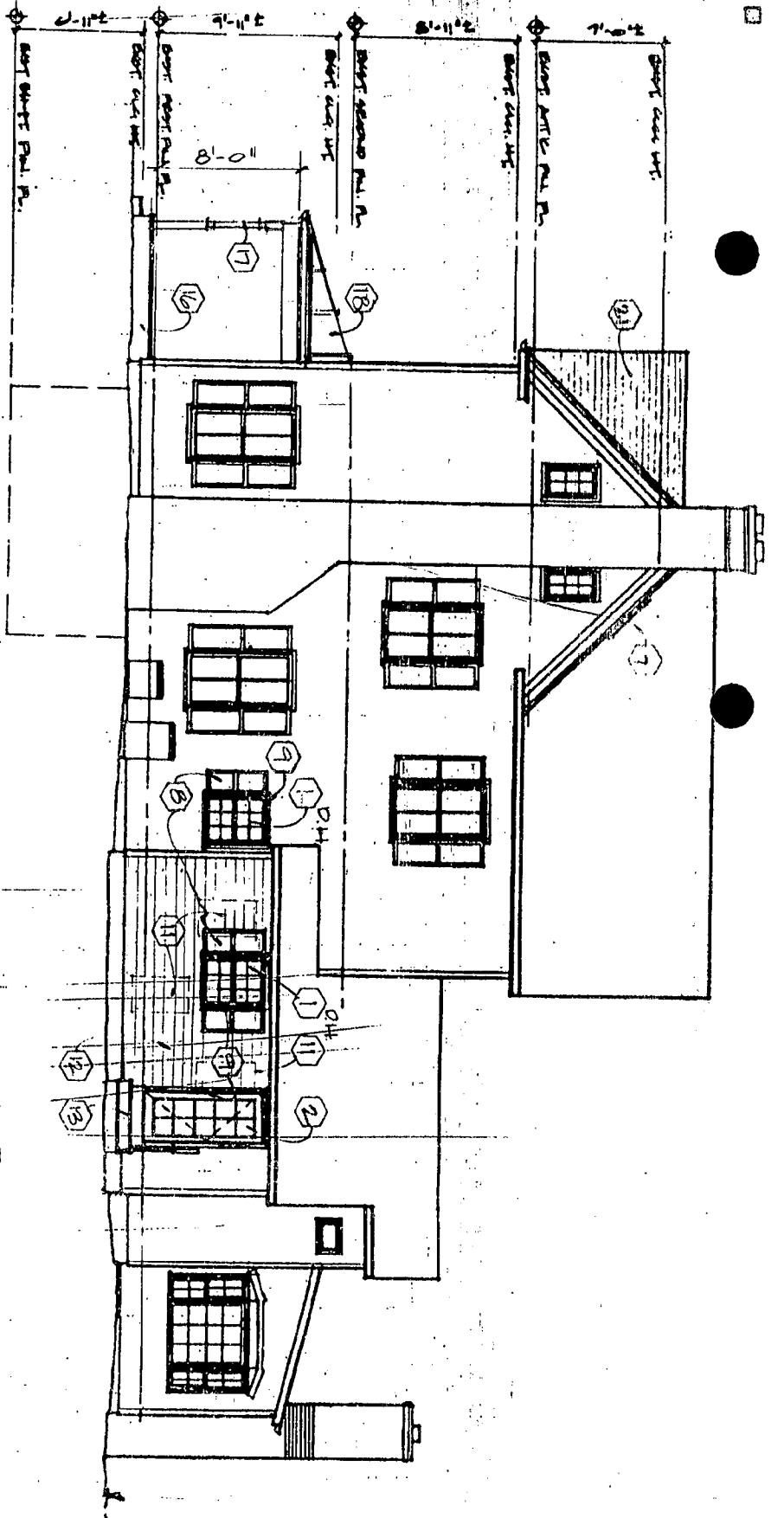
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LOCATION MARKER (RM)



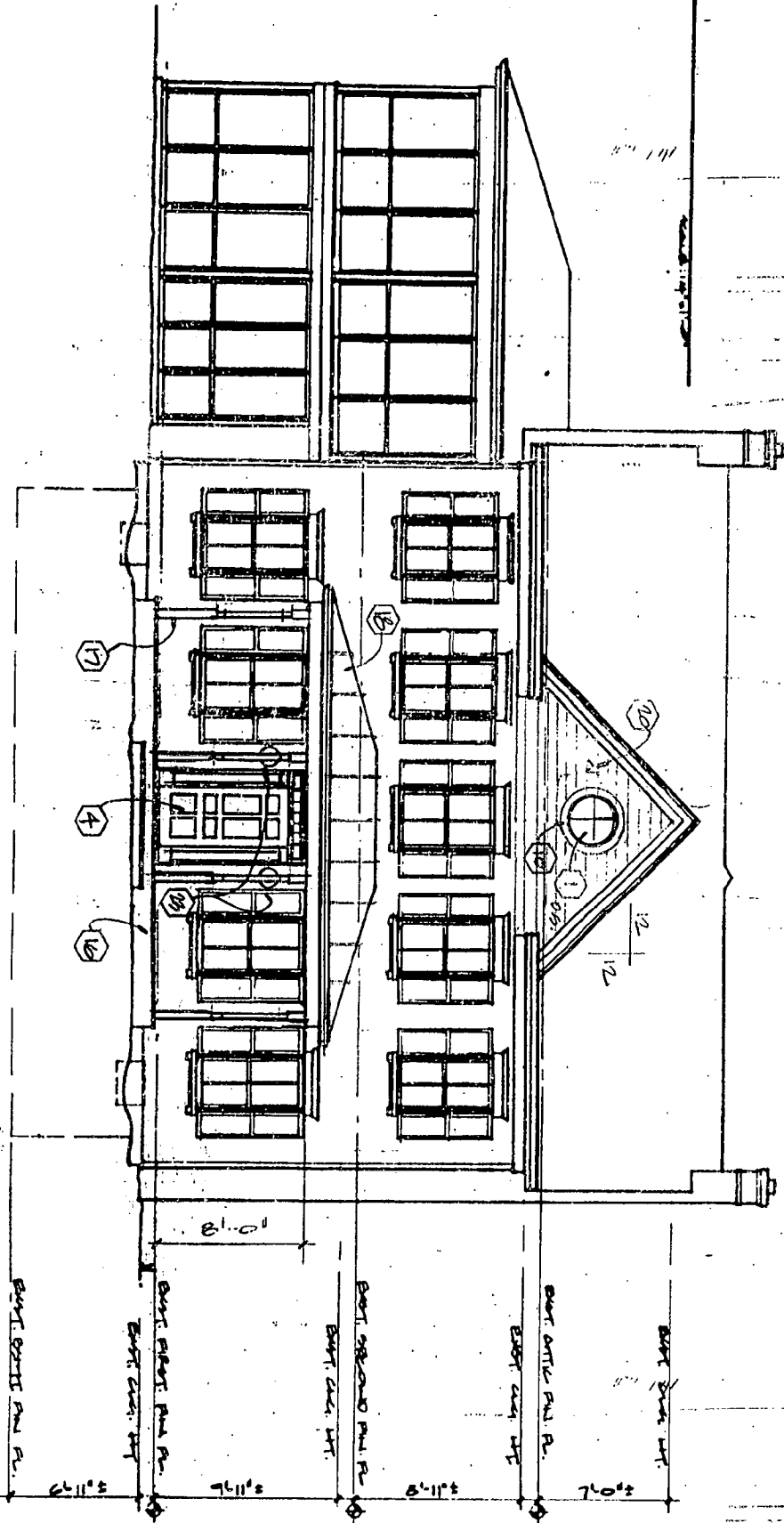
ATTIC FLOOR PLAN



	CONWAY RESIDENCE
	10600 RIVER ROAD POTOMAC MD 20854
ATTIC FLOOR PLAN	Scale: 1/8" = 1'-0"
	Date: 7-9-95
	Drawn: DMJ
	Checked:
	Revisions:
SHEET A-4 of 5	



WEST ELEVATION



NORTH ELEVATION

Scale: 1/4" = 1'-0"

Sheet  
A-5  
of 5

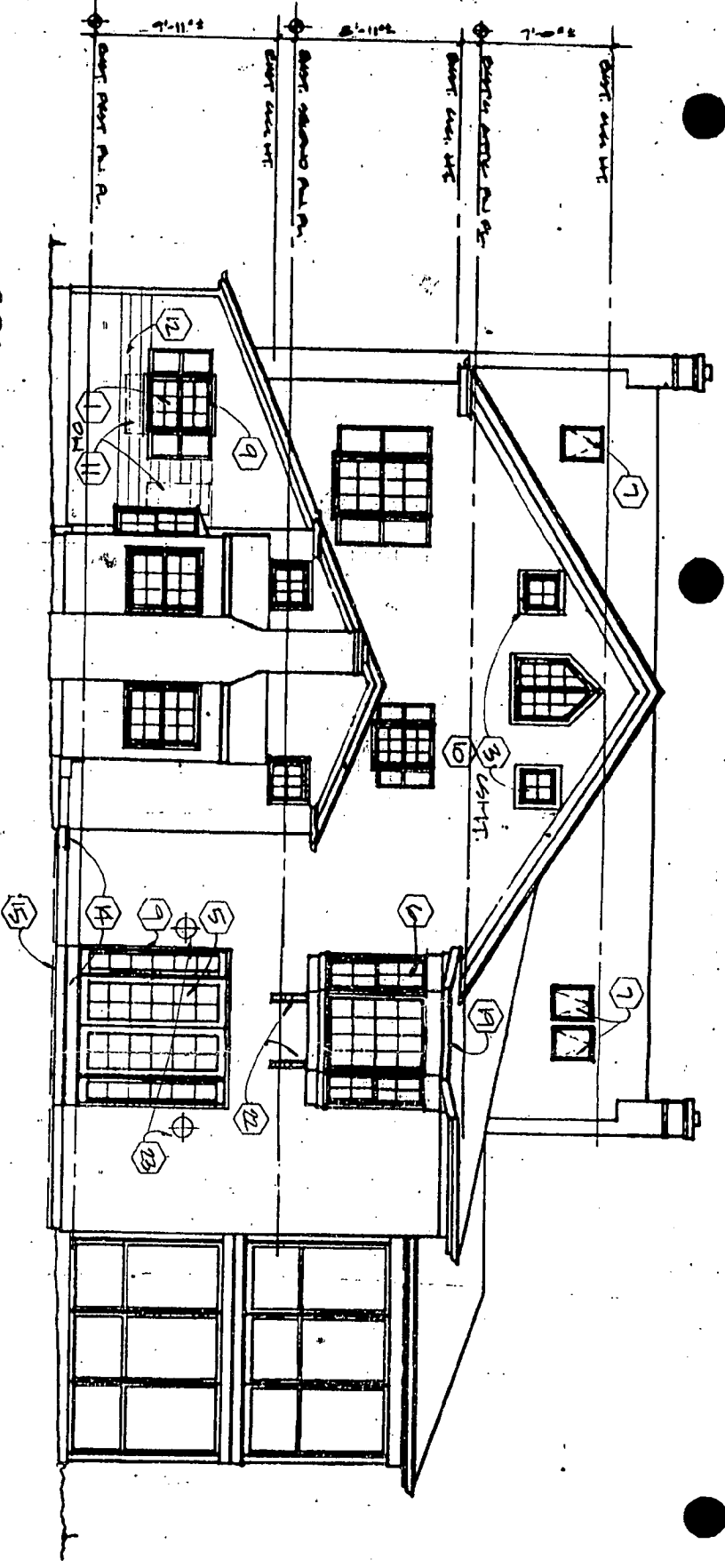
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REVISIONS:

WEST ELEVATION  
NORTH ELEVATION

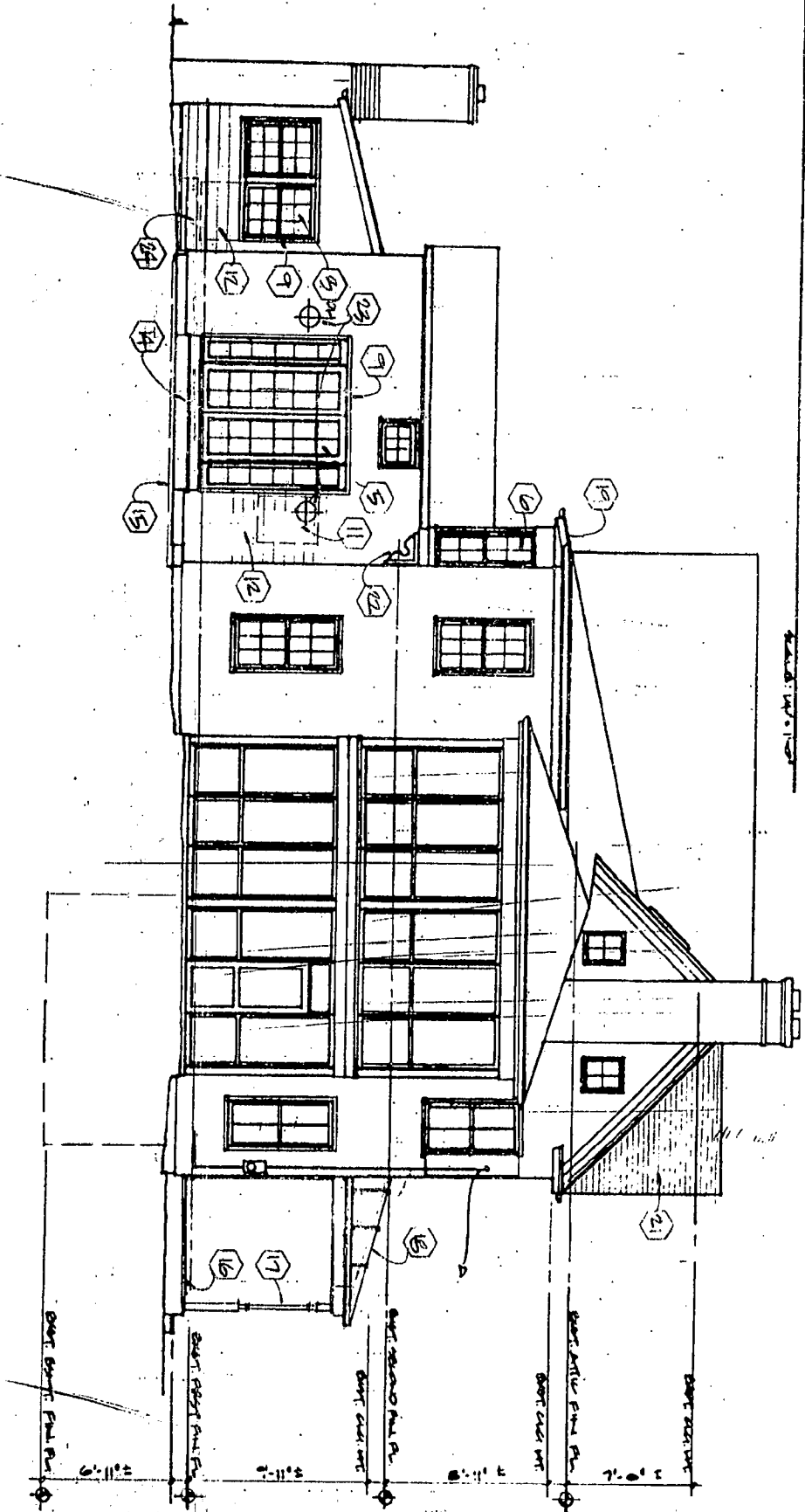
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10600 RIVER ROAD POTOMAC MD 20854



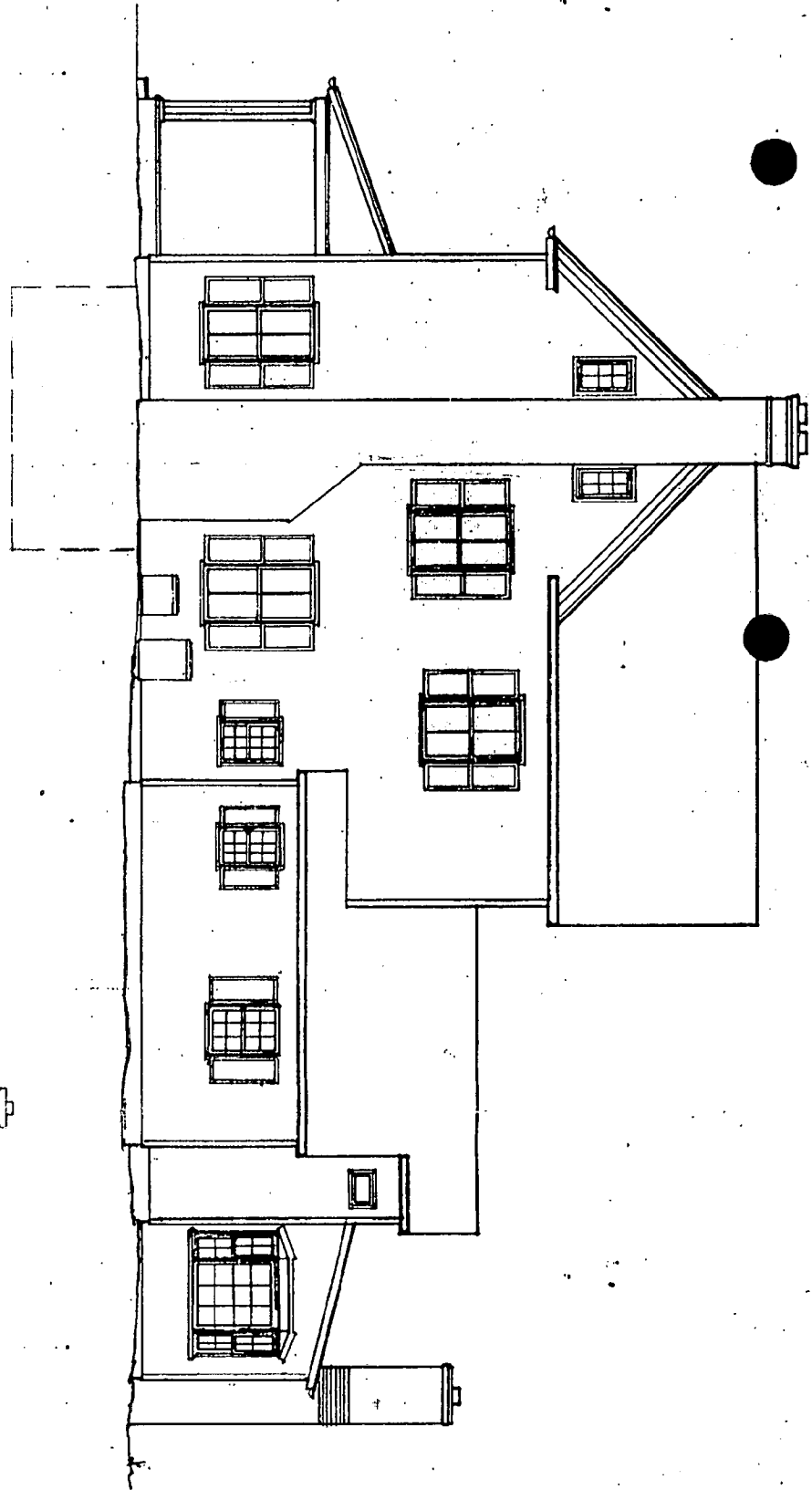
SOUTH ELEVATION



EAST ELEVATION

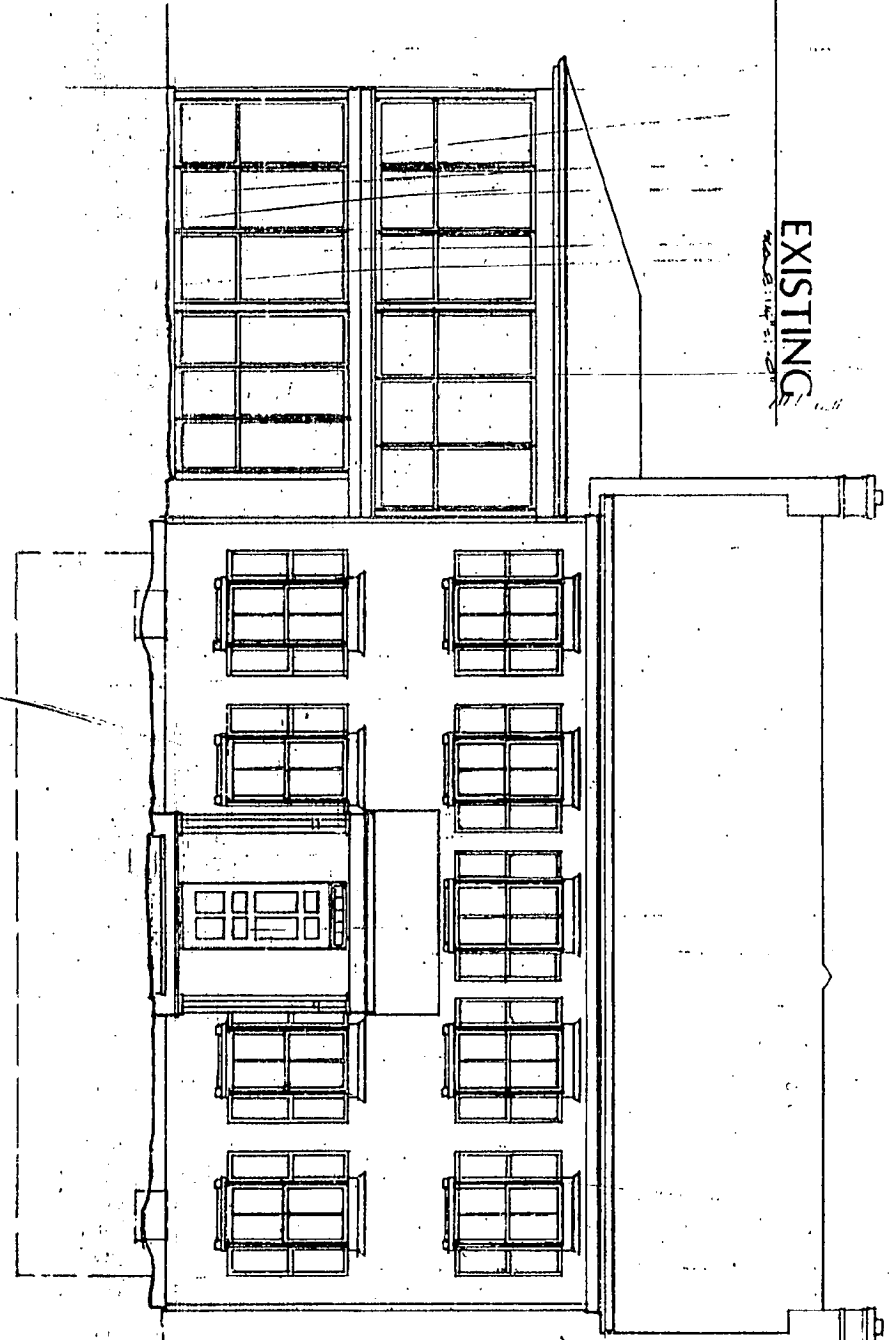


<p>Sheet A-6 of 8</p>	<p>Scale: 1/8" = 1'-0" Date: 7-2-05 Drawing: 04 Sheet: 04 Revision:</p>	<p>SOUTH ELEVATION EAST ELEVATION</p>	<p>CONWAY RESIDENCE 10600 RIVER ROAD POTOMAC MD 20854</p>	
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WEST ELEVATION

EXISTING



NORTH ELEVATION

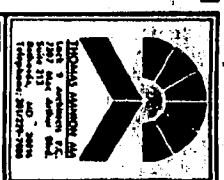
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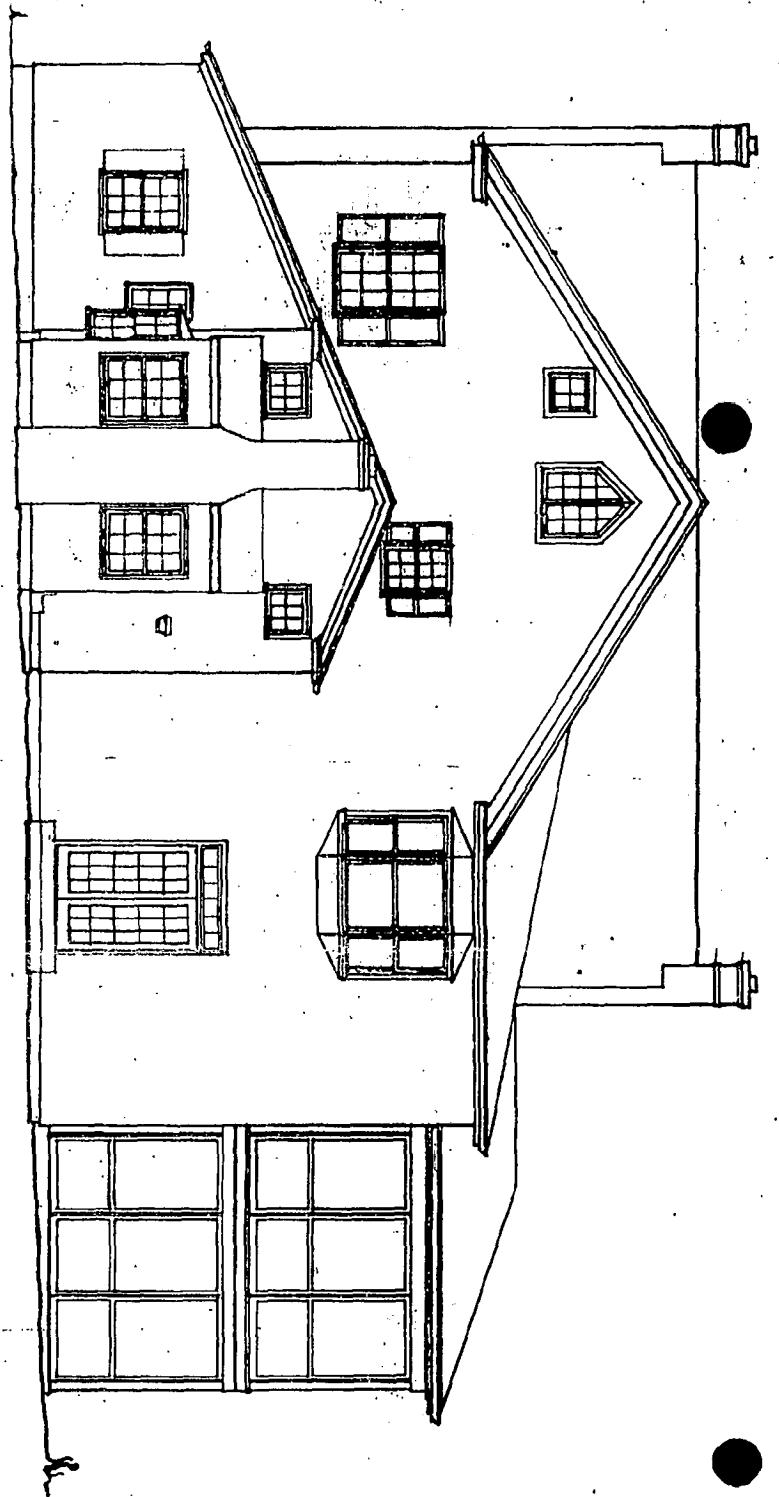
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EX-7  
of 8

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revisions:

WEST ELEVATION  
NORTH ELEVATION  
EXISTING

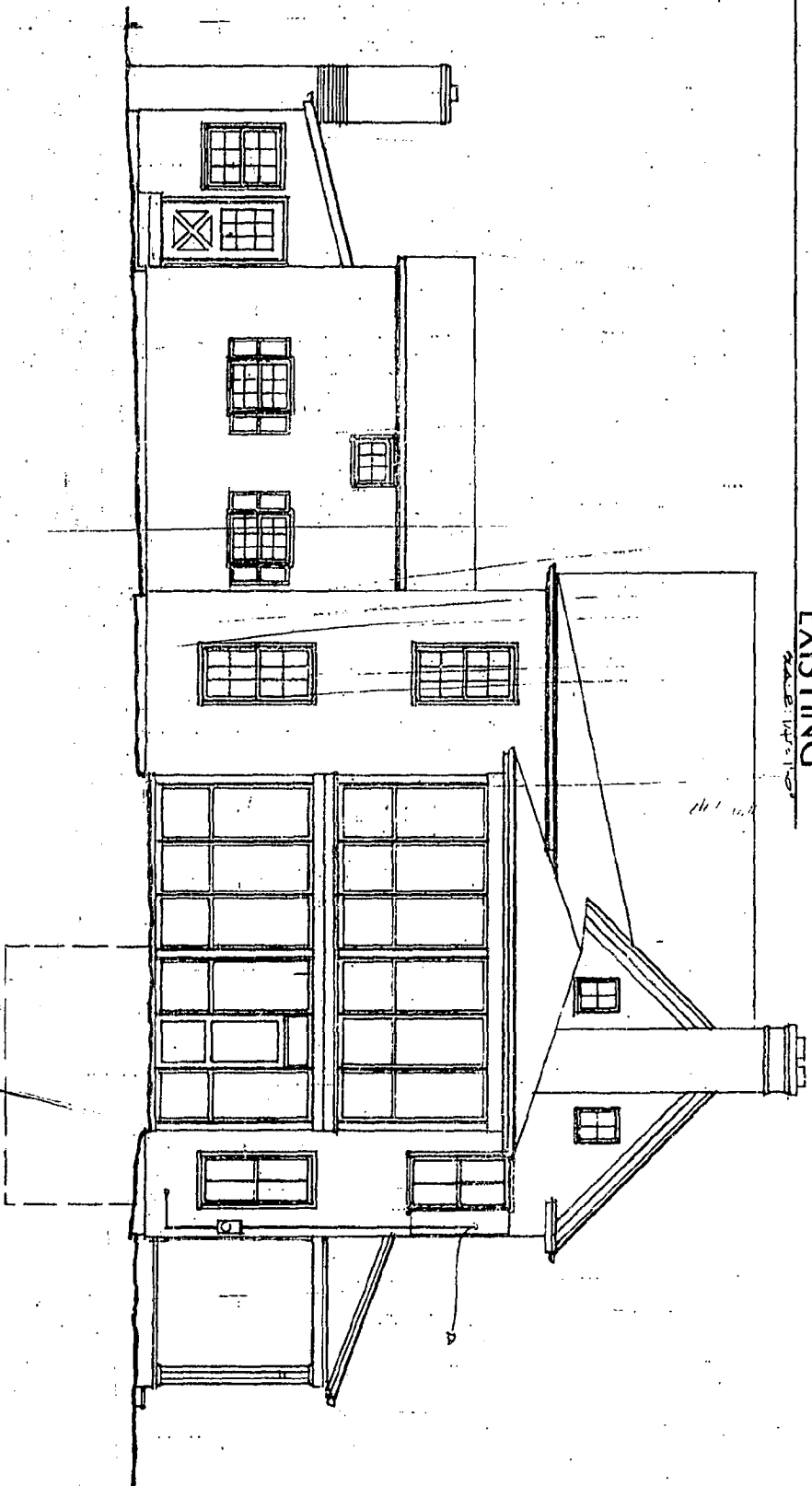
CONWAY RESIDENCE  
10600 RIVER ROAD POTOMAC MD 20854





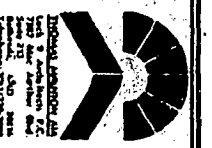
SOUTH ELEVATION

EXISTING



EAST ELEVATION

EXISTING



CONWAY RESIDENCE  
10600 RIVER ROAD - POTOMAC MD 20854

SOUTH ELEVATION  
EAST-ELEVATION

EXISTING

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EX-8  
of 5