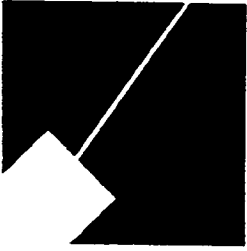


31/7-98G 9706 Capitol View Avenue

(Capitol View Park Historic District)



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 9-23-98

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved Denied

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

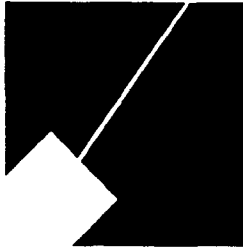
~~THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).~~

Applicant: Ivanor Corp (Peter Quadressa)

Address: 9706 Capitol View Ave. Silver Spring

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: 9-23-98

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section *gwh*

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

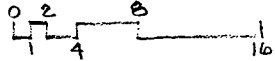
If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



NORTHEAST ELEVATION

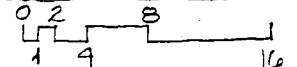


APPROVED
 Montgomery County
 Historic Preservation Commission
Emily C. Volz 4/13/98

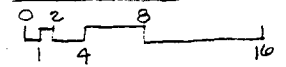


NEW
 STAIR
 W/7"
 RISERS

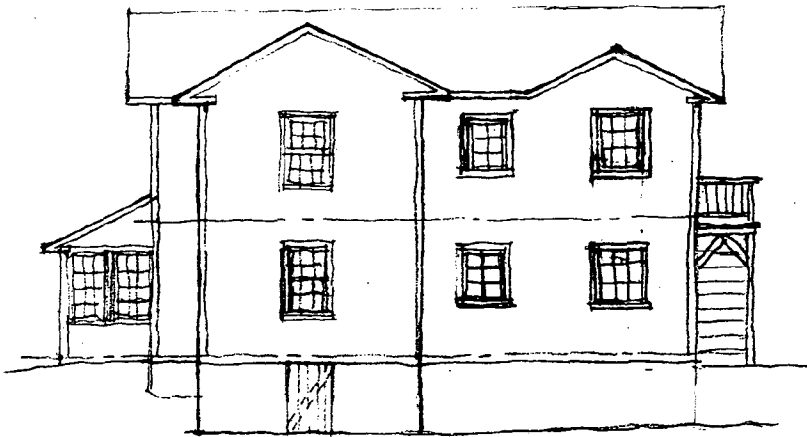
SOUTHEAST ELEVATION



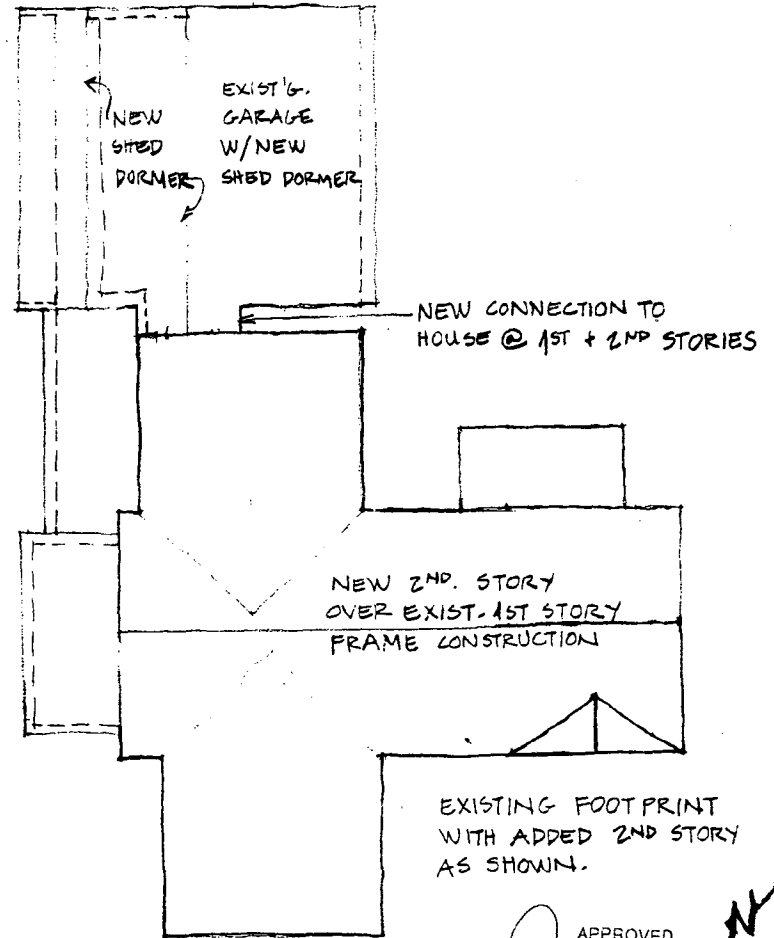
SOUTHWEST ELEVATION



EXTERIOR ELEVATIONS
 EMILY C. VOLZ, A
 APRIL 15, 1998



NORTHWEST ELEVATION



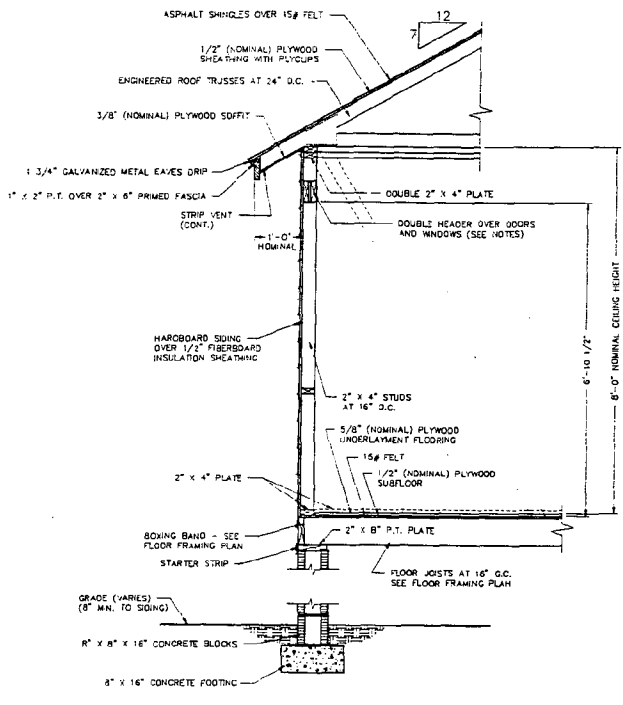
ROOF PLAN



APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 9/23/98

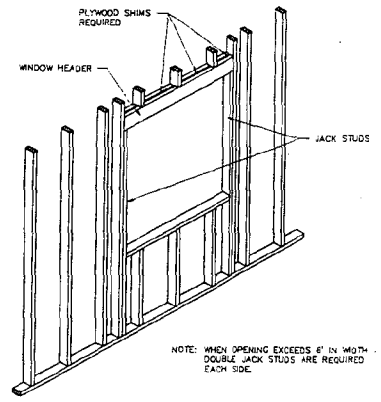
EXTERIOR ELEVATIONS
EMILY C. VOLZ, AIA
APRIL 15, 1998



TYPICAL WALL SECTION

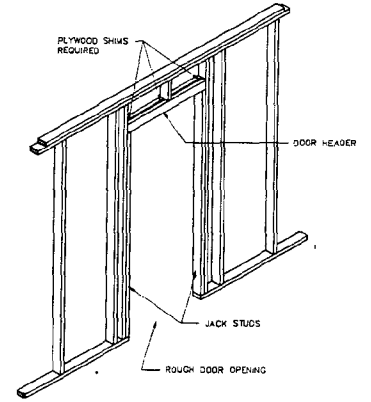
NOTES: 1) 2-2" x 6" AT EXTERIOR LOAD BEARING WALLS.
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 4) 2-2" x 12" AT OPENINGS LARGER THAN 6' (DOUBLE JACK STUDS EACH SIDE).

SCALE: 3/4" = 1'-0"

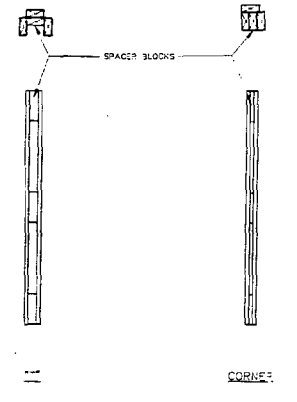


TYPICAL WINDOW HEADER DETAIL

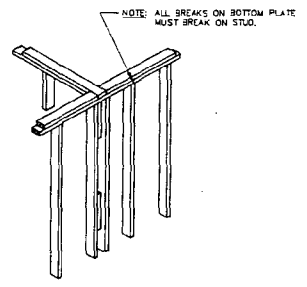
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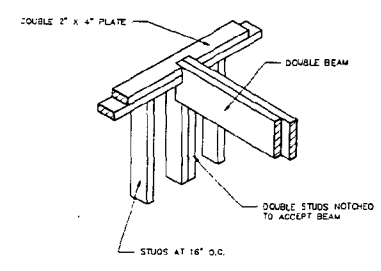
TYPICAL DOOR HEADER DETAIL



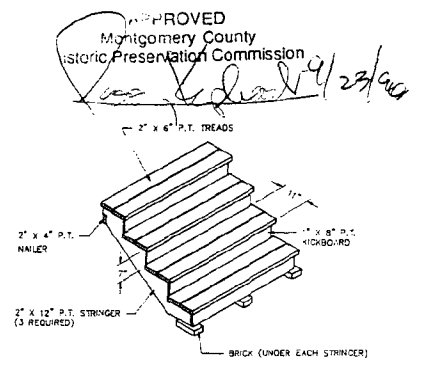
TYPICAL "T" AND CORNER



TYPICAL WALL TIE DETAIL



BEAM TIE AT WALL DETAIL



TYPICAL STEP DETAIL

NOTES: 1) THE SUM OF TWO (2) RISERS AND ONE (1) TREAD TO BE AT LEAST 24" AND NOT MORE THAN 25".
 2) THE QUANTITY OF TREADS AND RISERS MAY VARY DUE TO THE TERRAIN.

CONSTRUCTION
NOTES

Roof 1/2" CDX Plywood, w 30 lb
felt + 20yr Black Asphalt
shingles



Header over window
2- 2x12

RAFTERS 2x8

Ceiling Joist 2x6

Floor Joist 2x10

window Header 2x8x2"

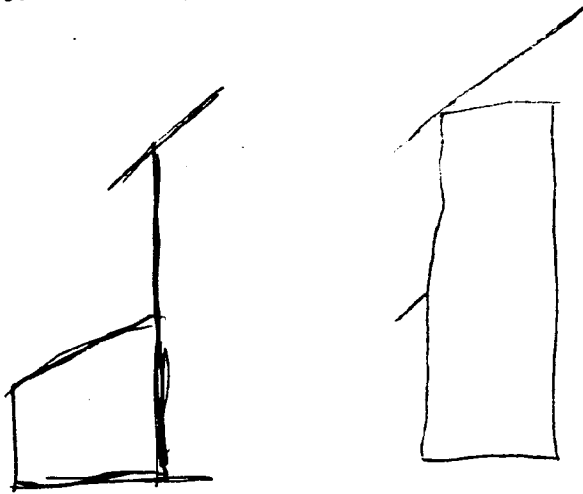
window 3'x5'

To match existing

Interior plywood red-stain
to match existing
w/ white trim +

Sidewalls 2x4x8 panels
exterior covering 4x8 1/2" CDX
plywood w/ batten strips to
simulate "Board + Batten" siding

No new interior finish, electric
or plumbing
for new 2nd floor (storage)

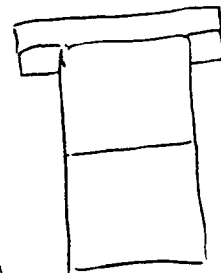


Picture window existing - move from
front porch.

Window similar to Xmas Shop
to be substituted

New windows (4) one on side above
existing and 2 front + 1 rear to
match existing (approx 3x5)

Row of fixed glass windows facing front of enclosure
next to front porch to match.



APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 9/23/98

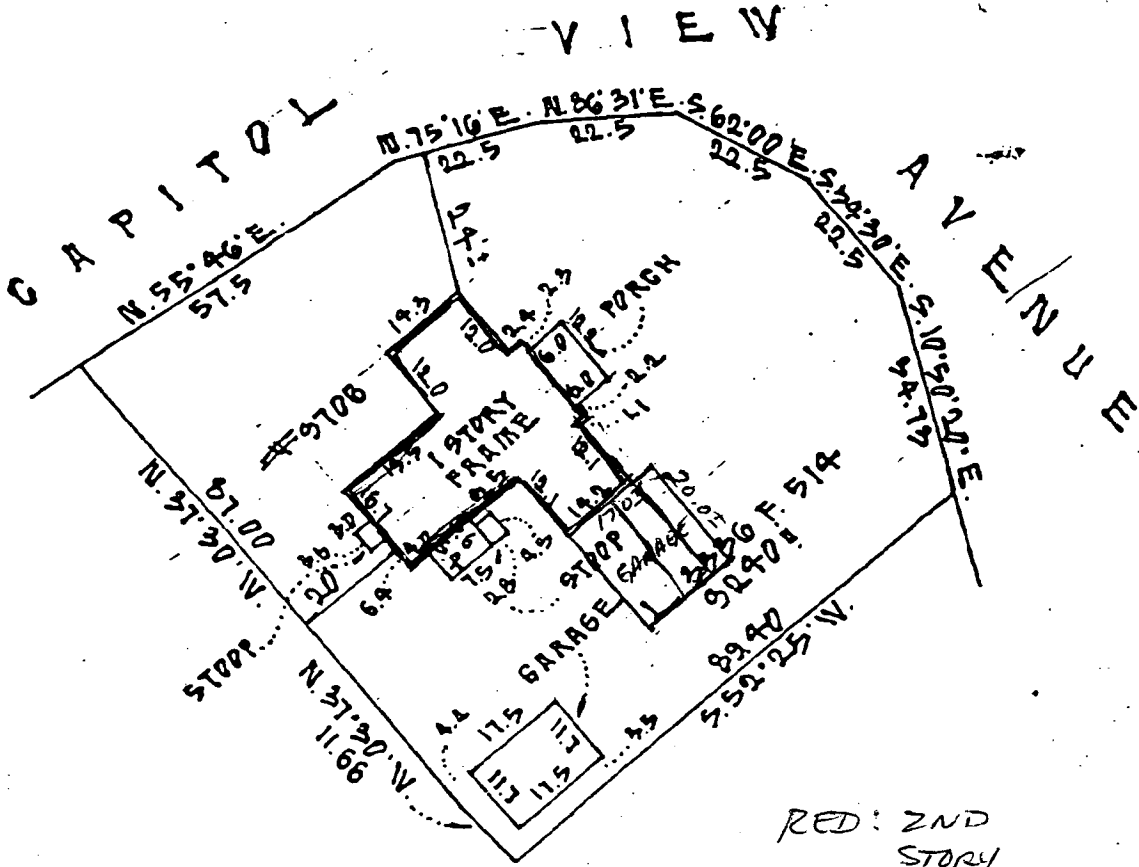
ADJACENT AND CONFRONTING
PROPERTY OWNERS

1. JOHN T. DORAN 40 RENTAL TOOL
4900 UPSHUR ST.
BLADENSBURG, MD 20710

2. ELIAS T. CHARUHAS + B.U. ET AL
9715 CAPITOL VIEW AVE.
SILVER SPRING, MD 20910

3. IVANOR CORP.
P.O. BOX 58
KENSINGTON, MD 20895

NOTE: This survey for title purposes not to be used for determining property lines. Property corner Markers Not guaranteed by this survey



RED: 2ND STORY ADDN. + DORMER

LOCATION OF HOUSE PART OF CAPITOL VIEW PARK MONTGOMERY COUNTY, MD.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 1/23/98

SURVEYOR'S CERTIFICATE I HEREBY CERTIFY THAT THE POSITION OF ALL THE IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A SIT-TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS.	REFERENCES PLAT BK. A PLAT NO. 9	ELDON E. SNIDER & ASSOCIATES LAND SURVEYORS LAND PLANNING CONSULTANTS 487 N. FREDERICK AVENUE GAITHERSBURG, MARYLAND 208-8100	
	LIBER 318 3336 FOLIO 512	DATE OF SURVEYS WALL CHECK HSE. LOC. 6.22.74 BOUNDARY:	SCALE: 1" = 50' DRAWN BY: J JOB NO.: 74-697

[Signature]
 REGISTERED LAND SURVEYOR MD. # 7180

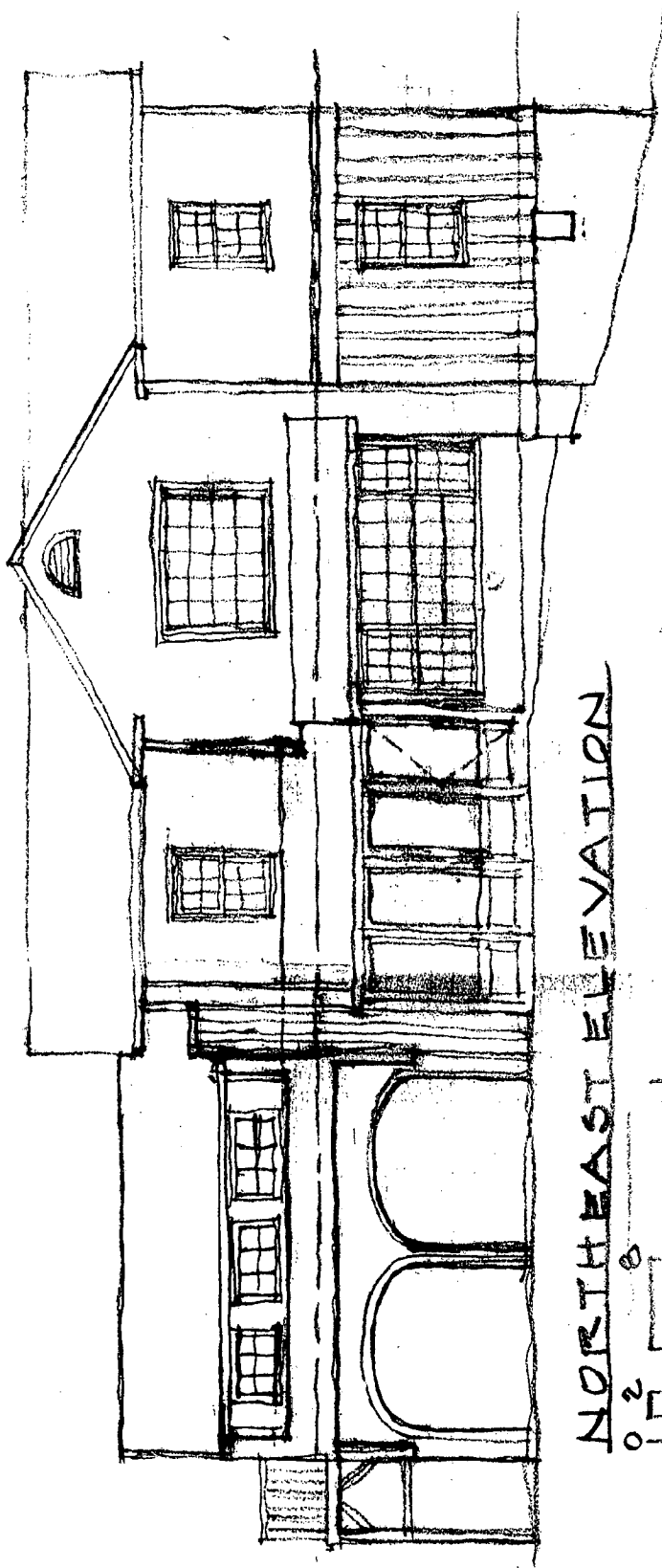
ADJACENT AND CONTIGUOUS

PROPERTY OWNERS

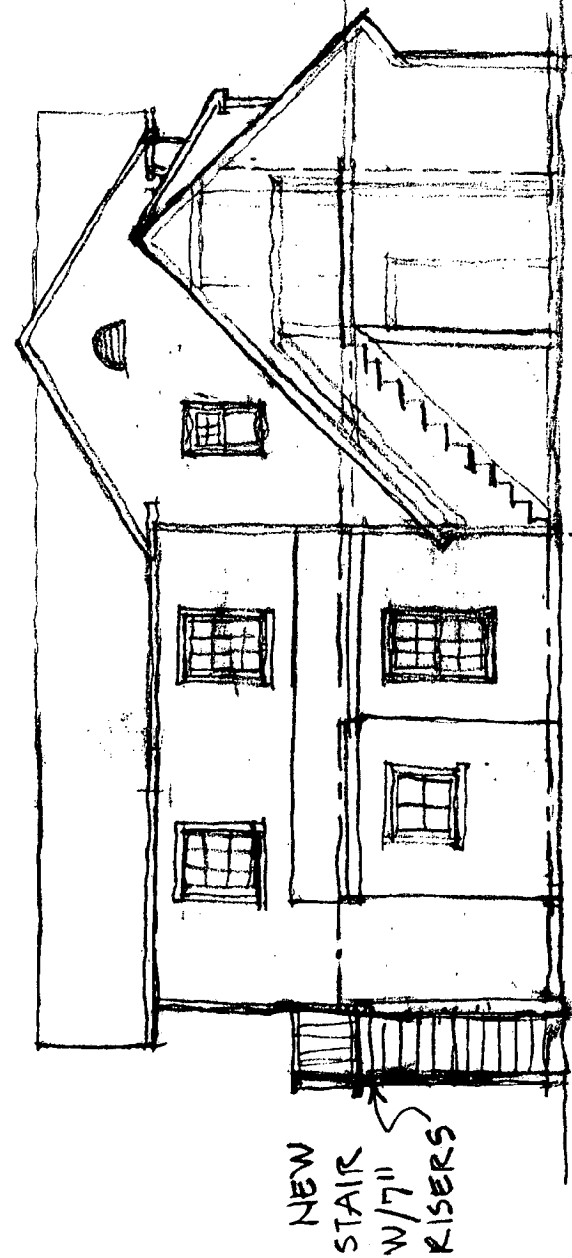
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SILVER SPRING, MD 20910

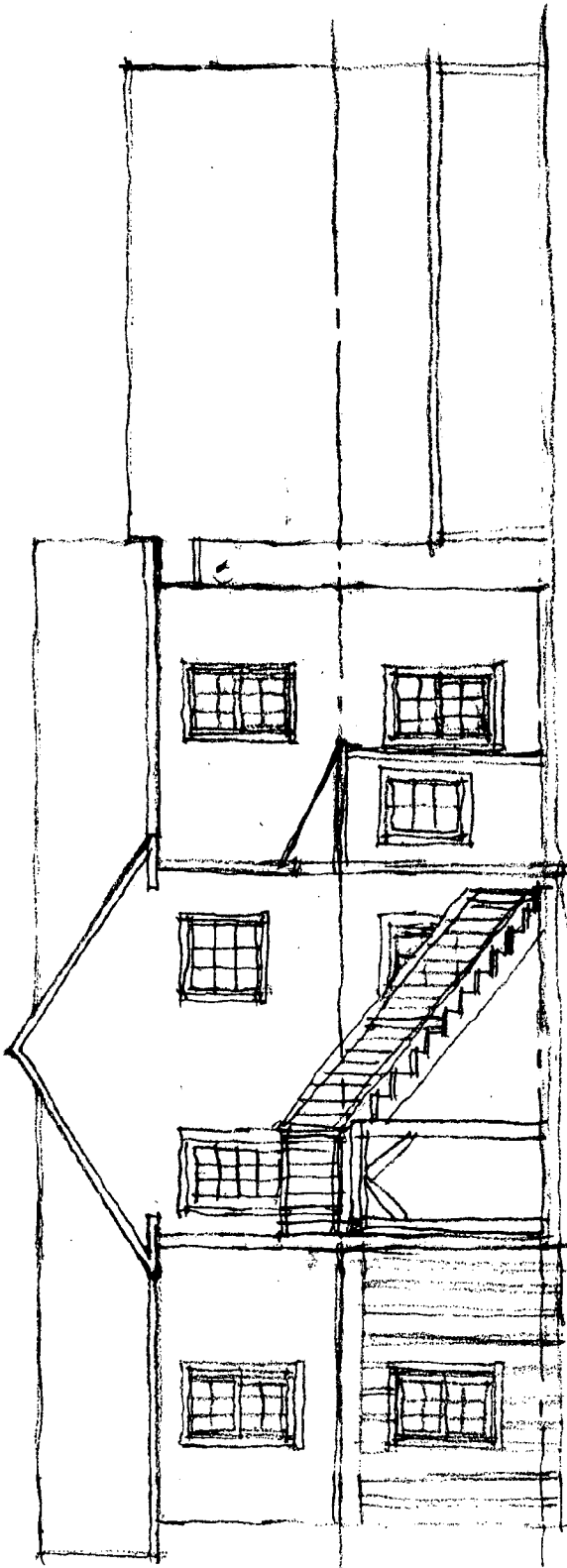
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P.O. BOX 58
KENSINGTON, MD 20895



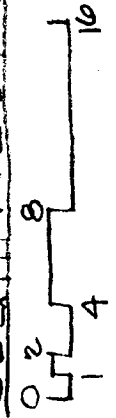
NORTHEAST ELEVATION



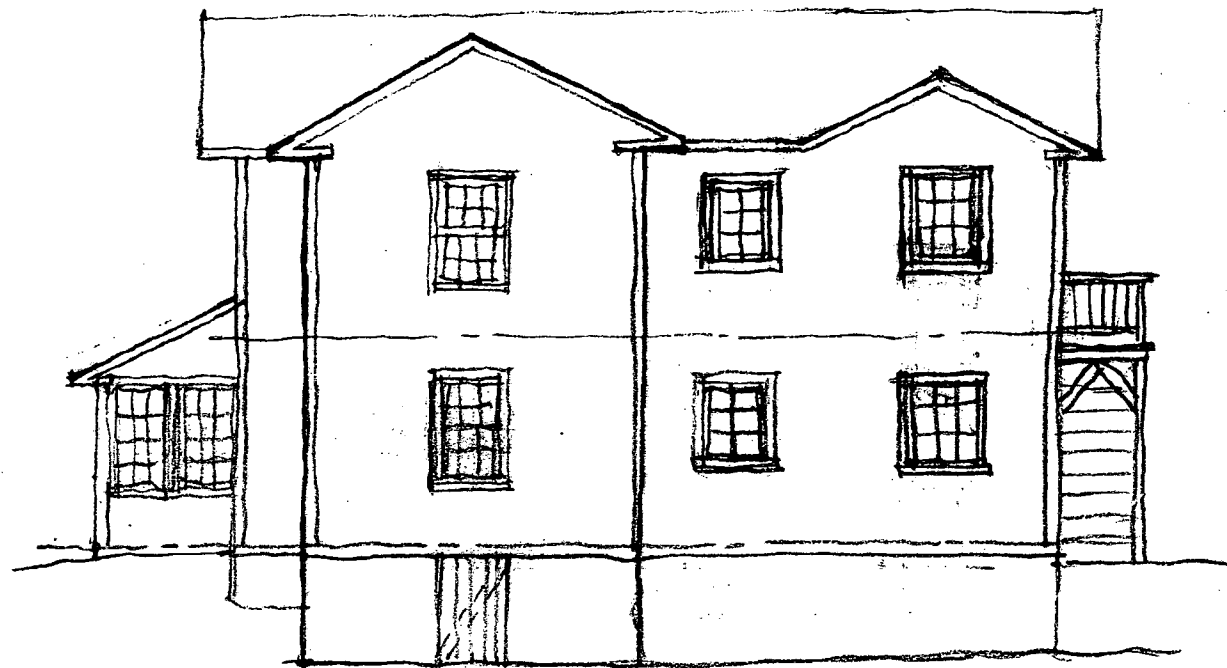
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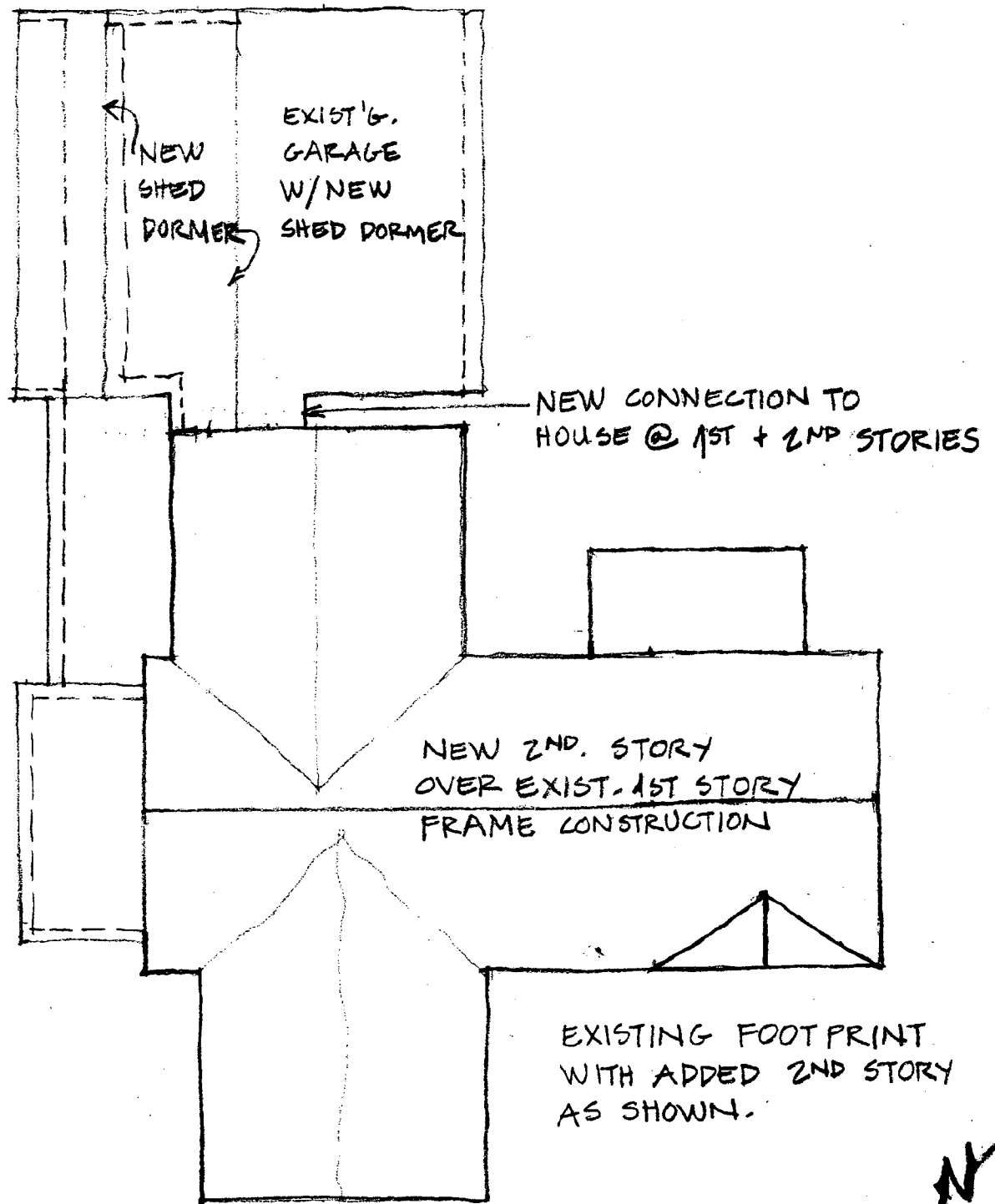
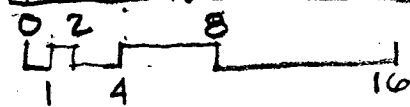
SOUTHWEST ELEVATION



EXTERIOR ELEVATIONS
EMILY C. VOLZ, AIA
APRIL 15, 1998



NORTHWEST ELEVATION



NEW SHED DORMER
EXIST'G. GARAGE W/NEW SHED DORMER

NEW CONNECTION TO HOUSE @ 1ST + 2ND STORIES

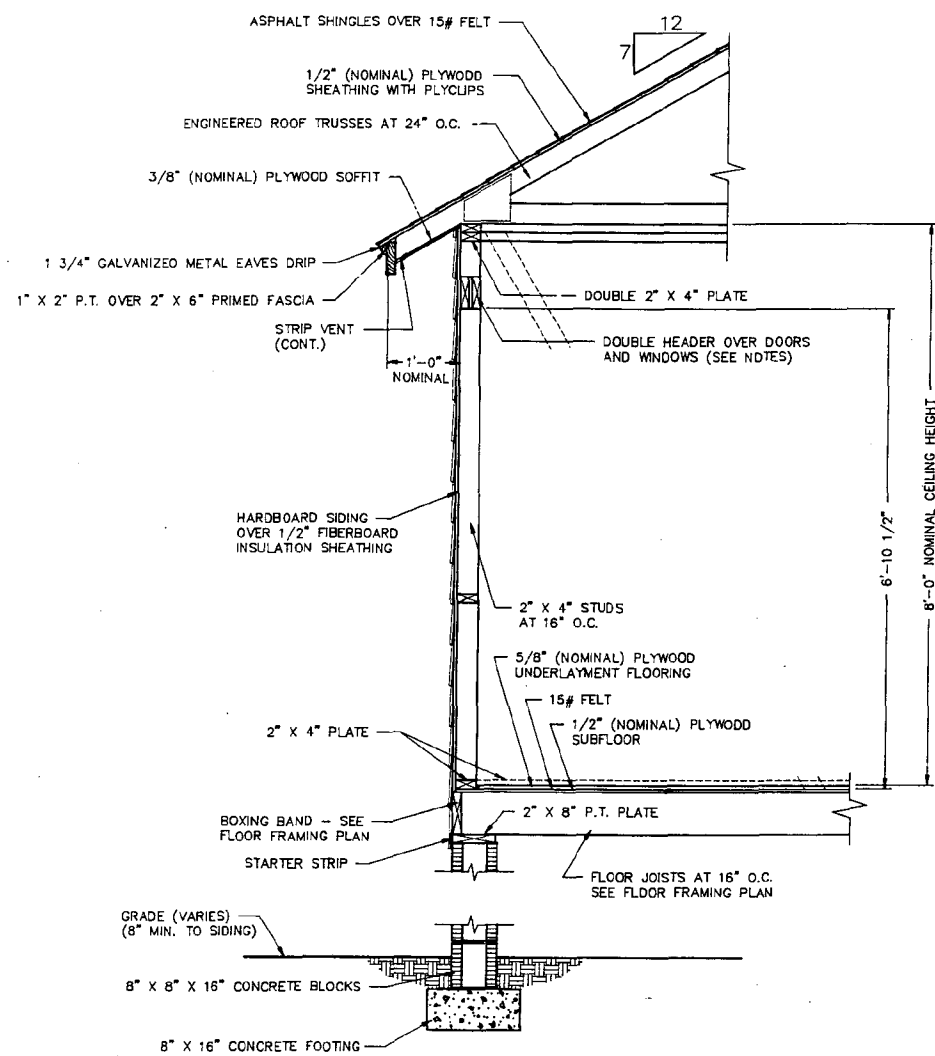
NEW 2ND. STORY OVER EXIST. 1ST STORY FRAME CONSTRUCTION

EXISTING FOOTPRINT WITH ADDED 2ND STORY AS SHOWN.

ROOF PLAN

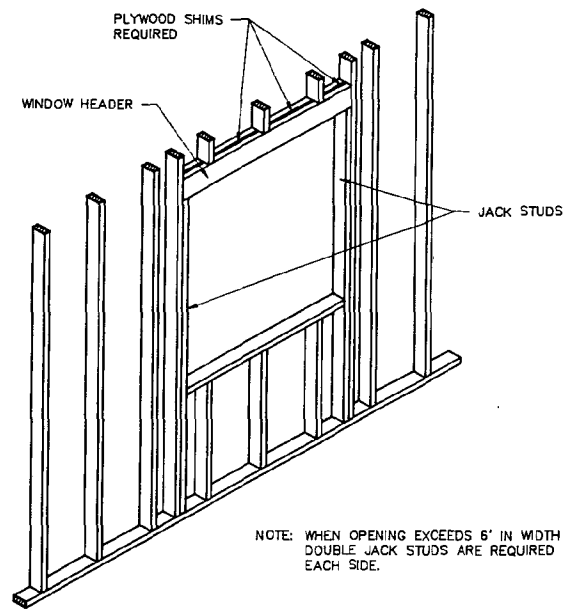


EXTERIOR ELEVATIONS
EMILY C. VOLZ, AIA
APRIL 15, 1998



TYPICAL WALL SECTION

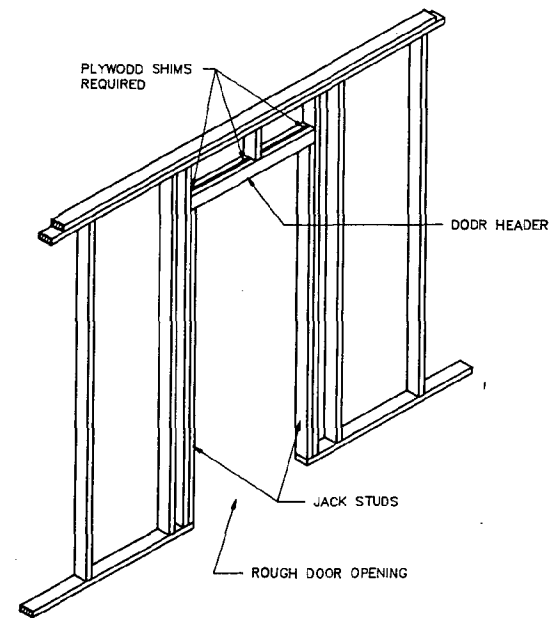
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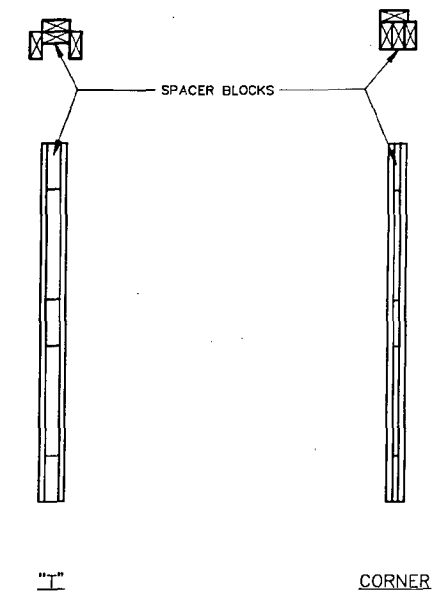
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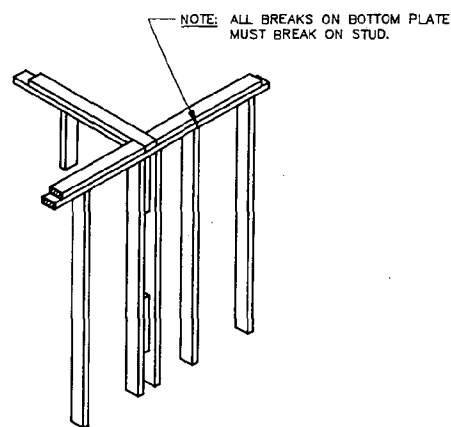
TYPICAL DOOR HEADER DETAIL

NO SCALE



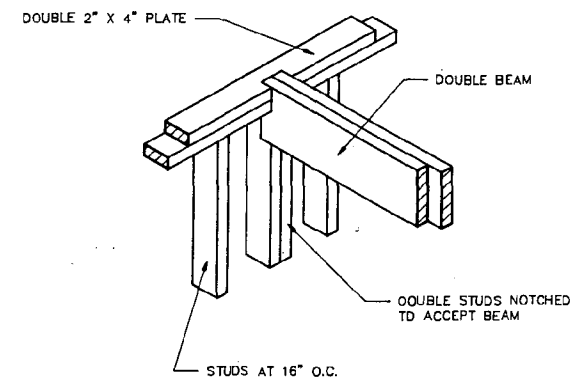
TYPICAL "T" AND CORNER

NO SCALE



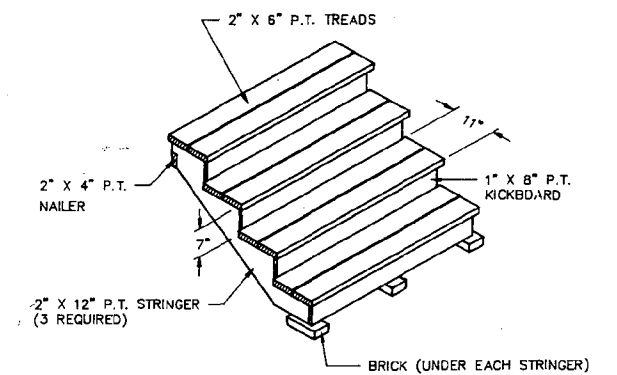
TYPICAL WALL TIE DETAIL

NO SCALE



BEAM TIE AT WALL DETAIL

NO SCALE

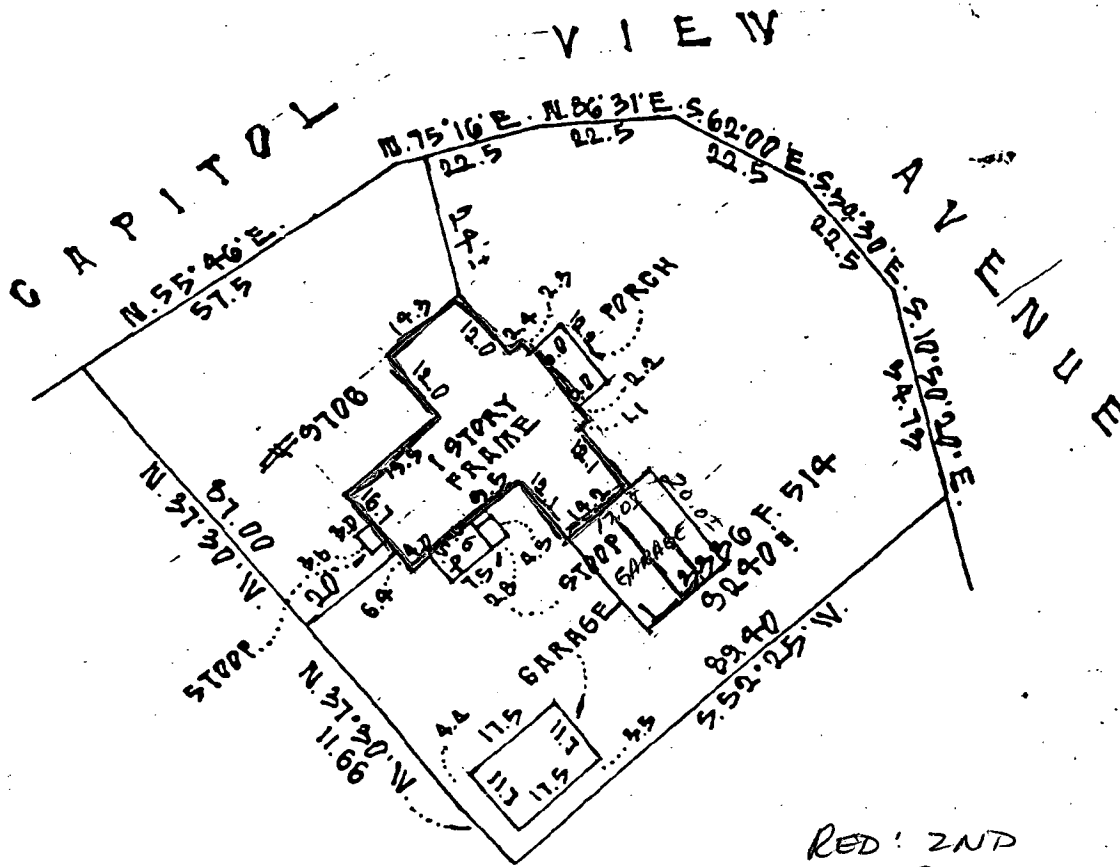


TYPICAL STEP DETAIL

NO SCALE

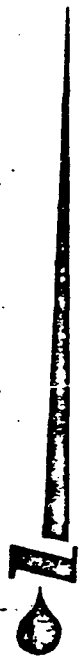
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NOTE: This survey for title purposes only - not to be used for determining property lines. Property corner Markings Not guaranteed by this survey.



RED: 2ND STORY ADDN + DORMER

LOCATION OF HOUSE
PART OF
CAPITOL VIEW PARK
MONTGOMERY COUNTY, MD.



SURVEYOR'S CERTIFICATE I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS.	REFERENCES FLAT BK. A FLAT NO. 9	ELDON E. SNIDER & ASSOCIATES LAND SURVEYORS LAND PLANNING CONSULTANTS 467 N. FREDERICK AVENUE GAITHERSBURG, MARYLAND 20878-0103		
	LIBER 318 3336 FOLIO 518	DATE OF SURVEYS WALL CHECK HSE. LOC. 8.28.74 BOUNDARY:	SCALE: 1" = 50' DRAWN BY: J JOB NO.: 74-697	
	<i>Harry G. Blanchard</i> REGISTERED LAND SURVEYOR MD. # 7180			

CONSTRUCTION
NOTES

STAMITZ BUIL

Roof 1/2" CDX Plywood, w 30 lb
felt + 20yr Black Asphalt
Shingles



Header over window
2- 2x12

RAFTERS 2x8

Ceiling Joist 2x6

Floor Joist 2x10

Window Header 2x8x2"

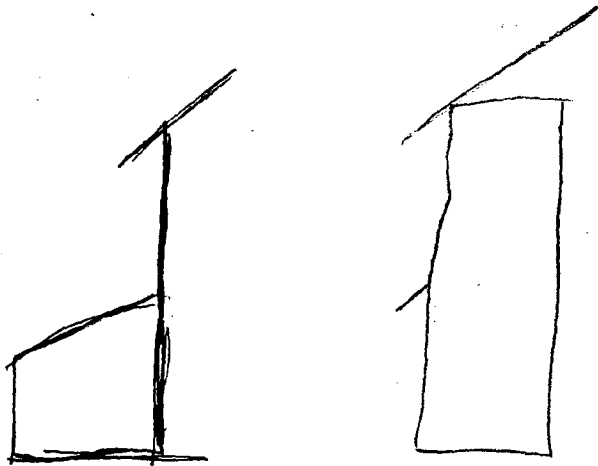
Window 3'x5'

To match existing

Exterior plywood red stain
to match existing
w/ white trim +

Sidewalls 2x4x8 panels
exterior covering 4x8 1/2" CDX
plywood w/ batten strips to
simulate "Board + Batten" siding

No new interior finish, electric
or plumbing
for new 2nd floor (storage)

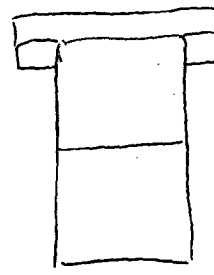


Picture window existing - moved from
front porch.

Window similar to Xmas Shop
to be substituted

New windows (4) one on side above
existing and 2 front + 1 rear to
match existing (approx 3x5)

Row of fixed glass windows facing front of enclosure
next to front porch to match
shed.





NE
ELEV.



NW
ELEV.



NW
ELEV.



SE
ELEV.



SE
ELEV.



NW
ELEV.



NW
ELEV.



NE
ELEV.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 9706 Capitol View Avenue, Silver Spring **Meeting Date:** 09/23/98
Resource: Capitol View Park Historic District **Review:** HAWP
Case Number: 31/7-98G **Tax Credit:** None
Public Notice: 09/09/98 **Report Date:** 09/15/98
Applicant: Ivanor Corp (Peter Andresen) **Staff:** Perry Kephart
PROPOSAL: Alteration **RECOMMEND:** Approval
With Conditions

DATE OF CONSTRUCTION: ca. 1935

SIGNIFICANCE: Nominal Resource in Capitol View Park Historic District

ARCHITECTURAL DESCRIPTION

One and a half story asbestos-clad cross-gabled cottage modified with a shed roof porch and entry area. The roof is asphalt shingles. It is adjacent to a two-bay garage with carriage house doors and an overhanging roof.

PROPOSAL

The applicant proposes to enlarge the existing structure by adding a second story over the existing footprint. The roof configuration would be the same. The new level is proposed to be clad in plywood panels with batten strips to simulate board and batten. The window framing is proposed to be wood with the windows themselves to be of several configurations including a large multipaned picture windows, 6/6 double-hung windows, 6-light clerestory windows in a shed roof dormer over the adjacent garage, and a 6/1 and 9 light window in the rear ell of the building.

Two sets of exterior stairs are proposed to lead 1) to a door at the rear of the main building and 2) to the side of the garage.

STAFF DISCUSSION

The proposed enlargement is part of the complex of outbuildings behind the Forest Glen Store. The house faces the sharp curve below the store and, although screened by vegetation, is easily seen from Capitol View Avenue. It should also be noted that the subject property is substantially below grade from the Store.

①

Staff is of the opinion that the proposed changes to the cottage are in keeping with the eclectic combination of structures that occupy the space behind the Forest Glen Store. The scale of the building will remain in proportion with the historic resources in the district. The materials are appropriate to the use of the building as an ancillary storage building and to its rustic setting.

The property next to the project is a commercial rental facility in a modified, but still recognizably early 20th century structure. The modifications to the cottage will not be out of keeping with the design of the adjacent building.

STAFF RECOMMENDATION

Staff recommends that the Commission ***approve with a condition*** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.**

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: PETER ANDRESEN

Daytime Phone No.: (301) 585-6859

Tax Account No.: 13-005-00996438

Name of Property Owner: IVANOR CORP. Daytime Phone No.: (301) 585-6859

Address: P.O. Box 58 KENSINGTON MD 20895
Street Number City State Zip Code

Contractor: NATIONAL CAPITAL BLDRS. Phone No.: (301) 585-3332

Contractor Registration No.: MHIC 20912

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 9706 (CAPITOL VIEW) Street: CAPITOL VIEW AVE.

Town/City: SILVER SPRING Nearest Cross Street: POST OFFICE RD.

Lot: _____ Block: p 37 Subdivision: CAPITOL VIEW PARK (9,240 A)

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|----------------------------------|--|--|--|---|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: <u>SECOND FLOOR ONLY</u> | | | | |

1B. Construction cost estimate: \$ 5,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

IVANOR CORP.
 By: [Signature]
 Signature of owner or authorized agent

9/1/98
 Date

3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING ONE STORY STRUCTURE WITH GARAGES.
ASSUME WAS ORIGINALLY A COTTAGE BUILT IN THE
1920'S OR 1930'S WHICH HAS BEEN ADDED ON TO
MANY TIMES. THE ONLY HISTORICAL OR SIGNIFICANT
FEATURE IS THE PEAKED ROOF LINE WHICH WILL
BE PRESERVED.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

PLAN TO ADD A SECOND STORY WITHIN THE EXISTING
OUTSIDE WALLS TO OBTAIN ADDITIONAL STORAGE
SPACE SO AS TO CLEAN UP AND IMPROVE THE
LOOKS AND FUNCTION OF THE SITE.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

4

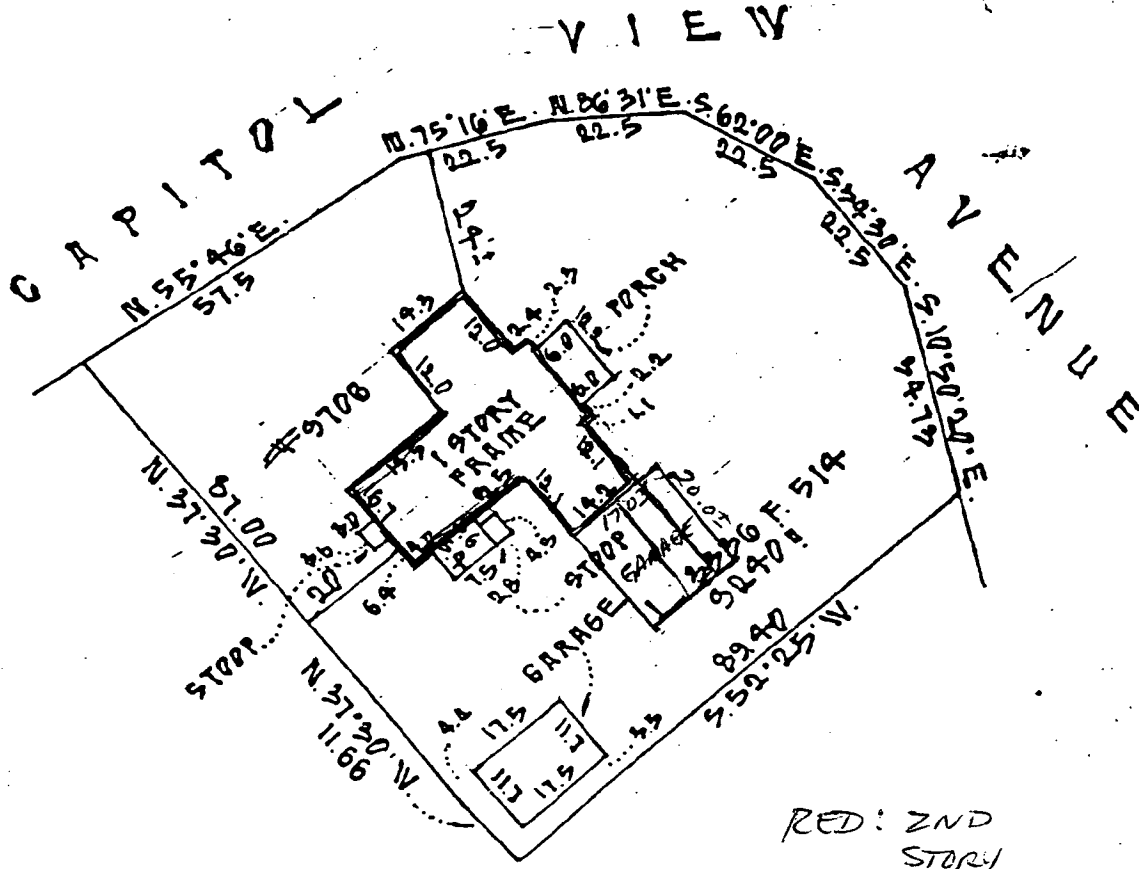
ADJACENT AND CONFRONTING
PROPERTY OWNERS

1. JOHN T. DORAN $\frac{1}{2}$ RENTAL TOOL
4900 UPSHUR ST.
BLADENSBURG, MD 20710

2. ELIAS T. CHARUHAS + B.V. ET AL
9715 CAPITOL VIEW AVE.
SILVER SPRING, MD 20910

3. IVANOR CORP.
P.O. BOX 58
KENSINGTON, MD 20895

NOTE: This survey for title purposes not to be used for determining property lines. Property corner Markers Not guaranteed by this survey



RED: 2ND
STORY
ADDN.
+ DORMER

LOCATION OF HOUSE
PART OF
CAPITOL VIEW PARK
MONTGOMERY COUNTY, MD.

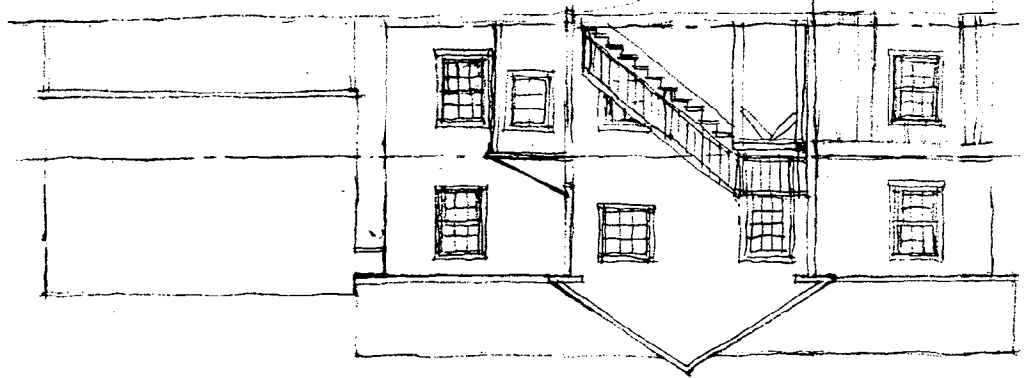
SURVEYOR'S CERTIFICATE HEREBY CERTIFY THAT THE POSITION OF ALL THE TING IMPROVEMENTS ON THE ABOVE DESCRIBED PERTY HAS BEEN CAREFULLY ESTABLISHED BY A NST-TAPE SURVEY AND THAT UNLESS OTHER- E SHOWN, THERE ARE NO ENCROACHMENTS.	REFERENCES PLAT BK A PLAT NO. 9	ELDON E. SNIDER & ASSOCIATES LAND SURVEYORS LAND PLANNING CONSULTANTS 447 N. FREDERICK AVENUE GAITHERSBURG, MARYLAND 20878-2100	
	LIBER 310 3336 FOLIO 512	DATE OF SURVEYS WALL CHECK HSE. LOC. 8.22.74 BOUNDARY	SCALE: 1" = 50' DRAWN BY: J JOB NO. 74-697

Harry G. Blanchard
 REGISTERED LAND SURVEYOR MD. # 7180

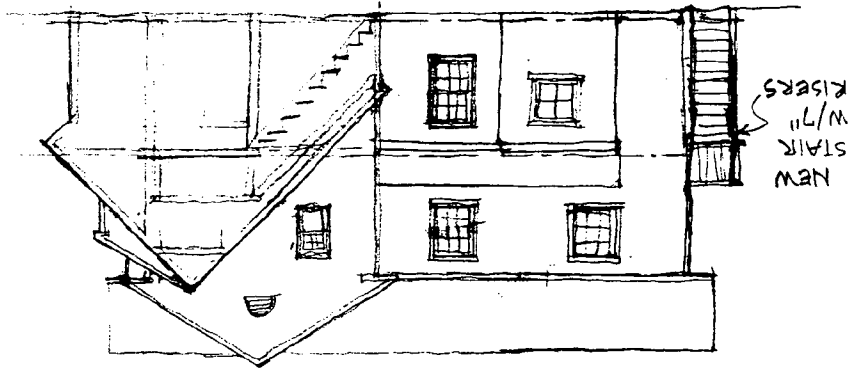
7

EXTERIOR ELEV
EMILY C. VOLT, A
APRIL 15, 1998

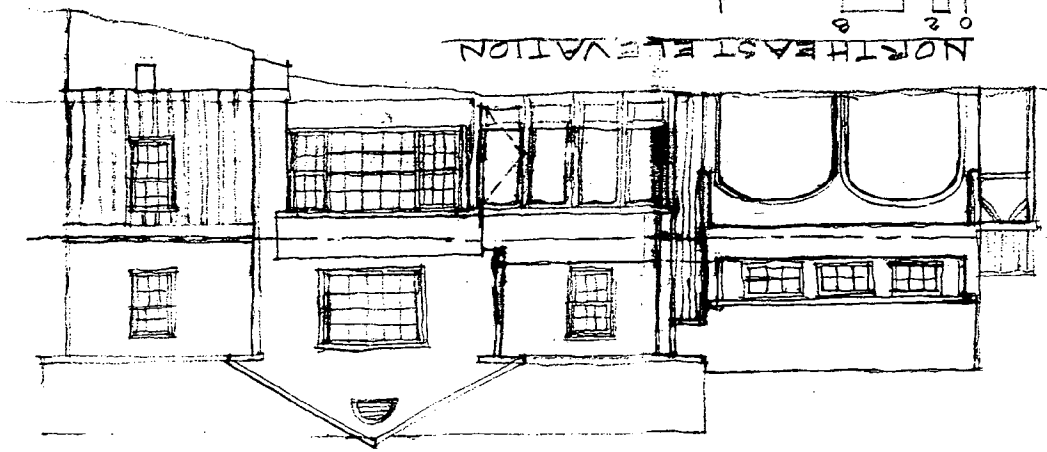
SOUTH WEST ELEVATION

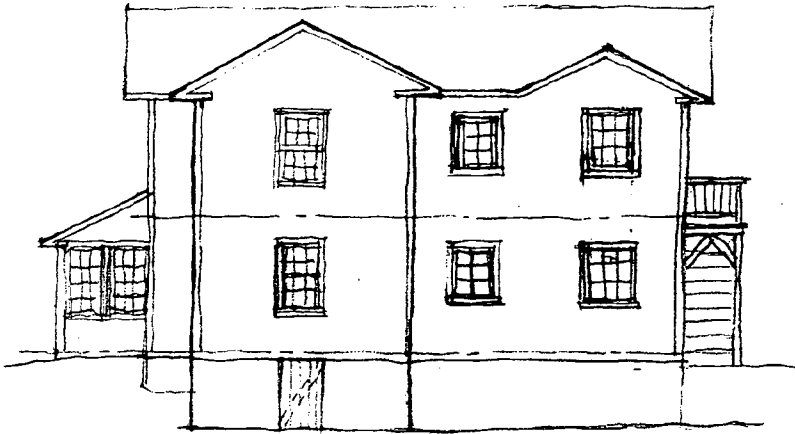


SOUTH EAST ELEVATION

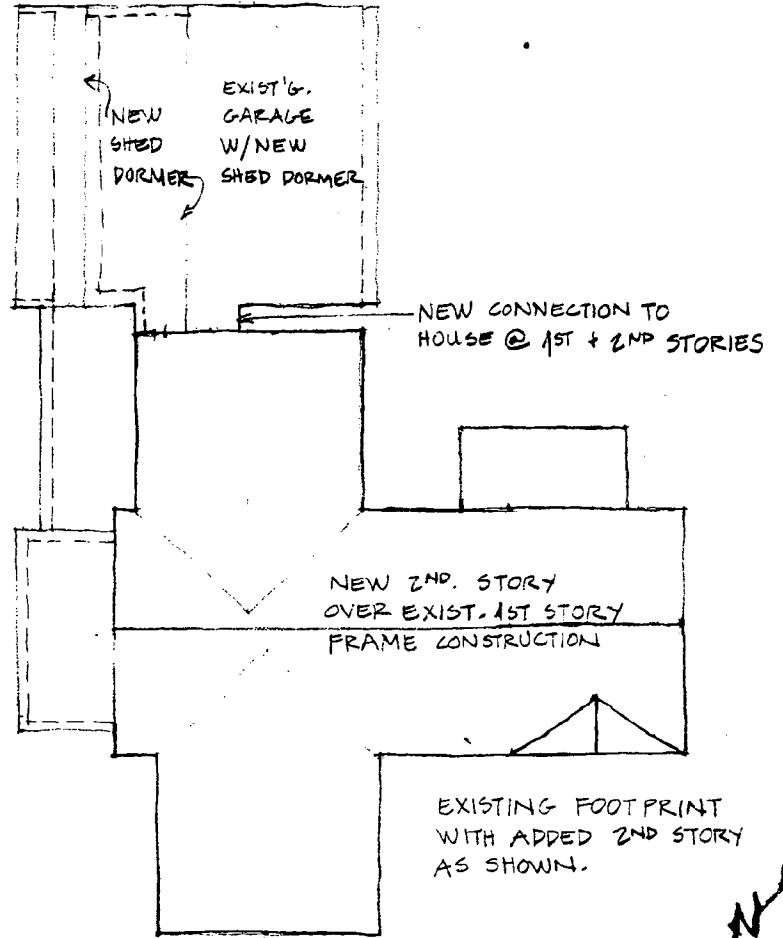
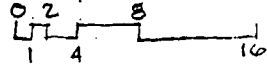


NORTH EAST ELEVATION

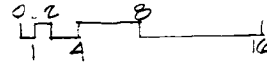




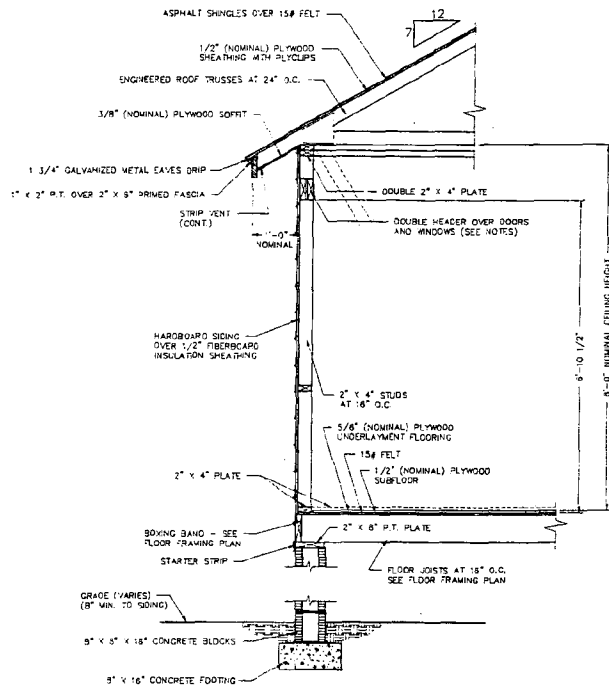
NORTHWEST ELEVATION



ROOF PLAN

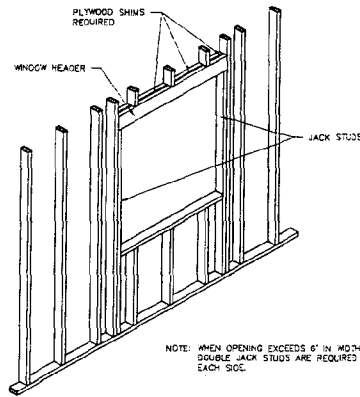


EXTERIOR ELEVATIONS
 EMILY C. VOLZ, AIA
 APRIL 15, 1998



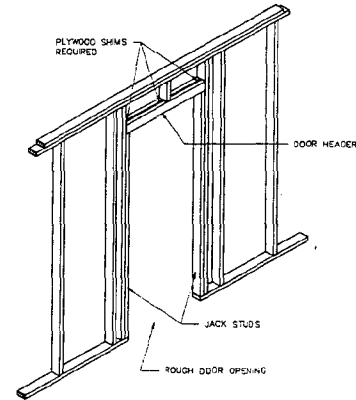
TYPICAL WALL SECTION

- SCALE 3/8" = 1'-0"
- NOTES:
- 1) 2-2" x 8" AT EXTERIOR LOAD BEARING WALLS.
 - 2) 2-2" x 4" AT INTERIOR NON-LOAD BEARING WALLS.
 - 3) 2-2" x 8" AT 8' SLIDING GLASS DOOR (DOUBLE JACK STUDS EACH SIDE).
 - 4) 2-2" x 12" AT OPENINGS WIDER THAN 6' (DOUBLE JACK STUDS EACH SIDE).



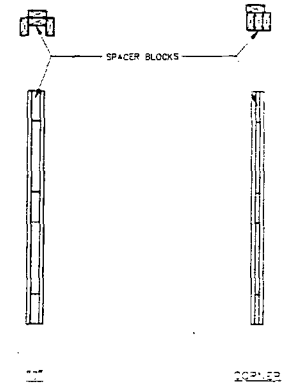
TYPICAL WINDOW HEADER DETAIL

NO SCALE



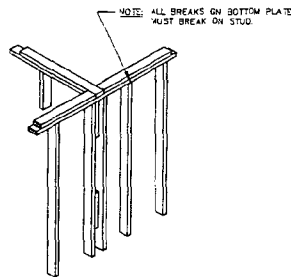
TYPICAL DOOR HEADER DETAIL

NO SCALE



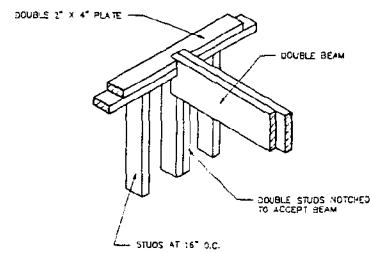
TYPICAL "T" AND CORNER

NO SCALE



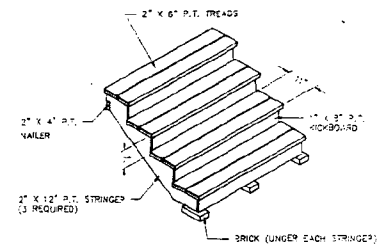
TYPICAL WALL TIE DETAIL

NO SCALE



BEAM TIE AT WALL DETAIL

NO SCALE



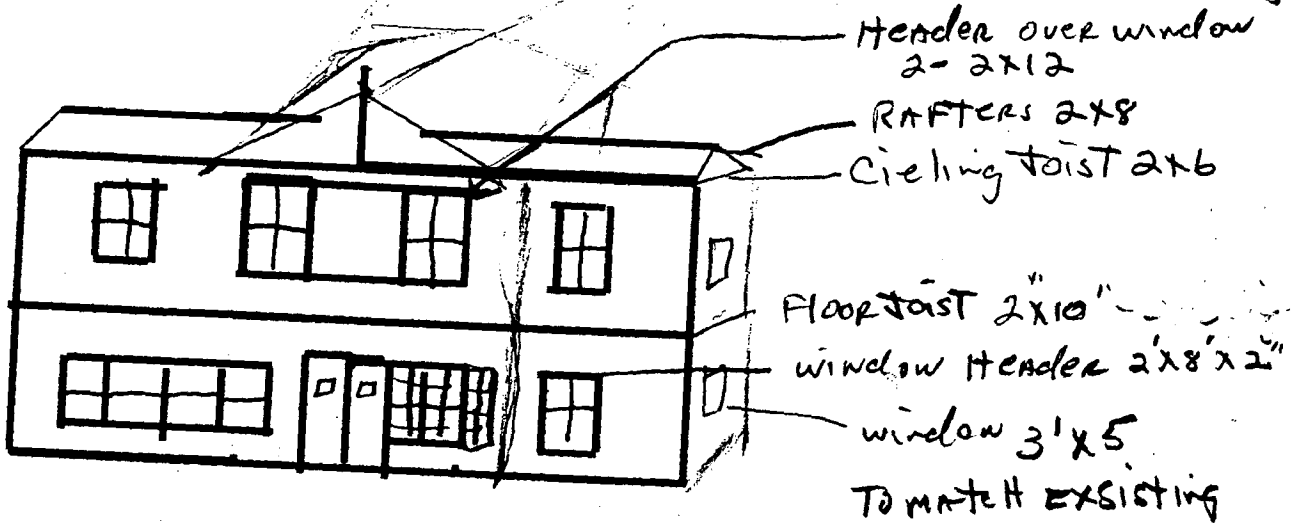
TYPICAL STEP DETAIL

NO SCALE

- NOTES:
- 1) THE SUM OF TWO (2) RISERS AND ONE (1) TREAD TO BE AT LEAST 24" AND NOT MORE THAN 25".
 - 2) THE QUANTITY OF TREADS AND RISERS MAY VARY DUE TO THE TERRAIN.

CONSTRUCTION
NOTES

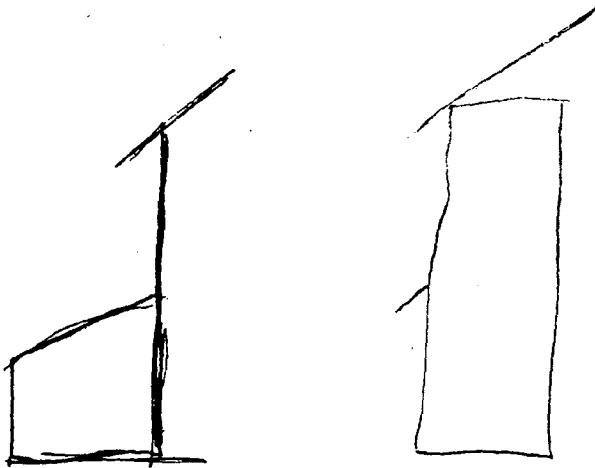
Roof $\frac{1}{2}$ " CDX Plywood, w 30 lb
felt + 20yr Black Asphalt
shingles



Exterior plywood red. stain
to match existing
w/ white trim +

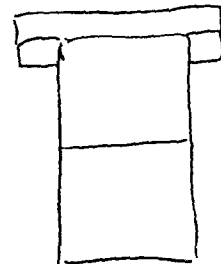
Sidewalls 2x4x8 panels
exterior covering 4x8 $\frac{1}{2}$ " CDX
plywood w/ batten strips to
simulate "Board + Batten" siding

No new interior finish, electric
or plumbing
for new 2nd floor (storage)



Picture window existing - moved from
front porch.

Window similar to Xmas Shop
to be substituted



New windows (4) one on side above
existing and 2 front + 1 rear to
match existing (approx 3x5)

Row of fixed glass windows facing front of enclosure
next to front porch to match
shed.



15
325



15
325



15
325



15
325