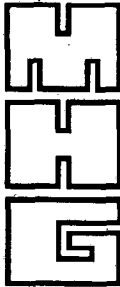


15/55 Spencer Carr Farm  
Preliminary Consultation 9-13-95



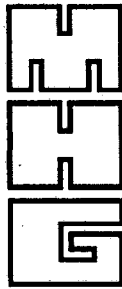
John Sekerak, Jr., ASLA, AICP

**Macris, Hendricks  
and Glascock, P.A.**

9220 Wightman Road, Suite 120  
Gaithersburg, MD 20879-1226

Office: (301) 670-0840  
Fax: (301) 948-0693

**Engineers • Surveyors • Planners**



John Sekerak, Jr., ASLA, AICP

**Macris, Hendricks  
and Glascock, P.A.**

9220 Wightman Road, Suite 120  
Gaithersburg, MD 20879-1226

Office: (301) 670-0840  
Fax: (301) 948-0693

**Engineers • Surveyors • Planners**

Steve Carstens  
8919 Hickory Hill Ave  
Lanham, MD 20706  
W 459-4024  
H 572-5794

Please notice:

John SeKERAK, Jr.

Macris, Hendricks +  
Glascock

9220 Wightman Road  
Suite #120

Centersburg 20879

and

Kimberley S. McCarl  
Theodorakos Architects  
4938 Hampden Lane Suite  
Bethesda 20814 108



Extra

MACRIS, HENDRICKS & GLASCOCK, P.A.  
 9220 Wightman Road Suite 120  
 GAITHERSBURG, MD 20879-1226

LETTER OF TRANSMITTAL

(301) 670-0840  
 FAX (301) 948-0693

TO HPC % MNCPPC-D.Z.P.

DATE	<u>8/23/95</u>	JOB NO.	<u>95-323</u>
ATTENTION	<u>GENEVA MARCUS</u>		
RE:	<u>SPENCER/CALL FARM</u>		

WE ARE SENDING YOU  Attached  Under separate cover via \_\_\_\_\_ the following items:

- Shop drawings     Prints     Plans     Samples     Specifications  
 Copy of letter     Change order     \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
<u>3</u>			<u>SUBD. PRE-APPLICATION SUBMISSION</u>
<u>3</u>			<u>NRI</u>

THESE ARE TRANSMITTED as checked below:

- For approval     Approved as submitted     Resubmit \_\_\_\_\_ copies for approval  
 For your use     Approved as noted     Submit \_\_\_\_\_ copies for distribution  
 As requested     Returned for corrections     Return \_\_\_\_\_ corrected prints  
 For review and comment     \_\_\_\_\_  
 FOR BIDS DUE \_\_\_\_\_ 19 \_\_\_\_\_     PRINTS RETURNED AFTER LOAN TO US

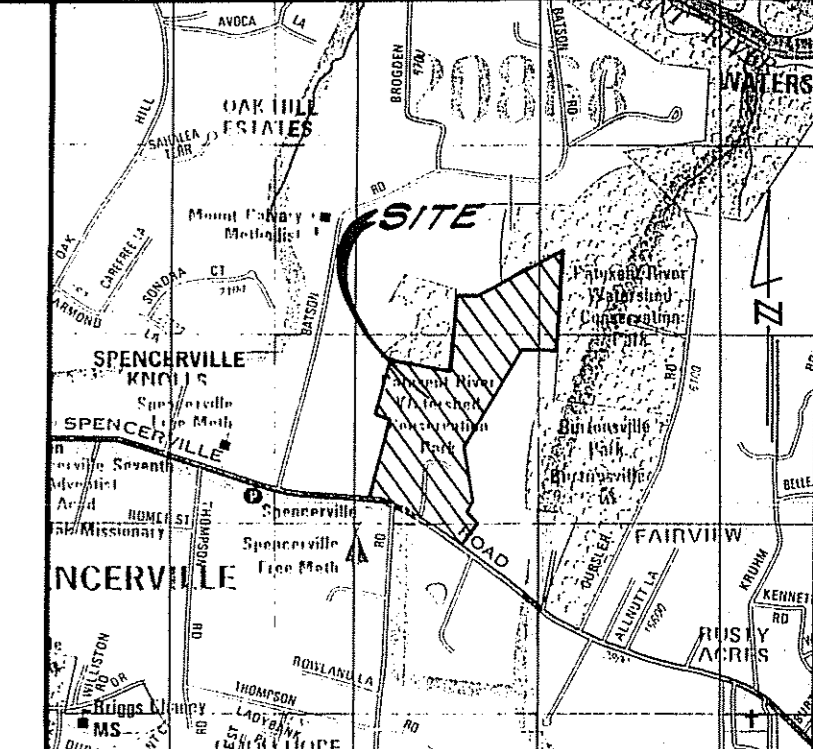
REMARKS A PRELIMINARY REVIEW PACKAGE WILL BE PROVIDED TODAY BY KIM MCCALL UNDER SEPARATE COVER. PLEASE INCLUDE THESE PRINTS IN THE APPLICATION TO BE REVIEWED BY THE H.P.C. 9/13.

THANKS,  
JOHN

COPY TO \_\_\_\_\_

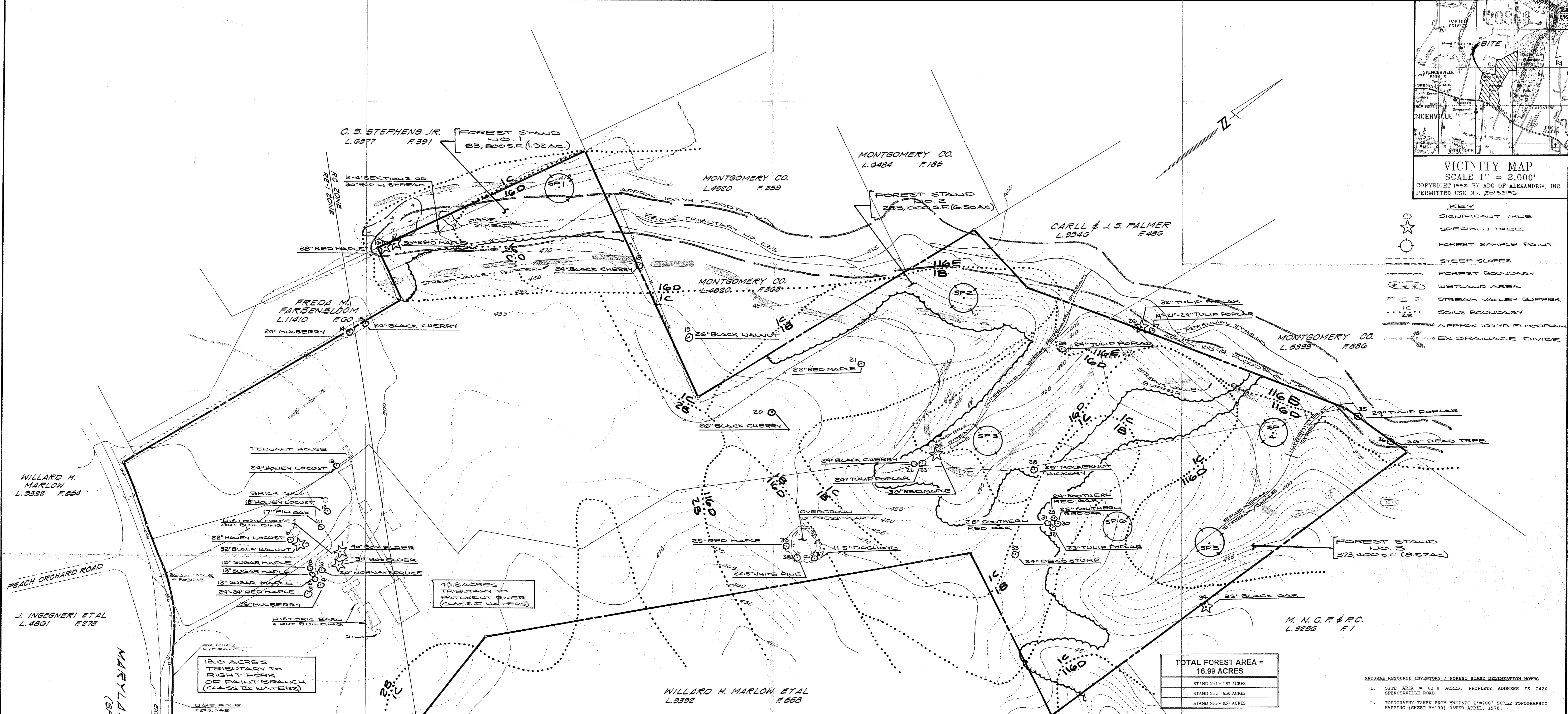
SIGNED: 

If enclosures are not as noted, kindly notify us at once.



VICINITY MAP  
SCALE 1" = 2,000'  
COPYRIGHT 1992 BY ABC OF ALEXANDRIA, INC.  
PERMITTED USE N. 2010219

- KEY**
- ★ SIGNIFICANT TREE
  - SPECIES TREE
  - FOREST SAMPLE POINT
  - STEEP SLOPES
  - FOREST BOUNDARY
  - WETLAND AREA
  - STREAM VALLEY BUFFER
  - SOILS BOUNDARY
  - APPROX. 100 YR. FLOODPLAIN
  - EX DRAINAGE DIVIDE



**TOTAL FOREST AREA = 16.99 ACRES**

STAND NO.1 = 1.92 ACRES
STAND NO.2 = 6.50 ACRES
STAND NO.3 = 8.57 ACRES

**NATURAL RESOURCE INVENTORY / FOREST STAND DELINEATION NOTES**

1. SITE AREA = 62.8 ACRES. PROPERTY ADDRESS IS 2420 SPENCERVILLE ROAD.
2. TOPOGRAPHY TAKEN FROM MNCPCAP 1"=200' SCALE TOPOGRAPHIC MAPPING (SHEET M-199) DATED APRIL, 1976.
3. BOUNDARY LOCATION FROM REAL ESTATE ATLAS '74 MAPS K5342 AND K5343 BY LUKS/TRW REEL, 28th EDITION, 1994.
4. SOILS ON-SITE CONSIST OF GALLA SILT LOAMS (MAPPING UNITS 1B & 1C); GALLA SILT LOAM (MAPPING UNIT 2B); BEECHLOW-BLOCKTOWN CHANNERY SILT LOAM (MAPPING UNIT 16D); AND BLACKTOWN CHANNERY SILT LOAM (MAPPING UNIT 16E & 16F) ACCORDING TO SHEET 21 OF THE SOIL SURVEY FOR MONTGOMERY COUNTY, MARYLAND (INTERIM REPORT DATED APRIL 1990).
5. 15.7 ACRES OF PROPERTY IS ZONED RE-1C (RURAL ESTATE-35,000 S.F. MIN. LOT); 47.1 ACRES OF SITE IS ZONED RC (RURAL CLUSTER - MIN. 40,000 S.F. LOTS; 5 ACRE MIN. / BUILDING).
6. 49.8 ACRES OF THE SITE DRAIN TO AN UNNAMED TRIBUTARY OF PATUXENT RIVER. 13 ACRES OF THE SITE DRAIN TO THE RIGHT FORK OF PAINT BRANCH. THE STATE OF MARYLAND HAS DESIGNATED THE PORTION OF LAND DRAINING TO THE PATUXENT RIVER WATERSHED AS CLASS I WATERS. THE PORTION OF THE SITE DRAINING TO THE PAINT BRANCH WATERSHED IS CLASS III WATERS.
7. ALL ON-SITE WETLANDS AND 100-YEAR FLOODPLAINS ARE CONTAINED WITHIN THE STREAM VALLEY BUFFER. 100 YEAR FLOODPLAIN SHOWN FROM FEMA PANEL 0202 DATED AUGUST 5, 1991. FLOODPLAIN ADJUSTED BY T.M. SMITH.
8. FOREST AREA ON-SITE = 16.99 ACRES. STAND NO. 1 (1.92 AC) IS A FROGGER TULIP POPLAR WOODLAND. STAND NO. 2 (6.50 AC) IS A TULIP POPLAR FOREST ASSOCIATION OF PIONEER AND EARLY SEED MIXED HARDWOODS. STAND NO. 3 (8.57 AC) IS A TULIP POPLAR FOREST ASSOCIATION SIMILAR TO STAND NO. 2. FOR SPECIFIC INFORMATION AND SAMPLING DATA SEE SITE NARRATIVE.
9. THE PROPERTY IS LISTED AS HISTORIC SITE NO. 15/55 (SPENCER-CARR HOUSE) BY THE MNCPCAP IN THE MASTER PLAN FOR HISTORIC PRESERVATION.
10. ALL INDIVIDUAL TREE LOCATIONS ARE APPROXIMATE. INDIVIDUAL TREES TO BE SAVED SHOULD BE LOCATED BY SURVEYORS WHEN GRADING IS TO OCCUR WITHIN 100 FEET OF LOCATION SHOWN.
11. FIELD WORK FOR THIS INVENTORY WAS CONDUCTED 6/14/95.
12. A 20% AFFORESTATION THRESHOLD AND 25% CONSERVATION THRESHOLD WILL APPLY TO THIS SITE.
13. THIS PLAN EXPIRES 2 YEARS FROM THE DATE OF MNCPCAP APPROVAL.

**SPECIMEN & SIGNIFICANT TREES**

ID	COMMON NAME	SIZE	BOTANICAL NAME	CONDITION/REMARKS
1.	*Box Elder	40"	Acer negundo	Fair - Measured at 2' above ground; 5 main trunks; Bark at base loose; 1 major trunk dying.
2.	*Box Elder	30"	Acer negundo	Good
3.	Norway Spruce	20"	Picea abies	Good
4.	Mulberry	26"	Morus sp.	Fair - Very fruitful but ragged appearance with many minor dead branches.
5.	Red Maple	24"-24"	Acer rubrum	Good
6.	Sugar Maple	13"	Acer saccharum	Good
7.	Sugar Maple	13"	Acer saccharum	Good
8.	Sugar Maple	19"	Acer saccharum	Good
9.	*Black Walnut	32"	Juglans nigra	Good
10.	Honey Locust	22"	Gleditsia tricanthos	Good
11.	Pin Oak	17"	Quercus palustris	Good
12.	Honey Locust	18"	Gleditsia tricanthos	Good
13.	Honey Locust	24"	Gleditsia tricanthos	Good
14.	Mulberry	24"	Morus sp.	Good
15.	Black Cherry	24"	Prunus serotina	Good
16.	*Red Maple	30"	Acer rubrum	Good
17.	*Red Maple	30"	Acer rubrum	Good
18.	Black Cherry	24"	Prunus serotina	Fair
19.	Black Walnut	24"	Juglans nigra	Fair
20.	Black Cherry	24"	Prunus serotina	Fair
21.	Red Maple	24"	Acer rubrum	Good
22.	Black Cherry	24"	Prunus serotina	Poor - Leaning heavily & mostly dead.
23.	Tulip Poplar	24"	Liriodendron tulipifera	Good
24.	*Red Maple	30"	Acer rubrum	Good
25.	Tulip Poplar	24"	Liriodendron tulipifera	Good
26.	*Tulip Poplar	32"	Liriodendron tulipifera	Good
27.	Tulip Poplar	14"-23"-24"	Liriodendron tulipifera	Good
28.	Hickernut Hickory	25"	Carya tomentosa	Excellent
29.	Southern Red Oak	24"	Quercus falcata	Good
30.	Southern Red Oak	25"	Quercus falcata	Poor - Small canopy; dead branches.
31.	Tulip Poplar	23"	Liriodendron tulipifera	Good
32.	Southern Red Oak	25"	Quercus falcata	Good
33.	Dead Stump	24"	Unknown	Dead - 6' height.
34.	*Black Oak	35"	Quercus velutina	Good
35.	Tulip Poplar	24"	Liriodendron tulipifera	Good
36.	Dead Tree	26"	Unknown	Dead - 50' height.
37.	Dogwood	11.5"	Cornus florida	Fair - Scarred base.
38.	White Pine	22.5"	Pinus alba	Fair - Roots exposed & bound; Lopsided canopy.
39.	Red Maple	25"	Acer rubrum	Good

**SOILS KEY**

- 1B - Galla silt loam (Hydrologic Soil Group B), 3 to 8% slopes
- 1C - Galla silt loam (Hydrologic Soil Group B), 8 to 15% slopes
- 2B - Glenely silt loam (Hydrologic Soil Group B), 3 to 8% slopes
- 16D - "skinkow" - Blocktown silt loam (Hydrologic Soil Group B/C/D), 15 to 25% slopes
- 116D - Blocktown silt loam (Hydrologic Soil Group B/C/D), 15 to 25% slopes
- 116E - Blocktown silt loam (Hydrologic Soil Group C/D), 15 to 45% slopes, very rocky

Notes: Diameters are given for each trunk of multiple truncate trees when truncation occurs below 4.5 feet. If major truncation occurs above 4.5 feet only the trunk diameter at 4.5 feet is given. \* indicates specimen trees. Tree ID numbers correspond to those assigned on Natural Resource Inventory/Forest Stand Delineation Map.

**NATURAL RESOURCE INVENTORY/FOREST STAND DELINEATION CERTIFICATION**

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING STATE AND COUNTY FOREST CONSERVATION LEGISLATION.

APPLICANT  
MR. STEVE CARSTENS  
3052 CASTLE LEIGH ROAD  
SILVER SPRING, MD 20904  
(301) 459-4024

JUNE 20, 1995  
DATE

J.D. Livers  
JOHN DOUGLAS STEVENS

RECOGNIZED AS QUALIFIED PROFESSIONAL  
BY MD DEPT. OF NATURAL RESOURCES

TAX MAP KS 342 & KS 343 W.S.S.C. 3UE221 & 3NE222

**NATURAL RESOURCE INVENTORY / FOREST STAND DELINEATION PLAN**  
**SPENCER FARM**  
PARCEL 143 & PARCEL 303

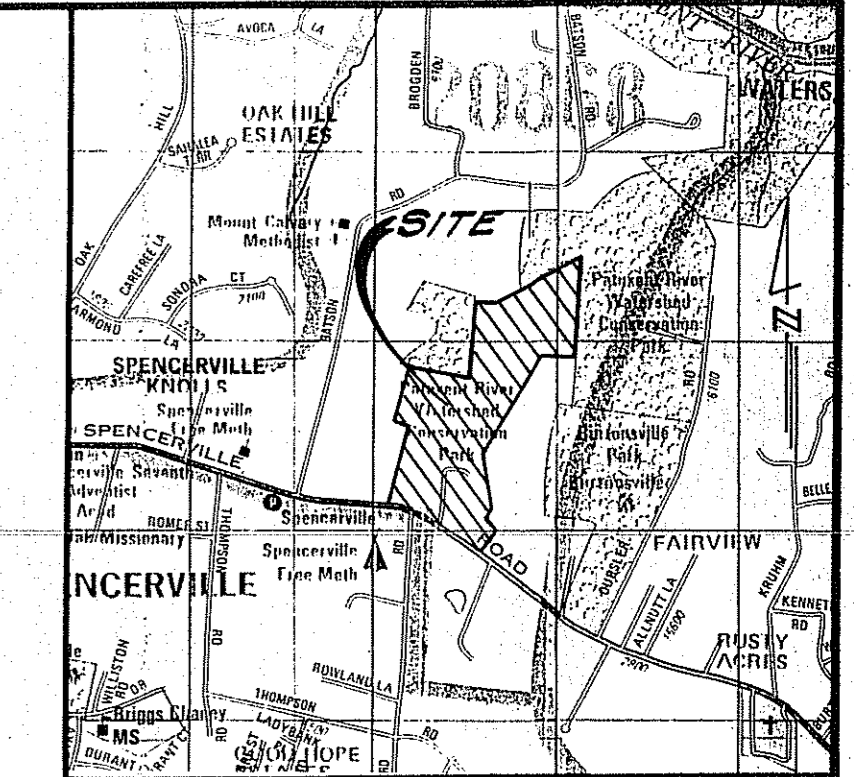
5TH ELECTION DISTRICT  
MONTGOMERY COUNTY MARYLAND

**Macris, Hendricks and Glascock, P.A.**  
Engineers • Planners • Surveyors

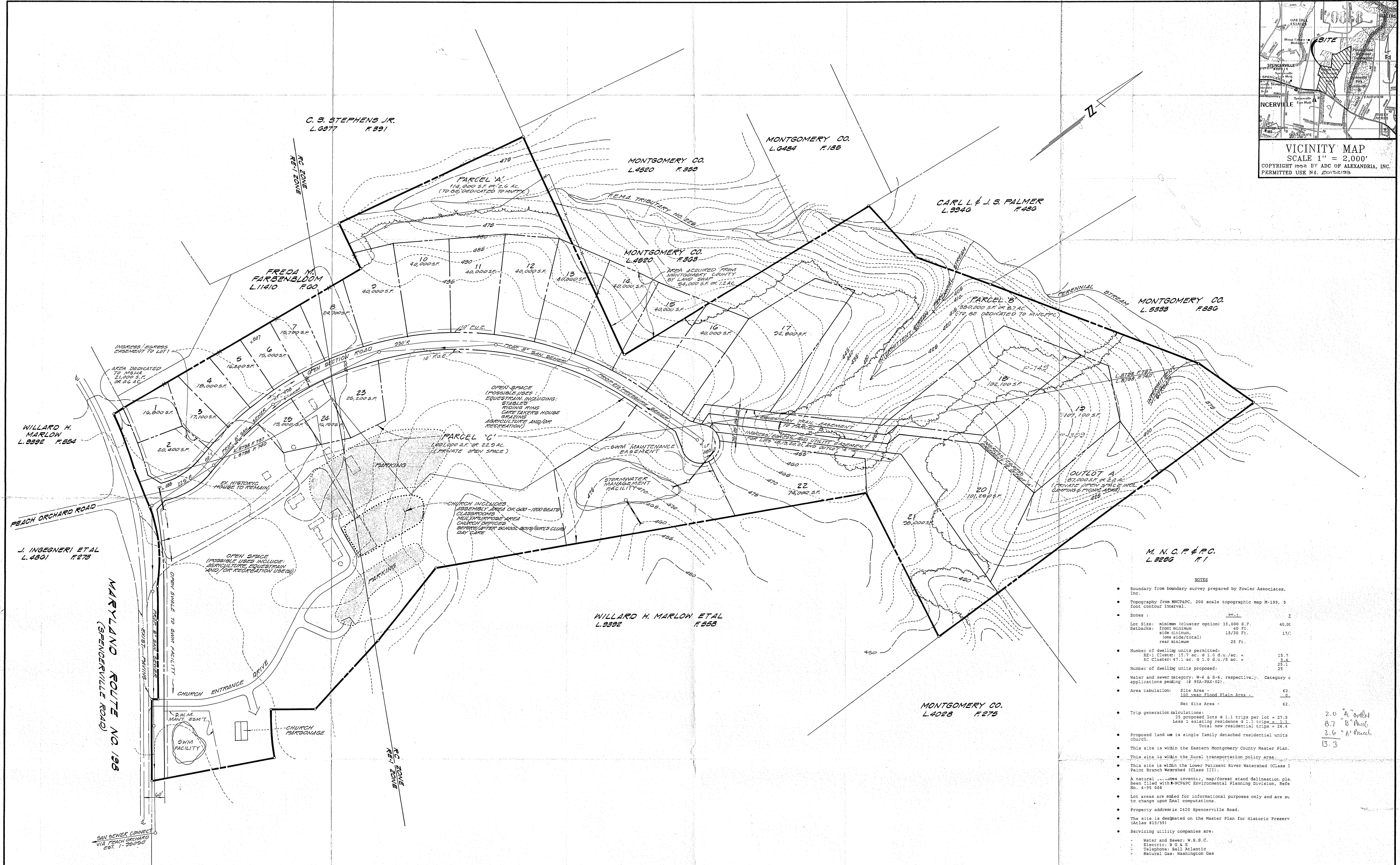
Designed: JCS  
Date: 6/16/95  
Scale: 1"=100'  
Job No.: 95-022  
Sheet: 1 of 1

301670-0840





VICINITY MAP  
SCALE 1" = 2,000'  
COPYRIGHT 1992 BY ADC OF ALEXANDRIA, INC.  
PERMITTED USE NO. 20102193



M. N. C. P. & P.C.  
L. 9296 F. 1

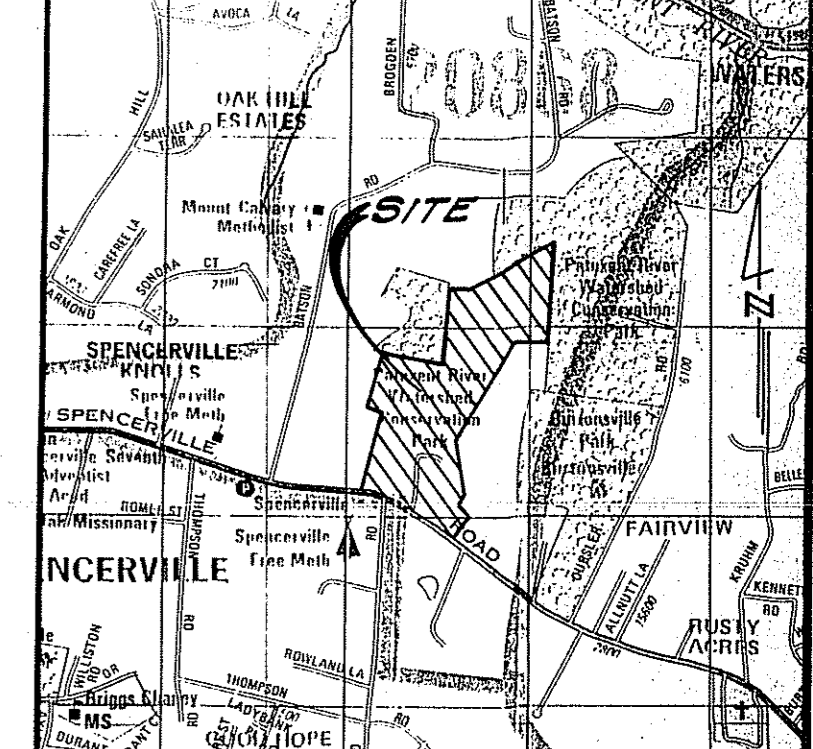
- NOTES
- Boundary from boundary survey prepared by Fowler Associates, Inc.
  - Topography from MNC&P.C., 200 scale topographic map M-199, 5 foot contour interval.
  - Zones:
 

Zone 1	2
--------	---
  - Lot Size: minimum (cluster option) 15,000 S.F. 40.00  
 setbacks: front minimum 40 Ft.  
 side minimum 15/30 Ft.  
 (one side/total)  
 rear minimum 25 Ft.
  - Number of dwelling units permitted:  
 R-1 Cluster: 15.7 ac. @ 1.0 d.u./ac. = 15.7  
 R-2 Cluster: 47.1 ac. @ 1.0 d.u./ac. = 47.1
  - Number of dwelling units proposed: 25
  - Water and sewer category: W-4 & S-4, respectively. Category c applications pending (R-2A-12).
  - Area tabulation:
 

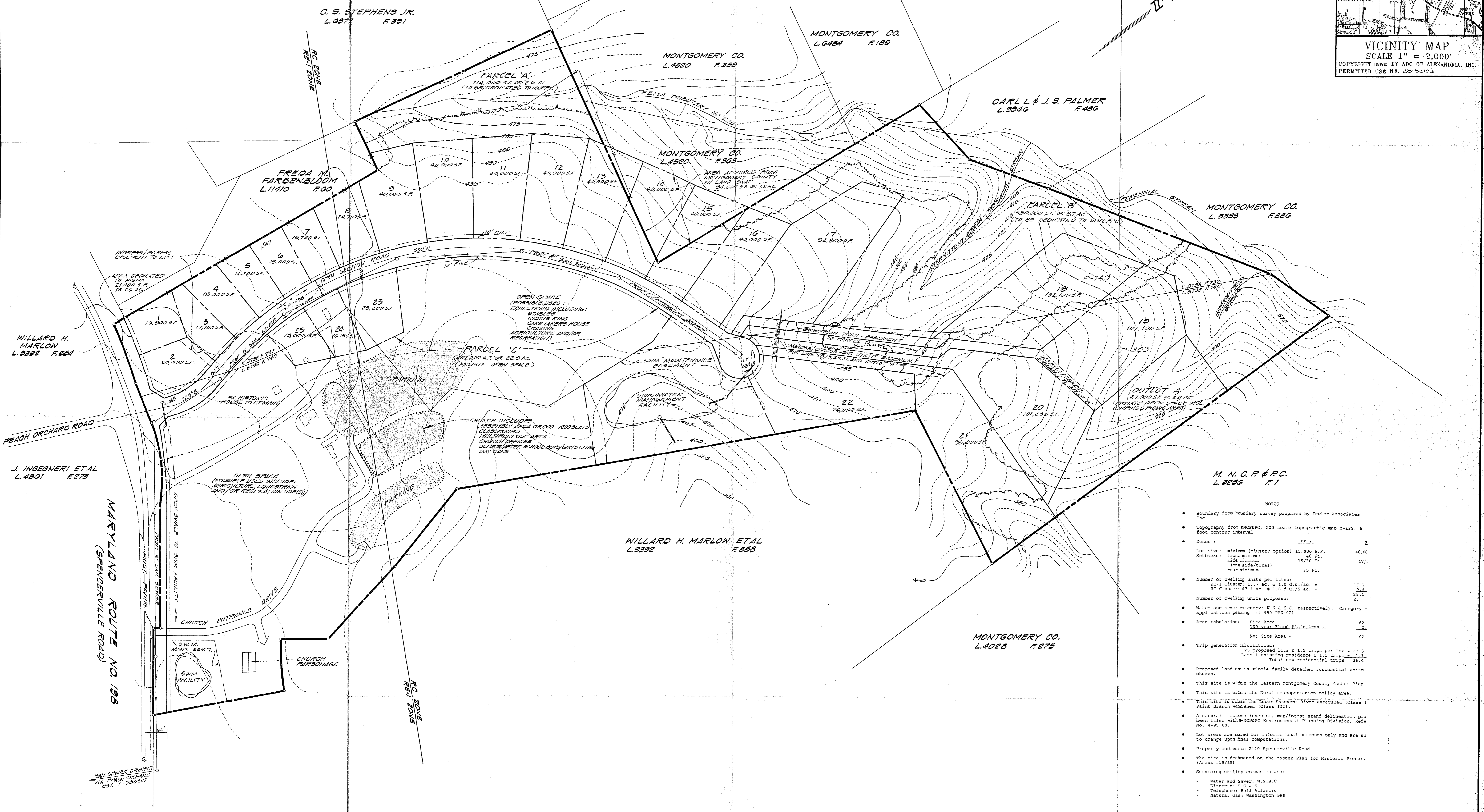
Site Area	62
100 year Flood Plain Area	6
Net Site Area	62
  - Trip generation calculations:  
 25 proposed lots @ 1.1 trips per lot = 27.5  
 Less 1 existing residence @ 1.1 trips = 3.1  
 Total new residential trips = 24.4
  - Proposed land use is single family detached residential units church.
  - This site is within the Eastern Montgomery County Master Plan.
  - This site is within the Rural transportation policy area.
  - This site is within the Lower Patuxent River Watershed (Class I Paint Branch Watershed (Class III)).
  - A natural resource inventory, map/forest stand delineation, plan been filed with MNC&P.C. Environmental Planning Division, Note No. 4-95 008
  - Lot areas are sold for informational purposes only and are not to change upon final computations.
  - Property address is 2420 Spencerville Road.
  - The site is designated on the Master Plan for Historic Preservation (Class III/35)
  - Servicing utility companies are:
    - Water and Sewer: W.S.S.C.
    - Electric: B & E
    - Telephone: Bell Atlantic
    - Natural Gas: Washington Gas

2.0 "A" sheet  
8.7 "B" sheet  
2.6 "A" sheet  
13.3

REVISIONS	PRE-APPLICATION SUBMISSION		Designed	Drawn
	SPENCER FARM		J.E.S.	J.V.
5 TH ELECTION DISTRICT		Macris, Hendricks and Glascock, P.A.		
MONTGOMERY COUNTY, MARYLAND		Engineers • Planners • Surveyors		
PREPARED FOR		Date		
MR. STEVE CARSTENS		0/10/95		
3032 CASTLEIGH ROAD		Scale		
SILVER SPRING, MD 20904		1"=100'		
(301) 453-4424		Job No.		
		95-323		
		Sheet		
		1 of 1		



VICINITY MAP  
 SCALE 1" = 2,000'  
 COPYRIGHT 1992 BY ADC OF ALEXANDRIA, INC.  
 PERMITTED USE N. 1. 2012193



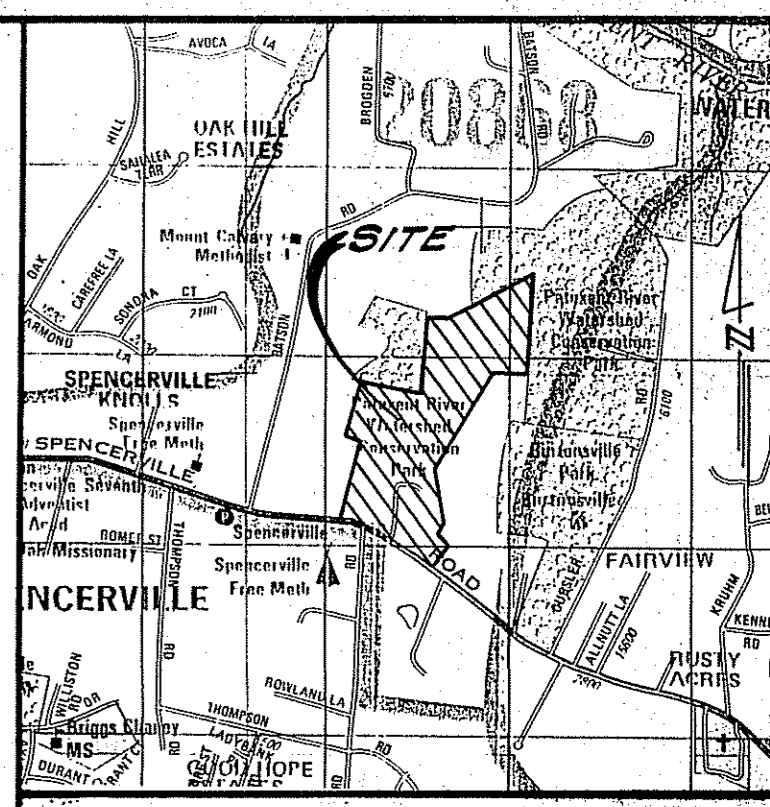
M. N. C. P. & P. C.  
 L. 9206 F. 1

- NOTES
- Boundary from boundary survey prepared by Fowler Associates, Inc.
  - Topography from MNC&PC, 200 scale topographic map M-199, 5 foot contour interval.
  - Zones:
 

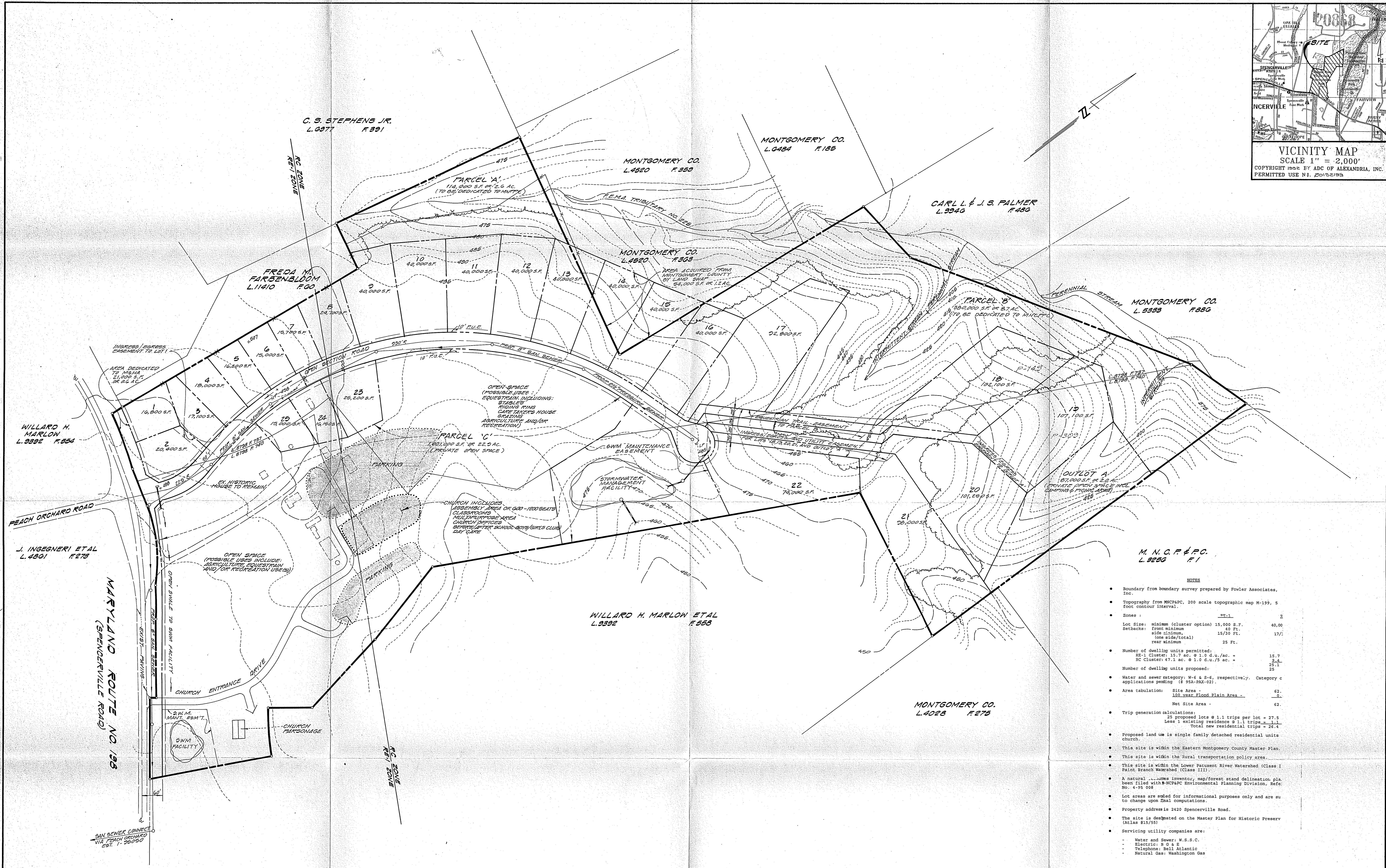
Zone 1	2
--------	---
  - Lot Size: minimum (cluster option) 15,000 S.F. 40.00  
 front minimum 40 Ft.  
 side minimum 15/30 Ft.  
 (one side/total) 25 Ft.  
 rear minimum 25 Ft.
  - Number of dwelling units permitted:  
 RE-1 Cluster: 15.7 ac. @ 1.0 d.u./ac. = 15.7  
 RC Cluster: 47.1 ac. @ 1.0 d.u./ac. = 47.1
  - Number of dwelling units proposed: 25
  - Water and sewer category: S-6 & S-6, respectively. Category c applications pending. (S-20-PA-02)
  - Area calculation:
 

Site Area -	62.
100-year Flood Plain Area -	0.
Net Site Area -	62.
  - Trip generation calculations:  
 25 proposed lots @ 1.1 trips per lot = 27.5  
 Less 1 existing residence @ 1.1 trips = 1.1  
 Total new residential trips = 26.4
  - Proposed land use is single family detached residential units church.
  - This site is within the Eastern Montgomery County Master Plan.
  - This site is within the Rural transportation policy area.
  - This site is within the Lower Patuxent River Watershed (Class I Paint Branch Watershed (Class III)).
  - A natural resource inventory, map/forest stand delineation, plan been filed with MNC&PC Environmental Planning Division, Refe No. 4-95 008
  - Lot areas are sized for informational purposes only and are subject to change upon final computations.
  - Property address is 2420 Spencerville Road.
  - The site is designated on the Master Plan for Historic Preservation (Class III)
  - Servicing utility companies are:
    - Water and Sewer: W.S.S.C.
    - Electric: B & E
    - Telephone: Bell Atlantic
    - Natural Gas: Washington Gas

REVISIONS	PRE-APPLICATION SUBMISSION	
	SPENCER FARM	
5 TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND		
PREPARED FOR MR. STEVE CARSTENS 3032 CASTLEIGH ROAD SILVER SPRING, MD 20904 (301) 455-4424		
<b>Macris, Hendricks and Glascock, P.A.</b> Engineers • Planners • Surveyors Suite 120 9220 Wightman Road Gaithersburg, Maryland 20879 (301)670-0840		
Designed J.E.S.	Drawn J.V.	Date 6/16/95
Scale 1"=100'	Job No. 95-823	Sheet 1 of 1



VICINITY MAP  
SCALE 1" = 2,000'  
COPYRIGHT 1998 BY ADC OF ALEXANDRIA, INC.  
PERMITTED USE NO. 20102193



M. N. C. P. & P. C.  
L. 9286 F. 1

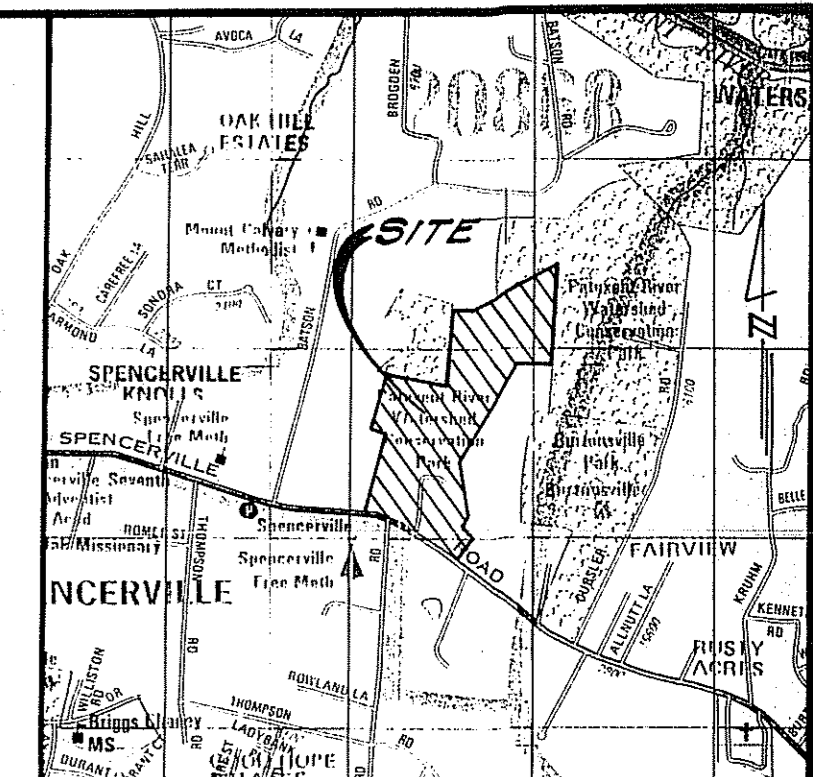
NOTES

- Boundary from boundary survey prepared by Fowler Associates, Inc.
- Topography from MNC&P/C, 200 scale topographic map M-199, 5 foot contour interval.
- Zones:
 

DE-1	3
------	---
- Lot Size: minimum (cluster option) 15,000 S.F. 40.00  
 Setbacks: front minimum 40 FT.  
 side minimum 15/30 FT. 17/2  
 (one side/total) rear minimum 25 FT.
- Number of dwelling units permitted:  
 RD-1 Cluster: 11.7 ac. @ 1.0 d.u./ac. = 15.7  
 RC Cluster: 47.1 ac. @ 1.0 d.u./5 ac. = 24.4  
 Number of dwelling units proposed: 25.1  
 25
- Water and sewer category: M-6 & S-6, respectively. Category c applications pending (if 95A-P&C-02).
- Area tabulation:
 

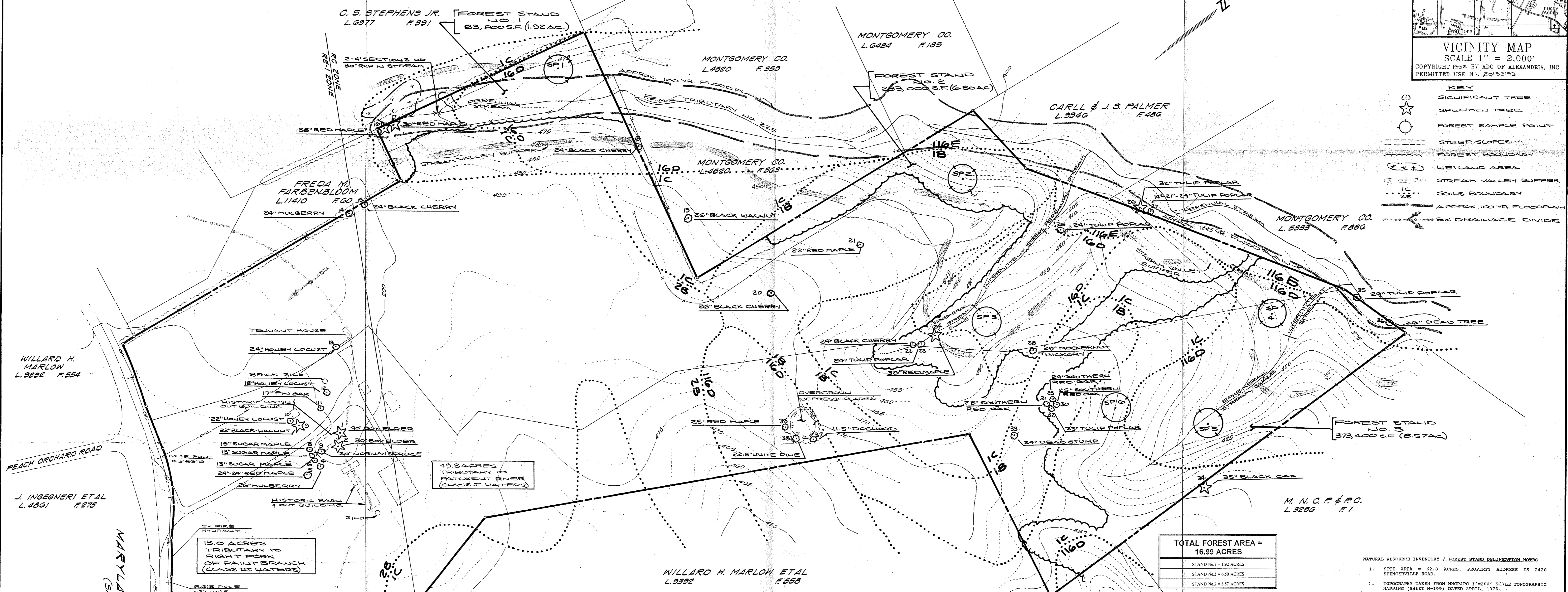
Site Area	62
100 year Flood Plain Area	0
Net Site Area	62
- Trip generation calculations:  
 25 proposed lots @ 1.1 trips per lot = 27.5  
 Less 1 existing residence @ 1.1 trips = 1.1  
 Total new residential trips = 26.4
- Proposed land use is single family detached residential units church.
- This site is within the Eastern Montgomery County Master Plan.
- This site is within the Rural transportation policy area.
- This site is within the Lower Patuxent River Watershed (Class I Point Source Watershed) (Class III).
- A natural stream inventor, map/forest stand delineation plan, been filed with MNC&P/C Environmental Planning Division. Ref: No. 4-95 008
- Lot areas are shown for informational purposes only and are subject to change upon final computations.
- Property address is 2420 Spencerville Road.
- This site is designated on the Master Plan for Historic Preservation (Atlas #15/59)
- Servicing utility companies are:
  - Water and Sewer: W.S.S.C.
  - Electric: B & E
  - Telephone: Bell Atlantic
  - Natural Gas: Washington Gas

PRE-APPLICATION SUBMISSION	
<b>SPENCER FARM</b>	
5 TH ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND	
<p>PREPARED FOR MR. STEVE CARSTENS 2032 CASTLEBUSH ROAD SILVER SPRING, MD 20904 (301) 463-4844</p>	<p>Designed J.E.S.</p> <p>Drawn J.V.</p> <p>Date 6/10/98</p> <p>Scale 1"=100'</p> <p>Job No. 59-323</p> <p>Sheet L of L</p>
<p>Macris, Hendricks and Glascock, P.A. Engineers • Planners • Surveyors</p> <p>Suite 120 9220 Wightman Road Gaithersburg, Maryland 20879 (301)670-0840</p>	



VICINITY MAP  
SCALE 1" = 2,000'  
COPYRIGHT 1982 BY ADC OF ALEXANDRIA, INC.  
PERMITTED USE N. 2012193

- KEY
- ★ SIGNIFICANT TREE
  - SPECIES TREE
  - FOREST SAMPLE POINT
  - STEEP SLOPES
  - FOREST BOUNDARY
  - WETLAND AREA
  - STREAM VALLEY BUFFER
  - SOILS BOUNDARY
  - APPROX. 100 YR. FLOODPLAIN
  - EX DRAINAGE DIVIDE



TOTAL FOREST AREA = 16.99 ACRES

STAND No. 1 = 1.92 ACRES
STAND No. 2 = 6.50 ACRES
STAND No. 3 = 8.57 ACRES

- NATURAL RESOURCE INVENTORY / FOREST STAND DELINEATION NOTES
- SITE AREA = 62.8 ACRES. PROPERTY ADDRESS IS 2420 SPENCERVILLE ROAD.
  - TOPOGRAPHY TAKEN FROM MNCPCAP 1"=200' SCALE TOPOGRAPHIC MAPPING (SHEET N-199) DATED APRIL, 1978.
  - BOUNDARY LOCATION FROM REAL ESTATE ATLAS TAX MAPS K5342 AND K5343 BY LARRY FOR REID, 25th EDITION, 1984.
  - SOILS ON-SITE CONSIST OF GALLIA SILT LOAMS (MAPPING UNITS 1B & 1C); GENELO SILT LOAM (MAPPING UNIT 2B); BRINKLOW-BLOCKTOWN CHANNERY SILT LOAM (MAPPING UNIT 16D); AND BLOCKTOWN CHANNERY SILT LOAM (MAPPING UNIT 116E & 116F) ACCORDING TO SHEET 21 OF THE SOIL SURVEY FOR MONTGOMERY COUNTY, MARYLAND (INTERIM REPORT DATED APRIL 1990).
  - 15.7 ACRES OF PROPERTY IS ZONED RE-1C (RURAL ESTATE-15,000 S.F. MIN. LOT). 47.1 ACRES OF SITE IS ZONED RC (RURAL CLUSTER - MIN. 40,000 S.F. LOTS; 5 ACRE MIN. / BUILDING).
  - 49.8 ACRES OF THE SITE DRAIN TO AN UNNAMED TRIBUTARY OF PAINT BRANCH. 13 ACRES OF THE SITE DRAIN TO THE RIGHT FORK OF PAINT BRANCH. THE STATE OF MARYLAND IS A DESIGNATED TRIBUTARY OF PAINT BRANCH. THE PORTION OF THE SITE DRAINING TO THE PAINT BRANCH WATERSHED IS CLASS III WATERS.
  - ALL ON-SITE WETLANDS AND 100-YEAR FLOODPLAINS ARE CONTAINED WITHIN THE STREAM VALLEY BUFFER. 100 YEAR FLOODPLAIN SHOWN FROM FEMA PANEL 0200C DATED AUGUST 5, 1991. MONTGOMERY COUNTY, MARYLAND.
  - FOREST AREA ON-SITE = 16.99 ACRES. STAND No. 1 (1.92 AC) IS A PIONEER TULIP POPLAR WOODLAND. STAND No. 2 (6.50 AC) IS A TULIP POPLAR FOREST ASSOCIATION OF PIONEER AND EARLY SERIAL MIXED HARDWOODS. STAND No. 3 (8.57 AC) IS A TULIP POPLAR FOREST ASSOCIATION SIMILAR TO STAND No. 2. FOR SPECIFIC INFORMATION AND SAMPLING DATA SEE SITE NARRATIVE.
  - THE PROPERTY IS LISTED AS HISTORIC SITE No. 15/95 (SPENCER-OVER HOUSE) BY THE MNCPCAP IN THE MASTER PLAN FOR HISTORIC PRESERVATION.
  - ALL INDIVIDUAL TREE LOCATIONS ARE APPROXIMATE. INDIVIDUAL TREES TO BE SAVED SHOULD BE LOCATED BY SURVEYORS WHERE GRADING IS TO OCCUR WITHIN 100 FEET OF LOCATION SHOWN.
  - FIELD WORK FOR THIS INVENTORY WAS CONDUCTED 6/14/95.
  - A 20% AFFORESTATION THRESHOLD AND 25% CONSERVATION THRESHOLD WILL APPLY TO THIS SITE.
  - THIS PLAN EXPIRES 2 YEARS FROM THE DATE OF MNCPCAP APPROVAL.

SPECIMEN & SIGNIFICANT TREES

ID	COMMON NAME	SIZE	BOTANICAL NAME	CONDITION/REMARKS
1.	*Box Elder	40"	Acer negundo	Fair - Measured at 2' above ground; 5 main trunks; Bark at base loose; 1 major trunk dying.
2.	*Box Elder	30"	Acer negundo	Good
3.	Norway Spruce	20"	Picea abies	Good
4.	Mulberry	26"	Morus sp.	Fair - Very fruitful but ragged appearance with many minor dead branches.
5.	Red Maple	24"-24"	Acer rubrum	Good
6.	Sugar Maple	13"	Acer saccharum	Good
7.	Sugar Maple	13"	Acer saccharum	Good
8.	Sugar Maple	19"	Acer saccharum	Good
9.	*Black Walnut	32"	Juglans nigra	Good
10.	Honey Locust	22"	Gleditsia tricanthos	Good
11.	Pin Oak	17"	Quercus palustris	Good
12.	Honey Locust	18"	Gleditsia tricanthos	Good
13.	Honey Locust	24"	Gleditsia tricanthos	Good
14.	Mulberry	24"	Morus sp.	Good
15.	Black Cherry	24"	Prunus serotina	Good
16.	*Red Maple	38"	Acer rubrum	Good
17.	*Red Maple	30"	Acer rubrum	Good
18.	Black Cherry	24"	Prunus serotina	Fair
19.	Black Walnut	26"	Juglans nigra	Fair
20.	Black Cherry	26"	Prunus serotina	Fair
21.	Red Maple	22"	Acer rubrum	Good
22.	Black Cherry	24"	Prunus serotina	Poor - Leaning heavily & mostly dead.
23.	Tulip Poplar	24"	Liriodendron tulipifera	Good
24.	*Red Maple	30"	Acer rubrum	Good
25.	Tulip Poplar	24"	Liriodendron tulipifera	Good
26.	*Tulip Poplar	32"	Liriodendron tulipifera	Good
27.	Tulip Poplar	14"-21"-24"	Liriodendron tulipifera	Good
28.	Mockernut Hickory	29"	Carya composita	Excellent
29.	Southern Red Oak	24"	Quercus falcata	Good
30.	Southern Red Oak	25"	Quercus falcata	Poor - Small canopy; Dead branches.
31.	Tulip Poplar	23"	Liriodendron tulipifera	Good
32.	Southern Red Oak	28"	Quercus falcata	Good
33.	Dead Stump	24"	Unknown	Dead - 6' height.
34.	*Black Oak	25"	Quercus velutina	Good
35.	Tulip Poplar	24"	Liriodendron tulipifera	Good
36.	Dead Tree	26"	Unknown	Dead - 50' height.
37.	Dogwood	11.5"	Cornus florida	Fair - Scarred base.
38.	White Pine	22.5"	Pinus alba	Fair - Roots exposed & bound; Lopsided canopy.
39.	Red Maple	25"	Acer rubrum	Good

- SOILS KEY
- 1B - Galla silt loam (Hydrologic Soil Group B), 3 to 8% slopes
  - 1C - Galla silt loam (Hydrologic Soil Group B), 8 to 15% slopes
  - 2B - Galleburg silt loam (Hydrologic Soil Group B), 3 to 8% slopes
  - 16D - Brinklow - Blocktown silt loam (Hydrologic Soil Group B/C/D), 15 to 25% slopes
  - 116E - Blocktown silt loam (Hydrologic Soil Group B/C/D), 15 to 25% slopes
  - 116F - Blocktown silt loam (Hydrologic Soil Group C/D), 25 to 45% slopes, very rocky

Notes: Diameters are given for each trunk of multiple truncate trees when truncation occurs below 4.5 feet. If major truncation occurs above 4.5 feet only the trunk diameter at 4.5 feet is given. \* indicates specimen trees. Tree ID numbers correspond to those assigned on Natural Resource Inventory/Forest Stand Delineation Map.

NATURAL RESOURCE INVENTORY/FOREST STAND DELINEATION CERTIFICATION

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING STATE AND COUNTY FOREST CONSERVATION LEGISLATION.

APPLICANT  
MR. STEVE CARSTENS  
3032 CASTLE LEIGH ROAD  
SILVER SPRING, MD. 20904  
(301) 453-4224

JUNE 20, 1995  
DATE

J.D. Sievers  
JOHN DOUGLAS SIEVERS  
RECOGNIZED AS QUALIFIED PROFESSIONAL  
BY MD DEPT. OF NATURAL RESOURCES

TAX MAP KS 342 & KS 343 W.S.S.C. 3 UE 221 & 3 UE 222

NATURAL RESOURCE INVENTORY / FOREST STAND DELINEATION PLAN  
**SPENCER FARM**  
PARCEL 145 & PARCEL 303

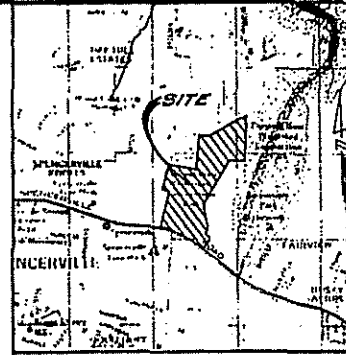
5TH ELECTION DISTRICT  
MONTGOMERY COUNTY MARYLAND

**Macris, Hendricks and Glascock, P.A.**  
Engineers • Planners • Surveyors

Suite 120  
9220 Wightman Road  
Gaithersburg, Maryland  
20879  
(301) 670-0840

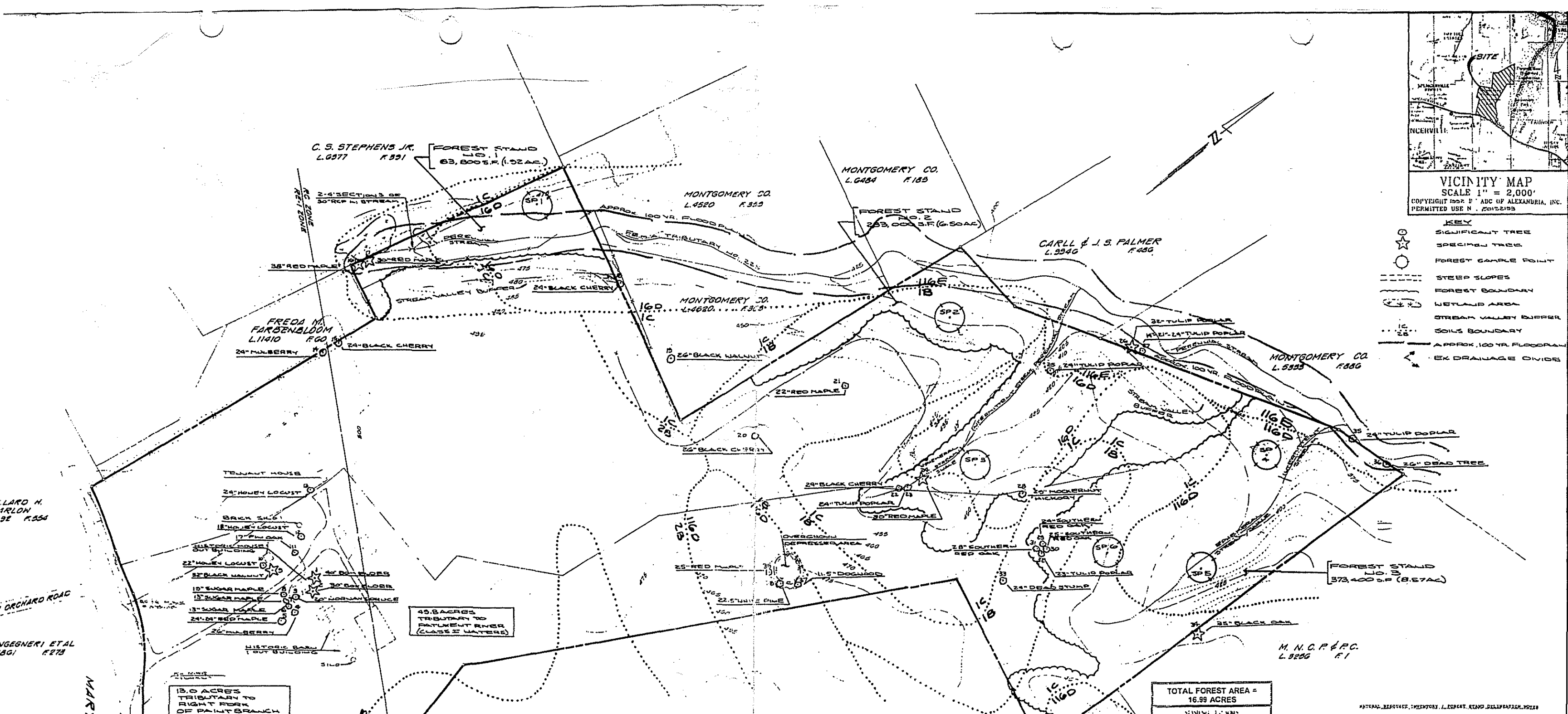
Designed	Drawn
JDS	SG
Date	Scale
6/16/95	1"=100'
Job No.	Sheet
95-323	L of L





VICINITY MAP  
SCALE 1" = 2,000'  
COPYRIGHT 1987 BY ABC OF ALEXANDRIA, INC.  
PERMITTED USE N. 2015293

- KEY**
- SIGNIFICANT TREE
  - ☆ SPECIALTY TREE
  - FOREST SAMPLE POINT
  - STEEP SLOPES
  - FOREST BOUNDARY
  - WETLAND AREA
  - STREAM VALLEY BUFFER
  - SOILS BOUNDARY
  - APPROX. 100 YR. FLOODPLAIN
  - EX DRAINAGE DIVIDE



TOTAL FOREST AREA =  
16.99 ACRES

ID	COMMON NAME	DBH	BOTANICAL NAME	CONDITION/REMARKS
1.	Box Elder	40"	Acer negundo	Fair - Measured at 7' above ground; 5 main trunks; bark at base shows 1 major trunk dying.
2.	Box Elder	34"	Acer negundo	Good
3.	Box Elder	34"	Picea sp.	Very fruitful but ragged appearance with many minor 4-14" branches.
4.	Hulberry	34"	Morus sp.	Good
5.	Red Maple	24"-28"	Acer rubrum	Good
6.	Sugar Maple	18"	Acer saccharum	Good
7.	Sugar Maple	15"	Acer saccharum	Good
8.	Sugar Maple	15"	Acer saccharum	Good
9.	Black Walnut	24"	Juglans nigra	Good
10.	Honey Locust	34"	Gleditsia triacanthos	Good
11.	Red Oak	24"	Quercus prinus	Good
12.	Honey Locust	24"	Gleditsia triacanthos	Good
13.	Honey Locust	24"	Gleditsia triacanthos	Good
14.	Hulberry	24"	Morus sp.	Good
15.	Black Cherry	34"	Prunus serotina	Good
16.	Red Maple	34"	Acer rubrum	Good
17.	Red Maple	34"	Acer rubrum	Good
18.	Black Cherry	24"	Prunus serotina	Fair
19.	Black Walnut	24"	Juglans nigra	Fair
20.	Black Cherry	24"	Prunus serotina	Fair
21.	Red Maple	24"	Acer rubrum	Good
22.	Black Cherry	24"	Prunus serotina	Good
23.	Tulip Poplar	24"	Liriodendron tulipifera	Good
24.	Red Maple	24"	Acer rubrum	Good
25.	Red Maple	24"	Acer rubrum	Good
26.	Tulip Poplar	24"	Liriodendron tulipifera	Good
27.	Tulip Poplar	24"	Liriodendron tulipifera	Good
28.	Tulip Poplar	24"	Liriodendron tulipifera	Good
29.	Black Walnut	24"	Juglans nigra	Good
30.	Southern Red Oak	24"	Quercus falcata	Good
31.	Southern Red Oak	24"	Quercus falcata	Good
32.	Tulip Poplar	24"	Liriodendron tulipifera	Good
33.	Southern Red Oak	24"	Quercus falcata	Good
34.	Dead stump	24"	Unknown	Dead - 10' height.
35.	Black Oak	24"	Quercus velutina	Good
36.	Tulip Poplar	24"	Liriodendron tulipifera	Good
37.	Dead Tree	34"	Unknown	Dead - 10' height.
38.	Dogwood	11.5"	Cornus florida	Fair - Stripped bark.
39.	White Pine	22.5"	Pinus strobus	Fair - Pests exposed to ground; lopsided canopy.
40.	Red Maple	24"	Acer rubrum	Good

Notes: Diameters are given for each trunk of multiple trunked trees when trunked trees occur. 4.5 feet. If major trunkline occurs above 4.5 feet only the trunk diameter at 4.5 feet is given. \* indicates specimen trees. Tree ID numbers correspond to those on the site map. Diameter measurements taken at 4.5 feet unless otherwise noted.

**SOILS KEY**

- 1b - Galla silt loam (Hydrologic Soil Group B), 1 to 4% slopes
- 1c - Galla silt loam (Hydrologic Soil Group B), 2 to 15% slopes
- 2a - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2b - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2c - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2d - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2e - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2f - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2g - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2h - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2i - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2j - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2k - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2l - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2m - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2n - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2o - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2p - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2q - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2r - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2s - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2t - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2u - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2v - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2w - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2x - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2y - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes
- 2z - Glenelg silt loam (Hydrologic Soil Group B), 3 to 24 slopes

APPLICANT: MARYLAND STATE DEPARTMENT OF NATURAL RESOURCES, 3032 CASTLE LEIGH ROAD, SILVER SPRING, MD 20910, (301) 592-2024

DATE: 6/1/87

DESIGNED BY: JOHN DOUGLAS DENVER

PROFESSIONAL SEAL: JOHN DOUGLAS DENVER, REGISTERED PROFESSIONAL SURVEYOR, NO. 10000, STATE OF MARYLAND

TAX MAP KS 342; KS 343 W.S.S.C. 3 NE 221; 3 NE 222

NATURAL RESOURCE INVENTORY/FOREST STAND DELINEATION PLAN  
SPENCER FARM  
PARCEL 145 & PARCEL 305

ST. ELECTORAL DISTRICT  
MONTGOMERY COUNTY, MARYLAND

Macyis, Hendricks and Glascock, P.A.  
Engineers • Planners • Surveyors

616 1/2  
322 W. Johns Road  
Gaithersburg, Md. 20878  
(301) 928-1242

Designed: JGD  
Drawn: GGD  
Date: 6/1/87  
Scale: 1" = 100'  
Job No: 88-005  
Sheet: 1 of 1



## HISTORIC PRESERVATION COMMISSION STAFF REPORT

CASE: Spencer Farm (includes  
Spencer/Carr Farm,  
Master Plan Site #15/55)

DATE: September 13, 1995

CASE NUMBER: #7-96005

TYPE OF REVIEW: Subdivision  
(PRELIMINARY CONSULTATION)

PREPARED BY: Patricia Parker

ADDRESS: 2420 Spencerville Road

---

### BACKGROUND:

This plan proposes the creation of twenty-five lots, varying in size from 15,000 square feet to approximately 2.46 acres for building lots and over 13 acres for open space. The farmhouse and outbuildings of the Spencer/Carr Farm that are on the Master Plan for Historic Preservation are situated on a separate parcel of 22.9 acres within the area proposed for subdivision with ultimate use of this parcel as a church site. The entire property is approximately 62 acres.

At the time of designation, the acreage of the Spencer-Carr Farm was 97.76 acres. This acreage is under the ownership of several parties. This proposal includes approximately two-thirds of the original acreage associated with the farm. The remaining acreage is under different ownership and includes only a small shed on that portion of the property.

The Spencer/Carr Farm (Master Plan Site #15/55) is retained on Parcel C visible from Spencerville Road. The Amendment to the Master Plan for Historic Preservation states:

"...At the time of subdivision, a refined setting should provide a vista of the house and include sufficient review area to protect the integrity of the resource...."

The main building ca.1855, with a later 1870 addition, is three stories and is distinguished by the "Spencerville" style. This style is characterized by special detailing which includes half windows on the third story extending into a boxed cornice and roof line. The house has 3/3 windows on the third floor and a one-story porch with bracketed pillars on the front facade. Chimneys are internal.

The house, a significant example of vernacular architecture, built in Montgomery County between the mid-19th through the early 20th centuries, is reputed to have been the first house built in Spencerville by William Spencer (the founder of Spencerville).



## DISCUSSION:

This proposal to subdivide the property is one of adaptive re-use. The applicant proposes a new building program to provide a religious campus for Cedar Ridge Community Church. The proposal is creative and offers a mixed-use building program sensitive in composition. The farmhouse would be restored to use as a residence or office space for the church. The historic drive, commencing at Spencerville Road, would not be used as the principal entrance, but incorporated as part of planned nature trails. All other buildings, including the historic barn, are proposed for demolition. At the perimeter surrounding Parcel C (which would include the main house and farm buildings) twenty-five individual building lots would be situated. A new road with cul-de-sac would be cut at the northern edge of Parcel C to provide access to the building lots. The proposal also includes the construction of a new entrance drive within Parcel C. The establishment of this feature is unresolved at this time due to concerns of State Highways. This new entrance drive would also terminate in rather sizeable parking lots to serve the church complex.

The review of this subdivision proposal requests the HPC to:

- 1) establish a new environmental setting;
- 2) comment on the appropriateness of the redevelopment proposal and its impact on the historic site;
- 3) determine which buildings should be preserved; and
- 4) comment on the parking scheme and new road system as proposed.

### Issue One: Establishment of a new environmental setting

The Amendment to the Master Plan for Historic Preservation provides for reduction of the environmental setting as originally established. As stated within the Amendment, the setting should be refined and provide sufficient viewsheds to protect the integrity of the resource.

Staff feels that this proposal is consistent with this objective with one revision. Maintaining the historic entry drive is very important. Staff feels that design of an entrance to parking could be included to utilize the historic drive if the historic road was extended to continue behind the historic buildings serving as parking areas.

### Issue Two: Appropriateness of the Proposal/Impact on Historic Site

The existing zoning is RE-1 cluster acre zoning over 15.7 acres and RC zoning over 47.1 acres. Under these zoning categories, in Re-1 the applicant is permitted one single-family dwelling unit per acre; and under RC zoning the applicant is permitted one single-family dwelling per five acres. Rural open space is maintained. This proposal is consistent with these purposes; therefore, the density as shown on the proposal is permitted.

Staff feels that the proposal to develop individual building lots at the perimeter of a 22.9 acre parcel including the historic buildings is very sensitive and consistent with the preservation and creative adaptive re-use of the property. The Secretary of the Interior's Standards for Rehabilitation address the issue of altering a site:

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

**Issue Three: Which Buildings Should be Preserved to Keep the Setting Intact:**

As proposed, Parcel C would include the main house, other outbuildings and the historic drive. Acreage for Parcel C is substantial as delineated by the plan so that further intrusion can be avoided. However, the proposal includes the demolition of several buildings which include a trailer, milkhouse, barn, concrete block silo, red brick silo, horse stalls (a metal building) and three other outbuildings. The applicant also proposes to demolish a later rear addition to the main house. Staff considers the rear addition, even though completed after the building was initially constructed, to be important as a representation of the development of the Spencer-Carr Farm.

Staff applauds the applicant for the creative new use proposed for the property. But staff is concerned about the demolition of the historic barn. Staff is not yet convinced that the barn is unsalvageable and considers the barn and the outbuilding (described as Building "H" on the plans) to be important as a contributing features of the historic setting. The other outbuildings appear to be of recent construction and therefore out-of-period. They would not be considered as contributing features to the 19th century setting.

**Issue Four: New Parking Scheme and Road System**

This proposal also includes the construction of a new road system and several large parking areas within the proposed environmental setting. Staff is concerned about the size of the new parking areas and their proximity to the historic house and outbuildings. Staff is also concerned about the establishment of a new entrance road.

Staff feels that the parking should be creatively buffered and substantially separated from the historic buildings. Staff also feels that the creation of another entrance drive off Spencerville Road may be visually confusing and inconsistent with the purpose of the historic drive - as a principal entrance with first arrival at the main house. Staff feels that the HPC may want to discuss these two issues.

A mixed hedgerow of deciduous and evergreen trees should be planted along the property line of Parcel C in combination with existing foliage to provide adequate buffering of the new road to serve the individual building lots.

**STAFF RECOMMENDATIONS:**

Based on the issues discussed above, staff recommends that the HPC allow the applicant to proceed toward final design of this redevelopment plan with the following conditions:

- o The historic drive should be maintained and be extended behind the historic buildings and re-used to provide access to new parking areas. Surfacing should be gravel. The proposed alteration of the road should be submitted to staff for review.
- o The historic barn should be restored and incorporated in the development scheme.
- o Provide adequate buffering for the historic property along the new road to serve individual building lots.
- o Submit building designs for all new church buildings within the reduced environmental setting. (This work may be submitted as part of HAWP submissions for HPC review)

# THEODORAKOS ARCHITECTS, PC

Architecture / Space Planning / Interior Design  
4938 Hampden Lane Suite 108 Bethesda, Maryland 20814  
(301) 215-6762 / Fax (301) 215-7218

24 August 1995

Mr. Walter Booth, Chairperson  
Montgomery County Historic Preservation Commission  
c/o  
Ms. Gwen Marcus, Design, Zoning and Preservation  
The Maryland-National Capital Park and Planning Commission  
8787 Georgia Avenue  
Silver Spring, MD 20910

Dear Mr. Booth:

On behalf of Cedar Ridge Community Church, I would like to propose a new building program for the project on the Spencerville Farmstead which we feel will be sympathetic to its rich history and landscape.

To establish the new building program for our community church project, we have carefully evaluated the existing buildings and remaining site, and have prepared for your review the following list of buildings with a description of our intent for each: (Please refer to the Site Plan and slides of each building provided by Gwen Marcus).

- A. **Farmhouse:** It is our intention to preserve the original farmhouse as one of the main features in our program. We are currently considering using it as a residence or staff office. We have some concern, however, regarding the structural integrity of the addition. We have included a copy of a letter from Mr. Kidwell, owner of Construction Project Services which has prompted us to engage a Certified Structural Engineer to prepare a report that will help us determine how to best use this building. If the addition is reported to be structurally unsound, we may need to remove it and consider a new addition. We will send a copy of the report as soon as it is completed. The dirt road leading to the farmhouse will not be used in our program, but may be integrated as part of the planned nature trails.
- B. **Trailor:** Removal
- C. **Milkhouse:** This building makes no significant contribution to the history of the site, and is not usable in our new program vision. Our proposal is to remove it and use the space as an "outdoor room" that with proper landscaping could

help set up and frame a better view of the farmhouse from Spencerville Road.

- D. **Barn:** After much consideration regarding how to use this building in our program, we feel that while it does contribute to the historic farmstead, it does not have any particular architectural distinctiveness as does the farmhouse. We would like to propose that it be removed and replaced with another barn .

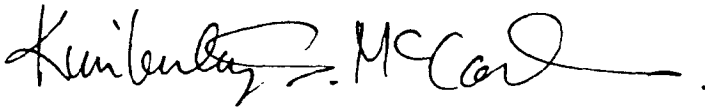
We envision a new barn that attempts to remember the old barn with gestures in architecture, but does not try to duplicate it. Our intention is to make a space within the barn that is large enough to be used as our worship / assembly space until we can complete the Fundraising necessary to build the new assembly space and classrooms. Our primary reasons for proposing a new barn include extreme economic necessity, and to embrace the farmstead concept. We feel strongly that a new larger barn would satisfy our phasing needs both economically and philosophically. The barn used in the church context is rich with metaphors that are meaningful to us as a growing church community. For example, the metaphor in the history of community barn raising has been used as a theme in our own Fundraising campaign. We also value its simplicity in architecture and materials and hope to let the farmstead architecture inform the design of the entire project. Once a new assembly space can be funded and built, we hope to continue using the new barn for multipurpose; boys and girls clubs, general church activities, classrooms and offices.

- E. **Concrete Block Silo:** We propose this silo be removed since it does not have historic significance nor is it usable in our program.
- F. **Butler Building:** This is a large corrugated metal building which is currently being used for horse stalls. It is not consistent with our program needs and has no historic contribution so we propose that it be removed. Additionally, it is the site where we would like to consider our new assembly space.
- G. **Red Brick Silo:** Removal of this silo is necessary because of its location on housing lot 25. The easement and fault zone requirements would compromise the lot yield necessary for the project.
- H, I, and J. **Out Buildings:** These three buildings are not usable in our building program and we propose their removal. While they may contribute minimally to historic value, we feel the land and views created by their removal will best support our program while eliminating any possible liabilities.
- K. **Housing Lots 1-25:** We have chosen to develop lots only as a means to afford the property for our church program. It is our intention to develop lots that are sensitive to the adjoining farmstead concept and landscape by gently sweeping the perimeter of the site and responding to the natural topography. Dictating by covenant an architectural style and equestrian flavor consistent with the project.

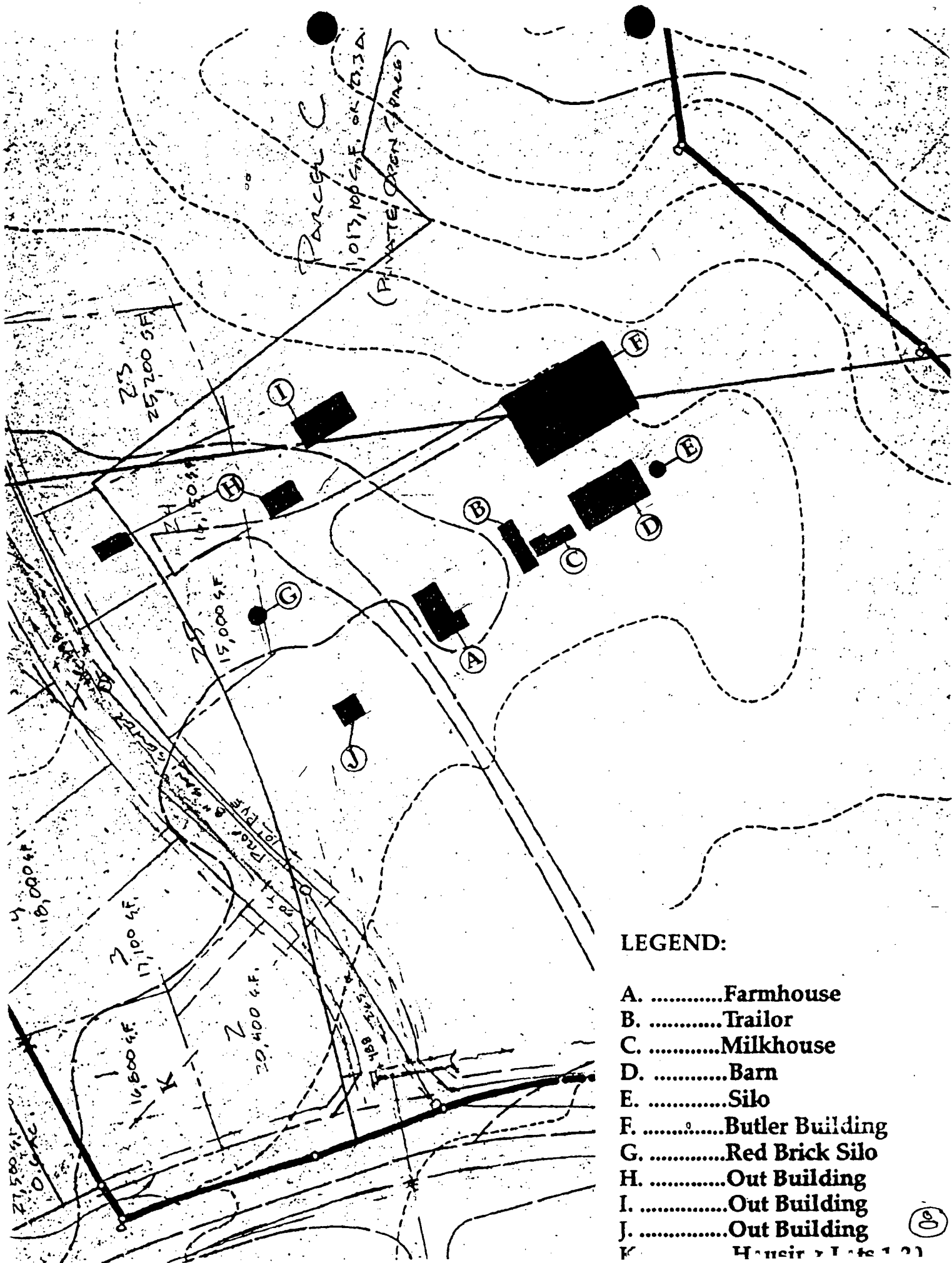
In summary, the vision of Cedar Ridge Community Church is to establish a church home and a place to grow spiritually. To accomplish this, it will be necessary to carefully phase the development; first to preserve the farmhouse and make it habitable, second to develop the housing lots, third remove buildings not used, fourth to rebuild the barn, and lastly to build our new assembly space.

As an architect, I have truly been inspired by the investigation of the Spencerville farmstead site, and I look forward to an opportunity to meet with you and members of the Cedar Ridge staff on September 13, 1995 to discuss further the incredible richness and potential for this very special project.

Respectfully,

A handwritten signature in black ink, reading "Kimberley S. McCarl". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Kimberley S. McCarl



**LEGEND:**

- A. ....Farmhouse
- B. ....Trailer
- C. ....Milkhouse
- D. ....Barn
- E. ....Silo
- F. ....Butler Building
- G. ....Red Brick Silo
- H. ....Out Building
- I. ....Out Building
- J. ....Out Building
- K. ....House

# CONSTRUCTION PROJECT SERVICES

of MD  
9528 48th Place  
College Park, MD 20740  
(301) 220-1169 (MHIC #31883)

21 August 1995

Cedar Ridge Community Church  
c/o Mr. Steve Carsten

Dear Steve,

Yesterday I accompanied Mr. James Allen to the Carr Farm property in Spencerville to evaluate the structural soundness of the original dwelling on the grounds.

While the original house is of historic significance and remains in sound structural condition, the rear portion (added sometime after the initial house was built) is failing.

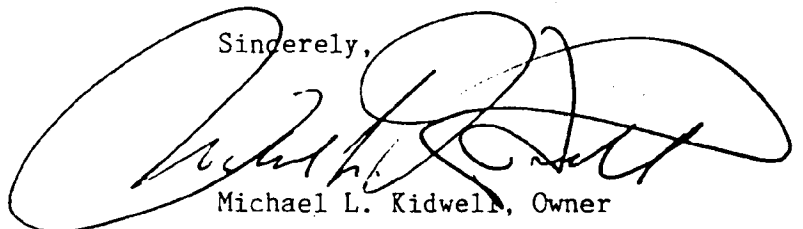
It appears that a single story addition to the main dwelling was constructed with the top of the wall being approximately six feet above the main house floor level (most likely with the floor on grade). At a later time, someone added a second story, bearing on the existing exterior walls. Windows were placed between the lower and upper walls, requiring demolition of a portion of the lower wall, which substantially weakened the continuous tie and caused the entire wall to buckle outward from the load imposed by the second story. This is most obvious along one side wall, but I feel eventually the whole perimeter of the building will collapse in the same fashion.

For this reason it is my opinion that the 22'x34' rear portion of the structure should be demolished entirely. It could be rebuilt, if desired, using proper construction techniques, and as long as the existing foundation is deemed acceptable to carry the load imposed. The original house should remain and be restored to it's historic exterior appearance, since this would require little more than construction of a cosmetic nature.

I appreciate the opportunity to render my opinion in this matter to the Church, and would like to be involved in this project through completion. I have twenty years experience in the construction industry, most of which has been in a managerial capacity.

I would like to meet with you to discuss my available services. Please contact me at (301) 220-1169 if I may be of further assistance.

Sincerely,



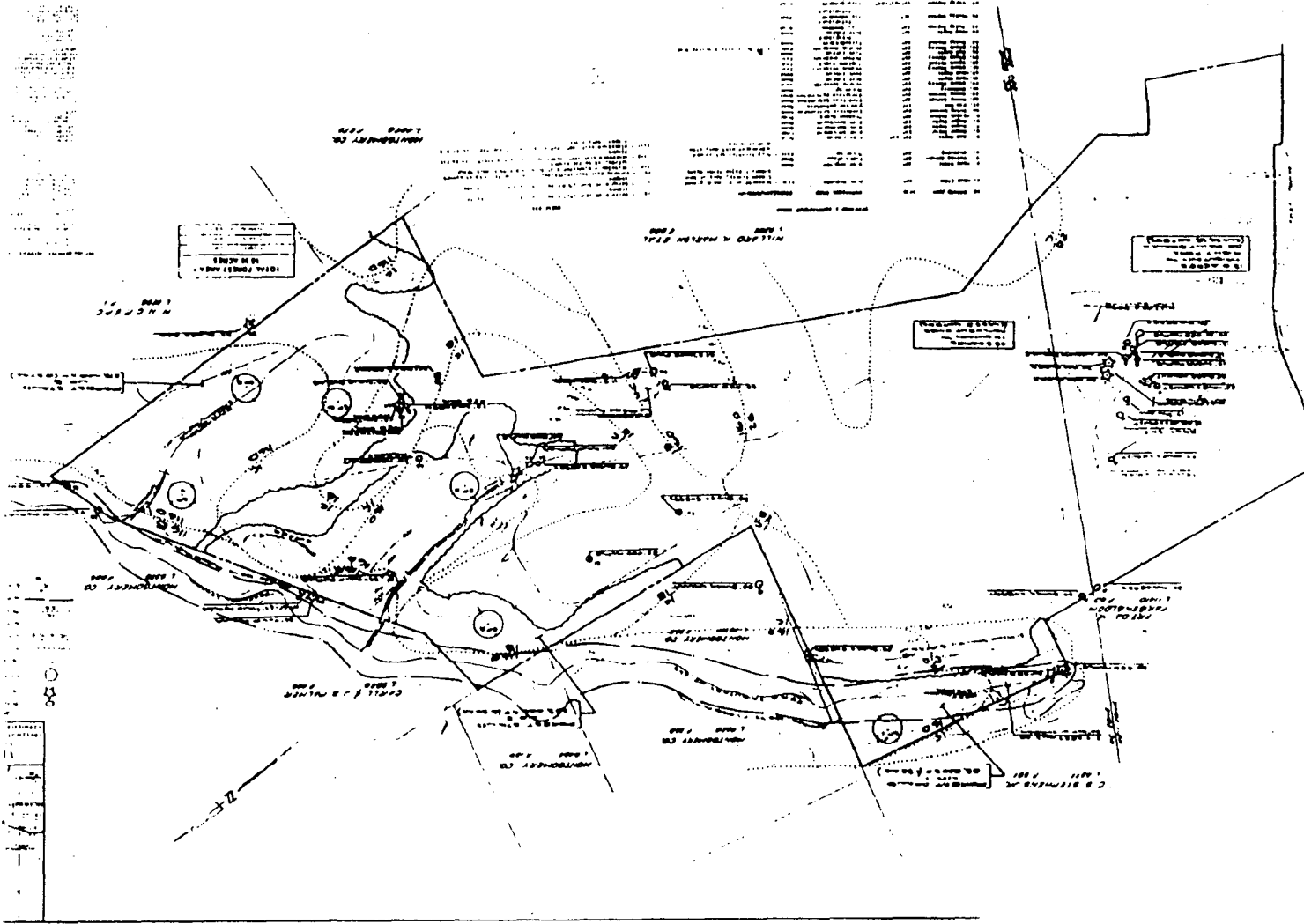
Michael L. Kidwell, Owner





TAX MAP NO. 342 - KARMS 1953  
 U.S. GEOLOGICAL SURVEY  
 STAFF OFFICE  
 SPENCER, MA  
 1953

This map shows the location of the proposed  
 project in relation to the surrounding  
 land. The project is located on the  
 eastern side of the map, near the  
 intersection of the main road and  
 the railroad. The project area is  
 bounded by the railroad to the north  
 and the main road to the east. The  
 project is shown in a shaded area.  
 The map also shows the location of  
 other features such as the  
 railroad, the main road, and the  
 surrounding land. The map is  
 drawn to a scale of 1 inch = 100  
 feet.



# THEODORAKOS ARCHITECTS, PC

Architecture / Space Planning / Interior Design  
4938 Hampden Lane Suite 108 Bethesda, Maryland 20814  
(301) 215-6762 / Fax (301) 215-7218

23 August, 1995

Mr. Walter Booth, Chairperson  
Montgomery County Historic Preservation Commission  
c/o  
Ms. Gwen Marcus, Historic Preservation  
Design, Zoning and Preservation  
The Maryland-National Capital Park and Planning Commission  
8787 Georgia Avenue  
Silver Spring, MD 20910

Dear Mr. Booth:

On behalf of Cedar Ridge Community Church, I would like to propose a new building program for the project on the Spencerville Farmstead which we feel will be very sympathetic to its rich history and landscape.

To establish the new building program for our church community project, we have carefully evaluated the existing buildings and remaining site, and have prepared for your review the following list of buildings with a description of our intent for each:  
(Note: Please refer to Site Plan and slides of each building provided by Gwen Marcus)

- A. **Farmhouse:** It is our intention to preserve the original house and dirt road leading to it as one of the main features in our program. We are currently considering using it as a residence or staff office. We have some concern, however, regarding the structural integrity of the addition. We have included a copy of a letter from Mr. Kidwell, owner of Construction Project Services which has prompted us to engage a Certified Structural Engineer to prepare a report that will help us determine how to best use this building. If the addition is reported to be structurally unsound, we may need to remove it and consider a new addition. We will send a copy of the report as soon as it is completed.
- B. **Trallor: Removal**
- C. **Milkhouse:** This building makes no significant contribution to the history of the site, and is not usable in our new program vision. Our proposal is to remove it and use the space as an "outdoor room" that with proper landscaping could

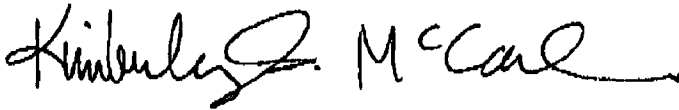
help set up and frame a better view of the farmhouse from Spencerville Road.

- D. Barn:** After much consideration regarding how to use this building in our program, we feel that while it does contribute to the historic farmstead, it does not have any particular architectural distinctiveness as does the farmhouse. We would like to propose that it be removed and replaced with another barn. We envision a new barn that attempts to remember the old barn with gestures in architecture, but does not try to duplicate it. Our intention is to make a space within the barn that is large enough to be used as our worship / assembly space until we can complete the Fundraising necessary to build the new assembly space and classrooms. Our primary reasons for proposing a new barn include extreme economic necessity, and to embrace the farmstead concept. We feel strongly that a new larger barn would satisfy our phasing needs both economically and philosophically. The barn used in the church context is rich with metaphors that are meaningful to us as a growing church community. For example, the metaphor in the history of community barn raising has been used as a theme in our own Fundraising campaign. We also value its simplicity in architecture and materials and hope to let the farmstead architecture inform the design of the entire project. Once a new assembly space can be funded and built, we hope to continue using the new barn for multipurpose; boys and girls clubs, general church activities, classrooms and offices.
- E. Silo:** It is probable that this silo will be removed since it does not have historic significance nor is it usable in our program. It does however have value in contributing to the overall attitude of farmstead, however size and design of the new barn may dictate its removal.
- F. Butler Building:** This is a large corrugated metal building which is currently being used for horse stalls. It is not consistent with our program needs and has no historic contribution so we propose that it be removed. Additionally, it is the site where we would like to consider our new assembly space.
- G. Red Brick Silo:** This silo seems to have some historic value and if possible, we would like to keep it as is.
- H, I, and J. Out Buildings:** These three buildings are not usable in our building program and we propose their removal. While they may contribute minimally to historic value, we feel the land and views created by their removal will best support our program while eliminating any possible liabilities.
- K. Housing Lots 1-20:** We have chosen to develop lots only as a means to afford the property for our church program. It is our intention to develop lots that are sensitive to the adjoining farmstead concept and landscape by gently sweeping the perimeter of the site and responding to the natural topography. Dictating by covenant an architectural style and equestrian flavor consistent with the project.

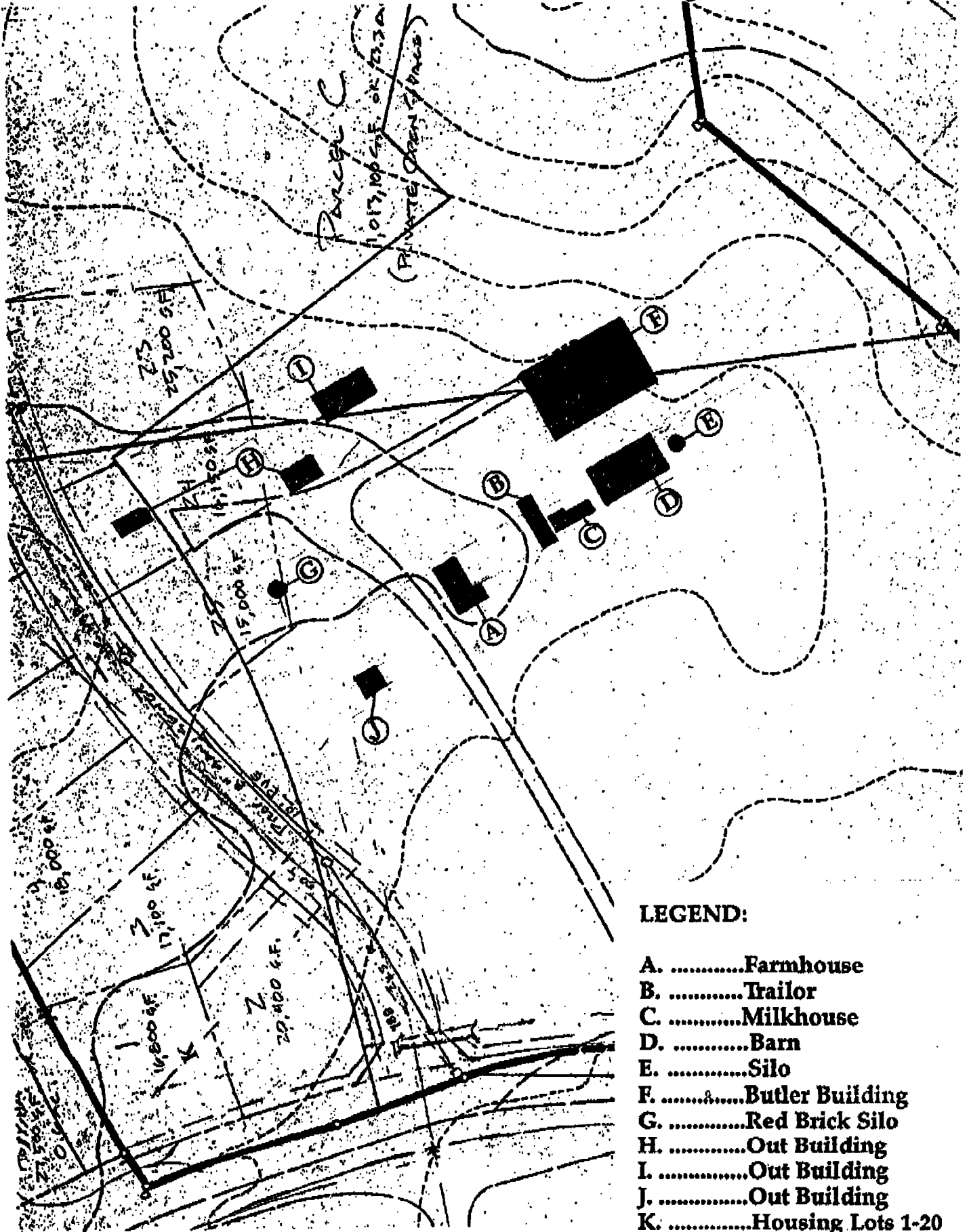
In summary, the vision of Cedar Ridge Community Church is to establish a church home and a place to grow spiritually. To accomplish this, it will be necessary to carefully phase the development; first to preserve the farmhouse and make it habitable, second to develop the housing lots, third remove buildings not used, fourth to rebuild the barn, and lastly to build our new assembly space.

As an architect, I have truly been inspired by the investigation of the Spencerville farmstead site, and I look forward to an opportunity to meet with you and members of the Cedar Ridge staff on September 13, 1995 to discuss further the incredible richness and potential for this very special project.

Respectfully,

A handwritten signature in black ink, reading "Kimberley S. McCarl". The signature is written in a cursive style with a long horizontal flourish at the end.

Kimberley S. McCarl



**LEGEND:**

- A. ....Farmhouse
- B. ....Trailer
- C. ....Milkhouse
- D. ....Barn
- E. ....Silo
- F. ....Butler Building
- G. ....Red Brick Silo
- H. ....Out Building
- I. ....Out Building
- J. ....Out Building
- K. ....Housing Lots 1-20

**CONSTRUCTION PROJECT SERVICES**

of MD

9528 48th Place

College Park, MD 20740

(301) 220-1169 (WHIC#31883)

21 August 1995

Cedar Ridge Community Church  
c/o Mr. Steve Carsten

Dear Steve,

Yesterday I accompanied Mr. James Allen to the Carr Farm property in Spencerville to evaluate the structural soundness of the original dwelling on the grounds.

While the original house is of historic significance and remains in sound structural condition, the rear portion (added sometime after the initial house was built) is failing.

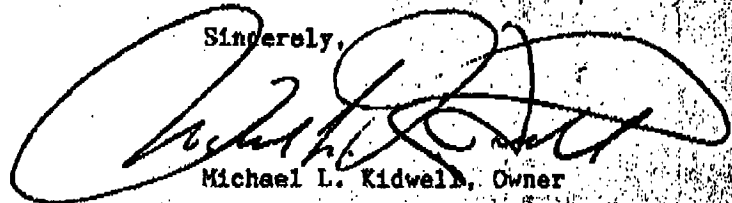
It appears that a single story addition to the main dwelling was constructed with the top of the wall being approximately six feet above the main house floor level (most likely with the floor on grade). At a later time, someone added a second story, bearing on the existing exterior walls. Windows were placed between the lower and upper walls, requiring demolition of a portion of the lower wall, which substantially weakened the continuous tie and caused the entire wall to buckle outward from the load imposed by the second story. This is most obvious along one side wall, but I feel eventually the whole perimeter of the building will collapse in the same fashion.

For this reason it is my opinion that the 22'x34' rear portion of the structure should be demolished entirely. It could be rebuilt, if desired, using proper construction techniques, and as long as the existing foundation is deemed acceptable to carry the load imposed. The original house should remain and be restored to its historic exterior appearance, since this would require little more than construction of a cosmetic nature.

I appreciate the opportunity to render my opinion in this matter to the Church, and would like to be involved in this project through completion. I have twenty years experience in the construction industry, most of which has been in a managerial capacity.

I would like to meet with you to discuss my available services. Please contact me at (301) 220-1169 if I may be of further assistance.

Sincerely,



Michael L. Kidwell, Owner

# THEODORAKOS ARCHITECTS, PC

Architecture / Space Planning / Interior Design  
4938 Hampden Lane Suite 108 Bethesda, Maryland 20814  
(301) 215-6762 / Fax (301) 215-7218

23 August, 1995

Mr. Walter Booth, Chairperson  
Montgomery County Historic Preservation Commission  
c/o  
Ms. Gwen Marcus, Historic Preservation  
Design, Zoning and Preservation  
The Maryland-National Capital Park and Planning Commission  
8787 Georgia Avenue  
Silver Spring, MD 20910

Dear Mr. Booth:

On behalf of Cedar Ridge Community Church, I would like to propose a new building program for the project on the Spencerville Farmstead which we feel will be very sympathetic to its rich history and landscape.

To establish the new building program for our church community project, we have carefully evaluated the existing buildings and remaining site, and have prepared for your review the following list of buildings with a description of our intent for each:  
(Note: Please refer to Site Plan and slides of each building provided by Gwen Marcus)

- A. **Farmhouse:** It is our intention to preserve the original house and dirt road leading to it as one of the main features in our program. We are currently considering using it as a residence or staff office. We have some concern, however, regarding the structural integrity of the addition. We have included a copy of a letter from Mr. Kidwell, owner of Construction Project Services which has prompted us to engage a Certified Structural Engineer to prepare a report that will help us determine how to best use this building. If the addition is reported to be structurally unsound, we may need to remove it and consider a new addition. We will send a copy of the report as soon as it is completed.
- B. **Trallor: Removal**
- C. **Milkhouse:** This building makes no significant contribution to the history of the site, and is not usable in our new program vision. Our proposal is to remove it and use the space as an "outdoor room" that with proper landscaping could



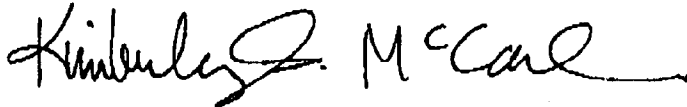
help set up and frame a better view of the farmhouse from Spencerville Road.

- D. **Barn:** After much consideration regarding how to use this building in our program, we feel that while it does contribute to the historic farmstead, it does not have any particular architectural distinctiveness as does the farmhouse. We would like to propose that it be removed and replaced with another barn. We envision a new barn that attempts to remember the old barn with gestures in architecture, but does not try to duplicate it. Our intention is to make a space within the barn that is large enough to be used as our worship / assembly space until we can complete the Fundraising necessary to build the new assembly space and classrooms. Our primary reasons for proposing a new barn include extreme economic necessity, and to embrace the farmstead concept. We feel strongly that a new larger barn would satisfy our phasing needs both economically and philosophically. The barn used in the church context is rich with metaphors that are meaningful to us as a growing church community. For example, the metaphor in the history of community barn raising has been used as a theme in our own Fundraising campaign. We also value its simplicity in architecture and materials and hope to let the farmstead architecture inform the design of the entire project. Once a new assembly space can be funded and built, we hope to continue using the new barn for multipurpose; boys and girls clubs, general church activities, classrooms and offices.
- E. **Silo:** It is probable that this silo will be removed since it does not have historic significance nor is it usable in our program. It does however have value in contributing to the overall attitude of farmstead, however size and design of the new barn may dictate its removal.
- F. **Butler Building:** This is a large corrugated metal building which is currently being used for horse stalls. It is not consistent with our program needs and has no historic contribution so we propose that it be removed. Additionally, it is the site where we would like to consider our new assembly space.
- G. **Red Brick Silo:** This silo seems to have some historic value and if possible, we would like to keep it as is.
- H, I, and J. **Out Buildings:** These three buildings are not usable in our building program and we propose their removal. While they may contribute minimally to historic value, we feel the land and views created by their removal will best support our program while eliminating any possible liabilities.
- K. **Housing Lots 1-20:** We have chosen to develop lots only as a means to afford the property for our church program. It is our intention to develop lots that are sensitive to the adjoining farmstead concept and landscape by gently sweeping the perimeter of the site and responding to the natural topography. Dictating by covenant an architectural style and equestrian flavor consistent with the project.

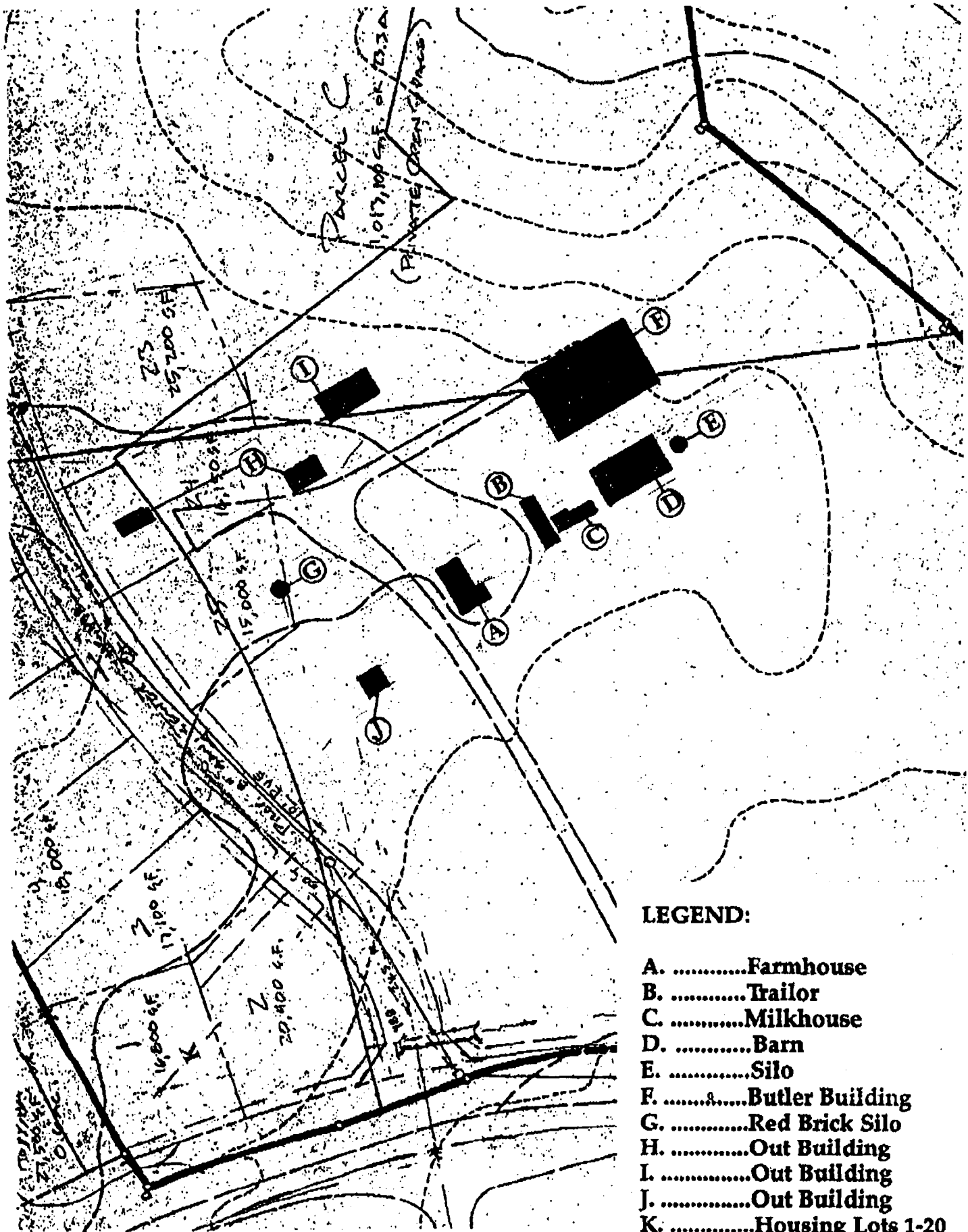
In summary, the vision of Cedar Ridge Community Church is to establish a church home and a place to grow spiritually. To accomplish this, it will be necessary to carefully phase the development; first to preserve the farmhouse and make it habitable, second to develop the housing lots, third remove buildings not used, fourth to rebuild the barn, and lastly to build our new assembly space.

As an architect, I have truly been inspired by the investigation of the Spencerville farmstead site, and I look forward to an opportunity to meet with you and members of the Cedar Ridge staff on September 13, 1995 to discuss further the incredible richness and potential for this very special project.

Respectfully,

A handwritten signature in black ink that reads "Kimberley S. McCarl". The signature is written in a cursive, flowing style.

Kimberley S. McCarl



**LEGEND:**

- A. ....Farmhouse
- B. ....Trailer
- C. ....Milkhouse
- D. ....Barn
- E. ....Silo
- F. ....Butler Building
- G. ....Red Brick Silo
- H. ....Out Building
- I. ....Out Building
- J. ....Out Building
- K. ....Housing Lots 1-20

**CONSTRUCTION PROJECT SERVICES**

OF MD

9528 48th Place

College Park, MD 20740

(301) 220-1169 (MHIC #31883)

21 August 1995

Cedar Ridge Community Church  
c/o Mr. Steve Caracen

Dear Steve,

Yesterday I accompanied Mr. James Allen to the Carr Farm property in Spencerville to evaluate the structural soundness of the original dwelling on the grounds.

While the original house is of historic significance and remains in sound structural condition, the rear portion (added sometime after the initial house was built) is failing.

It appears that a single story addition to the main dwelling was constructed with the top of the wall being approximately six feet above the main house floor level (most likely with the floor on grade). At a later time, someone added a second story, bearing on the existing exterior walls. Windows were placed between the lower and upper walls, requiring demolition of a portion of the lower wall, which substantially weakened the continuous tie and caused the entire wall to buckle outward from the load imposed by the second story. This is most obvious along one side wall, but I feel eventually the whole perimeter of the building will collapse in the same fashion.

For this reason it is my opinion that the 22'x34' rear portion of the structure should be demolished entirely. It could be rebuilt, if desired, using proper construction techniques, and as long as the existing foundation is deemed acceptable to carry the load imposed. The original house should remain and be restored to its historic exterior appearance, since this would require little more than construction of a cosmetic nature.

I appreciate the opportunity to render my opinion in this matter to the Church, and would like to be involved in this project through completion. I have twenty years experience in the construction industry, most of which has been in a managerial capacity.

I would like to meet with you to discuss my available services. Please contact me at (301) 220-1169 if I may be of further assistance.

Sincerely,

  
Michael L. Kidwell, Owner

MINUTES  
DEVELOPMENT REVIEW COMMITTEE  
MEETING OF AUGUST 28, 1995

In Attendance:

J. Davis, M-NCPPC, DRD	K. Easley, M-NCPPC, DRD
G. Leck, MCDOT	B. James, WSSC
J. Cheung, MCDEP	L. Ponsford, M-NCPPC, DRD
S. Federline, M-NCPPC, EPD	S. Kindler, M-NCPPC, DRD
B. Thompson, Bell Atlantic	G. VonGunten, M-NCPPC,
G. Elliott, Parks Dept	F. Cascio, PEPCO
W. Witthans, M-NCPPC, DRD	G. Cooke, SHA

7-96004 WILLOWBROOK  
F. A. Vaduz - Applicant  
Stephen V. Goley - Engineer

Committee Comments:

1. DRD/TPD - revise plan to show south side of Willowbrook extended as an outlot and show dedication for Willowbrook Drive, Trotters Trail Road not required to connect through;
2. EPD - provide FCP at time of Preliminary Plan;
3. DRD - if part of Lot 3 is included in plan, must include all of Lot 3, show on preliminary plan;
4. DEP - SWM exempt and no floodplain, need drainage area map at Preliminary Plan stage;
5. DRD/DOT - need agreement/bond for the extension of Willowbrook, PIA at time of record plat, coordinate with DOT if bond is adequate;
6. WSSC - water/sewer connections required, need to reserve ROW for 20' and 10' water main;
7. PEPCO - show existing utilities on plan, provide ingress/egress/utilities easement on both sides of access road;
8. Tentative Planning Board date: October 5, 1995.

7-96005 ~~SPENCER FARM~~  
Steve Carstens - Applicant  
Macris, Hendricks & Glascock - Engineer

Committee Comments:

1. EPD - part of site is in Paint Branch Protection area and part is in Patuxent Watershed - applicant must meet with EPD and DEP prior to submission of Preliminary Plan - very concerned with these special protection areas and with the imperviousness of the area, also make sure that number of lots and lot sizes meet zone requirements;

*Other approvals necessary to permit cont. of imperviousness - recent Planning Bd. approved change to permit Good branch which all suggestions site for 120 ft. - not allow to site as the chunk was.*

7-96005 SPENCER FARM (Continued)

2. DRD - plan is in need of category change prior to Prelim Plan, must meet imperviousness criteria, show limits of imperviousness and show line between 2 zones on plan, church parcel must count as one residential lot;
3. DEP - submit overall drainage area map, will review SWM facility and its location after EPD and DRD issues are resolved (in case plan layout changes), FEMA maps show floodplain on site, provide info on drainage swale - who will maintain it;
4. WSSC - water/sewer authorization required, water transmission supply is deficient, may be dependant on CIP project, discuss grinder pump policy with WSSC;
5. SHA - dedication and truncation required, church access off public street, need traffic statement, denial of access on Rte 198, improvements along Rte 198 including curb improvements;
6. DOT - recommend relocating church for better access onto public street and sight distance, sidewalk along Rte 198 site frontage and along proposed cul-de-sac (one side is okay), need to show layout of church parking lot at building permit, record plat to reflect reciprocal access easement, private open space covenant to be recorded;
7. WSSC - show boundaries between Upper Patuxent and Potomac watersheds on plan, show tree line of Parcel A, driveway for Lot 18-21 concerned with slopes and impact on reservoir, may require environmental impact assessment;
8. Bell Atlantic - need greater than 10' PUE, sidewalk must be outside of PUE, can have PIE for sidewalk and have an overlapping PUE, but would have to have 10' free and clear - no sidewalk or curbs within;
9. Parks - make sure all lots have access to park, recommend "windows" into park - coordinate with Parks Dept further;
10. Hist. Preserv. - review of plan at the HPC on Sept 13th, recommend discussing access of church onto interior street prior to hearing with Hist. Pres. planner.

# THEODORA O'S ARCHITECTS, P.C.

Architecture / Space Planning / Interior Design  
4938 Hampden Lane Suite 108 Bethesda, Maryland 20814  
(301) 215-6762 / Fax (301) 215-7218

24 August 1995

Mr. Walter Booth, Chairperson  
Montgomery County Historic Preservation Commission  
c/o  
Ms. Gwen Marcus, Design, Zoning and Preservation  
The Maryland-National Capital Park and Planning Commission  
8787 Georgia Avenue  
Silver Spring, MD 20910

Dear Mr. Booth:

On behalf of Cedar Ridge Community Church, I would like to propose a new building program for the project on the Spencerville Farmstead which we feel will be sympathetic to its rich history and landscape.

To establish the new building program for our community church project, we have carefully evaluated the existing buildings and remaining site, and have prepared for your review the following list of buildings with a description of our intent for each: (Please refer to the Site Plan and slides of each building provided by Gwen Marcus).

- A. **Farmhouse:** It is our intention to preserve the original farmhouse as one of the main features in our program. We are currently considering using it as a residence or staff office. We have some concern, however, regarding the structural integrity of the addition. We have included a copy of a letter from Mr. Kidwell, owner of Construction Project Services which has prompted us to engage a Certified Structural Engineer to prepare a report that will help us determine how to best use this building. If the addition is reported to be structurally unsound, we may need to remove it and consider a new addition. We will send a copy of the report as soon as it is completed. The dirt road leading to the farmhouse will not be used in our program, but may be integrated as part of the planned nature trails.
- B. **Trailer:** Removal
- C. **Milkhouse:** This building makes no significant contribution to the history of the site, and is not usable in our new program vision. Our proposal is to remove it and use the space as an "outdoor room" that with proper landscaping could

help set up and frame a better view of the farmhouse from Spencerville Road.

- D. **Barn:** After much consideration regarding how to use this building in our program, we feel that while it does contribute to the historic farmstead, it does not have any particular architectural distinctiveness as does the farmhouse. We would like to propose that it be removed and replaced with another barn .

We envision a new barn that attempts to remember the old barn with gestures in architecture, but does not try to duplicate it. Our intention is to make a space within the barn that is large enough to be used as our worship / assembly space until we can complete the Fundraising necessary to build the new assembly space and classrooms. Our primary reasons for proposing a new barn include extreme economic necessity, and to embrace the farmstead concept. We feel strongly that a new larger barn would satisfy our phasing needs both economically and philosophically. The barn used in the church context is rich with metaphors that are meaningful to us as a growing church community. For example, the metaphor in the history of community barn raising has been used as a theme in our own Fundraising campaign. We also value its simplicity in architecture and materials and hope to let the farmstead architecture inform the design of the entire project. Once a new assembly space can be funded and built, we hope to continue using the new barn for multipurpose; boys and girls clubs, general church activities, classrooms and offices.

- E. **Concrete Block Silo:** We propose this silo be removed since it does not have historic significance nor is it usable in our program.
- F. **Butler Building:** This is a large corrugated metal building which is currently being used for horse stalls. It is not consistent with our program needs and has no historic contribution so we propose that it be removed. Additionally, it is the site where we would like to consider our new assembly space.
- G. **Red Brick Silo:** Removal of this silo is necessary because of its location on housing lot 25. The easement and fault zone requirements would compromise the lot yield necessary for the project.
- H, I, and J. **Out Buildings:** These three buildings are not usable in our building program and we propose their removal. While they may contribute minimally to historic value, we feel the land and views created by their removal will best support our program while eliminating any possible liabilities.
- K. **Housing Lots 1-25:** We have chosen to develop lots only as a means to afford the property for our church program. It is our intention to develop lots that are sensitive to the adjoining farmstead concept and landscape by gently sweeping the perimeter of the site and responding to the natural topography. Dictating by covenant an architectural style and equestrian flavor consistent with the project.



In summary, the vision of Cedar Ridge Community Church is to establish a church home and a place to grow spiritually. To accomplish this, it will be necessary to carefully phase the development; first to preserve the farmhouse and make it habitable, second to develop the housing lots, third remove buildings not used, fourth to rebuild the barn, and lastly to build our new assembly space.

As an architect, I have truly been inspired by the investigation of the Spencerville farmstead site, and I look forward to an opportunity to meet with you and members of the Cedar Ridge staff on September 13, 1995 to discuss further the incredible richness and potential for this very special project.

Respectfully,

A handwritten signature in black ink, reading "Kimberley S. McCarl". The signature is written in a cursive style with a long horizontal flourish extending to the right.

Kimberley S. McCarl



# CONSTRUCTION PROJECT SERVICES

of MD  
9528 48th Place  
College Park, MD 20740  
(301) 220-1169 (MHIC #31883)

21 August 1995

Cedar Ridge Community Church  
c/o Mr. Steve Carsten

Dear Steve,

Yesterday I accompanied Mr. James Allen to the Carr Farm property in Spencerville to evaluate the structural soundness of the original dwelling on the grounds.

While the original house is of historic significance and remains in sound structural condition, the rear portion (added sometime after the initial house was built) is failing.

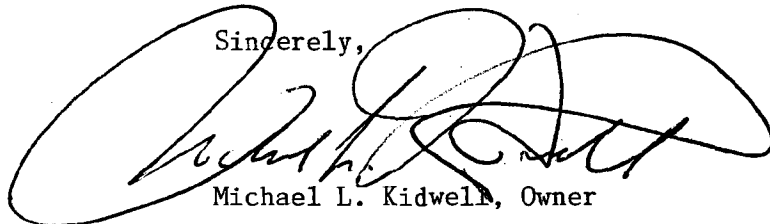
It appears that a single story addition to the main dwelling was constructed with the top of the wall being approximately six feet above the main house floor level (most likely with the floor on grade). At a later time, someone added a second story, bearing on the existing exterior walls. Windows were placed between the lower and upper walls, requiring demolition of a portion of the lower wall, which substantially weakened the continuous tie and caused the entire wall to buckle outward from the load imposed by the second story. This is most obvious along one side wall, but I feel eventually the whole perimeter of the building will collapse in the same fashion.

For this reason it is my opinion that the 22'x34' rear portion of the structure should be demolished entirely. It could be rebuilt, if desired, using proper construction techniques, and as long as the existing foundation is deemed acceptable to carry the load imposed. The original house should remain and be restored to its historic exterior appearance, since this would require little more than construction of a cosmetic nature.

I appreciate the opportunity to render my opinion in this matter to the Church, and would like to be involved in this project through completion. I have twenty years experience in the construction industry, most of which has been in a managerial capacity.

I would like to meet with you to discuss my available services. Please contact me at (301) 220-1169 if I may be of further assistance.

Sincerely,



Michael L. Kidwell, Owner



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring Maryland 20910-3760

August 28, 1995

Dear Applicant:

Please be notified that the Montgomery County Historic Preservation Commission will be holding a public meeting and worksession on Wednesday, September 13, 1995, in order to evaluate the proposed subdivision of Spencer Farm (#7-96005), located at 2420 Spencerville Road in Spencerville. It involves Master Plan Site #15/55, the Spencer/Carr Farm. The meeting will begin at 7:30 p.m. and will be held in the Maryland-National Capital Park and Planning Commission auditorium at 8787 Georgia Avenue in Silver Spring.

This evaluation is taking place pursuant to your request for subdivision of the property. The Historic Preservation Commission will review the proposal as it impacts the historic site, and will make recommendations to the Planning Board regarding its environmental setting.

As the applicant, you are encouraged to either attend the meeting or submit written comments to the HPC at 8787 Georgia Avenue, Silver Spring, MD 20910.

This item may not be first on the agenda, so please be prepared for a short delay. Enclosed please find a copy of the meeting agenda (subject to change). If you have any questions, please feel free to contact me at 495-4570.

Sincerely,



Patricia Parker  
Historic Preservation  
Planner

Enclosures

cc: John Sekerak, ASLA, AICP  
Macris, Hendricks and Glascock, P.A.;  
Kimberley McCarl  
Barry Wagner  
Timothy L. Shaw

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
495-4570

WEDNESDAY  
September 13, 1995

MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
MRO AUDITORIUM  
8787 GEORGIA AVENUE  
SILVER SPRING, MARYLAND 20910

**PLEASE NOTE: THE HPC AGENDA IS SUBJECT TO CHANGE ANYTIME AFTER PRINTING OR DURING THE COMMISSION MEETING. PLEASE CONTACT THE HISTORIC PRESERVATION COMMISSION AT THE NUMBER ABOVE TO OBTAIN CURRENT INFORMATION. IF YOUR APPLICATION IS INCLUDED ON THIS AGENDA, YOU OR YOUR REPRESENTATIVE ARE EXPECTED TO ATTEND.**

- I. HPC WORKSESSION - 7:00 p.m. in Third Floor Conference Room
- II. HISTORIC PRESERVATION MASTER PLAN EVALUATIONS - 7:30 p.m. in the Auditorium

Public appearance to evaluate Darnestown/Travilah Resources - Group One, consisting of thirteen properties, for potential historic designation. The HPC worksession on these properties to formulate recommendations will be held on September 27, 1995. Darnestown/Travilah Resources - Group Two will be evaluated at the HPC's October meetings.

Group One

A. Resources Historically Affiliated with Churches, Mill Complexes, Cemeteries

24/1	Seneca Baptist Church, 15811 Darnestown Road
24/5	Black Rock Millers House, 16510 Black Rock Road
24/17	DuFief Millers House, 14000 Turkey Foot Road
25/3	Ward Cemetery, SE corner Botany Way & Rolling Green Way
25/12	Query Cemetery, 13505 Esworthy Road
25/14	Tobytown Cemetery, Rear of 12649 Tobytown Drive

(OVER)

B. Pre-Civil War Houses/Farmsteads

24/20 Darne-Purdum Farm, 14200 Darnestown Road  
24/23 Higgins-King Farm, 14700 Berry Road  
24/24 Montanverde, 14601 Berryville Road  
24/29 Samuel Thomas Magruder Farm, 14800 Seneca Road  
24/35 Dr. Richard Beall Farm, 13700 Darnestown Road  
25/20 Creamer-McConihe Farm, 11501 Piney Meetinghouse Road  
25/23 Samuel Jones House, 10835 Red Barn Lane

III. NATIONAL REGISTER OF HISTORIC PLACES EVALUATION - 8:30 p.m.

A. Review of Polychrome Historic District for listing in the National Register of Historic Places.

9900, 9904 Colesville Road  
9919, 9923, 9925 Sutherland Road

IV. HISTORIC AREA WORK PERMITS - 8:45 p.m.

- A. Susan and Stephen Palmer, for tree removal at 10208 Kensington Parkway, Kensington (HPC Case No. 31/6-95I **RETROACTIVE**) (Kensington Historic District)
- B. Toyo A. Biddle, for alterations at 7117 Sycamore Avenue, Takoma Park (HPC Case No. 37/3-95Z **RETROACTIVE**) (Takoma Park Historic District)
- C. Daniel & Brenda Hirsch, for alterations and fence at 4901 Dorset Avenue, Chevy Chase (HPC Case No. 35/36-95D) (Somerset Historic District)
- D. Leroy and Carolyn Adams, for a deck at 7312 Maple Avenue, Takoma Park (HPC Case No. 37/3-95AA) (Takoma Park Historic District)
- E. Brian Smith and Donna Holverson, for alterations at 35 West Lenox Street, Chevy Chase (HPC Case No. 35/13-95B) (Chevy Chase Village Historic District - Phase One)
- F. Alan Abrams and Lynn Motley, for new house construction at 7410 Baltimore Avenue, Takoma Park (HPC Case No. 37/3-94DD **REVISION OF APPROVED HAWP**) (Takoma Park Historic District)
- G. Neil Goldsman, for addition at 7409 Carroll Avenue, Takoma Park (HPC Case No. 37/3-95BB) (Takoma Park Historic District)
- H. Deborah Susan Ringland for demolition at 4722 Dorset Avenue, Somerset (HPC Case No. 35/36-94D **CONTINUED**) (Somerset Historic District)

(OVER)

I. John Fleming, for alterations at 3806 Washington Street, Kensington (HPC Case No. 31/6-93Q REVISION) (Kensington Historic District)

V. PRELIMINARY CONSULTATION - 10:45 p.m.

A. Cedar Ridge Community Church, for alterations at 2420 Spencerville Road, Spencerville (Spencer/Carr Farm, Master Plan Site #15/55)

VI. MINUTES - 11:15 p.m.

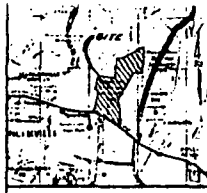
A. July 26, 1995

VII. OTHER BUSINESS

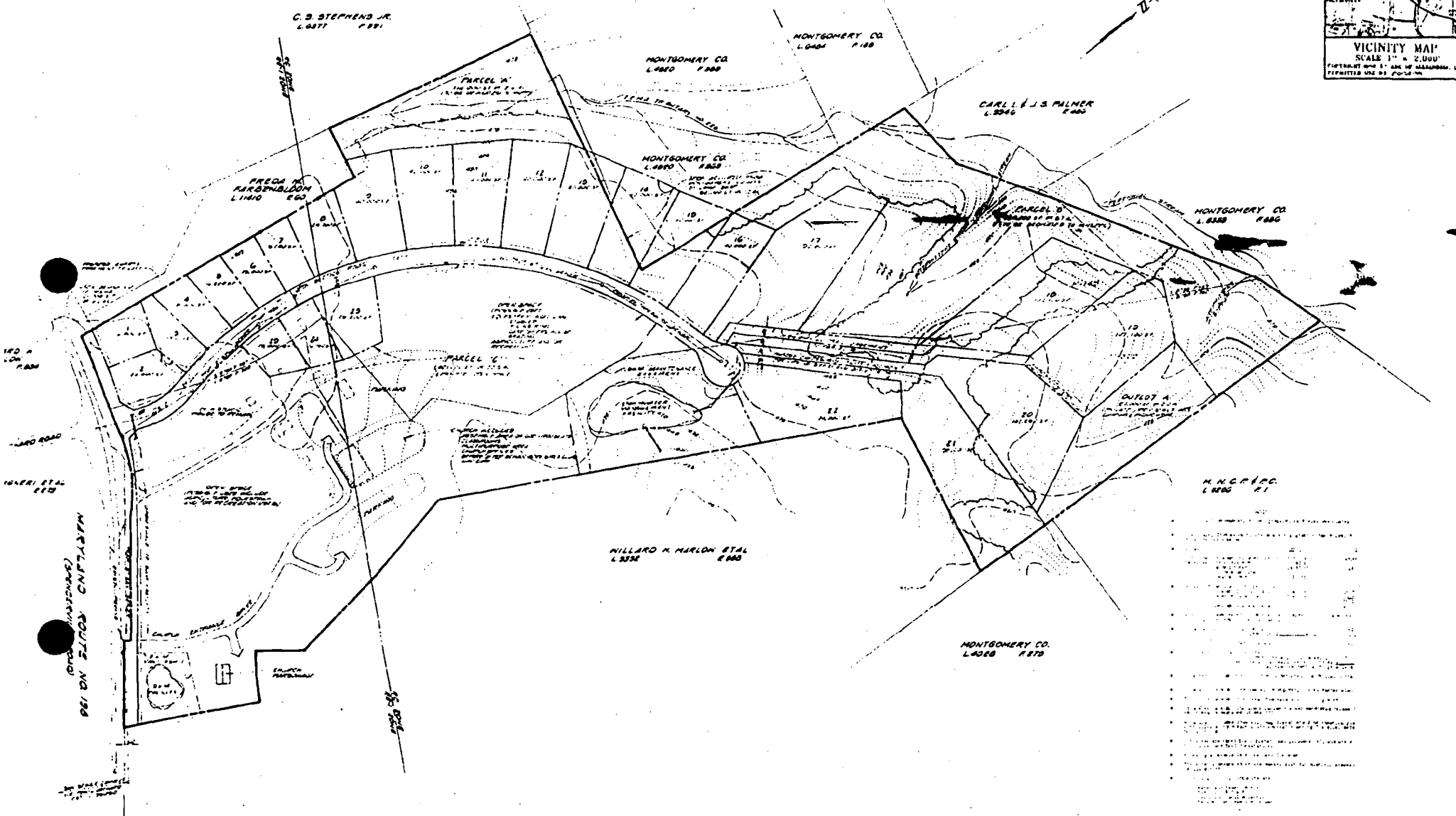
A. Commission Items

B. Staff Items

VIII. ADJOURNMENT



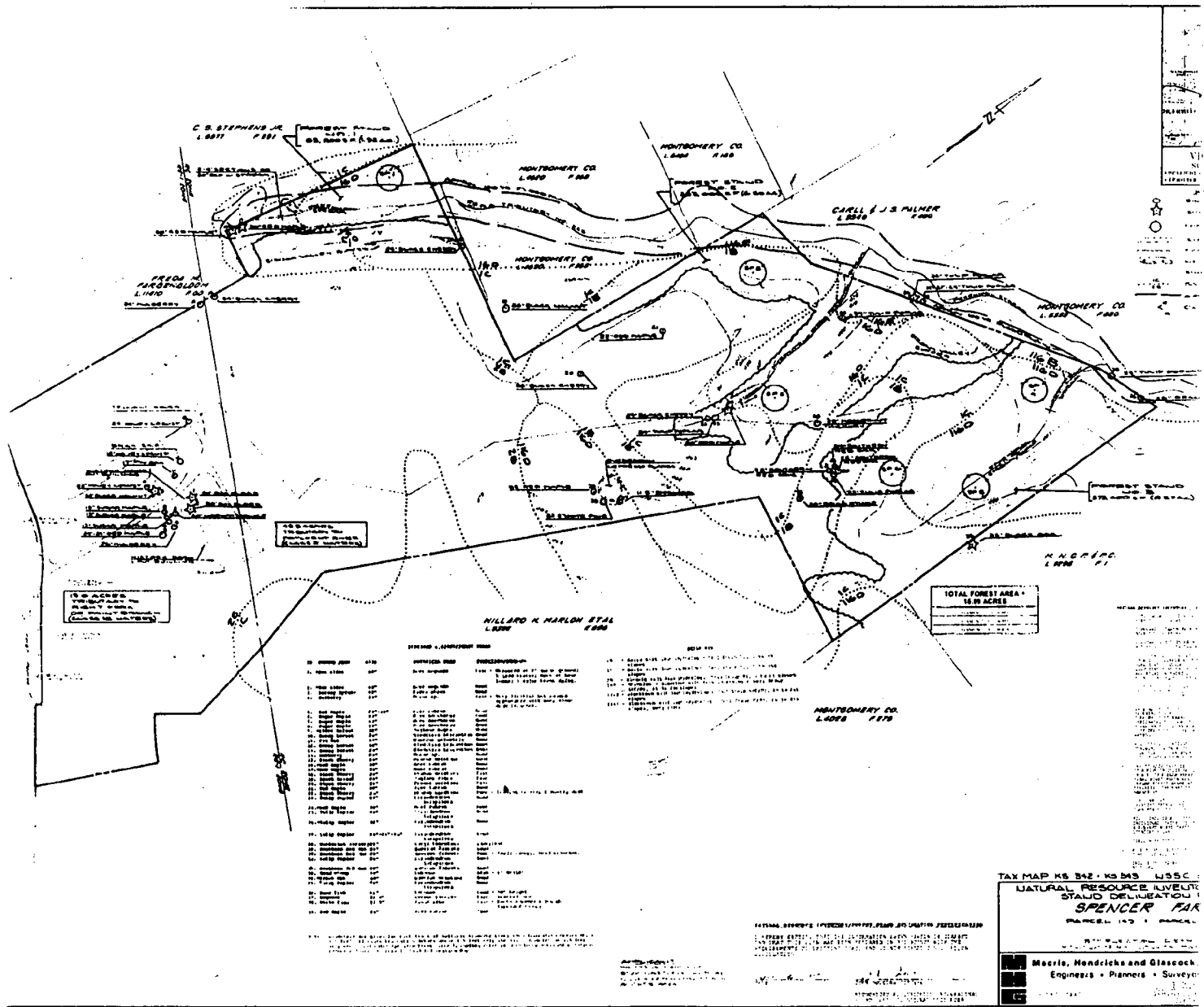
VICINITY MAP  
 SCALE 1" = 2,000'  
 FURTHER USE OF THIS MAP IS PROHIBITED UNLESS PERMITTED BY THE ENGINEER



- 1. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE MONTGOMERY COUNTY BOARD OF PUBLIC WORKS AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS.
- 2. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE MONTGOMERY COUNTY BOARD OF PUBLIC WORKS AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS.
- 3. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE MONTGOMERY COUNTY BOARD OF PUBLIC WORKS AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS.
- 4. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE MONTGOMERY COUNTY BOARD OF PUBLIC WORKS AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS.
- 5. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE MONTGOMERY COUNTY BOARD OF PUBLIC WORKS AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS.
- 6. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE MONTGOMERY COUNTY BOARD OF PUBLIC WORKS AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS.
- 7. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE MONTGOMERY COUNTY BOARD OF PUBLIC WORKS AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS.
- 8. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE MONTGOMERY COUNTY BOARD OF PUBLIC WORKS AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS.
- 9. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE MONTGOMERY COUNTY BOARD OF PUBLIC WORKS AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS.
- 10. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE MONTGOMERY COUNTY BOARD OF PUBLIC WORKS AND THE MONTGOMERY COUNTY DEPARTMENT OF PUBLIC WORKS.

PREPARED FOR MC. STELE FARNSWORTH SUB. 41 DECISION AND 3-11-72 1 P.M. - 1:00 P.M. 1-27-72 4:30 - 5:00 P.M.		<b>PKE-APPLICATION SUBMISSION</b> <b>SPENCER FARM</b>  5th ELECTION DISTRICT MONTGOMERY COUNTY, MARYLAND	
Designer JEB	Date 6-16-72	Sheet 1 of 1	Scale 1" = 100'
Engineer M. G.	Date 6-16-72	Sheet 1 of 1	Scale 1" = 100'





**PROPERTY LIST**

Parcel No.	Area (Acres)	Owner	Notes
1	1.8971	C. B. STEPHENS JR.	1.8971 ACRES
2	1.8215	CAROLL J. S. PALMER	1.8215 ACRES
3	2.860	HILLARD K. MARLOW	2.860 ACRES
4	1.8228	H. H. H. H. H.	1.8228 ACRES
5	1.8228	H. H. H. H. H.	1.8228 ACRES
6	1.8228	H. H. H. H. H.	1.8228 ACRES
7	1.8228	H. H. H. H. H.	1.8228 ACRES
8	1.8228	H. H. H. H. H.	1.8228 ACRES
9	1.8228	H. H. H. H. H.	1.8228 ACRES
10	1.8228	H. H. H. H. H.	1.8228 ACRES
11	1.8228	H. H. H. H. H.	1.8228 ACRES
12	1.8228	H. H. H. H. H.	1.8228 ACRES
13	1.8228	H. H. H. H. H.	1.8228 ACRES
14	1.8228	H. H. H. H. H.	1.8228 ACRES
15	1.8228	H. H. H. H. H.	1.8228 ACRES
16	1.8228	H. H. H. H. H.	1.8228 ACRES
17	1.8228	H. H. H. H. H.	1.8228 ACRES
18	1.8228	H. H. H. H. H.	1.8228 ACRES
19	1.8228	H. H. H. H. H.	1.8228 ACRES
20	1.8228	H. H. H. H. H.	1.8228 ACRES
21	1.8228	H. H. H. H. H.	1.8228 ACRES
22	1.8228	H. H. H. H. H.	1.8228 ACRES
23	1.8228	H. H. H. H. H.	1.8228 ACRES
24	1.8228	H. H. H. H. H.	1.8228 ACRES
25	1.8228	H. H. H. H. H.	1.8228 ACRES
26	1.8228	H. H. H. H. H.	1.8228 ACRES
27	1.8228	H. H. H. H. H.	1.8228 ACRES
28	1.8228	H. H. H. H. H.	1.8228 ACRES
29	1.8228	H. H. H. H. H.	1.8228 ACRES
30	1.8228	H. H. H. H. H.	1.8228 ACRES
31	1.8228	H. H. H. H. H.	1.8228 ACRES
32	1.8228	H. H. H. H. H.	1.8228 ACRES
33	1.8228	H. H. H. H. H.	1.8228 ACRES
34	1.8228	H. H. H. H. H.	1.8228 ACRES
35	1.8228	H. H. H. H. H.	1.8228 ACRES
36	1.8228	H. H. H. H. H.	1.8228 ACRES
37	1.8228	H. H. H. H. H.	1.8228 ACRES
38	1.8228	H. H. H. H. H.	1.8228 ACRES
39	1.8228	H. H. H. H. H.	1.8228 ACRES
40	1.8228	H. H. H. H. H.	1.8228 ACRES
41	1.8228	H. H. H. H. H.	1.8228 ACRES
42	1.8228	H. H. H. H. H.	1.8228 ACRES
43	1.8228	H. H. H. H. H.	1.8228 ACRES
44	1.8228	H. H. H. H. H.	1.8228 ACRES
45	1.8228	H. H. H. H. H.	1.8228 ACRES
46	1.8228	H. H. H. H. H.	1.8228 ACRES
47	1.8228	H. H. H. H. H.	1.8228 ACRES
48	1.8228	H. H. H. H. H.	1.8228 ACRES
49	1.8228	H. H. H. H. H.	1.8228 ACRES
50	1.8228	H. H. H. H. H.	1.8228 ACRES

**TOTAL FOREST AREA - 18.97 ACRES**

**TAX MAP NO. 842 - 8585 - 18.97 ACRES**  
**NATURAL RESOURCE INVENTORY**  
**STANDARD DELINEATION**  
**SPENCER FARM**  
 PARCELS 1-50

**Moore, Mendricks and Glascock**  
 Engineers - Planners - Surveyors

8/28/95

Pat -

New proposal for  
access to church  
surfaced at DRC  
to come off <sup>new</sup> public  
street just past the  
Spencer/Carr House -  
They'd be in touch -

Robin

Master Plan  
#15/55

FROM: Development Review Division - M-NCPPC

NAME: SPENCER FARM

FILE NO.: 7.96005

Enclosed please find the information checked below. This material will be discussed at the Development Review Committee meeting of AUGUST 28, 1990 (no meeting scheduled if blank).

- New preliminary plan application with supporting material as appropriate
- Supporting material for previously reviewed preliminary plan
- Revised preliminary plan drawing
- New pre-preliminary plan application
- Comments due by 8.28.90



15/55

---

**TIMOTHY L. SHAW**  
COMMERCIAL / INVESTMENT

---

19238 Montgomery Village Avenue  
Gaithersburg, Maryland 20879  
O: 301-417-7700  
Fax: 301-869-7599



Theodorakos Architects

Kimberley McCarl  
Architect

301 858-0498

6408 Ruffin Road  
Chevy Chase, Maryland 20815  
Phone: (301) 215-6762

BARRY WAGNER

7908 VANITY FAIR DR.

GREENBELT, MD. 20770

(301) 513-0961

Steven Carstens

3032 Castleleigh Rd

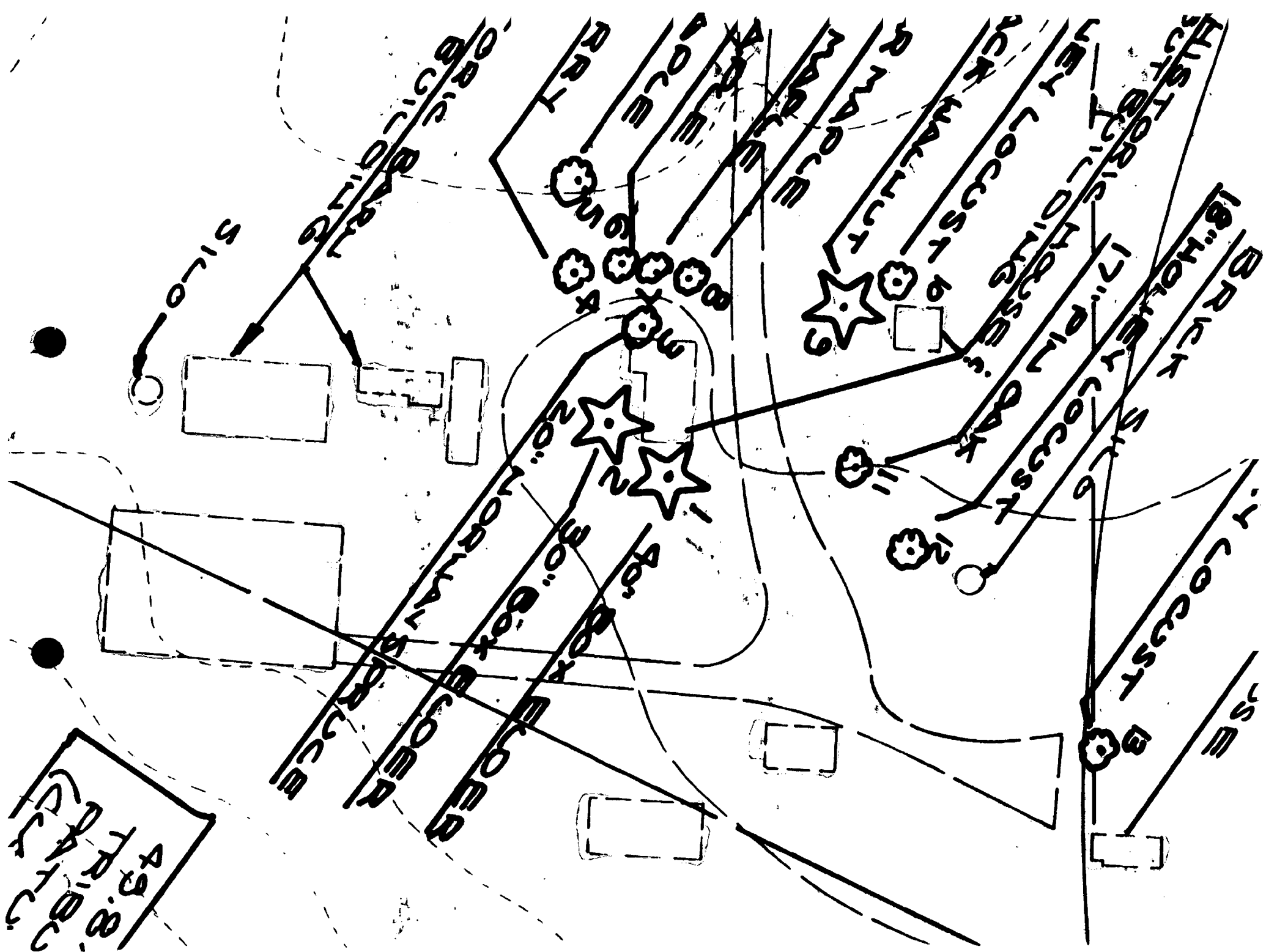
Silver Spring, MD 20904

KIM MCGARL

2336 PUTNAM LN

CROFTON, MD 21114

301-858-0498



49. B.P. 0.0  
 48. B.P. 0.0  
 47. B.P. 0.0  
 46. B.P. 0.0