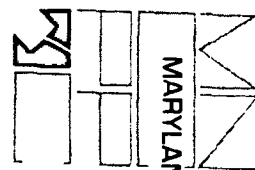


#31/6-93P 3710 Mitchell Street  
Kensington H.D.

8787 Georgia Avenue • Silver Spring, Maryland 20910-0060




THE  
MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING  
COMMISSION

Town of Kensington  
3710 Mitchell Street  
Kensington, Md.  
31/6-93P  
HAWP

4-17-93

Maryland-National Capital Park and Planning Commission  
Records Chain of Custody Form

Records Accession/ Box #	Records Requested/Reviewed By (Print name, department, date)	Records Received (initial)	Records Provided By (Print name of Records Mgr, date)	Records Returned By (Print name, date)
2001-15/13	Kevin Manatolla, MC Historic Preserv., 09/30/2016		Brian Coburn, 09/30/2016	 1/4/17



Slides borrowed -

Robin

5/8/97





MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of  
Application/ Release of Other Required Permits

DATE: November 18, 1993

---

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Thank you very much for your patience and good luck with your project!



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

SEE ATTACHED

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1024901

NAME OF PROPERTY OWNER TOWN OF KENSINGTON TELEPHONE NO. 301-949-2424  
(Contract/Purchaser) (Include Area Code)

ADDRESS 3710 MITCHELL STREET KENSINGTON, MARYLAND 20895  
CITY STATE ZIP

CONTRACTOR \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_

PLANS PREPARED BY LITTLE ARCHITECTS CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_ TELEPHONE NO. 301-949-8800  
(Include Area Code)

REGISTRATION NUMBER MD 3311-A

### LOCATION OF BUILDING/PREMISE

House Number 3710 Street MITCHELL STREET

Town/City KENSINGTON Election District 13

Nearest Cross Street ARMORY AVENUE

Lot 1,2,3,4 Block 3 Subdivision 15

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition			
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace	Shed	Solar	Woodburning Stove
			Revision	Fence/Wall (complete Section 4) Other _____					

1B. CONSTRUCTION COSTS ESTIMATE \$ 55,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 ( ) WSSC	02 ( ) Septic
03 ( ) Other _____	

2B. TYPE OF WATER SUPPLY

01 ( ) WSSC	02 ( ) Well
03 ( ) Other _____	

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT 3 feet 0 inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) \_\_\_\_\_ Date \_\_\_\_\_

APPROVED X w/conditions For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature Albert B. Randall Date November 18, 1993

APPLICATION/PERMIT NO: \_\_\_\_\_ FILING FEE: \$ \_\_\_\_\_

DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_

OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS



THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

SEE ATTACHED

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:  
HISTORIC PRESERVATION COMMISSION  
51 MONROE STREET, SUITE 1001  
ROCKVILLE, MARYLAND 20850

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 3710 Mitchell Street	Meeting Date: 11/17/93
Resource: Kensington Historic District	HAWP/Alteration
Case Number: 31/6-93P	Tax Credit: No
Public Notice: 11/03/93	Report Date: 11/10/93
Applicant: Town of Kensington	Staff: Patricia Parker
PROPOSAL: ADA Alterations	RECOMMEND: Approval with Conditions

---

This HAWP is submitted for the Commission's approval of alterations to the Kensington Armory to address ADA required accessibility for the disabled. Over the years, the 1927 National Guard Armory has undergone change to permit adaptive re-use of the building as a town hall. The Armory now houses the mayor's office, meeting rooms, a Victorian parlor, a children's museum and a large hall for exhibitions and activities.

The proposal includes changes to the interior to up-grade toilet rooms, partition changes and the addition of an elevator, the reconfiguration of an existing exterior stair to permit new ramping to service the first floor, and a new concrete sidewalk adjacent to the west facade.

The interior changes will not be discussed here as they are outside the purview of the Commission; however, the proposal for a new ramp and stair, because of its impact on the exterior (specifically the north facade), and the proposal for a new sidewalk on the west facade require the Commission's review.

STAFF DISCUSSION/BACKGROUND

The Kensington Armory is a primary resource located in the Kensington Historic District at the corner of Armory and Mitchell Streets. The building sits on approximately one acre.

The building, as presently configured, does not provide adequate ingress/egress facilities for the disabled. The Americans With Disabilities Act (ADA), a civil rights law, requires that buildings serving the public must be readily accessible to

and useable by people with disabilities. The ADA sets forth minimum requirements for accessibility (ADAAG 4.1.7(3)). These minimum requirements include:

- 1) An accessible route from an access point such as parking or the sidewalk to an entrance;
- 2) An accessible entrance (e.g., width of door, door lever not knobs, ease of opening door, no steps);
- 3) If public toilets are provided one shall be accessible;
- 4) Accessible routes to all features on the ground or entry level floor; and
- 5) Displays and written material shall be located where they can be seen by a person with a disability, and exhibits shall be no higher than 44" from the floor.

This application addresses these guidelines. First, it provides accessibility via an exterior sloping enclosed ramp measuring 21'-4" wide x 31'-6" long (See Plan A-106). This ramp will be located on the north side of the existing building and will be an additional element within the entrance portico of the structure. The new ramp will enlarge the width of the entrance portico by fourteen feet and four inches.

ADA requires that the surfacing of the ramp should be firm, stable, and slip resistant to be considered "accessible". This proposal meets these guidelines - the proposed surface will be textured concrete with a 1:12 slope to meet the building code. Staff has addressed the issue of treatment of the concrete with the architect. Staff prefers a board striated concrete finish to provide abrasion. The architect has agreed.

Staff assumes that handrails will be provided, inside of the wall, along both sides of the ramp segments meeting code requirements. The architect describes the handrails as painted metal in the application. Further discussion with the architect indicates that he prefers to use a black cast iron railing with a traditional profile. Due to ADA requirements, it is doubtful that such a profile will be approved. Should 1-1/2" o.d. pipe rail be required, this rail should be painted a low-luster finish, having a peened texture for gripping.

The proposal indicates that the walls and sides of the ramp will be brick with a coping detail to match the molded cap of the existing entrance portico. Staff has asked the architect to further amend the drawings to indicate that the new brick and mortar shall match the existing brick wall surfacing. The architect has agreed to this condition.

Staff is pleased to see that the architect has attempted to mask the required inclusion of the new ramp by locating it

posterior to the existing stair and leaving the existing stair in place. Staff notes that one run (from the first floor down to the landing) has been narrowed, to make space available for the new ramp. Certainly, economies of construction have been achieved; but more importantly, the structure has incurred less impact than if the ramp had been placed forward of the stair. Moreover, disabled citizens will not have difficulty determining how to enter the building because the ramp is part of a circulation core and they will not feel separate and apart from others who enter by traditional means of access. The architect has wisely chosen to reorganize existing space before suggesting building anew.

There is no change to the existing entrance doors other than adding panic hardware on the inside.

The new ramp wall, indicated in the proposal at 4'-1-1/2", is lower in height than the top of the coping of the portico at its origin and gradually rises to match the height of the existing brick wall. Attention is also given to detail.

Secondly, the applicant proposes construction of a new sidewalk to provide a second means of egress for the disabled from the Basement floor. The sidewalk follows the natural grade with a textured concrete surfacing to match the existing sidewalks on the property.

Staff is concerned that the proposal does not include a description of required signage and the location of such signage.

#### STAFF RECOMMENDATION

In summary, staff recommends approval of this application. The access modifications do not occur at the expense of the historic integrity of the building. Further, the applicant has chosen materials and detailing consistent with the existing structure.

The staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standards #1, #5, #9 and #10:

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment; and

Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved; and

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment; and

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired;

and with the following conditions:

1. Masonry and mortar of the new ramp shall match features of the existing brick wall as closely as possible.
2. The applicant provide details and location of required signage.
3. ADA guidelines required for accessibility and code compliance in historic structures shall be strictly adhered to.

## **KENSINGTON ARMORY - EXISTING**

### **A. SITE**

The site for the Kensington Armory is a corner in downtown Kensington bound by Armory and Mitchell Streets. The site is approximately one acre.

### **B. BUILDING EXTERIOR**

The Kensington Armory was constructed for the National Guard in 1927. As originally constructed, it was a two story building with basement. The front (north) portion consisted of offices and the middle portion a large Drill Hall with a two-story Stage to the south. The entire exterior is brick with precast concrete copings, cornices and sills. The north and south portions have a flat roof of built-up felt whereas the Drill Hall has a barrel vaulted roof covered with a membrane and asphalt shingles. The exterior windows are the original steel frames with single glazing except in the Basement offices which are aluminum frame replacements. Some Basement windows have been blocked up along the east wall (Firing Range) office supply room and Mayor's office and the west wall (Kitchen and Men's Restroom). The Armory building entrance was reconfigured in 1976 to eliminate the original, horseshoe shaped, ramped entrance. The revised entrance is a brick arched portico with upper (First Floor) and lower (Basement) entrance plazas. This portico has molded brick wall caps.

Each plaza is accessed from the east parking lot by a half flight of concrete stairs. The concrete stairs in both up and down flights have spalled, cracked at the risers, and generally deteriorated. These need to be repaired and have the expansion joints repacked and caulked as well.

The First Floor entrance Plaza which serves as the building's "front door" has no disabled access since it is approached only as a stairway. The rear of the First floor does have an on-grade entrance next to the stage end of the Drill Hall. Thus the entire First Floor has only one potential disabled accessible entrance and, more importantly, exit.

The Basement Level has an on-grade access from Mitchell Street but not directly from the parking lot. The rear -Council Room - exit from the basement floor has a multi-riser condition in its pathway.

Therefore, the current building and site configuration does not provide adequate entrance and exit facilities for disabled or elderly users as required by the ADA.

## **KENSINGTON ARMORY - PROPOSED**

### **A. ENTRANCE RAMP - NORTH**

A sloped ramp is proposed to be added to the entrance portico on the north side of the structure to comply with ADA requirements to allow handicap accessibility to the First (main) floor of the building. This ramp has a 1:12 slope in accordance with the building code. The ramp surface is textured concrete to match the entrance plaza surface. The walls and sides of the ramp are brick with a molded brick cap top match the existing entrance portico detailing. The ramp handrails are painted steel. The ramp structure has been positioned to provide minimal functional and aesthetic impact on the existing Armory.

### **B. EXIT SIDEWALK - SOUTH**

A sidewalk has been added adjacent to the west facade of the building to allow a required (building code) handicap accessible exit as a second means of egress from the Basement floor. This sidewalk follows the natural grade and is concrete with a surface and texture to match the existing sidewalks on the property.







1. North View



2. East View



3. West View



**4. Mitchell Street  
(North side)**



**5. Fawcett Street  
(East side)**



**6. Armory Avenue  
(West side)**

NOTES:  
 1. INFORMATION, SHEETS, NATIONAL CONCRETE & PORTLAND CEMENT  
 2. CLIMATE, L. C. SULLIVAN, CIVIL ENGINEER, WASHINGTON, D. C.

WARNER STREET

LOCATION & GRADING PLAN

MOTOR VEHICLE STORAGE BUILDING FOR THE  
 MARYLAND NATIONAL GUARD ARMORY  
 WASHINGTON - MARYLAND  
 GEN. WILSON A. PECKARD - ADJ. GENERAL

NOTE: THE ABOVE TRACT COMPRISES THE FOLLOWING

DESCRIPTION	ORIGINATOR	DATE OF ACQ.	AREA ACQ.
LOT 1	...	...	...
LOT 2	...	...	...
LOT 3	...	...	...
LOT 4	...	...	...
LOT 5	...	...	...



- MATERIAL SCHEDULE
- CONCRETE
  - PAVED CONCRETE
  - MASONRY BLOCK
  - BRICK
  - STEEL
  - PRE CAST CONCRETE
  - INSULATION
  - GRAVEL

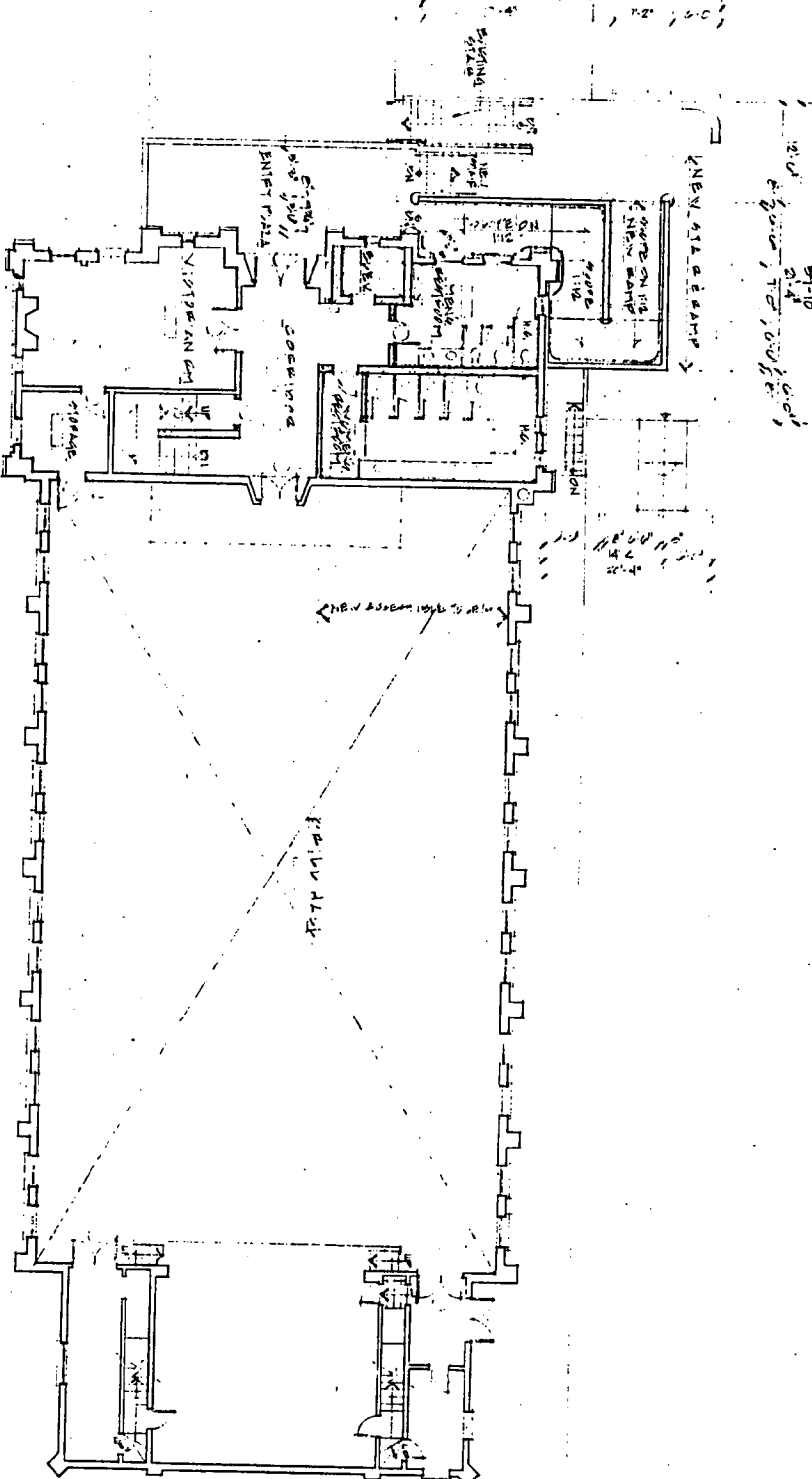
STRUCTURAL NOTE -  
 ALL CONCRETE TO BE PLACED 3000 PSI AT 28 DAYS  
 AND STRENGTH SHALL BE DEVELOPED POINTS SET  
 THROUGHOUT WORK IN LABORATORY.  
 BARS SHALL BE DEFORMED WIRE-ROPE TYPE.  
 DEWAS OR CONSTRUCTION SHALL CONFORM WITH  
 CODE 318-52.  
 CONTRACTOR SHALL PROTECT ALL WALL DURING  
 DECK AND OPERATIONS.

LAWRENCE A. WENEFER  
 ARCHITECT  
 BALTIMORE, MARYLAND  
 J. L. PAISANT & ASSOC.  
 STRUCTURAL ENGINEERS  
 WASHINGTON, DISTRICT OF COLUMBIA

SCALE: 1"=50'  
 DATE: 4-19-47  
 A-1




FIRST FLOOR PLAN - NEW WOOD



REVISIONS

- 1. 10/10/10 - Initial design
- 2. 10/15/10 - Revise door locations
- 3. 10/20/10 - Add window details
- 4. 10/25/10 - Revise staircase layout
- 5. 11/05/10 - Finalize room layouts
- 6. 11/15/10 - Add structural notes
- 7. 11/25/10 - Revise material specifications
- 8. 12/05/10 - Finalize construction details
- 9. 12/15/10 - Add site plan information
- 10. 12/25/10 - Final design review
- 11. 01/05/11 - Prepare for construction
- 12. 01/15/11 - Revise based on contractor input
- 13. 01/25/11 - Final design approval
- 14. 02/05/11 - Prepare final drawings
- 15. 02/15/11 - Add final notes and specifications
- 16. 02/25/11 - Final design completion
- 17. 03/05/11 - Prepare for construction start
- 18. 03/15/11 - Revise based on field conditions
- 19. 03/25/11 - Final design approval
- 20. 04/05/11 - Prepare final drawings
- 21. 04/15/11 - Add final notes and specifications
- 22. 04/25/11 - Final design completion
- 23. 05/05/11 - Prepare for construction start
- 24. 05/15/11 - Revise based on field conditions
- 25. 05/25/11 - Final design approval
- 26. 06/05/11 - Prepare final drawings
- 27. 06/15/11 - Add final notes and specifications
- 28. 06/25/11 - Final design completion
- 29. 07/05/11 - Prepare for construction start
- 30. 07/15/11 - Revise based on field conditions
- 31. 07/25/11 - Final design approval
- 32. 08/05/11 - Prepare final drawings
- 33. 08/15/11 - Add final notes and specifications
- 34. 08/25/11 - Final design completion
- 35. 09/05/11 - Prepare for construction start
- 36. 09/15/11 - Revise based on field conditions
- 37. 09/25/11 - Final design approval
- 38. 10/05/11 - Prepare final drawings
- 39. 10/15/11 - Add final notes and specifications
- 40. 10/25/11 - Final design completion
- 41. 11/05/11 - Prepare for construction start
- 42. 11/15/11 - Revise based on field conditions
- 43. 11/25/11 - Final design approval
- 44. 12/05/11 - Prepare final drawings
- 45. 12/15/11 - Add final notes and specifications
- 46. 12/25/11 - Final design completion
- 47. 01/05/12 - Prepare for construction start
- 48. 01/15/12 - Revise based on field conditions
- 49. 01/25/12 - Final design approval
- 50. 02/05/12 - Prepare final drawings
- 51. 02/15/12 - Add final notes and specifications
- 52. 02/25/12 - Final design completion
- 53. 03/05/12 - Prepare for construction start
- 54. 03/15/12 - Revise based on field conditions
- 55. 03/25/12 - Final design approval
- 56. 04/05/12 - Prepare final drawings
- 57. 04/15/12 - Add final notes and specifications
- 58. 04/25/12 - Final design completion
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- 61. 05/25/12 - Final design approval
- 62. 06/05/12 - Prepare final drawings
- 63. 06/15/12 - Add final notes and specifications
- 64. 06/25/12 - Final design completion
- 65. 07/05/12 - Prepare for construction start
- 66. 07/15/12 - Revise based on field conditions
- 67. 07/25/12 - Final design approval
- 68. 08/05/12 - Prepare final drawings
- 69. 08/15/12 - Add final notes and specifications
- 70. 08/25/12 - Final design completion
- 71. 09/05/12 - Prepare for construction start
- 72. 09/15/12 - Revise based on field conditions
- 73. 09/25/12 - Final design approval
- 74. 10/05/12 - Prepare final drawings
- 75. 10/15/12 - Add final notes and specifications
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- 78. 11/15/12 - Revise based on field conditions
- 79. 11/25/12 - Final design approval
- 80. 12/05/12 - Prepare final drawings
- 81. 12/15/12 - Add final notes and specifications
- 82. 12/25/12 - Final design completion
- 83. 01/05/13 - Prepare for construction start
- 84. 01/15/13 - Revise based on field conditions
- 85. 01/25/13 - Final design approval
- 86. 02/05/13 - Prepare final drawings
- 87. 02/15/13 - Add final notes and specifications
- 88. 02/25/13 - Final design completion
- 89. 03/05/13 - Prepare for construction start
- 90. 03/15/13 - Revise based on field conditions
- 91. 03/25/13 - Final design approval
- 92. 04/05/13 - Prepare final drawings
- 93. 04/15/13 - Add final notes and specifications
- 94. 04/25/13 - Final design completion
- 95. 05/05/13 - Prepare for construction start
- 96. 05/15/13 - Revise based on field conditions
- 97. 05/25/13 - Final design approval
- 98. 06/05/13 - Prepare final drawings
- 99. 06/15/13 - Add final notes and specifications
- 100. 06/25/13 - Final design completion

100

LITTLE + ARCHITECTS

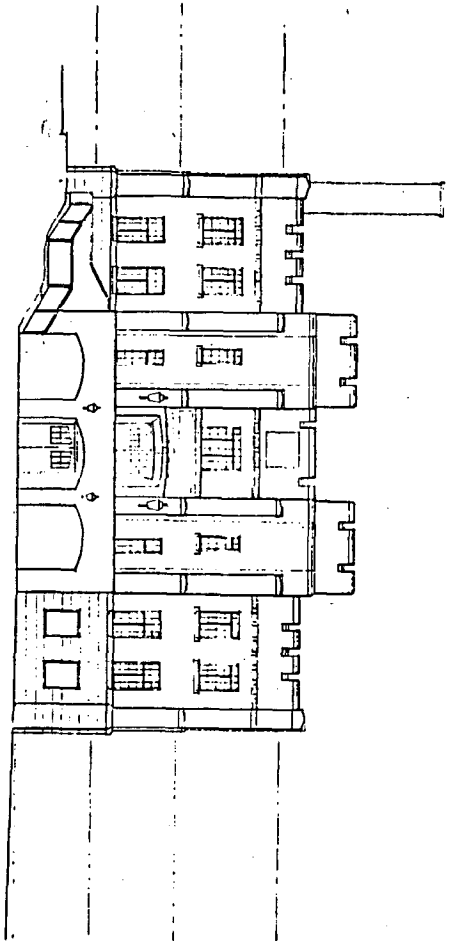
3504 Fenwick Avenue  
Kensington  
Maryland 20906  
301 949 8800

KENSINGTON ARMORY  
3710 MITCHELL STREET  
KENSINGTON, MARYLAND

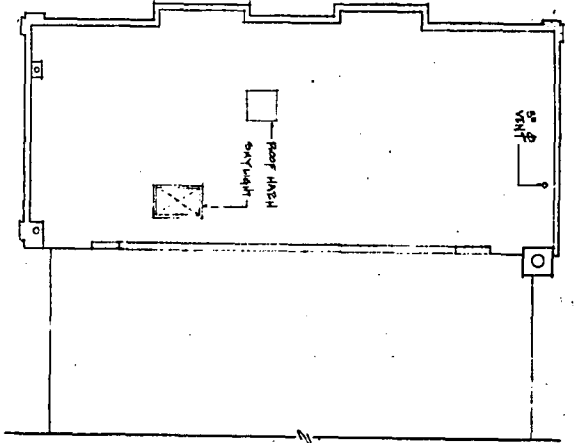



ROOF PLAN AND NORTH ELEVATION - EXISTING  
 1/8" = 1'-0"

NORTH ELEVATION - EXISTING  
 1/8" = 1'-0"



ROOF PLAN - EXISTING  
 1/8" = 1'-0"



A104  
 1-1-2013  
 1-1-2013

PLAN AND ELEVATION

LITTLE + ARCHITECTS

2504 Fairlight Avenue  
 Bethesda  
 Maryland 20814  
 301 949 8800

KENSINGTON ARMORY  
 3710 MITCHELL STREET  
 KENSINGTON, MARYLAND



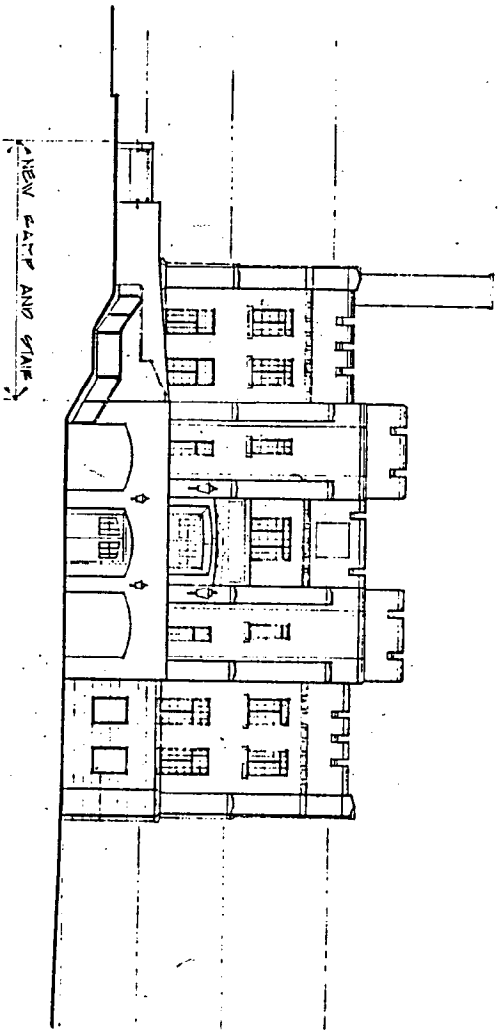




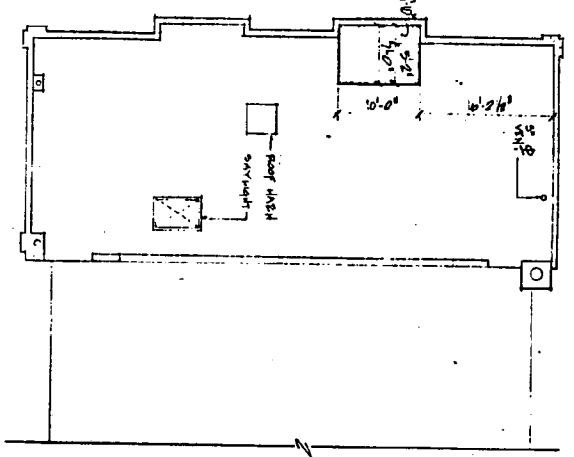



ROOF PLAN/NORTH ELEVATION - NEW YORK  
 1/8" = 1'-0"

NORTH ELEVATION - NEW YORK  
 1/8" = 1'-0"

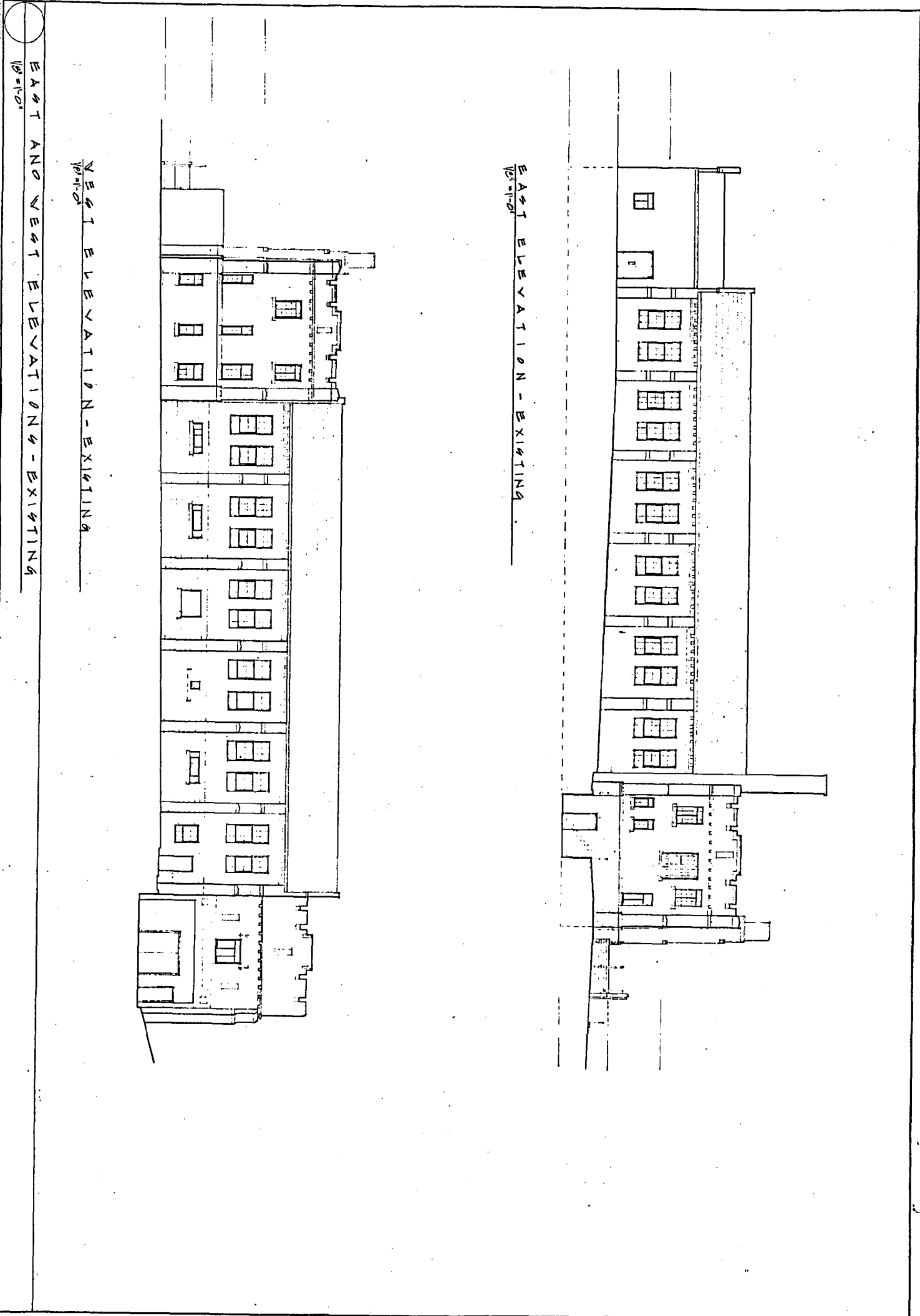


ROOF PLAN - NEW YORK  
 1/8" = 1'-0"



- EXPLANATION OF SYMBOLS**
- 1. 1/8" = 1'-0"
  - 2. 1/4" = 1'-0"
  - 3. 1/2" = 1'-0"
  - 4. 3/4" = 1'-0"
  - 5. 1" = 1'-0"
  - 6. 1 1/4" = 1'-0"
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  - 20. 4 3/4" = 1'-0"
  - 21. 5" = 1'-0"
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  - 25. 6" = 1'-0"
  - 26. 6 1/4" = 1'-0"
  - 27. 6 1/2" = 1'-0"
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  - 516.

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EAST AND WEST ELEVATIONS - EXISTING

WEST ELEVATION - EXISTING

EAST ELEVATION - EXISTING

4202

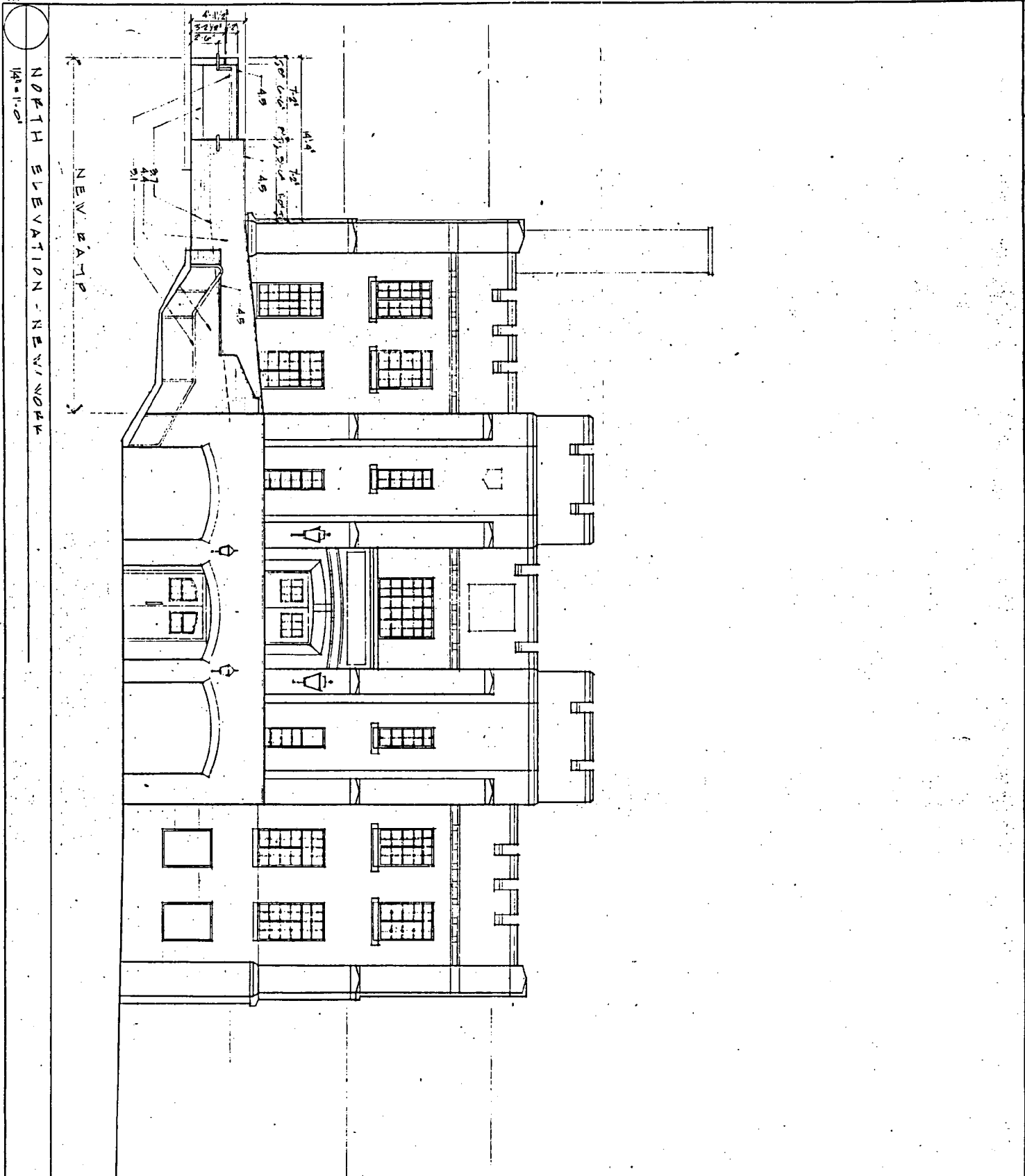
ELEVATIONS

LITTLE + ARCHITECTS

2504 Paragard Avenue  
 Kensington  
 Maryland 20898  
 301 949 8800

KENSINGTON ARMORY  
 3710 MITCHELL STREET  
 KENSINGTON, MARYLAND



NORTH ELEVATION - NEW YORK  
1/4" = 1'-0"

NEW RAMP

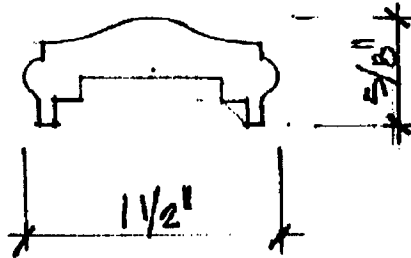
- KEY NOTES**
1. Refer to Section 01000 - General Conditions for details not shown.
  2. Refer to Section 02000 - Masonry for details not shown.
  3. Refer to Section 03000 - Concrete for details not shown.
  4. Refer to Section 04000 - Steel Decking for details not shown.
  5. Refer to Section 05000 - Cast-in-place Concrete for details not shown.
  6. Refer to Section 06000 - Reinforcing Steel for details not shown.
  7. Refer to Section 07000 - Partitions for details not shown.
  8. Refer to Section 08000 - Windows and Doors for details not shown.
  9. Refer to Section 09000 - Finishes for details not shown.
  10. Refer to Section 10000 - Specialties for details not shown.
  11. Refer to Section 11000 - Electrical for details not shown.
  12. Refer to Section 12000 - Mechanical for details not shown.
  13. Refer to Section 13000 - Plumbing for details not shown.
  14. Refer to Section 14000 - Fire Protection for details not shown.
  15. Refer to Section 15000 - Safety for details not shown.
  16. Refer to Section 16000 - Signage for details not shown.
  17. Refer to Section 17000 - Furniture for details not shown.
  18. Refer to Section 18000 - Equipment for details not shown.
  19. Refer to Section 19000 - Miscellaneous for details not shown.
  20. Refer to Section 20000 - Construction Methods for details not shown.
  21. Refer to Section 21000 - Construction Methods for details not shown.
  22. Refer to Section 22000 - Construction Methods for details not shown.
  23. Refer to Section 23000 - Construction Methods for details not shown.
  24. Refer to Section 24000 - Construction Methods for details not shown.
  25. Refer to Section 25000 - Construction Methods for details not shown.
  26. Refer to Section 26000 - Construction Methods for details not shown.
  27. Refer to Section 27000 - Construction Methods for details not shown.
  28. Refer to Section 28000 - Construction Methods for details not shown.
  29. Refer to Section 29000 - Construction Methods for details not shown.
  30. Refer to Section 30000 - Construction Methods for details not shown.
  31. Refer to Section 31000 - Construction Methods for details not shown.
  32. Refer to Section 32000 - Construction Methods for details not shown.
  33. Refer to Section 33000 - Construction Methods for details not shown.
  34. Refer to Section 34000 - Construction Methods for details not shown.
  35. Refer to Section 35000 - Construction Methods for details not shown.
  36. Refer to Section 36000 - Construction Methods for details not shown.
  37. Refer to Section 37000 - Construction Methods for details not shown.
  38. Refer to Section 38000 - Construction Methods for details not shown.
  39. Refer to Section 39000 - Construction Methods for details not shown.
  40. Refer to Section 40000 - Construction Methods for details not shown.
  41. Refer to Section 41000 - Construction Methods for details not shown.
  42. Refer to Section 42000 - Construction Methods for details not shown.
  43. Refer to Section 43000 - Construction Methods for details not shown.
  44. Refer to Section 44000 - Construction Methods for details not shown.
  45. Refer to Section 45000 - Construction Methods for details not shown.
  46. Refer to Section 46000 - Construction Methods for details not shown.
  47. Refer to Section 47000 - Construction Methods for details not shown.
  48. Refer to Section 48000 - Construction Methods for details not shown.
  49. Refer to Section 49000 - Construction Methods for details not shown.
  50. Refer to Section 50000 - Construction Methods for details not shown.
  51. Refer to Section 51000 - Construction Methods for details not shown.
  52. Refer to Section 52000 - Construction Methods for details not shown.
  53. Refer to Section 53000 - Construction Methods for details not shown.
  54. Refer to Section 54000 - Construction Methods for details not shown.
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  56. Refer to Section 56000 - Construction Methods for details not shown.
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  59. Refer to Section 59000 - Construction Methods for details not shown.
  60. Refer to Section 60000 - Construction Methods for details not shown.
  61. Refer to Section 61000 - Construction Methods for details not shown.
  62. Refer to Section 62000 - Construction Methods for details not shown.
  63. Refer to Section 63000 - Construction Methods for details not shown.
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  68. Refer to Section 68000 - Construction Methods for details not shown.
  69. Refer to Section 69000 - Construction Methods for details not shown.
  70. Refer to Section 70000 - Construction Methods for details not shown.
  71. Refer to Section 71000 - Construction Methods for details not shown.
  72. Refer to Section 72000 - Construction Methods for details not shown.
  73. Refer to Section 73000 - Construction Methods for details not shown.
  74. Refer to Section 74000 - Construction Methods for details not shown.
  75. Refer to Section 75000 - Construction Methods for details not shown.
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  80. Refer to Section 80000 - Construction Methods for details not shown.
  81. Refer to Section 81000 - Construction Methods for details not shown.
  82. Refer to Section 82000 - Construction Methods for details not shown.
  83. Refer to Section 83000 - Construction Methods for details not shown.
  84. Refer to Section 84000 - Construction Methods for details not shown.
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  86. Refer to Section 86000 - Construction Methods for details not shown.
  87. Refer to Section 87000 - Construction Methods for details not shown.
  88. Refer to Section 88000 - Construction Methods for details not shown.
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  91. Refer to Section 91000 - Construction Methods for details not shown.
  92. Refer to Section 92000 - Construction Methods for details not shown.
  93. Refer to Section 93000 - Construction Methods for details not shown.
  94. Refer to Section 94000 - Construction Methods for details not shown.
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  98. Refer to Section 98000 - Construction Methods for details not shown.
  99. Refer to Section 99000 - Construction Methods for details not shown.
  100. Refer to Section 100000 - Construction Methods for details not shown.

TO: PATRICIA PARKER  
MARYLAND - NATIONAL CAPITAL PARK AND  
PLANNING COMMISSION

FROM: LITTLE + ARCHITECTS

RE: KENNINGTON ARMORY (HPC - 31/6-93P)

HANDRAILS & H/C SIGNAGE  
NO. OF SHEETS: 2 INCLUDING THIS COVER



DETAIL - HANDRAIL SECTION

FULL SCALE

HANDRAILS TO CONFORM W/ ANSI A117.1-1986  
SECTION 4.9.4

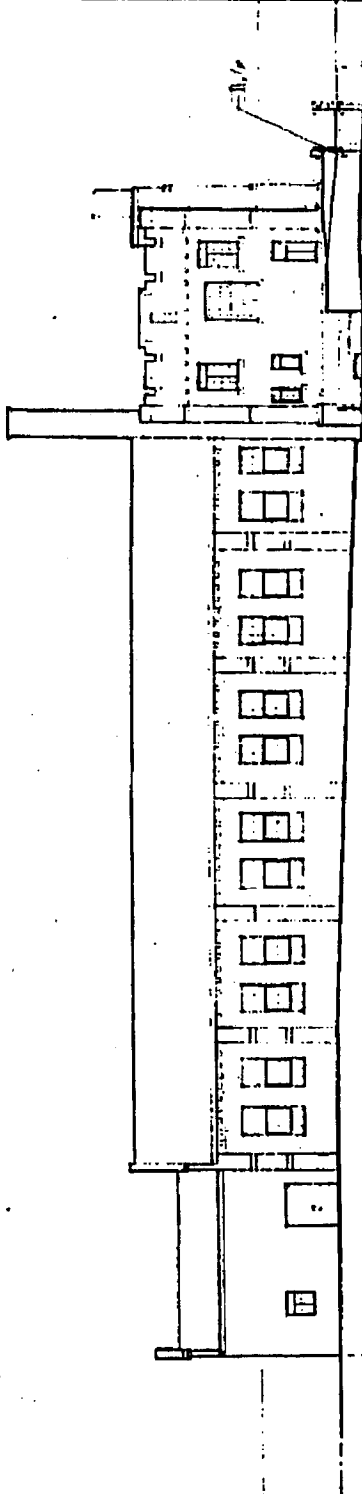
H/C SIGNAGE

NOTE - 11.6

H/C SIGNAGE TO CONFORM TO ANSI A117.1-1986  
SECTION 4.28

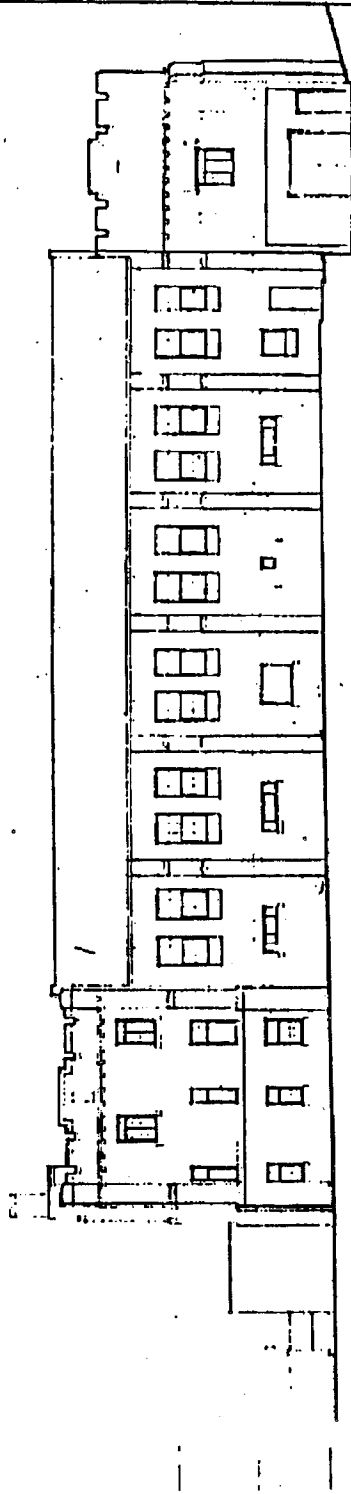
SIGN SHALL BE 6" X 6"

1. This plan shows the proposed extension of the West Elevator in New York City. The extension is shown in solid lines, while the existing building is shown in dashed lines. The extension is to be located on the east side of the existing building, between the existing building and the street. The extension is to be a three-story building, with a total height of 30 feet. The extension is to be constructed of brick and has a flat roof. The extension is to be connected to the existing building by a new staircase. The extension is to be used as a storage area for the elevator. The extension is to be located on the east side of the existing building, between the existing building and the street. The extension is to be a three-story building, with a total height of 30 feet. The extension is to be constructed of brick and has a flat roof. The extension is to be connected to the existing building by a new staircase. The extension is to be used as a storage area for the elevator.



WEST ELEVATOR

WEST ELEVATOR - NEW YORK



WEST ELEVATOR - EXTENSION OF NEW YORK CITY

WEST ELEVATOR - NEW YORK

WEST ELEVATOR - NEW YORK

NOTES






MARYLAND  
HISTORICAL



TRUST

William Donald Schaefer  
Governor

Jacqueline H. Rogers  
Secretary, DHCD

August 18, 1994

Office of Preservation Services

Ms. Pat McAuley  
Clerk Treasurer  
Town of Kensington  
3710 Mitchell Street  
Kensington, MD 20895

Re: Kensington Armory, Montgomery County  
Window Survey

Dear Ms. McAuley:

Thank you for stopping by on Monday. By now, I believe you have received a letter from the Director reflecting the items discussed at the easement committee meeting on August 9th. As we also discussed at that meeting, I would like to provide a fuller description of the requirements for a window survey which will provide sufficient information for the Town and the Trust to make a decision about the potential rehabilitation or replacement of the steel windows at the Armory.

A window by window assessment should be conducted to determine the extent of deterioration of each window, and to consider the steps and costs involved in the rehabilitation of each window. We ask for photographic documentation of the existing conditions to illustrate the assessment. The assessment would include general items such as the number of windows, and the number of original windows remaining. And it would include specifics about the condition of the frames, sashes, glazing and hardware, the amount of rust, the number of sashes that are racking, the method of installation of the original frames into the Armory walls, etc.

The assessment should also include a recommendation for the rehabilitation of the existing windows, including non-original windows at the basement level. The proposal would also include a proposal for storm windows which would meet the City's requirements of sound and condensation control. Costs should be itemized to reflect removal, if required, of individual frames for work offsite, repair work, new fabrication of frame or sash elements, if required, re-installation costs, etc.

*Maryland*

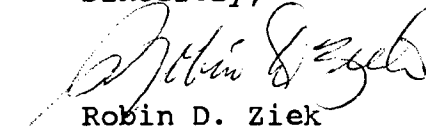
Division of Historical and Cultural Programs  
Department of Housing and Community Development  
100 Community Place, Crownsville, Maryland 21032-2023 (410) 514-7600

Alternative proposals should be presented in a parallel format, including costs, for comparison. The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings advocate the retention and repair of historic materials and features, such as windows, whenever feasible. If deterioration warrants the replacement of historic windows, the Standards recommend replacement in-kind, with the replacement window matching the original in material, configuration, color, operability, number and size of panes, profiles and proportion of metal sections and reflective qualities of the original glass.

The Trust is currently working with another architect, Mr. David Hunter, of Anshen & Allen, Inc. (2526 St. Paul Street, Baltimore, MD 410-467-7011) on a project which involves the possible rehabilitation of steel windows on a building in Baltimore dating to the 1920's. Bill Pencek has asked Mr. Hunter if he would talk with Don Little about his research and contacts with window manufacturers and contractors, etc. and Mr. Hunter is more than willing to share his information. This should be useful as Mr. Hunter's research is current, the project is local and involves issues similar to those at the Kensington Armory.

Thank you for consulting with the Trust on this matter. If you need further information please contact Robin D. Ziek at (410) 514-7633.

Sincerely,



Robin D. Ziek  
Preservation Officer  
Office of Preservation  
Services

cc: Don Little, Project Architect  
Mr. David Hunter  
Hon. Gilbert Gude  
Dr. Thomas F. King  
Mr. Mike Seebold  
~~Ms. Gwen Marcus~~  
Ms. Marie-Regine Charles-Bowser

MARYLAND  
HISTORICAL



TRUST

Office of Preservation Services

William Donald Schaefer  
Governor

Jacqueline H. Rogers  
Secretary, DHCD

August 15, 1994

Ms. Pat McAuley, Clerk Treasurer  
Town of Kensington  
3710 Mitchell Street  
Kensington, MD 20895

Re: Easement Committee Review  
Kensington Armory, Montgomery County

Dear Ms. McAuley:

Thank you for attending the easement committee of the Maryland Historical Trust on August 9th with your architect, Mr. Don Little. It was most informative, and the presentation provided the committee with a good understanding of your intentions regarding the rehabilitation of the Kensington Armory.

I understand that, at this point, the Town of Kensington is planning to move forward on exterior work associated with both compliance with ADA and fire safety/egress as well the installation of a new HVAC system. The rest of the project will be undertaken in phases, as the funding becomes available. Based on the recommendation of the easement committee I approve of the following items which relate to the new HVAC system:

1. the installation of the exposed ductwork in the Drill Hall, running in a straight run from the small mezzanine service rooms at the rear of the building;
2. the replacement of the rear windows in these small mezzanine rooms with grills, which are required for the operation of the HVAC system. Until further decisions are made about the remaining windows at the Armory, please plan to reserve these rear windows for future consideration;
3. the placement of condensers on grade at the rear of the building. They will be screened from view in this location, and will have a lower impact on the building than a rooftop location.

However, at this point, I do not approve of the wholesale removal of the radiators from the Drill Hall. I understand that the radiator system will be abandoned, but I feel that I need

*Maryland*

more information regarding the radiators and their current configuration. Are these radiators wall-mounted? How many floor penetrations are there for the radiator piping? I am concerned about repairs to original fabric which may be required if the radiators are removed.

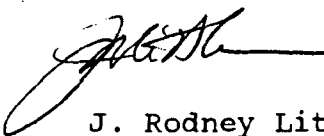
With regard to modifications which will allow you to meet ADA and fire safety requirements, I approve of the following:

1. the widening of the exterior door from the Council Chambers on the basement level leading out to Armory Avenue;
2. the widening of the exterior door at the rear stage entrance leading out to the parking lot;
3. the installation of the handicapped ramp using a solid brick railing which will match in appearance the existing brick railing at the terrace level;
4. the use of a new metal safety railing at the main entrance steps leading from the parking area to the terrace level. I am not sure that the windows actually provide the best clue for a compatible design of a hand rail here, but as this is a proposed modification of a 1970's entrance addition to the Armory, I feel there is some leeway for design decisions here.

I understand that the fire safety requirements will necessitate the widening of the interior Drill Hall doorway which leads out to the parking lot. I am prepared to approve of this alteration to meet the fire codes. However, at this point, I do not approve of the alteration of the opposing doorway simply to provide a symmetrical stage facade. I believe it is more important to retain original fabric where possible.

This approval is valid for a period of six months from the date of this letter. If construction has not been started by that date this approval will expire and a new approval will be required. Any changes, alterations, or substitutions must be reviewed and approved by the Trust. Thank you again for attending the Easement Committee meeting. If you need further information please contact Robin D. Ziek at (410) 514-7633.

Sincerely,

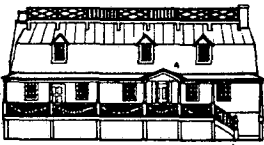


J. Rodney Little  
Director

JRL:rdz

cc: Hon. Gilbert Gude  
Dr. Thomas F. King  
Mr. Mike Seebold  
Ms. Gwen Marcus ✓  
Ms. Marie-Regine Charles-Bowser

MARYLAND  
HISTORICAL



TRUST

William Donald Schaefer  
*Governor*

Jacqueline H. Rogers  
*Secretary, DHCD*

July 7, 1994

Office of Preservation Services

Ms. Pat McAuley  
Clerk Treasurer  
Town of Kensington  
3710 Mitchell Street  
Kensington, MD 20895

Re: Easement Committee Review  
Kensington Armory, Montgomery County  
Handicapped access ramp, proposed rehabilitation

Dear Ms. McAuley:

The easement committee of the Maryland Historical Trust met on June 28th and reviewed the proposals for the rehabilitation of the Kensington Armory. At this point, the Trust has reviewed only schematic architectural drawings. We understand that certain portions of this project (HVAC, etc.) will be undertaken in the near future. We urge you to send us the final construction documents for our review as quickly as possible.

Based on the recommendation of the easement committee I commend you on your general approach to make this building handicapped accessible at every functional area. In this way, you will be able to use only a portion of the building, depending on the particular event/meeting, and that portion of the building will be handicapped accessible.

However, at this point, I do not entirely approve of the design of the proposed handicapped ramp off of the east parking area. Why do you propose a solid brick wall at the meeting point of the handicapped ramp with the pedestrian steps? The use of the solid wall will offset the balance and symmetry which presently exists now, and cover up the foundation at the northeast corner of the building. In addition, the proposal we have reviewed indicates three different railing conditions at this one location: a solid brick wall for the handicapped ramp, a new metal grid railing for pedestrians coming in from the east parking area, and the existing pipe rail leading down to the basement entrance.

*Maryland*

Division of Historical and Cultural Programs  
Department of Housing and Community Development  
100 Community Place, Crownsville, Maryland 21032-2023 (410) 514-7600

Robin Ziek, of my staff, has reviewed with you by phone the state requirements which involve the Trust. This office is required to review the entire project under the State's historic preservation law. In addition, with the placement of a preservation easement on the Armory, this office is required to review and approve of all changes and alterations to the structure.

Because we will need to review completed construction drawings and specifications for all portions of this project, perhaps it would be helpful to schedule a meeting within the near future to discuss our concerns about that portion of the project which is scheduled for construction later this year. That might be a good time to also discuss specific proposals with regard to the rehabilitation of the steel windows, necessary repointing of the masonry, and acoustic and thermal upgrades for the Drill Hall.

Thank you for consulting with the Trust on this matter. If you need further information please contact Robin D. Ziek at (410) 514-7633.

Sincerely,



J. Rodney Little  
Director

JRL:rdz

cc: Hon. Gilbert Gude  
Dr. Thomas F. King  
Mr. Mike Seebold  
~~Ms. Gwen Marcus~~  
Ms. Marie-Regine Charles-Bowser



MARYLAND  
HISTORICAL



TRUST

William Donald Schaefer  
Governor

Jacqueline H. Rogers  
Secretary, DHCD

November 4, 1993

Office of Preservation Services

Mr. Kevin Rainey  
Senior Planner  
Montgomery County Government  
Department of Housing and Community Development  
51 Monroe Street  
Rockville, Maryland 20850-2419

RE: Kensington Armory  
ADA Modifications

Dear Mr. Rainey:

Thank you for submitting the project listed above for our review and comment. This office has evaluated the project for its effects on historic properties in accordance with Section 106 of the National Historic Preservation Act of 1966, as amended.

Montgomery County proposes to provide CDBG funding to the Town of Kensington for the proposed ADA modifications to the Kensington Armory. As your letter states, the Armory is a contributing resource of the Kensington National Register Historic District. This office has reviewed the submitted plans and photographs which depict the accessibility modifications including the addition of a ramp, interior elevator and bathroom alterations. The Trust concurs that the proposed modifications have been designed in conformance with the Secretary of Interior's Standards for Rehabilitation and that the project will have no adverse effect on the Kensington Armory and the Kensington Historic District.

Since this is a determination of no adverse effect, the County must seek the comments of the Advisory Council on Historic Preservation. Please send your request along with the documentation noted in 36 CFR 800.8(a) to:

Mr. Don Klima  
Advisory Council on Historic Preservation  
Old Post Office Building, Suite 803  
1100 Pennsylvania Avenue, N.W.  
Washington, D.C. 20004

For your convenience, we have forwarded a copy of this letter to Mr. Klima.

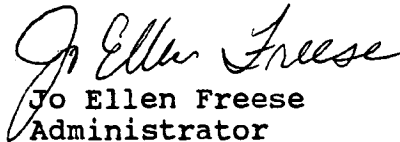
*Maryland*

Division of Historical and Cultural Programs  
Department of Housing and Community Development  
100 Community Place, Crownsville, Maryland 21032-2023 (410) 514-7600

Mr. Kevin Rainey  
November 4, 1993  
Page 2

We appreciate this opportunity to comment. Should you have any questions, please feel free to call Ms. Lauren Bowlin at (410) 514-7637.

Sincerely,



Jo Ellen Freese  
Administrator  
Project Review and Compliance

JEF/LLB  
9302273

cc: Mr. Don Klima  
Hon. Gilbert Gude  
Dr. Thomas King  
Mr. Mike Seebold  
Ms. Gwen Marcus

## **KENSINGTON ARMORY - EXISTING**

### **A. SITE**

The site for the Kensington Armory is a corner in downtown Kensington bound by Armory and Mitchell Streets. The site is approximately one acre.

### **B. BUILDING EXTERIOR**

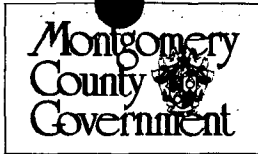
The Kensington Armory was constructed for the National Guard in 1927. As originally constructed, it was a two story building with basement. The front (north) portion consisted of offices and the middle portion a large Drill Hall with a two-story Stage to the south. The entire exterior is brick with precast concrete copings, cornices and sills. The north and south portions have a flat roof of built-up felt whereas the Drill Hall has a barrel vaulted roof covered with a membrane and asphalt shingles. The exterior windows are the original steel frames with single glazing except in the Basement offices which are aluminum frame replacements. Some Basement windows have been blocked up along the east wall (Firing Range) office supply room and Mayor's office and the west wall (Kitchen and Men's Restroom). The Armory building entrance was reconfigured in 1976 to eliminate the original, horseshoe shaped, ramped entrance. The revised entrance is a brick arched portico with upper (First Floor) and lower (Basement) entrance plazas. This portico has molded brick wall caps.

Each plaza is accessed from the east parking lot by a half flight of concrete stairs. The concrete stairs in both up and down flights have spalled, cracked at the risers, and generally deteriorated. These need to be repaired and have the expansion joints repacked and caulked as well.

The First Floor entrance Plaza which serves as the building's "front door" has no disabled access since it is approached only as a stairway. The rear of the First floor does have an on-grade entrance next to the stage end of the Drill Hall. Thus the entire First Floor has only one potential disabled accessible entrance and, more importantly, exit.

The Basement Level has an on-grade access from Mitchell Street but not directly from the parking lot. The rear -Council Room - exit from the basement floor has a multi-riser condition in its pathway.

Therefore, the current building and site configuration does not provide adequate entrance and exit facilities for disabled or elderly users as required by the ADA.



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1024901  
 NAME OF PROPERTY OWNER TOWN OF KENSINGTON TELEPHONE NO. 301-949-2424  
(Contract/Purchaser) (Include Area Code)  
 ADDRESS 3710 MITCHELL STREET KENSINGTON, MARYLAND 20895  
CITY STATE ZIP  
 CONTRACTOR \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_  
 PLANS PREPARED BY LITTLE + ARCHITECTS CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_  
(Include Area Code) TELEPHONE NO. 301-949-8800  
 REGISTRATION NUMBER MD 3311-A

LOCATION OF BUILDING/PREMISE  
 House Number 3710 Street MITCHELL STREET  
 Town/City KENSINGTON Election District 13  
 Nearest Cross Street ARMORY AVENUE  
 Lot 1,2,3,4 Block 3 Subdivision 15  
 Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)  
 Construct  Extend/Add  Alter/Renovate  Repair   
 Wreck/Raze  Move  Install  Revocable  Revision   
 Circle One: A/C Slab Room Addition  
 Porch Deck Fireplace Shed Solar Woodburning Stove  
 Fence/Wall (complete Section 4) Other ENTRANCE RAMP SIDEWALK  
 1B. CONSTRUCTION COSTS ESTIMATE \$ 55,000  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_  
 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO  
 1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS  
 2A. TYPE OF SEWAGE DISPOSAL  
 01 ( ) WSSC 02 ( ) Septic  
 03 ( ) Other \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY  
 01 ( ) WSSC 02 ( ) Well  
 03 ( ) Other \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL  
 4A. HEIGHT 3 feet 0 inches  
 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 1. On party line/Property line \_\_\_\_\_  
 2. Entirely on land of owner  \_\_\_\_\_  
 3. On public right of way/easement \_\_\_\_\_ (Revocable Letter Required)

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Donald A. Little, AIA LITTLE + ARCHITECTS 10.12.93  
 Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

APPLICATION/PERMIT NO: 9310130072 FILING FEE: \$ \_\_\_\_\_  
 DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_  
 DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_  
 OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

## HISTORIC AREA WORK PERMITS CHECKLIST OF APPLICATION REQUIREMENTS

REQUIREMENTS	WRITTEN DESCRIPTION	PROJECT INTENT	PROJECT PLAN	TREE SURVEY	DESIGN FEATURES	FACADES	MATERIAL SPECIFICATIONS	PHOTOGRAPHS	PROPERTY OWNER ADDR.
NEW CONSTRUCTION	*	*	*	*	*	*	*	*	*
ADDITIONS	*	*	*	*	*	*	*	*	*
PARTIAL/TOTAL DEMO.	*	*	*					*	*
DECKS/PORCHES	*	*	*		*	*	*	*	*
FENCES/WALLS	*	*	*				*	*	*
DRIVES/PARKING AREAS	*	*	*	*			*	*	*
MAJOR LANDSCAP./GRADING	*	*	*	*			*	*	*
TREE REMOVAL	*	*	*	*			*	*	*
SIDING/ROOFING CHANGES	*	*	*			*	*	*	*
WINDOW/DOOR CHANGES	*	*	*		*	*	*	*	*
MASONRY REPAIR/REPOINT	*	*	*			*	*	*	*
SIGNS	*	*	*			*	*	*	*

Please see attached instructions for further details regarding these application requirements.

***NOTE:*** Historic Area Work Permits are not required for ordinary maintenance projects, such as painting, gutter repair, roof repair with duplicate materials, and window repairs.

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT  
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED

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- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED

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2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

SEE ATTACHED

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- b. the relationship of this design to the existing resource(s):

SEE ATTACHED

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- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

COMPATIBLE IN FORM & MATERIALS.  
LOCATED ON REAR

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3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

## **KENSINGTON ARMORY - PROPOSED**

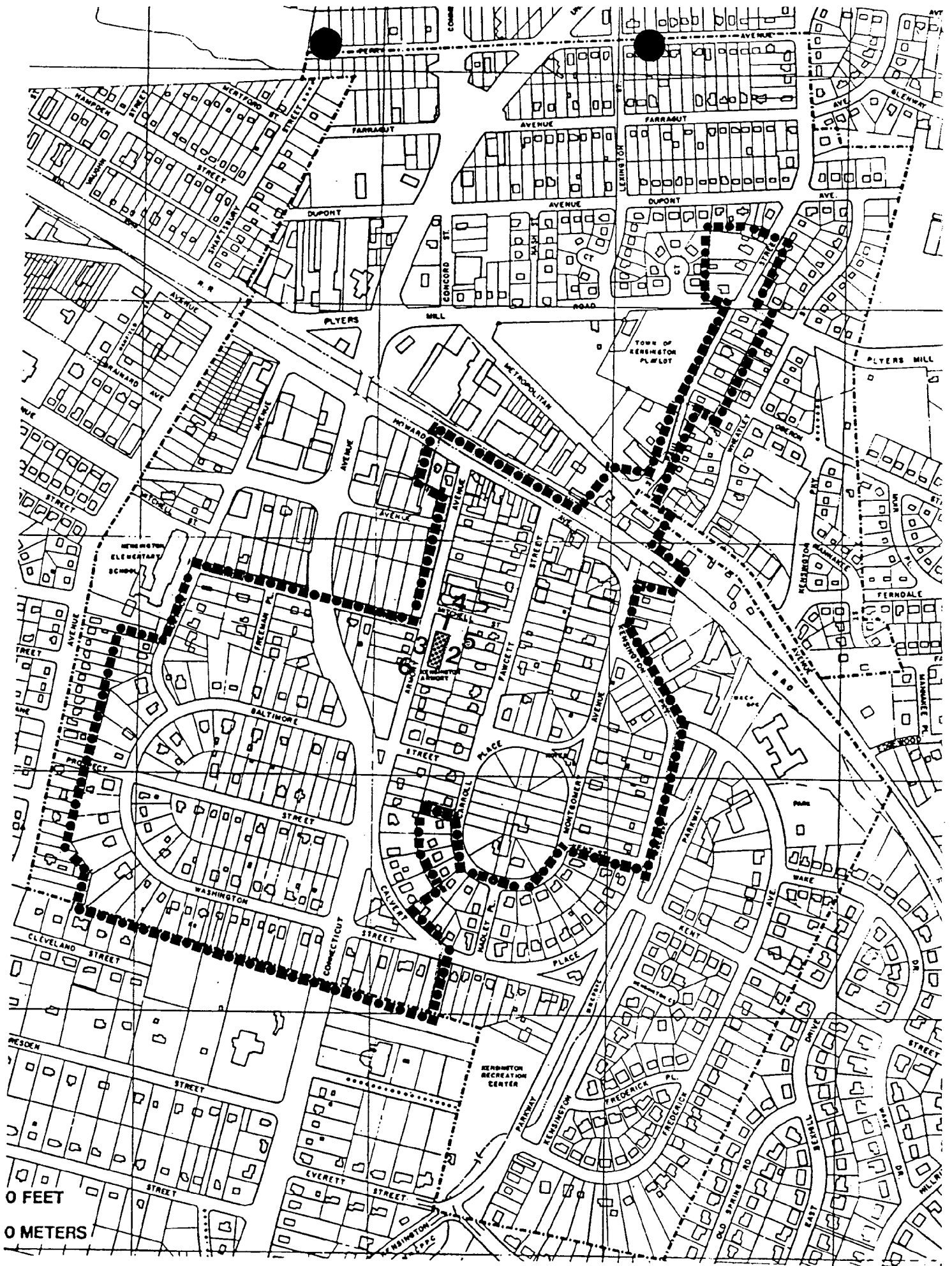
### **A. ENTRANCE RAMP - NORTH**

A sloped ramp is proposed to be added to the entrance portico on the north side of the structure to comply with ADA requirements to allow handicap accessibility to the First (main) floor of the building. This ramp has a 1:12 slope in accordance with the building code. The ramp surface is textured concrete to match the entrance plaza surface. The walls and sides of the ramp are brick with a molded brick cap top match the existing entrance portico detailing. The ramp handrails are painted steel. The ramp structure has been positioned to provide minimal functional and aesthetic impact on the existing Armory.

### **B. EXIT SIDEWALK - SOUTH**

A sidewalk has been added adjacent to the west facade of the building to allow a required (building code) handicap accessible exit as a second means of egress from the Basement floor. This sidewalk follows the natural grade and is concrete with a surface and texture to match the existing sidewalks on the property.





0 FEET  
0 METERS



4. Mitchell Street  
(North side)



5. Fawcett Street  
(East side)



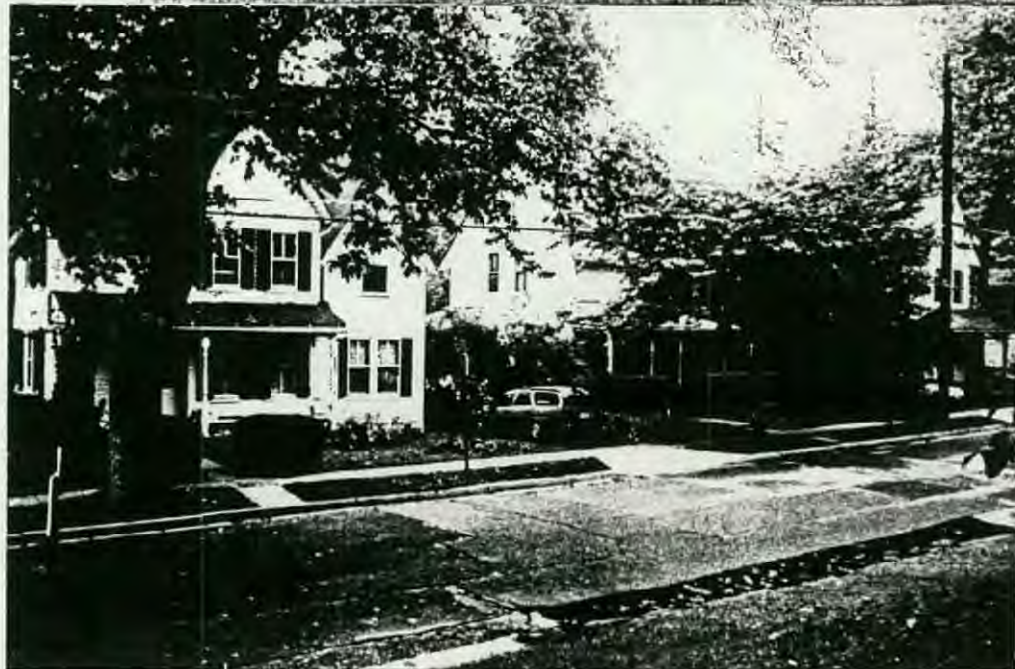
6. Armory Avenue  
(West side)



1. North View



2. East View

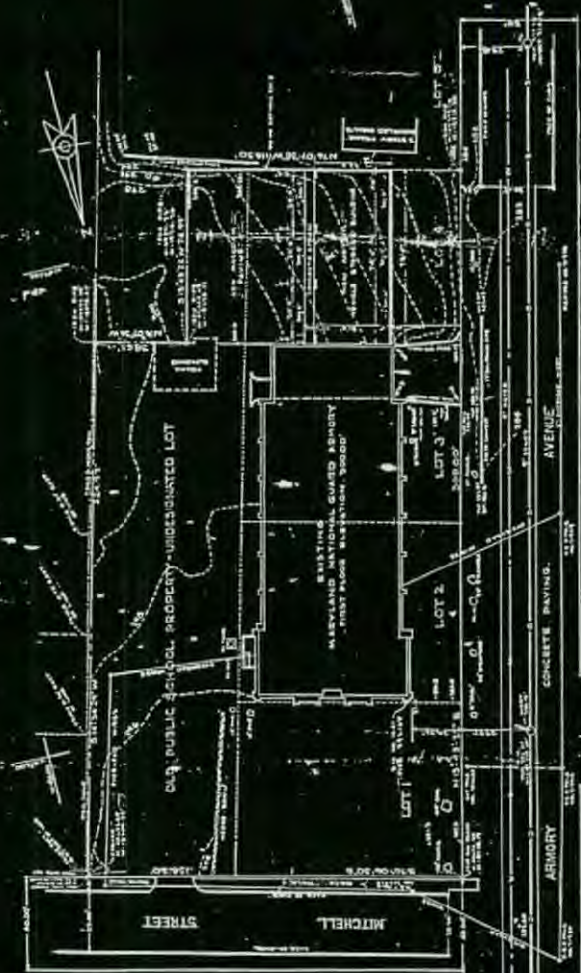


3. West View

**MATERIAL SCHEDULE**

150000	EARTH
150000	PAVED CONCRETE
150000	ASBESTOS DIKE
150000	DIKING
150000	STEEL
150000	PRE CAST CONCRETE
150000	INSULATION
150000	GRAVEL

**STRUCTURAL NOTE**  
 ALL CONCRETE TO BE PLACED IN 24 HRS  
 AFTER POURING. CURING SHALL BE MAINTAINED FOR 28 DAYS.  
 ALL REINFORCING SHALL BE PLACED IN PLACE  
 BEFORE POURING CONCRETE. ALL REINFORCING SHALL  
 BE PLACED IN PLACE BEFORE POURING CONCRETE.  
 ALL REINFORCING SHALL BE PLACED IN PLACE  
 BEFORE POURING CONCRETE.



**NOTE: THE FOLLOWING TABLES SHOW THE FOLLOWING**

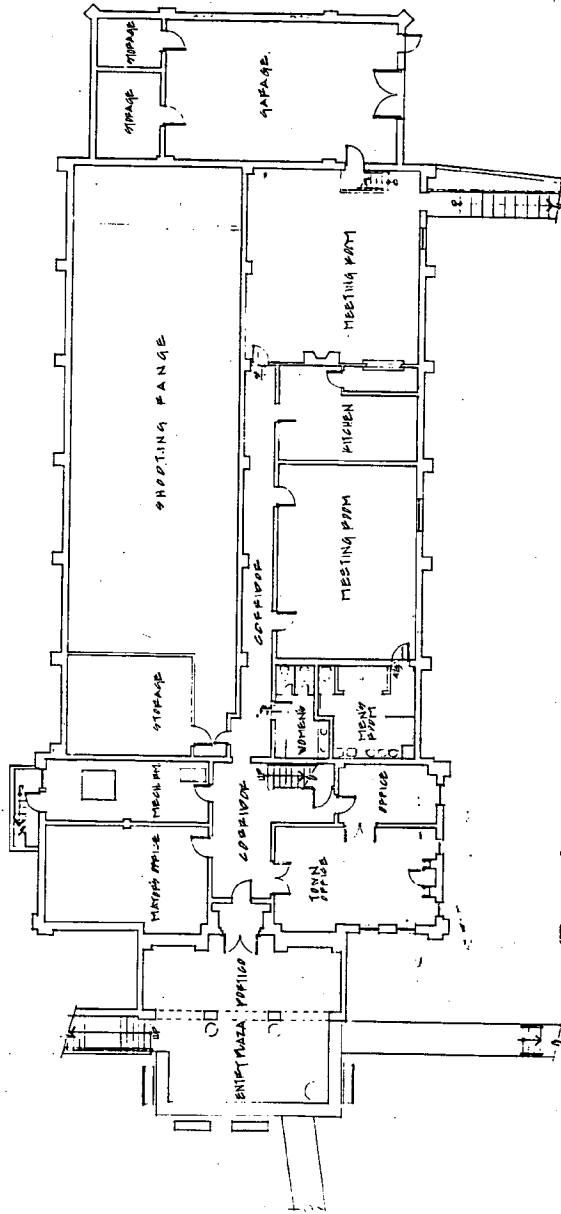
ITEM	QUANTITY	UNIT	REMARKS
1	100	YD	GRAVEL
2	50	YD	CONCRETE
3	200	YD	ASBESTOS
4	100	YD	STEEL
5	50	YD	INSULATION
6	100	YD	PAVED CONCRETE

**LOCATION & GRADING PLAN**

MOTOR VEHICLE STORAGE BUILDING FOR THE  
 MARYLAND NATIONAL GUARD SIGNALRY  
 J. W. BENNINGTON - MARYLAND  
 GEN. MILTON A. RECORD - ADJ. GENERAL

LAURENCE A. WEAVER  
 ARCHITECT  
 1000 BALTIMORE AVENUE  
 BALTIMORE, MARYLAND  
**A.1**

- REVISIONS:**
- 1. 10/10/10 - Initial drawing
  - 2. 10/15/10 - Add notes regarding existing conditions
  - 3. 10/20/10 - Add notes regarding proposed changes
  - 4. 10/25/10 - Add notes regarding material specifications
  - 5. 10/30/10 - Add notes regarding construction details
  - 6. 11/05/10 - Add notes regarding site conditions
  - 7. 11/10/10 - Add notes regarding utility locations
  - 8. 11/15/10 - Add notes regarding structural requirements
  - 9. 11/20/10 - Add notes regarding interior finishes
  - 10. 11/25/10 - Add notes regarding exterior finishes
  - 11. 12/01/10 - Add notes regarding landscaping
  - 12. 12/05/10 - Add notes regarding parking layout
  - 13. 12/10/10 - Add notes regarding accessibility
  - 14. 12/15/10 - Add notes regarding fire safety
  - 15. 12/20/10 - Add notes regarding energy efficiency
  - 16. 12/25/10 - Add notes regarding security features
  - 17. 01/05/11 - Add notes regarding equipment specifications
  - 18. 01/10/11 - Add notes regarding furniture layout
  - 19. 01/15/11 - Add notes regarding lighting design
  - 20. 01/20/11 - Add notes regarding acoustics
  - 21. 01/25/11 - Add notes regarding ventilation
  - 22. 02/01/11 - Add notes regarding water supply
  - 23. 02/05/11 - Add notes regarding drainage
  - 24. 02/10/11 - Add notes regarding fire alarm
  - 25. 02/15/11 - Add notes regarding security system
  - 26. 02/20/11 - Add notes regarding accessibility improvements
  - 27. 02/25/11 - Add notes regarding energy audits
  - 28. 03/01/11 - Add notes regarding material samples
  - 29. 03/05/11 - Add notes regarding construction schedule
  - 30. 03/10/11 - Add notes regarding budget review
  - 31. 03/15/11 - Add notes regarding final approvals
  - 32. 03/20/11 - Add notes regarding construction start
  - 33. 03/25/11 - Add notes regarding site preparation
  - 34. 04/01/11 - Add notes regarding foundation work
  - 35. 04/05/11 - Add notes regarding framing
  - 36. 04/10/11 - Add notes regarding roof structure
  - 37. 04/15/11 - Add notes regarding exterior walls
  - 38. 04/20/11 - Add notes regarding interior walls
  - 39. 04/25/11 - Add notes regarding floor installation
  - 40. 05/01/11 - Add notes regarding ceiling installation
  - 41. 05/05/11 - Add notes regarding door and window installation
  - 42. 05/10/11 - Add notes regarding electrical wiring
  - 43. 05/15/11 - Add notes regarding plumbing fixtures
  - 44. 05/20/11 - Add notes regarding HVAC equipment
  - 45. 05/25/11 - Add notes regarding fire alarm devices
  - 46. 06/01/11 - Add notes regarding security cameras
  - 47. 06/05/11 - Add notes regarding accessibility signage
  - 48. 06/10/11 - Add notes regarding energy efficient lighting
  - 49. 06/15/11 - Add notes regarding acoustical treatment
  - 50. 06/20/11 - Add notes regarding ventilation ductwork
  - 51. 06/25/11 - Add notes regarding water supply lines
  - 52. 07/01/11 - Add notes regarding drainage pipes
  - 53. 07/05/11 - Add notes regarding fire alarm control panel
  - 54. 07/10/11 - Add notes regarding security system control
  - 55. 07/15/11 - Add notes regarding accessibility ramps
  - 56. 07/20/11 - Add notes regarding energy efficient windows
  - 57. 07/25/11 - Add notes regarding acoustical panels
  - 58. 08/01/11 - Add notes regarding ventilation fans
  - 59. 08/05/11 - Add notes regarding water supply valves
  - 60. 08/10/11 - Add notes regarding drainage cleanouts
  - 61. 08/15/11 - Add notes regarding fire alarm testing
  - 62. 08/20/11 - Add notes regarding security system testing
  - 63. 08/25/11 - Add notes regarding accessibility audit
  - 64. 09/01/11 - Add notes regarding energy audit
  - 65. 09/05/11 - Add notes regarding material selection
  - 66. 09/10/11 - Add notes regarding construction progress
  - 67. 09/15/11 - Add notes regarding framing completion
  - 68. 09/20/11 - Add notes regarding roof structure completion
  - 69. 09/25/11 - Add notes regarding exterior wall completion
  - 70. 10/01/11 - Add notes regarding interior wall completion
  - 71. 10/05/11 - Add notes regarding floor installation completion
  - 72. 10/10/11 - Add notes regarding ceiling installation completion
  - 73. 10/15/11 - Add notes regarding door and window installation completion
  - 74. 10/20/11 - Add notes regarding electrical wiring completion
  - 75. 10/25/11 - Add notes regarding plumbing fixtures completion
  - 76. 11/01/11 - Add notes regarding HVAC equipment completion
  - 77. 11/05/11 - Add notes regarding fire alarm devices completion
  - 78. 11/10/11 - Add notes regarding security cameras completion
  - 79. 11/15/11 - Add notes regarding accessibility signage completion
  - 80. 11/20/11 - Add notes regarding energy efficient lighting completion
  - 81. 11/25/11 - Add notes regarding acoustical treatment completion
  - 82. 12/01/11 - Add notes regarding ventilation ductwork completion
  - 83. 12/05/11 - Add notes regarding water supply lines completion
  - 84. 12/10/11 - Add notes regarding drainage pipes completion
  - 85. 12/15/11 - Add notes regarding fire alarm control panel completion
  - 86. 12/20/11 - Add notes regarding security system control completion
  - 87. 12/25/11 - Add notes regarding accessibility ramps completion
  - 88. 01/01/12 - Add notes regarding energy efficient windows completion
  - 89. 01/05/12 - Add notes regarding acoustical panels completion
  - 90. 01/10/12 - Add notes regarding ventilation fans completion
  - 91. 01/15/12 - Add notes regarding water supply valves completion
  - 92. 01/20/12 - Add notes regarding drainage cleanouts completion
  - 93. 01/25/12 - Add notes regarding fire alarm testing completion
  - 94. 02/01/12 - Add notes regarding security system testing completion
  - 95. 02/05/12 - Add notes regarding accessibility audit completion
  - 96. 02/10/12 - Add notes regarding energy audit completion
  - 97. 02/15/12 - Add notes regarding material selection completion
  - 98. 02/20/12 - Add notes regarding construction progress completion
  - 99. 02/25/12 - Add notes regarding framing completion
  - 100. 03/01/12 - Add notes regarding roof structure completion



LET NOTES

BASEMENT FLOOR PLAN - EXISTING  
10.1.10

10	11	12
13	14	15
16	17	18
19	20	21



REYNOLDS

1. General Notes: See the General Notes on the first sheet of this set.

2. All work shall be in accordance with the specifications and standards of the National Fire Protection Association (NFPA) and the International Building Code (IBC).

3. The contractor shall be responsible for obtaining all necessary permits and approvals from the local authorities.

4. The contractor shall maintain access to all adjacent properties at all times during the construction process.

5. The contractor shall be responsible for protecting all existing structures and utilities on the site.

6. The contractor shall be responsible for the safe handling and disposal of all construction materials and waste.

7. The contractor shall be responsible for the safety of all workers and the public during the construction process.

8. The contractor shall be responsible for the quality of all workmanship and materials used in the project.

9. The contractor shall be responsible for the completion of the project within the specified time frame and budget.

10. The contractor shall be responsible for the maintenance and repair of all existing structures and utilities on the site.

11. The contractor shall be responsible for the removal and disposal of all construction materials and waste.

12. The contractor shall be responsible for the final inspection and certification of the project.

13. The contractor shall be responsible for the final cleanup and restoration of the site.

14. The contractor shall be responsible for the final handover of the project to the owner.

15. The contractor shall be responsible for the final payment of the project.

16. The contractor shall be responsible for the final closing of the project.

17. The contractor shall be responsible for the final record drawing of the project.

18. The contractor shall be responsible for the final as-built drawing of the project.

19. The contractor shall be responsible for the final maintenance manual of the project.

20. The contractor shall be responsible for the final training manual of the project.

21. The contractor shall be responsible for the final operation manual of the project.

22. The contractor shall be responsible for the final safety manual of the project.

23. The contractor shall be responsible for the final quality manual of the project.

24. The contractor shall be responsible for the final environmental manual of the project.

25. The contractor shall be responsible for the final social and community impact manual of the project.

26. The contractor shall be responsible for the final stakeholder engagement manual of the project.

27. The contractor shall be responsible for the final communication manual of the project.

28. The contractor shall be responsible for the final risk management manual of the project.

29. The contractor shall be responsible for the final procurement manual of the project.

30. The contractor shall be responsible for the final contract management manual of the project.

31. The contractor shall be responsible for the final legal manual of the project.

32. The contractor shall be responsible for the final financial manual of the project.

33. The contractor shall be responsible for the final human resources manual of the project.

34. The contractor shall be responsible for the final information technology manual of the project.

35. The contractor shall be responsible for the final project management manual of the project.

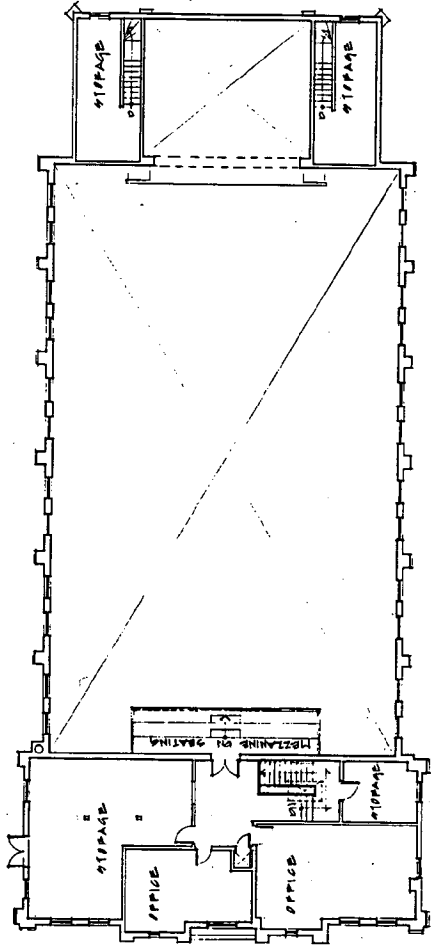
36. The contractor shall be responsible for the final project closure manual of the project.

37. The contractor shall be responsible for the final project evaluation manual of the project.

38. The contractor shall be responsible for the final project lessons learned manual of the project.

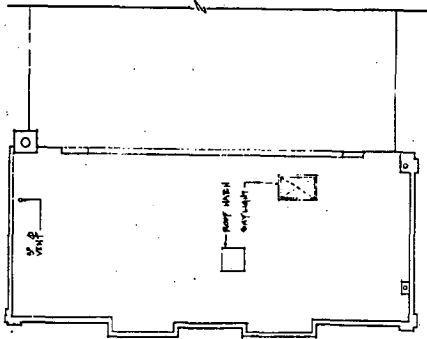
39. The contractor shall be responsible for the final project archive manual of the project.

40. The contractor shall be responsible for the final project record manual of the project.

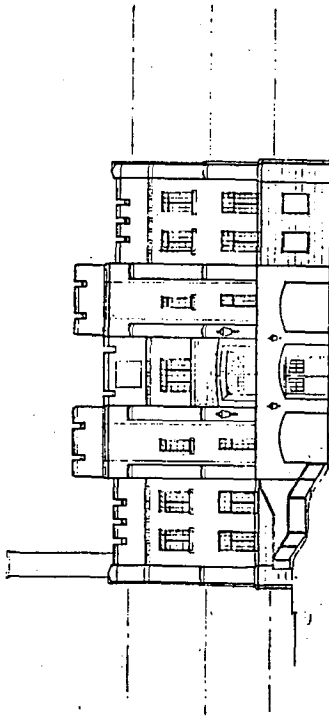


SECOND FLOOR PLAN - EXISTING

1	2	3	4
5	6	7	8
9	10	11	12



FLOOR PLAN - EXISTING  
1/8" = 1'-0"



NORTH ELEVATION - EXISTING  
1/8" = 1'-0"

FLOOR PLAN AND NORTH ELEVATION - EXISTING  
1/8" = 1'-0"

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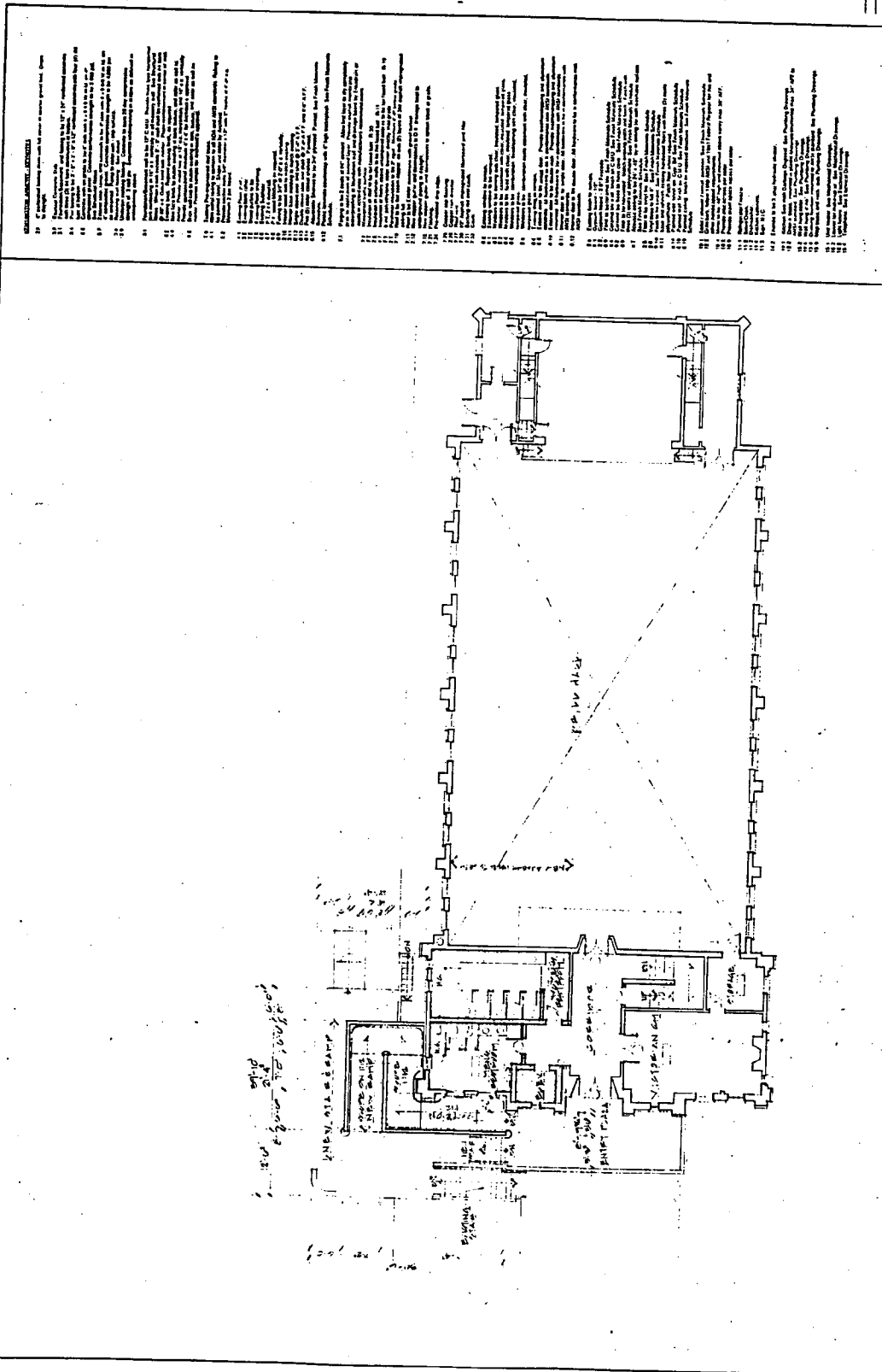
KENNINGTON ARMORY  
2710 MITCHELL STREET  
KENNINGTON, MARYLAND

ARCHITECT  
LITTLE

407  
LITTLE  
ARCHITECTS

KEYNOTE #

FLOOR PLAN - NEW WORK



1. The building is to be constructed of brick and concrete block. The walls are to be 12 inches thick. The floors are to be of concrete. The roof is to be of asphalt and gravel. The exterior finish is to be brick. The interior finish is to be plaster and paint. The building is to be finished in accordance with the specifications of the Department of the Army, Washington, D. C.

2. The building is to be constructed in accordance with the specifications of the Department of the Army, Washington, D. C. The building is to be finished in accordance with the specifications of the Department of the Army, Washington, D. C.

3. The building is to be constructed in accordance with the specifications of the Department of the Army, Washington, D. C. The building is to be finished in accordance with the specifications of the Department of the Army, Washington, D. C.

4. The building is to be constructed in accordance with the specifications of the Department of the Army, Washington, D. C. The building is to be finished in accordance with the specifications of the Department of the Army, Washington, D. C.

5. The building is to be constructed in accordance with the specifications of the Department of the Army, Washington, D. C. The building is to be finished in accordance with the specifications of the Department of the Army, Washington, D. C.

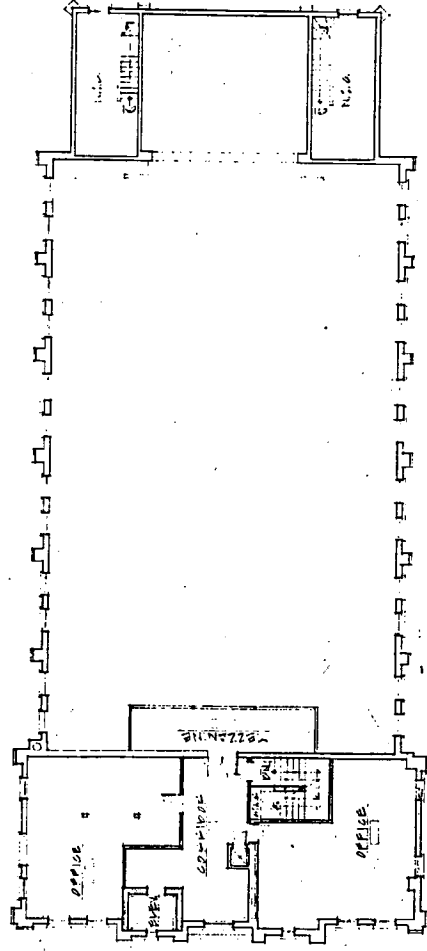
6. The building is to be constructed in accordance with the specifications of the Department of the Army, Washington, D. C. The building is to be finished in accordance with the specifications of the Department of the Army, Washington, D. C.

7. The building is to be constructed in accordance with the specifications of the Department of the Army, Washington, D. C. The building is to be finished in accordance with the specifications of the Department of the Army, Washington, D. C.

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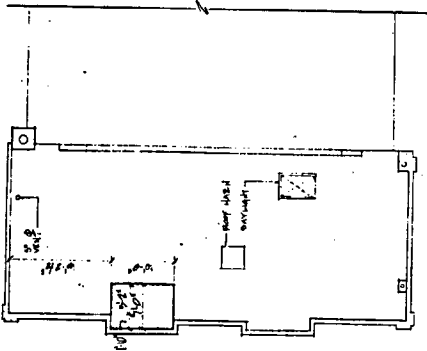


1. The building shall be constructed in accordance with the provisions of the National Building Code of the City of New York, as amended, and the applicable provisions of the Building Code of the City of New York, as amended, and the applicable provisions of the Building Code of the City of New York, as amended.

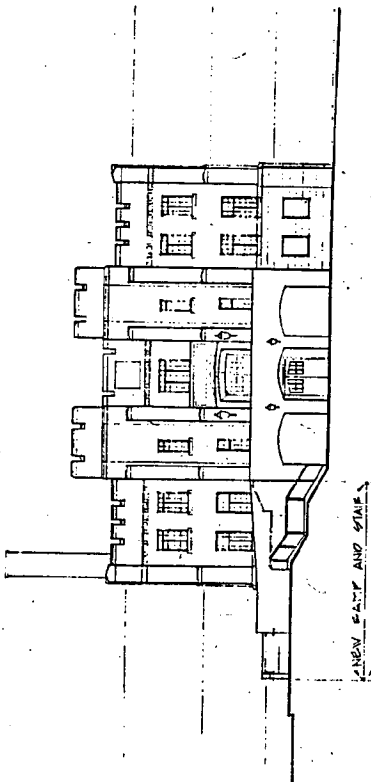

001

1. General Notes: See also sheets 001, 002, 003, 004, 005, 006, 007, 008, 009, 010, 011, 012, 013, 014, 015, 016, 017, 018, 019, 020, 021, 022, 023, 024, 025, 026, 027, 028, 029, 030, 031, 032, 033, 034, 035, 036, 037, 038, 039, 040, 041, 042, 043, 044, 045, 046, 047, 048, 049, 050, 051, 052, 053, 054, 055, 056, 057, 058, 059, 060, 061, 062, 063, 064, 065, 066, 067, 068, 069, 070, 071, 072, 073, 074, 075, 076, 077, 078, 079, 080, 081, 082, 083, 084, 085, 086, 087, 088, 089, 090, 091, 092, 093, 094, 095, 096, 097, 098, 099, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 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995, 996, 997, 998, 999, 1000.

REINOTE



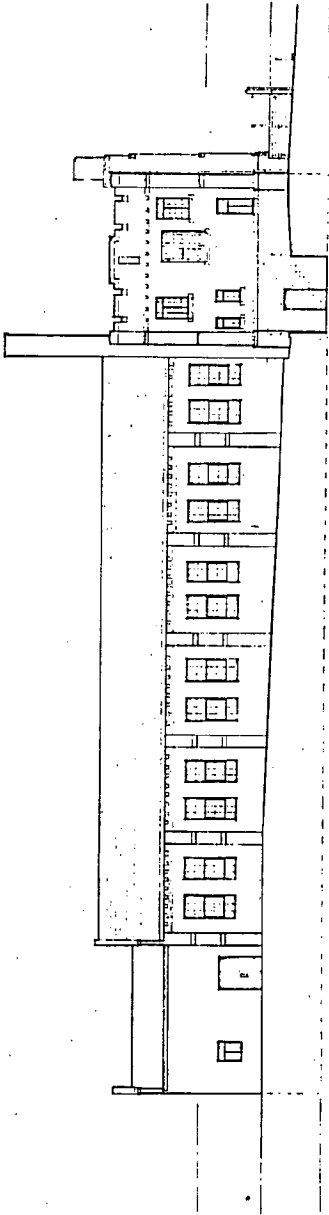
ROOF PLAN - NEW YORK



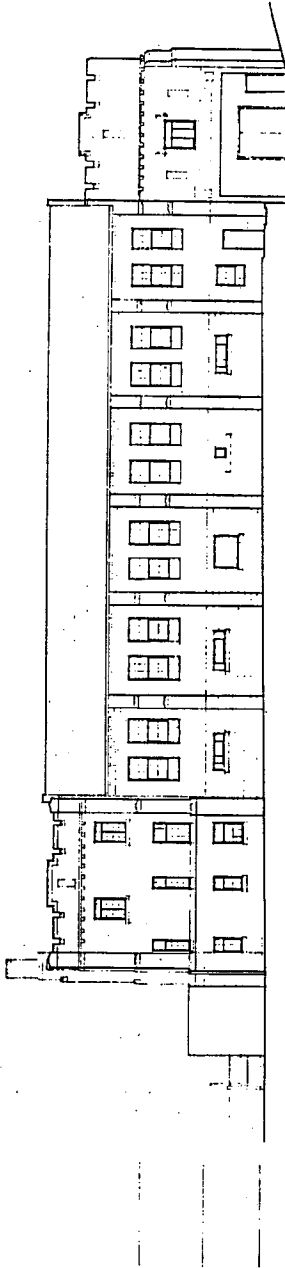
NORTH ELEVATION - NEW YORK

ROOF PLAN/NORTH ELEVATION-NEW YORK

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EAST ELEVATION - EXISTING  
10'-10"



WEST ELEVATION - EXISTING  
10'-10"

EAST AND WEST ELEVATIONS - EXISTING  
10'-10"



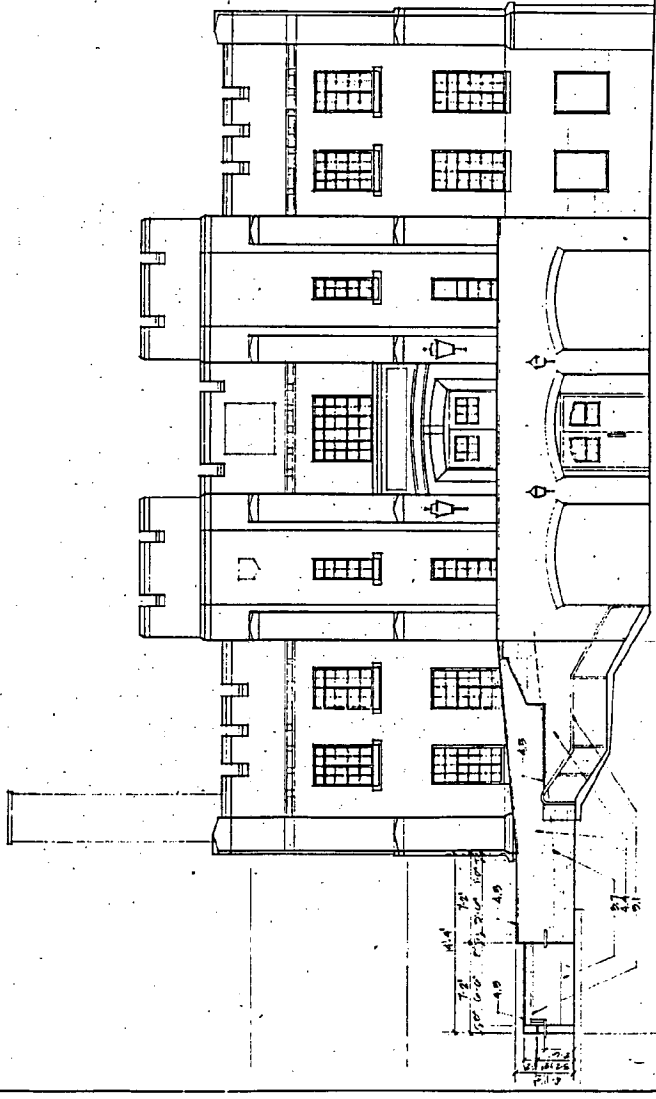


ELEVATION

1004

KEYNOTES

- 1. GENERAL NOTES: SEE ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT.
- 2. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR MATERIALS, FINISHES, AND CONSTRUCTION METHODS.
- 3. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR DIMENSIONS AND TOLERANCES.
- 4. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF FINISHES.
- 5. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF MATERIALS.
- 6. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF WORK.
- 7. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF CONDITIONS.
- 8. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF VALUES.
- 9. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF PAYMENTS.
- 10. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF DELIVERY.
- 11. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF INSTALLATION.
- 12. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF MAINTENANCE.
- 13. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF REPAIRS.
- 14. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF REPLACEMENTS.
- 15. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF DEMOLITION.
- 16. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF UTILITIES.
- 17. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF ENVIRONMENTAL PROTECTION.
- 18. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF SAFETY.
- 19. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF QUALITY CONTROL.
- 20. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF DOCUMENTATION.
- 21. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF COMMUNICATIONS.
- 22. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF RISK MANAGEMENT.
- 23. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF LEGAL COMPLIANCE.
- 24. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF ETHICAL CONDUCT.
- 25. REFER TO ARCHITECTURAL SPECIFICATIONS AND NOTES TO CONTRACT FOR SCHEDULE OF SUSTAINABILITY.



NORTH ELEVATION - NEW WORK  
1/8" = 1'-0"