

31/7-99F 9816 Capitol View Ave  
Capitol View Park HD

(Prelim. Consult./new construction)  
9817 Capitol View Avenue  
(Capitol View Park Historic District)

1) Easement on L 30  
after sub?

2) need planing/  
use plan

lot	20	9818
	21	9816
	22	9814
	23	9812
	30	9810

7/1  
Per Perry -  
She talked w/  
Emily Volz -  
not sending out  
drawing until staff  
report



**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

**Address:** 9816 Capitol View Avenue, Silver Spring      **Meeting Date:** 07/14/99  
**Resource:** Capitol View Park Historic District      **Report Date:** 07/07/99  
**Review:** HAWP      **Public Notice:** 06/30/99  
**Case Number:** 31/7-99F      **Tax Credit:** None  
**Applicant:** Design Homes (Joe Alfandre)      **Staff:** Perry Kephart

**PROPOSAL:** New Construction (Four houses, driveways, sidewalks, retaining wall, garages).

**RECOMMEND:** Approve with conditions.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource in Capitol View Park Historic District.  
**STYLE:** Bungalow.  
**DATE:** 1928.

The property is a Sears-type 1½ story bungalow set at the front of a 52,475 s.f. lot (Lots 20 through partial Lot 27 on the attached map, circle 16 - Lots 24 to 27 are being consolidated and are referred to as Lot 30 on the site development plan, circle 23). The staff report for the second preliminary consultation is included in this report as background.

**PROPOSAL**

The applicant proposes to:

1. Construct four houses on Lots 20, 22, 23, and Lot 30 (24-27). The houses are proposed to be 1½ story, 3-bay wood frame houses with a lower level garage. They are to have painted wood siding and window trim with shake siding in the gable and dormer pediments. The front porch columns are to be fiberglass with painted wood inset picket railings. The windows are 6/1. Roofing is to be composite shingles, the foundation wall is concrete. The house dimensions are approximately 31x36 for a footprint of about 1,116 s.f. A rear deck and front porch are shown for each house, both with wood steps leading to grade. The front porches are set on masonry piers with latticework in between. A masonry chimney is included but indicated as optional for each house.

The houses are to be set with the first level no more than 36" above grade. The

roof peak is proposed to have an elevation of no more than 30' at the front and 38' at the rear. A grading plan will be provided by the applicant.

2. Construct optional detached garages on Lots 20 and 30.
3. Close off the existing entrance to the property from the street and install a new 9' driveway leading from Lot 23 to the houses on the other 4 lots. The driveway is proposed to go across the front of the historic residence with an easement on that lot (Lot 21) for the driveway leading to Lot 20.
4. Install brick walkways alongside the driveway leading to the entrance of each house.
5. Remove trees as follows:

Lot 20	8" chestnut (for optional garage).
Lot 21	24" oak (too close to house site on Lot 22 ).
Lot 22	12" maple (on house site). Triple-trunk locust (on house site).
Lot 23	18" maple (driveway). 12" cherry (driveway). Pine (driveway). 8" poplar (house).
Lot 30	12" poplar (driveway). 12" poplar (driveway). 24" oak (house and driveway). 20" poplar (optional garage). Grove including 10", 10", 20", 10", 12" poplar and 8" chestnut (house).
6. Construct a retaining wall from the house on Lot 23 south to Lot 30. No design or materials are included.
7. Install board on board wood fence on rear property line between the houses and the train track at the maximum height allowed, not to exceed 8'.
8. Install a fence along Capitol View Avenue not to exceed 36", the design to be determined with staff.
9. Install signage at the south corner of the property and at the entrance to the property, the design to be submitted as a revision to this HAWP or for staff approval.

### **STAFF DISCUSSION**

Plans have been provided to the LAP in order that they may comment on the proposal.

The house that is proposed to be reproduced four times as the infill around the historic

residence is in keeping in terms of materials, size and design with the simple Bungalow at 9816.

Staff was of the opinion that a black chain link fence would protect the homeowners from the train track without blocking the view, but would concur with the board on board fence design for the rear property line as the applicant feels that the view of the train track should be obscured. Staff would note that the maximum height usually allowed by the HPC is 6'6", but the commission may want to make an exception if the proposed height is allowed by DPS. The design for a front fence is to be submitted at a later date, but the placement of a fence is included in the application.

In the Capitol View Park Historic District, one of the notable differences between the historic resources and the non-contributing infill areas is the greater amount of paved surfaces at the infill sites with the subsequent loss of woodland setting, which is an important feature of the historic district. To minimize this problem, staff would make the following suggestions with regard to the tree removal, paving, and optional garages:

- A. The paving be substantially reduced throughout the site by eliminating the paved visitor and parallel parking and limiting the width of the roads to 9 feet.
- B. Staff would also suggest that a low hedgerow be planted between the internal roadway and the street.
- C. Staff would recommend that the optional garages be deleted as they add to the impermeable surfaces on the site and require the removal of several trees. As the houses are designed with interior garages, the free-standing garages are redundant.
- D. To further reduce the impact of the extensive overlay of impermeable surface on the wooded lot, staff would suggest that the sidewalks be spaced paving stones rather than brick walkways.
- E. Tree removal should be kept to a minimum.
  - 1. Although it is not apparent that the loss of the 24" oak between Lot 21 and Lot 22 can be avoided, staff would point out that this oak is one of the primary trees on the site and further study should be done to determine if the house placement can be modified to save it.
  - 2. The loss of an entire grove of trees on Lot 30 should also be studied further to determine if they must be removed.
  - 3. The 24" oak on Lot 30 and the small chestnut on Lot 20 can be retained if the garages are deleted.
- F. A detailed design for the entry and roadside including signage at the entry and at the south end of the property, front fence design, and curb cuts or other paving features at the entry should be provided as a revision of the HAWP.

## STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the conditions:

1. A tree protection plan, including stress reduction measures, is developed and provided to staff concurrently with a final grading and erosion control (retaining wall) plan.
2. The optional garages be deleted.
3. A modified paving plan be provided to include 9 foot roadways, a front hedgerow, deletion of paved parallel and visitor parking, and driveways to the optional garages.
4. Removal of the 24" oak on Lot 21 and the grove on Lot 30 be investigated further, with final resolution made at staff level.
5. The sidewalks be constructed of spaced paving stones rather than laid brick.
6. The designs for the signage, entry, and front fence be submitted to staff for approval.

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Joe Alfandre

Daytime Phone No.: 301-946-9500

Tax Account No.: 2283876

Name of Property Owner: Design Homes Daytime Phone No.: 301-946-9500

Address: 10423 Armory Avenue # 180-c Kensington, Maryland 20895  
Street Number City State Zip Code

Contractor: Design Homes, LLC Phone No.: 301-946-9500

Contractor Registration No.: 3464

Agent for Owner: Joe Alfandre Daytime Phone No.: 301-946-9500

## LOCATION OF BUILDING/PREMISE

House Number: 9816 Street: Capitol View Avenue, Silver Spring

Town/City: Capitol View Park Nearest Cross Street: Stoneybrook Road

Lot: 20, 22, 23, 30 Block: 31 Subdivision: Capitol View Park

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: I. D. 13-0099628

## PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
- |   |                                  |   |   |   |  |   |                               |                               |
|---|----------------------------------|---|---|---|--|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C                             | <input type="checkbox"/> Slab                 | <input type="checkbox"/> Room Addition     | <input checked="" type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                                      | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable      | <input checked="" type="checkbox"/> Fence/Wall (complete Section 4) |   | <input type="checkbox"/> Other: _____      |   |                               |                               |

1B. Construction cost estimate: \$ 150,000 x 4

1C. If this is a revision of a previously approved active permit, see Permit # N/A

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 8 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Joe Alfandre  
Signature of owner or authorized agent

6-30-99  
Date

(5)

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Sears Bungalow rehab subject to HAWP Permit # 9903250080.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

HAWP application of 4 R-60 lots previously discussed at preliminary hearing.

Enclosed site plan provides tree survey and location of new house foundations

relative to tree location. It also reflects spatial considerations and scale

relative to Capirol View Avenue and the existing Sears bungalow. A barrier fence

at the rear of the property at junction with CSX rail right of way is also included.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

a. the scale, north arrow, and date;

b. dimensions of all existing and proposed structures; and

c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

a. ***Schematic construction plans***, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.

b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.

b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

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## HISTORIC PRESERVATION COMMISSION STAFF REPORT

<b>Address:</b> 9816 Capitol View Avenue, Silver Spring	<b>Meeting Date:</b> 05/12/99
<b>Resource:</b> Capitol View Park Historic District	<b>Report Date:</b> 05/05/99
<b>Case Number:</b> Not applicable	<b>Public Notice:</b> 04/28/99
<b>Review:</b> 2 <sup>nd</sup> Preliminary Consultation	<b>Tax Credit:</b> None
<b>Applicant:</b> Design Homes, LLC (Joe Alfandre)	<b>Staff:</b> Perry Kephart
<b>PROPOSAL:</b> New Construction	<b>RECOMMEND:</b> Return for 3 <sup>rd</sup> PrelCons

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### BACKGROUND

The yellow frame Sears-type Bungalow, built in 1928 at 9816 Capitol View Avenue, is a contributing resource and a familiar landmark in the Capitol View Park Historic District. The house is set at the front of a 52,475 foot lot (lots 20 through partial lot 27 on the attached map, circle S) that has no other improvements at this time. The house is clearly seen on the left at the top of the big curve as one enters the historic district from the south along Capitol View Avenue.

The only access to the property from Capitol View is a short driveway immediately adjacent to the house. The driveway leads to a lower level basement garage. The land drops off from the front to the back of the property (east to west) and from northern wider section to the narrower southern area. The Metropolitan (now CSX) railroad line runs behind the length of the property. There are several mature shade trees on the lot including hickory, oak, poplar, maple, and locust.

The historic district in which the resource is located is significant as an example of a railroad community that began with the construction of the Metropolitan Branch of the B & O Railroad in the 1870's. The two major building styles that reflect the early years of the community are large Queen Anne houses from the late 19<sup>th</sup> and early 20<sup>th</sup> century and more modest Sears-type kit houses from the early 20<sup>th</sup> century.

As noted in the Capitol View & Vicinity Approved and Adopted Sector Plan, July 1982, "Most Capitol View Park structures possess little distinction as architectural entities. When grouped, however, these resources meet the criteria for district designation as a visual example of suburban development styles." The bungalow at 9816 Capitol View is an integral and highly visible part of the historic district streetscape.

Demolition of the historic resource was applied for by the previous owner and denied by the HPC. During that review process a number of issues were raised, some of which are

①

considered below. The property has been purchased by the applicant who is returning for a second preliminary consultation on this project.

## **PROPOSAL**

The applicant proposes to construct 5 new houses on the lots on either side of the existing historic resource.

The houses are sited with the narrow side of the house on Lot 20 facing Capitol View Avenue and the wider elevations of the houses on Lots 22, 23, and 24 facing the street.

Plans for the house on Lot 25 are not included in this presentation. Removal of that house from the proposal may better protect the wooded character of the lot and greatly decrease the amount of paving required.

The houses are proposed to have a footprint of approximately 1,120 s.f. with living space of 2,300 s.f.

The plan submitted is for a 1½ story, front gable, frame cottage with lapped and shingle wood siding and 4/1 windows. A cross gable extends over a columned main entry (side) porch that has stairs leading down to grade. The garage is set to the rear of the lower/basement level below a bracketed bumpout. There is a half-hexagon bay on the front elevation. There is a gabled dormer next to the entry porch and a shed dormer at the opposite side.

The driveway system has been enlarged to include parking spaces and aprons and no longer shows an entry from the south end of the property.

No tree survey has been shown with the new configuration.

## **STAFF DISCUSSION**

The plan submitted for the new house is appropriate in size and materials to the historic streetscape. The half-hexagon bay on the front should be replaced with a square-cornered bay to stay within the vocabulary of the rest of the design. Placing the houses with the narrower width to the road is in keeping with the siting of the historic resource on the property. Placing the narrower elevation such that it is the view as one comes up the hill into the district may lessen the impact of the houses from that direction.

The Local Advisory Panel has indicated that they will be providing further input into the discussion of the proposed project.

Some of the issues that should be considered in reviewing the proposed infill are:

1. No information has been provided as to the drainage problems presented by the previous owner. Determination of the extent of that problem and remediation to



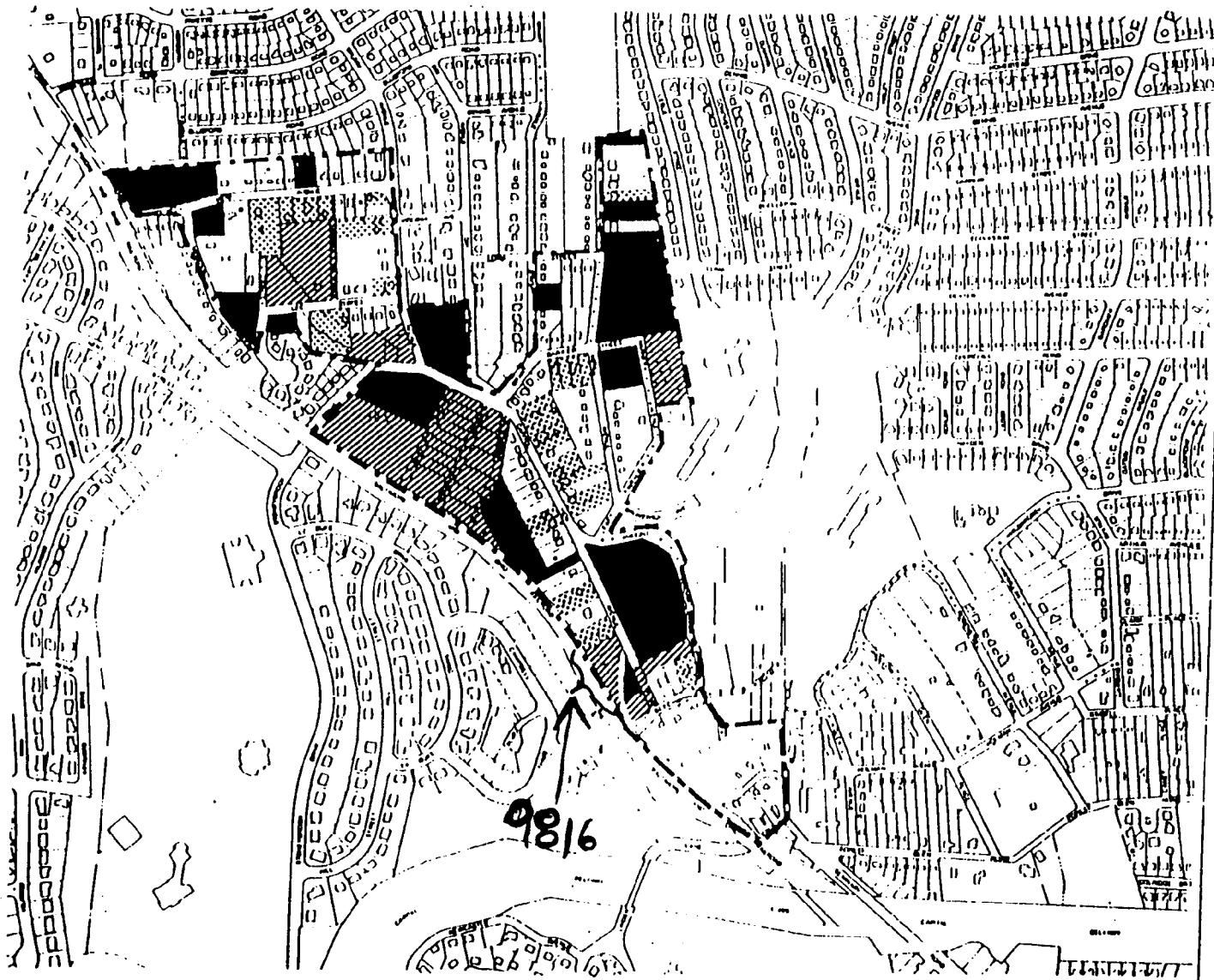
avoid further damage to the historic resource might be considered as a condition of approval.

2. A tree survey indicating what trees are proposed to be removed or are affected by the construction should be included in the application.
3. A grading plan indicating the extent of grading required for this project should be included in the application.
4. The design and location of any fencing should be considered in the design for the site.
5. The type of paving that is planned for the site should be considered. The amount of paving has increased in the most recent iteration. Losing the wooded character of the site to paving may preclude the installation of as many houses as are being proposed.

#### **STAFF RECOMMENDATION**

Staff recommends that the plans be supplemented with further information and brought to the HPC for a third preliminary consultation unless the issues discussed at this consultation can be resolved and plans provided in sufficient detail such that the applicant can proceed to a HAWP.









**APPROVED #31/7**  
**PROPOSED**  
**HISTORIC DISTRICT**

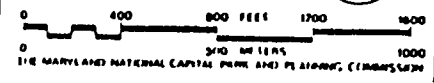
--- Historic District Boundary

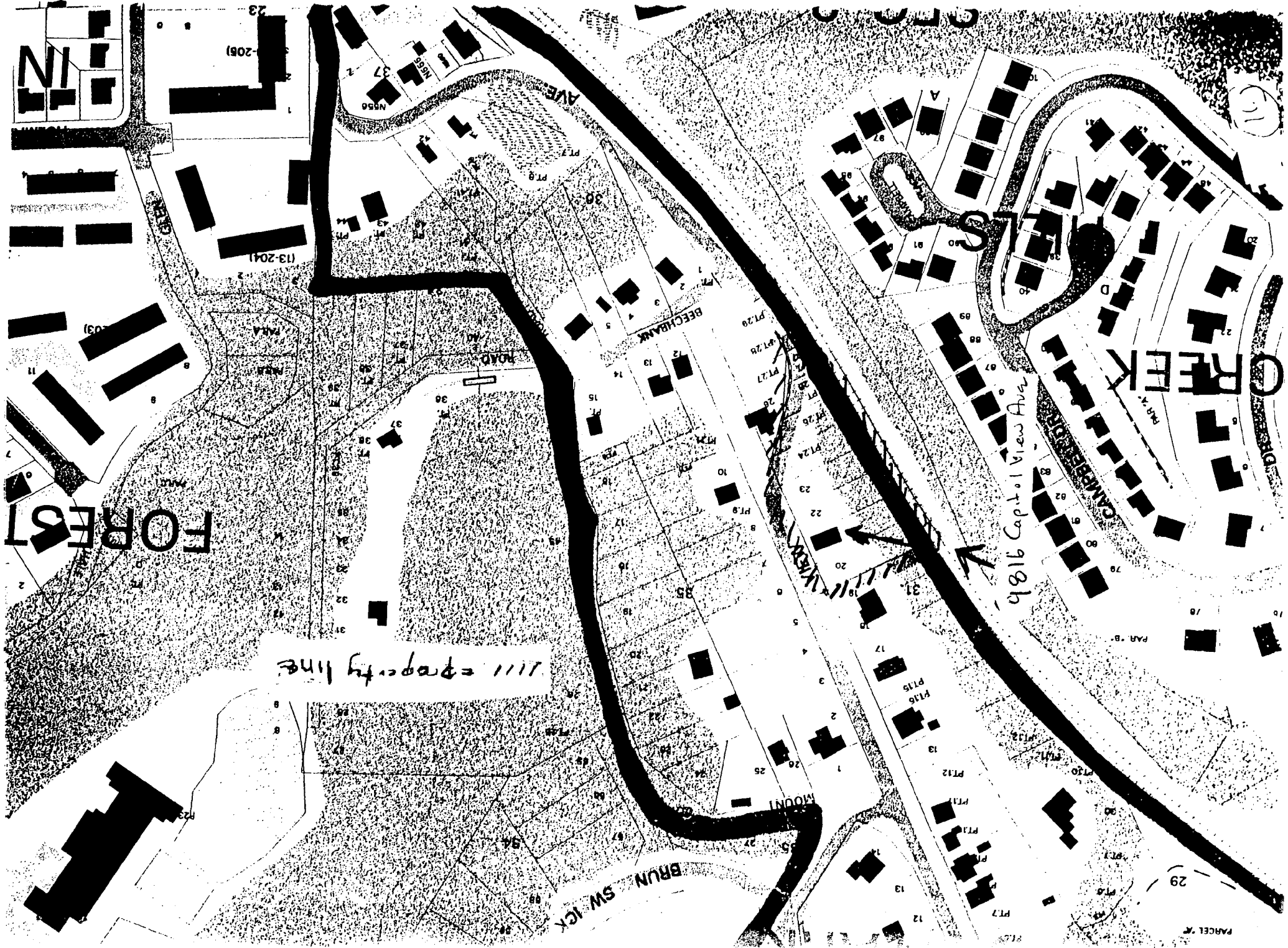
**RESOURCES**

-  1870 - 1916
-  1917 - 1935
-  Nominal (1935 - )
-  Spatial

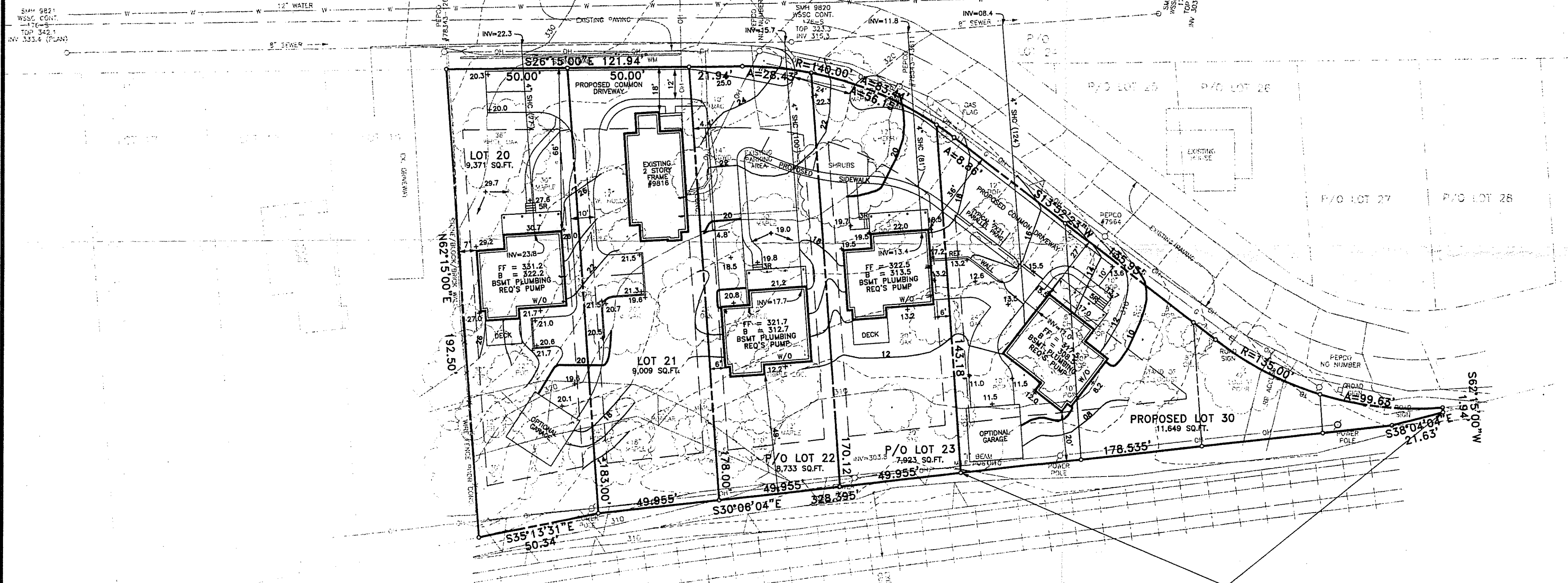
# Capitol View Special Study Area

KENSINGTON-WI EATON PLANNING AREA





**VICINITY MAP 1"=2000'**



CSX TRANSPORTATION, INC.

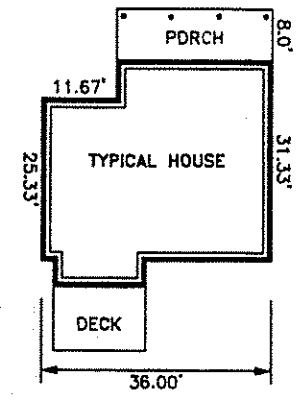
PARTS OF LOTS 24 THROUGH 27 TO BE CONSOLIDATED BY MINOR SUBDIVISION PROCESS

**NOTES**

1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE IN THE DATUM OF THE W. S. C.
2. TREES SHOWN PER FIELD SURVEY BY THIS OFFICE.
3. BOUNDARY OUTLINE, UTILITY INFORMATION AND ADJOINING IMPROVEMENTS TAKEN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS.

**APPLICANT**

DESIGN HOMES, L.L.C.  
C/O MR. JOSEPH ALFANDRE  
10423 ARMORY AVE, #180C  
KENSINGTON, MARYLAND 20895  
301-946-9500



Rev. Hse Sitings Per Arch. Concept	2	6/29/98	GMF
Rev. Hse Sitings Per Owner	1	3/23/99	GMF

**SITE DEVELOPMENT PLAN**

HOUSE CONSTRUCTION  
LOTS 20 - 22 & PART OF LOT 23 & PROPOSED LOT 30, BLOCK 31  
**CAPITOL VIEW PARK**  
AS RECORDED IN  
PLAT BOOK A AT PLAT NUMBER 9  
WHEATON ELECTION DISTRICT NO. 13 MONTGOMERY COUNTY, MARYLAND

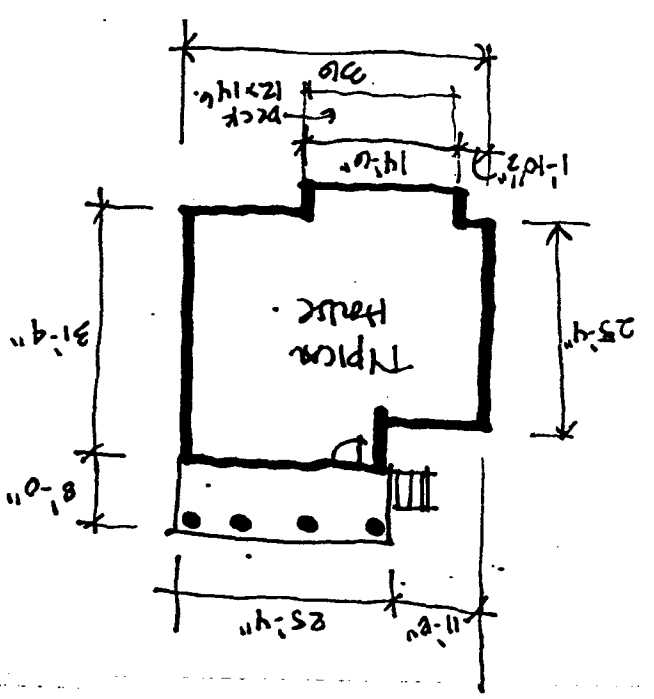
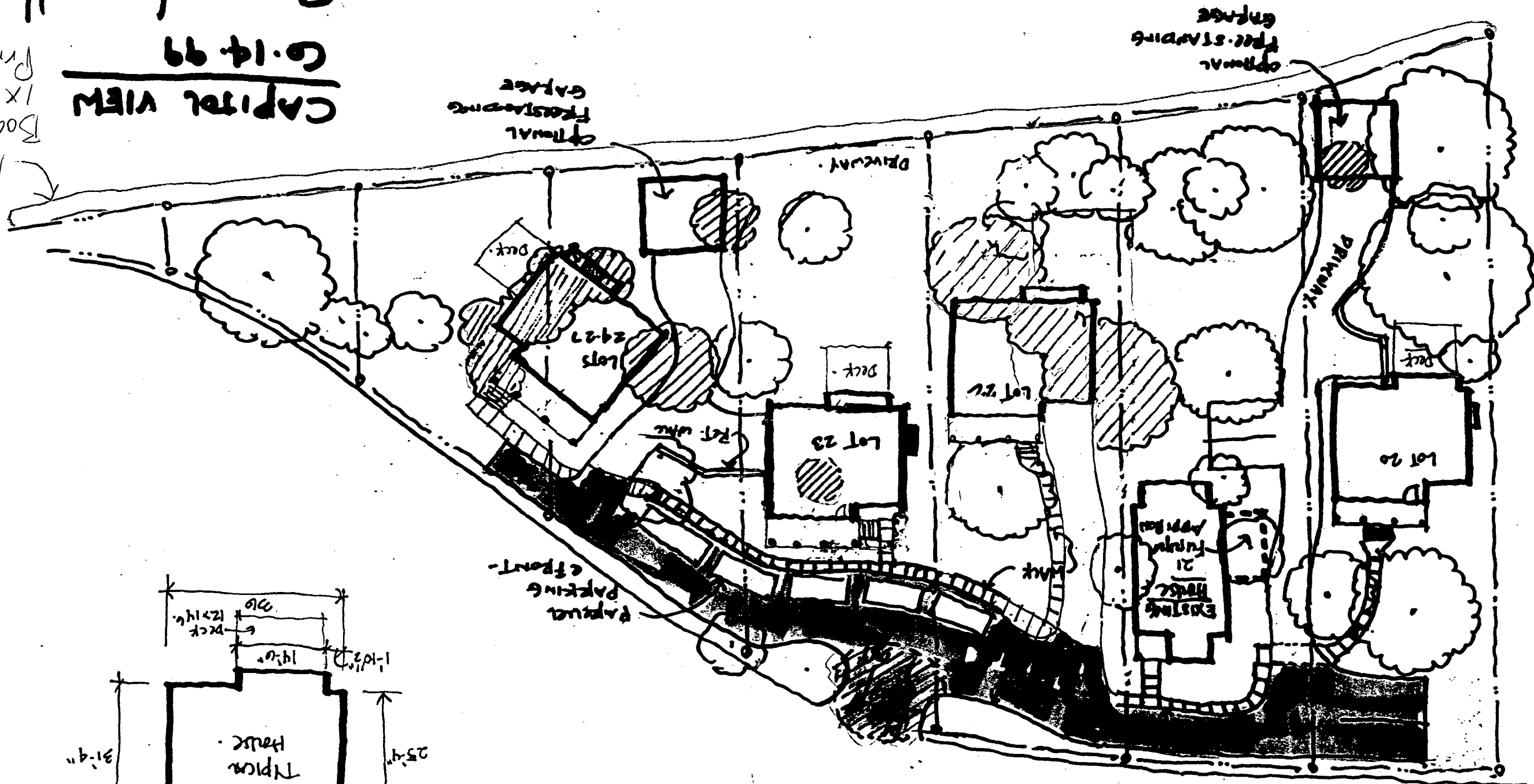
23

**FOWLER ASSOCIATES, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS

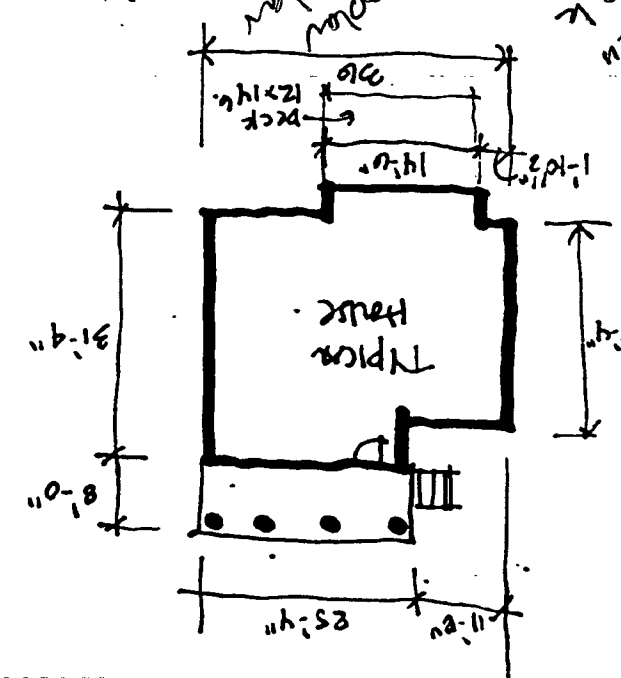
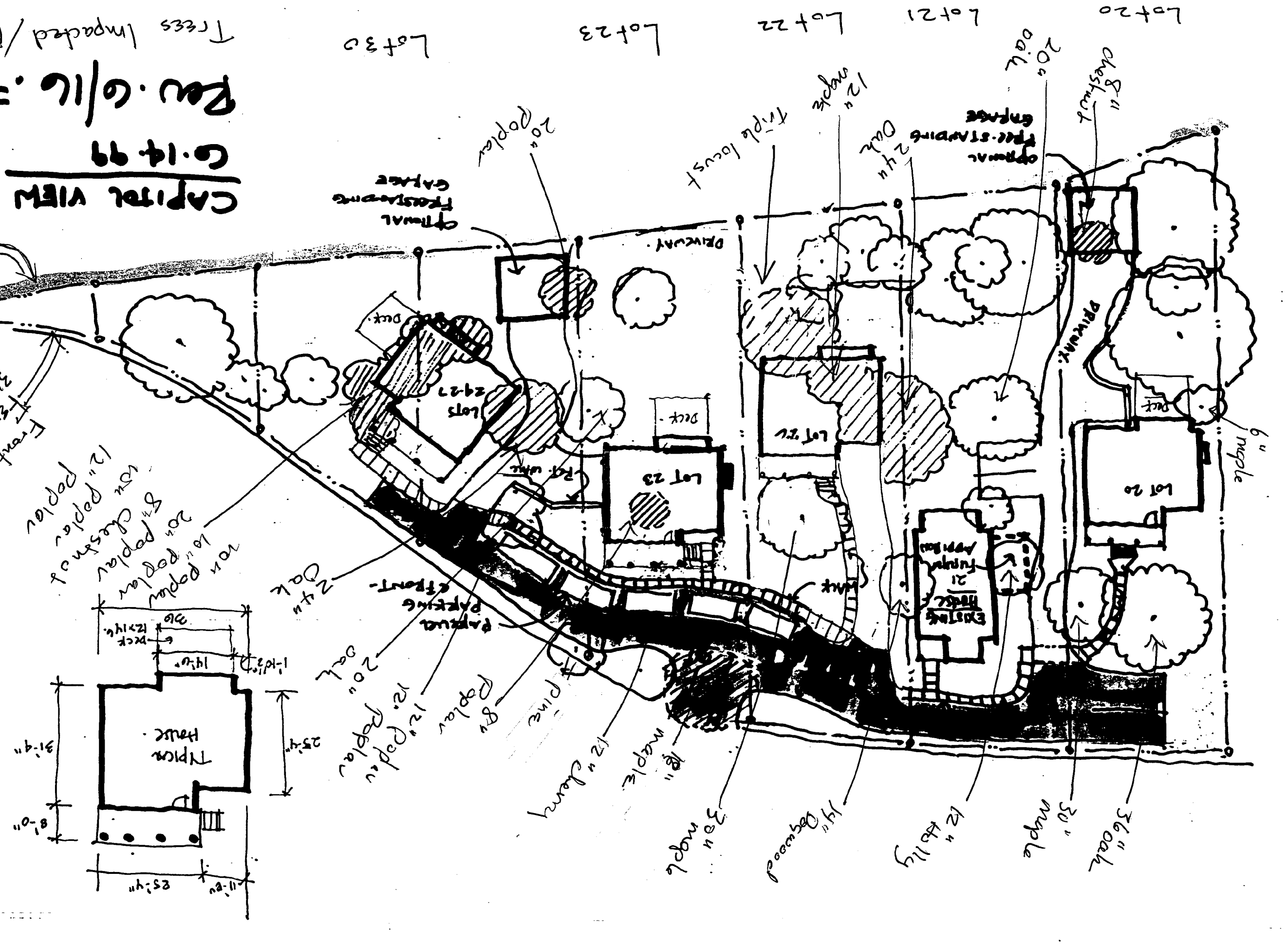
255 NORTH WASHINGTON STREET, SUITE 300  
ROCKVILLE, MD 20850  
(301) 762-2377

SCALE 1"=30'	DRAWN GMF
CHECKED	DATE 3/99
JOB NUMBER 99-006	DRAWING NO. 1 of 1

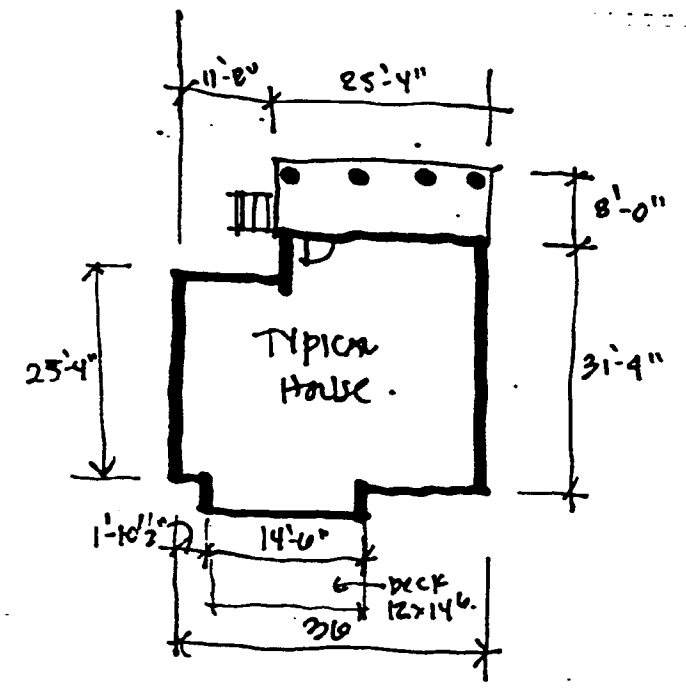
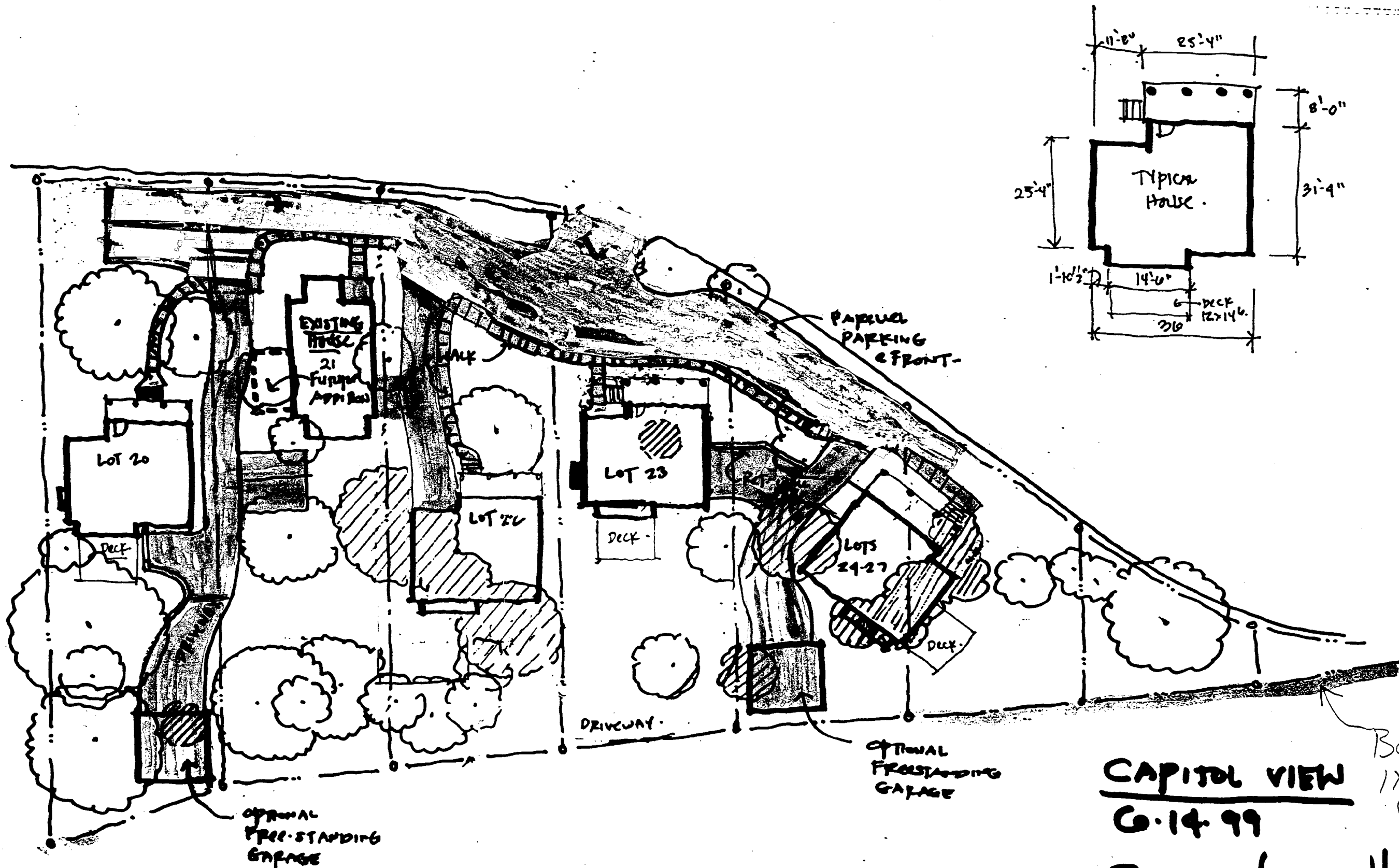
CAPITAL VIEW  
 G.14.99  
 Board on Board  
 1x6 or 1x8  
 Privacy  
 #2



**Capitol View**  
 G-1499  
 Rev. 6/16. #2  
 Trees Impacted/Removed  
 Board on Board  
 1X6 or 1X8  
 Privacy  
 Fence line  
 Rear





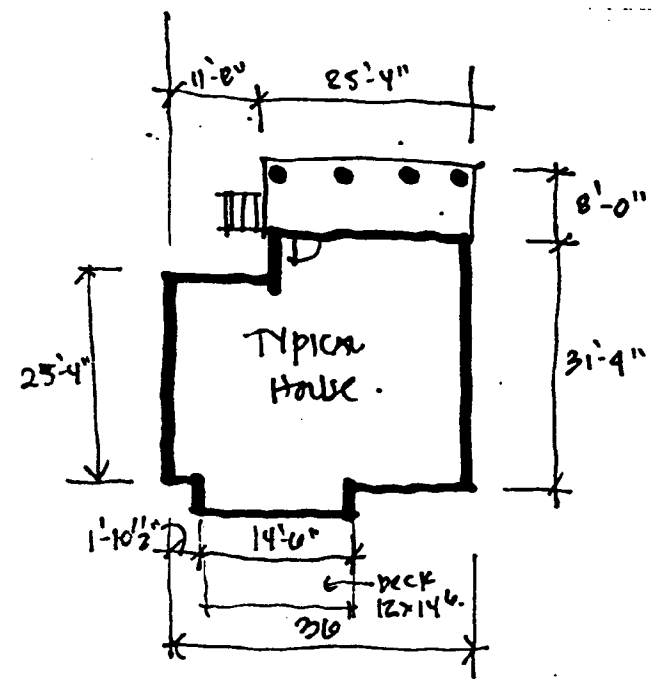
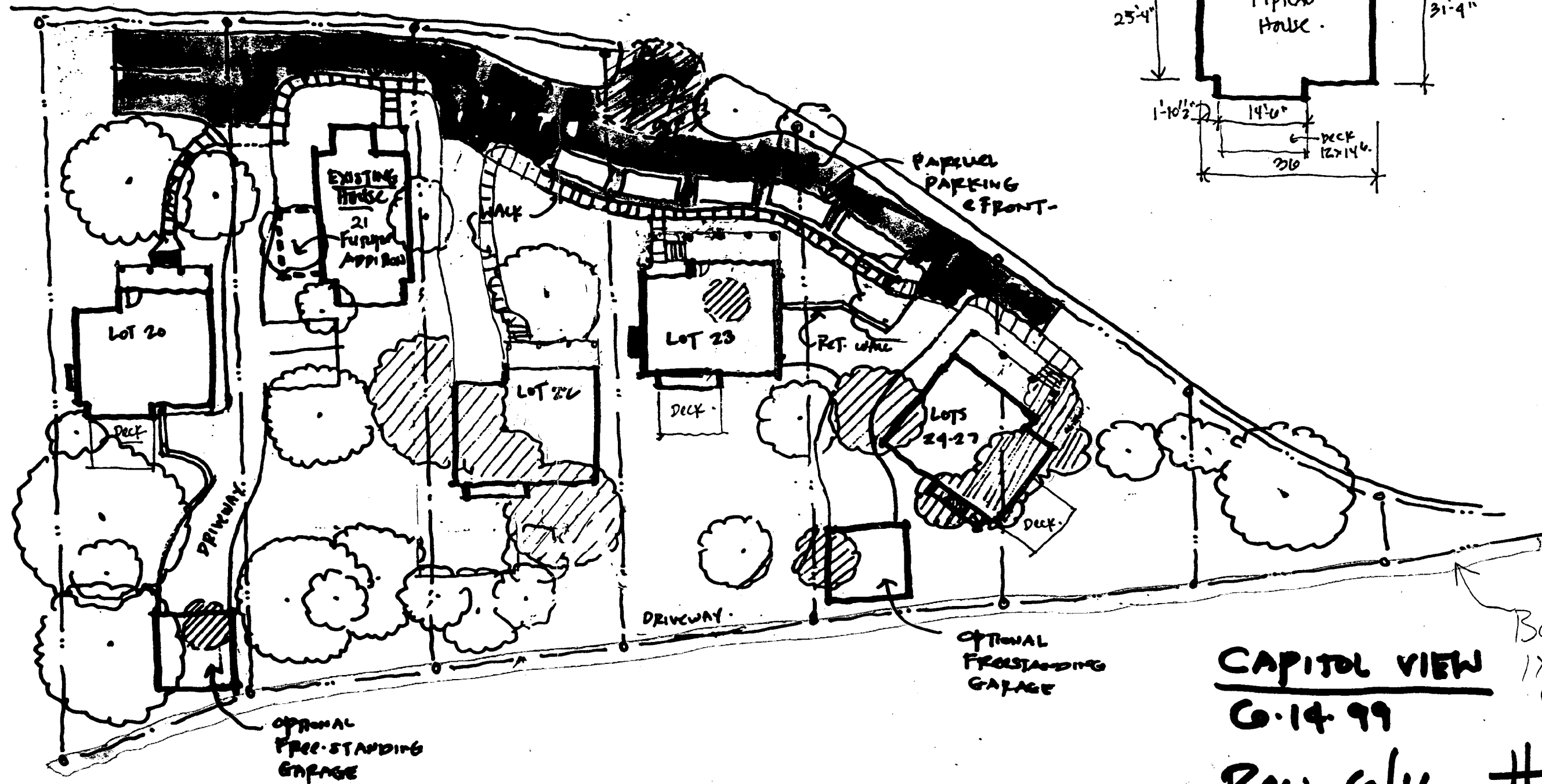


Proposed Paving

Fence Line  
 Board on Board  
 1X6 or 1X8  
 Privacy  
**CAPITOL VIEW**  
 6-14-99  
 Rev. 6/16. #2







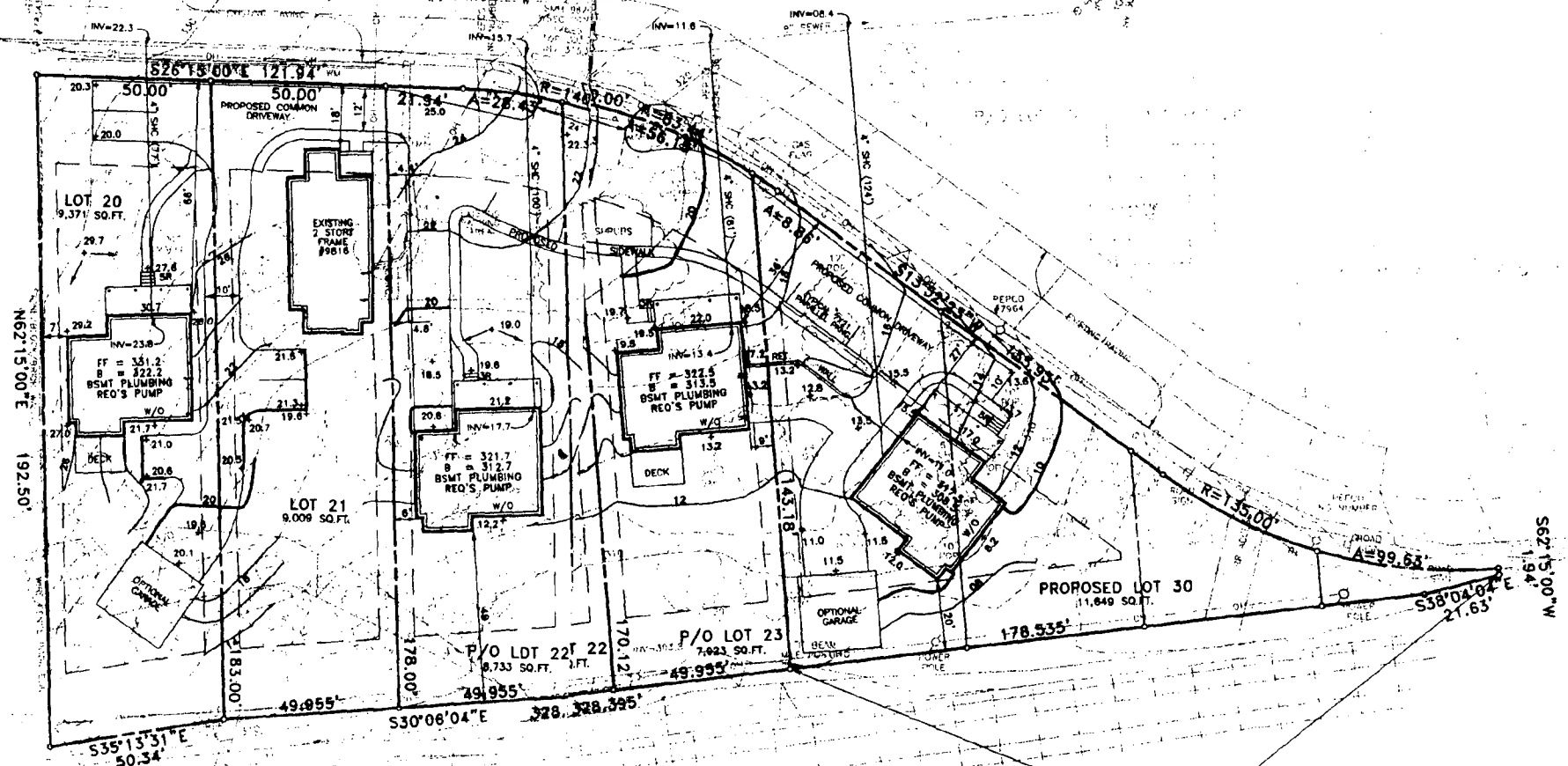
Fence Line  
Board on Board  
1X6 or 1X8  
Privacy

**CAPITOL VIEW**  
6.14.99

Rev. 6/16. # 2

CAPITOL VIEW AVENUE

VICINITY MAP 1"=2000'



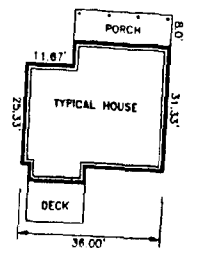
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NOTES

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APPLICANT

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C/O MR. JOSEPH ALFANDRE  
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301-946-9500



SITE DEVELOPMENT PLAN

HOUSE CONSTRUCTION  
LOTS 20 - 22 & PART OF LOT 23 & PROPOSED LOT 30, BLOCK 31

CAPITOL VIEW PARK

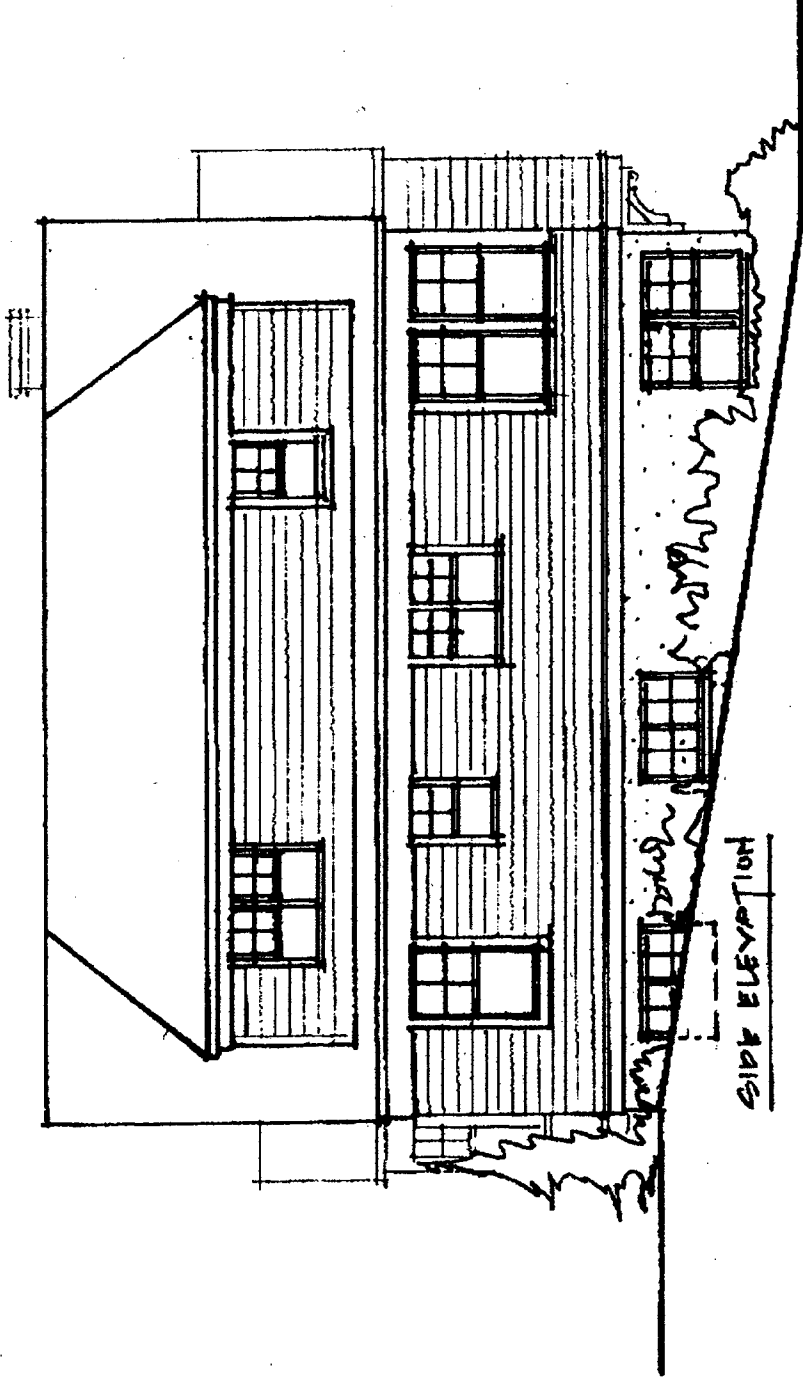
AS RECORDED IN  
PLAT BOOK A AT PLAT NUMBER 9  
WHEATON ELECTION DISTRICT NO. 13 MONTGOMERY COUNTY, MARYLAND

REVISIONS		
No.	DATE	BY

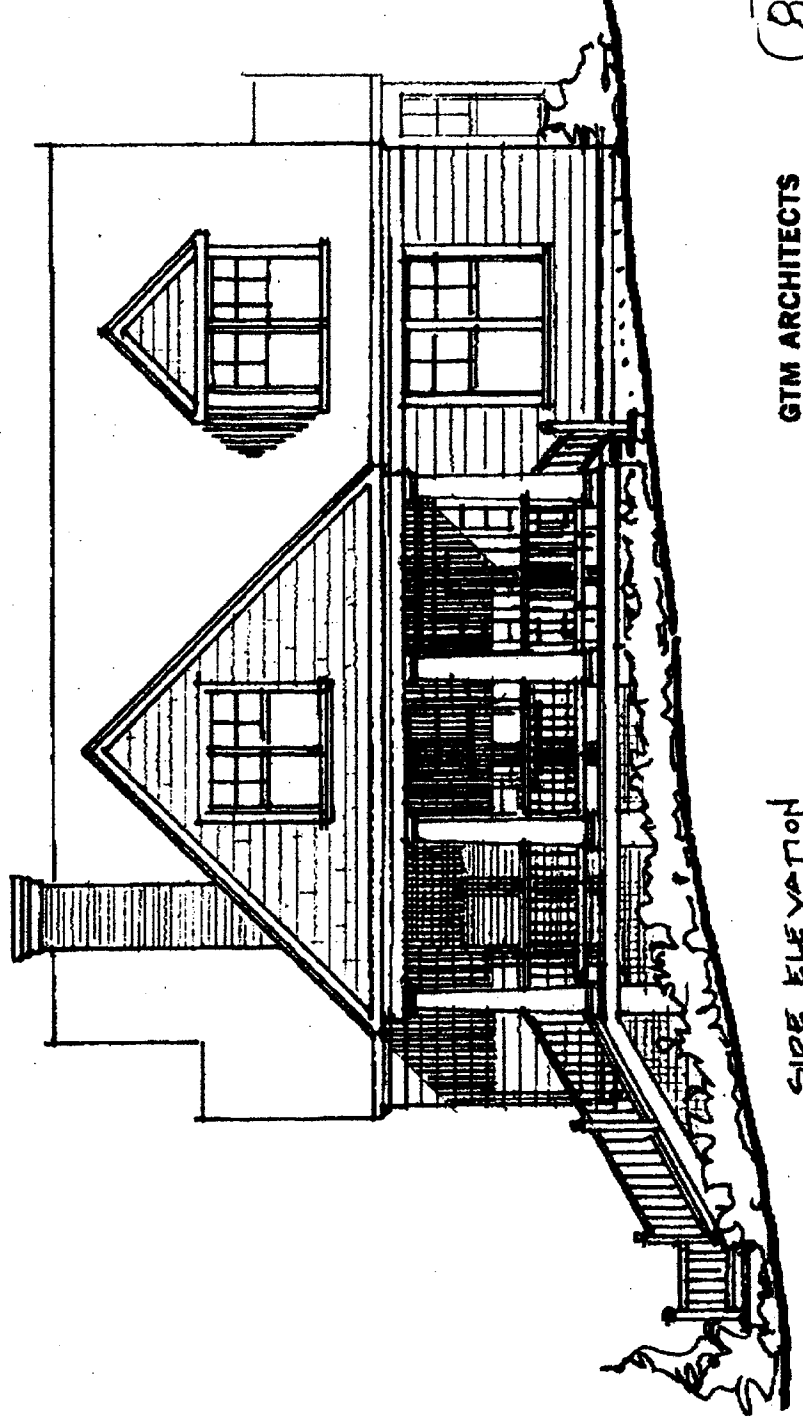
**FOWLER ASSOCIATES, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS  
255 NORTH WASHINGTON STREET, SUITE 300  
BETHESDA, MD 20814

SCALE 1"=30'	DRAWN GMF
CHECKED	DATE 3/99
JOB NUMBER 99-DD6	

CAPITOL VIEW HOUSE 10-31-99



SIDE ELEVATION



SIDE ELEVATION  
(FACING CAP. VIEW AVE)

**GTM ARCHITECTS**  
 10415 Armory Avenue  
 KENSINGTON, MARYLAND 20895  
 (301) 942-9062

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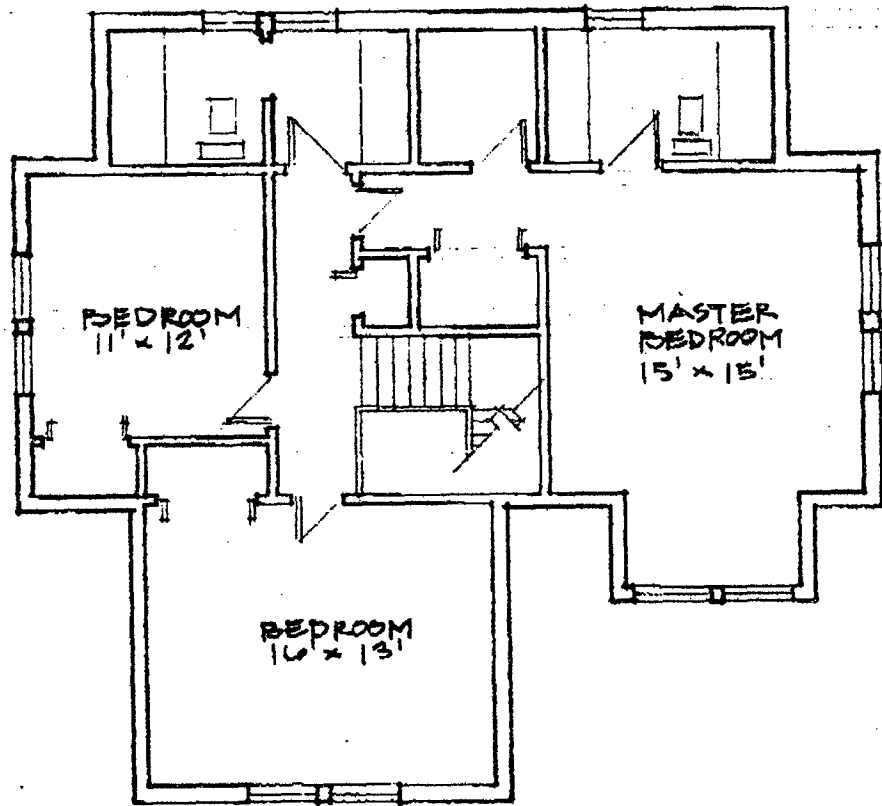


FRONT ELEVATION, (FACING CAPITOL VIEW AVE).



REAR ELEVATION

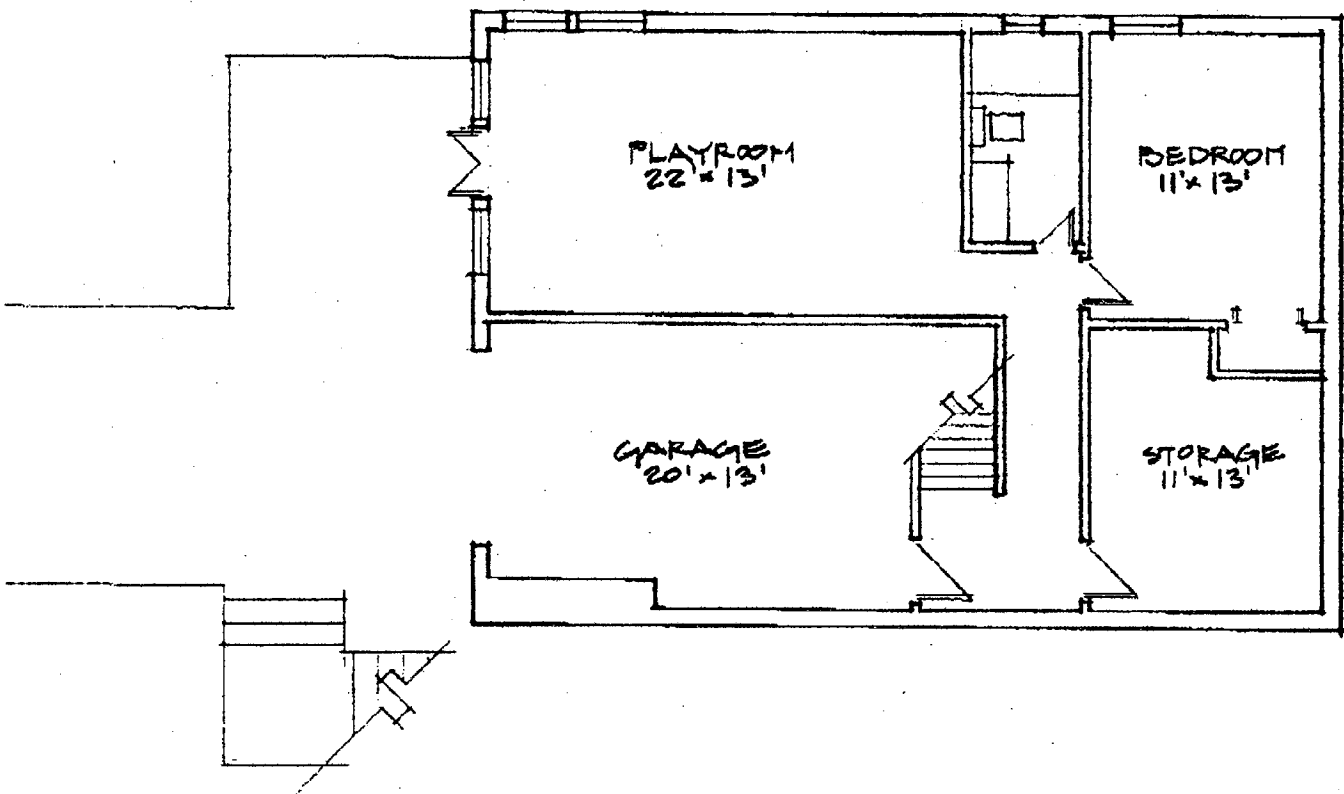
7



SECOND FLOOR PLAN 1/8"

**GTM ARCHITECTS**  
10415 Armory Avenue  
KENSINGTON, MARYLAND 20895  
(301) 942-9062

10



BASEMENT PLAN

1/8"

**GTM ARCHITECTS**  
10415 Armory Avenue  
KENSINGTON, MARYLAND 20895  
(301) 942-9062

11

# CAPITOL VIEW PARK RESIDENCES

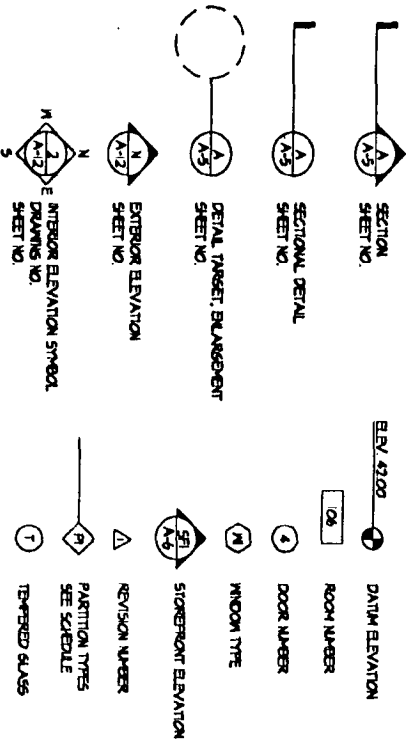
## CAPITOL VIEW AVE. - LOTS 20,22-27 KENSINGTON, MARYLAND

**GTJM**  
ARCHITECTS  
ONE ABBOTT AVE.  
BETHESDA, MD 20814  
301-463-3000 FAX  
301-463-3001 FAX

CAPITOL VIEW AVE.  
KENSINGTON, MD.  
COVER SHEET

**CAPITOL VIEW PARK  
RESIDENCES**

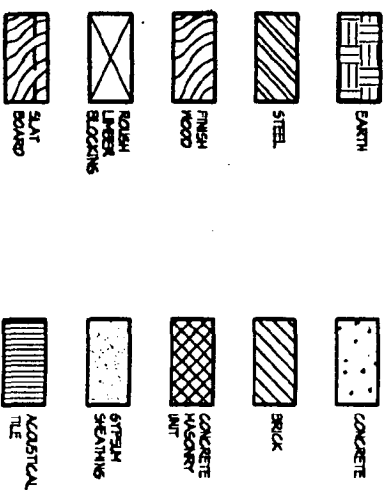
### GRAPHIC SYMBOLS



### LIST OF DRAWINGS

- CS COVER SHEET
- SP SPECIFICATIONS
- A-1 BASEMENT & FOUNDATION PLAN
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 ROOF PLAN
- A-5 EXTERIOR ELEVATIONS
- A-6 EXTERIOR ELEVATIONS
- A-7 BUILDING SECTIONS
- A-8 BUILDING SECTION DETAILS
- A-9 FINISHING PLANS
- A-10 INTERIOR ELEVATIONS

### MATERIAL SYMBOLS



### ABBREVIATIONS

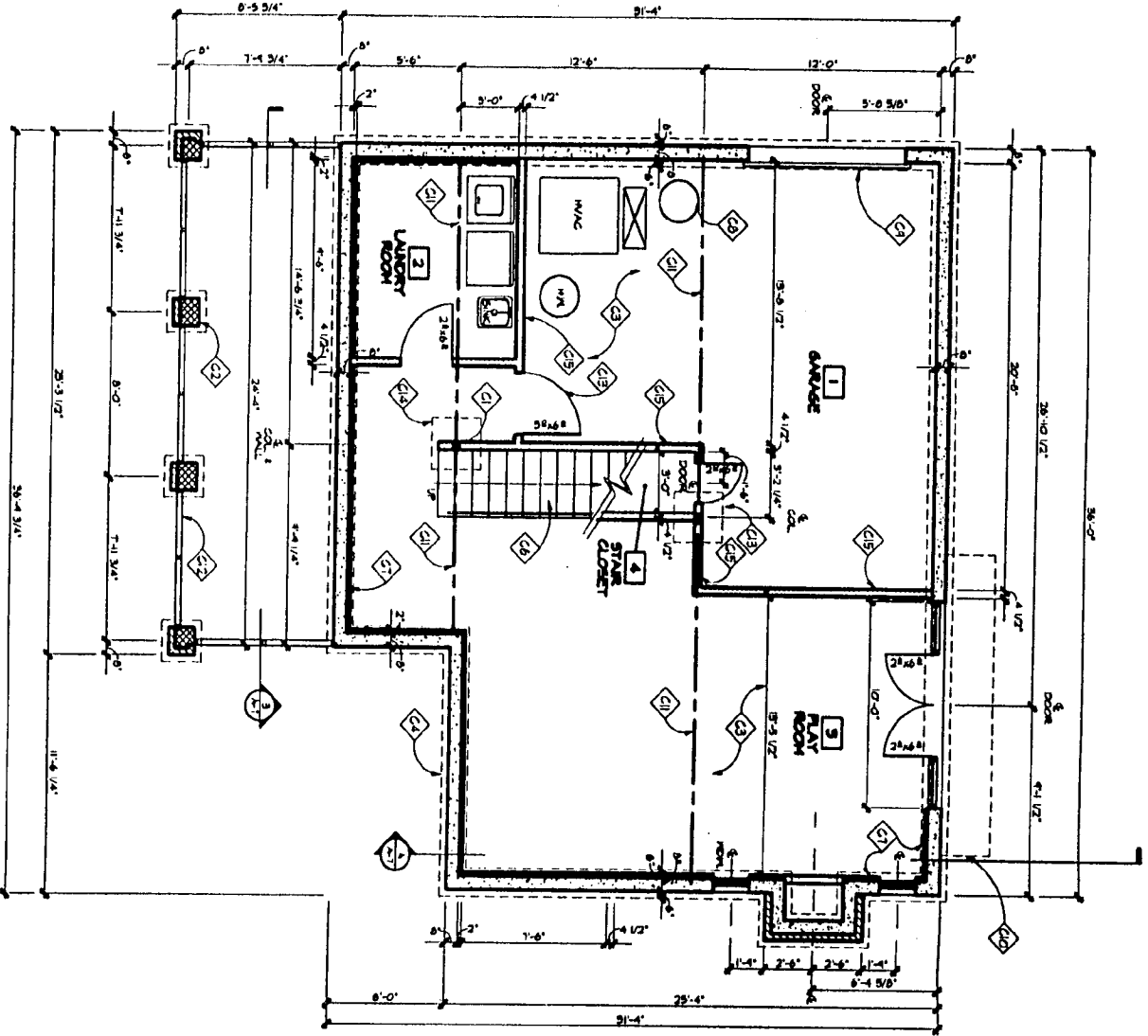
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100	100	100

DRAWN BY: CCM  
 CHECKED BY: GTM  
 SCALE: NO SCALE  
 DATE: 9/30/00  
 PROJECT NO.: 94000  
 DRAWING NO.: CS





**1** BASEMENT FLOOR PLAN  
A-1 1/4" = 1'-0"



**CONSTRUCTION NOTES**

- (1) STEEL PIPE COLUMN, SEE FRAMING PLAN.
- (2) 1-1/4" x 1/4" GAL PIER, REINFORCE W/ (2) #5 BARS VERTICALLY. # EACH PIER, PROVIDE 2'-6" x 2'-6" x 1'-0" DEEP CONC. FOOTING W/ (2) #4 BARS EACHWAY. MIN 30" BELOW GRADE. PROVIDE BRICK ABOVE GRADE WHERE VISIBLE.
- (3) CONCRETE SLAB ON GRADE. REFER TO SPEC. SHEET FOR DETAILS.
- (4) DOTTED LINE INDICATES 1'-6" WIDE x 1'-0" DEEP CONTINUOUS CONCRETE FOOTING, PROVIDE (2) #4 BARS CONTINUOUS. REFER TO ELEVATIONS FOR TOP OF FOOTING ELEVATION.
- (5) FORMED CONCRETE WALL W/ #5 BARS VERTICALLY AND HORIZONTALLY 24" O.C.
- (6) NEW STAIR, PROVIDE PINE TREADS & RISERS. RAILING TO BE SELECTED. VERIFY RISE & RUN.
- (7) FINISH CONCRETE W/ 24"x4" FLAT, 1/2" GYP. BD. SUMP PUMP.
- (8) 1 HR. RATED DOOR & GARAGE TRP. TO BE SELECTED. OVERHANG ABOVE.
- (9) STEEL BEAM ABOVE, SEE FRAMING PLANS.
- (10) 2x4 PRESS. TREATED FRAME W/ LATTICE. SEE ELEVATIONS.
- (11) 1 HR. RATED DOOR & GARAGE TRP.
- (12) 1'-0" DEEP x 4'-0" x 4'-0" CONC. FOOTING W/ (4) #5 BARS EACH WAY. SEE H/A-B.
- (13) 1'-0" DEEP x 2'-0" x 3'-0" CONC. FOOTING W/ (3) #5 BARS EACH WAY. SEE H/A-B.
- (14) PROVIDE 5/8" TRP X GYP. BD. # EACH SIDE OF WALL SEPARATING GARAGE, AND ON GARAGE CEILING.

**NOTE:**  
UNLESS NOTED OTHERWISE, DIMENSIONS ON INTERIOR WALL ARE TO FACE OF GYP. BD. DIMENSIONS ON EXTERIOR WALLS ARE TO EXTERIOR FACE OF SHEATHING TO FINISH FACE GYP. BD.  
VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.



NORTH

**CAPITOL VIEW PARK  
RESIDENCES**

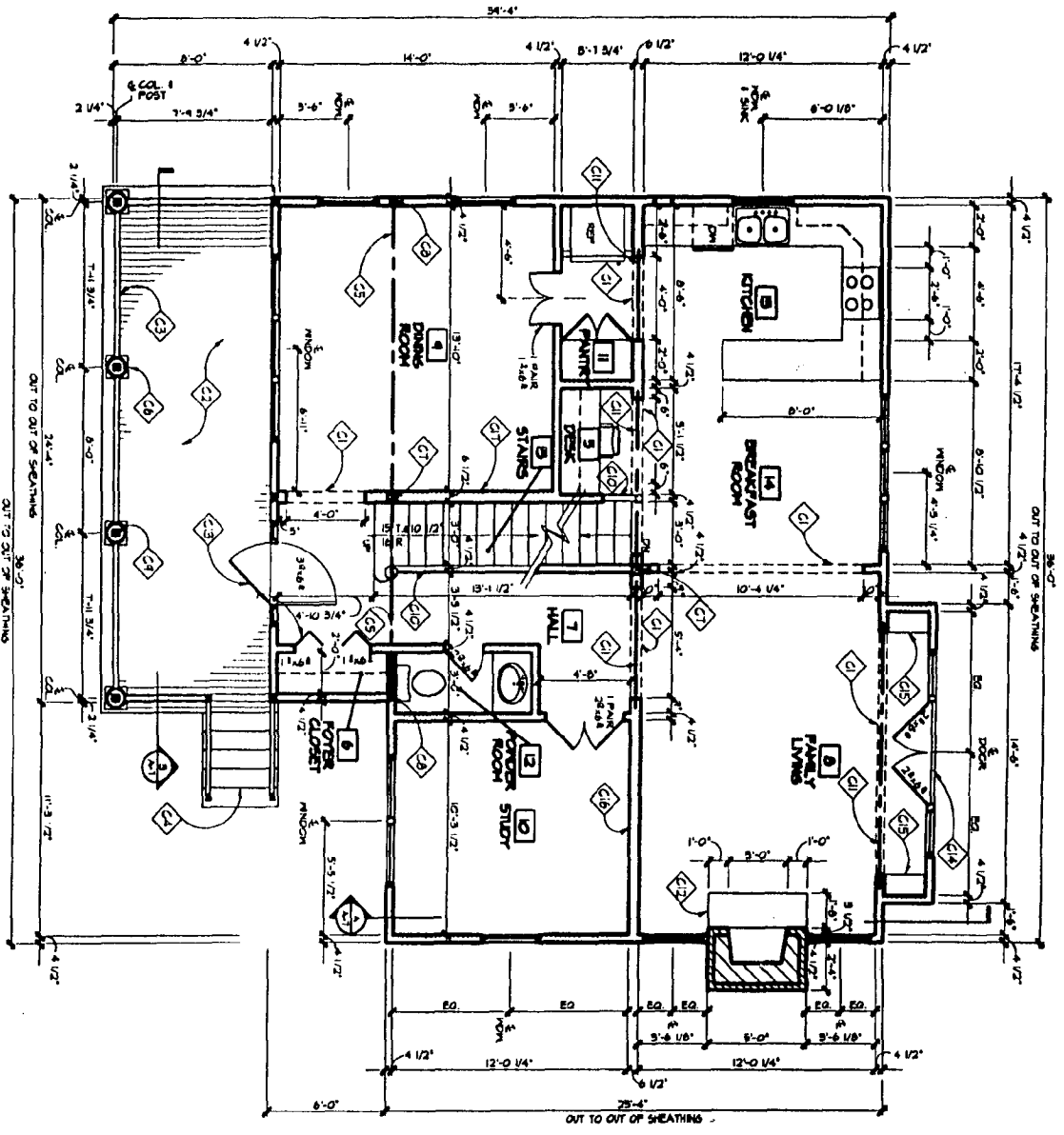
CAPITOL VIEW AVE.  
KENSINGTON, MD.  
BASEMENT FLOOR PLAN

**GTM**  
ARCHITECTS  
1015 ARCHER AVENUE  
KENSINGTON, MD. 20848  
301-291-0242  
DRAWN-PCW FILE

REVISIONS:	SCALE:
DATE:	PROJECT NO. 410680
DRAWING NO.	DATE: 1/4" = 1'-0"
DRAWN BY: CCM	DESIGNED BY: ALV/GTM
CHECKED BY:	SCALE: 1/4" = 1'-0"
DATE:	PROJECT NO. 410680
DRAWING NO.	

**A-1**

14



1 FIRST FLOOR PLAN  
A-2

**CONSTRUCTION NOTES**

- 1 CASER OPENING.
- 2 PAINTED 1 1/2" PINE PORCH FLOOR SLOPE TO RIGHT 1/8" PER FOOT
- 3 PAINTED WOOD RAILING SYSTEM. SEE ELEVATION.
- 4 5/4" x 12" STAIR TREADS IN FINISHED RECESSED FIELD VERIFY RISE & RUN (TREADS TO BE PAINTED)
- 5 12" PAINTED FIBERGLASS COLUMN, TIGERCAT CAP & BASE. HANDED STYLE OR APPROVED EQUAL.
- 6 6x6 POST IN WALL FOR BEAM SUPPORT. SEE FINISH PLAN. POST TO BE SOLID SOUTHERN YELLOW PINE STRUCTURAL GRADE. NO BUILT-UP STUDS ALLOWED.
- 7 4x4 POST W/ 1" IN WALL.
- 8 4x4 POST MIN COLUMN.
- 9 RAILING SYSTEM TO BE SELECTED.
- 10 HEADER ABOVE SEE FINISH PLAN.
- 11 HEARTH MATERIAL TO BE SELECTED.
- 12 PROVIDE WOOD SCREEN DOORS TYP.
- 13 PROVIDE RAILING & FRENCH DOORS (NOTE FINISH DECK).
- 14 BUILT - IN SHELVES.
- 15 2 x 6 WALL, LOAD BEARING.
- 16 2 x 6 WALL, NON-LOAD BEARING.

**NOTE:**  
VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.

**WALL TYPES**

- 1 TYPICAL EXTERIOR WALL, 2"x4" WOOD STUDS @ 16" O.C. W/ 8'-3" INSULATION & W/ VAPOR BARRIER 1/2" OSB SHEATHING. TYPICAL BUILDING MATERIAL PAINTED WOOD SIDING/PANTRY CEDAR SHAKLES. INTERIOR FINISH TO BE 5/8" BD (1/2").
- 2 TYPICAL INTERIOR PARTITION 2"x4" STUDS @ 16" O.C. W/ 1/2" 5/8" BD EACH SIDE. INCREASE WALL THICKNESS AS SHOWN TO ACCOMMODATE 6x6 POSTS W/ IN WALLS.

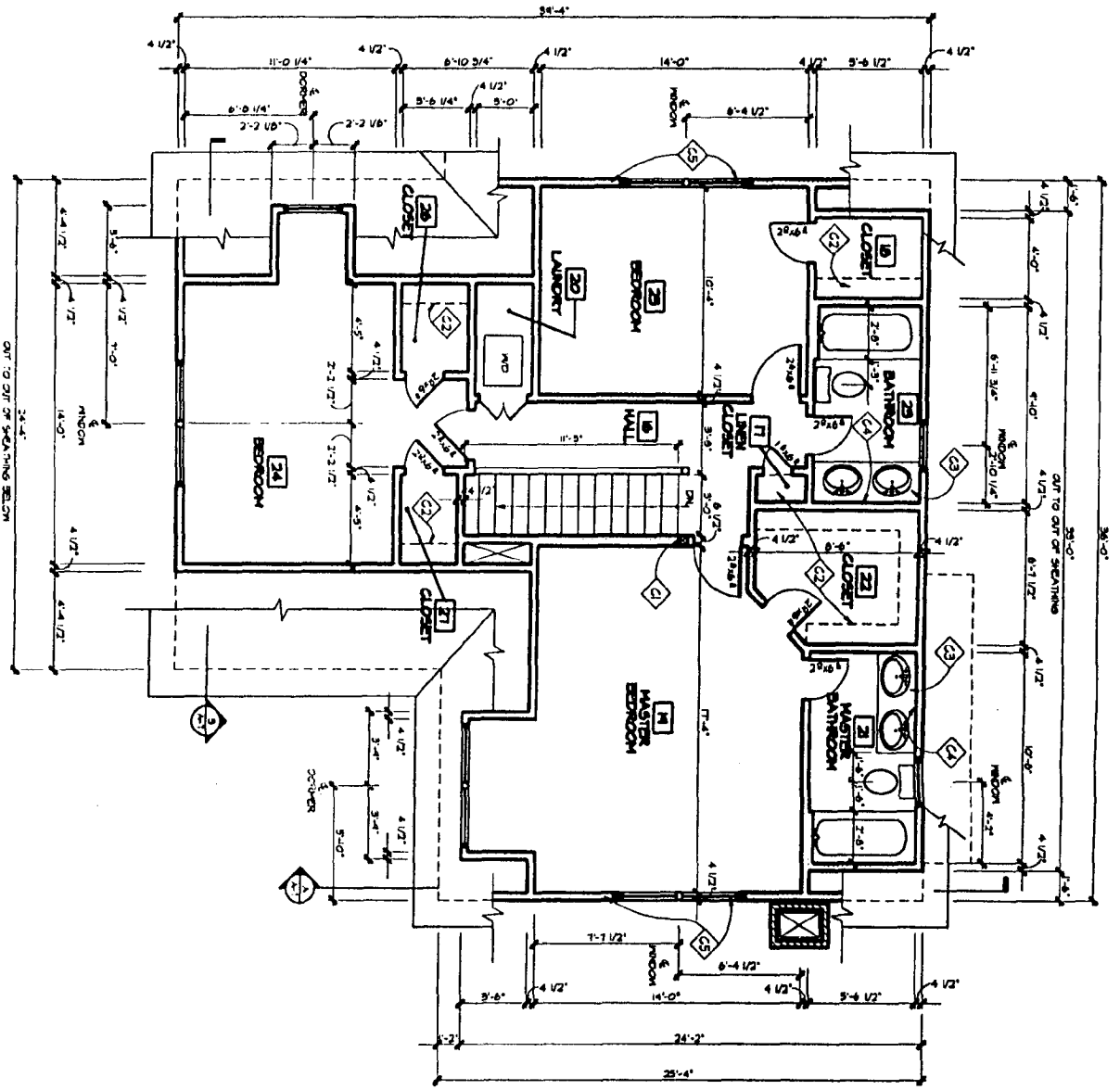
**GTM**  
ARCHITECTS  
ONE ANNEUR AVENUE  
KENSINGTON, MD 20895  
301-443-2000  
301-443-2001 FAX

CAPITOL VIEW AVE.  
KENSINGTON, MD.  
FIRST FLOOR PLAN

**CAPITOL VIEW PARK RESIDENCES**

DESIGNED BY	CMH
SCALE	1/4" = 1'-0"
DATE	
PROJECT NO.	940000
DRAWING NO.	A-2

**1 SECOND FLOOR PLAN**



**CONSTRUCTION NOTES**

- ① 6x6 POST WITHIN WALL
- ② CLOSET SHELVES & RODS BY OTHERS
- ③ 60" VANITY TO BE SELECTED
- ④ 1/4" POLISHED FLATE GLASS MIRROR FROM TOP OF SPLASH TO 1'-0" FILL WIDTH OF WALL
- ⑤ 4x4 POST WITHIN WALL, SEE FRAMING PLANS

**WALL TYPES**

- ① TYPICAL EXTERIOR WALL, 2x4" KOOL STDS @ 16" O.C., W/ R-13 INSULATION & W/ VAPOR BARRIER, 1/2" OSB SHEATHING, TYPICAL BUILDING WRAP, & PAINTED SIDING AND/ OR CEDAR SHINGLES, INTERIOR FINISH TO BE 6TP, SD, (122)
- ② TYPICAL INTERIOR PARTITION, 2x4" STDS @ 16" O.C., W/ 1/2" GYP, 3/8" EACH SIDE, REDUCE WALL THICKNESS AS SHOWN TO ACCOMMODATE 6x6 POSTS

**GTMI**  
ARCHITECTS  
600 MARKET AVENUE  
KENSINGTON, MD, 20895  
301-424-2900 FAX

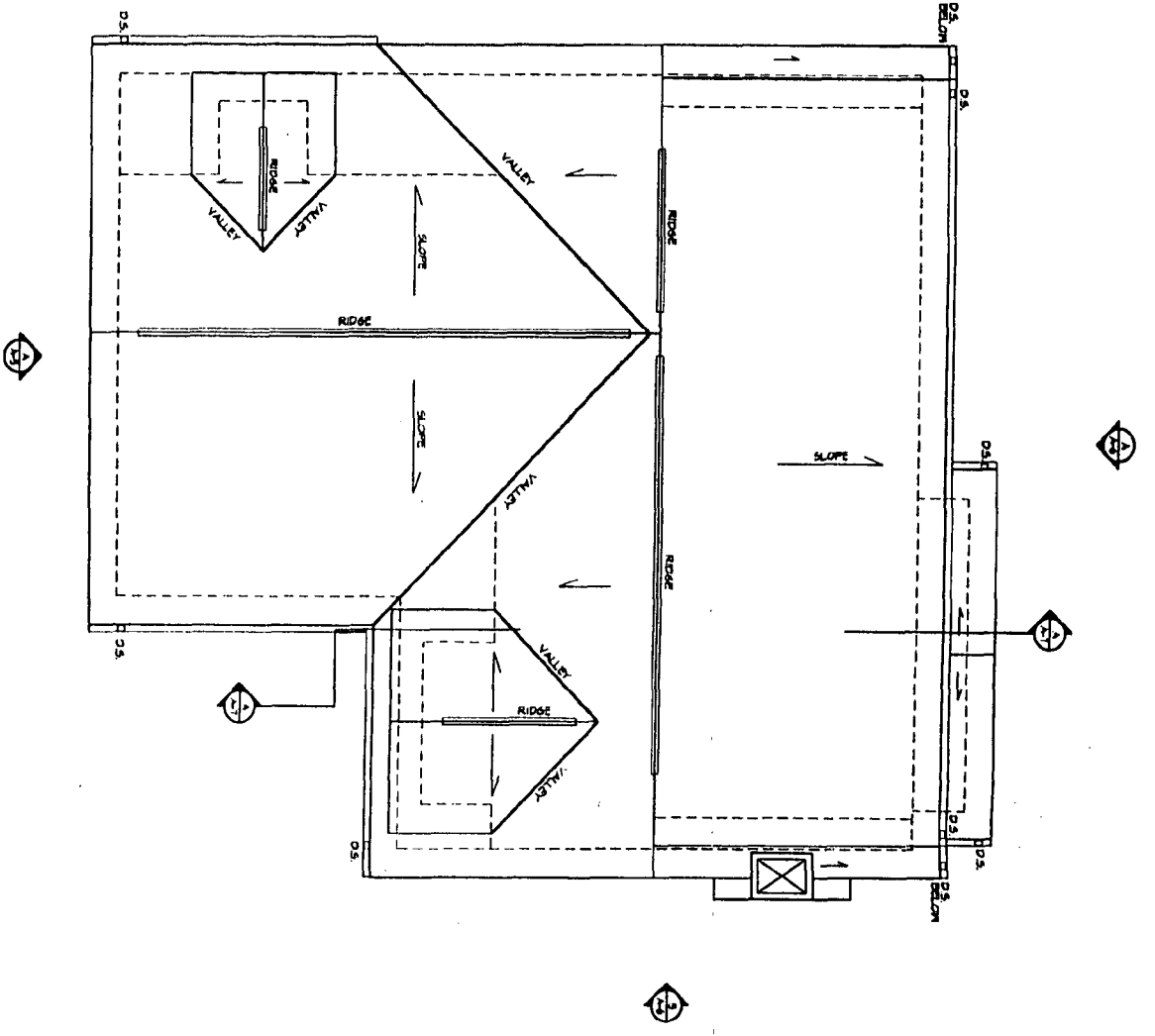
CAPITOL VIEW AVE.  
KENSINGTON, MD.  
SECOND FLOOR PLAN  
(OPTION 1)

**CAPITOL VIEW PARK RESIDENCES**

DESIGNED BY: CCM  
SCALE: 1/4" = 1'-0"  
DATE: 04/08/00  
PROJECT NO: 94080  
SHEETS TO: 94080  
**A-3**

(16)

1 ROOF PLAN  
 1/4" = 1'-0"



**GENERAL ROOFING NOTES**

- ① ROOF SHINGLES TO BE SELECTED.
- ② RIDGE VENTS BY TOLL VENT OR APPROVED EQUAL.
- ③ SOLARIS PROVIDE CLIPS AS RECOMMENDED BY SOLARIS MANUFACTURER VENT.

**GENERAL ROOFING NOTES**

- 1 PROVIDE WEATHER GUARD UNDERLAYMENT UNDER SHINGLES @ ALL VALLEYS & ALL PERIMETER AREAS (3'-0" BACK FROM FINISH), AND ON ALL AREAS W/ SLOPE LESS THAN 4:12.

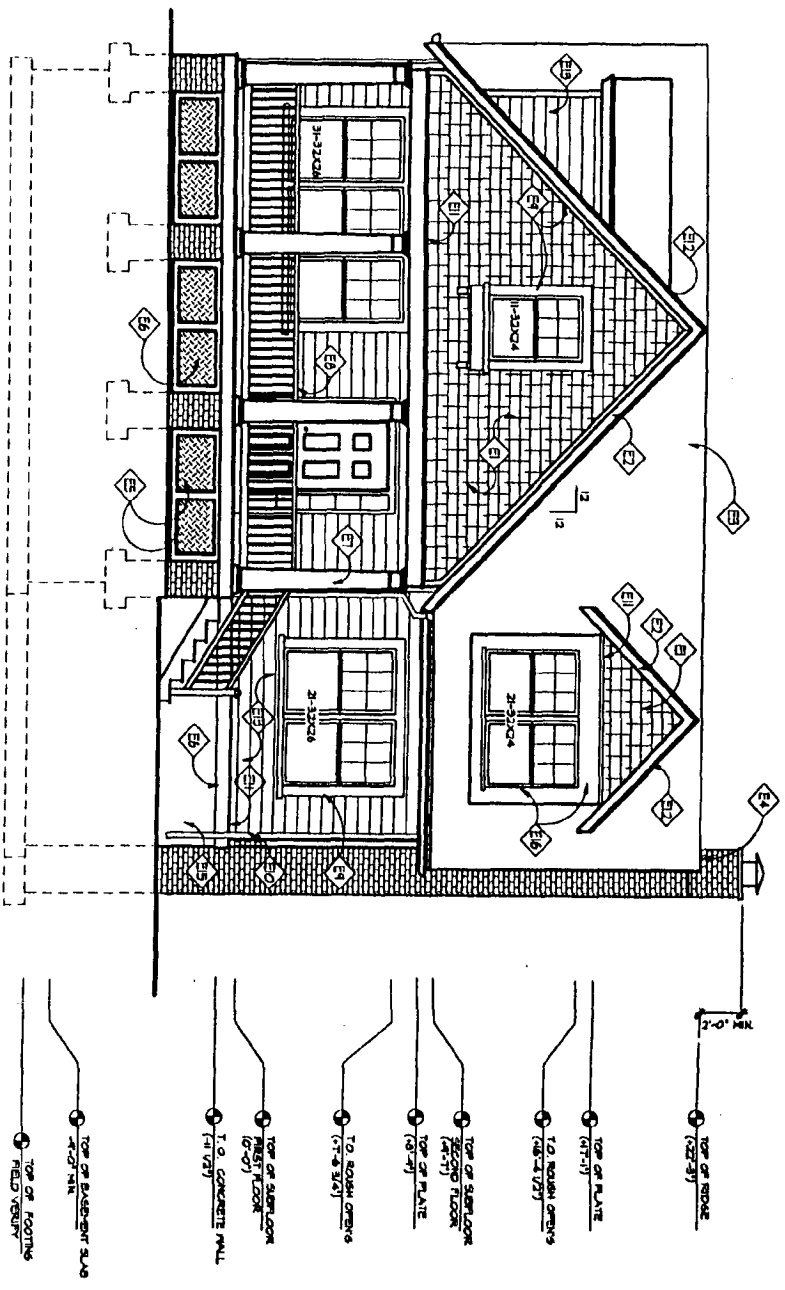
**GTJM**  
 ARCHITECTS  
 ONE ARBOR AVENUE  
 KENSINGTON, MD 20848  
 301-443-7022  
 301-443-7023 FAX

CAPITOL VIEW AVE.  
 KENSINGTON, MD.  
**ROOF PLAN**  
 (OPTION 1)

**CAPITOL VIEW PARK  
 RESIDENCES**

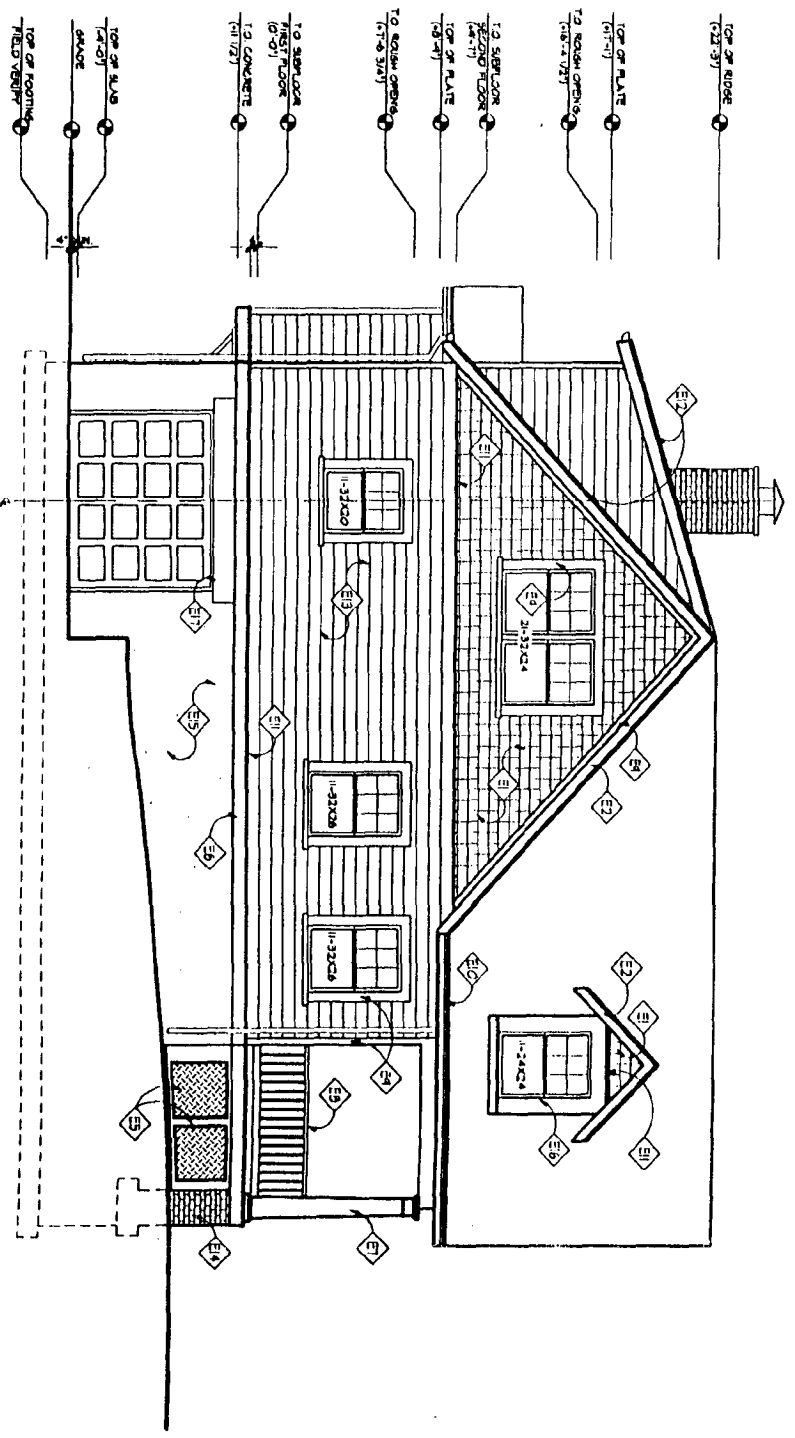
REVISIONS	
SCALE	
DRAWN BY	CJM
CHECKED BY	ALW/STM
SCALE	1/4" = 1'-0"
DATE	
PROJECT NO.	44060
DRAWING NO.	A-4

**A EAST (FRONT) ELEVATION**  
1/4" = 1'-0"



- TOP OF ROOF (17'-3 1/2')
- TOP OF PLATE (17'-7 1/2')
- TO SOULIM OPENING (17'-8 1/2')
- TOP OF SUBTILION SECOND FLOOR (17'-9 1/2')
- TOP OF PLATE (18'-4 1/2')
- TO SOULIM OPENING (17'-8 1/2')
- TOP OF BASEMENT SLAB (17'-2 1/2')
- TOP OF FOOTING FIELD VENTURE

**B SOUTH (SIDE) ELEVATION**  
1/4" = 1'-0"



- TOP OF ROOF (17'-3 1/2')
- TOP OF PLATE (17'-7 1/2')
- TO SOULIM OPENING (17'-8 1/2')
- TOP OF SUBTILION SECOND FLOOR (17'-9 1/2')
- TOP OF PLATE (18'-4 1/2')
- TO SOULIM OPENING (17'-8 1/2')
- TOP OF BASEMENT SLAB (17'-2 1/2')
- TOP OF FOOTING FIELD VENTURE

**CONSTRUCTION NOTES:**

- E1 PAINTED CEDAR SHINGLES
- E2 SHIMS SHAPED TRIM TYPICAL
- E3 ASPHALT/FIBERGLASS SHINGLES TO BE SELECTED.
- E4 OPTIONAL MASONRY CORNER
- E5 PAINTED LATTICE PANEL ON PRESS. TREATED 2X4 FRAME MARK MID STOPS
- E6 SHIM MID TRIM BAND
- E7 1" x 2" PAINTED FIBERGLASS COLUMN
- E8 PAINTED RAILING SYSTEM, 3/4" x 3/4" BOY RAIL, SWOOSH & SH-3000 FLOORS, SWOOSH & UNITS
- E9 3/4" MID TRIM & WINDOW AND CORNER TRIM
- E10 WHITE ALUM. CORNEROLITS & BITTERS
- E11 DWP CAP SWOOSH 1/4" x 1/4"
- E12 2X2 HOLDING NAILS
- E13 PAINTED SDRG
- E14 MASONRY RISER
- E15 CONCRETE FOUNDATION WALL
- E16 3/4" TRIM CUT TO FIT & FRONT OF CORNERS
- E17 1/2" TRIM ABOVE OPENING BASEMENT

**GENERAL NOTES:**

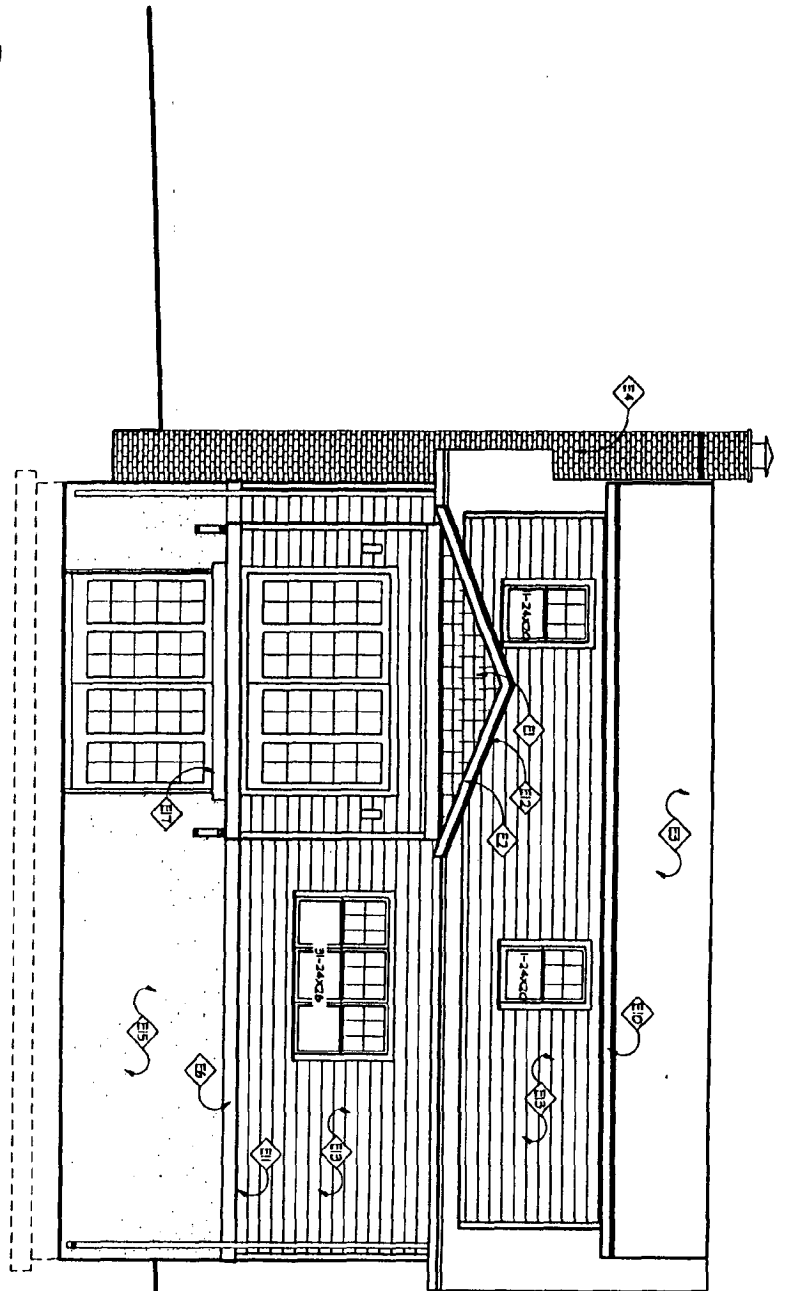
ALL WINDOW SIZES ARE BASED ON STD. REINFORCED DOUBLE-GLASS TRIM SIZES (8 OVER.)  
ALL WINDOWS TO BE ROZO. PAINTED

**GTMI**  
ARCHITECTS  
ONE HANCOCK AVENUE  
BOWTIE, MD. 20805  
301-441-2900 FAX

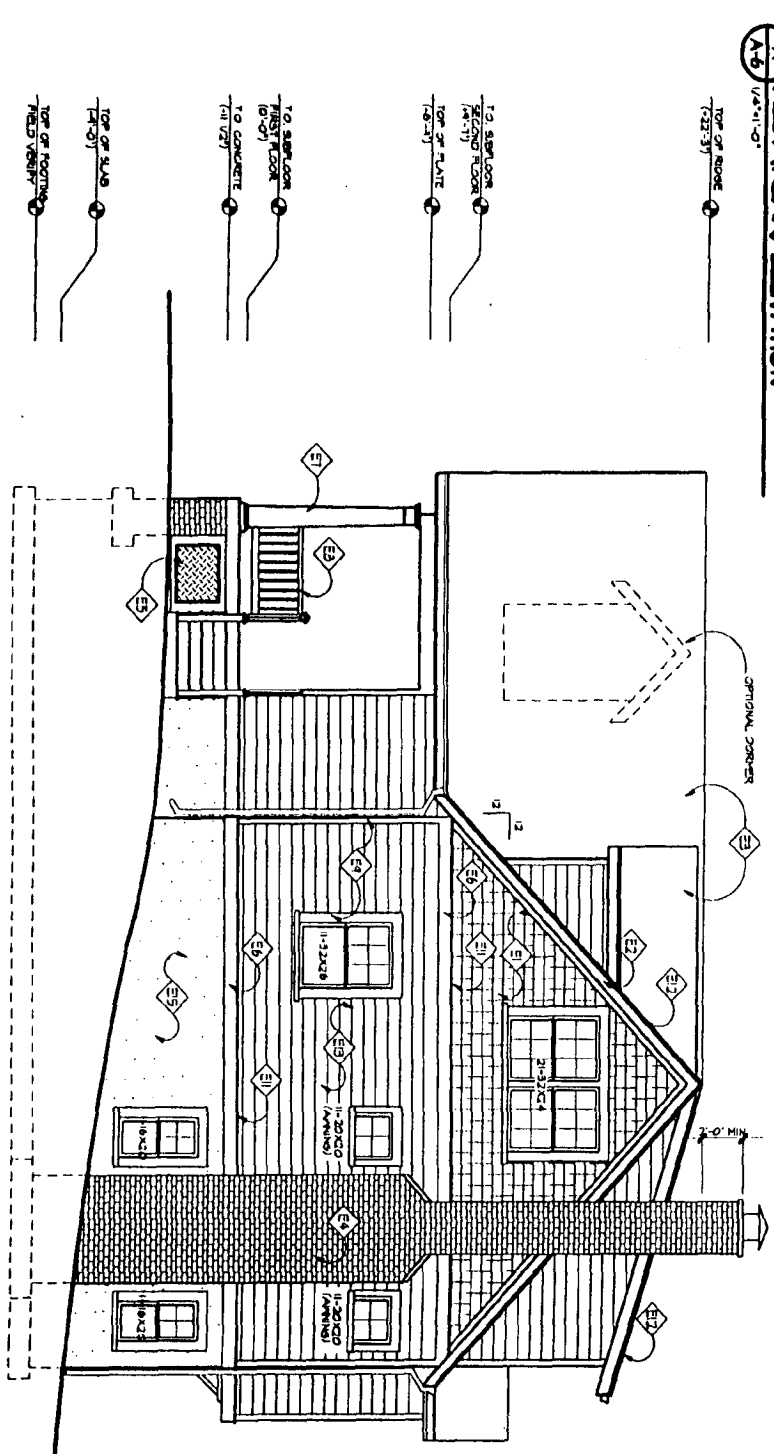
CAPITOL VIEW AVE.  
KENSINGTON, MD.  
EXTERIOR ELEVATIONS

**CAPITOL VIEW PARK RESIDENCES**

DESIGNED BY	GTMI
SCALE	1/4" = 1'-0"
DATE	
PROJECT NO.	99000
DRAWING NO.	A-5



- TOP OF ROOF (122'-3")
- TOP OF PLATE (117'-7")
- TO ROOM OPENING (118'-2 1/2")
- TOP OF SILL/DOOR (117'-7")
- SECOND FLOOR (117'-7")
- TOP OF PLATE (117'-7")
- TO ROOM OPENING (118'-2 1/2")
- TO SILL/DOOR (117'-7")
- FIRST FLOOR (117'-7")
- TO FINISH (117'-7")



- TOP OF ROOF (122'-3")
- TO SILL/DOOR (117'-7")
- SECOND FLOOR (117'-7")
- TOP OF PLATE (117'-7")
- TO ROOM OPENING (118'-2 1/2")
- TOP OF SILL/DOOR (117'-7")
- FIRST FLOOR (117'-7")
- TO FINISH (117'-7")
- TOP OF SLAB (117'-7")
- TO ROOM OPENING (118'-2 1/2")
- TO FINISH (117'-7")

**A WEST REAR ELEVATION**  
1/4" = 1'-0"

**B NORTH (SIDE) ELEVATION**  
1/4" = 1'-0"

**CONSTRUCTION NOTES:**

- E1 PAINTED CEDAR SHINGLES
- E2 5/4x8 SABLE TRIM TYPICAL
- E3 ASPHALT/FIBERGLASS SHINGLES TO BE SELECTED.
- E4 OPTIONAL WOODKIT CORNER
- E5 PAINTED LATTICE PANEL ON PRESS. TREATED 2x4 FRAME WITH 1/2" STOPS
- E6 5/4x8 PTD. TRIM BAND
- E7 1" x PAINTED FIBERGLASS COLUMNS
- E8 PAINTED SAILING STRIPS, TOP RAIL, SHOOT & SH-6x4x4 BOTTOM RAILS, SHOOT & LUMBER
- E9 5/4x4 PTD. TRIM & WINDOW AND CORNER TRIM
- E10 WHITE ALUM. DOWNPOUTS & GUTTERS
- E11 DRIP CAP, SHOOT SPEAR
- E12 6x6 HOLDING, 1x4-75
- E13 PAINTED STONE
- E14 WOODKIT PERS.
- E15 CONCRETE FOUNDATION WALL
- E16 5/4" TRIM 2"X 10" RT. & FRONT OF DOWNERS
- E17 1x TRIM ABOVE OPENING SUPPORT

**GENERAL NOTES:**

ALL WINDOW SIZES ARE BASED ON STD. REINFORCED CONCRETE-TYPE 7L-7 SIZES (8 OVER.)  
ALL WINDOWS TO BE WOOD FINISH.

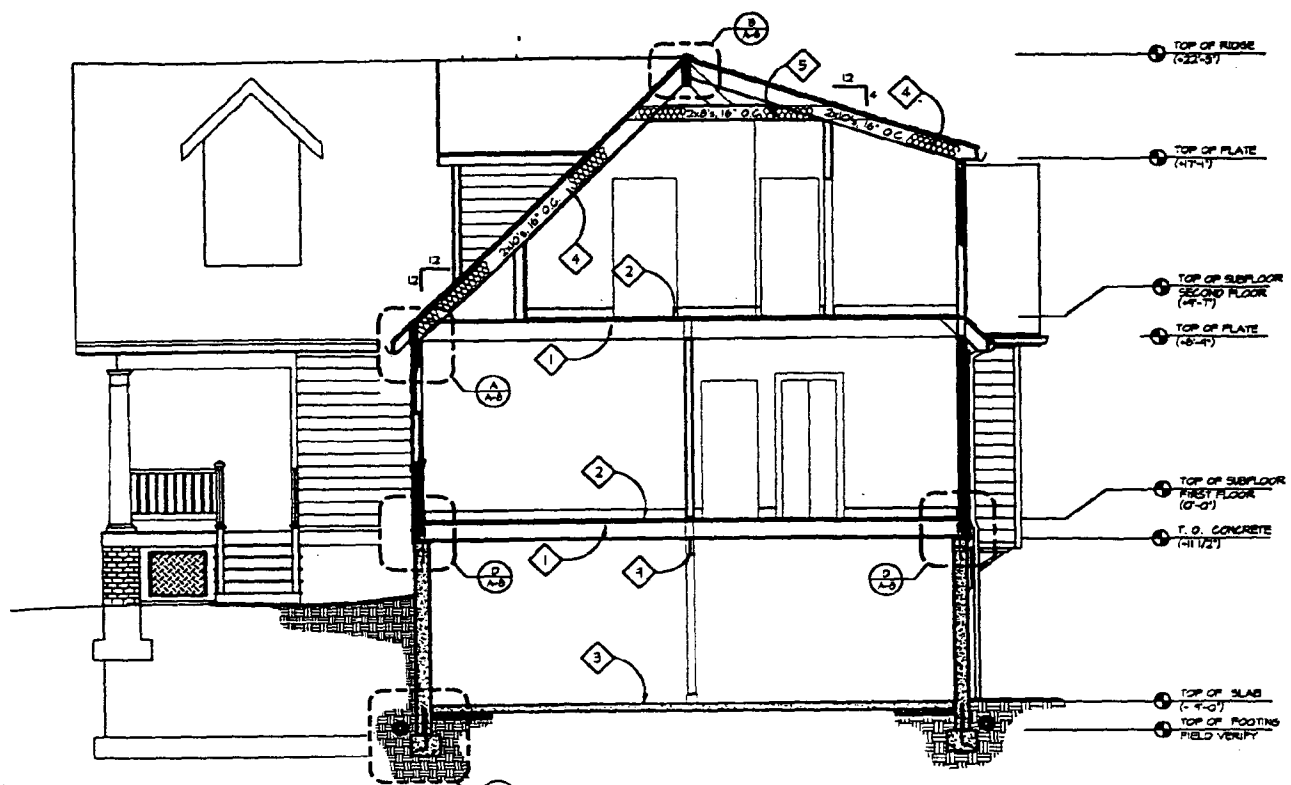
**GTMI**  
ARCHITECTS  
ONE AMBERT AVENUE  
KENSINGTON, MD. 20885  
301-413-2000 FAX

CAPITOL VIEW AVE.  
KENSINGTON, MD.  
EXTERIOR ELEVATIONS

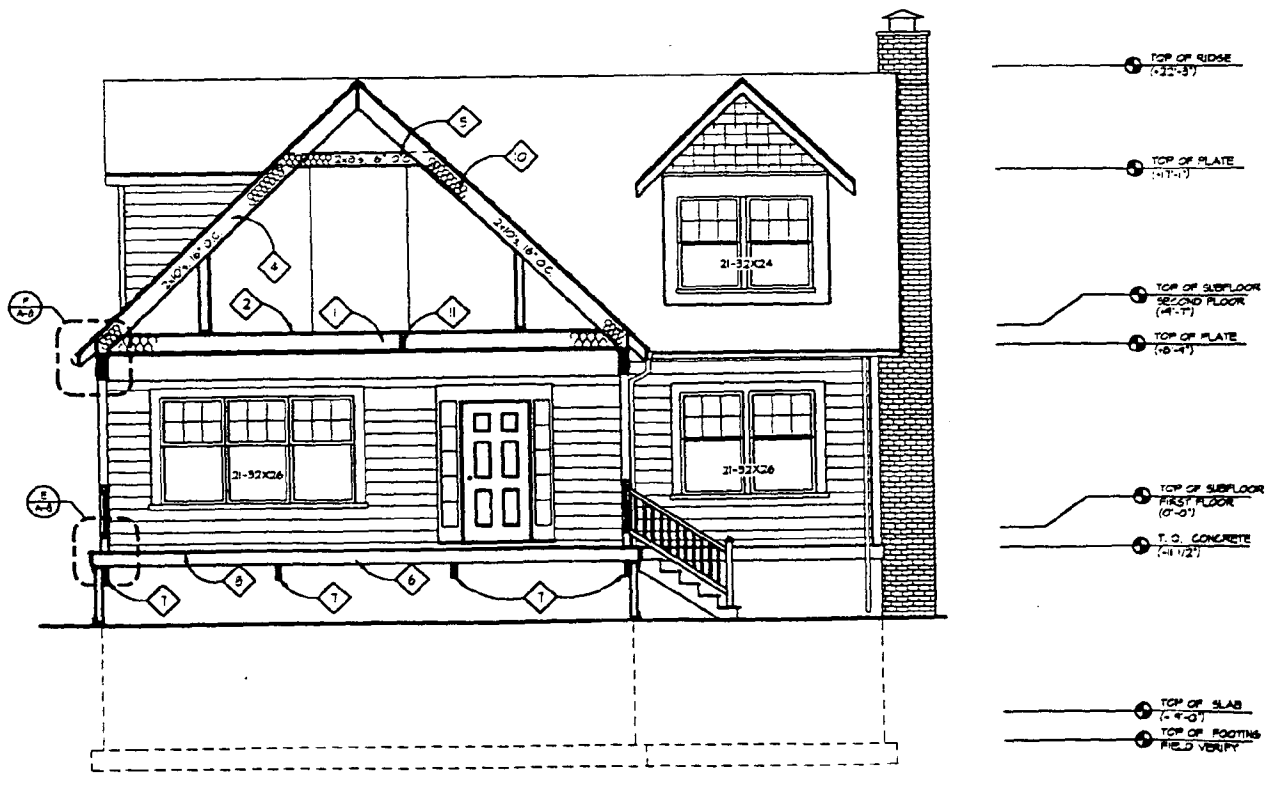
**CAPITOL VIEW PARK RESIDENCES**

DESIGNED BY	CLM
CHECKED BY	GTMI
SCALE	1/4" = 1'-0"
DATE	
PROJECT NO.	94000
DRAWING NO.	

**A-6**



**A BUILDING SECTION**  
A-7 1/4"=1'-0"



**B SECTION THRU FRONT PORCH**  
A-7 1/4"=1'-0"

**NOTES:**

- 1 2ND FLOOR JOISTS @ 16" O.C.
- 2 FRESH FLOORING ON 3/4" T&G PLYWOOD SUBFLOOR
- 3 4" CONC. SLAB, SEE SPEC SHEET
- 4 2ND RAFTERS @ 16" O.C.
- 5 2ND COLLAR TIES @ 16" O.C.
- 6 2ND PRESS. TREATED JOISTS @ 16" O.C.
- 7 2ND PRESS. TREATED BEAM
- 8 T&G FINE FLOORING
- 9 STEEL BEAM, SEE FRAMING PLAN
- 10 R-30 C INSULATION, TYPICAL @ RAFTERS
- 11 (2) 1 3/4" X 1 1/4" LVL BEAM 4' IN FLOOR SYSTEM

**GTM ARCHITECTS**  
1245 ARBORY AVENUE  
KENSINGTON, MD. 20895  
(301)443-4042  
(301)442-3624 FAX

CAPITOL VIEW AVE.  
KENSINGTON, MD.  
BUILDING SECTION

**CAPITOL VIEW PARK RESIDENCES**

REVISIONS

SEAL

DRAWN BY: CCM  
CHECKED BY: ALM  
SCALE: 1/4"=1'-0"  
DATE:  
PROJECT NO: 99080  
DRAWING NO:

**A-7**

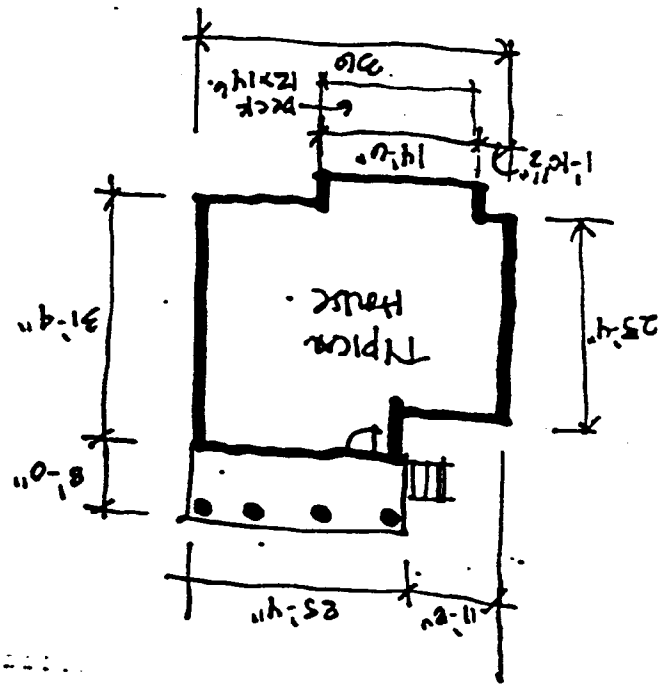
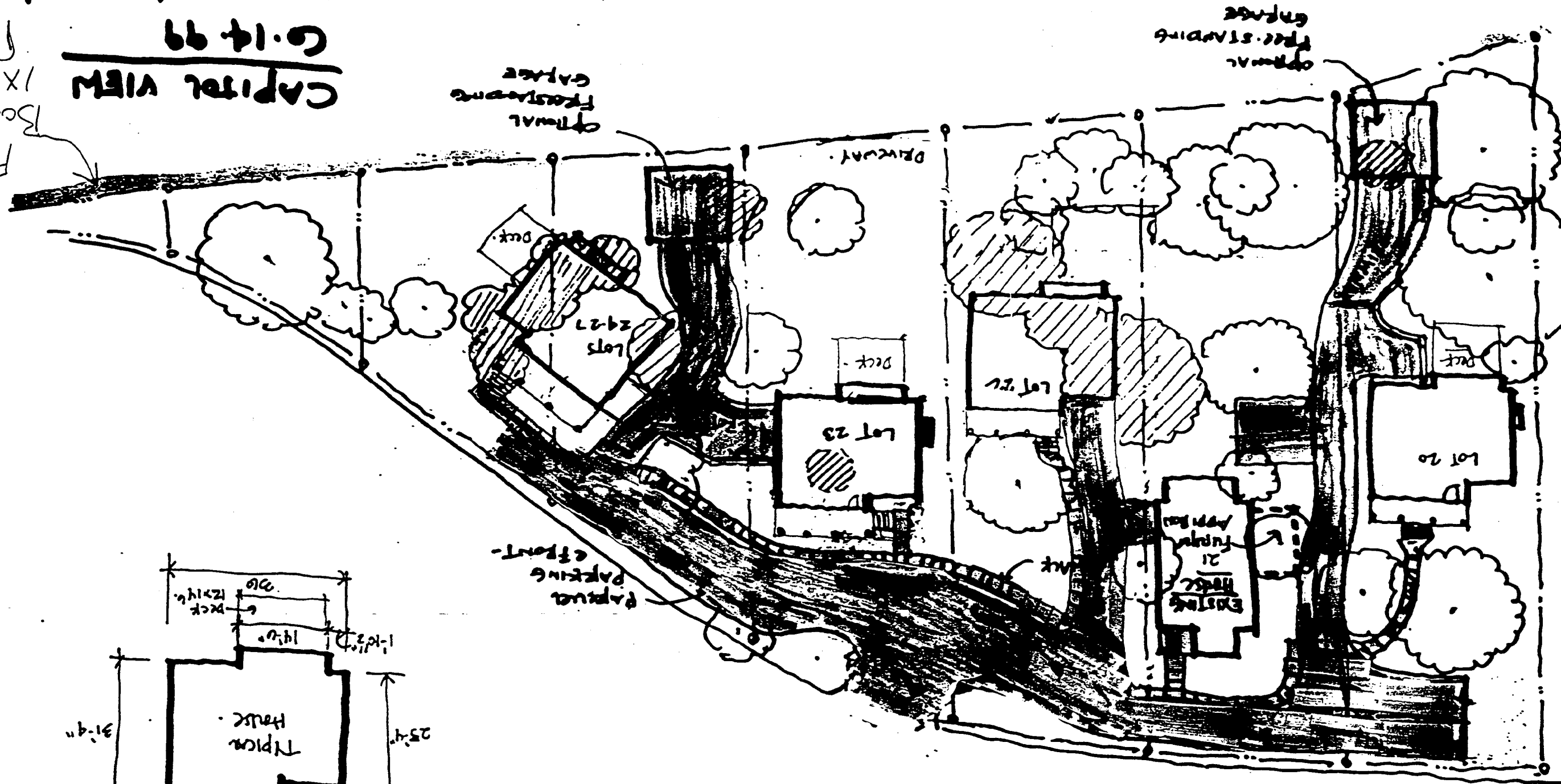
Proposed Parking

(21)

Row. 6/16. # 2

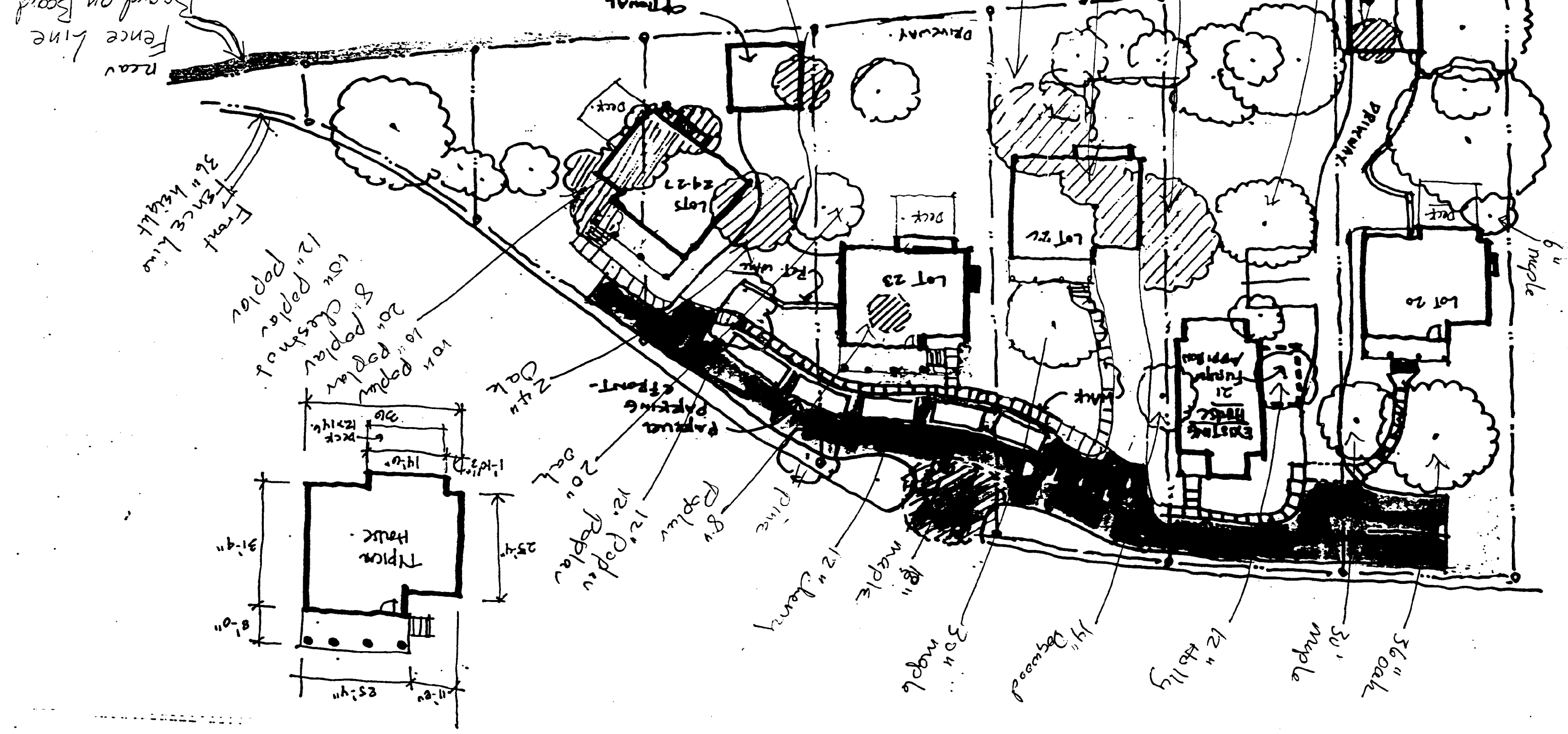
6.14.99  
CAPITAL VIEW

Fence line  
Board on Board  
1X6 or 1X8  
Privacy

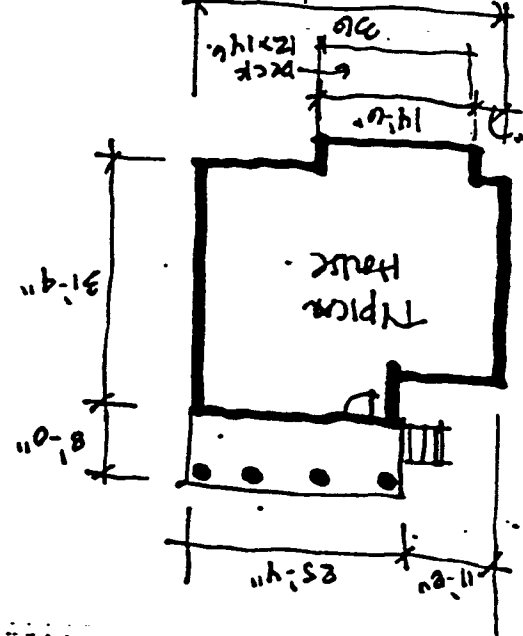




(22) **Rev. 6/16. #2**  
**6.14.99**  
**CAPITAL VIEW**  
 Board on Board  
 1X6 or 1X8  
 Privacy  
 Fence line  
 near

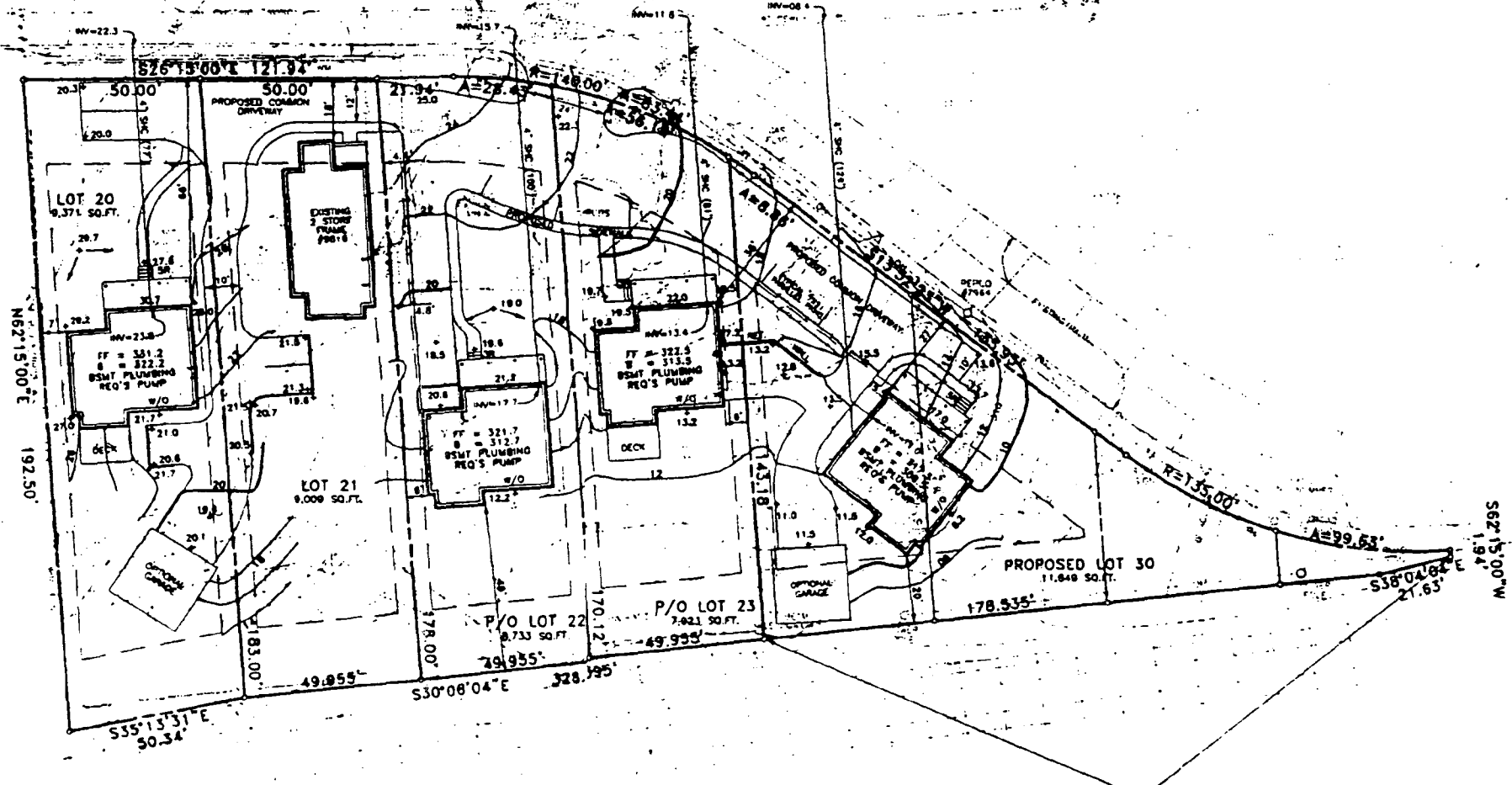


Lot 20  
 Lot 21  
 Lot 22  
 Lot 23  
 Lot 27  
 Lot 28



CAPITOL VIEW AVENUE

VICINITY MAP 1"=2000'

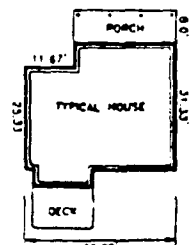


PARTS OF LOTS 24 THROUGH 27 TO BE CONSOLIDATED BY MINOR SUBDIVISION PROCESS

NOTES

1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE IN THE DATUM OF THE W. S. C.
2. TREES SHOWN PER FIELD SURVEY BY THIS OFFICE.
3. BOUNDARY OUTLINE, UTILITY INFORMATION AND ADJOINING IMPROVEMENTS TAKEN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS.

**APPLICANT**  
 DESIGN HOMES, L.L.C.  
 C/O MR. JOSEPH ALFANORE  
 10423 ARMORY AVE. #180C  
 KENSINGTON, MARYLAND 20895  
 301-946-9500



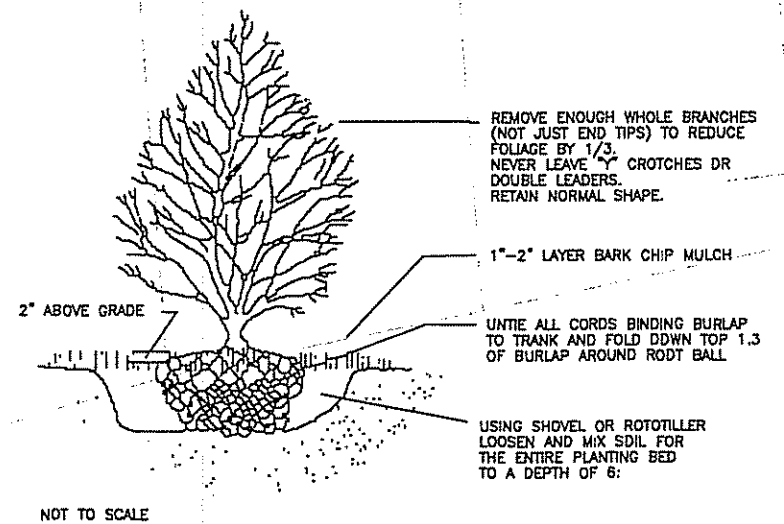
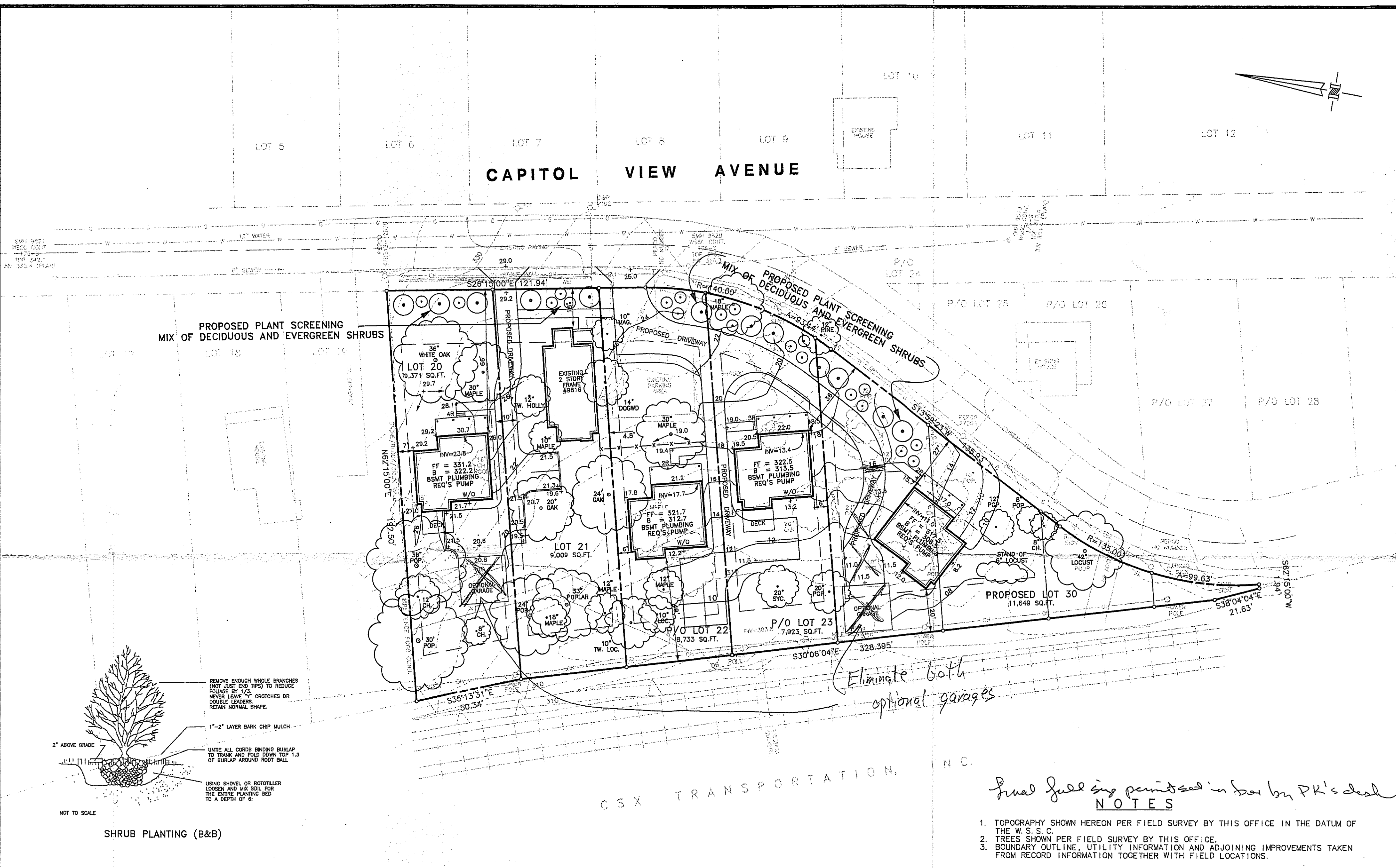
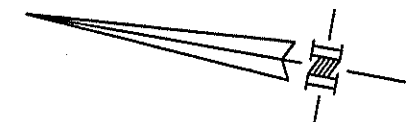
**SITE DEVELOPMENT PLAN**  
 HOUSE CONSTRUCTION  
 LOTS 20 - 22 & PART OF LOT 23 & PROPOSED LOT 30, BLOCK 31  
**CAPITOL VIEW PARK**  
 AS RECORDED IN  
 PLAT BOOK A AT PLAT NUMBER 9  
 WHEATON ELECTION DISTRICT NO. 13 MONTGOMERY COUNTY, MARYLAND

REVISIONS		
No	DATE	BY

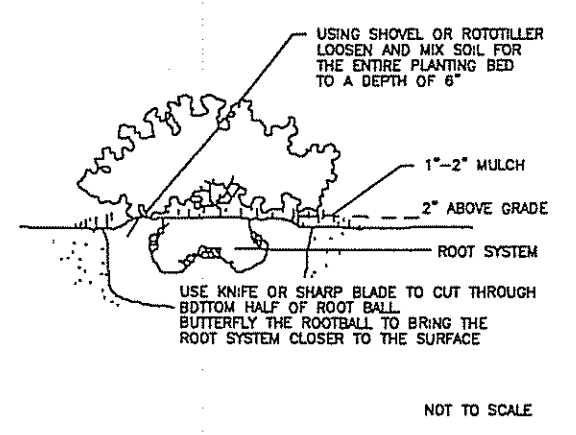
**FOWLER ASSOCIATES, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS  
 755 NORTH WASHINGTON STREET SUITE 200

SCALE 1"=30'	DRAWN GMF
CHECKED	DATE 3/99
JOB NUMBER	

23



SHRUB PLANTING (B&B)



SHRUB PLANTING (CONTAINER)

**LEGEND**

- PROPOSED SIDEWALK
- PROPOSED EVERGREEN SHRUB
- PROPOSED DECIDUOUS SHRUB
- PROPOSED FENCE
- EXISTING TREE TO BE SAVED

**APPLICANT**

DESIGN HOMES, L.L.C.  
 C/O MR. JOSEPH ALFANDRE  
 10423 ARMORY AVE. #180C  
 KENSINGTON, MARYLAND 20895  
 301-946-9500

*Final full size printed in box by PK's desk*  
**NOTES**

1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE IN THE DATUM OF THE W. S. S. C.
2. TREES SHOWN PER FIELD SURVEY BY THIS OFFICE.
3. BOUNDARY OUTLINE, UTILITY INFORMATION AND ADJOINING IMPROVEMENTS TAKEN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS.

REVISIONS		
No.	DATE	BY

**LANDSCAPE PLAN**  
 LOTS 20 - 22 & PART OF LOT 23 & PROPOSED LOT 30, BLOCK 31  
**CAPITOL VIEW PARK**  
 AS RECORDED IN  
 PLAT BOOK A AT PLAT NUMBER 9  
 WHEATON ELECTION DISTRICT NO. 13      MONTGOMERY COUNTY, MARYLAND

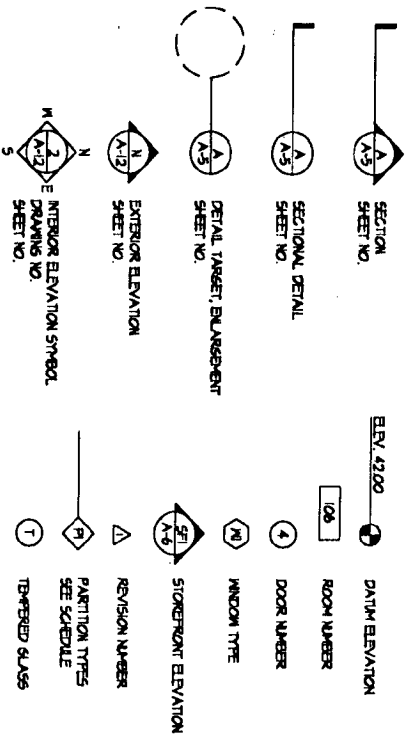
**FOWLER ASSOCIATES, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS  
 255 NORTH WASHINGTON STREET, SUITE 300  
 ROCKVILLE, MD 20850  
 (301) 762-2377

SCALE 1"=30'	DRAWN GMF
CHECKED	DATE 9/99
JOB NUMBER 99-006	
DRAWING NO. 1 of 1	

# CAPITOL VIEW PARK RESIDENCES

## CAPITOL VIEW AVE. - LOTS 20,22-27 KENSINGTON, MARYLAND

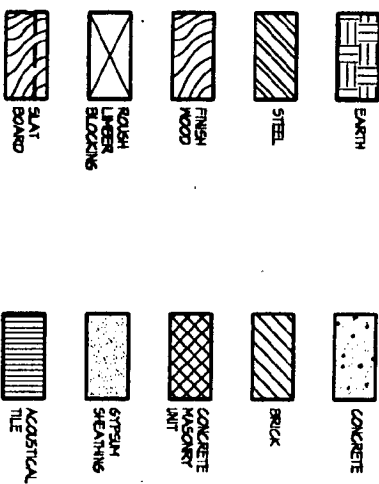
### GRAPHIC SYMBOLS



### LIST OF DRAWINGS

- CS COVER SHEET
- SP SPECIFICATIONS
- A-1 BASEMENT & FOUNDATION PLAN
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 ROOF PLAN
- A-5 EXTERIOR ELEVATIONS
- A-6 EXTERIOR ELEVATIONS
- A-7 BUILDING SECTIONS
- A-8 BUILDING SECTION DETAILS
- A-9 FINISH PLANS
- A-10 INTERIOR ELEVATIONS

### MATERIAL SYMBOLS



### ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	TEMPERED GLASS	100	DATA ELEVATION	101	DATA ELEVATION	102	DATA ELEVATION
1/2	INTERIOR ELEVATION SYMBOL	103	DATA ELEVATION	104	DATA ELEVATION	105	DATA ELEVATION
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 GTM ARCHITECTS 1000 MARKET AVENUE KENSINGTON, MD 20895 301-278-4000 301-278-3900 FAX	<b>CAPITOL VIEW PARK RESIDENCES</b> COVER SHEET	CAPITOL VIEW AVE. KENSINGTON, MD. COVER SHEET
DRAWN BY: CCM CHECKED BY: GTM SCALE: NO SCALE DATE: 9/10/00 PROJECT NO: 99080 DRAWING NO: CS	<b>CAPITOL VIEW PARK RESIDENCES</b>	

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### SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION

The purpose of the following specifications is to establish the level of quality required for the construction of the project. These specifications are intended to be general and specific to the project. All items mentioned herein may apply to the project.

#### GENERAL REQUIREMENTS

1. All work shall conform to all applicable sections of the Montgomery County Code for site plan construction and all applicable building codes.

#### GENERAL STRUCTURAL NOTES

1. Footing shall be done in accordance with the C&D One and Two Family Dwelling Code, 4801
2. The design ground, the loads are as follows:  
Roof Load (Snow)  
Living Spaces (1st Floor)  
Living Spaces (2nd Floor)  
Storage Areas

Live Load Deflection Limitation for floors shall be L/360

#### FOUNDATIONS

1. The structure has been designed for the assumed bearing pressure of the soil. The contractor shall verify the bearing capacity of the soil prior to construction. If it is determined that there is no valid condition present, it is the contractor's responsibility to provide the necessary foundation.
2. Footings shall be constructed for an assumed equivalent fluid pressure of 25 psf to a uniform surface.
3. Slope on grade shall be a minimum of 4" of granular material having a maximum aggregate size of 1/2 inches and no more than 2% fines. Prior to placing the footing, the soil shall be compacted to a minimum of 95% relative compaction.
4. Footings shall be placed on top of the granular fill.
5. Sill plates shall be 1 1/2" thick finished grade. Footings shall be placed on top of the sill plate.
6. The contractor shall provide the necessary foundation for the structure.

#### MASONRY

1. Brick shall conform to ASTM C-62 Mortar shall conform to Federal specifications. All mortar shall be made on site and the maximum temperature shall be 45 degrees F and the minimum shall be 35 degrees F.
2. Brick shall be laid in a running bond pattern. Mortar joints shall be 3/8" thick. Mortar shall be applied to the brick and the brick shall be set in the mortar.
3. Anchor bolts, set anchor bolts or approved anchor straps as required. Bolts for wood sill plates shall be 1/2" diameter and project 16" into masonry. Set bolts or straps 12" max. on center.
4. Masonry shall be laid in a running bond pattern.
5. Provide 4" solid masonry on all sides of joists or beams extending beyond party walls.
6. Brick Veneer:
  - A. Provide brick veneer with weat bars @ 6" max. on center and extend 16" O.C. horizontally.
  - B. Provide weat flashing at levels. Show corners, sills, separately parapets and on window or openings. Provide weat holes at the bottom of veneer and flashings at 24" O.C.

#### ENERGY CONSERVATION

1. The following provisions shall be in accordance with the requirements established by the State Plan Energy Code:
  - a. Insulation:
    - 1. Ceiling (per apartment, story)  
R-30
    - 2. Walls (per apartment, story)  
R-13
    - 3. Floors (per apartment, story)  
R-10
    - 4. Windows (per apartment, story)  
U-0.35
    - 5. Doors (per apartment, story)  
U-0.35
    - 6. Skylights (per apartment, story)  
U-0.35
  - b. Storm Windows, Doors, not exceeding two leaflets (U-0.35) CFM per foot of door area and one leaflet (U-0.35) CFM per foot of window area.
  - c. Storm Doors, not exceeding one leaflet (U-0.35) CFM per foot of door area and one leaflet (U-0.35) CFM per foot of window area.
  - d. Fill all construction (structural and plumbing) holes, cracks, loose joints and spaces in rough framing and rough masonry with approved foam sealant or other suitable material.

#### CONCRETE

1. All concrete construction shall conform to the latest ACI 318.
2. Concrete shall have minimum 28 day compressive strength and normal weight concrete conforming to ASTM C-939. Reinforcing steel shall conform to ASTM A-618 and shall have a minimum 28-day compressive strength (fy) as follows:

F/C	3000 PSI	4000 PSI
1. 3000 PSI	40,000	60,000
2. 4000 PSI	50,000	70,000

#### REINFORCING STEEL

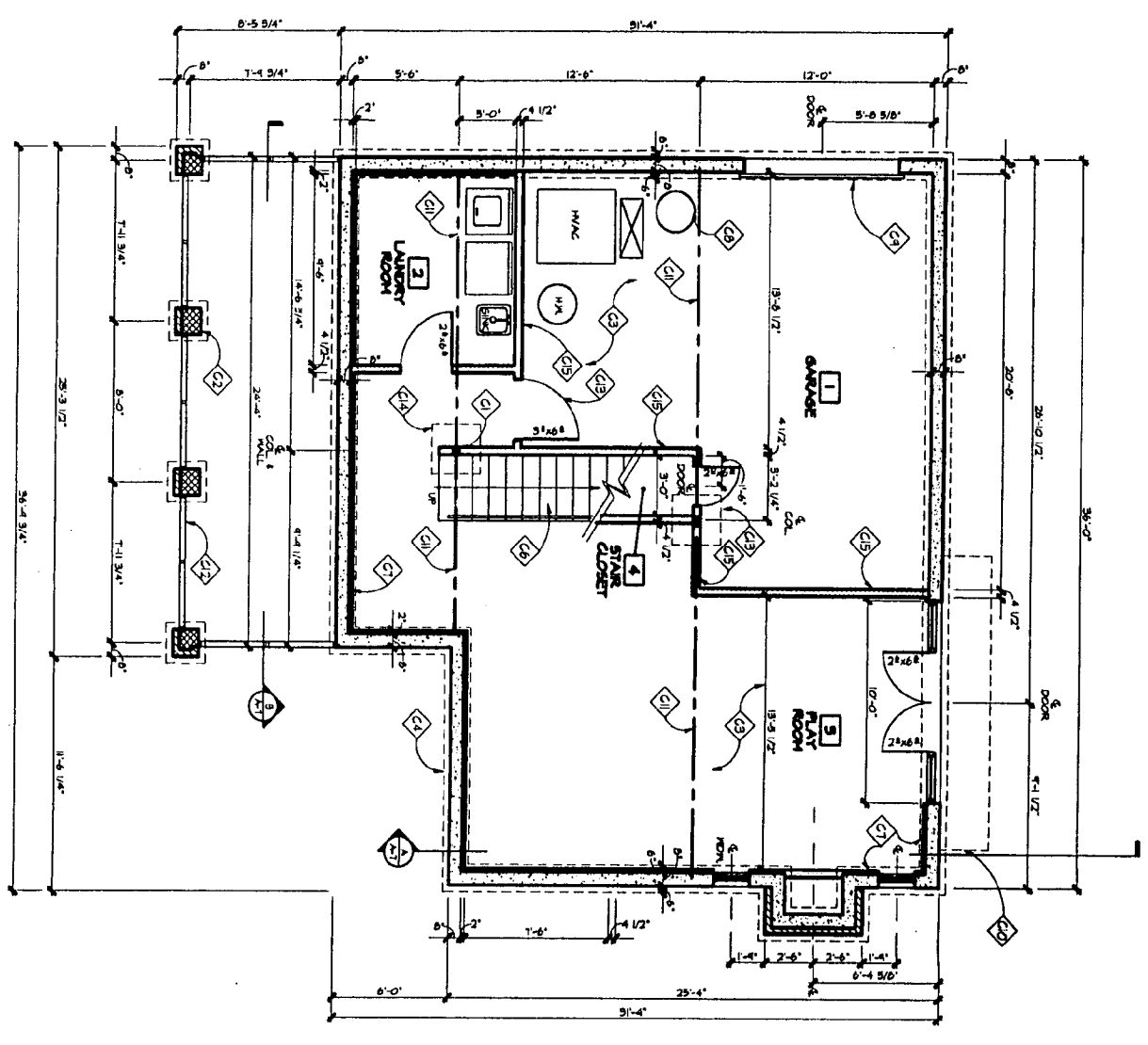
1. All reinforcement shall be in accordance with the requirements of the Montgomery County Code, 4801.
  - a. Reinforcing steel shall be in accordance with the requirements of the Montgomery County Code, 4801.
  - b. Reinforcing steel shall be in accordance with the requirements of the Montgomery County Code, 4801.
  - c. Reinforcing steel shall be in accordance with the requirements of the Montgomery County Code, 4801.
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#### STEEL

1. Structural steel shall conform to ASTM A-36.
2. All steel angles, plates, beams, joists, purlins, girders, and columns shall be in accordance with the requirements of the Montgomery County Code, 4801.
3. For all openings or recesses in brick or masonry, provide a minimum of 2" solid masonry or provide the steel angle for each 4" of wall thickness. Provide the following details:

ANGLE	MINIMUM THICKNESS
1/2" x 1/2"	3/16"
3/4" x 3/4"	3/16"
1" x 1"	3/16"
1 1/2" x 1 1/2"	3/16"
2" x 2"	3/16"
2 1/2" x 2 1/2"	3/16"
3" x 3"	3/16"
3 1/2" x 3 1/2"	3/16"
4" x 4"	3/16"
4 1/2" x 4 1/2"	3/16"
5" x 5"	3/16"
5 1/2" x 5 1/2"	3/16"
6" x 6"	3/16"
6 1/2" x 6 1/2"	3/16"
7" x 7"	3/16"
7 1/2" x 7 1/2"	3/16"
8" x 8"	3/16"
8 1/2" x 8 1/2"	3/16"
9" x 9"	3/16"
9 1/2" x 9 1/2"	3/16"
10" x 10"	3/16"
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112" x 112"	3/16"
112 1/2" x 112 1/2"	3/16"
113" x 113"	3/16"
113 1/2" x 113 1/2"	3/16"
114" x 114"	3/16"
114 1/2" x 114 1/2"	3/16"
115" x 115"	3/16"
115 1/2" x 115 1/2"	3/16"
116" x 116"	3/16"
116 1/2" x 116 1/2"	3/16"
117" x 117"	3/16"
117 1/2" x 117 1/2"	3/16"
118" x 118"	3/16"
118 1/2" x 118 1/2"	3/16"
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119 1/2" x 119 1/2"	3/16"
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123 1/2" x 123 1/2"	3/16"
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126 1/2" x 126 1/2"	3/16"
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129" x 129"	3/16"
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136" x 136"	3/16"
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137" x 137"	3/16"
137 1/2" x 137 1/2"	3/16"
138" x 138"	3/16"
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152 1/2" x 152 1/2"	3/16"
153" x 153"	3/16"
153 1/2" x 153 1/2"	3/16"
154" x 154"	3/16"
154 1/2" x 154 1/2"	3/16"
155" x 155"	3/16"
155 1/2" x 155 1/2"	3/16"
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158 1/2" x 158 1/2"	3/16"
159" x 159"	3/16"
159 1/2" x 159 1/2"	3/16"
160" x 160"	3/16"
160 1/2" x 160 1/2"	3/16"
161" x 161"	3/16"
161 1/2" x 161 1/2"	3/16"
162" x 162"	3/16"
162 1/2" x 162 1/2"	3/16"
163" x 163"	3/16"
163 1/2" x 163 1/2"	3/16"
164" x 164"	3/16"
164 1/2" x 164 1/2"	3/16"
165" x 165"	3/16"
165 1/2" x 165 1/2"	3/16"
166" x 166"	3/16"
166 1/2" x 166 1/2"	3/16"
167" x 167"	3/16"
167 1/2" x 167 1/2"	3/16"
168" x 168"	3/16"
168 1/2" x 168 1/2"	3/16"
169" x 169"	3/16"
169 1/2	

**1** BASEMENT FLOOR PLAN  
1/4" = 1'-0"



**CONSTRUCTION NOTES**

- 1 STEEL PIPE COLUMN, SEE FRAMING PLAN.
- 2 1'-4"x1'-4" CMU PIER, REINFORCE W/ (2) #5 BARS VERTICALLY. EACH PIER PROVIDE 2'-6"x2'-6"x1'-0" DEEP CONC. FOOTING W/ (2) #4 BARS EACHWAY. MIN 30" BELOW GRADE. PROVIDE BRICK ABOVE GRADE WHERE VISIBLE.
- 3 CONCRETE SLAB ON GRADE. REFER TO SPEC. SHEET FOR DETAILS.
- 4 DOTTED LINE INDICATES 1'-8" WIDE x 1'-0" DEEP CONTINUOUS CONCRETE FOOTING. PROVIDE (2)#4 BARS CONTINUOUS. REFER TO ELEVATIONS FOR TOP OF FOOTING ELEVATION.
- 5 8" POURED CONCRETE WALL W/5 BARS VERTICALLY AND HORIZONTALLY 24" O.C.
- 6 NEW STAIR, PROVIDE PINE TREADS & RISERS. RAILING TO BE SELECTED. VERIFY RISE & RUN.
- 7 FUR OUT CONCRETE W/ 2x4's FLAT & 1/2" GYP. BD. SLIMP PUMP.
- 8 1 HR. RATED DOOR & GARAGE. TYP. TO BE SELECTED. OVERHANG ABOVE.
- 9 STEEL BEAM ABOVE. SEE FRAMING PLANS.
- 10 2x4 PRESS. TREATED FRAME W/ LATTICE. SEE ELEVATIONS.
- 11 1 HR. RATED DOOR & GARAGE. TYP.
- 12 1'-0" DEEP X4'-0" X4'-0" CONC. FOOTING N/ (4) #5 BARS EACH WAY. SEE H/A-8.
- 13 1'-0" DEEP X3'-0" X3'-0" CONC. FOOTING N/ (3) #5 BARS EACH WAY. SEE H/A-9.
- 14 PROVIDE 5/8" TYPE X GYP. BD. EACH SIDE OF WALL SEPARATING GARAGE, AND ON GARAGE CEILING.

NOTE:  
UNLESS NOTED OTHERWISE DIMENSIONS ON INTERIOR WALL ARE TO FACE OF GYP. BD. DIMENSIONS ON EXTERIOR WALLS ARE TO EXTERIOR FACE OF SHEATHING TO FINISH FACE GYP. BD.  
VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD



**GTM**  
ARCHITECTS  
508 ARBOR AVENUE  
KENSINGTON, MD 20895  
301-251-1000  
301-251-1002  
301-251-1003  
301-251-1004  
301-251-1005  
301-251-1006  
301-251-1007  
301-251-1008  
301-251-1009  
301-251-1010  
301-251-1011  
301-251-1012  
301-251-1013  
301-251-1014  
301-251-1015  
301-251-1016  
301-251-1017  
301-251-1018  
301-251-1019  
301-251-1020

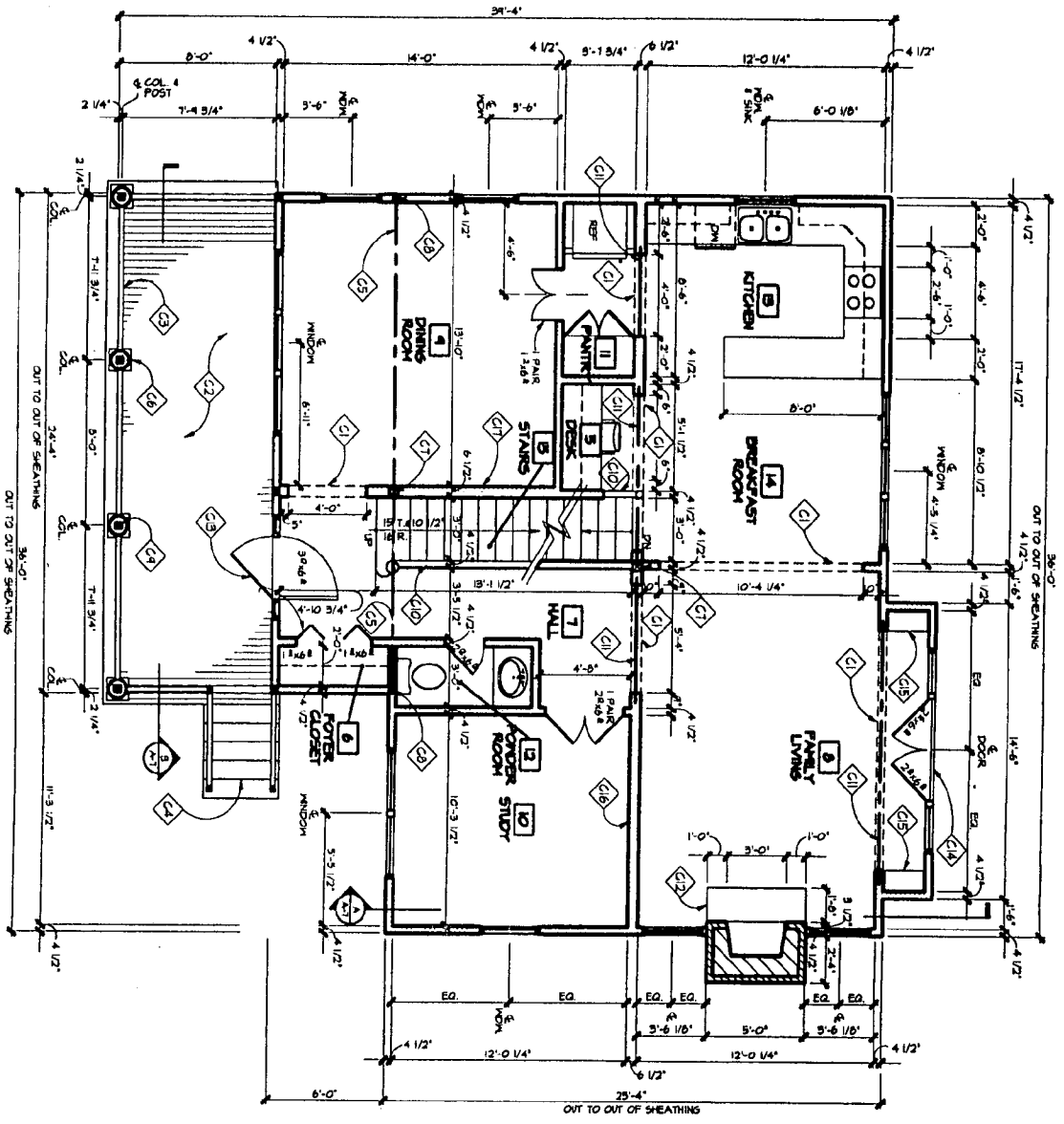
CAPITOL VIEW PARK  
KENSINGTON, MD.  
BASEMENT FLOOR PLAN

**CAPITOL VIEW PARK RESIDENCES**

DESIGNED BY	CCM
DRAWN BY	ALV/STW
SCALE	1/4" = 1'-0"
DATE	
PROJECT NO.	48080
DRAWING NO.	A-1

14





**1 FIRST FLOOR PLAN**  
1/4" = 1'-0"

**CONSTRUCTION NOTES**

- C1 CASER OPENING
- C2 PAINTED 7/16 PINE PORCH FLOOR, SLOPE TO FRONT 1/8" PER FOOT
- C3 PAINTED WOOD RAILING SYSTEM, SEE ELEVATION
- C4 5/4 X 1/2 STAIR TREADS IN 1/4" PAINTED RISERS/ FIELD VERIFY RISE & RUN (TREADS TO BE PAINTED)
- C5 NEW BEAM ABOVE, SEE FRAMING PLANS, IN SAME PLANE AS FLOOR JOISTS.
- C6 12" PAINTED FIBERGLASS COLUMN, TISCAN CAP & BASE, MAJOR STYLE OR APPROVED EQUAL.
- C7 6x6 POST IN WALL FOR BEAM SUPPORT, SEE FRAMING PLANS, POST TO BE SOLID SOUTHERN YELLOW PINE STRUCTURAL GRADE - NO BUILT-UP STUDS ALLOWED.
- C8 4x4 POST W/ IN WALL
- C9 4x4 POST MIN COLUMN
- C10 RAILING SYSTEM TO BE SELECTED
- C11 HEADER ABOVE, SEE FRAMING PLANS
- C12 HEARTH MATERIAL TO BE SELECTED.
- C13 PROVIDE WOOD SCREEN DOORS, TYP.
- C14 PROVIDE RAILING & FRENCH DOORS (NOTE: FUTURE DECK)
- C15 BUILT - IN SHELVES
- C16 2 x 6 WALL, LOAD BEARING.
- C17 2 x 6 WALL, NON-LOAD BEARING.

**NOTE:**  
VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.

**WALL TYPES**

- W1 TYPICAL EXTERIOR WALL, 7"x4" WOOD STUDS 16" O.C., W/ R-13 INSULATION & W/ VAPOR BARRIER, 1/2" OSB SHEATHING, TRIPLE BUILDING WRAP, & PAINTED WOOD SIDING/PAINTED CEDAR SHINGLES, INTERIOR FINISH TO BE 5/8" BD (1/2").
- W2 TYPICAL INTERIOR PARTITION, 7"x4" STUDS 16" O.C., W/ 1/2" GYP. BD EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ACCOMMODATE 6x6 POSTS W/ IN WALLS.

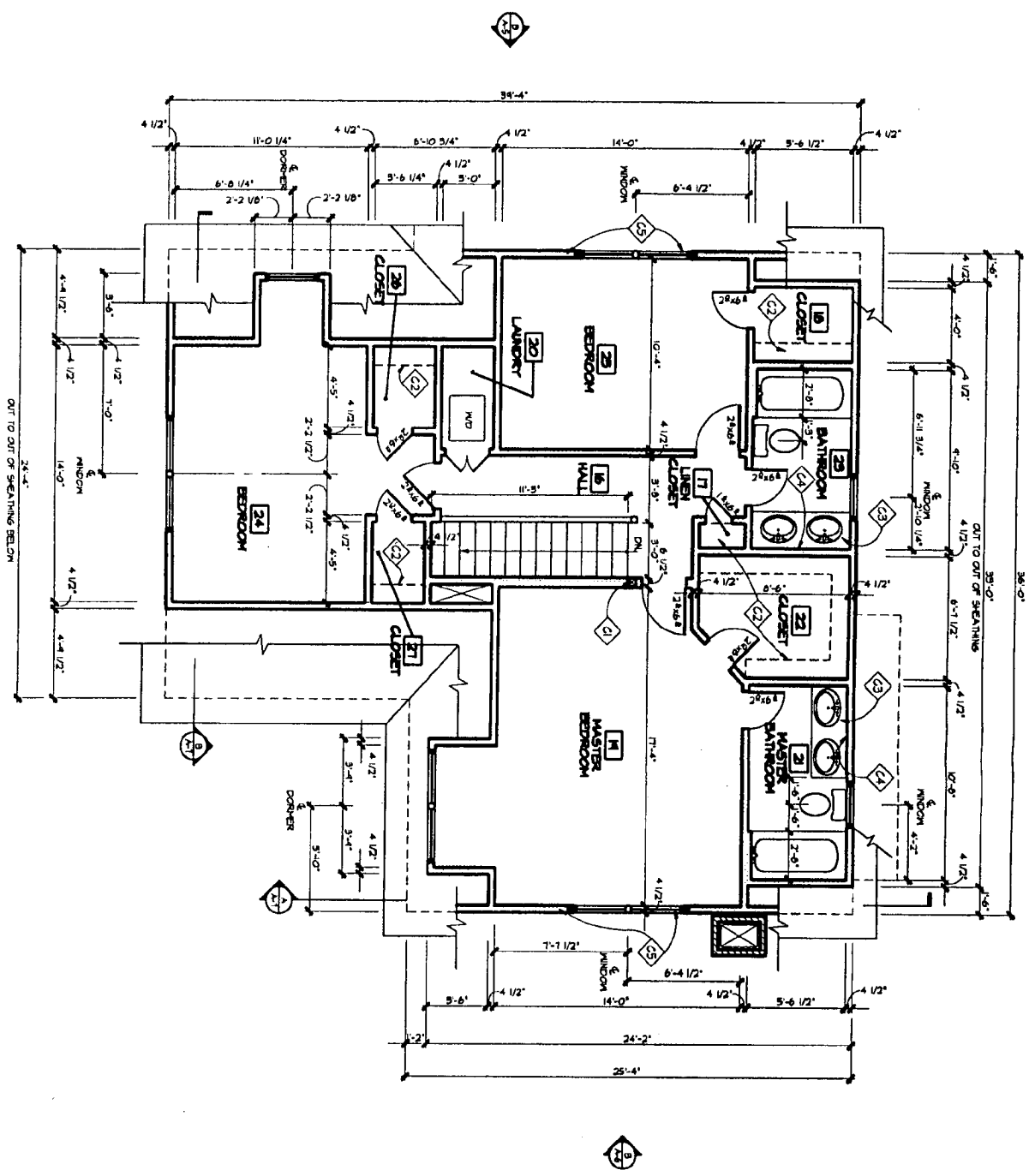
**GTM ARCHITECTS**  
1018 AIRPORT AVENUE  
KENSINGTON, MD 20895  
301-444-4000  
301-444-4000 FAX

CAPITOL VIEW PARK  
KENSINGTON, MD.  
FIRST FLOOR PLAN

**CAPITOL VIEW PARK RESIDENCES**

REVISIONS	
SCALE	1/4" = 1'-0"
DRAWN BY	CCH
CHECKED BY	ALW/GTM
SCALE	1/4" = 1'-0"
DATE	
PROJECT NO.	491080
DRAWING NO.	A-2

**1 SECOND FLOOR PLAN**  
A-3 1/4"=1'-0"



**CONSTRUCTION NOTES**

- ◇ 6x6 POST WITHIN WALL
- ◇ CLOSET SHELVES & RODS BY OTHERS
- ◇ 60" VANITY TO BE SELECTED
- ◇ 1/4" POLISHED / PLATE GLASS MIRROR FROM TOP OF SPLASH TO 1'-0" FALL NORTH OF WALL
- ◇ 4x4 POST WITHIN WALL, SEE FRAMING PLANS

**WALL TYPES**

- ◇ TYPICAL EXTERIOR WALL, 2"x4" WOOD STUDS @ 16" O.C., 1/2" R-13 INSULATION, 1/2" VAPOR BARRIER, 1/2" OSB SHEATHING, THREE BUILDING WRAP, 1 PAINTED STUDS AND/OR CERAMIC SHINGLES, INTERIOR FINISH TO BE 60P, BR. (1/21).
- ◇ TYPICAL INTERIOR PARTITION, 2"x4" STUDS @ 16" O.C., 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ACCOMMODATE 6x6 POSTS.

**GTM ARCHITECTS**  
1010 ASHPORT AVENUE  
KENSINGTON, MD. 20848  
301-441-4000  
301-441-4002  
301-441-3004 FAX

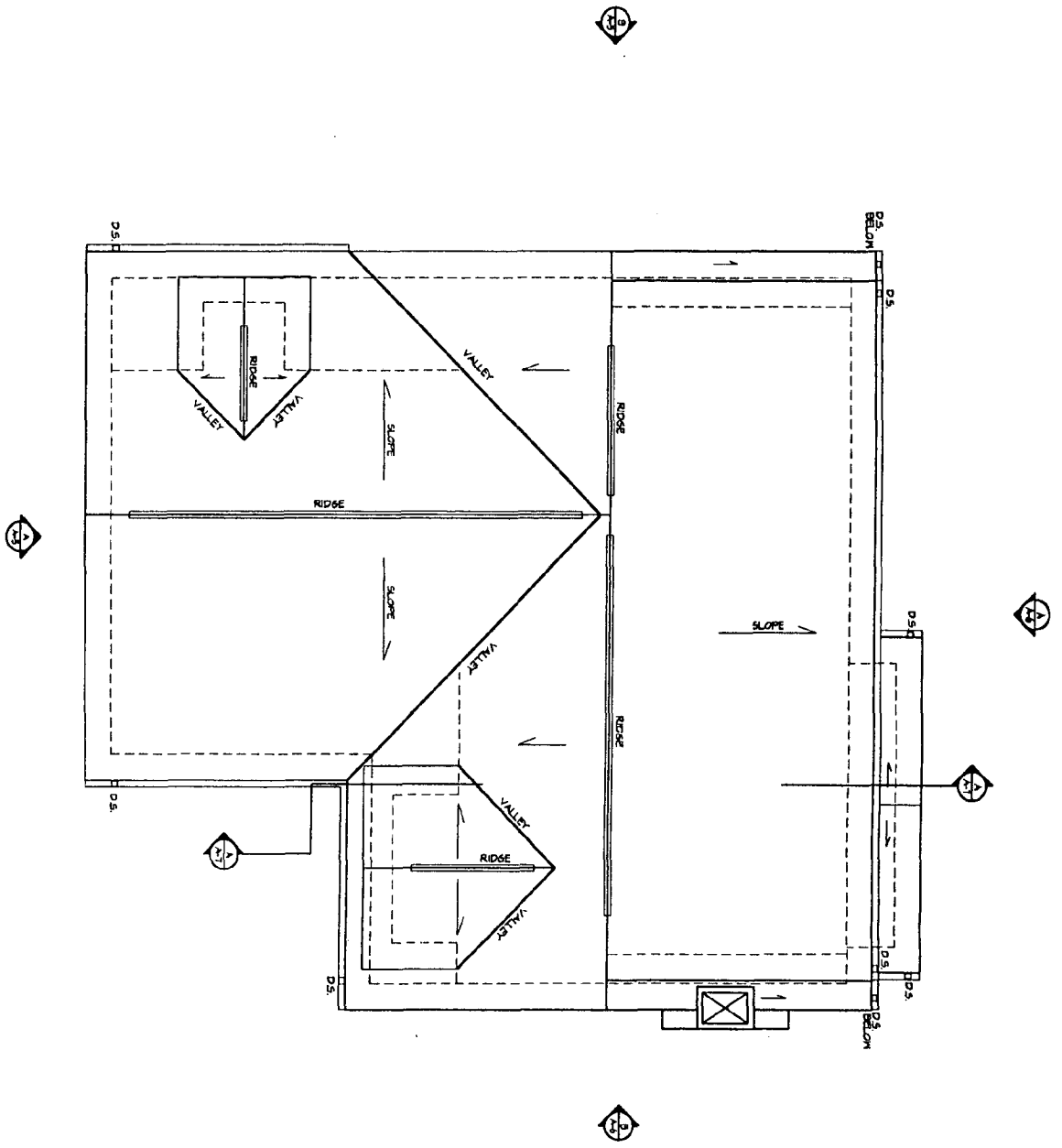
**CAPITOL VIEW PARK RESIDENCES**  
KENSINGTON, MD.  
SECOND FLOOR PLAN  
(OPTION 1)

**CAPITOL VIEW PARK RESIDENCES**

REVISIONS:  
SCALE:  
DRAWN BY: CCM  
CHECKED BY: ALW/GTM  
SCALE: 1/4"=1'-0"  
DATE:  
PROJECT NO. 94020  
DRAWING NO. **A-3**



1 ROOF PLAN  
1/4"=1'-0"



**GENERAL ROOFING NOTES**

- 1. ROOF SHINGLES, TO BE SELECTED
- 2. RIDGE VENTS BY ROLL VENT OR APPROVED EQUAL.
- 3. SKYLIGHTS PROVIDE CURBS AS RECOMMENDED BY SKYLIGHT MANUFACTURER, VERIFY.

**GENERAL ROOFING NOTES**

- 1. PROVIDE WEATHER GUARD UNDERLAMENT UNDER SHINGLES @ ALL VALLEYS, @ ALL PERIMETER AREAS 3'-0" BACK FROM FASCIA, AND ON ALL AREAS W/ SLOPE LESS THAN 4:12.

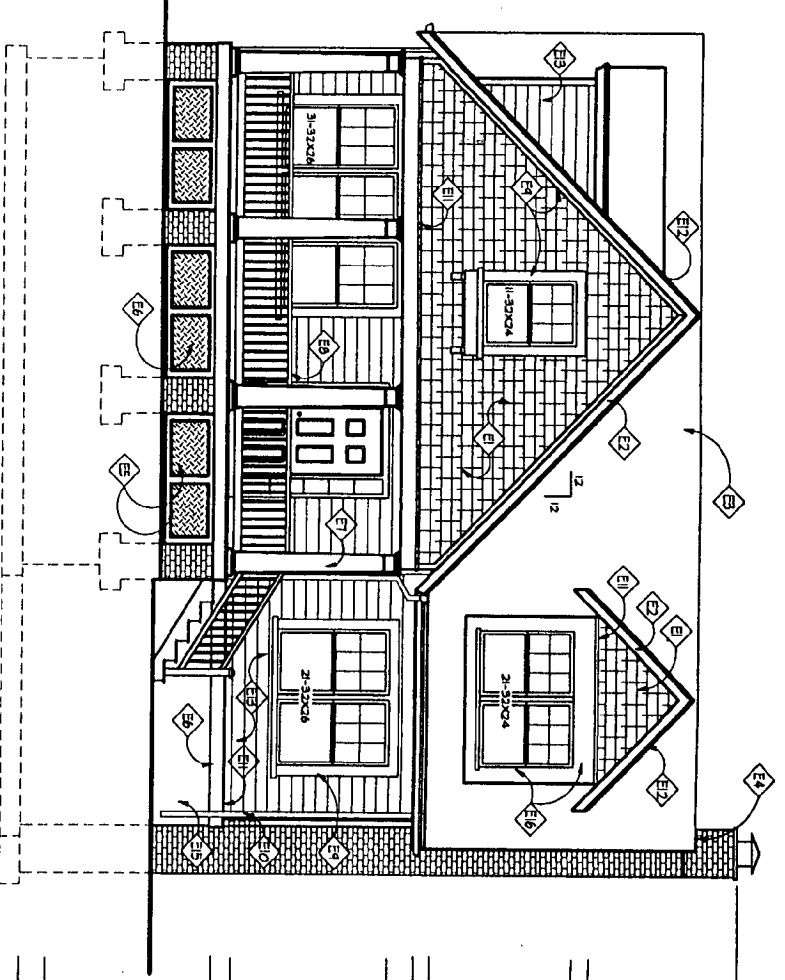
**GTTM**  
ARCHITECTS  
1015 ARBOR AVE  
KENSINGTON, MD 20895  
301-461-0002  
301-461-3000 FAX

CAPITOL VIEW AVE.  
KENSINGTON, MD.  
ROOF PLAN  
(OPTION 1)

**CAPITOL VIEW PARK  
RESIDENCES**

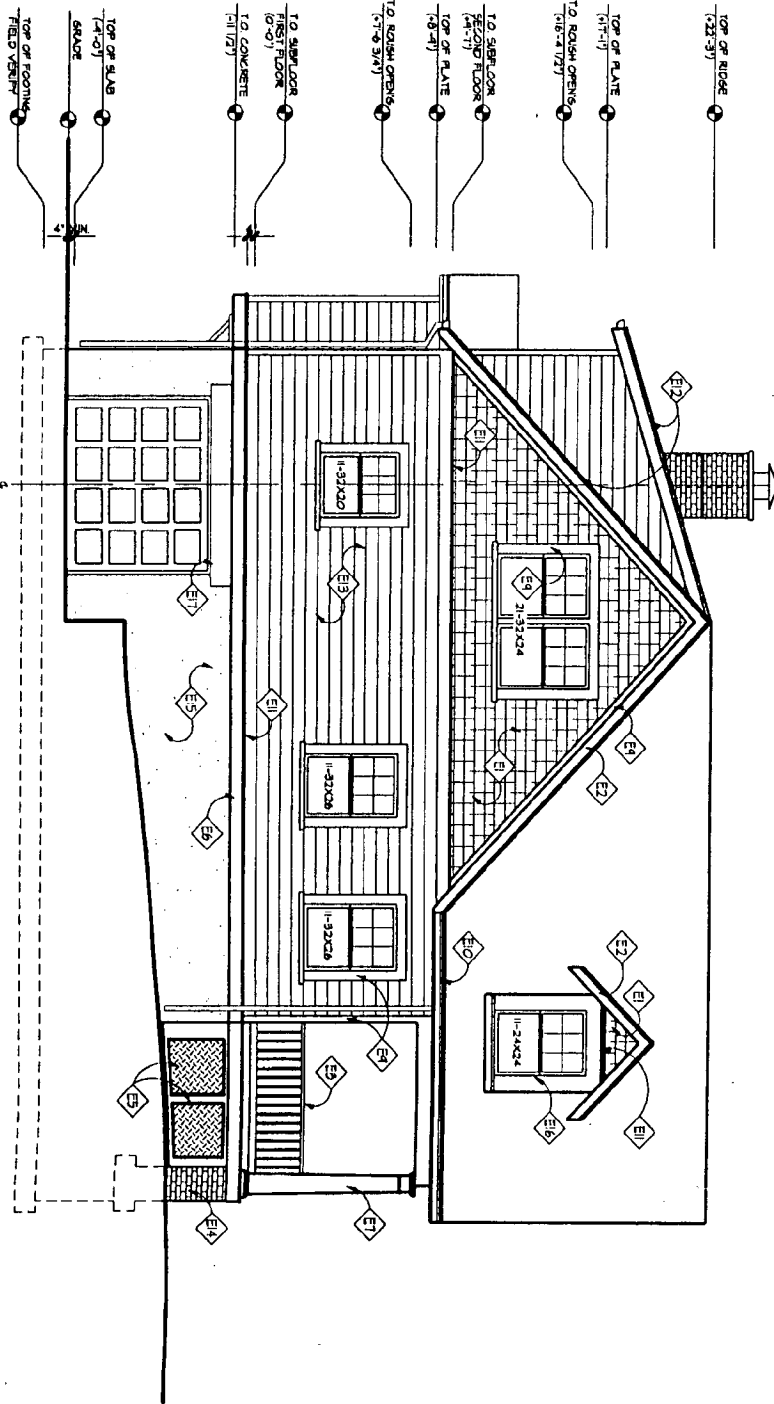
DESIGNED BY	CCM
DRAWN BY	ALM/GTM
SCALE	1/4"=1'-0"
DATE	
PROJECT NO.	94080
DRAWING NO.	A-4

**A EAST (FRONT) ELEVATION**  
1/4" = 1'-0"



- TOP OF ROOF (22'-3")
- TOP OF FLUTE (17'-0")
- TO ROUGH OPENING (16'-1 1/2")
- TOP OF SUBFLOOR (14'-0")
- TOP OF FLOOR (14'-0")
- TO ROUGH OPENING (17'-6 3/4")
- TOP OF BASEMENT SLAB (4'-0")
- TOP OF FOOTING FIELD VENT

**B SOUTH (SIDE) ELEVATION**  
1/4" = 1'-0"



- TOP OF ROOF (22'-3")
- TOP OF FLUTE (17'-0")
- TO ROUGH OPENING (16'-1 1/2")
- TO SUBFLOOR (14'-0")
- TOP OF FLOOR (14'-0")
- TO ROUGH OPENING (17'-6 3/4")
- TOP OF SLAB (14'-0")
- TO CONCRETE (11'-1 1/2")
- TOP OF FOOTING FIELD VENT

**CONSTRUCTION NOTES:**

- E1 PAINTED CEDAR SHINGLES
- E2 3/4" X 6" SWALE TRIM TYPICAL
- E3 ASPHALT/FLYBUSH SHINGLES TO BE SELECTED
- E4 OPTIONAL MASONRY CHIMNEY
- E5 PAINTED LATHES PANEL ON PRESS TREATED 2X4 PRAISE TRIM 2X4 SIDING
- E6 3/4" X 6" TRIM BAND
- E7 12" X PAINTED FIBERGLASS COLUMNS
- E8 PAINTED SAILING SYSTEM TOP RAIL SHOOT \* 2X4-8040
- E9 TOP RAIL SHOOT \* 2X4-8040 PICKETS SHOOT \* 1X4-251
- E10 3/4" X 6" TRIM \* WINDOWS AND CORNER TRIM
- E11 WHITE ALUM DOWNSPOUTS & GUTTERS
- E12 DRIP CAP SHOOT 9X4-147
- E13 BED HOLDING 1X4-75
- E14 PAINTED SIDING
- E15 MASONRY TIERS
- E16 CONCRETE FOUNDATION WALL
- E17 3/4" TRIM CUT TO FIT \* FRONT OF DOWNERS
- E18 1/2" TRIM ABOVE OPENING BASEMENT

**GENERAL NOTES:**

ALL WINDOW SIZES ARE BASED ON STD. REYNOLDSFIELD DOUBLE-HUNG TRIM SIZES (8 OVER 1) ALL WINDOWS TO BE MOD. PAINTED

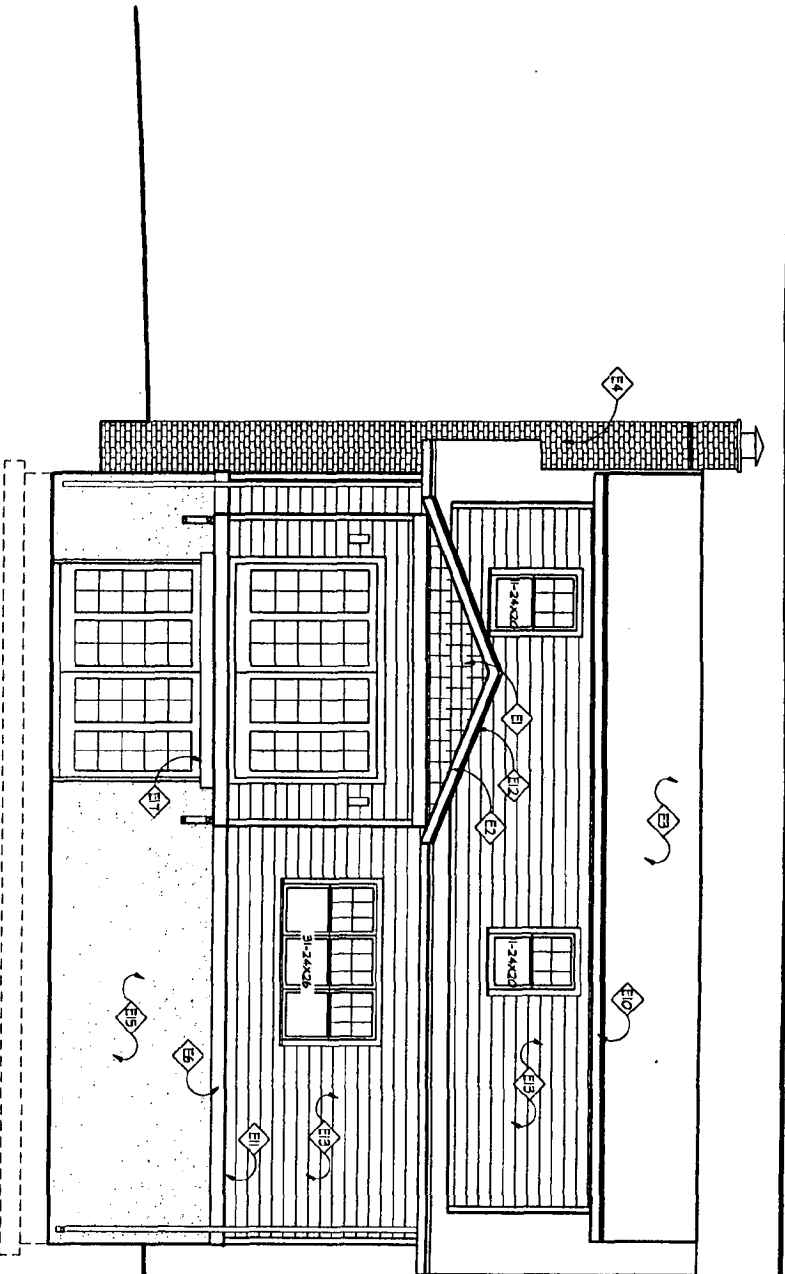
**GTM**  
ARCHITECTS  
1040 ARBONET AVENUE  
KENSINGTON, MD. 20890  
301-441-4000 FAX  
301-441-5001 FAX

CAPITOL VIEW PARK  
KENSINGTON, MD.  
EXTERIOR ELEVATIONS

**CAPITOL VIEW PARK RESIDENCES**

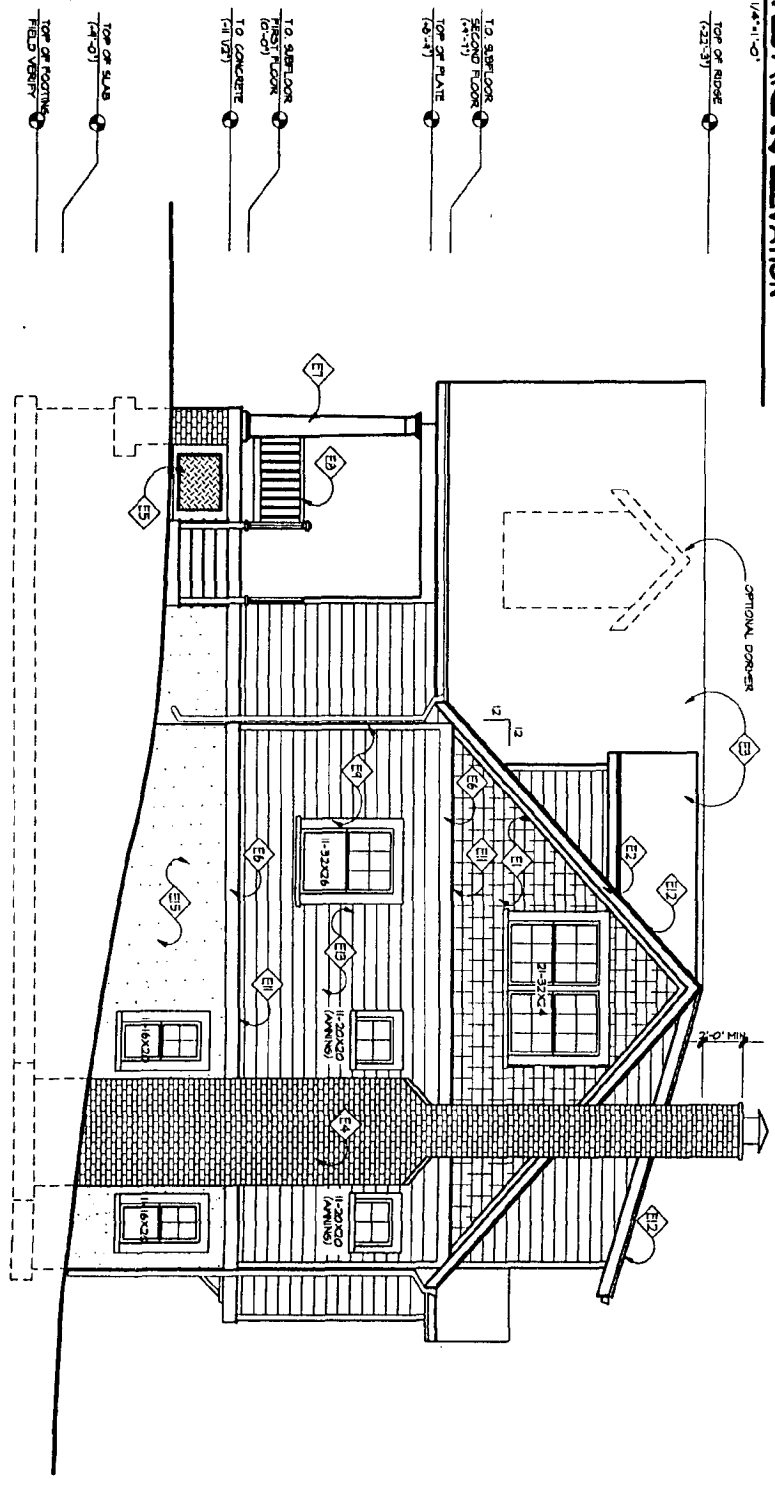
REVISIONS	
SCALE	
DRAWN BY	CCM
CHECKED BY	GTM
SCALE	1/4" = 1'-0"
DATE	
PROJECT NO.	99080
DRAWING NO.	A-5

**A REAR (REAR) ELEVATION**  
1/4" = 1'-0"



- E1 TOP OF ROOF (1/2"=3/4")
- E2 TOP OF PLATE (1/4"=1'-0")
- E3 TO ROUGH OPENING (1/8"=1'-0")
- E4 TOP OF SUBFLOOR (1/4"=1'-0")
- E5 TO ROUGH OPENING (1/8"=1'-0")
- E6 TOP OF PLATE (1/4"=1'-0")
- E7 TO ROUGH OPENING (1/8"=1'-0")
- E8 TO ROUGH OPENING (1/8"=1'-0")
- E9 TO ROUGH OPENING (1/8"=1'-0")
- E10 TO ROUGH OPENING (1/8"=1'-0")

**B NORTH (SIDE) ELEVATION**  
1/4" = 1'-0"



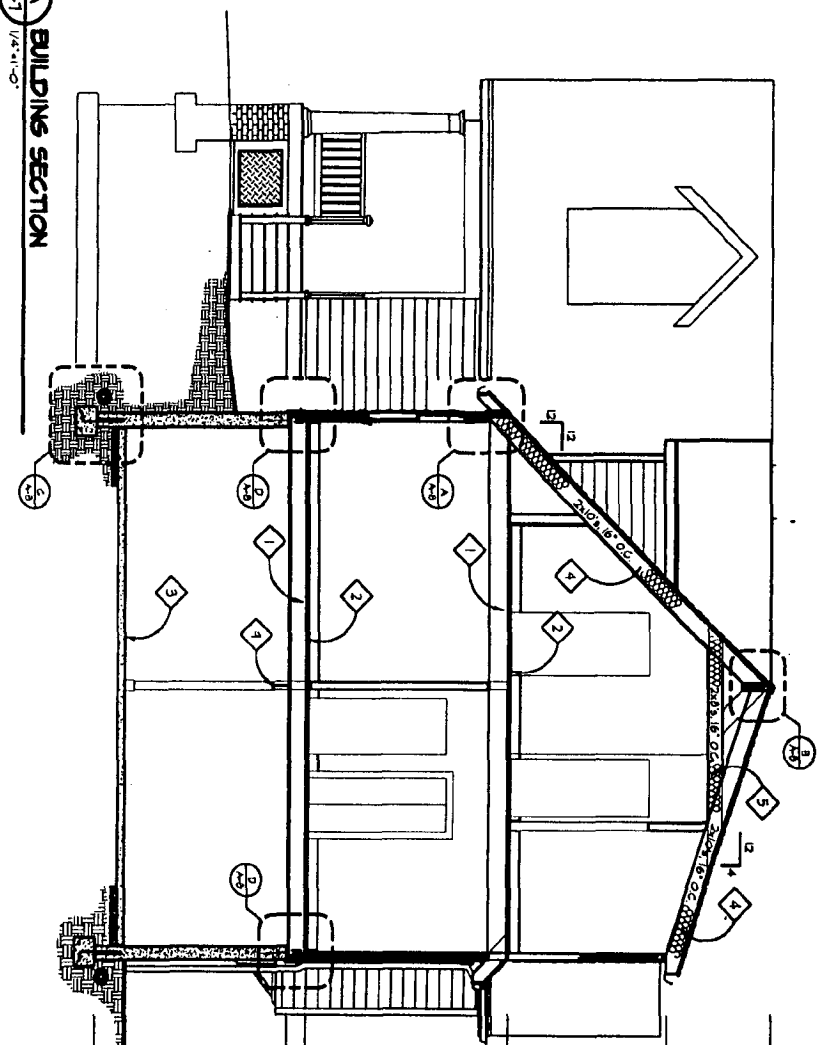
- E1 TO SUBFLOOR (1/4"=1'-0")
- E2 FIRST FLOOR (1/4"=1'-0")
- E3 TO CONCRETE (1/4"=1'-0")
- E4 TO SUBFLOOR (1/4"=1'-0")
- E5 SECOND FLOOR (1/4"=1'-0")
- E6 TO ROOF (1/4"=1'-0")
- E7 TO ROOFING FIELD VERIFY
- E8 TO ROOFING FIELD VERIFY
- E9 TO ROOFING FIELD VERIFY
- E10 TO ROOFING FIELD VERIFY
- E11 TO ROOFING FIELD VERIFY
- E12 TO ROOFING FIELD VERIFY
- E13 TO ROOFING FIELD VERIFY
- E14 TO ROOFING FIELD VERIFY
- E15 TO ROOFING FIELD VERIFY

- CONSTRUCTION NOTES:**
- E1 PAINTED CEDAR SHINGLES
  - E2 SINK GABLE FOR TYPICAL
  - E3 ASPHALT/FIBERGLASS SHINGLES TO BE SELECTED
  - E4 OPTIONAL MASONRY CHIMNEY
  - E5 PAINTED LATTICE PANEL ON PRESS TREATED 2x4 FRAME WITH 1/2" PTD. STOPS
  - E6 5/4x8 PTD. TRIM BAND
  - E7 12" x PAINTED FIBERGLASS CEILING
  - E8 PAINTED BALING SYSTEM: TOP RAIL: SH-4040; BOT RAIL: SH-4041; PICKETS: SH-4042; LWP-237
  - E9 5/4x4 PTD. TRIM & WINDOW AND CORNER TRIM
  - E10 WHITE ALUM. DOWNPOUTS & GUTTERS
  - E11 DEEP CAP. SHOOT NAIL-RT
  - E12 BED HOLDING, NAIL-RT
  - E13 PAINTED SIGNS
  - E14 MASONRY TIES
  - E15 CONCRETE FOUNDATION WALL
  - E16 5/4" TRIM CUT TO FIT & FRONT OF DOWNPOUTS
  - E17 1/2" TRIM ABOVE OPENING BASEMENT

**GENERAL NOTES:**  
ALL WINDOW SIZES ARE BASED ON STD. REARFIELD DOUBLE-HUNG  
TITLE SIZES (8 OVER 1)  
ALL WINDOWS TO BE WOOD PAINTED

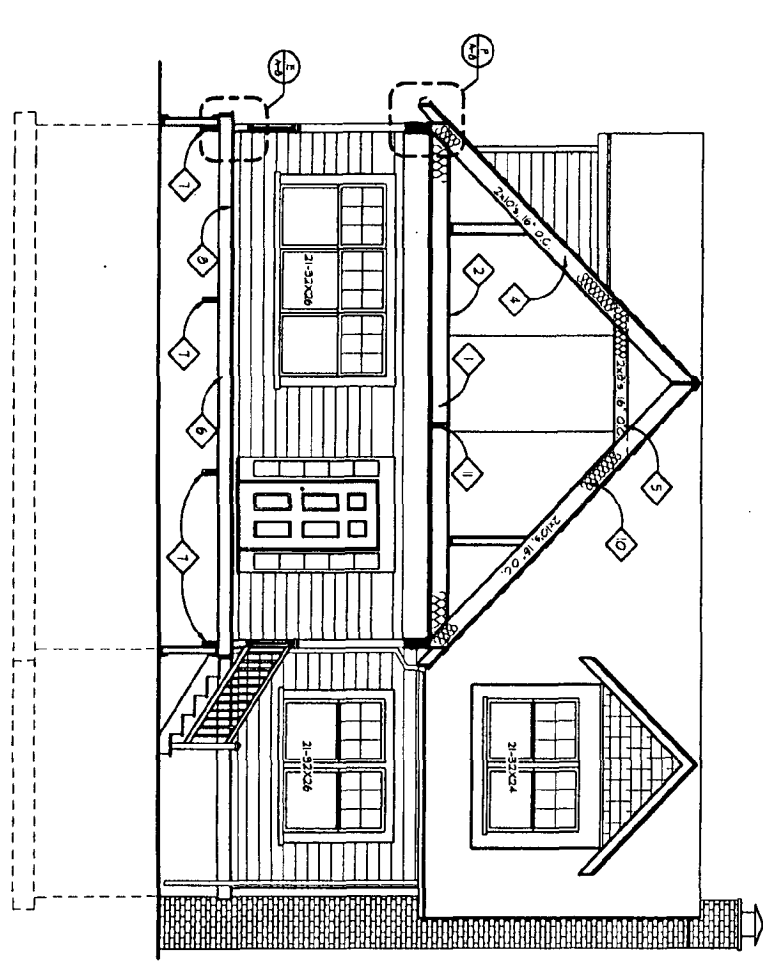
<p><b>GTM</b> ARCHITECTS 1015 ASBEST AVENUE ROBERTSON, MD. 20898 (301)414-4000 301414-3000 FAX</p>	<p><b>CAPITOL VIEW PARK RESIDENCES</b></p> <p>EXTERIOR ELEVATIONS</p>	<p>DATE: 1/4" = 1'-0" SCALE: 1/4" = 1'-0" CHECKED BY: STM DRAWN BY: CCM PROJECT NO: 94060 DRAWING NO: A-6</p>
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**A**  
A-7  
1/4"=1'-0"



- 1 TOP OF ROOF (12'-5 1/2")
- 2 TOP OF PLATE (11'-7 1/2")
- 3 TOP OF SUPERLOOR (10'-5 1/2") FLOOR (10'-5 1/2")
- 4 T.O. CONCRETE (11'-11 1/2")
- 5 TOP OF SLAB (1'-8'-0")
- 6 TOP OF FOOTING FIELD VENT
- 7 TOP OF SLAB (12'-5 1/2")

**B**  
A-7  
1/4"=1'-0"



- 1 TOP OF ROOF (12'-5 1/2")
- 2 TOP OF PLATE (11'-7 1/2")
- 3 TOP OF SUPERLOOR (10'-5 1/2") FLOOR (10'-5 1/2")
- 4 T.O. CONCRETE (11'-11 1/2")
- 5 TOP OF SLAB (1'-8'-0")
- 6 TOP OF FOOTING FIELD VENT
- 7 TOP OF SLAB (12'-5 1/2")

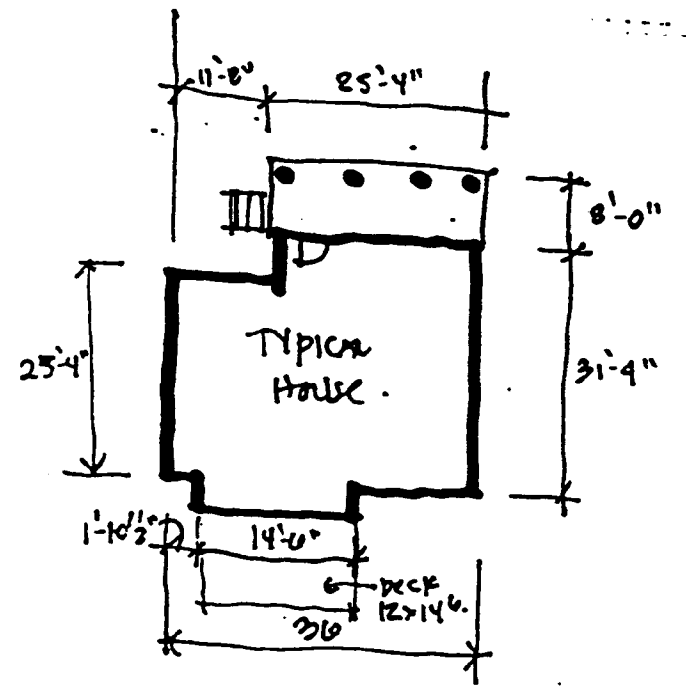
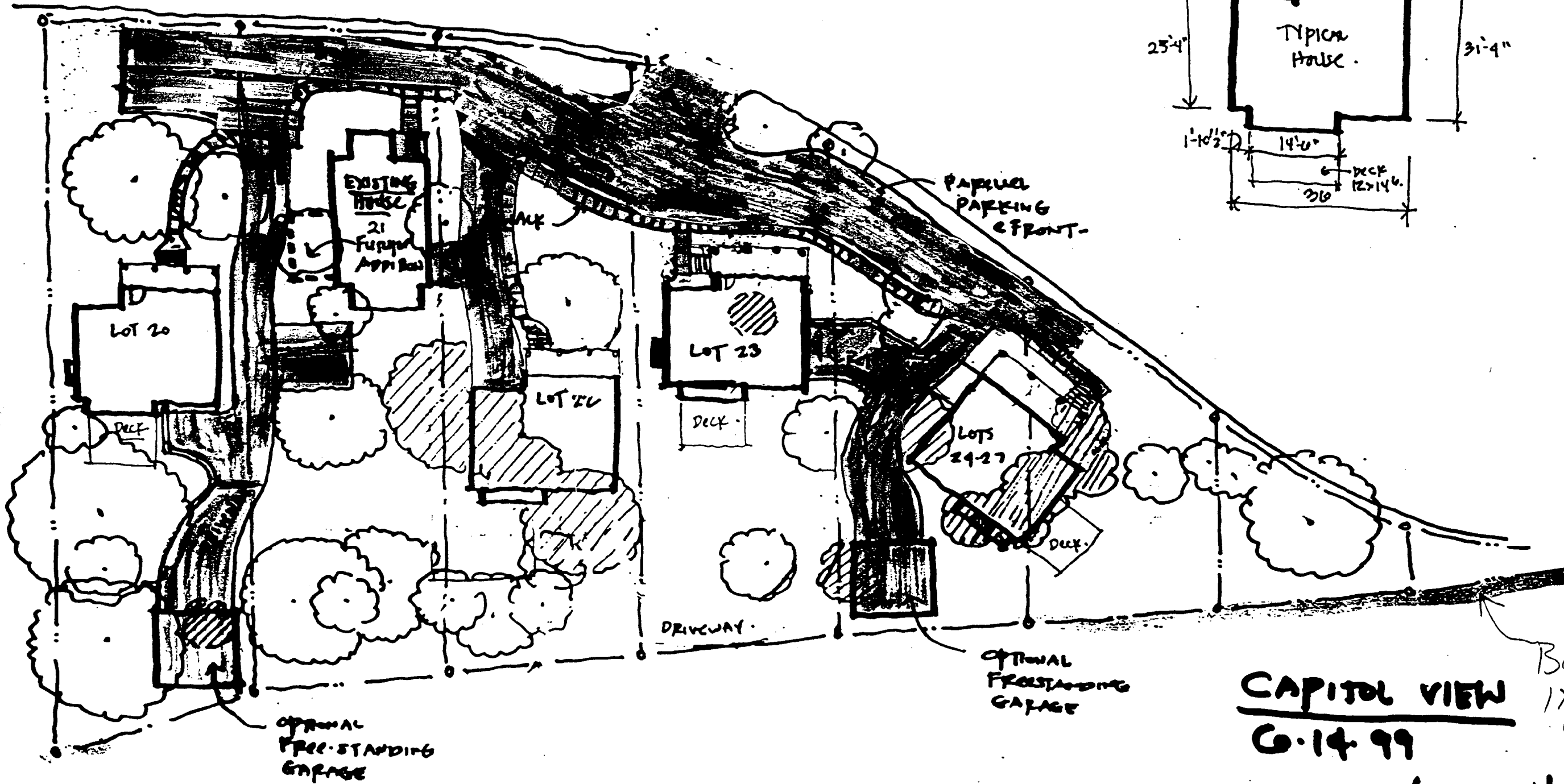
- NOTES:**
- 1 2ND FLOOR JOISTS @ 16" O.C.
  - 2 FINISH FLOORING ON 3/4" T&G PLYWOOD SUPERLOOR
  - 3 4" CONC. SLAB SEE SPEC SHEET
  - 4 2ND R rafters @ 16" O.C.
  - 5 2x6 COLLARS @ 16" O.C.
  - 6 2x6 PRESS. TREATED JOISTS @ 16" O.C.
  - 7 2x10 PRESS. TREATED BEAM
  - 8 1 1/2" PINE FLOORING
  - 9 STEEL BEAM SEE FRAMING PLAN
  - 10 R-30 C INSULATION TYPICAL @ RAFTERS
  - 11 (2) 3/4" X 1/4" LVL BEAM W/ N. FLOOR SYSTEM

**GTM**  
ARCHITECTS  
1045 ARBERRY AVENUE  
KENSINGTON, MD 20895  
301-291-4042  
DOWNSIDE FIRM

CAPITOL VIEW AVE.  
KENSINGTON, MD.  
BUILDING SECTION

**CAPITOL VIEW PARK  
RESIDENCES**

REVISIONS	
SCALE	
DRAWN BY:	CCM
CHECKED BY:	ALM
SCALE:	1/4"=1'-0"
DATE:	
PROJECT NO.:	44080
DRAWING NO.:	A-7

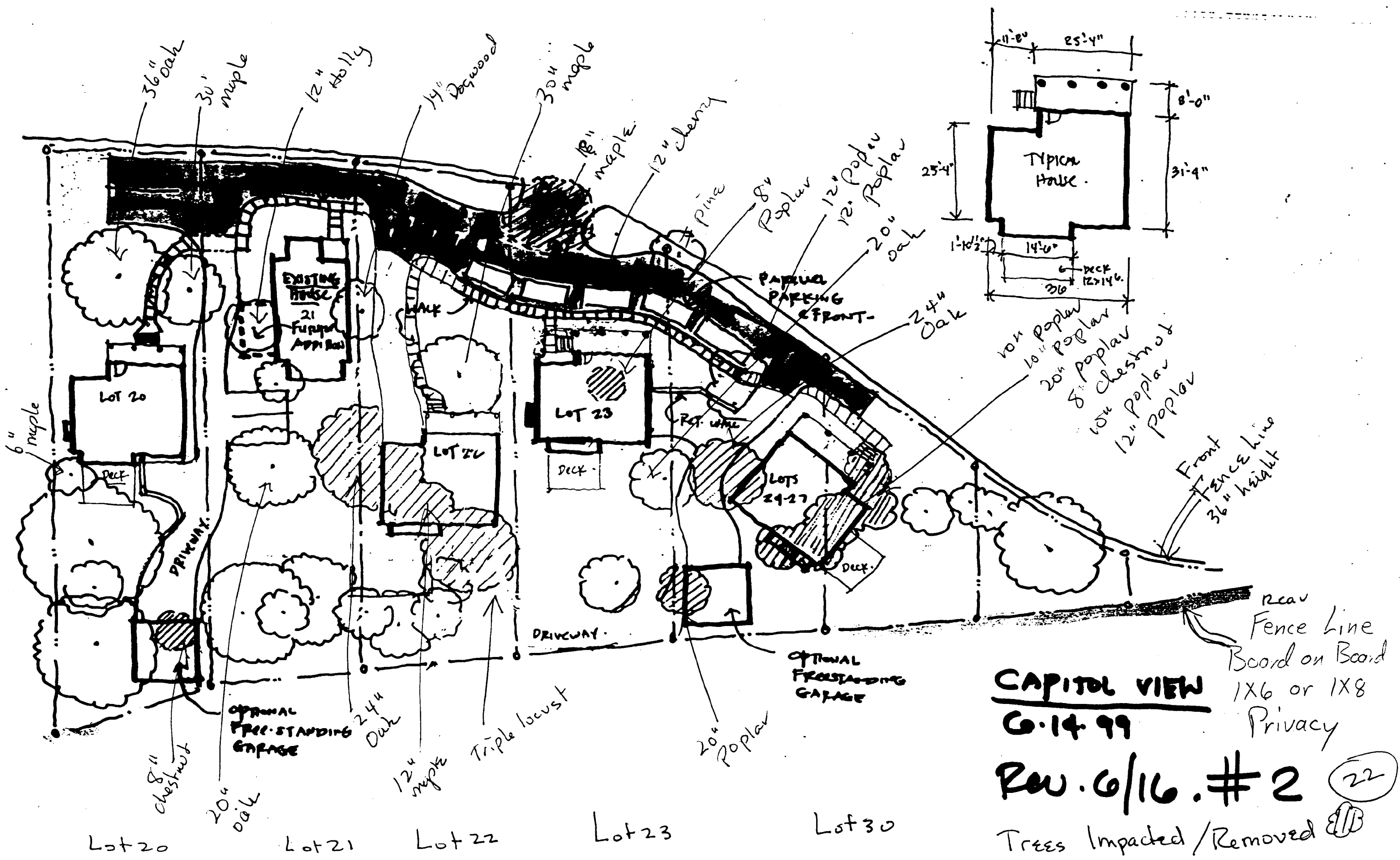


Proposed Paving

CAPITOL VIEW  
6-14-99

Fence Line  
Board on Board  
1X6 or 1X8  
Privacy

REV. 6/16.# 2



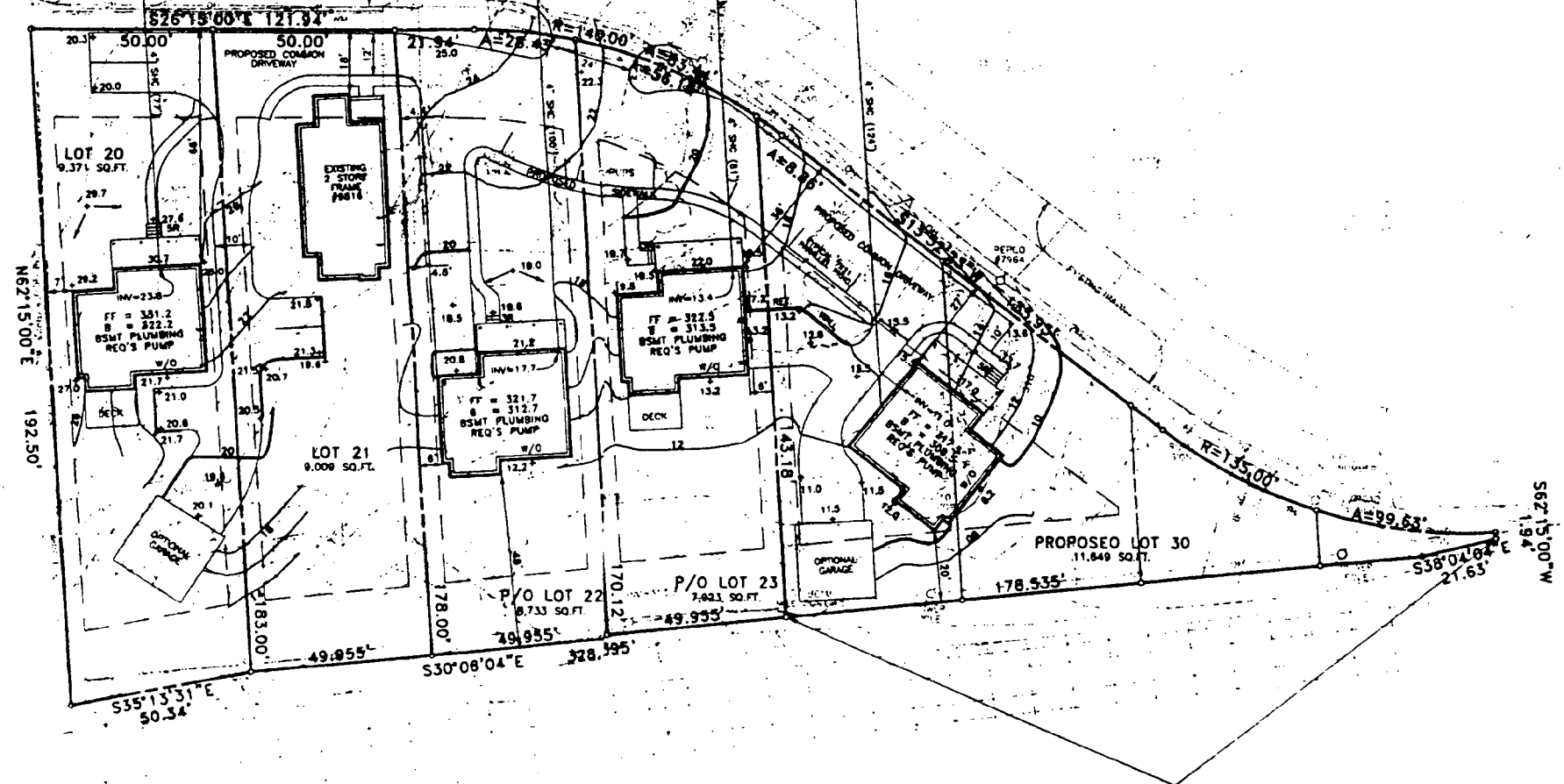
**CAPITOL VIEW**  
**6-14-99**

rear  
 Fence Line  
 Board on Board  
 1X6 or 1X8  
 Privacy

**Rev. 6/16.#2** (22)  
 Trees Impacted/Removed

CAPITOL VIEW AVENUE

VICINITY MAP 1"=2000'



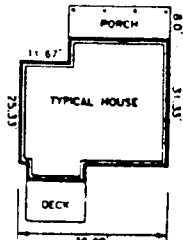
PARTS OF LOTS 24 THROUGH 27  
TO BE CONSOLIDATED BY MINOR  
SUBDIVISION PROCESS

NOTES

1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE IN THE DATUM OF THE W. S. C.
2. TREES SHOWN PER FIELD SURVEY BY THIS OFFICE.
3. BOUNDARY OUTLINE, UTILITY INFORMATION AND ADJOINING IMPROVEMENTS TAKEN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS.

APPLICANT

DESIGN HOMES, L.L.C.  
C/O MR. JOSEPH ALFANORE  
10423 ARMORY AVE. #180C  
KENSINGTON, MARYLAND 20895  
301-946-9500



**SITE DEVELOPMENT PLAN**  
HOUSE CONSTRUCTION  
LOTS 20 - 22 & PART OF LOT 23 & PROPOSED LOT 30, BLOCK 31  
**CAPITOL VIEW PARK**  
AS RECORDED IN  
PLAT BOOK A AT PLAT NUMBER 9  
WHEATON ELECTION DISTRICT NO. 13 MONTGOMERY COUNTY, MARYLAND

REVISIONS		
No	DATE	BY

**FOWLER ASSOCIATES, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS  
255 NORTH WASHINGTON STREET, SUITE 300

SCALE	DRAWN
1"=30'	GMF
CHECKED	DATE
	3/99
JOB NUMBER	
99-006	

23

# CAPITOL VIEW PARK RESIDENCES

## CAPITOL VIEW AVE. - LOTS 20,22-27 KENSINGTON, MARYLAND

**GTM**  
ARCHITECTS  
ONE MARKET AVENUE  
BETHESDA, MD 20814  
301.443.3000 FAX  
301.443.3001 FAX

CAPITOL VIEW AVE.  
KENSINGTON, MD.  
COVER SHEET

**CAPITOL VIEW PARK  
RESIDENCES**

REVISIONS:

ARCHITECT SEAL

DRAWN BY: CCM

CHECKED BY: GTM

SCALE: NO SCALE

DATE:

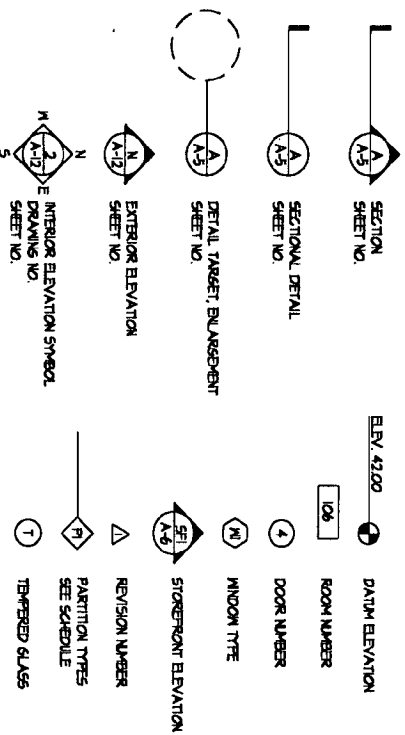
PROJECT NO: 49080

DRAWING NO: CS

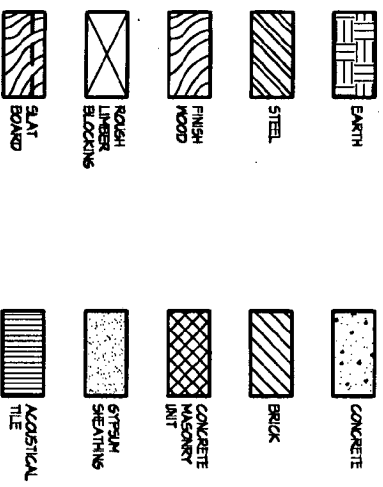
### LIST OF DRAWINGS

- CS COVER SHEET
- SP SPECIFICATIONS
- A-1 BASEMENT & FOUNDATION PLAN
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 ROOF PLAN
- A-5 EXTERIOR ELEVATIONS
- A-6 EXTERIOR ELEVATIONS
- A-7 BUILDING SECTIONS
- A-8 BUILDING SECTION DETAILS
- A-9 FRAMING PLANS
- A-10 INTERIOR ELEVATIONS

### GRAPHIC SYMBOLS



### MATERIAL SYMBOLS

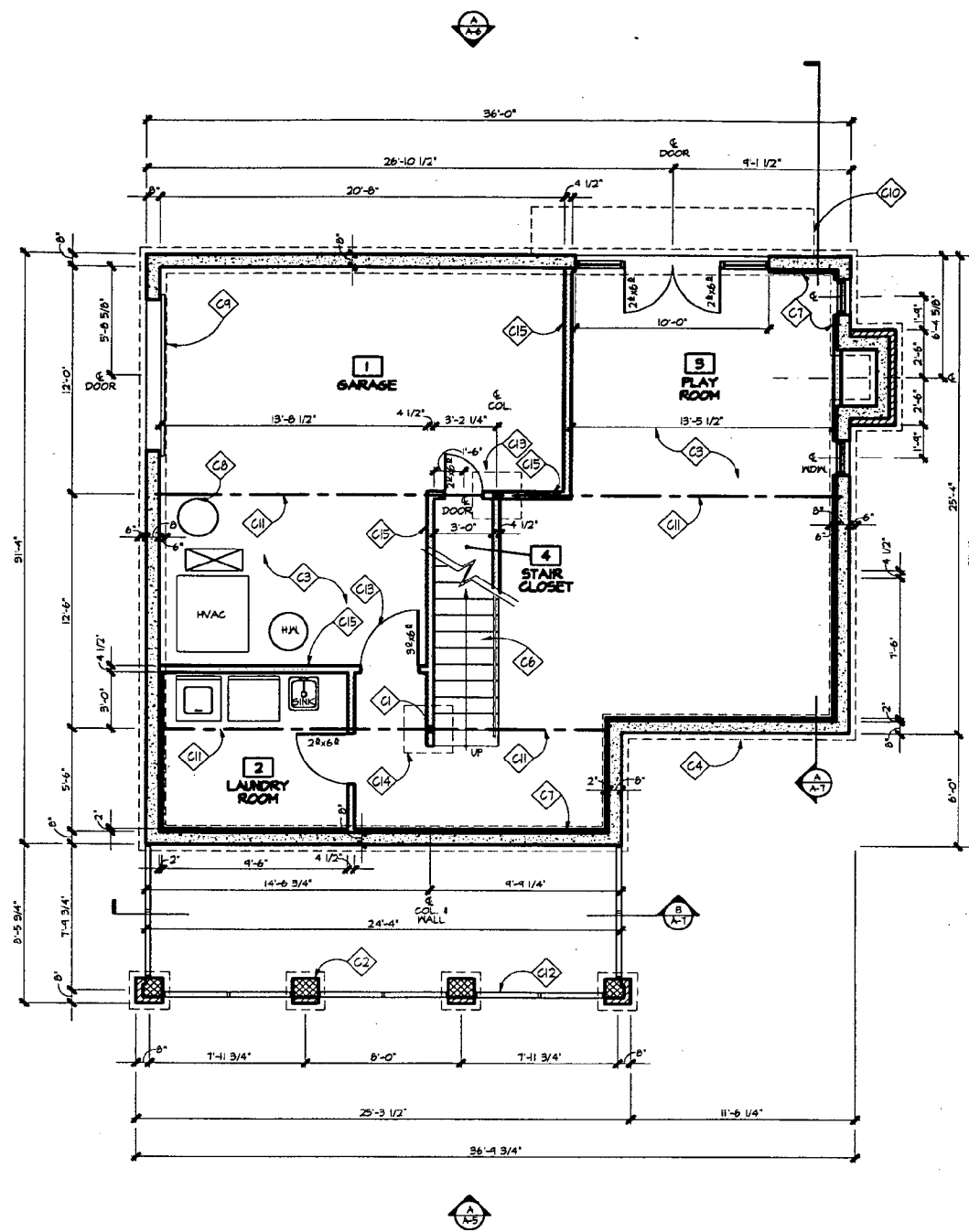


### ABBREVIATIONS

ADON	ADON FLOOR	ADON	ADON FLOOR
AC	ACRYLIC	AC	ACRYLIC
AD	ADHESIVE	AD	ADHESIVE
AE	ALUMINUM EXTRUSION	AE	ALUMINUM EXTRUSION
AF	ALUMINUM FINISH	AF	ALUMINUM FINISH
AG	ALUMINUM GLASS	AG	ALUMINUM GLASS
AH	ALUMINUM HANDRAIL	AH	ALUMINUM HANDRAIL
AI	ALUMINUM INSULATION	AI	ALUMINUM INSULATION
AJ	ALUMINUM JOINT	AJ	ALUMINUM JOINT
AK	ALUMINUM KICKER	AK	ALUMINUM KICKER
AL	ALUMINUM LANTERN	AL	ALUMINUM LANTERN
AM	ALUMINUM MOUNTING	AM	ALUMINUM MOUNTING
AN	ALUMINUM NAIL	AN	ALUMINUM NAIL
AO	ALUMINUM OILING	AO	ALUMINUM OILING
AP	ALUMINUM PANEL	AP	ALUMINUM PANEL
AQ	ALUMINUM QUARTZ	AQ	ALUMINUM QUARTZ
AR	ALUMINUM RAIL	AR	ALUMINUM RAIL
AS	ALUMINUM SILL	AS	ALUMINUM SILL
AT	ALUMINUM TIE	AT	ALUMINUM TIE
AV	ALUMINUM VALVE	AV	ALUMINUM VALVE
AW	ALUMINUM WALKWAY	AW	ALUMINUM WALKWAY
AX	ALUMINUM WINDOW	AX	ALUMINUM WINDOW
AY	ALUMINUM YIELD	AY	ALUMINUM YIELD
AZ	ALUMINUM ZINC	AZ	ALUMINUM ZINC
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KZ</			







**1 BASEMENT FLOOR PLAN**  
A-1 1/4"=1'-0"

**CONSTRUCTION NOTES**

- ◇ C1 STEEL PIPE COLUMN, SEE FRAMING PLAN.
- ◇ C2 1'-4"x1'-4" CMU PIER, REINFORCE W/ (2) #5 BARS VERTICALLY @ EACH PIER, PROVIDE 2'-8"x2'-8"x1'-0" DEEP CONG. FOOTING W/ (2) #4 BARS EACHWAY, MIN 30" BELOW GRADE, PROVIDE BRICK ABOVE GRADE WHERE VISIBLE.
- ◇ C3 CONCRETE SLAB ON GRADE, REFER TO SPEC. SHEET FOR DETAILS
- ◇ C4 DOTTED LINE INDICATES 1'-8" WIDE x 1'-0" DEEP CONTINUOUS CONCRETE FOOTING, PROVIDE (2)#4 BARS CONTINUOUS, REFER TO ELEVATIONS FOR TOP OF FOOTING ELEVATION.
- ◇ C5 8" POURED CONCRETE WALL W/ #5 BARS VERTICALLY AND HORIZONTALLY 24" O.C.
- ◇ C6 NEW STAIR, PROVIDE PINE TREADS & RISERS, RAILING TO BE SELECTED; VERIFY RISE & RUN.
- ◇ C7 FUR OUT CONCRETE W/ 2x4's FLAT, & 1/2" GYP. BD.
- ◇ C8 SUMP PUMP.
- ◇ C9 1 HR. RATED DOOR @ GARAGE, TYP. TO BE SELECTED.
- ◇ C10 OVERHANG ABOVE.
- ◇ C11 STEEL BEAM ABOVE, SEE FRAMING PLANS.
- ◇ C12 2x4 PRESS. TREATED FRAME W/ LATTICE, SEE ELEVATIONS.
- ◇ C13 1 HR. RATED DOOR @ GARAGE, TYP.
- ◇ C14 1'-0" DEEP X4'-0" X4'-0" CONG. FOOTING W/ (4) #5 BARS EACH WAY, SEE H/A-B.
- ◇ C15 1'-0" DEEP X3'-0" X3'-0" CONG. FOOTING W/ (3) #5 BARS EACH WAY, SEE H/A-B.
- ◇ C16 PROVIDE 5/8" TYPE X GYP. BD. @ EACH SIDE OF WALL SEPARATING GARAGE, AND ON GARAGE CEILING.

**NOTE:**  
UNLESS NOTED OTHERWISE, DIMENSIONS ON INTERIOR WALL ARE TO FACE OF GYP. BD, DIMENSIONS ON EXTERIOR WALLS ARE TO EXTERIOR FACE OF SHEATHING TO FINISH FACE GYP. BD.

VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.



**GTM ARCHITECTS**

1045 ARNOLD AVENUE  
KENSINGTON, MD. 20895  
301942-4062  
301942-3021 FAX

CAPITOL VIEW AVE.  
KENSINGTON, MD.

BASEMENT FLOOR PLAN

**CAPITOL VIEW PARK RESIDENCES**

REVISIONS:


SEAL:


DRAWN BY: CCM

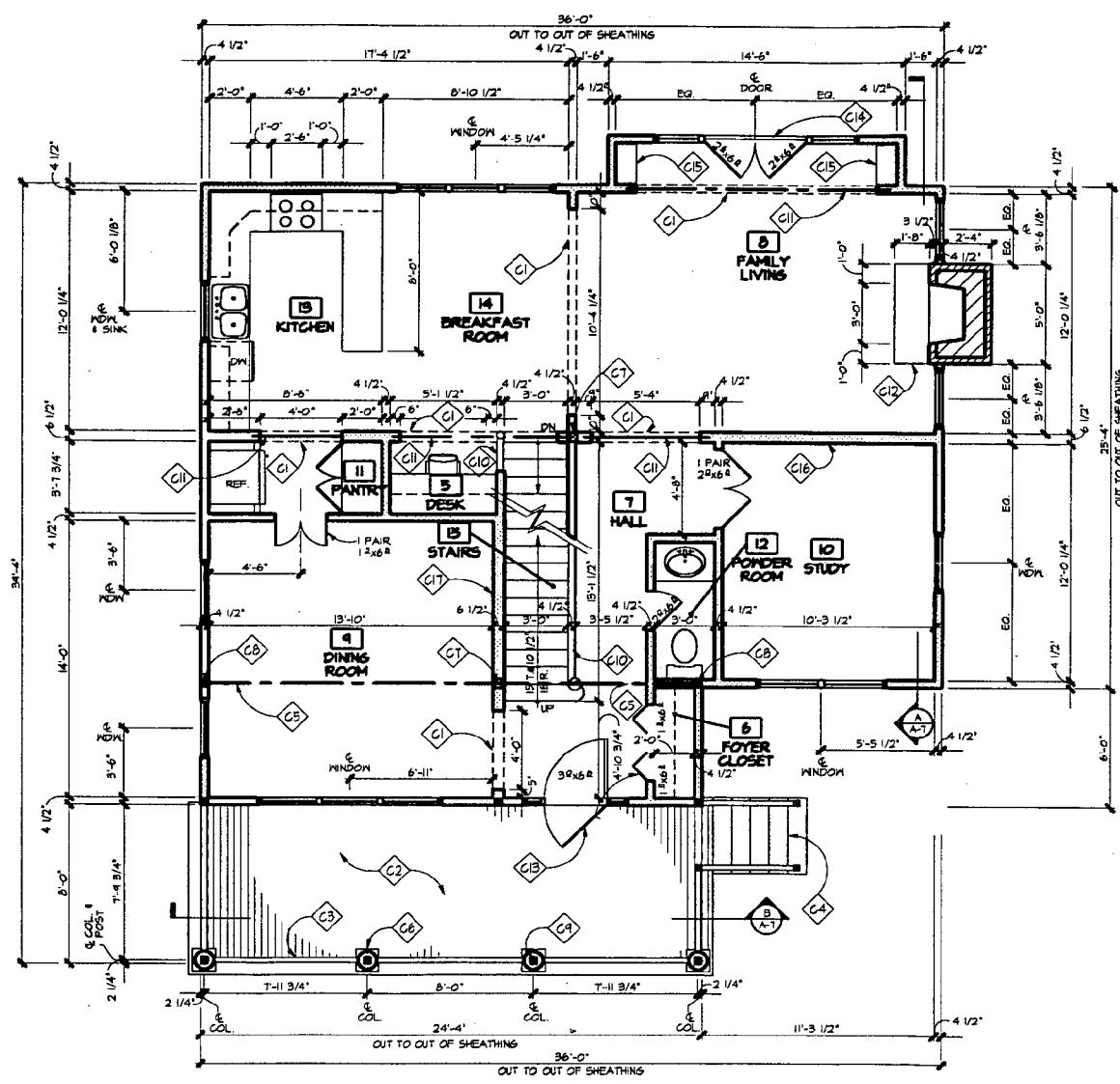
CHECKED BY: ALM/ GTM

SCALE: 1/4"=1'-0"

DATE:

PROJECT NO: 49080

DRAWING NO: A-1



**1** FIRST FLOOR PLAN  
**A-2** 1/4"=1'-0"

**CONSTRUCTION NOTES**

- C1 CASING OPENING.
- C2 PAINTED T&G PINE PORCH FLOOR, SLOPE TO FRONT 1/8" PER FOOT
- C3 PAINTED WOOD RAILING SYSTEM, SEE ELEVATION.
- C4 5/4 x 12 STAIR TREADS W/IX PAINTED RISERS/ FIELD VERIFY RISE & RUN. (TREADS TO BE PAINTED)
- C5 NEW BEAM ABOVE, SEE FRAMING PLANS, IN SAME PLANE AS FLOOR JOISTS.
- C6 12" PAINTED FIBERGLASS COLUMN, TUSCAN CAP & BASE, MANOR STYLE OR APPROVED EQUAL.
- C7 6x6 POST IN WALL FOR BEAM SUPPORT, SEE FRAMING PLANS, POST TO BE SOLID, SOUTHERN YELLOW PINE, STRUCTURAL GRADE - NO BUILT-UP STUDS ALLOWED.
- C8 4x4 POST W/ IN WALL.
- C9 4x4 POST W/IN COLUMN.
- C10 RAILING SYSTEM TO BE SELECTED.
- C11 HEADER ABOVE, SEE FRAMING PLANS.
- C12 HEARTH MATERIAL TO BE SELECTED.
- C13 PROVIDE WOOD SCREEN DOORS, TYP.
- C14 PROVIDE RAILING @ FRENCH DOORS. (NOTE: FUTURE DECK).
- C15 BUILT-IN SHELVES.
- C16 2 x 6 WALL, LOAD BEARING.
- C17 2 x 6 WALL, NON-LOAD BEARING.

**NOTE:**  
 VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.

**WALL TYPES**

- W1 TYPICAL EXTERIOR WALL, 2"x4" WOOD STUDS 16" O.C., W/ R-13 INSULATION & W VAPOR BARRIER, 1/2" OSB SHEATHING, TYVEC BUILDING WRAP, & PAINTED WOOD SIDING/PAINTED CEDAR SHINGLES, INTERIOR FINISH TO BE 6YP. BD. (1/2").
- W2 TYPICAL INTERIOR PARTITION, 2"x4" STUDS 16" O.C. W/ 1/2" 6YP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ACCOMMODATE 6x6 POSTS W/ IN WALLS.

**GTM ARCHITECTS**  
 1045 ARNOLD AVENUE  
 KENSINGTON, MD 20895  
 (301)442-4062  
 (301)442-3929 FAX

CAPITOL VIEW AVE.  
 KENSINGTON, MD.  
 FIRST FLOOR PLAN

**CAPITOL VIEW PARK RESIDENCES**

REVISIONS:


SEAL:

DATE:

PROJECT NO. 49080

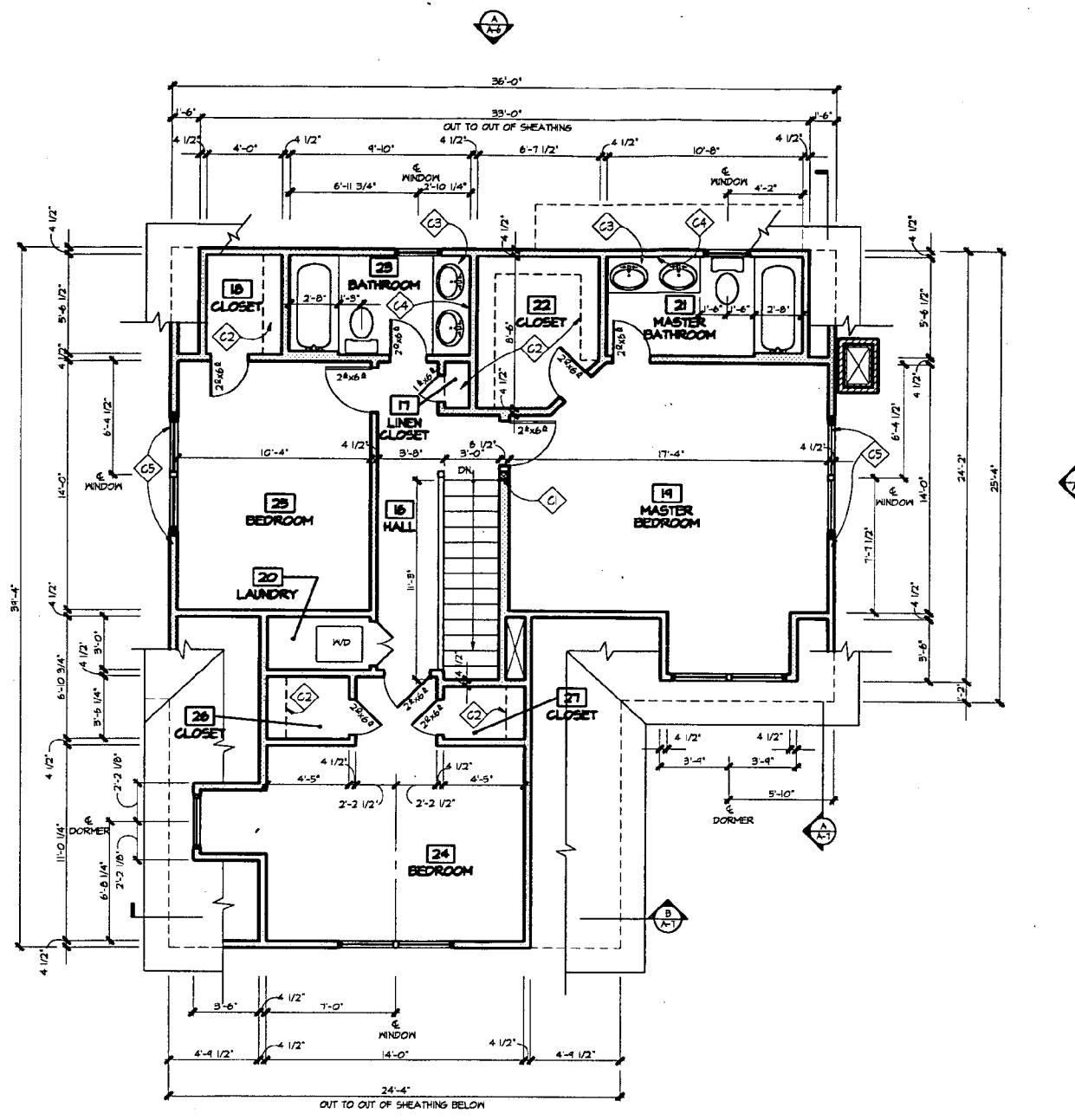
DRAWING NO. A-2

DRAWN BY: CCM

CHECKED BY: ALM/GTM

SCALE: 1/4"=1'-0"

DATE:



**1 SECOND FLOOR PLAN**  
 A-3 1/4"=1'-0"

**CONSTRUCTION NOTES**

- ⓐ 6x6 POST WITHIN MALL
- ⓑ CLOSET SHELVES & RODS BY OTHERS
- ⓒ 60" VANITY TO BE SELECTED
- ⓓ 1/4" POLISHED, PLATE GLASS MIRROR FROM TOP OF SPLASH TO 7'-0", FULL WIDTH OF MALL
- ⓔ 4x4 POST WITHIN MALL, SEE FRAMING PLANS

**WALL TYPES**

- Ⓜ TYPICAL EXTERIOR WALL: 2"x4" MOOD STUDS 16" O.C., W/ R-13 INSULATION & W/ VAPOR BARRIER, 1/2" OSB SHEATHING, TYVEC BUILDING WRAP, & PAINTED SIDING AND/OR CEDAR SHINGLES. INTERIOR FINISH TO BE GYP. BD. (1/2").
- Ⓝ TYPICAL INTERIOR PARTITION, 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ACCOMMODATE 6x6 POSTS.

**GTM ARCHITECTS**

1045 AIRPORT AVENUE  
 KENSINGTON, MD. 20895  
 (301) 424-4062  
 (301) 424-3024 FAX

CAPITOL VIEW AVE.  
 KENSINGTON, MD.  
 SECOND FLOOR PLAN  
 (OPTION 1)

**CAPITOL VIEW PARK RESIDENCES**

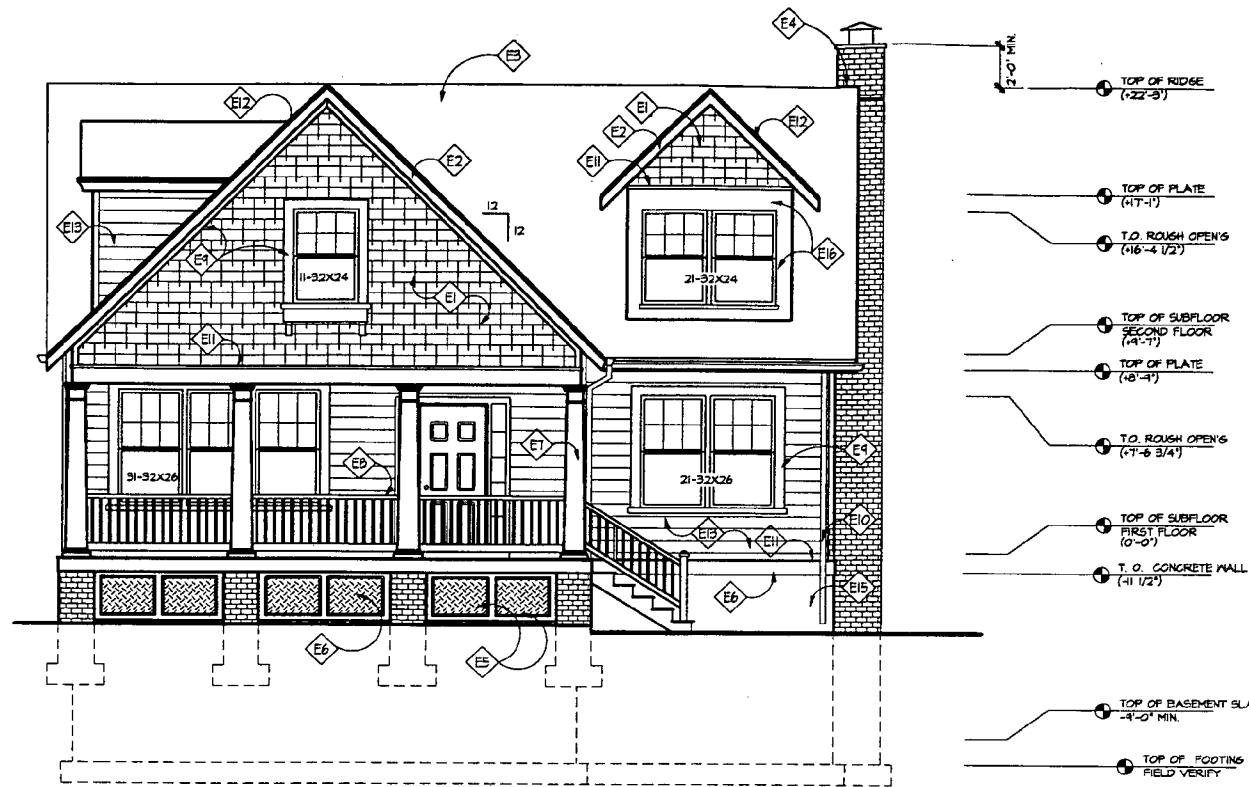
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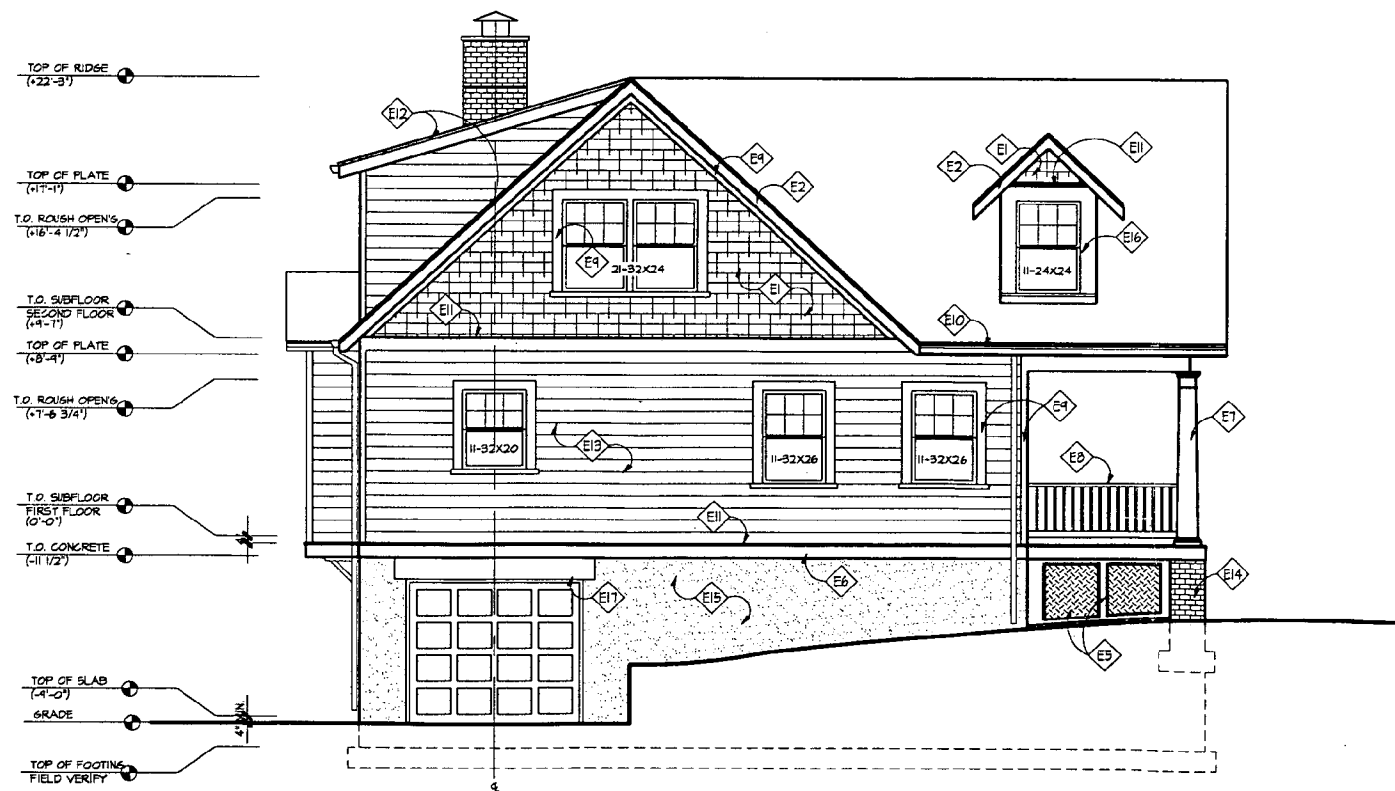

DRAWN BY: CCM  
 CHECKED BY: ALM/GTM  
 SCALE: 1/4"=1'-0"  
 DATE:                     
 PROJECT NO. 49080  
 DRAWING NO.

**A-3**





**A EAST (FRONT) ELEVATION**  
1/4"=1'-0"



**B SOUTH (SIDE) ELEVATION**  
1/4"=1'-0"

**CONSTRUCTION NOTES:**

- E1 PAINTED CEDAR SHINGLES
- E2 5/4x8 GABLE TRIM, TYPICAL
- E3 ASPHALT/FIBERGLASS SHINGLES TO BE SELECTED.
- E4 OPTIONAL MASONRY CHIMNEY
- E5 PAINTED LATTICE PANEL ON PRESS. TREATED 2x4 FRAME. 1/2x4 PTD. STOPS
- E6 5/4x8 PTD. TRIM BAND
- E7 12" Ø PAINTED FIBERGLASS COLUMNS
- E8 PAINTED RAILING SYSTEM  
TOP RAIL: SMOOT # 5M-8840  
BOT. RAIL: SMOOT # 5M-8841  
PICKETS: SMOOT # LPH-237
- E9 5/4x4 PTD. TRIM & MENDONS AND CORNER TRIM
- E10 WHITE ALUM. DOWNSPOUTS & GUTTERS
- E11 DRIP CAP, SMOOT #MMH47
- E12 BED MOULDINGS, MM-TS
- E13 PAINTED SIDING
- E14 MASONRY PIERS
- E15 CONCRETE FOUNDATION WALL
- E16 5/4" TRIM CUT TO FIT @ FRONT OF DORMERS
- E17 1X TRIM ABOVE OPENINGS BASEMENT

**GENERAL NOTES:**

ALL WINDOW SIZES ARE BASED ON STD. WEATHERSHIELD DOUBLE-HUNG  
"ML" SIZES. (6 OVER 1)  
ALL WINDOW TO BE WOOD, PAINTED.

**GTM**  
ARCHITECTS

1045 ARMOY AVENUE  
KENSINGTON, MD. 20845  
301442-9082  
301442-3424 FAX

CAPITOL VIEW AVE.  
KENSINGTON, MD.

EXTERIOR ELEVATIONS

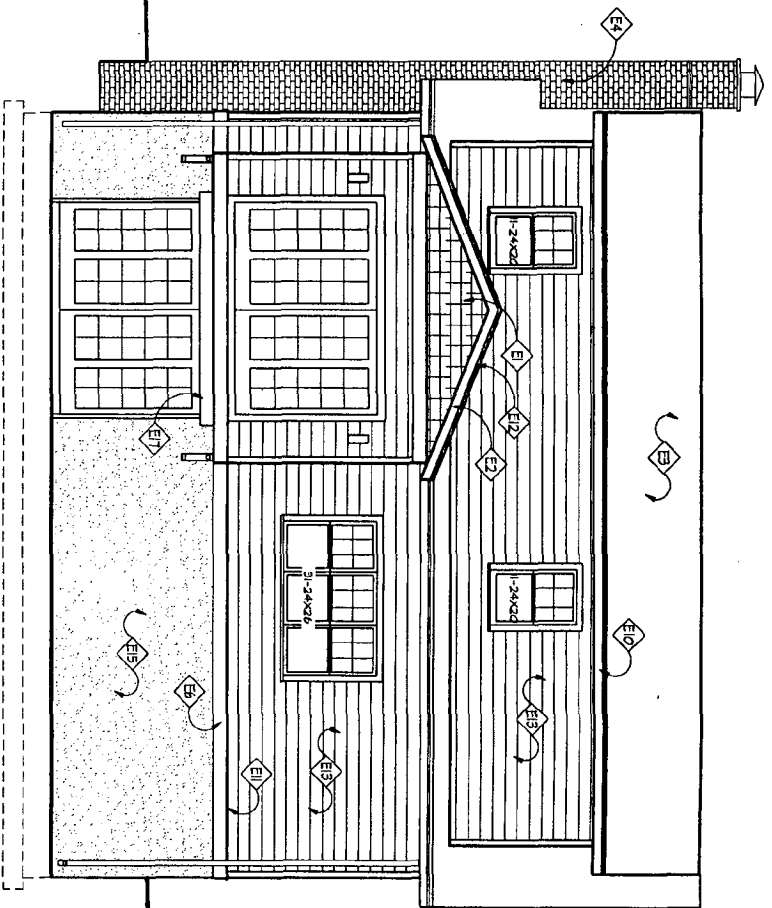
**CAPITOL VIEW PARK  
RESIDENCES**

REVISIONS:


SCALE:


DRAWN BY:	CCM
CHECKED BY:	GTM
SCALE:	1/4"=1'-0"
DATE:	
PROJECT NO.:	99080
DRAWING NO.:	

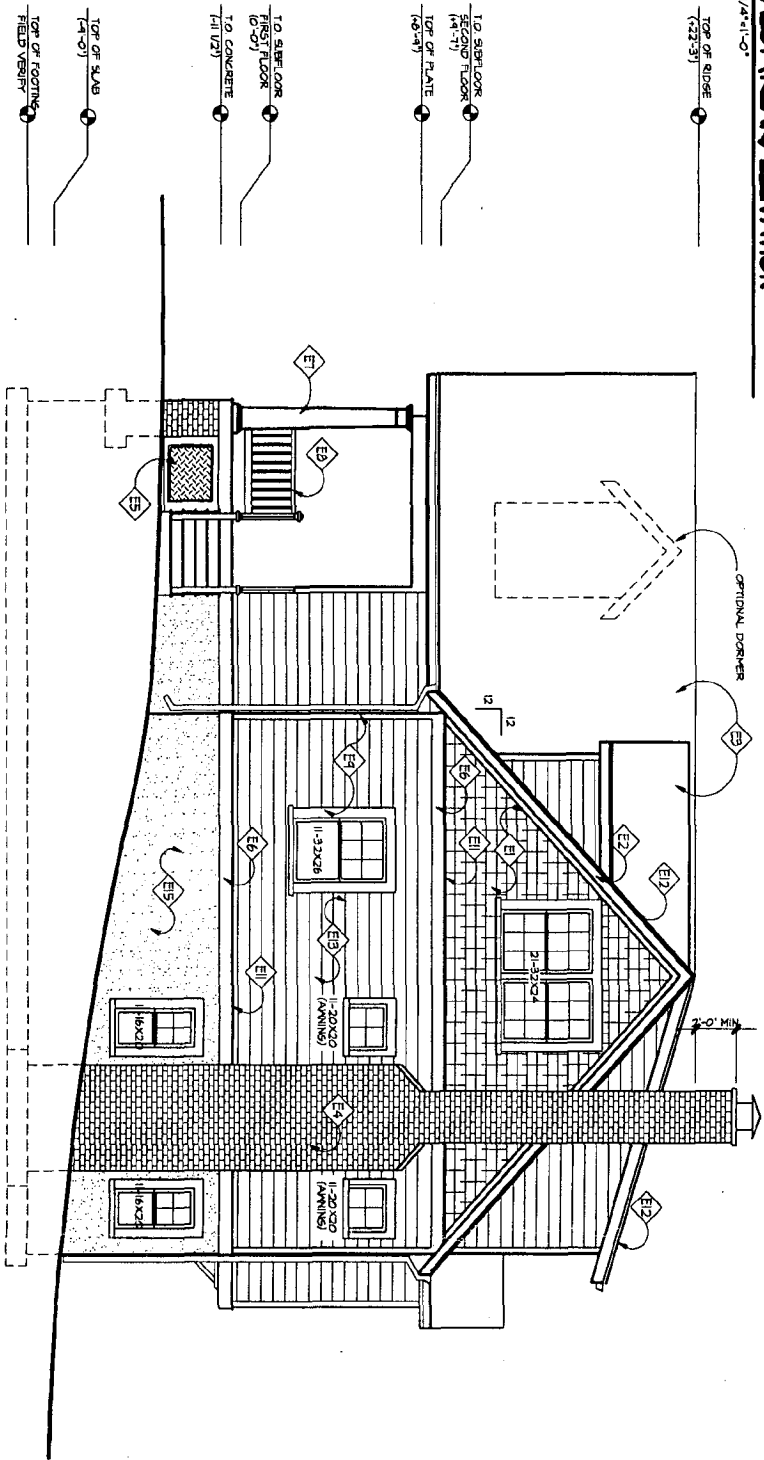
**A-5**



- TOP OF ROOF (122'-3")
- TOP OF PLATE (117'-7")
- TO ROOM OPENING (108'-4 1/2")
- TOP OF APRN COR (104'-7")
- SECOND FLOOR (104'-7")
- TOP OF PLATE (104'-7")
- TO ROOM OPENING (119'-3 1/2")
- FIRST FLOOR (104'-7")
- T.O. MASONRY (111'-2")
- TOP OF SLAB (114'-0")
- TOP OF FOOTING FIELD VENT (114'-0")

- CONSTRUCTION NOTES:**
- E1 PAINTED CEDAR SHINGLES
  - E2 5/8" GABLE TRIM TYPICAL
  - E3 ASPHALT/FIBERGLASS SHINGLES TO BE SELECTED
  - E4 OPTIONAL MASONRY CHIMNEY
  - E5 PAINTED LATTICE PANEL ON PRESS. TREATED 2x4 FRAME W/1x4 PTD. STOPS
  - E6 5/8" PTD. TRIM BAND
  - E7 12" x PAINTED FIBERGLASS COLIAMS
  - E8 PAINTED RAILING SYSTEM, SHABBO TOP RAIL, SMOOT & SHABBO BOTTOM RAIL, SMOOT & SHABBO FIBERS, SMOOT & SHABBO 5/4x4 PTD. TRIM & WINDOW AND CORNER TRIM
  - E9 WHITE ALUM. DOWNSPOUTS & GUTTERS
  - E10 GRIP CAP SHOOT BWHHT
  - E11 RED WOODING W-75
  - E12 PAINTED SIDING
  - E13 MASONRY TIERS
  - E14 CONCRETE FOUNDATION WALL
  - E15 5/4" TRIM CUT TO FIT & FRONT OF DOWNERS
  - E16 1" TRIM ABOVE OPENINGS BASEMENT

**A WEST (REAR) ELEVATION**  
1/4"=1'-0"



- TOP OF ROOF (122'-3")
- TOP OF PLATE (117'-7")
- TO ROOM OPENING (108'-4 1/2")
- TOP OF APRN COR (104'-7")
- SECOND FLOOR (104'-7")
- TOP OF PLATE (104'-7")
- TO ROOM OPENING (119'-3 1/2")
- FIRST FLOOR (104'-7")
- T.O. MASONRY (111'-2")
- TOP OF SLAB (114'-0")
- TOP OF FOOTING FIELD VENT (114'-0")

**B NORTH (SIDE) ELEVATION**  
1/4"=1'-0"

**GENERAL NOTES:**  
ALL WINDOW SIZES ARE BASED ON STD. WEATHERFIELD DOUBLE-HUNG TILT-UP SIZES (6 OVER 1)  
ALL WINDOWS TO BE WOOD PAINTED

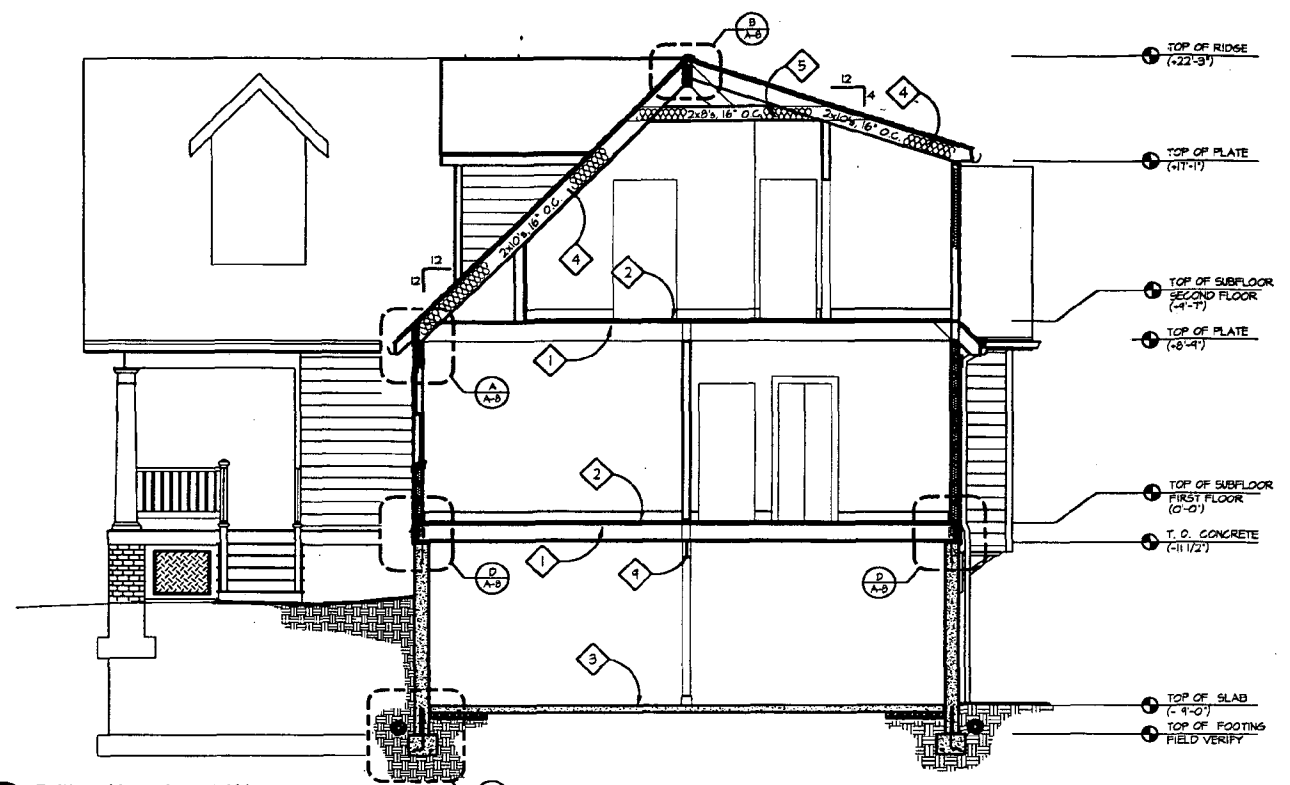
**GTM ARCHITECTS**  
1015 ANNEPORT AVENUE  
KENSINGTON, MD 20895  
(301)413-4043  
800-443-2900 FAX

CAPITOL VIEW PARK  
KENSINGTON, MD.  
EXTERIOR ELEVATIONS

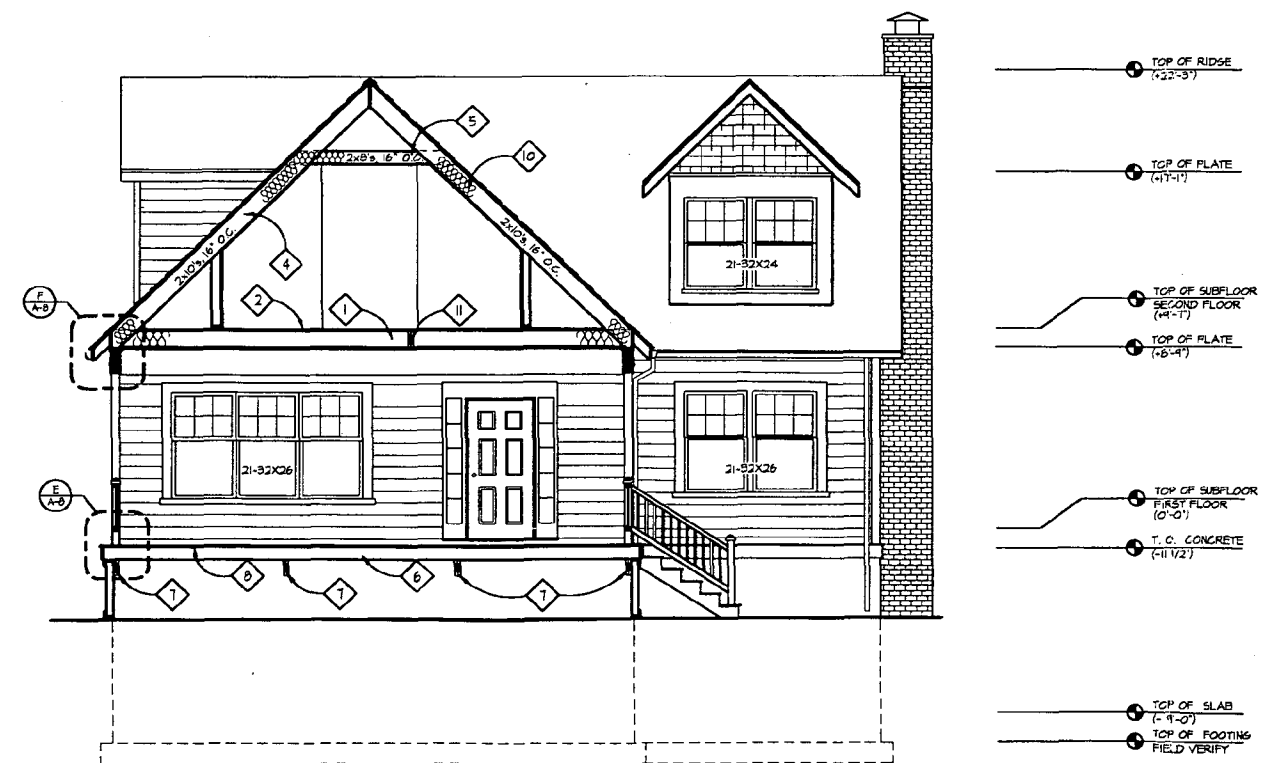
**CAPITOL VIEW PARK RESIDENCES**

REVISIONS	
SCALE	
DRAWN BY:	CCM
CHECKED BY:	STM
SCALE	1/4"=1'-0"
DATE	
PROJECT NO.	44080
DRAWING NO.	

**A-6**



**A BUILDING SECTION**  
A-7 1/4"=1'-0"



**B SECTION THRU FRONT PORCH**  
A-7 1/4"=1'-0"

- NOTES:**
- 1 2x10 FLOOR JOISTS @ 16" O.C.
  - 2 FINISH FLOORING ON 3/4" T&G PLYWOOD SUBFLOOR
  - 3 4" CONC. SLAB, SEE SPEC SHEET.
  - 4 2x10 RAFTERS @ 16" O.C.
  - 5 2x8 COLLAR TIES @ 16" O.C.
  - 6 2x8 PRESS. TREATED JOISTS @ 16" O.C.
  - 7 (2)2x10 PRESS. TREATED BEAM
  - 8 T&G PINE FLOORING
  - 9 STEEL BEAM, SEE FRAMING PLAN
  - 10 R-30 C INSULATION, TYPICAL @ RAFTERS
  - 11 (2) 1 3/4"x1 1/4" LVL BEAM 1/2" IN FLOOR SYSTEM

**GTM ARCHITECTS**

10415 ARDMORE AVENUE,  
KENSINGTON, MD. 20895  
(301)442-4062  
(301)442-3424 FAX

CAPITOL VIEW AVE.  
KENSINGTON, MD.  
BUILDING SECTION

**CAPITOL VIEW PARK RESIDENCES**

REVISIONS


SEAL

DRAWN BY: CCM  
CHECKED BY: ALM  
SCALE: 1/4"=1'-0"  
DATE:                        
PROJECT NO: 49080  
DRAWING NO:            

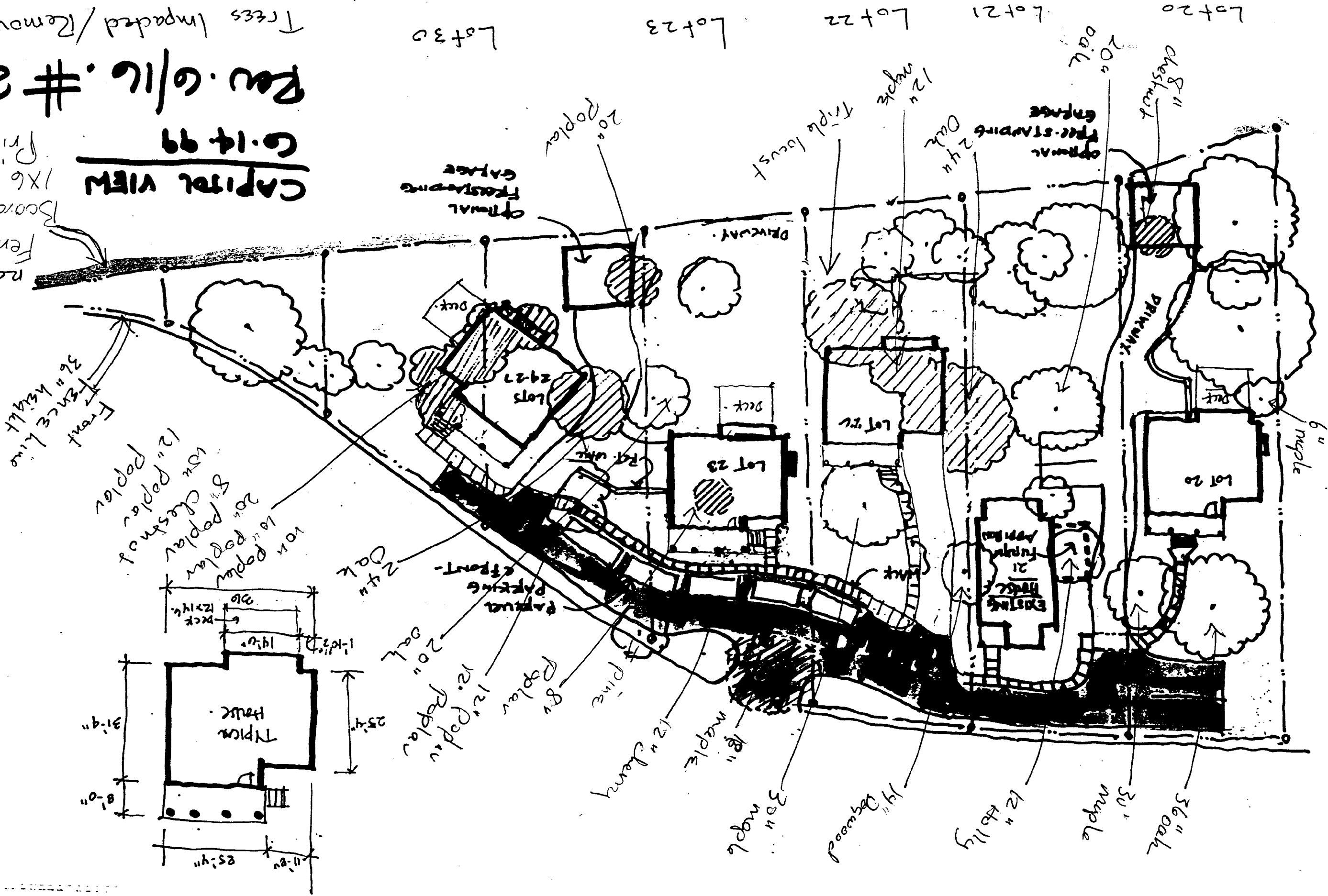
**A-7**





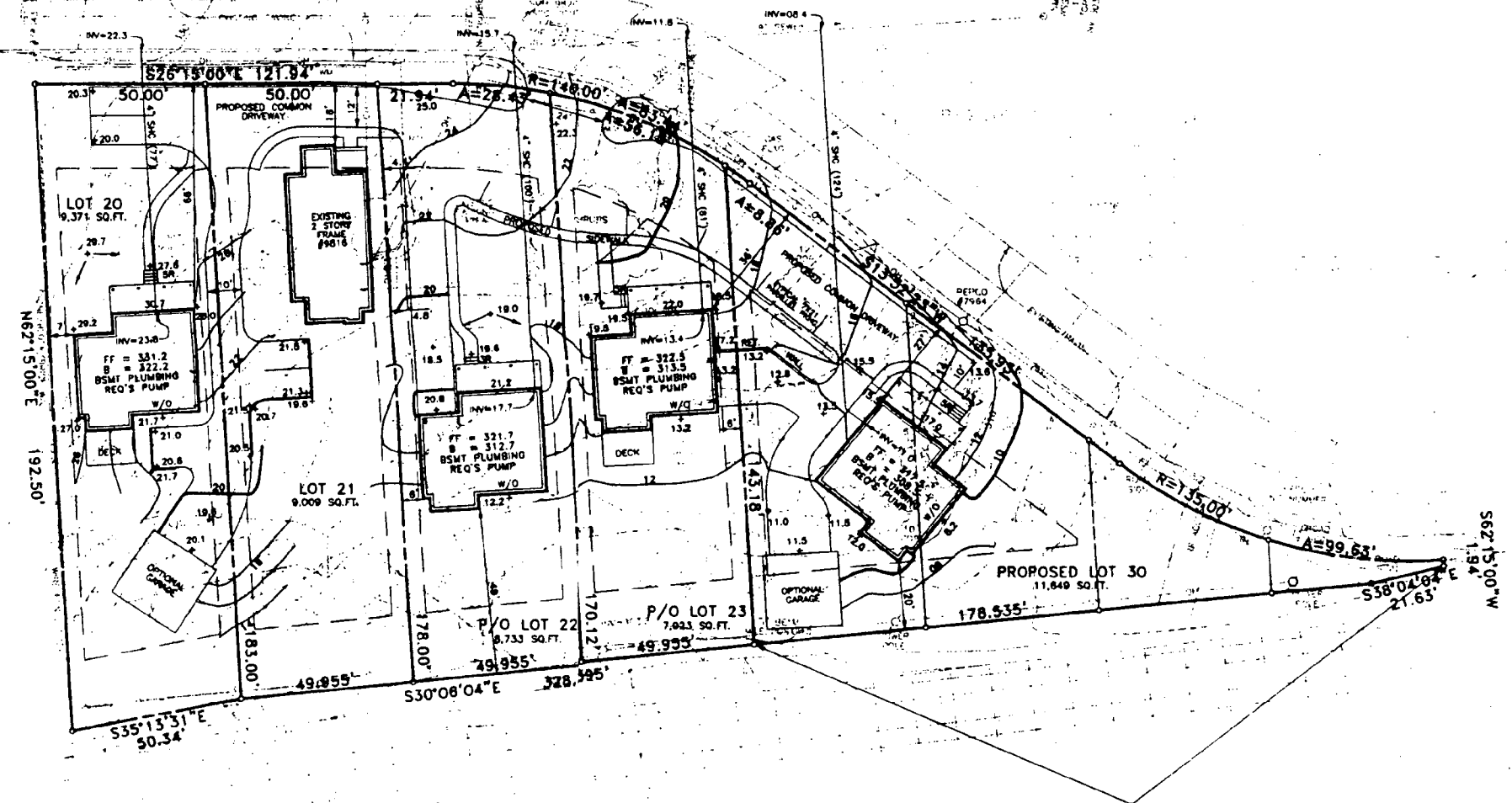
22  
 Rev. 6/16. # 2  
 Trees Impacted/Removed

CAPITAL VIEW  
 G-14 99  
 Board on Board  
 1X6 or 1X8  
 Privacy  
 Fence line  
 near



CAPITOL VIEW AVENUE

VICINITY MAP 1"=2000'



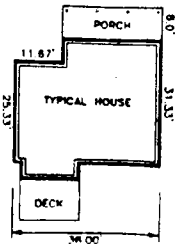
PARTS OF LOTS 24 THROUGH 27 TO BE CONSOLIDATED BY MINDR SUBDIVISION PROCESS

NOTES

1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE IN THE DATUM OF THE W. S. S. C.
2. TREES SHOWN PER FIELD SURVEY BY THIS OFFICE.
3. BOUNDARY OUTLINE, UTILITY INFORMATION AND ADJOINING IMPROVEMENTS TAKEN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS.

APPLICANT

DESIGN HOMES, L.L.C.  
C/O MR. JOSEPH ALFANDRE  
10423 ARMORY AVE. #180C  
KENSINGTON, MARYLAND 20895  
301-946-9500



SITE DEVELOPMENT PLAN

HOUSE CONSTRUCTION  
LOTS 20 - 22 & PART OF LOT 23 & PROPOSED LOT 30, BLOCK 31

CAPITOL VIEW PARK

AS RECORDED IN  
PLAT BOOK A AT PLAT NUMBER 9

WHEATON ELECTION DISTRICT NO. 13

MONTGOMERY COUNTY, MARYLAND

REVISIONS		
No.	DATE	BY

**FOWLER ASSOCIATES, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS

255 NORTH WASHINGTON STREET, SUITE 300  
BETHESDA, MD 20814

SCALE 1"=30'	DRAWN GMF
CHECKED	DATE 3/99
JOB NUMBER 99-006	

DATE PLOTTED: 3/23/99

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

**Address:** 9816 Capitol View Avenue, Silver Spring      **Meeting Date:** 07/14/99  
**Resource:** Capitol View Park Historic District      **Report Date:** 07/07/99  
**Review:** HAWP      **Public Notice:** 06/30/99  
**Case Number:** 31/7-99F      **Tax Credit:** None  
**Applicant:** Design Homes (Joe Alfandre)      **Staff:** Perry Kephart

**PROPOSAL:** New Construction (Four houses, driveways, sidewalks, retaining wall, garages).

**RECOMMEND:** Approve with conditions.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource in Capitol View Park Historic District.  
**STYLE:** Bungalow.  
**DATE:** 1928.

The property is a Sears-type 1½ story bungalow set at the front of a 52,475 s.f. lot (Lots 20 through partial Lot 27 on the attached map, circle 1b - Lots 24 to 27 are being consolidated and are referred to as Lot 30 on the site development plan, circle 23). The staff report for the second preliminary consultation is included in this report as background.

**PROPOSAL**

The applicant proposes to:

1. Construct four houses on Lots 20, 22, 23, and Lot 30 (24-27). The houses are proposed to be 1½ story, 3-bay wood frame houses with a lower level garage. They are to have painted wood siding and window trim with shake siding in the gable and dormer pediments. The front porch columns are to be fiberglass with painted wood inset picket railings. The windows are 6/1. Roofing is to be composite shingles, the foundation wall is concrete. The house dimensions are approximately 31x36 for a footprint of about 1,116 s.f. A rear deck and front porch are shown for each house, both with wood steps leading to grade. The front porches are set on masonry piers with latticework in between. A masonry chimney is included but indicated as optional for each house.

The houses are to be set with the first level no more than 36" above grade. The

roof peak is proposed to have an elevation of no more than 30' at the front and 38' at the rear. A grading plan will be provided by the applicant.

2. Construct optional detached garages on Lots 20 and 30.
3. Close off the existing entrance to the property from the street and install a new 9' driveway leading from Lot 23 to the houses on the other 4 lots. The driveway is proposed to go across the front of the historic residence with an easement on that lot (Lot 21) for the driveway leading to Lot 20.
4. Install brick walkways alongside the driveway leading to the entrance of each house.
5. Remove trees as follows:

Lot 20	8" chestnut (for optional garage).
Lot 21	24" oak (too close to house site on Lot 22 ).
Lot 22	12" maple (on house site). Triple-trunk locust (on house site).
Lot 23	18" maple (driveway). 12" cherry (driveway). Pine (driveway). 8" poplar (house).
Lot 30	12" poplar (driveway). 12" poplar (driveway). 24" oak (house and driveway). 20" poplar (optional garage). Grove including 10", 10", 20", 10", 12" poplar and 8" chestnut (house).
6. Construct a retaining wall from the house on Lot 23 south to Lot 30. No design or materials are included.
7. Install board on board wood fence on rear property line between the houses and the train track at the maximum height allowed, not to exceed 8'.
8. Install a fence along Capitol View Avenue not to exceed 36", the design to be determined with staff.
9. Install signage at the south corner of the property and at the entrance to the property, the design to be submitted as a revision to this HAWP or for staff approval.

### **STAFF DISCUSSION**

Plans have been provided to the LAP in order that they may comment on the proposal.

The house that is proposed to be reproduced four times as the infill around the historic

residence is in keeping in terms of materials, size and design with the simple Bungalow at 9816.

Staff was of the opinion that a black chain link fence would protect the homeowners from the train track without blocking the view, but would concur with the board on board fence design for the rear property line as the applicant feels that the view of the train track should be obscured. Staff would note that the maximum height usually allowed by the HPC is 6'6", but the commission may want to make an exception if the proposed height is allowed by DPS. The design for a front fence is to be submitted at a later date, but the placement of a fence is included in the application.

In the Capitol View Park Historic District, one of the notable differences between the historic resources and the non-contributing infill areas is the greater amount of paved surfaces at the infill sites with the subsequent loss of woodland setting, which is an important feature of the historic district. To minimize this problem, staff would make the following suggestions with regard to the tree removal, paving, and optional garages:

- A. The paving be substantially reduced throughout the site by eliminating the paved visitor and parallel parking and limiting the width of the roads to 9 feet.
- B. Staff would also suggest that a low hedgerow be planted between the internal roadway and the street.
- C. Staff would recommend that the optional garages be deleted as they add to the impermeable surfaces on the site and require the removal of several trees. As the houses are designed with interior garages, the free-standing garages are redundant.
- D. To further reduce the impact of the extensive overlay of impermeable surface on the wooded lot, staff would suggest that the sidewalks be spaced paving stones rather than brick walkways.
- E. Tree removal should be kept to a minimum.
  1. Although it is not apparent that the loss of the 24" oak between Lot 21 and Lot 22 can be avoided, staff would point out that this oak is one of the primary trees on the site and further study should be done to determine if the house placement can be modified to save it.
  2. The loss of an entire grove of trees on Lot 30 should also be studied further to determine if they must be removed.
  3. The 24" oak on Lot 30 and the small chestnut on Lot 20 can be retained if the garages are deleted.
- F. A detailed design for the entry and roadside including signage at the entry and at the south end of the property, front fence design, and curb cuts or other paving features at the entry should be provided as a revision of the HAWP.

## STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the conditions:

1. A tree protection plan, including stress reduction measures, is developed and provided to staff concurrently with a final grading and erosion control (retaining wall) plan.
2. The optional garages be deleted.
3. A modified paving plan be provided to include 9 foot roadways, a front hedgerow, deletion of paved parallel and visitor parking, and driveways to the optional garages.
4. Removal of the 24" oak on Lot 21 and the grove on Lot 30 be investigated further, with final resolution made at staff level.
5. The sidewalks be constructed of spaced paving stones rather than laid brick.
6. The designs for the signage, entry, and front fence be submitted to staff for approval.

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Joe Alfandre

Daytime Phone No.: 301-946-9500

Tax Account No.: 2283876

Name of Property Owner: Design Homes Daytime Phone No.: 301-946-9500

Address: 10423 Armory Avenue # 180-c Kensington, Maryland 20895  
Street Number City State Zip Code

Contractor: Design Homes, LLC Phone No.: 301-946-9500

Contractor Registration No.: 3464

Agent for Owner: Joe Alfandre Daytime Phone No.: 301-946-9500

## LOCATION OF BUILDING/PREMISE

House Number: 9816 Street: Capitol View Avenue, Silver Spring

Town/City: Capitol View Park Nearest Cross Street: Stoneybrook Road

Lot: 20, 22, 23, 30 Block: 31 Subdivision: Capitol View Park

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: I. D. 13-0099628

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate  
 Move  Install  Wreck/Raze  
 Revision  Repair  Revocable

### CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 150,000 x 4

1C. If this is a revision of a previously approved active permit, see Permit # N/A

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 8 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Joe Alfandre  
Signature of owner or authorized agent

6-30-99  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission.

5



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Sears Bungalow rehab subject to HAWP Permit # 9903250080.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

HAWP application of 4 R-60 lots previously discussed at preliminary hearing.

Enclosed site plan provides tree survey and location of new house foundations

relative to tree location. It also reflects spatial considerations and scale

relative to Capitol View Avenue and the existing Sears bungalow. A barrier fence

at the rear of the property at junction with CSX rail right of way is also included.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

## HISTORIC PRESERVATION COMMISSION STAFF REPORT

**Address:** 9816 Capitol View Avenue, Silver Spring      **Meeting Date:** 05/12/99  
**Resource:** Capitol View Park Historic District      **Report Date:** 05/05/99  
**Case Number:** Not applicable      **Public Notice:** 04/28/99  
**Review:** 2<sup>nd</sup> Preliminary Consultation      **Tax Credit:** None  
**Applicant:** Design Homes, LLC (Joe Alfandre)      **Staff:** Perry Kephart  
**PROPOSAL:** New Construction      **RECOMMEND:** Return for 3<sup>rd</sup> PrelCons

---

### BACKGROUND

The yellow frame Sears-type Bungalow, built in 1928 at 9816 Capitol View Avenue, is a contributing resource and a familiar landmark in the Capitol View Park Historic District. The house is set at the front of a 52,475 foot lot (lots 20 through partial lot 27 on the attached map, circle S) that has no other improvements at this time. The house is clearly seen on the left at the top of the big curve as one enters the historic district from the south along Capitol View Avenue.

The only access to the property from Capitol View is a short driveway immediately adjacent to the house. The driveway leads to a lower level basement garage. The land drops off from the front to the back of the property (east to west) and from northern wider section to the narrower southern area. The Metropolitan (now CSX) railroad line runs behind the length of the property. There are several mature shade trees on the lot including hickory, oak, poplar, maple, and locust.

The historic district in which the resource is located is significant as an example of a railroad community that began with the construction of the Metropolitan Branch of the B & O Railroad in the 1870's. The two major building styles that reflect the early years of the community are large Queen Anne houses from the late 19<sup>th</sup> and early 20<sup>th</sup> century and more modest Sears-type kit houses from the early 20<sup>th</sup> century.

As noted in the Capitol View & Vicinity Approved and Adopted Sector Plan, July 1982, "Most Capitol View Park structures possess little distinction as architectural entities. When grouped, however, these resources meet the criteria for district designation as a visual example of suburban development styles." The bungalow at 9816 Capitol View is an integral and highly visible part of the historic district streetscape.

Demolition of the historic resource was applied for by the previous owner and denied by the HPC. During that review process a number of issues were raised, some of which are



considered below. The property has been purchased by the applicant who is returning for a second preliminary consultation on this project.

## **PROPOSAL**

The applicant proposes to construct 5 new houses on the lots on either side of the existing historic resource.

The houses are sited with the narrow side of the house on Lot 20 facing Capitol View Avenue and the wider elevations of the houses on Lots 22, 23, and 24 facing the street.

Plans for the house on Lot 25 are not included in this presentation. Removal of that house from the proposal may better protect the wooded character of the lot and greatly decrease the amount of paving required.

The houses are proposed to have a footprint of approximately 1,120 s.f. with living space of 2,300 s.f.

The plan submitted is for a 1½ story, front gable, frame cottage with lapped and shingle wood siding and 4/1 windows. A cross gable extends over a columned main entry (side) porch that has stairs leading down to grade. The garage is set to the rear of the lower/basement level below a bracketed bumpout. There is a half-hexagon bay on the front elevation. There is a gabled dormer next to the entry porch and a shed dormer at the opposite side.

The driveway system has been enlarged to include parking spaces and aprons and no longer shows an entry from the south end of the property.

No tree survey has been shown with the new configuration.

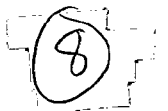
## **STAFF DISCUSSION**

The plan submitted for the new house is appropriate in size and materials to the historic streetscape. The half-hexagon bay on the front should be replaced with a square-cornered bay to stay within the vocabulary of the rest of the design. Placing the houses with the narrower width to the road is in keeping with the siting of the historic resource on the property. Placing the narrower elevation such that it is the view as one comes up the hill into the district may lessen the impact of the houses from that direction.

The Local Advisory Panel has indicated that they will be providing further input into the discussion of the proposed project.

Some of the issues that should be considered in reviewing the proposed infill are:

1. No information has been provided as to the drainage problems presented by the previous owner. Determination of the extent of that problem and remediation to





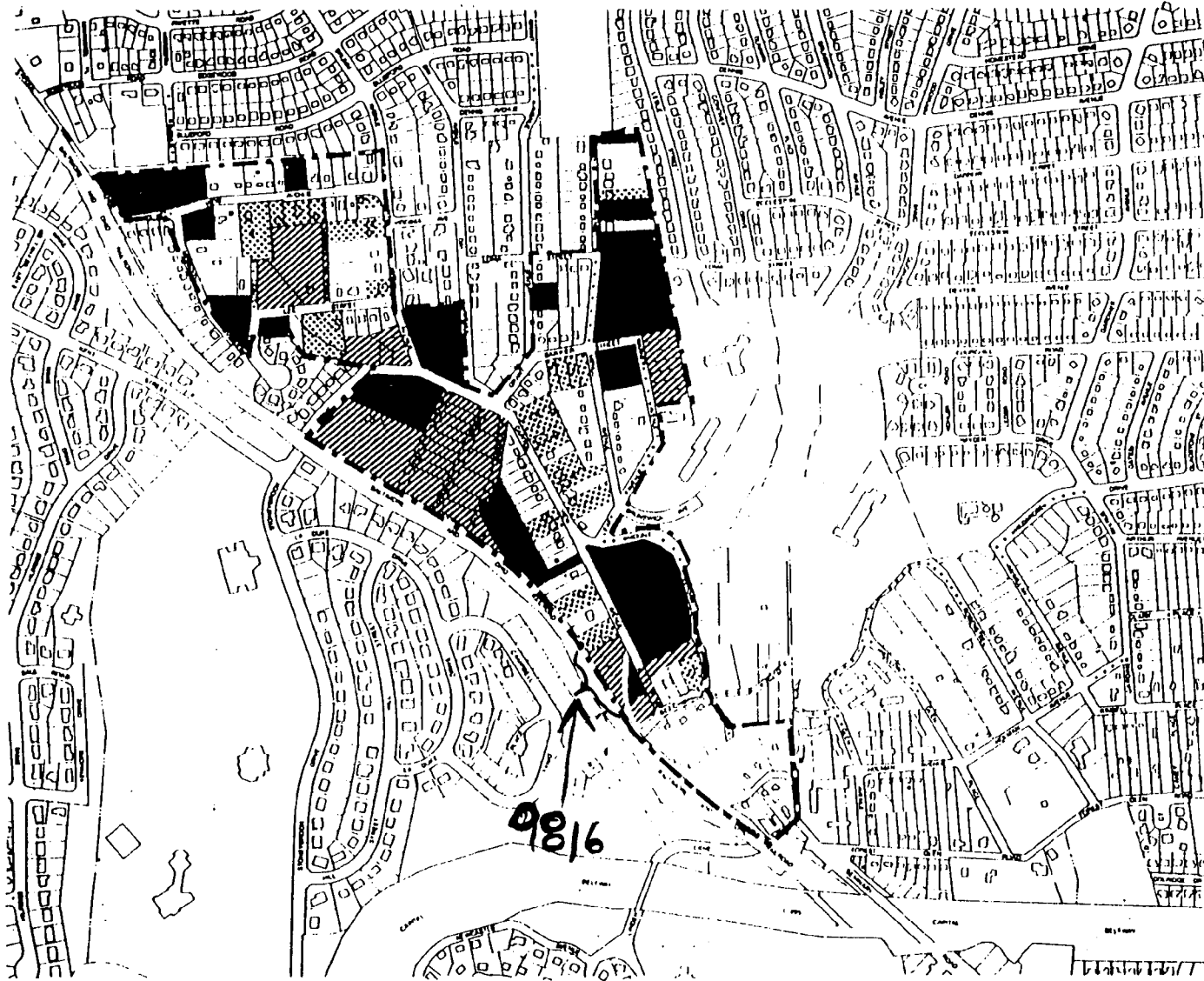
avoid further damage to the historic resource might be considered as a condition of approval.

2. A tree survey indicating what trees are proposed to be removed or are affected by the construction should be included in the application.
3. A grading plan indicating the extent of grading required for this project should be included in the application.
4. The design and location of any fencing should be considered in the design for the site.
5. The type of paving that is planned for the site should be considered. The amount of paving has increased in the most recent iteration. Losing the wooded character of the site to paving may preclude the installation of as many houses as are being proposed.

#### **STAFF RECOMMENDATION**

Staff recommends that the plans be supplemented with further information and brought to the HPC for a third preliminary consultation unless the issues discussed at this consultation can be resolved and plans provided in sufficient detail such that the applicant can proceed to a HAWP.









**APPROVED #31/7**  
**PROPOSED**  
**HISTORIC DISTRICT**

--- Historic District Boundary

**RESOURCES**

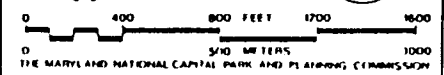
-  1870 - 1916
-  1917 - 1935
-  Nominal | 1935 - |
-  Spatial

# Capitol View Special Study Area

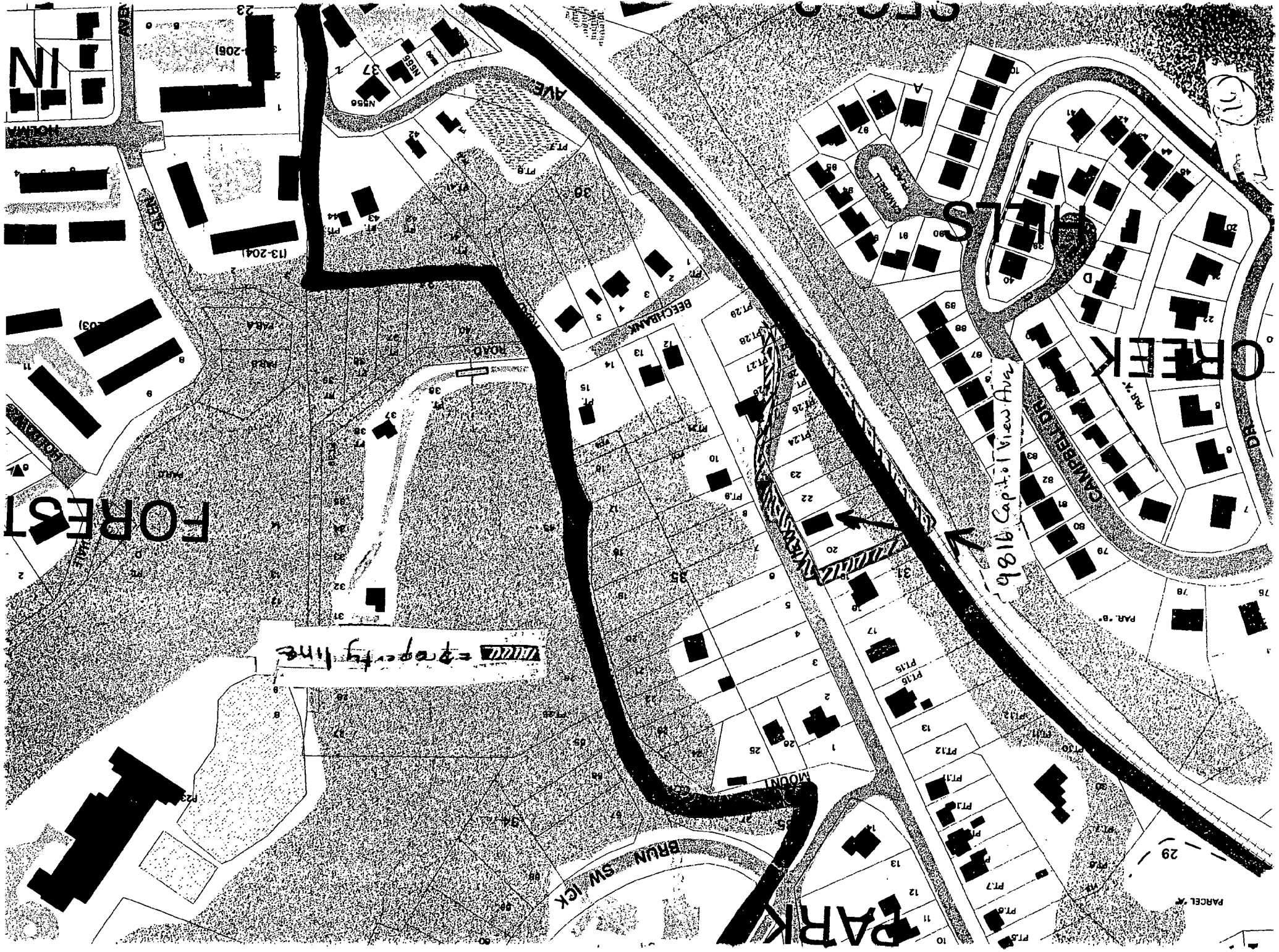
KENSINGTON-WHEATON PLANNING AREA



21



THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION



FOREST

HIGHLAND

CLAY

SUNNYVALE

PARCEL 29

PAR. B

MOON

WINDY

BRUN SW LCK

CAMBELL DR

BEECHBANK

PARK

CREEK

9816 Capitol View Ave

Property lines

113-204

113-205

113-206

113-207

113-208

113-209

113-210

113-211

113-212

113-213

113-214

113-215

113-216

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PC2  
2) precedent  
3)

Chair Cullow - house is on  
S 1/4 block lot 21 000  
w/ means)

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b> 9816 Capitol View Avenue, Silver Spring	<b>Meeting Date:</b> 05/12/99
<b>Resource:</b> Capitol View Park Historic District	<b>Report Date:</b> 05/05/99
<b>Case Number:</b> Not applicable	<b>Public Notice:</b> 04/28/99
<b>Review:</b> 2 <sup>nd</sup> Preliminary Consultation	<b>Tax Credit:</b> None
<b>Applicant:</b> Design Homes, LLC (Joe Alfandre)	<b>Staff:</b> Perry Kephart

**PROPOSAL:** New Construction      **RECOMMEND:** Return for 3<sup>rd</sup> PrelCons

Emily Wolf  
LAP-  
**BACKGROUND**

- 1) glad small use is gone.
- 2) move houses down lot.
- 3) enlarge 2nd flr. on existing house
- 4) get rid of Lot 20 use.
- 5) effect on trees.
- 6)

The yellow frame Sears-type Bungalow, built in 1928 at 9816 Capitol View Avenue, is a contributing resource and a familiar landmark in the Capitol View Park Historic District. The house is set at the front of a 52,475 foot lot (lots 20 through partial lot 27 on the attached map, circle 5) that has no other improvements at this time. The house is clearly seen on the left at the top of the big curve as one enters the historic district from the south along Capitol View Avenue.

The only access to the property from Capitol View is a short driveway immediately adjacent to the house. The driveway leads to a lower level basement garage. The land drops off from the front to the back of the property (east to west) and from northern wider section to the narrower southern area. The Metropolitan (now CSX) railroad line runs behind the length of the property. There are several mature shade trees on the lot including hickory, oak, poplar, maple, and locust.

The historic district in which the resource is located is significant as an example of a railroad community that began with the construction of the Metropolitan Branch of the B & O Railroad in the 1870's. The two major building styles that reflect the early years of the community are large Queen Anne houses from the late 19<sup>th</sup> and early 20<sup>th</sup> century and more modest Sears-type kit houses from the early 20<sup>th</sup> century.

As noted in the Capitol View & Vicinity Approved and Adopted Sector Plan, July 1982, "Most Capitol View Park structures possess little distinction as architectural entities. When grouped, however, these resources meet the criteria for district designation as a visual example of suburban development styles." The bungalow at 9816 Capitol View is an integral and highly visible part of the historic district streetscape.

Demolition of the historic resource was applied for by the previous owner and denied by the HPC. During that review process a number of issues were raised, some of which are

①

considered below. The property has been purchased by the applicant who is returning for a second preliminary consultation on this project.

## **PROPOSAL**

The applicant proposes to construct 5 new houses on the lots on either side of the existing historic resource.

The houses are sited with the narrow side of the house on Lot 20 facing Capitol View Avenue and the wider elevations of the houses on Lots 22, 23, and 24 facing the street.

Plans for the house on Lot 25 are not included in this presentation. Removal of that house from the proposal may better protect the wooded character of the lot and greatly decrease the amount of paving required.

The houses are proposed to have a footprint of approximately 1,120 s.f. with living space of 2,300 s.f.

The plan submitted is for a 1½ story, front gable, frame cottage with lapped and shingle wood siding and 4/1 windows. A cross gable extends over a columned main entry (side) porch that has stairs leading down to grade. The garage is set to the rear of the lower/basement level below a bracketed bumpout. There is a half-hexagon bay on the front elevation. There is a gabled dormer next to the entry porch and a shed dormer at the opposite side.

The driveway system has been enlarged to include parking spaces and aprons and no longer shows an entry from the south end of the property.

No tree survey has been shown with the new configuration.

## **STAFF DISCUSSION**

The plan submitted for the new house is appropriate in size and materials to the historic streetscape. The half-hexagon bay on the front should be replaced with a square-cornered bay to stay within the vocabulary of the rest of the design. Placing the houses with the narrower width to the road is in keeping with the siting of the historic resource on the property. Placing the narrower elevation such that it is the view as one comes up the hill into the district may lessen the impact of the houses from that direction.

The Local Advisory Panel has indicated that they will be providing further input into the discussion of the proposed project.

Some of the issues that should be considered in reviewing the proposed infill are:

1. No information has been provided as to the drainage problems presented by the previous owner. Determination of the extent of that problem and remediation to



4 new houses the exact placement of trees. how much paving & where

avoid further damage to the historic resource might be considered as a condition of approval.

2. A tree survey indicating what trees are proposed to be removed or are affected by the construction should be included in the application.
3. A grading plan indicating the extent of grading required for this project should be included in the application.
4. The design and location of any fencing should be considered in the design for the site.
5. The type of paving that is planned for the site should be considered. The amount of paving has increased in the most recent iteration. Losing the wooded character of the site to paving may preclude the installation of as many houses as are being proposed.

Joe - wants abandoned bottom

**STAFF RECOMMENDATION**

Staff recommends that the plans be supplemented with further information and brought to the HPC for a third preliminary consultation unless the issues discussed at this consultation can be resolved and plans provided in sufficient detail such that the applicant can proceed to a HAWP.

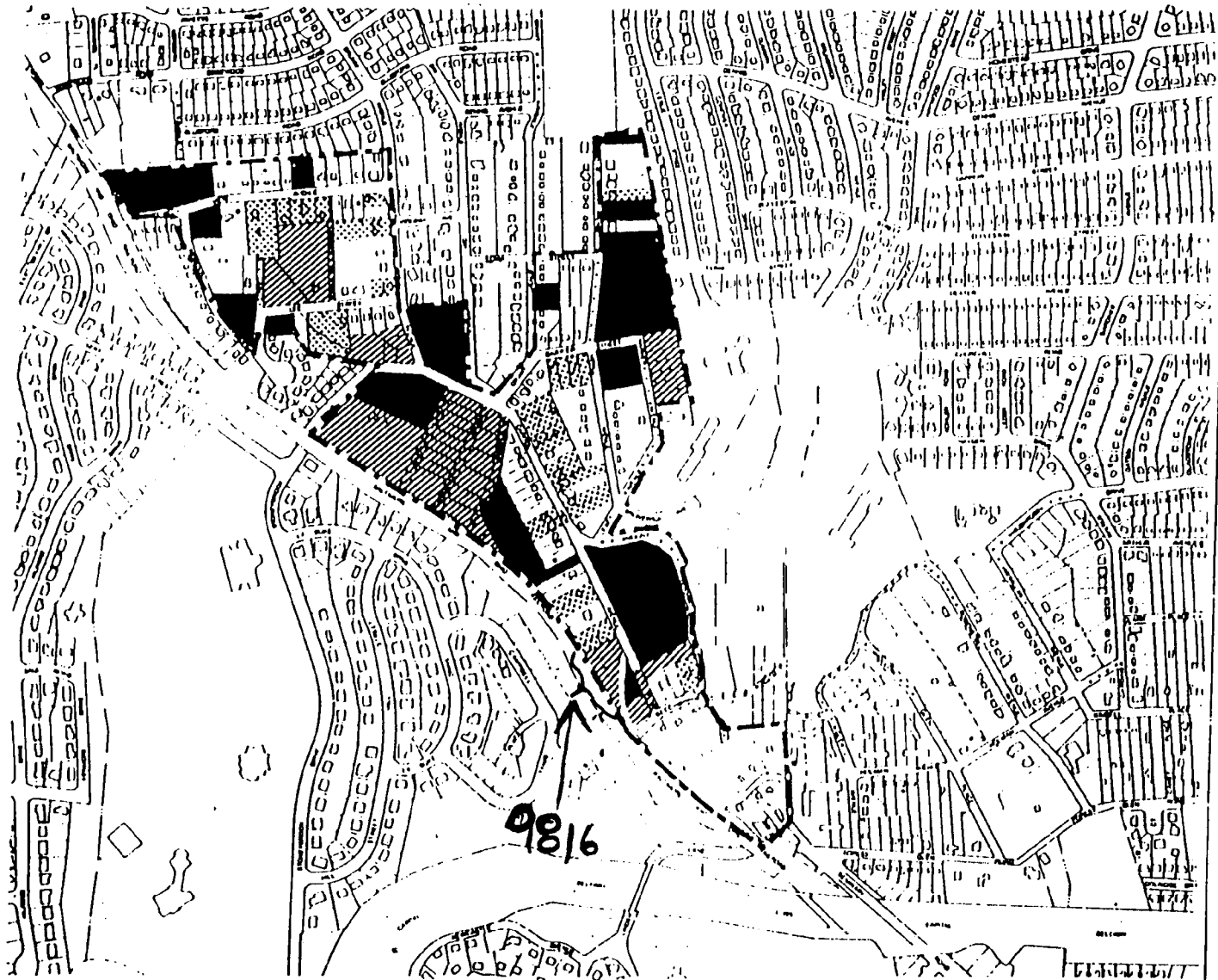
PC<sup>2</sup> - HPC comments

LW - hsc is appropriate to site - like raising placement on site like sig sig placement.

7 driveways - JA - 2 inch chip & pavers  
 putting in 2 entrances is safety issue  
 (prob w/ entry on curb)

SV 2 like it.





SB 2 -> like the cottages - concern about broad sidewalk on st.



APPROVED #31/7  
~~PROPOSED~~  
 HISTORIC DISTRICT

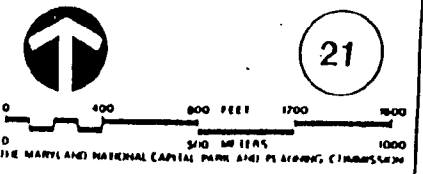
--- Historic District Boundary

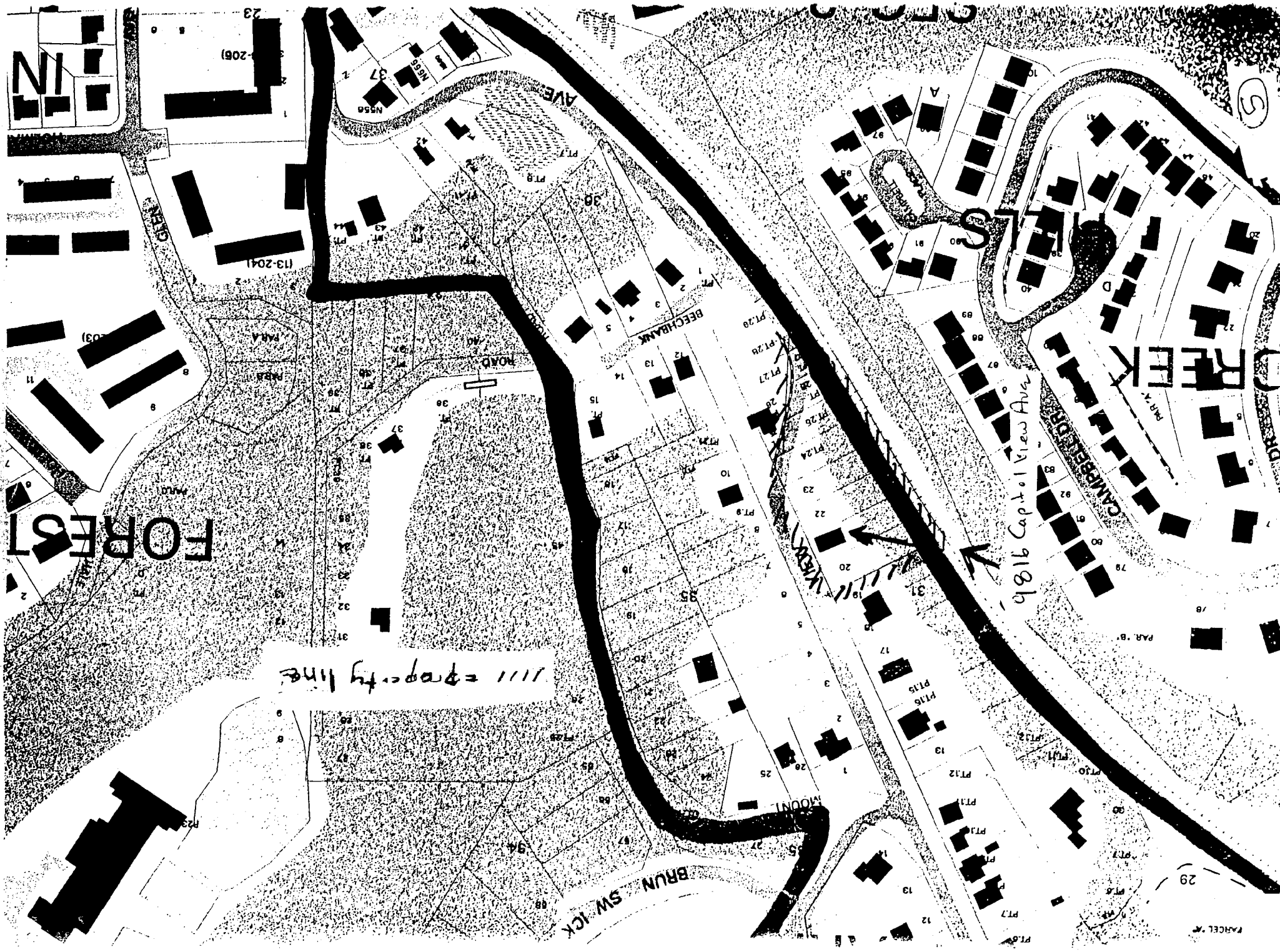
RESOURCES

-  1870 - 1916
-  1917 - 1935
-  Nominal | 1935 - |
-  Spatial

# Capitol View Special Study Area

KENSINGTON-WHEATON PLANNING AREA





FOREST

1111 = property line

9816 Capitol View Ave

BRUN SW ICK

NEW

BEECHBANK

CAMBER DRIVE

(13-204)

(206)

29

PARCEL #

5

PAR. B.

MOON

WEX

IN

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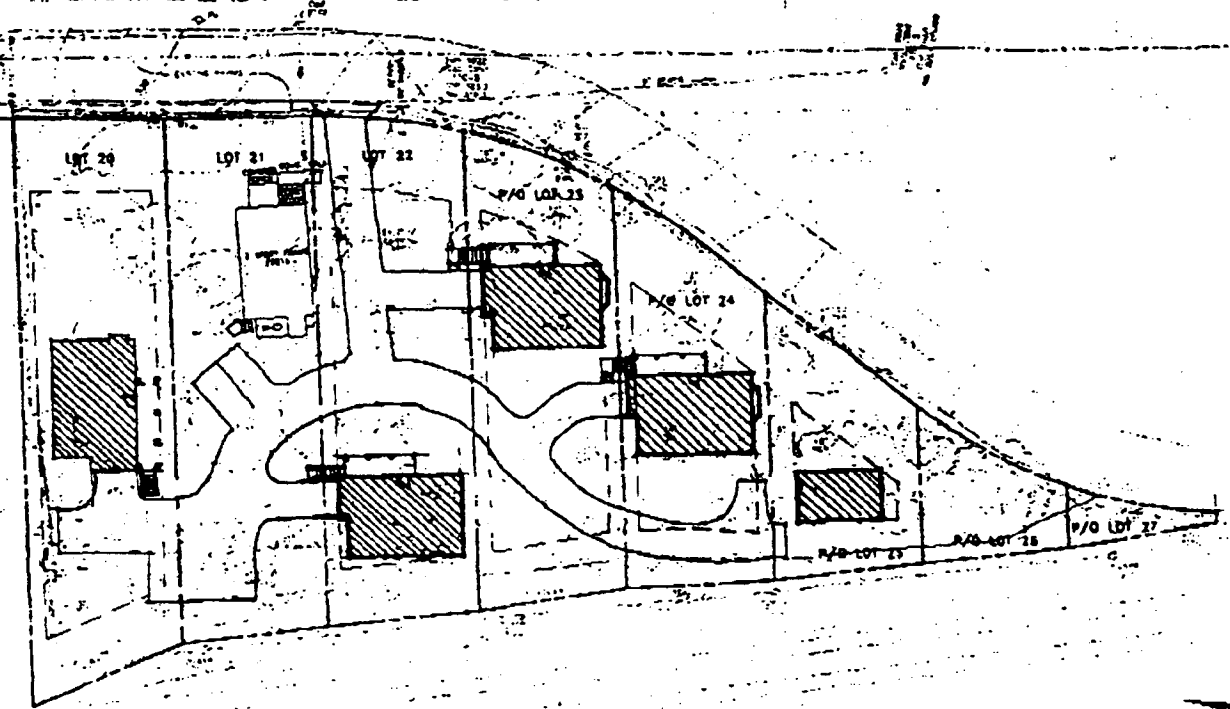
125

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128

PITOL VIEW AVENUE



GTM ARCHITECTS  
 10415 Aurora Road  
 KENNESAW, MARYLAND 20895  
 (301) 842-9942

SITE PLAN SCHEME C 1:50

NOTES

1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE.
2. TREES SHOWN PER FIELD SURVEY BY THIS OFFICE.
3. BOUNDARY OUTLINE, WITH ALL INFORMATION AND ADJOINING IN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS.

6

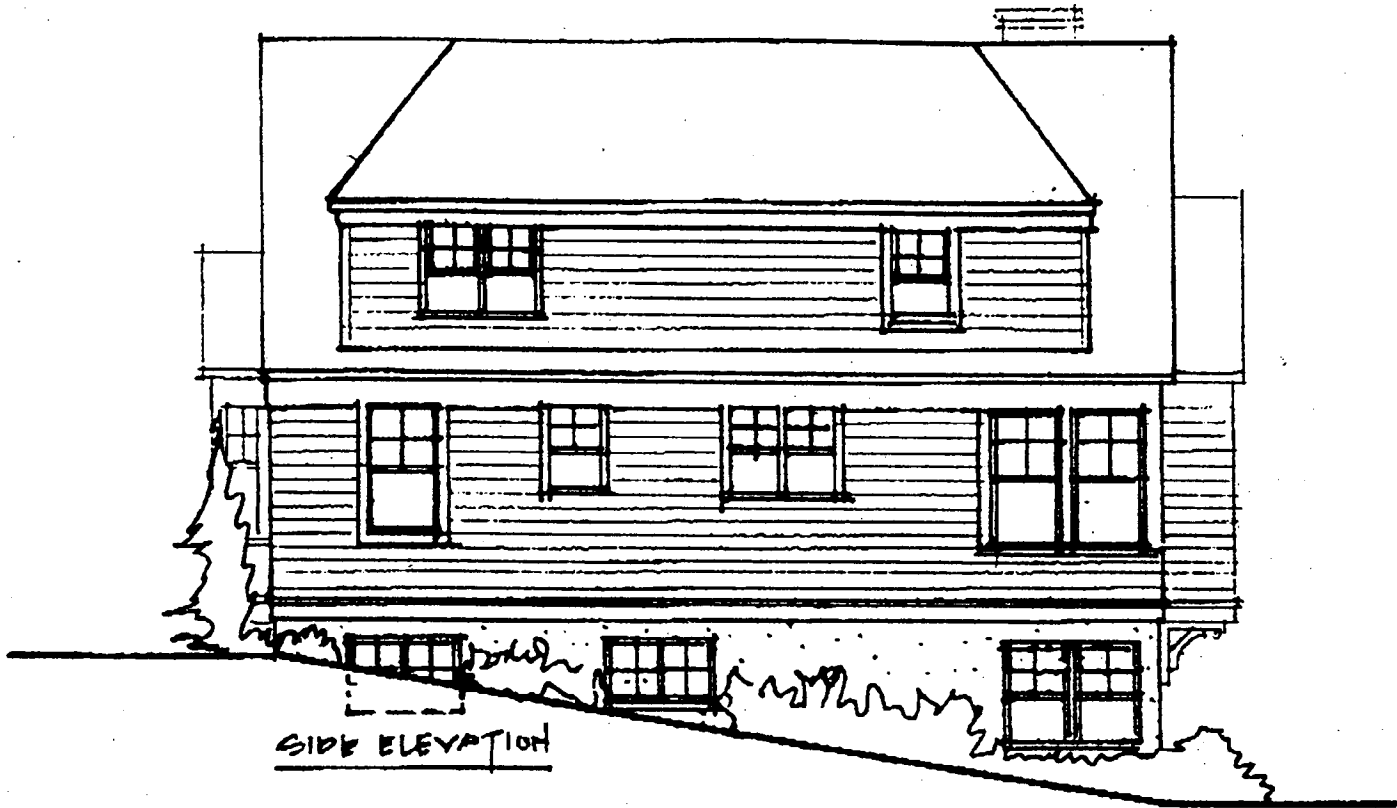


FRONT ELEVATION, (FACING CAPITOL VIEW AVE).



REAR ELEVATION

7



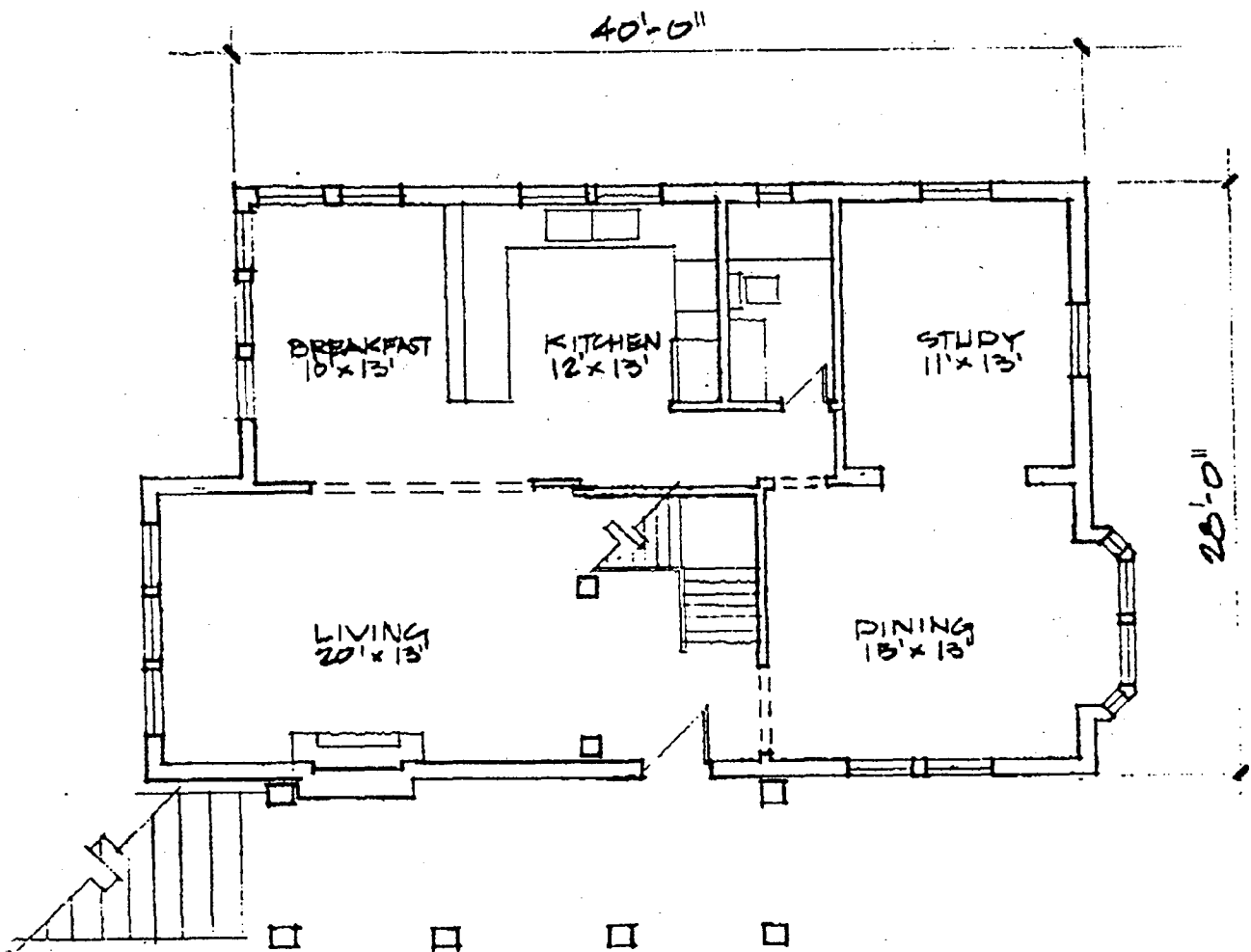
SIDE ELEVATION



SIDE ELEVATION  
(FACING CAP. VIEW AVE)

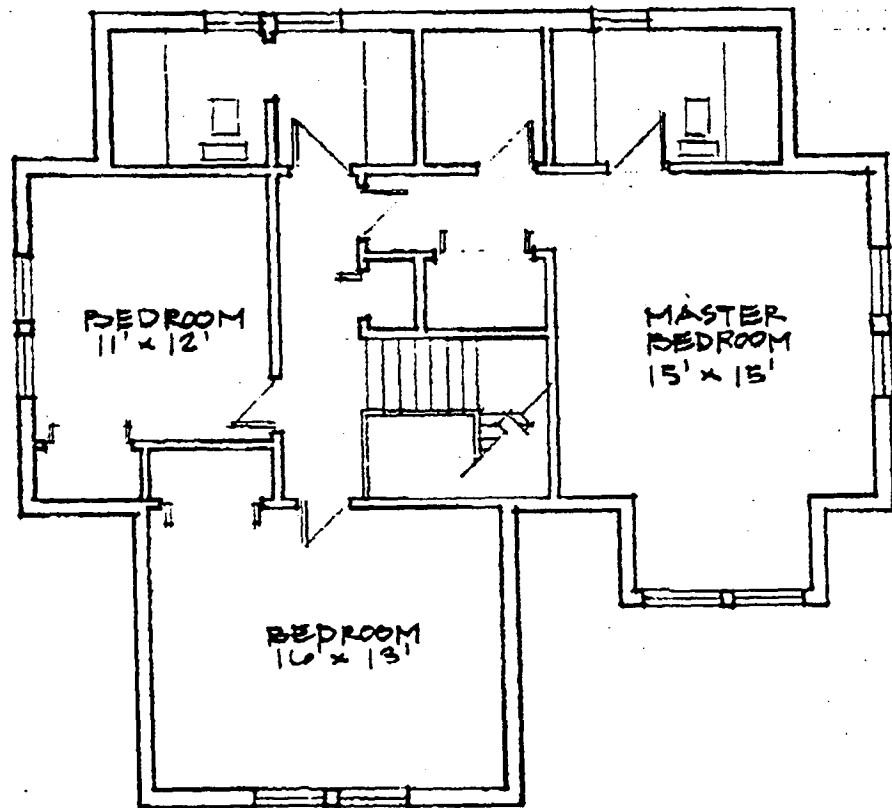
**GTM ARCHITECTS**  
10415 Armory Avenue  
KENSINGTON, MARYLAND 20895  
(301) 942-9062

8



FIRST FLOOR PLAN

1/8"  
2,300 #

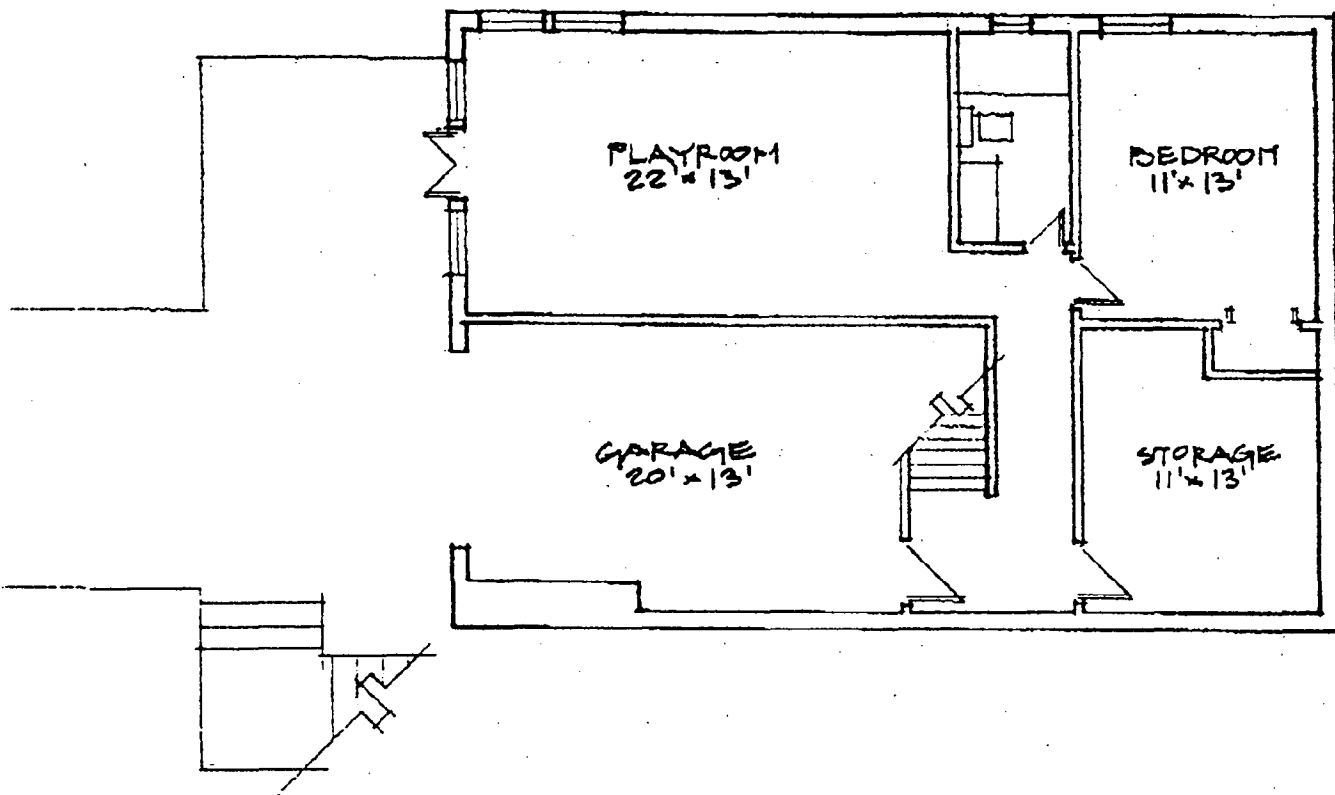


SECOND FLOOR PLAN 1/8"

**GTM ARCHITECTS**  
10415 Armory Avenue  
KENSINGTON, MARYLAND 20895  
(301) 942-9062

10





BASEMENT PLAN

1/0"

**GTM ARCHITECTS**  
10415 Armory Avenue  
KENSINGTON, MARYLAND 20895  
(301) 942-9062

11

# BUILT by OUR CUSTOMERS at SUBSTANTIAL SAVINGS

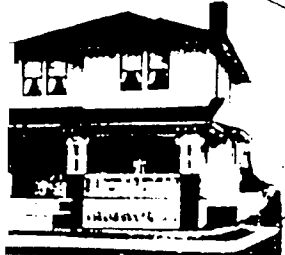


**THE WESTLY**  
I am well pleased with the good service rendered by you in building my home. I have received many compliments from my friends and neighbors. I have saved about \$1,000.00 by getting the material and service from you. I am sure you will be glad to hear from me again.  
ALBERT J. KEENE,  
1700 17th St.,  
Washington, D. C.



**THE OSBORNE**  
We are well satisfied with our "Home" house. The material is of good quality and the service is excellent. I made a big saving by the use of "Honor Bill" Ready Cut material. Our dealing with you has been unusually satisfactory and I would recommend you to anyone about to build.

CLARENCE L. PARKER,  
19 Columbia Ave.,  
Detroit, Mich.



**THE AMERIGUS**  
I am pleased to say I have received the best service and material from you. I have saved about \$1,000.00 by getting the material and service from you. I am sure you will be glad to hear from me again.  
JOHN HALL,  
W. P. Bldg., Box 445,  
Muskegon St.,  
Cleveland, Ohio.



**THE LANCASTER**  
In 1922 I bought, visited and am now living in the "Lancaster". I have since built the Alpha and am working on a Lancaster and an Alpha. Your service, quality and material makes me a devotee for "Honor Bill" houses.  
HENRY M. JUNE,  
4221 Lundy Ave.,  
Norwood, Ohio.



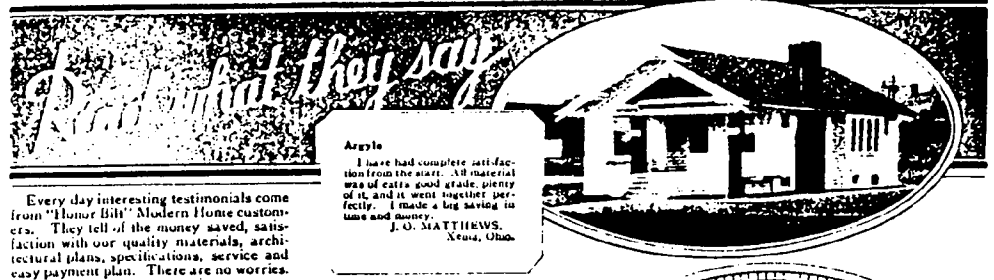
**OLIVIA**  
I am well pleased with the service and material you have rendered in building my home. I have saved about \$1,000.00 by getting the material and service from you. I am sure you will be glad to hear from me again.  
WILLIAM B. WILSON,  
W. P. Bldg., Box 445,  
Muskegon St.,  
Cleveland, Ohio.

**THE GUNWAY**  
I am well pleased with the service and material you have rendered in building my home. I have saved about \$1,000.00 by getting the material and service from you. I am sure you will be glad to hear from me again.  
WILLIAM B. WILSON,  
W. P. Bldg., Box 445,  
Muskegon St.,  
Cleveland, Ohio.



**THE ELSMORE**  
I have saved about \$1,000.00 saved by getting to Ready-Cut from Sears, Roebuck and Co.  
FRED W. KNEIPP,  
N. E. Box 2918,  
West Albany, N. Y.

The voluntary words of our customers prove the wisdom in buying "Honor Bill" Modern Homes. Here are just a few photographs and copies of parts of letters that were taken at random from our huge testimonial files. Over thirty-four thousand customers have purchased "Honor Bill" Modern Homes.



Every day interesting testimonials come from "Honor Bill" Modern Home customers. They tell of the money saved, satisfaction with our quality materials, architectural plans, specifications, service and easy payment plan. There are no worries. Our guarantee protects you in every way.

*Read what they say*

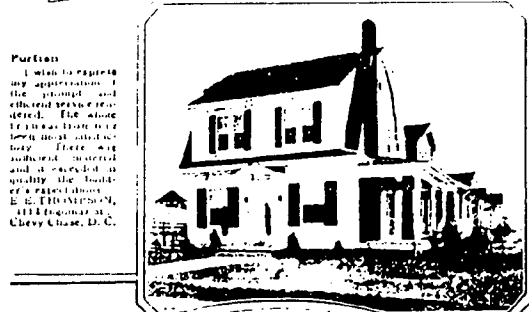
**Argyle**  
I have had complete satisfaction from the start. All material was of extra good grade, plenty of it, and it went together perfectly. I made a big saving in time and money.  
J. O. MATTHEWS,  
Xenia, Ohio.



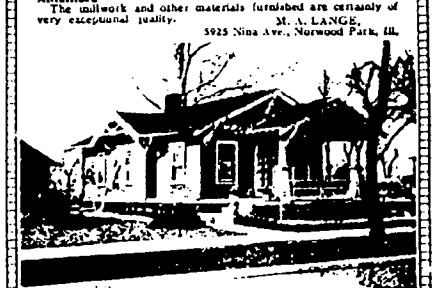
**Dear Sir:**  
I want to express my appreciation for the very courteous and efficient attention that I have received from you while building my "Martha Washington" Home. I have saved about \$1,000.00 of which I credit about \$1,000.00 to letter saved by the "Honor Bill" ready cut material.  
A. J. BERNARD,  
Washington, D. C.



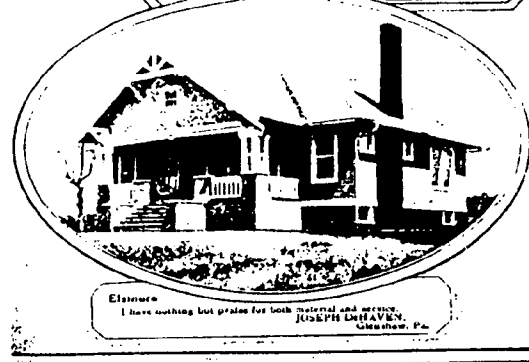
**Alhambra**  
The millwork and other materials furnished are certainly of very exceptional quality.  
5925 Nina Ave., Norwood Park, Ill.



**Parthen**  
I wish to express my appreciation for the prompt and efficient service rendered. The whole thing was done in a very few days. There are no other material and it exceeded in quality the building of a regular house.  
E. H. HARRISON,  
1114 Logansport St.,  
Chevy Chase, D. C.



**Clyde**  
I am well pleased with the house and with your material. My wife and I, who are nearing 60 years, built the house ourselves and we saved about \$1,300.00.  
W. E. O'NEIL,  
715 Maple St., Wainago, Kan.



**Elsmore**  
I have nothing but praise for both material and service.  
JOSEPH DEHAVEN,  
Cincinnati, Ohio.



**Woodland**  
Thank you for the efficient services rendered. The house was erected in a wonderfully short period.  
LOUIS T. MACKIE,  
Cincinnati, Ohio.



Confronting property owners:

9808 Capitol View Ave. - David C. Clough, Jr.  
Silver Spring, MD 20910

9811 Capitol View Ave. - Duncan E. Tebow  
Silver Spring, MD 20910

9819 Capitol View Ave - Eloise B. Cohen  
Silver Spring, MD 20910

adjoining property owner:

9822 Capitol View Ave. - Charles W. Fallow  
Silver Spring, MD, 20910

George Myers  
GTM Architects  
10415 Armory Avenue  
Kensington MD 20895

Design Homes  
10423 Armory Ave #180C  
Kensington MD 20895

To: Perry  
Kephart

From: Emily  
Volz

Capitol View Park Citizen's Association  
9826 Capitol View Avenue  
Silver Spring, Maryland 20910

April 11, 1999

Ms. Perry Kephart, Historic Preservation Planner  
M-NCPPC  
8787 Georgia Avenue  
Silver Spring, MD. 20910-3760

**Re: Mr. Alfandre's Proposed Site Plan  
for 9816 Capitol View Avenue**

Dear Ms. Kephart,

As President of the Capitol View Park Citizen's Association, I am writing to express our Executive Committee's concern over Mr. Alfandre's proposal to build five houses on the location of the Moore House at 9816 Capitol View Avenue.

Our primary concerns about the proposal are simple. First, building five houses, of any size, on these 5 1/2 lots at the north entry point to our Historic District is totally out of context with the historic character of the neighborhood. In 1982 we received one of the first designations as a suburban Historic District—a major factor was that Capitol View Park was developed in the 1870s when the Metropolitan Branch of the B & O Railroad was built.

Since 1870, the houses bordering on the railroad tracks at the North End of Capitol View have had deep sweeping back yards, full of 200 year old oak trees. The long, uninterrupted green space from Lot 10 to Lot 29, has a breath taking visual effect—you stand in the back yards of these homes, and you feel and touch the rural world of the late 1800s—it is exactly the visual and aesthetic effect that the Historic Sector Plan of 1982 sought to preserve. The community and the Preservation Board at the time knew all too well, that though development would eventually come into this area—it was important to try to preserve what was of significant historic value and could never be replaced.

The proposal to build approximately one house for each lot, goes against the entire context of that part of the Historic District where all the adjacent homes are built on 2-2 1/2 lot properties. The large spacious yards that back on to the railroad at that point of Capitol View Avenue, set the tone for the whole District. Please don't let this well preserved historic district become encumbered by many new homes and small lots that will undermine the spirit of the Historic designation.

Our second concern is much more modern and urban—as a community we have studied and asked the State and County numerous times to look into ways to increase safety on Capitol View Avenue. Much has been done over the years, including repaving, improved signage and the possibility of a stop sign or stop light at Beechbank and Capitol View. It is important to underscore, however, that the very “S” curve that begins at the Moore property is the location of the most accidents and speeding reports along Capitol View. To build five homes with cars emptying onto and off of Capitol View right in the “S” curve seems to us to be poor transportation planning and adding more danger to a notorious section of the road. In short, a step backward in improving the safety of Capitol View for residents, commuters and pedestrians.

We ask you to please take our concerns seriously, and encourage the developer to rethink his plans so he can gain value from his property, but also live within the historic parameters of a community that's 120 years old.

I personally will be out of town from 4/13 to 4/14 and will miss the hearing. I will try to call your office Wednesday to talk about these issues more informally. Please feel to call me. My home number is 301-587-7403 and the office is 301-588-4442.

Thanks your for consideration.

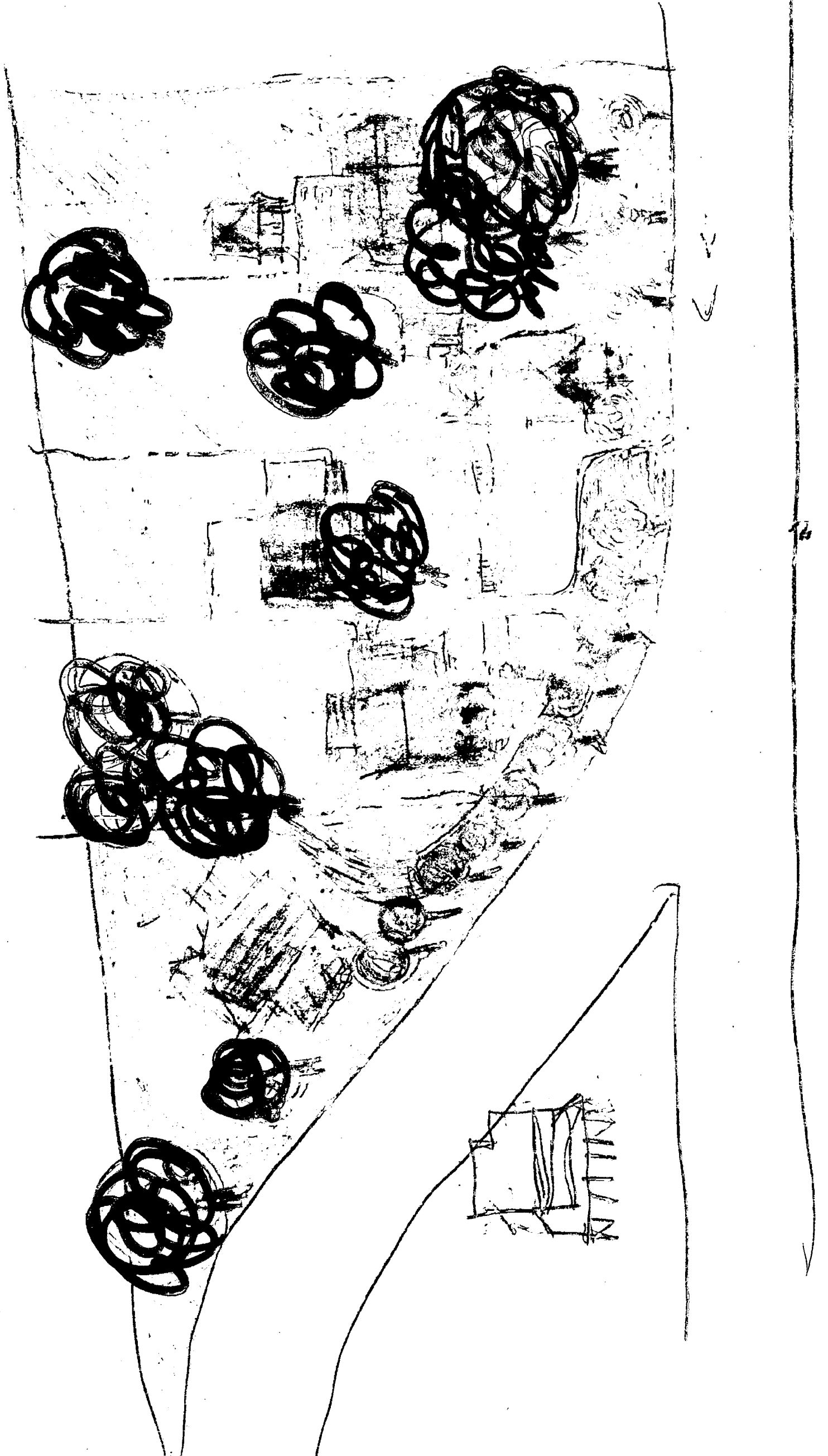
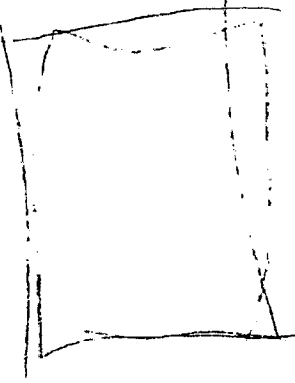
Sincerely,

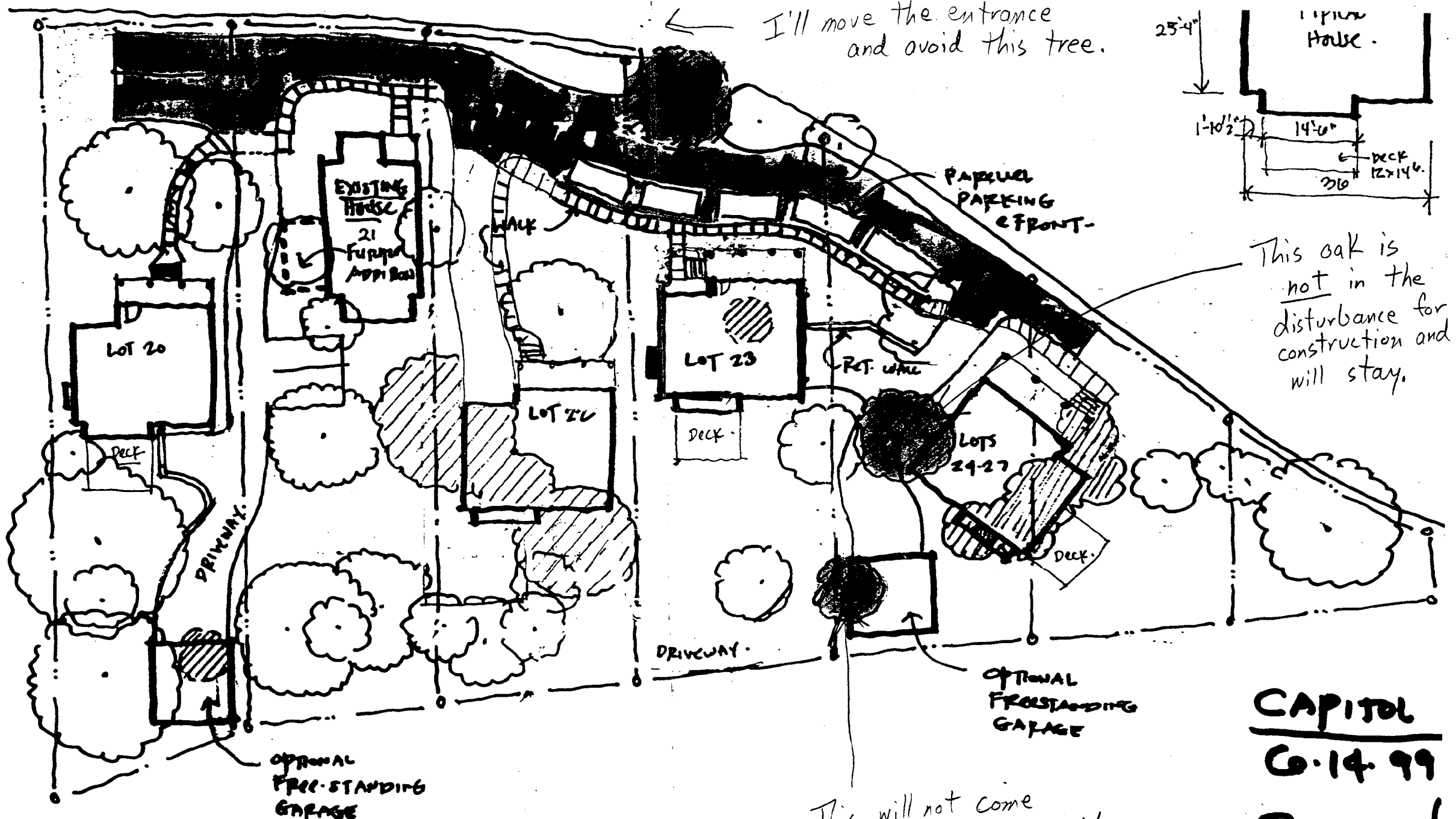


Roger Friedman  
President

Capitol View Park Citizen's Association

Tomorrow w/c  
Call Post





This oak is not in the disturbance for construction and will stay.

I'll move the entrance and avoid this tree.

This will not come down. I can move the garage.

CAPITOL  
 6.14.99  
 Rev. 6/

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

**Address:** 9816 Capitol View Avenue, Silver Spring      **Meeting Date:** 07/14/99  
**Resource:** Capitol View Park Historic District      **Report Date:** 07/07/99  
**Review:** HAWP      **Public Notice:** 06/30/99  
**Case Number:** 31/7-99F      **Tax Credit:** None  
**Applicant:** Design Homes (Joe Alfandre)      **Staff:** Perry Kephart

**PROPOSAL:** New Construction (Four houses, driveways, sidewalks, retaining wall, garages).

**RECOMMEND:** Approve with conditions.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource in Capitol View Park Historic District.  
**STYLE:** Bungalow.  
**DATE:** 1928.

The property is a Sears-type 1½ story bungalow set at the front of a 52,475 s.f. lot (Lots 20 through partial Lot 27 on the attached map, circle 16 - Lots 24 to 27 are being consolidated and are referred to as Lot 30 on the site development plan, circle 23). The staff report for the second preliminary consultation is included in this report as background.

**PROPOSAL**

The applicant proposes to:

1. Construct four houses on Lots 20, 22, 23, and Lot 30 (24-27). The houses are proposed to be 1½ story, 3-bay wood frame houses with a lower level garage. They are to have painted wood siding and window trim with shake siding in the gable and dormer pediments. The front porch columns are to be fiberglass with painted wood inset picket railings. The windows are 6/1. Roofing is to be composite shingles, the foundation wall is concrete. The house dimensions are approximately 31x36 for a footprint of about 1,116 s.f. A rear deck and front porch are shown for each house, both with wood steps leading to grade. The front porches are set on masonry piers with latticework in between. A masonry chimney is included but indicated as optional for each house.

The houses are to be set with the first level no more than 36" above grade. The



roof peak is proposed to have an elevation of no more than 30' at the front and 38' at the rear. A grading plan will be provided by the applicant.

2. Construct optional detached garages on Lots 20 and 30.
3. Close off the existing entrance to the property from the street and install a new 9' driveway leading from Lot 23 to the houses on the other 4 lots. The driveway is proposed to go across the front of the historic residence with an easement on that lot (Lot 21) for the driveway leading to Lot 20.
4. Install brick walkways alongside the driveway leading to the entrance of each house.
5. Remove trees as follows:

Lot 20	8" chestnut (for optional garage).
Lot 21	24" oak (too close to house site on Lot 22 ).
Lot 22	12" maple (on house site). Triple-trunk locust (on house site).
Lot 23	18" maple (driveway). 12" cherry (driveway). Pine (driveway). 8" poplar (house).
Lot 30	12" poplar (driveway). 12" poplar (driveway). 24" oak (house and driveway). 20" poplar (optional garage). Grove including 10", 10", 20", 10", 12" poplar and 8" chestnut (house).
6. Construct a retaining wall from the house on Lot 23 south to Lot 30. No design or materials are included.
7. Install board on board wood fence on rear property line between the houses and the train track at the maximum height allowed, not to exceed 8'.
8. Install a fence along Capitol View Avenue not to exceed 36", the design to be determined with staff.
9. Install signage at the south corner of the property and at the entrance to the property, the design to be submitted as a revision to this HAWP or for staff approval.

### **STAFF DISCUSSION**

Plans have been provided to the LAP in order that they may comment on the proposal.

The house that is proposed to be reproduced four times as the infill around the historic

residence is in keeping in terms of materials, size and design with the simple Bungalow at 9816.

Staff was of the opinion that a black chain link fence would protect the homeowners from the train track without blocking the view, but would concur with the board on board fence design for the rear property line as the applicant feels that the view of the train track should be obscured. Staff would note that the maximum height usually allowed by the HPC is 6'6", but the commission may want to make an exception if the proposed height is allowed by DPS. The design for a front fence is to be submitted at a later date, but the placement of a fence is included in the application.

In the Capitol View Park Historic District, one of the notable differences between the historic resources and the non-contributing infill areas is the greater amount of paved surfaces at the infill sites with the subsequent loss of woodland setting, which is an important feature of the historic district. To minimize this problem, staff would make the following suggestions with regard to the tree removal, paving, and optional garages:

- A. The paving be substantially reduced throughout the site by eliminating the paved visitor and parallel parking and limiting the width of the roads to 9 feet.
- B. Staff would also suggest that a low hedgerow be planted between the internal roadway and the street.
- C. Staff would recommend that the optional garages be deleted as they add to the impermeable surfaces on the site and require the removal of several trees. As the houses are designed with interior garages, the free-standing garages are redundant.
- D. To further reduce the impact of the extensive overlay of impermeable surface on the wooded lot, staff would suggest that the sidewalks be spaced paving stones rather than brick walkways.
- E. Tree removal should be kept to a minimum.
  - 1. Although it is not apparent that the loss of the 24" oak between Lot 21 and Lot 22 can be avoided, staff would point out that this oak is one of the primary trees on the site and further study should be done to determine if the house placement can be modified to save it.
  - 2. The loss of an entire grove of trees on Lot 30 should also be studied further to determine if they must be removed.
  - 3. The 24" oak on Lot 30 and the small chestnut on Lot 20 can be retained if the garages are deleted.
- F. A detailed design for the entry and roadside including signage at the entry and at the south end of the property, front fence design, and curb cuts or other paving features at the entry should be provided as a revision of the HAWP.

## **STAFF RECOMMENDATION**

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the conditions:

1. A tree protection plan, including stress reduction measures, is developed and provided to staff concurrently with a final grading and erosion control (retaining wall) plan.
2. The optional garages be deleted.
3. A modified paving plan be provided to include 9 foot roadways, a front hedgerow, deletion of paved parallel and visitor parking, and driveways to the optional garages.
4. Removal of the 24" oak on Lot 21 and the grove on Lot 30 be investigated further, with final resolution made at staff level.
5. The sidewalks be constructed of spaced paving stones rather than laid brick.
6. The designs for the signage, entry, and front fence be submitted to staff for approval.

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Joe Alfandre

Daytime Phone No.: 301-946-9500

Tax Account No.: 2283876

Name of Property Owner: Design Homes Daytime Phone No.: 301-946-9500

Address: 10423 Armory Avenue # 180-c Kensington, Maryland 20895  
Street Number City State Zip Code

Contractor: Design Homes, LLC Phone No.: 301-946-9500

Contractor Registration No.: 3464

Agent for Owner: Joe Alfandre Daytime Phone No.: 301-946-9500

## LOCATION OF BUILDING/PREMISE

House Number: 9816 Street: Capitol View Avenue, Silver Spring

Town/City: Capitol View Park Nearest Cross Street: Stoneybrook Road

Lot: 20, 22, 23, 30 Block: 31 Subdivision: Capitol View Park

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: I. D. 13-0099628

## PART ONE: TYPE OF PERMIT ACTION AND USE

### 1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate  
 Move  Install  Wreck/Raze  
 Revision  Repair  Revocable

### CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed  
 Solar  Fireplace  Woodburning Stove  Single Family  
 Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 150,000 x 4

1C. If this is a revision of a previously approved active permit, see Permit # N/A

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 8 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Joe Alfandre  
Signature of owner or authorized agent

6-30-99  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Sears Bungalow rehab subject to HAWP Permit # 9903250080.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

HAWP application of 4 R-60 lots previously discussed at preliminary hearing.

Enclosed site plan provides tree survey and location of new house foundations

relative to tree location. It also reflects spatial considerations and scale

relative to Capitol View Avenue and the existing Sears bungalow. A barrier fence

at the rear of the property at junction with CSX rail right of way is also included.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

a. the scale, north arrow, and date;

b. dimensions of all existing and proposed structures; and

c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.

b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.

b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b> 9816 Capitol View Avenue, Silver Spring	<b>Meeting Date:</b> 05/12/99
<b>Resource:</b> Capitol View Park Historic District	<b>Report Date:</b> 05/05/99
<b>Case Number:</b> Not applicable	<b>Public Notice:</b> 04/28/99
<b>Review:</b> 2 <sup>nd</sup> Preliminary Consultation	<b>Tax Credit:</b> None
<b>Applicant:</b> Design Homes, LLC (Joe Alfandre)	<b>Staff:</b> Perry Kephart
<b>PROPOSAL:</b> New Construction	<b>RECOMMEND:</b> Return for 3 <sup>rd</sup> PrelCons

---

**BACKGROUND**

The yellow frame Sears-type Bungalow, built in 1928 at 9816 Capitol View Avenue, is a contributing resource and a familiar landmark in the Capitol View Park Historic District. The house is set at the front of a 52,475 foot lot (lots 20 through partial lot 27 on the attached map, circle 5) that has no other improvements at this time. The house is clearly seen on the left at the top of the big curve as one enters the historic district from the south along Capitol View Avenue.

The only access to the property from Capitol View is a short driveway immediately adjacent to the house. The driveway leads to a lower level basement garage. The land drops off from the front to the back of the property (east to west) and from northern wider section to the narrower southern area. The Metropolitan (now CSX) railroad line runs behind the length of the property. There are several mature shade trees on the lot including hickory, oak, poplar, maple, and locust.

The historic district in which the resource is located is significant as an example of a railroad community that began with the construction of the Metropolitan Branch of the B & O Railroad in the 1870's. The two major building styles that reflect the early years of the community are large Queen Anne houses from the late 19<sup>th</sup> and early 20<sup>th</sup> century and more modest Sears-type kit houses from the early 20<sup>th</sup> century.

As noted in the Capitol View & Vicinity Approved and Adopted Sector Plan, July 1982, "Most Capitol View Park structures possess little distinction as architectural entities. When grouped, however, these resources meet the criteria for district designation as a visual example of suburban development styles." The bungalow at 9816 Capitol View is an integral and highly visible part of the historic district streetscape.

Demolition of the historic resource was applied for by the previous owner and denied by the HPC. During that review process a number of issues were raised, some of which are

(5)

considered below. The property has been purchased by the applicant who is returning for a second preliminary consultation on this project.

## **PROPOSAL**

The applicant proposes to construct 5 new houses on the lots on either side of the existing historic resource.

The houses are sited with the narrow side of the house on Lot 20 facing Capitol View Avenue and the wider elevations of the houses on Lots 22, 23, and 24 facing the street.

Plans for the house on Lot 25 are not included in this presentation. Removal of that house from the proposal may better protect the wooded character of the lot and greatly decrease the amount of paving required.

The houses are proposed to have a footprint of approximately 1,120 s.f. with living space of 2,300 s.f.

The plan submitted is for a 1½ story, front gable, frame cottage with lapped and shingle wood siding and 4/1 windows. A cross gable extends over a columned main entry (side) porch that has stairs leading down to grade. The garage is set to the rear of the lower/basement level below a bracketed bumpout. There is a half-hexagon bay on the front elevation. There is a gabled dormer next to the entry porch and a shed dormer at the opposite side.

The driveway system has been enlarged to include parking spaces and aprons and no longer shows an entry from the south end of the property.

No tree survey has been shown with the new configuration.

## **STAFF DISCUSSION**

The plan submitted for the new house is appropriate in size and materials to the historic streetscape. The half-hexagon bay on the front should be replaced with a square-cornered bay to stay within the vocabulary of the rest of the design. Placing the houses with the narrower width to the road is in keeping with the siting of the historic resource on the property. Placing the narrower elevation such that it is the view as one comes up the hill into the district may lessen the impact of the houses from that direction.

The Local Advisory Panel has indicated that they will be providing further input into the discussion of the proposed project.

Some of the issues that should be considered in reviewing the proposed infill are:

1. No information has been provided as to the drainage problems presented by the previous owner. Determination of the extent of that problem and remediation to

(8)

avoid further damage to the historic resource might be considered as a condition of approval.

2. A tree survey indicating what trees are proposed to be removed or are affected by the construction should be included in the application.
3. A grading plan indicating the extent of grading required for this project should be included in the application.
4. The design and location of any fencing should be considered in the design for the site.
5. The type of paving that is planned for the site should be considered. The amount of paving has increased in the most recent iteration. Losing the wooded character of the site to paving may preclude the installation of as many houses as are being proposed.

#### **STAFF RECOMMENDATION**

Staff recommends that the plans be supplemented with further information and brought to the HPC for a third preliminary consultation unless the issues discussed at this consultation can be resolved and plans provided in sufficient detail such that the applicant can proceed to a HAWP.







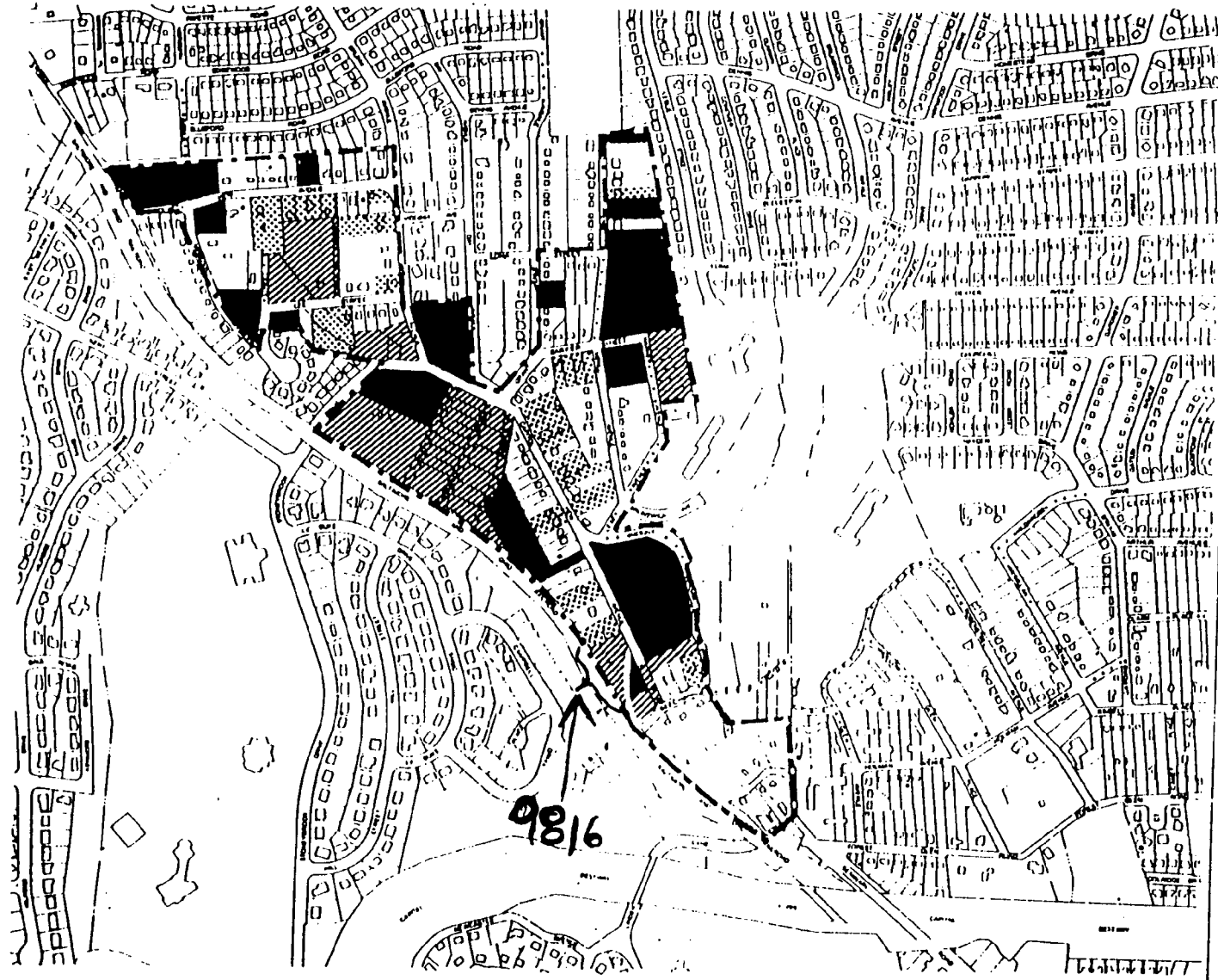


APPROVED #31/7  
~~PROPOSED~~  
 HISTORIC DISTRICT

--- Historic District Boundary

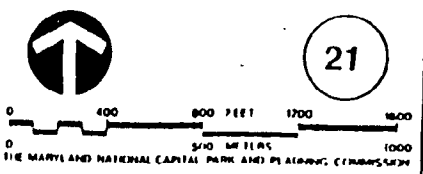
RESOURCES

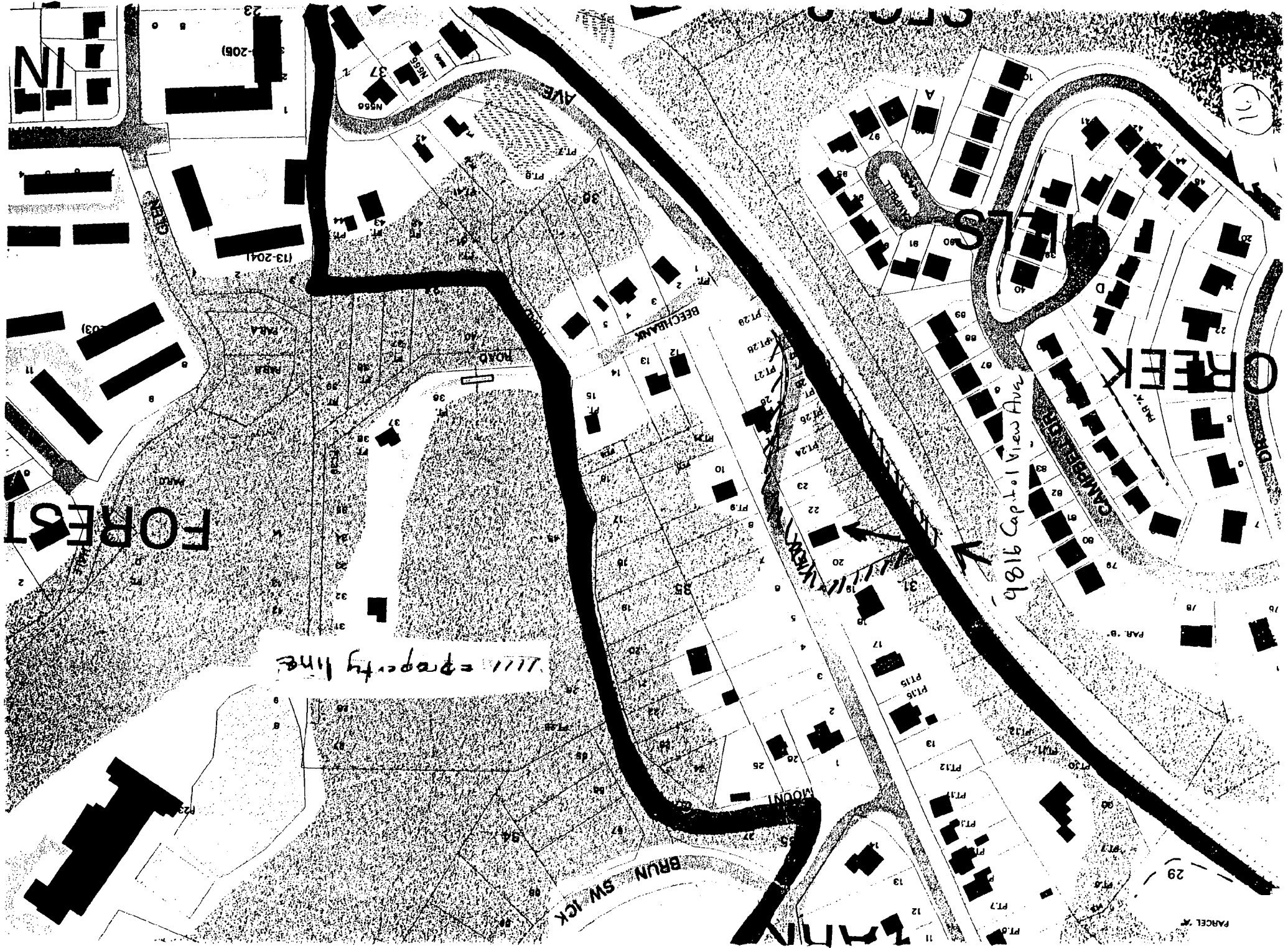
-  1870 - 1916
-  1917 - 1935
-  Nominal (1935 - )
-  Spatial



# Capitol View Special Study Area

KENSINGTON-WHEATON PLANNING AREA





FOREST

CREEK

BEECHBANK

MOON

BRUN SW CK

CANTON DRIVE

9816 Capitol View Ave

1111 = property line

(13-208)

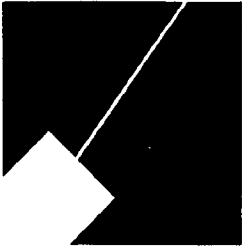
(13-204)

29

PARCEL #

wont submit

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

eg - legal bldg dev. of dev. v. hpc is controversial  
but lines have little to do w/ dev. of CVHD.  
do these fit into the setting.  
FAX TRANSMITTAL SHEET

HPC willing to see Historic Preservation Section  
Department of Park & Planning  
how many, size but larger houses may be appropriate  
depends how houses show their mass  
Telephone Number: (301) 563-3400 Fax Number: (301) 563-3412

permanence to comment and convey

TO: J. Alford FAX NUMBER: 365 0705

FROM: ERK

2 agree w/ SB - unanimous lead to CVHD

DATE: plan acknowledges some degree of property

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET:

NOTE: C - cream of cement n.e. conditions

ris came from local Advisory Panel

should develop cement concept

5x25  
30x45  
Prop. 1350  
40x25  
2x800  
+ addition  
+ porch  
+ add -  
150-200

JA - 25 may not work

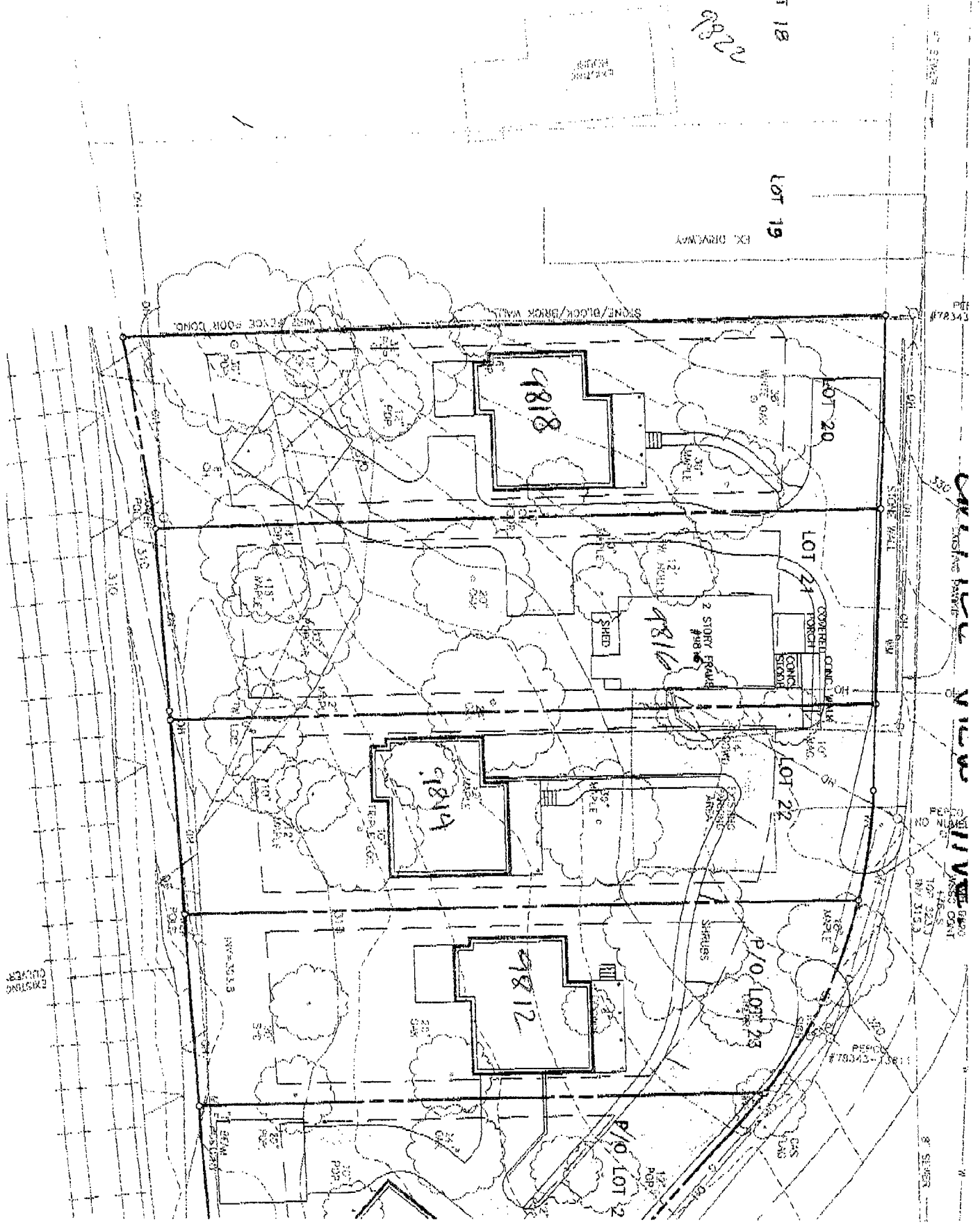
Density

SV - fewer houses - worried about  
feeling in them -  
road behind rail road track.

(SB) could work - depends on  
size & scale of house - need 1/2  
w/ 2 story house - bungalow -  
elevation will be important

(LW) - in left elev 22 & 24 but  
keep scale -  
& w/ same road.

(SS) - starter houses a good idea  
but not bigger than orig idea -  
must be in scale w/ response  
conc. about notch effect of the V20  
results divide w/ C -  
but think conc ASU w/ very careful



22822

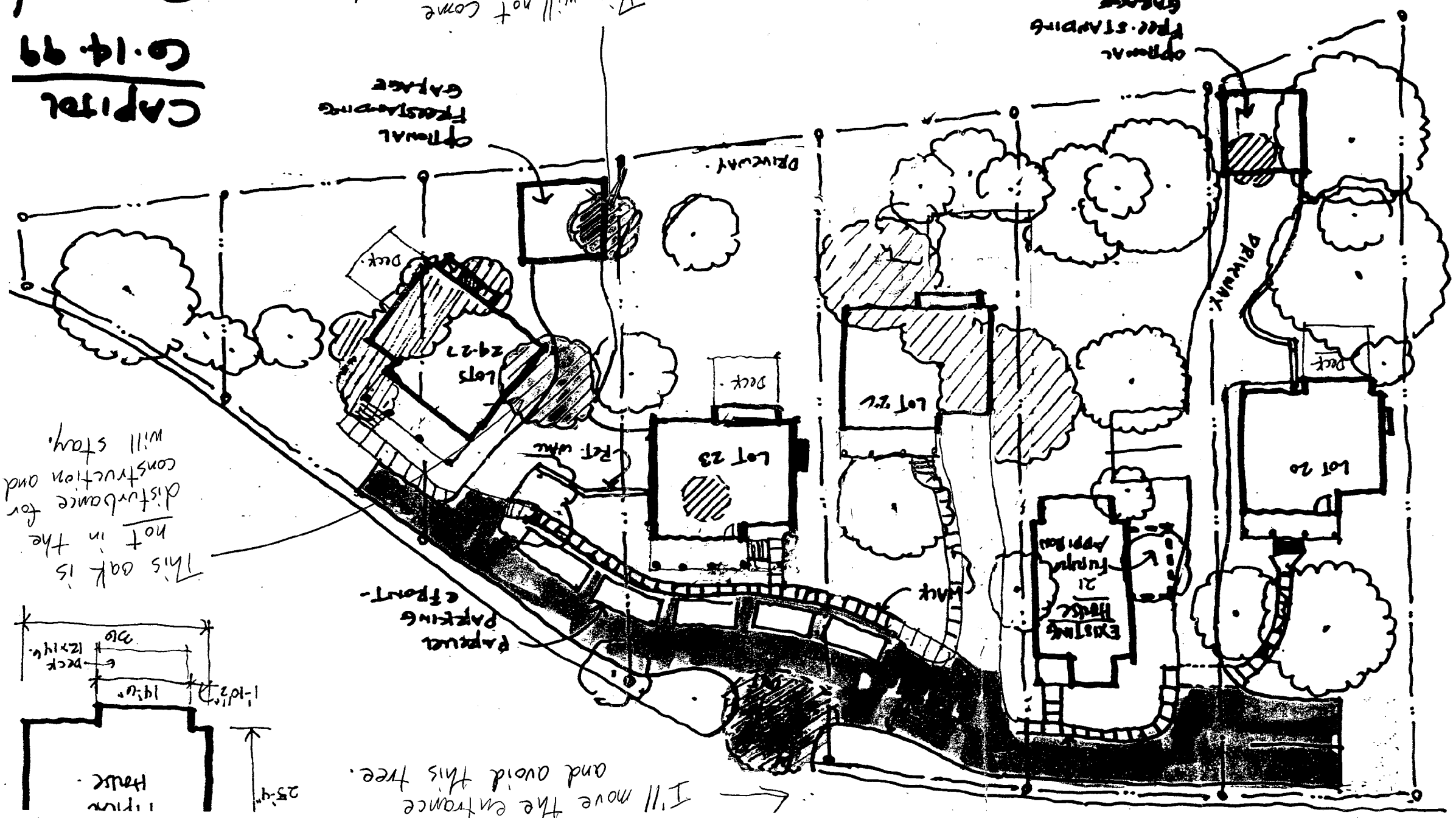
LOT 19

VIEW

EXISTING  
COVER

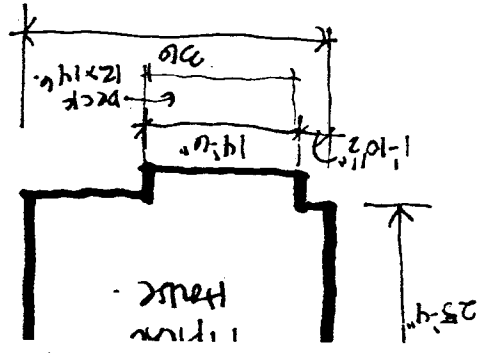
Capital  
6.14.99  
Rev. 6/

This will not come down. I can move the garage.



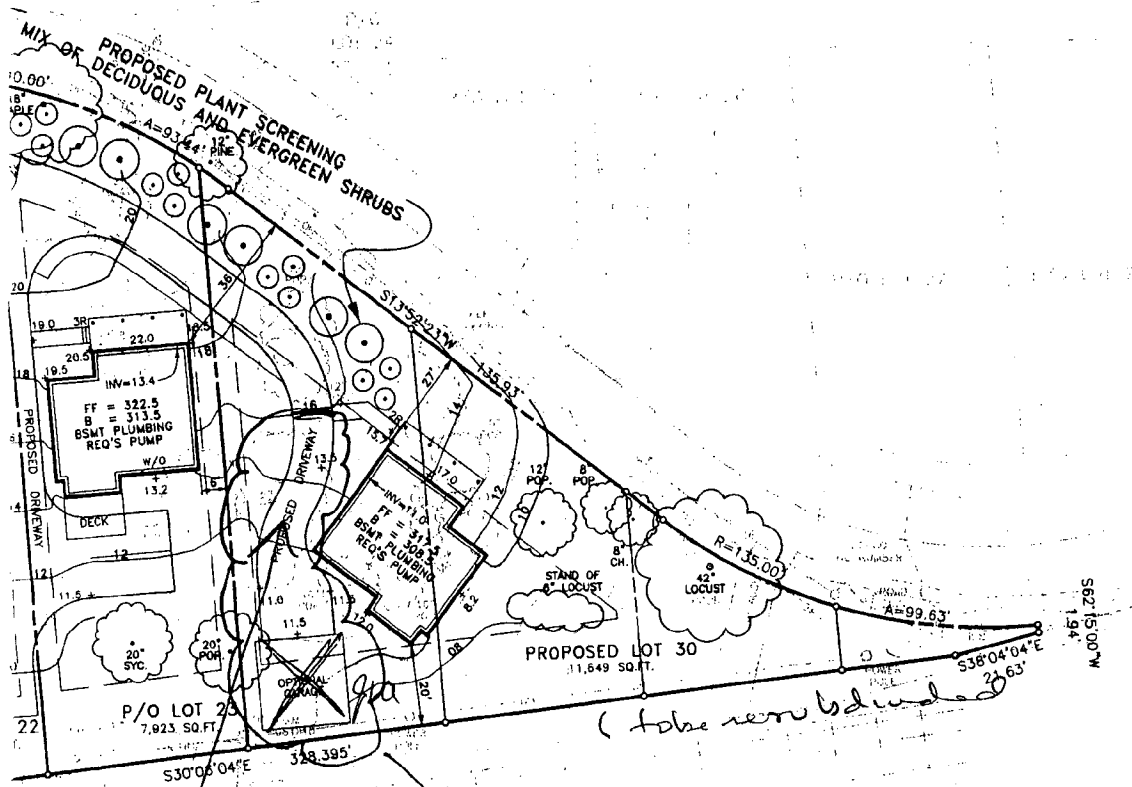
This oak is not in the way for construction and will stay.

I'll move the entrance and avoid this tree.



AVENUE

LOT 12



*Rebind Robert 24th ash*  
*delete garage driveway*

APPROVED  
 Montgomery County  
 [Signature]  
 9/20/99

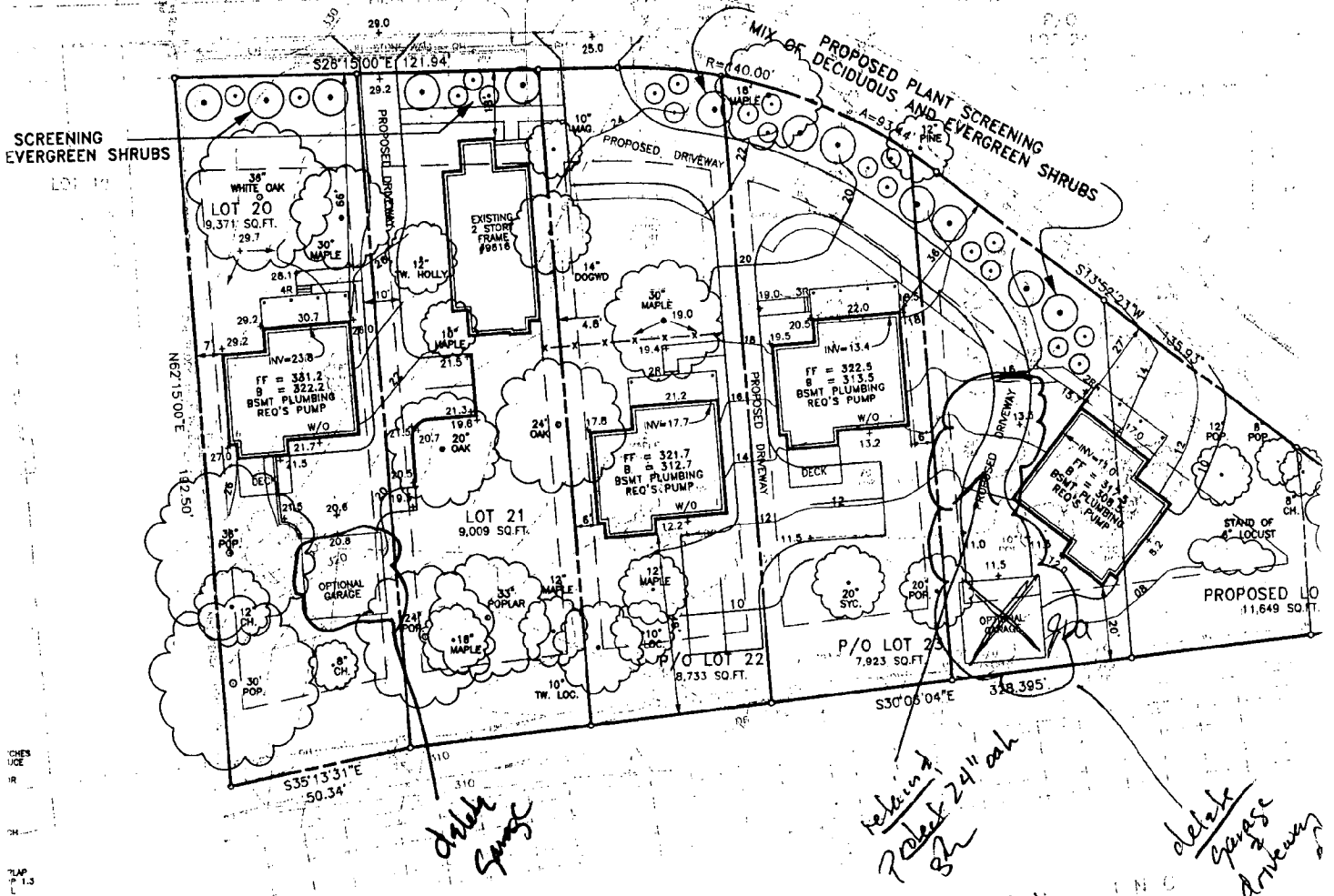
**NOTES**

1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE IN THE DATUM OF THE W. S. C.
2. TREES SHOWN PER FIELD SURVEY BY THIS OFFICE.
3. BOUNDARY OUTLINE, UTILITY INFORMATION AND ADJOINING IMPROVEMENTS TAKEN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS.

ANT  
 S, L.L.C.  
 1 ALFANDRE  
 AVE, #180C  
 LAND 20895  
 9500

<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>			No.	DATE	BY																<p><b>LANDSCAPE PLAN</b></p> <p>LOTS 20 - 22 &amp; PART OF LOT 23 &amp; PROPOSED LOT 30, BLOCK 31</p> <p><b>CAPITOL VIEW PARK</b></p> <p>AS RECORDED IN                  PLAT BOOK A AT PLAT NUMBER 9</p> <p>WHEATON ELECTION DISTRICT NO. 13      MONTGOMERY COUNTY, MARYLAND</p>	
			No.	DATE	BY																	
<p><b>FOWLER ASSOCIATES, INC.</b></p> <p>CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS</p> <p>255 NORTH WASHINGTON STREET, SUITE 300                  ROCKVILLE, MD 20850                  (301) 762-2377</p>		<table border="1"> <tr> <td>SCALE</td> <td>DRAWN</td> </tr> <tr> <td>1"=30'</td> <td>GMF</td> </tr> <tr> <td>CHECKED</td> <td>DATE</td> </tr> <tr> <td> </td> <td>9/99</td> </tr> <tr> <td colspan="2">JOB NUMBER</td> </tr> <tr> <td colspan="2">99-005</td> </tr> <tr> <td colspan="2">DRAWING NO.</td> </tr> <tr> <td colspan="2">1 of 1</td> </tr> </table>	SCALE	DRAWN	1"=30'	GMF	CHECKED	DATE		9/99	JOB NUMBER		99-005		DRAWING NO.		1 of 1					
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DRAWING NO.																						
1 of 1																						

# CAPITOL VIEW AVENUE



CSX TRANSPORTATION, INC

1. TOPOGRAPHY & THE W. S. S. C.
2. TREES SHOWN
3. BOUNDARY OUT FROM RECORD

## LEGEND

- PROPOSED SIDEWALK
- PROPOSED EVERGREEN SHRUB
- PROPOSED DECIDUOUS SHRUB
- PROPOSED FENCE
- EXISTING TREE TO BE SAVED

## APPLICANT

DESIGN HOMES, L.L.C.  
C/O MR. JOSEPH ALFANDRE  
10423 ARMORY AVE. #180C  
KENSINGTON, MARYLAND 20895  
301-946-9500

LOTS 20 - 22

WHEATON ELECTION

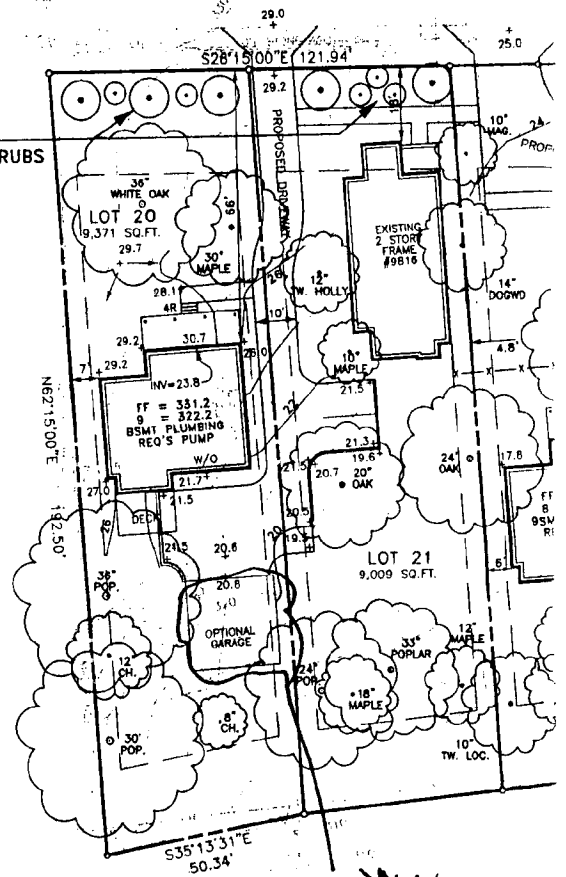
REVISIONS		
No.	DATE	BY

FOWLEF

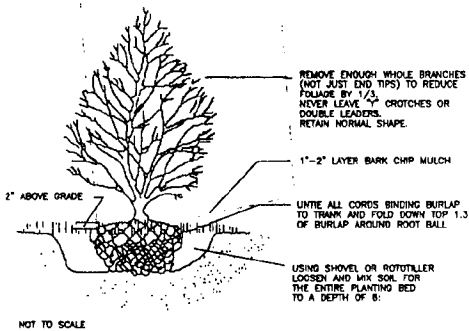


# CAPITOL VIE

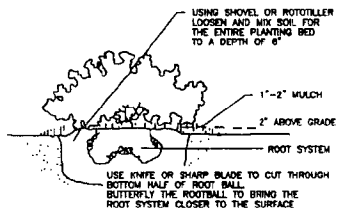
PROPOSED PLANT SCREENING  
MIX OF DECIDUOUS AND EVERGREEN SHRUBS



*ditto garage*



SHRUB PLANTING (B&B)



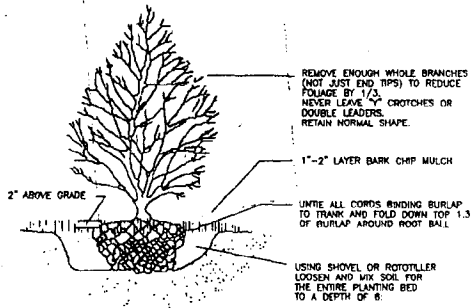
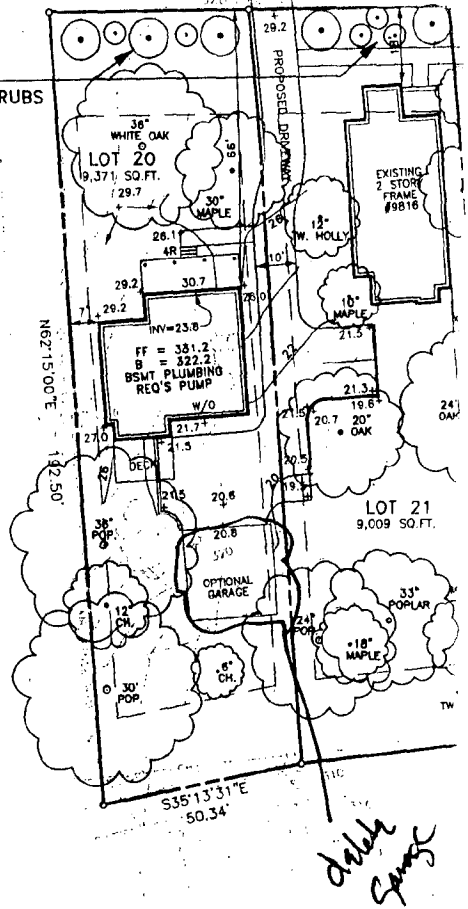
NOT TO SCALE

## LEGEND

- PROPOSED SIDEWALK
- PROPOSED EVERGREEN SHRUB
- PROPOSED DECIDUOUS SHRUB
- PROPOSED FENCE
- EXISTING TREE TO BE SAVED

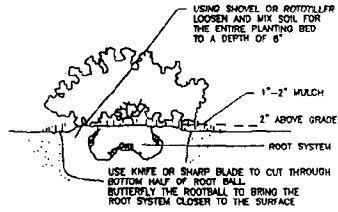
DE  
C/O  
1042  
KENSIN

PROPOSED PLANT SCREENING  
MIX OF DECIDUOUS AND EVERGREEN SHRUBS



NOT TO SCALE

SHRUB PLANTING (B&B)



NOT TO SCALE

SHRUB PLANTING (CONTAINER)

LEGEND

- PROPOSED SIDEWALK
- PROPOSED EVERGREEN SHRUB
- PROPOSED DECIDUOUS SHRUB
- PROPOSED FENCE
- EXISTING TREE TO BE SAVED

*date stamp*

FOWLER ASSOCIATES, INC.  
Civil Engineers • Land Surveyors • Planners

TELE / FAX NUMBER (301) 762-3689

TO: Joe cell - 301-442 8868  
ATTN: Joe & Sue Alfandre - 301 946-9500  
TELE / FAX NUMBER: 301-~~762~~765-0709  
FROM: Kim Kersting  
DATE: \_\_\_\_\_ TIME: \_\_\_\_\_  
JOB NAME: Capital View Ave  
JOB NUMBER: \_\_\_\_\_

DESCRIPTION: # Addresses.  
Lot 20 = 9818 Capital View Ave  
Lot 21 9816 Capital View Ave.  
Lot 22 9814 Capital View Ave.  
Lot 23 9812 Capital View Ave.

HARD COPY TO FOLLOW  yes via: mail  messenger  pick up   
 no, unless you request otherwise

This transmittal contains a total of 3 pages.

If there are any problems with this transmittal, please call the telecopier operator at (301) 762-2377.

REMARKS: feature  
\* Lot 30 (now #10 lots 24, 25, 26 & 27)  
is 9810 Capital View Ave

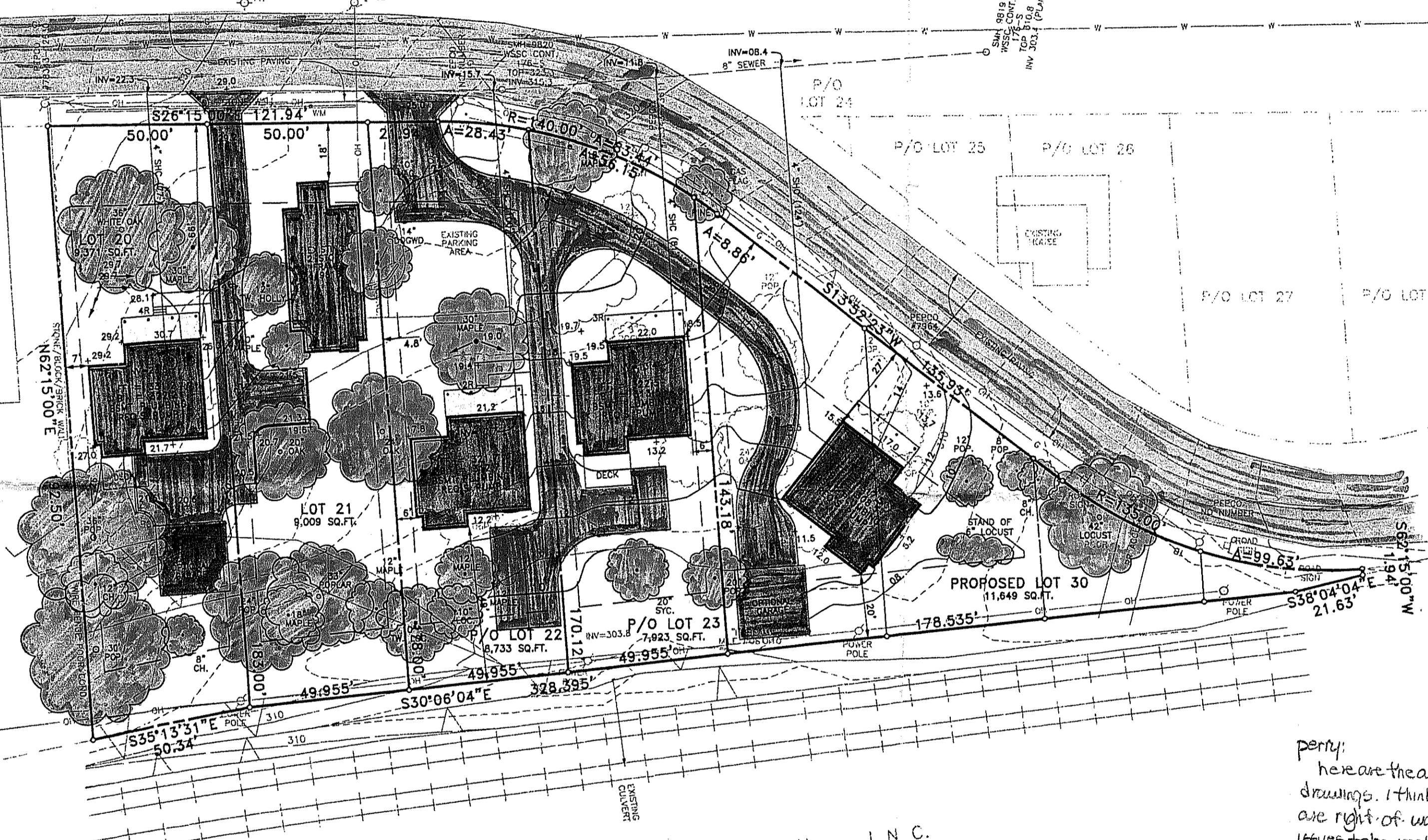
VICINITY MAP 1"=2000'

SMH 9821  
WSSC CONT.  
-176-S  
TOP 342.1  
HW 333.4 (PLAN)

CAPITOL VIEW AVENUE

LOT 5 LOT 6 LOT 7 LOT 8 LOT 9 LOT 10 LOT 11 LOT 12

LOT 17 LOT 18 LOT 19 P/O LOT 20 P/O LOT 21 P/O LOT 22 P/O LOT 23 P/O LOT 24 P/O LOT 25 P/O LOT 26 P/O LOT 27 P/O LOT 28



CSX TRANSPORTATION, INC.

perly:  
here are the alternate  
drawings. I think there  
are right of way  
issues to be resolved.  
Fred

NOTES

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C/O MR. JOSEPH ALFANDRE  
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KENSINGTON, MARYLAND 20895  
301-946-9500

SITE DEVELOPMENT PLAN

HOUSE CONSTRUCTION  
LOTS 20 - 22 & PART OF LOT 23 & PROPOSED LOT 30, BLOCK 31  
CAPITOL VIEW PARK

AS RECORDED IN  
PLAT BOOK A AT PLAT NUMBER 9

WHEATON ELECTION DISTRICT NO. 13 MONTGOMERY COUNTY, MARYLAND

REVISIONS		
No.	DATE	BY
2	8/28/99	GMF
1	3/23/99	GMF

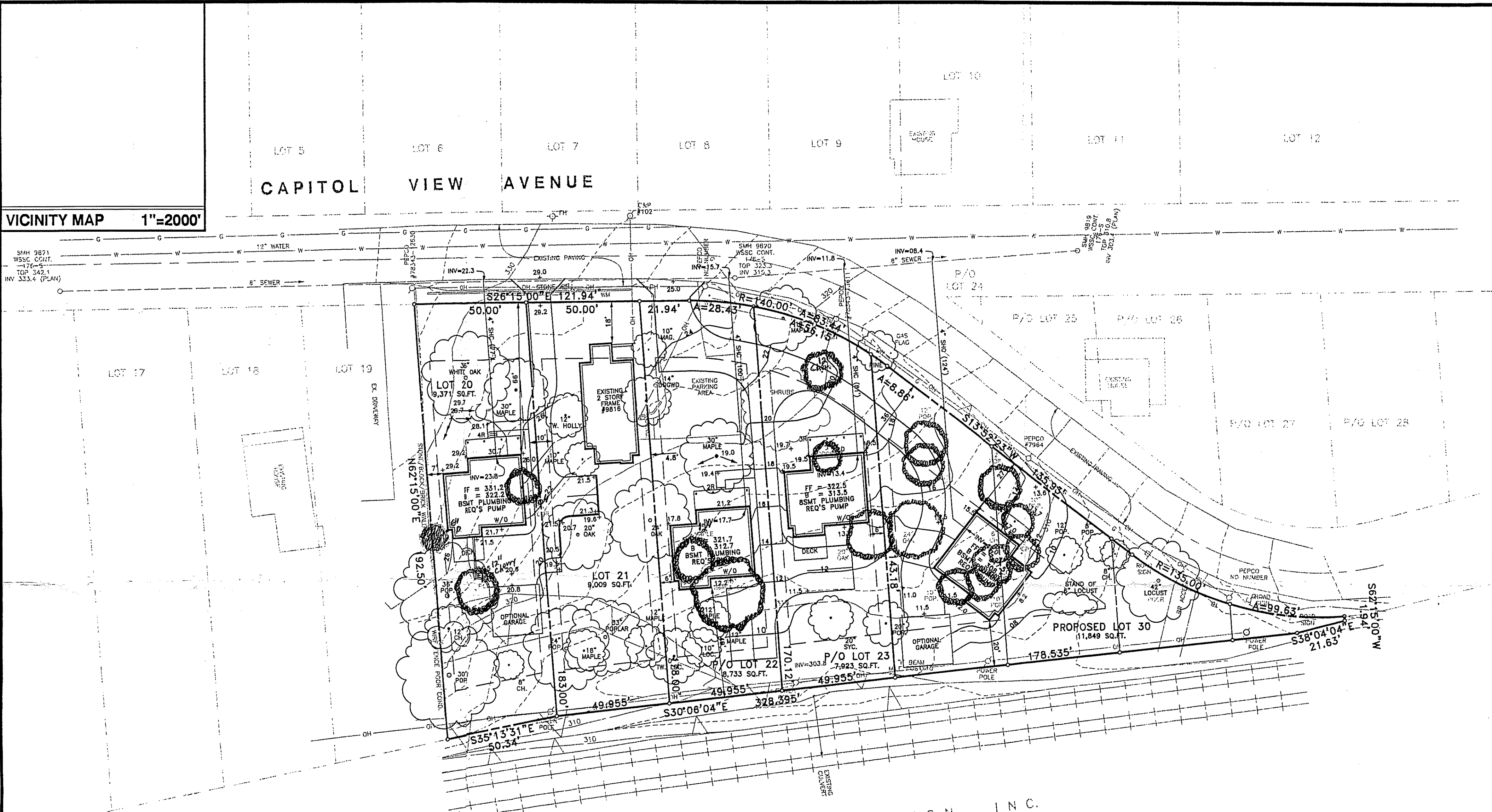
**FOWLER ASSOCIATES, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS  
255 NORTH WASHINGTON STREET, SUITE 300  
ROCKVILLE, MD 20850  
(301) 762-2377

SCALE 1"=30'	DRAWN GMF
CHECKED	DATE 3/99
JOB NUMBER 99-006	
DRAWING NO. 1 of 1	

Rev. Has Sitings Per Arch. Concept  
Rev. Has Sitings Per Owner

VICINITY MAP 1"=2000'

SMH 9871  
WSSC CONT.  
-176-5  
TOP 342.1  
INV 333.4 (PLAN)



CSX TRANSPORTATION, INC.

NOTES

1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE IN THE DATUM OF THE W. S. S. C.
2. TREES SHOWN PER FIELD SURVEY BY THIS OFFICE.
3. BOUNDARY OUTLINE, UTILITY INFORMATION AND ADJOINING IMPROVEMENTS TAKEN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS.

APPLICANT

DESIGN HOMES, L.L.C.  
C/O MR. JOSEPH ALFANDRE  
10423 ARMORY AVE, #180C  
KENSINGTON, MARYLAND 20895  
301-946-9500

SITE DEVELOPMENT PLAN

HOUSE CONSTRUCTION  
LOTS 20 - 22 & PART OF LOT 23 & PROPOSED LOT 30, BLOCK 31

CAPITOL VIEW PARK

AS RECORDED IN  
PLAT BOOK A AT PLAT NUMBER 9

WHEATON ELECTION DISTRICT NO. 13 MONTGOMERY COUNTY, MARYLAND

REVISIONS

No.	DATE	BY
2	6/29/99	GMF
1	3/23/99	GMF

Rev. Hse Sitings Per Arch. Concept  
Rev. Hse Sitings Per Owner

FOWLER ASSOCIATES, INC.

CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS  
255 NORTH WASHINGTON STREET, SUITE 300  
ROCKVILLE, MD 20850  
(301) 762-2377

SCALE 1"=30'	DRAWN GMF
CHECKED DATE	DATE 3/99
JOB NUMBER 99-006	
DRAWING NO. 1 of 1	

To: Perry  
Kephart

From: Emily  
Volz

**Capitol View Park Citizen's Association  
9826 Capitol View Avenue  
Silver Spring, Maryland 20910**

April 11, 1999

Ms. Perry Kephart, Historic Preservation Planner  
M-NCPPC  
8787 Georgia Avenue  
Silver Spring, MD. 20910-3760

**Re: Mr. Alfandre's Proposed Site Plan  
for 9816 Capitol View Avenue**

Dear Ms. Kephart,

As President of the Capitol View Park Citizen's Association, I am writing to express our Executive Committee's concern over Mr. Alfandre's proposal to build five houses on the location of the Moore House at 9816 Capitol View Avenue.

Our primary concerns about the proposal are simple. First, building five houses, of any size, on these 5 1/2 lots at the north entry point to our Historic District is totally out of context with the historic character of the neighborhood. In 1982 we received one of the first designations as a suburban Historic District—a major factor was that Capitol View Park was developed in the 1870s when the Metropolitan Branch of the B & O Railroad was built.

Since 1870, the houses bordering on the railroad tracks at the North End of Capitol View have had deep sweeping back yards, full of 200 year old oak trees. The long, uninterrupted green space from Lot 10 to Lot 29, has a breath taking visual effect—you stand in the back yards of these homes, and you feel and touch the rural world of the late 1800s—it is exactly the visual and aesthetic effect that the Historic Sector Plan of 1982 sought to preserve. The community and the Preservation Board at the time knew all too well, that though development would eventually come into this area—it was important to try to preserve what was of significant historic value and could never be replaced.

The proposal to build approximately one house for each lot, goes against the entire context of that part of the Historic District where all the adjacent homes are built on 2-2 1/2 lot properties. The large spacious yards that back on to the railroad at that point of Capitol View Avenue, set the tone for the whole District. Please don't let this well preserved historic district become encumbered by many new homes and small lots that will undermine the spirit of the Historic designation.



Our second concern is much more modern and urban—as a community we have studied and asked the State and County numerous times to look into ways to increase safety on Capitol View Avenue. Much has been done over the years, including repaving, improved signage and the possibility of a stop sign or stop light at Beechbank and Capitol View. It is important to underscore, however, that the very “S” curve that begins at the Moore property is the location of the most accidents and speeding reports along Capitol View. To build five homes with cars emptying onto and off of Capitol View right in the “S” curve seems to us to be poor transportation planning and adding more danger to a notorious section of the road. In short, a step backward in improving the safety of Capitol View for residents, commuters and pedestrians.

We ask you to please take our concerns seriously, and encourage the developer to rethink his plans so he can gain value from his property, but also live within the historic parameters of a community that's 120 years old.

I personally will be out of town from 4/13 to 4/14 and will miss the hearing. I will try to call your office Wednesday to talk about these issues more informally. Please feel to call me. My home number is 301-587-7403 and the office is 301-588-4442.

Thanks your for consideration.

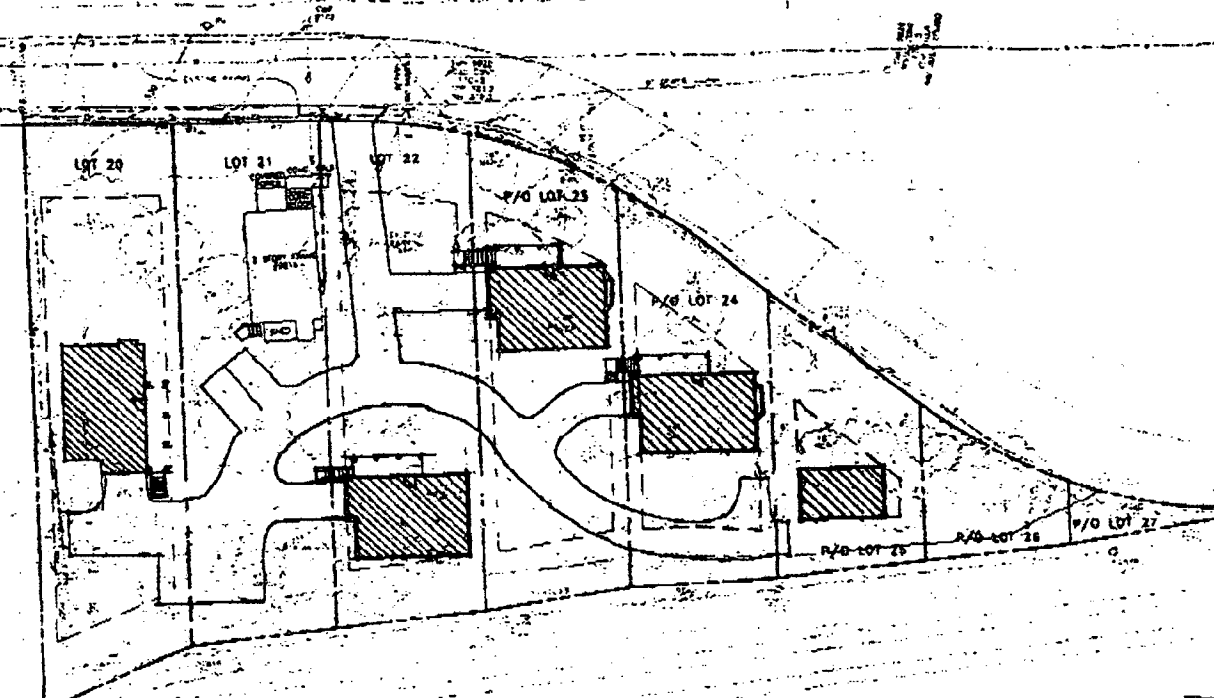
Sincerely,



Roger Friedman  
President

Capitol View Park Citizen's Association

CAPITOL VIEW AVENUE



GTM ARCHITECTS  
 10415 Sutterly Road  
 KENNESAW, MARYLAND 20895  
 (301) 942-9062

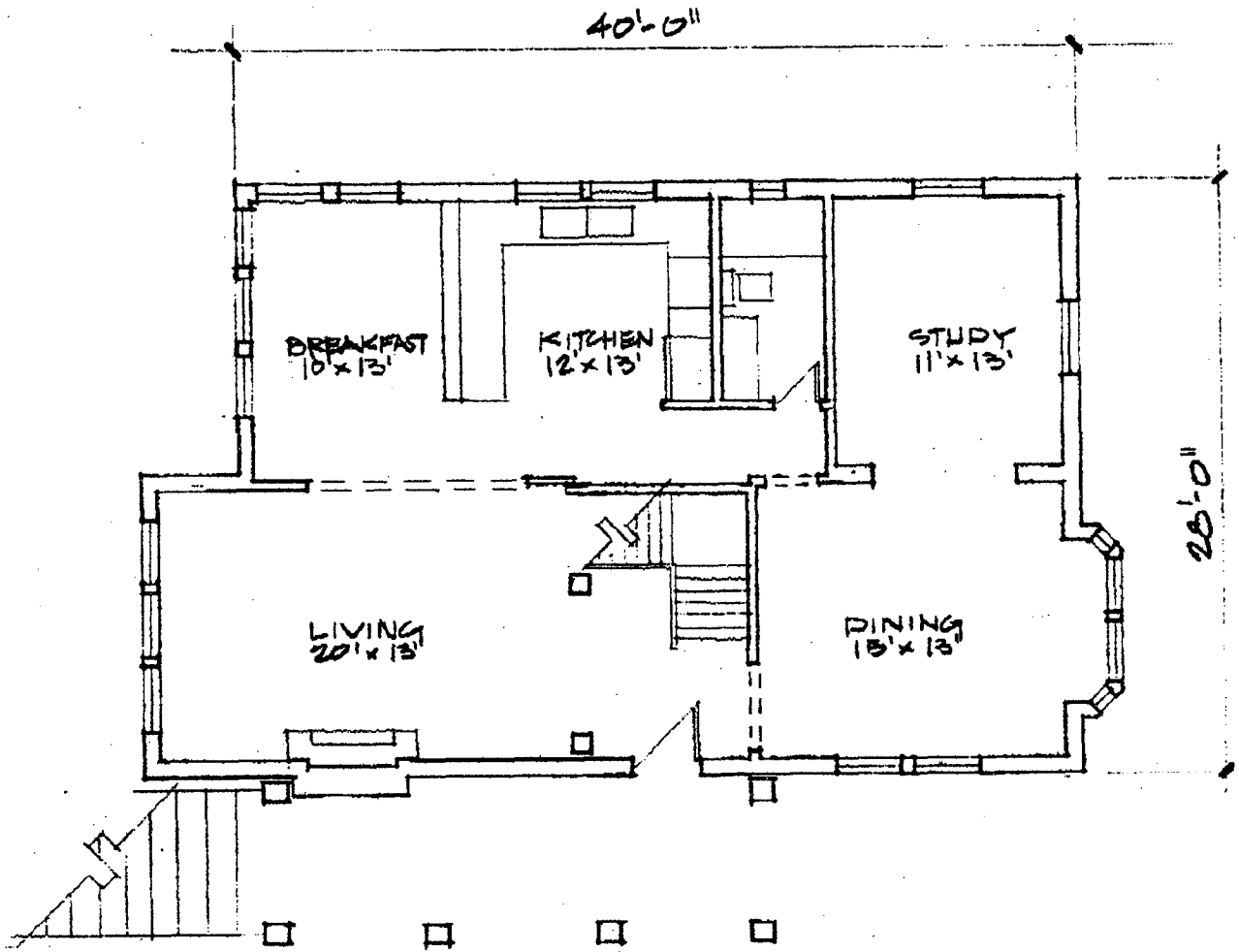
SITE PLAN SCHEME C 1:50

NOTES

1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE
2. TREES SHOWN PER FIELD SURVEY BY THIS OFFICE
3. BOUNDARY OUTLINE, UTILITY INFORMATION AND ADJOINING IN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS

6





FIRST FLOOR PLAN  $\frac{1}{8}''$   
2,300 #

**GTM ARCHITECTS**  
10415 Armory Avenue  
KENSINGTON, MARYLAND 20895  
(301) 942-9062

9

# BUILT by OUR CUSTOMERS at SUBSTANTIAL SAVINGS



### THE WESTLY

All material was very good and sufficient. The lumber was of superior, so carpenters did not say that could be obtained here. We highly recommend your "Honor Bilt" users. Hope that everyone at build one will be as pleased as we are in cost, convenience and comfort.

ALBERT J. REBEL,  
5119 Jewett St.,  
Washington, D. C.



### THE OSBORNE

We are well satisfied with our "Osborne" house. The material is as good as can be got anywhere and way above the average. I made a big saving by the use of "Honor Bilt" Ready Cut material. Our dealings with your company have been unusually satisfactory and recommend you to anyone about to build.

CLARENCE L. PARKER,  
19 Olmstead Ave.,  
Dearborn, Mich.



### THE LANGSTON

In 1921 I bought, erected and am now living in the Americus. I have since built the Alpha and now working on a Langston and an Adeline. Your service, quality and courtesy makes me a booster for "Honor Bilt" houses.

HENRY M. JUNG,  
4233 Lowry Ave.,  
Norwood, Ohio.



### THE AMERICUS

The best planned house I ever saw. A carpenter told me it was the best they ever used. Everything fits. I saved just \$1,500.00.

JOHN HALL,  
R. F. D. 1, Box 445,  
Brooklyn Sta.,  
Cleveland, Ohio.



### THE CONWAY

I built the house myself, with help only after the roof was on and the weather boarding. I estimate I saved between \$1,500.00 and \$2,000.00.

J. A. Pabstlerford,  
2369 Manning St.,  
N. E.,  
Washington, D. C.



### THE ELSMORE

I figure about \$1,000.00 saved by getting it Ready-Cut from Sears, Roebuck and Co.

FRED W. KROMP,  
R. 1, Box 390B,  
West Albany, N. Y.



### OLIVIA

I am so well pleased I am talking of buying another.

WILLIAM BLYLY,  
R. F. O. 7, Box 5,  
Elkhart, Ind.

*Read what they say*



### Argyle

I have had complete satisfaction from the start. All material was of extra good grade, plenty of it, and it went together perfectly. I made a big saving in time and money.

J. O. MATTHEWS,  
Xenia, Ohio.

Every day interesting testimonials come from "Honor Bilt" Modern Home customers. They tell of the money saved, satisfaction with our quality materials, architectural plans, specifications, service and easy payment plan. There are no worries. Our guarantee protects you in every way.



### Dear Sirs:

I want to express my appreciation for the very courteous and efficient attention that I have received from you while building my "Martha Washington" House. I have saved about \$1,500.00, of which I credit about \$1,000.00 in labor saved by the "Honor Bilt" ready cut means.

A. H. BUREWOOD,  
Washington, D. C.



### Alhambra

The millwork and other materials furnished are certainly of very exceptional quality.

M. A. LANGE,  
5925 Nina Ave., Norwood Park, Ill.

### Puritan

I wish to express my appreciation of the prompt and efficient service rendered. The whole transaction has been most satisfactory. There was sufficient material and it exceeded in quality the builder's expectations.

E. E. THOMPSON,  
3118 Incomar St.,  
Chevy Chase, D. C.



### Clyde

I am well pleased with the house and with your material. My wife and I, who are nearing 60 years, built the house ourselves and we saved about \$1,000.00.

W. E. O'NEIL,  
715 Maple St., Wamego, Kan.



### Elsmore

I have nothing but praise for both material and service.

JOSEPH DELAVEN,  
Clarksaw, Pa.



### Woodland

Thank you for the efficient services rendered. The house was erected in a wonderfully short period.

LOUIS T. MACKIE,  
Cincinnati, Ohio.

18

Confronting property owners:

9808 Capitol View Ave. -  
Silver Spring, MD 20910

David C. Clough, Jr.

9811 Capitol View Ave. -  
Silver Spring, MD 20910

Duncan E. Tebow

9819 Capitol View Ave -  
Silver Spring, MD 20910

Eloise B. Cohen

adjoining property owner:

9822 Capitol View Ave. -  
Silver Spring, MD, 20910

Charles W. Fallow

George Myers

GTM Architects

10415 Armory Avenue

Kensington MD 20895

Design Homes

10423 Armory Ave #180C

Kensington MD 20895



GTM  
ARCHITECTS  
*fax transmission*

10415 Armory Avenue • Kensington, MD 20895 • (301) 942-9062 Fax: (301) 942-3929

To: PERRY KEPHART

Date: 5/

Fax #: 301 563-3412

Pages: 7

From: George

Subject: ALFONSO HALEY-

COMMENTS:

Call to discuss.

Thanks

Car phone - 8509-8284

Does it  
need 5' on  
edge of  
curbing?

**HISTORIC PRESERVATION CO**

**RT**

**Address:** 9816 Capitol View Avenue, Silver Sp 04/14/99

**Resource:** Capitol View Park Historic District **Report Date:** 04/07/99

**Case Number:** Not applicable **Public Notice:** 03/31/99

**Review:** Preliminary Consultation **Tax Credit:** None

**Applicant:** Design Homes, LLC (Joe Alfandre) **Staff:** Perry Kephart

**PROPOSAL:** New Construction **RECOMMEND:** Return for 2<sup>nd</sup> Preliminary Consultation

**BACKGROUND**

The yellow frame Sears-type Bungalow, built in 1928 at 9816 Capitol View Avenue, is a contributing resource and a familiar landmark in the Capitol View Park Historic District. The house is set at the front of a 52,475 foot lot (lots 20 through partial lot 27 on the attached map, circle 5) that has no other improvements at this time. The house is clearly seen on the left at the top of the big curve as one enters the historic district from the south along Capitol View Avenue.

The only access to the property from Capitol View is a short driveway immediately adjacent to the house. The driveway leads to a lower level basement garage. The land drops off from the front to the back of the property (east to west) and from northern wider section to the narrower southern area. The Metropolitan (now CSX) railroad line runs behind the length of the property. There are several mature shade trees on the lot including hickory, oak, poplar, maple, and locust.

The historic district in which the resource is located is significant as an example of a railroad community that began with the construction of the Metropolitan Branch of the B & O Railroad in the 1870's. The two major building styles that reflect the early years of the community are large Queen Anne houses from the late 19<sup>th</sup> and early 20<sup>th</sup> century and more modest Sears-type kit houses from the early 20<sup>th</sup> century.

As noted in the Capitol View & Vicinity Approved and Adopted Sector Plan, July 1982, "Most Capitol View Park structures possess little distinction as architectural entities. When grouped, however, these resources meet the criteria for district designation as a visual example of suburban development styles." The bungalow at 9816 Capitol View is an integral and highly visible part of the historic district streetscape.

Demolition of the historic resource was applied for by the previous owner and denied by the HPC. During that review process a number of issues were raised, some of which are

considered below. The property has been purchased by the applicant who, in addition to the infill project that is the subject of this preliminary consultation, has submitted a HAWP application for alterations to the rear of the house

### **PROPOSAL**

The applicant proposes to construct 5 new houses on the lots on either side of the existing historic resource. A driveway is proposed to connect the houses at the rear of the property. Access to Capitol View Avenue would be at the south end of the property and by extending the existing driveway down to the new paving.

The houses are proposed to have footprints ranging in size from approximately 313 s.f. to 328 s.f. The design and materials for the houses are to be the subject of a future consultation. The applicant has indicated that they are to be two-story structures similar in style and scale to the existing 1½-story Bungalow.

### **STAFF DISCUSSION**

The Local Advisory Panel has indicated that they will be providing input into the discussion of the proposed project. To date we have not been contacted by the adjacent neighbors.

Some of the issues that should be considered in reviewing the proposed infill are:

1. The scale of the buildings relative to the existing house and to the other houses in the district is important in a historic district such as this one that has two distinct eras of importance.
2. The design and materials for the new houses need to be determined before the project can go forward.
3. In the previous case, drainage problems off the road onto Lot 20 and 21 were presented as being serious enough to justify demolition of the house. Determination of the extent of that problem and remediation to avoid further damage to the historic resource might be considered as a condition of approval.
4. A tree survey indicating what trees are proposed to be removed or are affected by the construction should be included in the next consultation.
5. The extent of grading required for this project should be considered.
6. The design and location of any fencing should be considered in the design for the site.
7. The location of the proposed house on Lot 20 should be considered relative to the

house on the adjoining property.

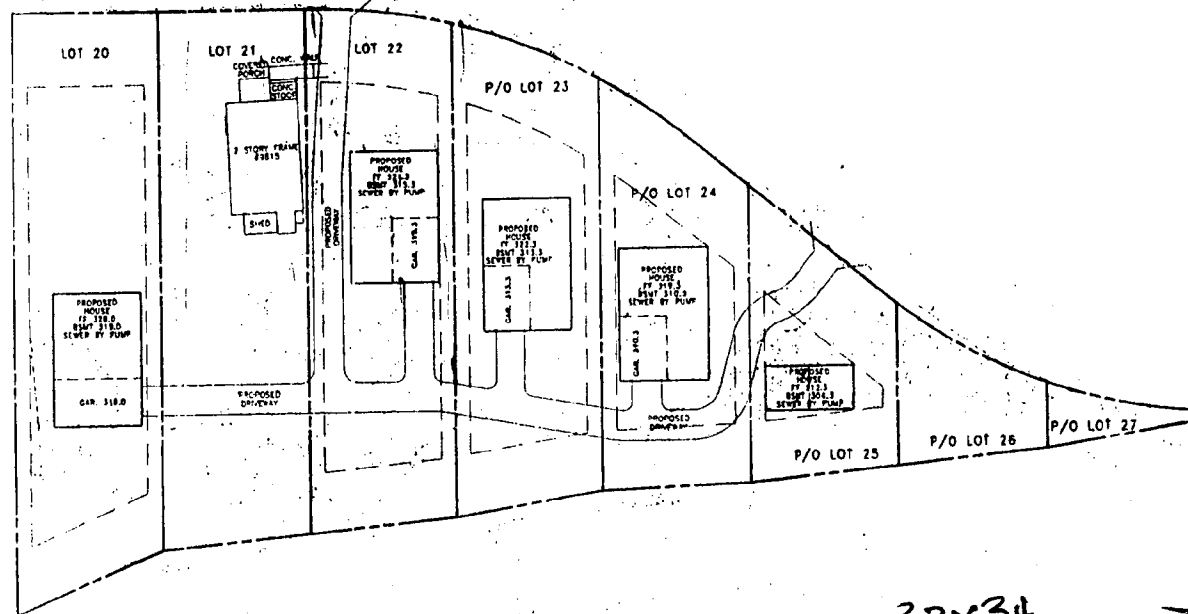
8. The type of paving that is planned for the site should be considered.
9. The HPC may want to consider whether placement of a house and a parking area on Lot 25 is feasible. The possibility for a marketable design for a very small infill house is an important preservation issue for historic districts.

**STAFF RECOMMENDATION**

Staff recommends that the conceptual site plan be supplemented with further information and brought to the HPC for a second preliminary consultation.

VICINITY MAP 1"=2000'

CAPITOL VIEW AVENUE



32x34

NOTES

*detached garage*

- 1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE IN THE DATUM OF 1985.
- 2. UTILITIES SHOWN PER FIELD SURVEY BY THIS OFFICE.
- 3. BOUNDARY OUTLINE, UTILITY INFORMATION AND ADDITIONAL IMPROVEMENTS TAKEN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS.

**CONCEPTUAL SITE PLAN**  
 HOUSE CONSTRUCTION  
 LOTS 20 - 22 & PART OF LOTS 23-27, BLOCK 31  
**CAPITOL VIEW PARK**  
 AS RECORDED IN  
 PLAT BOOK A AT PLAT NUMBER 9

WHEATON ELECTION DISTRICT NO. 13 MONTGOMERY COUNTY, MARYLAND

APR 24 1999  
 FOWLER ASSOCIATES

REVISIONS		
No.	DATE	BY

**FOWLER ASSOCIATES, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS  
 255 NORTH WASHINGTON STREET, SUITE 300  
 ROCKVILLE, MD 20850  
 (301) 762-2377

SCALE 1" = 30'	DRAWN GMF
CHECKED	DATE 3/99
JOB NUMBER 99-006	DRAWING NO 1 OF 1

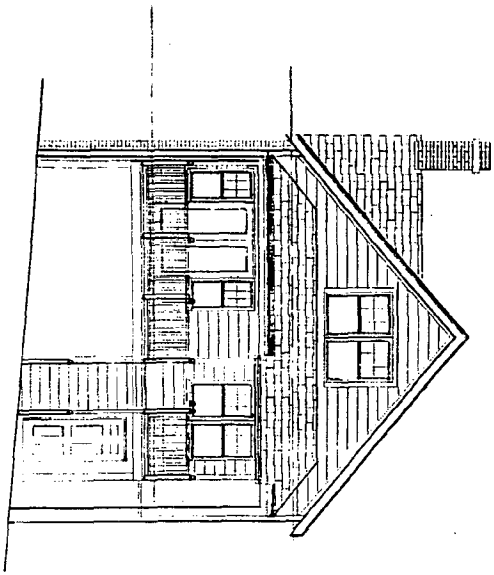
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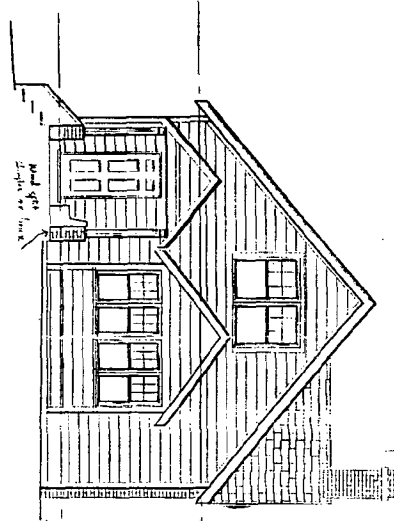
REAR ELEVATION

1/4" = 1'-0"



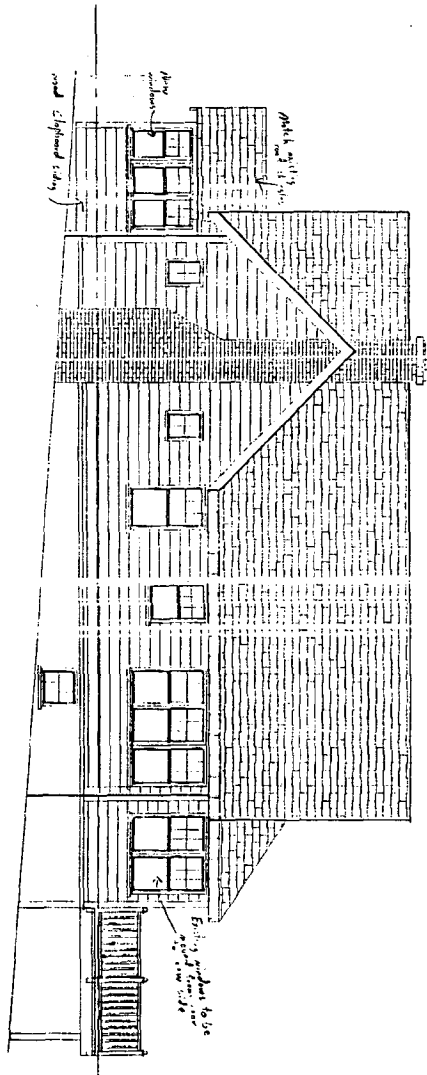
FRONT ELEVATION

1/4" = 1'-0"



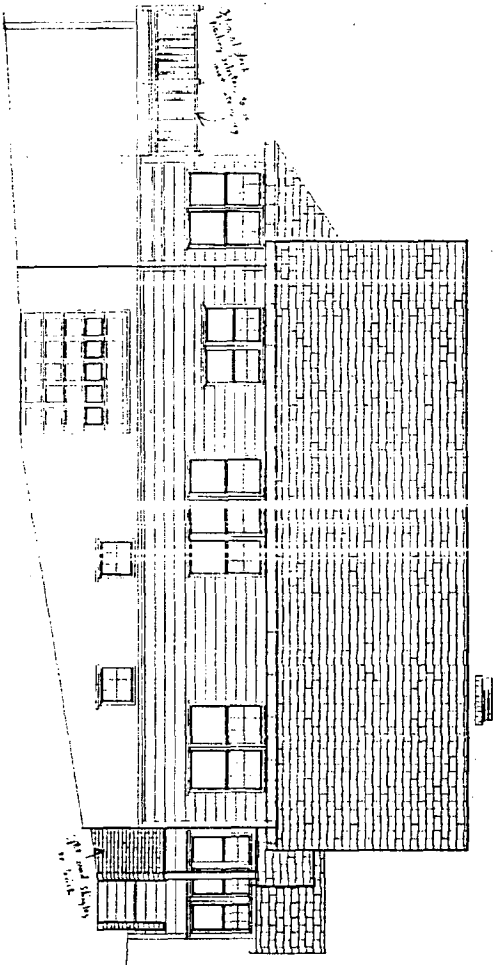
RIGHT SIDE ELEVATION

1/4" = 1'-0"



LEFT SIDE ELEVATION

1/4" = 1'-0"



Proposed Elevations  
for Existing Residence

REMODELING OF A KENSINGTON BUNGALOW FOR  
**JOSEPH ALFANDRE COMPANY**  
KENSINGTON, MARYLAND

ELEVATIONS

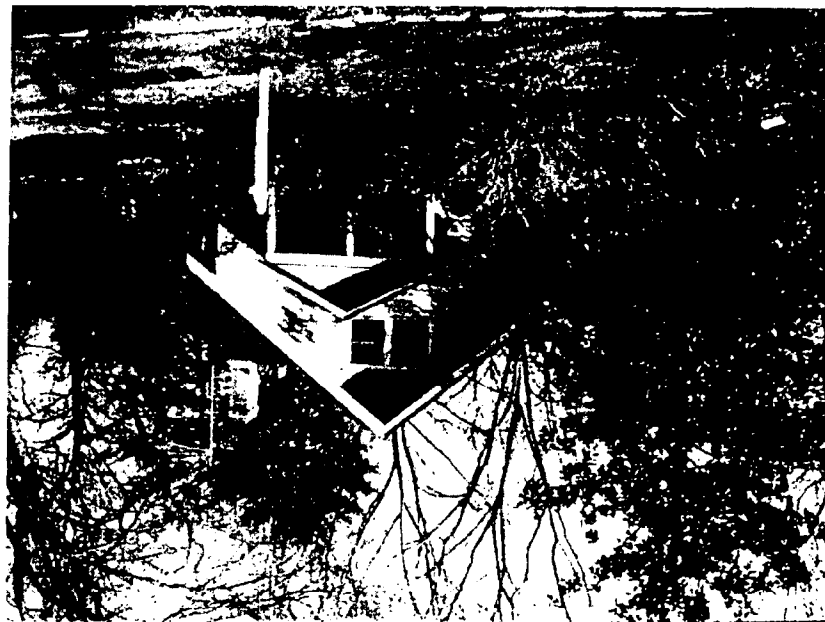


I. THOMAS WALSMAN, ARCHITECT

1978 DARNESTOWN RD. DARNESTOWN, MD. 20778 (301) 746-2382

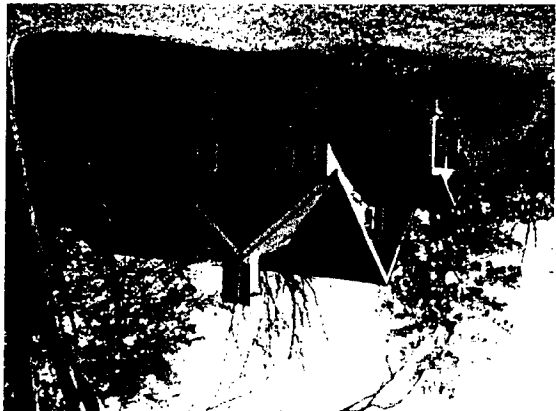
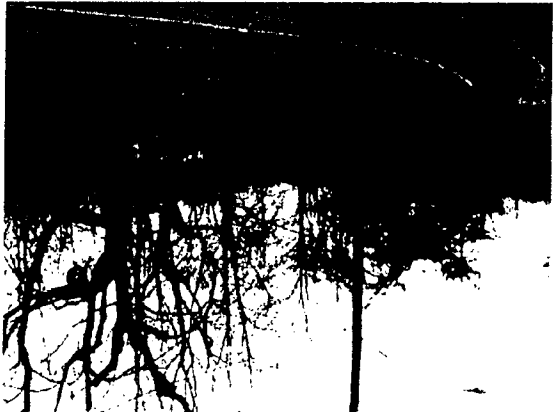
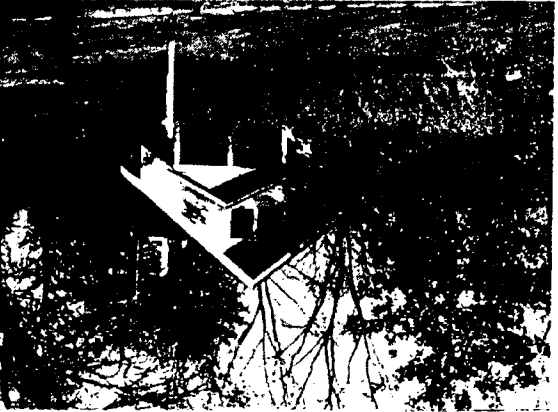
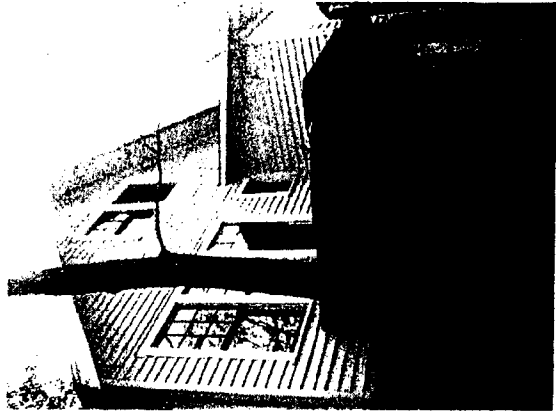
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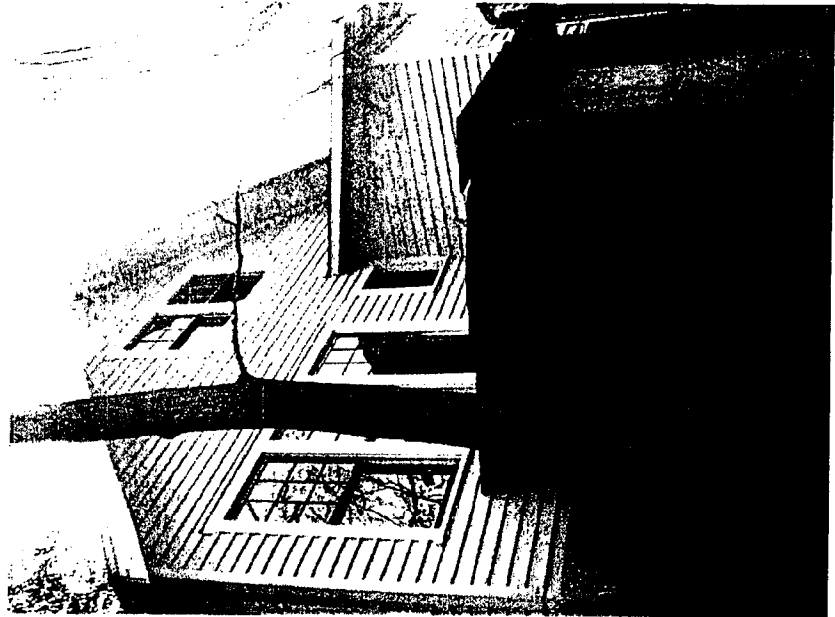


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(11)





Residents of Capitol View, which features many old and unusual homes, must abide by building restrictions because of the neighborhood's historic designation.

Tim Sloan/GAZETTE

# Like it or not, Capitol View is historic

SS GAZETTE  
Residents accept building restrictions

by Vanessa Phillips  
Staff Writer

One hundred years ago, the Capitol View Park neighborhood in Silver Spring was a bustling railroad village near Forest Glen, where trains stopped on their way from Washington.

As the area developed, various forms

## Montgomery in Microcosm Part III

of architecture began to comprise Capitol View, making the neighborhood a hodgepodge of history through its homes.

A walk through Capitol View Park today proves it is not a cookie-cutter neighborhood, a typical suburban subdivision. There are grandiose Victorian homes,

charming bungalows and even mail-order homes from the Sears catalogs of yesteryear.

Capitol View's distinction led it to becoming the county's first historic district in 1982. Residents in Capitol View, known for their political activism, say their fight to garner the designation for the area was an act to preserve the special nature of the neighborhood.

"Developers wanted to come in and

build twin towers. We wanted to have some sort of say," said Carol Ireland, member of the Capitol View Park Historical Society.

"Our community was like a backwater. Nobody really knew about us. With the Beltway and the Metro nearby, land is getting scarce. People are beginning to find us," said Roberta Fahn, who is also part of the historical society and a former member of the county's Historic Preservation Commission.

Homeowners who wish to make renovations and builders who want to develop must obtain a historic area work permit, which is granted by the county's Historic Preservation Commission (HPC). The commission must review plans to assure the new reconstruction will fit into the historic — but eclectic — character of the neighborhood.

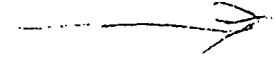
A local advisory panel also reviews plans, often visiting the homes or an area slated for work.

Residents who follow the regulations can receive tax credits from the state for helping to maintain the historic area.

The restrictions placed on neighborhood work range from limiting a deck on the back of a Victorian house to preserving old trees.

"The HPC is not always going to let you do what you want to do," said Linda Case, a resident who lives in the oldest area home and had renovations done. Nevertheless, Case and her husband worked closely with the neighborhood panel to make sure their plans fit historic criteria.

Continued on Next Page



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See **Capitol View**, page A-11

3

# CAPITOL VIEW

"When most people step back, they see it's for the best," said Hahn, a member of the neighborhood advisory panel. "Usually, if you tell people (ahead of time), it's not a problem. It's when people get caught after final plans are made, it gets sticky."

Problems can come in the form of neighbors unwilling to listen to HPC, or builders who aim to construct as much as possible on the smallest parcel of space.

"Sometimes with developers, you have more of a control, because you can issue a stop-work order. With private property, you have enforcement powers, but it gets harder," said Gwen Marcus, historic preservation coordinator for the Maryland-National Capital Park and Planning Commission.

Punishment for violators of historic regulations can come in the form of warnings, stop-work orders and fines. But Marcus said the county wants to try and mend the relationship with the violator before punishment.

"Sometimes, it's just a misunderstanding. Historic designation is something that is hard for a lot of developers and owners to understand. We try not to come in as the heavy-handed government," she said. Often, negotiations lead to a compromise between the county and developers.

While neighbors said they respect HPC's tough task, some wonder about its effectiveness.

"The boards are less willing to challenge now" than they were 10 years ago, said Roger Friedman, president of the local civic association.

"The HPC works hard, but its (regulations) are impossible to enforce," said resident Steve Kramer.

While residents and staff working agree enforcement can be tough, they still see the historic designation as important.

"We don't want to keep things exactly the same," said Diane Smith, past president of the civic association. "We want to use the homes as a reminder to what we came from."

"Some people think the HPC is not strict enough," said Hahn. "But HPC takes into consideration the many things" to keep a house livable.

"We're not going to stop the development, but at least we're going to make it more compatible," she said.

"There is a contingent not as happy to have the government stepping in to regulate," said Ireland.

But Ireland said the historic designation prevents large-scale development, such as previous plans for townhouses on Pratt Place, which were reduced.

Some residents can see literally in their backyard what happens to development outside the historic district. Just outside the historic district is a tract of land adjacent to Leafy House, a home for

seniors, where the trees have been cleared to make way for 10 single-family homes. Although residents said they know developers are within legal bounds, they still are upset to see the work.

"Because it's outside the historic district, the developers have a good deal more leverage," said County Councilman Derick Berlage (D-5, Silver Spring), who has lived in Capitol View Park for a year. "But I still am concerned to see the amount of tree loss."

Berlage said under a bill that has been passed by the County Council since that particular development began its plans, construction projects are prevented from cutting down so many trees.

"One constant in our neighborhood is the trees. Some people don't think about them until they're gone," said Hahn.

The HPC and Capitol View neighbors are beginning to think about future trends which affect the historic designation, including the prevalence of infill development, where homes are added to remaining parcels of land.

Sometimes infill creates difficult situations for HPC, such as on Meadowneck Court, where new homes are being added to an area surrounded by dwellings constructed in 1982.

Sometimes, the local panel reviews the characters of just four or five nearby homes, or one block, to determine what can and cannot be added, said Hahn.

"Because of the HPC, infill development within the historic district has been much more sensitive," said Berlage. "Historic preservation is a balance. You want to preserve the character and give reasonable discretion to the homeowners."

Capitol View likely will face an ongoing battle between its historic designation and new construction.

"What's unique about Capitol View is how much construction has been going on there since it became a historic district," said Marcus.

Neighbors said that for better or for worse, they will continue to fight and maintain the unique area in which they have chosen to live.

"I think most people in the neighborhood aren't aware with the newer homes that they're under the rules, regulations and benefits of an historic district. I see the plusses and minuses," said Case.

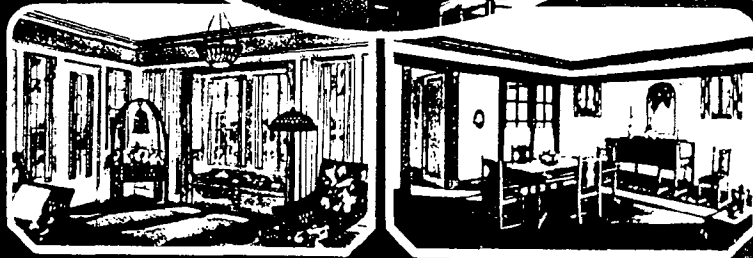
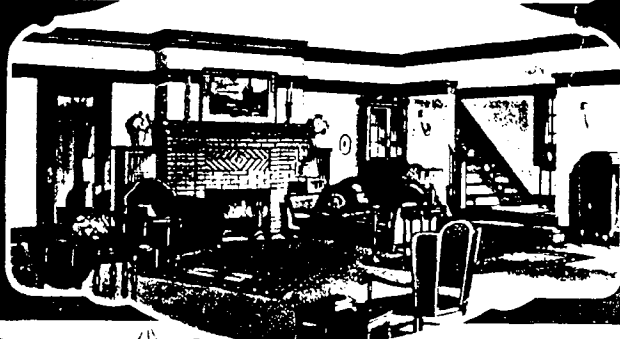
"When you live in Capitol View, you get a sense of history every day," said Berlage.

► In the upcoming final installment of "Montgomery in Microcosm," neighbors will evaluate the issues facing Capitol View Park.

35

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# SEARS, ROEBUCK CATALOG OF HOUSES 1926



An Unabridged Reprint  
Sears, Roebuck and Co.



## Thickness of Hardwood Flooring

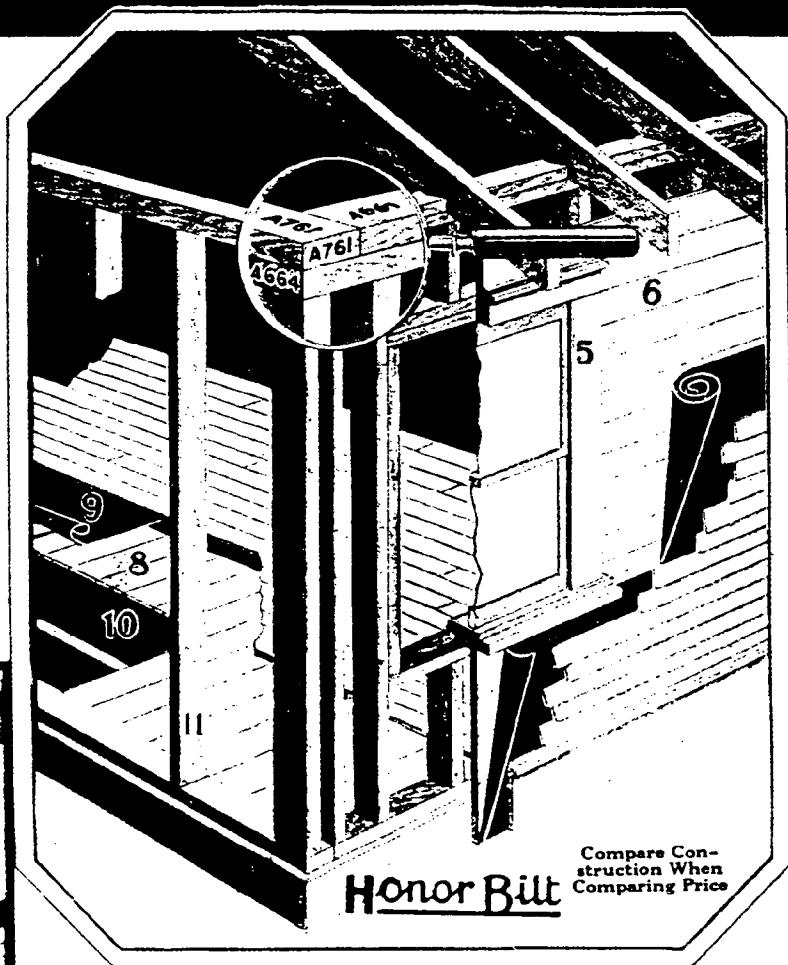
When we specify oak or maple flooring, we furnish it  $\frac{3}{4}$  inch thick, to be laid over the subfloor. Be sure to consider this point when comparing our prices with others.

We furnish shellac and extra durable floor varnish for maple floors, and paste filler and extra durable floor varnish for our oak floors.

## Cut Through a Portion of the Roof

**What Do You Find?** Here are full size extra clear Cedar Shingles of the best quality obtainable. Their serviceable and lasting qualities are too well known to need further comment. The illustration in the upper left hand corner of the opposite page shows the extra thickness of our Extra Clear Red Cedar Shingles we furnish when wood shingles are specified with "Honor Bilt" Homes, compared with the standard \*A\* grade 6-2 shingles generally furnished for most houses.

Cut and search throughout any "Honor Bilt" Modern Home; you will find every detail in every section represents the choicest material.



"Honor Bilt" Modern Homes are illustrated and described on pages 1 to 112, inclusive

## "Honor Bilt" Is the Better Home for You

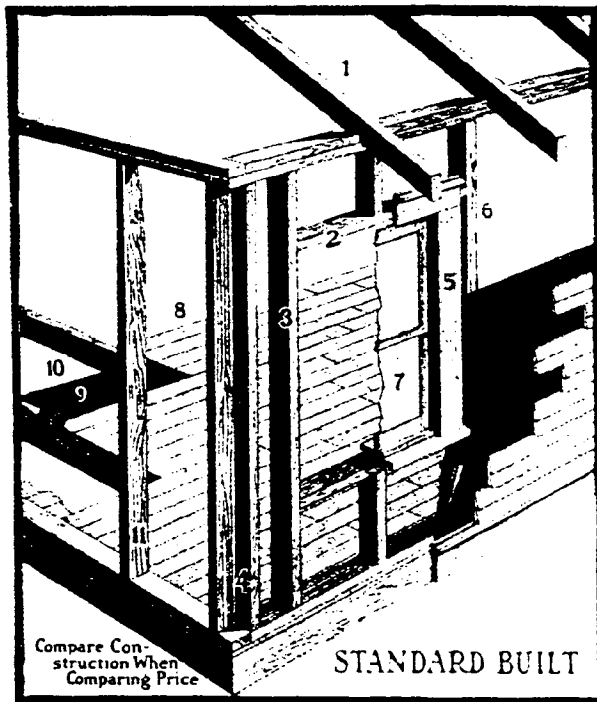
### Here Are the Reasons:

An "HONOR BILT" home means a home of guaranteed quality. It means the best in quality of workmanship and in quality of material—also architectural and free plan service (see pages 17 to 19). Judge for yourself by examining the two illustrations on this page. See the difference between Standard Built construction and "HONOR BILT" construction.

Naturally, a Standard Built house will cost less than an "HONOR BILT" house of the same size. But the thirteen reasons clearly explain why the "HONOR BILT" is well worth the low price we charge.

### "Honor Bilt" Construction Illustrated Above

- |   |   |
|---|---|
| <p>1—Rafters, 2x6 or 2x4 inches (larger where needed), 14<math>\frac{3}{8}</math> INCHES APART.</p> <p>2—DOUBLE PLATES over doors and windows.</p> <p>3—DOUBLE STUDDINGS at sides of doors and windows.</p> <p>4—THREE STUDS at corners.</p> <p>5—Outside casing, 1<math>\frac{1}{2}</math> INCHES THICK.</p> <p>6—High grade WOOD SHEATHING, 1<math>\frac{1}{8}</math> inch thick.</p> <p>7—All glass over 24x26 inches is HIGH QUALITY DOUBLE STRENGTH.</p> | <p>8—DOUBLE FLOORS WITH HEAVY BUILDING PAPER between the subfloor and finished floor.</p> <p>9—2x8-inch joists, or 2x10 where needed, 14<math>\frac{3}{8}</math> IN. APART.</p> <p>10—Studdings, 2x4 inches, 14<math>\frac{3}{8}</math> INCHES APART.</p> <p>11—Best Grade of clear Cedar Shingles, Oriental Asphalt Shingles or Oriental Slate Surfaced Roll Roofing, guaranteed for seventeen years, as specified.</p> <p>12—All outside paint, three coats of guaranteed paint, shingle stain (when shingles are used as siding), two brush coats.</p> |
|---|---|

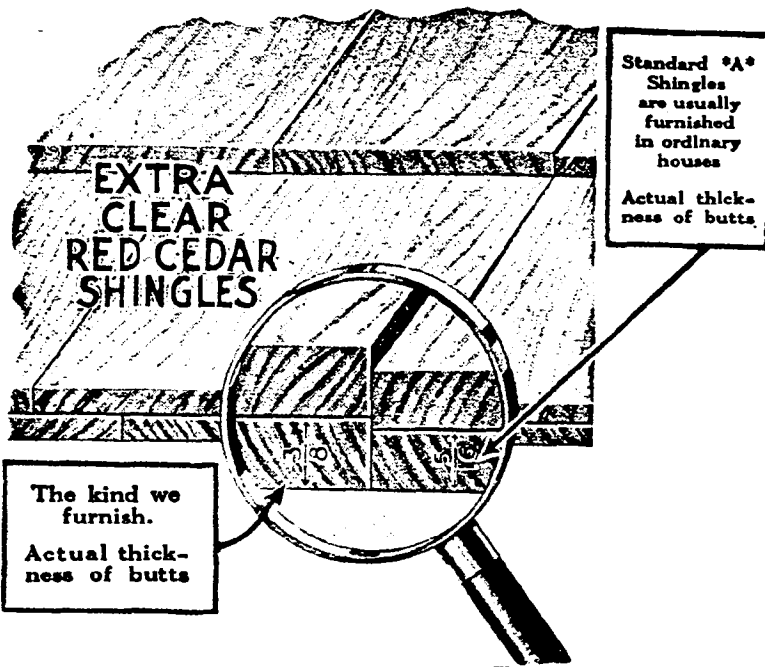


## Standard Built Construction

(See picture above)

- 1—Rafters, 2x4 inches, 22 $\frac{3}{4}$  INCHES APART.
- 2—SINGLE PLATES over doors and windows.
- 3—SINGLE STUDDINGS at sides of doors and windows.
- 4—TWO STUDS at corners.
- 5—Outside casing  $\frac{3}{4}$  INCH THICK.
- 6—NO wood sheathing.
- 7—All glass, SINGLE STRENGTH.
- 8—NO SUB-FLOOR.
- 9—Tarred felt under floors and siding.
- 10—Joists, 2x8, are placed 22 $\frac{3}{4}$  INCHES APART.
- 11—Studdings, 2x4 inches, 14 $\frac{3}{8}$  INCHES APART.
- 12—Star "A" 6-2 Red Cedar Shingles for roof.
- 13—All outside paint, two coats.

Standard Built Homes are illustrated and described on pages 113 to 120, inclusive.



The kind we furnish.  
Actual thickness of butts

## Look Into the Remotest Corner of an "Honor Bilt" House

Look between the walls, underneath the floors or beneath the shingles. Look anywhere, for that matter. You will always find that an "Honor Bilt" house is genuine through and through. Furthermore, you will always find that the quality specified in an "Honor Bilt" house is always best suited to the purpose for which it is intended. For example, inspect the kind and grade of window and sash frames.

### Cut a Window and Frame in Two

**What Do You Find?** The outside casings are  $1\frac{1}{8}$  inches thick and the sills of our window and sash frames made of red cypress, the very best wood for the purpose. The frames are of high grade, practically clear lumber. Frames are cut to fit exact size of the window for which they are intended. The sills are leakproof, an exclusive feature of "Honor Bilt" homes.

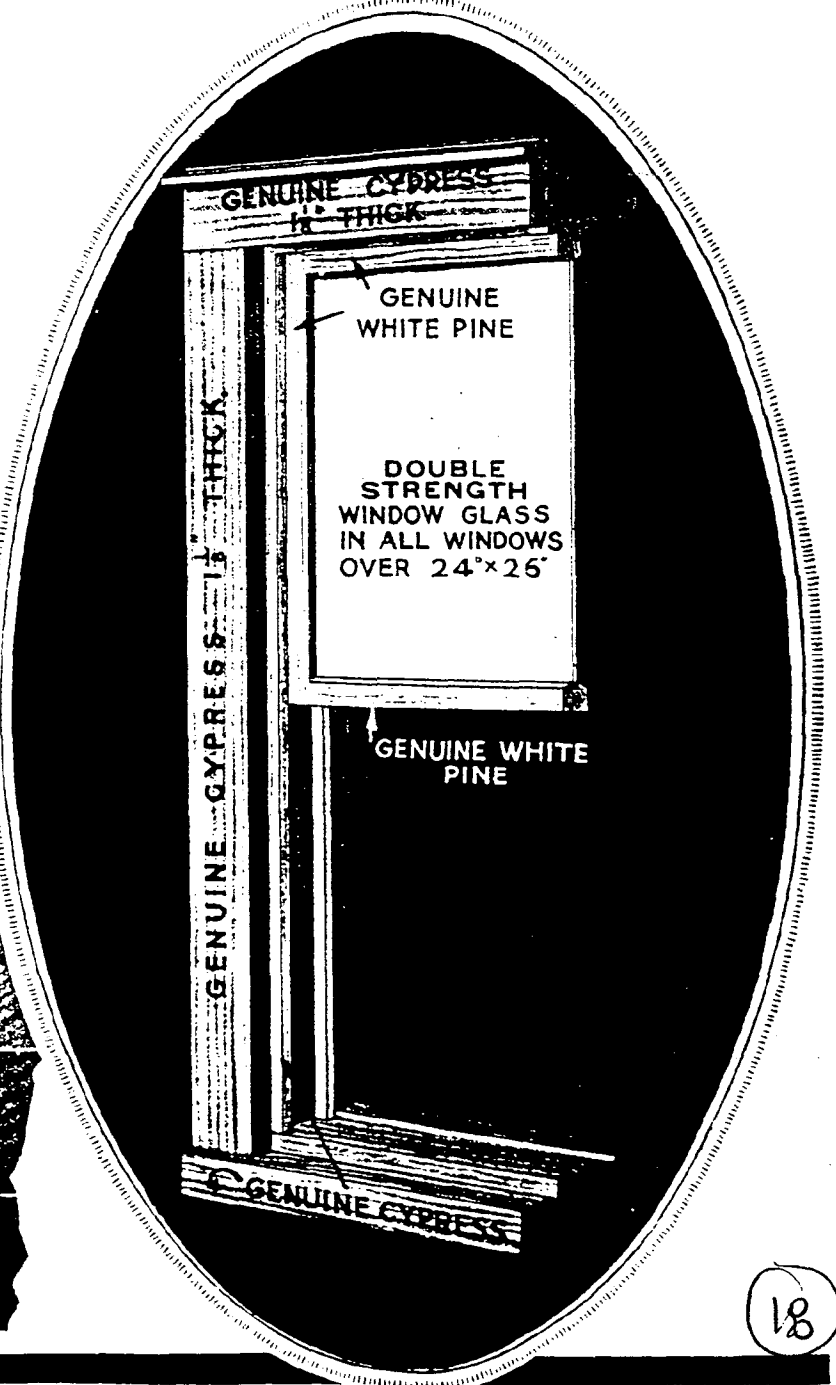
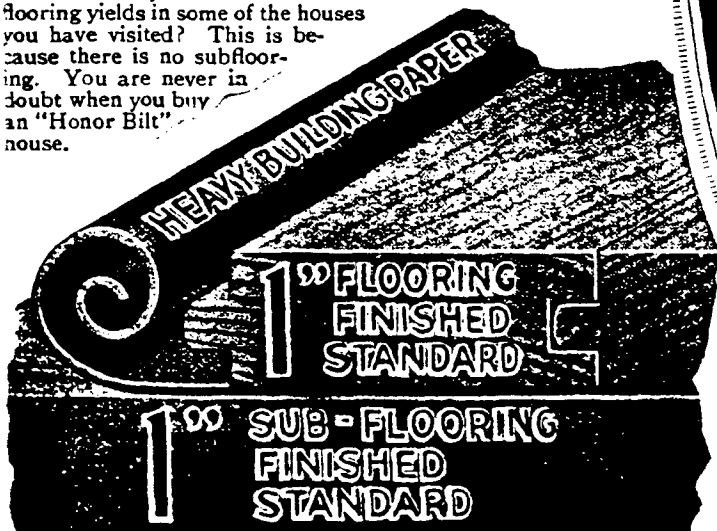
Red cypress is a much more costly lumber than is generally used for this purpose, but "Honor Bilt" specifications always calls for the best. Hence red cypress for our frames.

The glass for all windows over 24x26 inches is of double strength; nearly twice as thick as the ordinary glass.

### Cut Up a Portion of an "Honor Bilt" Floor

**What Do You Find?** The illustration shows you the subflooring and finished flooring used in our "Honor Bilt" Modern Homes. Each is one inch thick. You can easily see this makes solid, strong, durable and warm floors. Notice the extra heavy building paper between the subflooring and the finished flooring. No chance for drafts to circulate through here.

When considering the purchase of any house, investigate the question closely and be sure to insist on double floors. They will reduce heat bills and protect your health. Have you ever noticed how the flooring yields in some of the houses you have visited? This is because there is no subflooring. You are never in doubt when you buy an "Honor Bilt" house.



18

## FIVE ROOMS, BATH AND PORCH



**THE ARGYLE** is a bungalow home that will not be too extreme and yet is entirely different from a cottage. The exterior is finished in shingles, except the gables and porch which call for stucco. It is neat, well arranged and suitably constructed. We have included the most popular built-in fixtures, including bath room and the need of purchasing bulky pieces of furniture, such as book cases and kitchen cabinets. Moreover, a careful study of the Argyle floor plan reveals a most actual accommodation and more convenient than the usual six or seven-room or eight-story house.

Argyle owners are very enthusiastic. Their letters help guide our free architectural service, and material, construction and money saved on their sides. At \$2,500.00 (cash), you might say, and you could be out of it were built in the ordinary way, but our "Honor Bill" System, we are able to save you the material you can build. The Argyle is a great first step.

**The Living Room.** From the front porch, a large window looks out over the living room. It is 12 feet 2 inches wide and 15 feet 11 inches long. A fine built-in bookcase sits on the outer side of the front wall. From the side of the bookcase, a built-in window seat with a shell and wardrobe pole. A recessed side table is provided in the side wall for foot stools, a chesty table and chairs. There is ample wall space for furniture and piano. Light and ventilation from two sides.

**The Dining Room.** You pass through a wide cased opening from the living room into the dining room, size 14 feet 2 inches by 11 feet 4 inches. Here the walls are paneled. Four windows in a recessed bay insure a cheerful atmosphere that adds zest when the family lingers.

**The Kitchen.** A swinging door leads from the dining room to the kitchen. It is 12 feet 2 inches by 11 feet 2 inches by 11 feet 2 inches in size. On each side of space for sink and stove and lower cupboards. A complete cabinet built in the opposite wall. There is ample space for a stove, table and other needed furniture. Three windows let in light and air. The grade outside here is cold and dirt out. Steps lead to yard and basement.

**The Bedrooms.** A hall opens from the living room and connects with the two bedrooms and bath. Hall has a 2-door closet and also a linen closet. The front bedroom has a clothes closet with shelf. There is a front and also a side window. The rear bedroom, too, has a clothes closet with shelf. There are two windows on the side. Bathroom is conveniently located between bedrooms.

**Honor Bill**

### The Argyle

No. P17018A "Already Cut" and Fitted

**\$2,150.00**

**Basement.** Excavate the basement with concrete floor. Room for furnace, laundry and storage.

**Height of Ceilings.** Main floor, 8 feet 2 inches from floor to ceiling. Basement, 7 feet high from floor to joists.

#### What Our Price Includes

At the price quoted we will furnish all the material to build this five-room house, consisting of:

- Lumber; Lath;
- Roof Shingles, Best Grade Thick Cedar;
- Siding, Best Grade Thick Cedar Shingles;
- Framing Lumber, No. 1 Quality Douglas Fir or Pacific Coast Hemlock;
- Flooring, Clear Maple for Kitchen and Bathroom; Clear Oak for Other Rooms; Fir or Pacific Coast Hemlock;
- Porch Ceiling, Clear Douglas Fir or Pacific Coast Hemlock;
- Finishing Lumber;
- High Grade Millwork (see pages 110 and 111);
- Interior Doors, Two Vertical Panel Design of Douglas Fir;
- Trim, Beautiful Grain Douglas Fir or Yellow Pine;
- Kitchen Cupboards;
- Medicine Case;
- Brick Mantel;
- Windows, California Clear White Pine;
- 10-Lb. Building Paper; Sash Weights;
- Excess Tough and Down Spouts;
- Chicago Design Hardware (see page 132);
- Paint for Three Coats Double Trim;
- Stain for Shingles on Walls for Two Brush Coats;
- Shellac and Varnish for Interior Trim and Doors;
- Shellac, Paste Filler and Floor Varnish for Oak and Maple Floors.

**Complete Plans and Specifications.** Built on concrete foundation and excavated under entire house.

We guarantee enough material to build this house. Price does not include cement, brick or plaster.

See description of "Honor Bill" houses on pages 12 and 13.

For Our Easy Payment Plan See Page 144

Can Be Built on 33-Foot Lot  
This house can be built on the rooms covered. See page 1.



#### OPTIONS

Sheet Plaster and Plaster Finish to take the place of wood lath, \$15.00 extra. See page 109.

Second A grade Sash, guaranteed 17 years instead of 10 years, \$10.00 extra.

Brick Floors and Trim in living room and living room, \$20.00 extra.

Stair Doors and Windows, 10.00 extra.

Screen Doors and Windows, guaranteed type, \$30.00 extra.

For prices of Plumbing, Heating, Wiring, Electric Fixtures and Shades, see pages 130 and 131.

## FIVE ROOMS AND BATH



**Honor Bill**

### The Sunlight

No. P3221 "Already Cut" and Fitted

**\$1,620.00**

**IN THIS** modern five-room bungalow the architects have carefully planned every detail, that every inch of space is used to the best advantage. A careful study of the floor plan will reveal that the arrangement is ideal in every particular, resulting in the greatest amount of comfort, the lowest cost of fuel and minimum cost of upkeep. The careful planning of the "Sunlight" relieves the usual household drudgery. The high quality materials are the same as in all "HONOR BILL" homes. The low price is due: First, to the careful thought in its planning, and second, to the fact that the materials are figured at factory prices.

Front and rear gables ornamented with wood shingles, which can be stained in a pleasing tone. Porch, 24 by 8 feet, protects the front windows and door from snow, rain and sun. It makes an ideal place to enjoy the pleasant weather. Here is room for porch swing and furniture. A nice place for the kiddies to play. An enclosed rear entry is a feature.

**The Living Room.** Three steps lead to the front porch, which opens into the living room through an eight-light panel door. The arrangement of the door permits either a combination living room and dining room, or separate rooms. The living room, size 12 feet 4 inches wide by 14 feet 2 inches long, has space for piano,avenport and other furniture. Windows on two exposures provide plenty of light and ventilation.

**The Dining Room.** A wide cased opening leads from the living room to dining room. Here a buffet may be placed on the inside wall. Here the family may dine in a cheerful atmosphere. Double windows supply an abundance of light and fresh air.

**The Kitchen.** A swinging door leads from the dining room into the kitchen. Here the architect has considered the daily tasks of the housewife. The range space and sink are so arranged as to take all of the "backaches" out of the work. Near by is a convenient cupboard for china, glassware and utensils. Plenty of air and light is provided by two windows. The rear door leads to an enclosed entry, with stairs to basement, and outside entrance. Space is provided for refrigerator.

**The Bedrooms.** Passing from the dining room, you enter a hall that connects with the two bedrooms and bathroom. Directly off the hall is a linen closet. The front bedroom is of good size. A clothes closet is provided with a shell and wardrobe pole. There is a rear bedroom, size 10 feet 2 inches by 10 feet, with clothes closet. Each bedroom has two windows, giving ample light and ventilation. The arrangement of bathroom provides for tub in a recess, toilet and lavatory.

**The Basement.** Space for laundry, storage rooms and fuel bins.

**Height of Ceilings.** Basement, 7 feet high from floor to ceiling. Main floor, 9 feet from the floor to ceiling.

#### What Our Price Includes

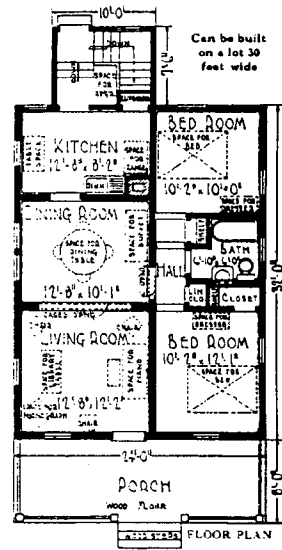
At the price quoted we will furnish all the material to build this five-room bungalow, consisting of:

- Lumber; Lath;
- Roofing, Best Grade Clear Red Cedar Shingles;
- Siding, Clear Cypress, or Clear Red Cedar Bevel;
- Framing Lumber, No. 1 Quality Douglas Fir or Pacific Coast Hemlock;
- Flooring, Clear Douglas Fir or Pacific Coast Hemlock;
- Porch Ceiling, Clear Edge Grain Fir;
- Finishing Lumber;
- High Grade Millwork (see pages 110 and 111);
- Interior Doors, Two Cross Panel Design of Douglas Fir;
- Trim, Beautiful Grain Douglas Fir or Yellow Pine;
- Medicine Case;
- Windows of California White Pine;
- 10-Lb. Building Paper; Sash Weights;
- Excess Tough; Down Spouts;
- Stratford Design Hardware (see page 132);
- Paint for Three Coats Double Trim and Siding;
- Stain for Shingles of Gables for Two Brush Coats;
- Shellac and Varnish for Interior Trim and Doors.

**Complete Plans and Specifications.** Built on concrete foundation and excavated under entire house.

We guarantee enough material to build this house. Price does not include cement, brick or plaster. See description of "Honor Bill" houses on pages 12 and 13.

For Our Easy Payment Plan See Page 144



Sheet Plaster and Plaster Finish to take the place of wood lath, \$10.00 extra. See page 109.

Second A grade Sash, guaranteed 17 years instead of 10 years, \$10.00 extra.

Brick Floors and Trim in living and dining room, \$20.00 extra.

Stair Doors and Windows, 10.00 extra.

Screen Doors and Windows, guaranteed type, \$30.00 extra.

See prices of Plumbing, Heating, Wiring, Electric Fixtures and Shades see pages 130 and 131.

## FIVE ROOMS—NEAT PORCH



Honor Bill

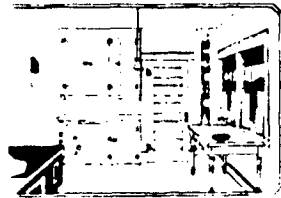
*The Clyde*

No. P9310A "Already Cut" and Fitted  
\$1,666.00

THE CLYDE has been built in many sections of the country by customers who tell of their satisfaction. Their letters praise our "Honor Bill" system, the quality of our millwork. Some tell of the money and our reliable service. Others write saying sold their home at a profit and bring another Sears, Roebuck and Co. "Honor Bill" home.

Wood Shingle panels and tapered columns, keels and other little touches make this an unusually well balanced and attractive house which will look as well on a narrow lot as on a wide one.

**Living Room.** Entering the living room, it is facing to find low large and light it is. It extends across the house and has three windows, a bench and some glass door and a wash on each side of the mantel. A mantel and fireplace occupy the center of the left wall with a seat on each side. The size of room is 10 feet 2 inches by 11 feet 2 inches. It is a good shape and arrangement that no matter what size of furniture you have, they can always be combined attractively placed.



See flooring cabinets we furnish with No. P9031A

**The Dining Room.** The wide cased opening into the dining room adds to the light and the feeling of spaciousness. Here you have the two windows pouring light right over the table. Opposite is a big wall space that will accommodate a buffet.

**The Kitchen.** From the dining room you enter the kitchen, which is an unusually compact, convenient workroom. Standing at the sink you are close to the window and the table. Kitchen cabinet is near range space. The arched entrance is a modern improvement that you will like better the longer you live in the house. It has space for ice box. Fine for carrying things between basement and yard and makes the kitchen easier to reach.

**The Bedrooms.** A hall is open from the dining room that connects with the two bedrooms and bath. There is a clothes closet off each bedroom. The bathroom has a medicine case and is lighted by a window.

**Basement.** Excavated basement under the entire house. Room for storage, furnace and laundry.

**Height of Ceilings.** Basement, 7 feet from floor to joist. Main floor, 9 feet from floor to ceiling.

### What Our Price Includes

At the price quoted we will furnish all the material to build this five-room bungalow consisting of:

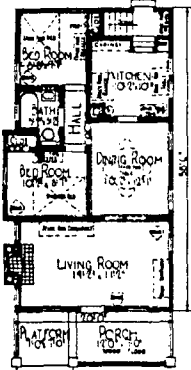
- Lumber: Lath;
- Roofing: Best Grade Clear Red Cedar Shingles;
- Siding: Clear Cypress or Clear Red Cedar, Bevel;
- Framing Lumber, No. 1 Quality Douglas Fir or Pacific Coast Hemlock;
- Flooring: Clear Grade Douglas Fir or Pacific Coast Hemlock;
- Porch Flooring: Clear Edge Grain Fir;
- Porch Ceiling: Clear Grade Douglas Fir or Pacific Coast Hemlock;
- Finishing Lumber:
- Windows of California Clear White Pine;
- High Grade Millwork (see pages 130 and 131);
- Interior Doors: Five-Cross Panel Oregon Douglas Fir;
- Trim: Beautiful Grain Douglas Fir or Yellow Pine;
- Mantel: Madeline Case; Kitchen Cabinets;
- 40-Lb. Building Paper; Bath Weights;
- Keels; Traps; Down Spout;
- Bretford Design Hardware (see page 133);
- Paint for Three Coats Outside Trim and Siding;
- Shellac and Varnish for Interior Trim and Doors;
- Stain for Two Brush Coats for Wood Shingles in Gables;
- Complete Plans and Specifications.

Built on a concrete foundation and excavated under entire house.

We guarantee enough material to build this house. Price does not include cement, brick or plaster.

See description of "Honor Bill" Houses on pages 11 and 13.

For Our Easy Payment Plan See Page 144



FLOOR PLAN

### OPTIONS

Sheet Plaster and Plaster Finish, instead of wood lath, \$132.00 extra. See page 109.

Oriental Asphalt Shingles, guaranteed 17 years, instead of wood shingles, \$33.00 extra.

Oak Doors, Trim and Floors in living room and dining room. Maple Floor in kitchen and bathroom, \$128.00 extra.

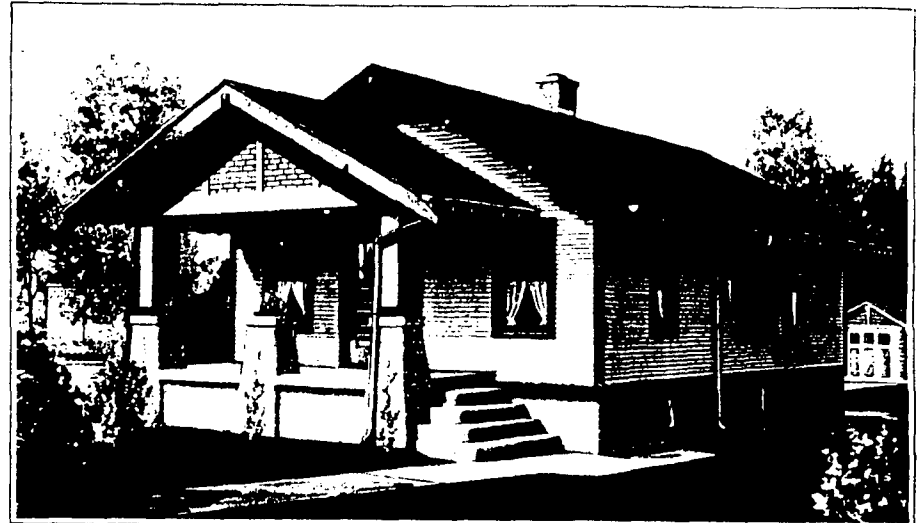
Storm Doors and Windows, \$13.00 extra.

Screen Doors and Windows, galvanized wire, \$15.00 extra.

For prices of Plumbing, Heating, Wiring, Electric Fixtures and Shades see pages 130 and 131.

Can be built on a lot 28 feet wide

## FOUR ROOMS AND BATH



Honor Bill

*The Olivia*

No. P7028 "Already Cut" and Fitted  
\$1,283.00

THE OLIVIA bungalow surely deserves its great popularity because it is one of the best planned four-room-with-bath bungalows. Here the architect has created a beautiful and harmonious design and, in addition, has planned the greatest amount of available floor space without wasting one inch.

Observe the beautiful front porch with large gable roof with exposed rafters and fancy verge boards. Note the artistic arrangement of concrete columns and how the center one provides a convenient place for a jardiniere or flower box. Then, note the shingled gables and paneled columns. Follow the lines of this home from front to rear and there will be no doubt in your mind that this is a most attractive home. Gray painted trim with a white color body will make this the "nicest" house in your block.

The front porch, 16 feet by 7 feet, is delightful. It may be screened in summer and glazed in winter. A swing or a lounging chair, with table, lamp and rug, and the porch is converted into a sun room.

The Living Room. Size, 10 feet 8 inches by 13 feet 2 inches. Low wall spaces permit the placing of

furniture and piano in a pleasing manner. There is plenty of light and ventilation from two windows and glazed front door.

The Kitchen and Dining Room. From the living room a door opens into the large kitchen. It is 8 feet 7 inches by 12 feet 8 inches. Location of sink and stove are planned to save many steps when preparing the daily meals. On the opposite side there is a built-in cabinet. (See illustration to the left.) Near the stove is a card opening to the pantry. It is provided with shelves for



Cabinet furnished to kitchen

usefuls and other kitchen needs. A table can be placed under the two windows. Directly off the kitchen is a large closet with two shelves. A door leads down three steps to the rear entry, where there is space for an ice box. Steps to basement are here, also.

The Bedrooms. From the living room a hall connects with the two bedrooms and bath. Front bedroom is 10 feet 2 inches by 10 feet 8 inches, and rear bedroom is 10 feet 2 inches by 9 feet 7 inches. Each bedroom has a clothes closet. There are two windows to each bedroom, permitting cross ventilation and light.

The bathroom plumbing is arranged on one wall, saving material and labor. The bathroom has a medicine cabinet and a window.

Basement. Excavated basement with concrete floor. Room for furnace, laundry and storage.

Height of Ceilings. Main floor, 8 feet 2 inches from floor to ceiling. Basement, 7 feet from floor to joist.

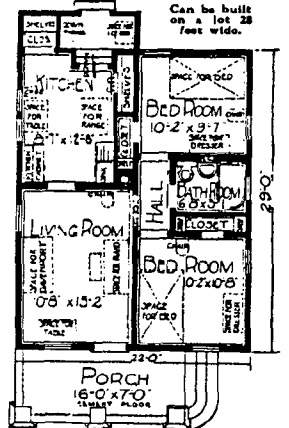
### What Our Price Includes

- At the price quoted we will furnish all the material to build this four-room bungalow, consisting of:
- Lumber: Lath;
- Roofing: Best Grade Clear Red Cedar Shingles;
- Siding: Clear Cypress or Clear Red Cedar, Bevel;
- Framing Lumber, No. 1 Quality of Douglas Fir or Pacific Coast Hemlock;
- Flooring: Clear Grade Douglas Fir or Pacific Coast Hemlock;
- Porch Ceiling: Clear Grade Douglas Fir or Pacific Coast Hemlock;
- Finishing Lumber:
- High Grade Millwork (see pages 130 and 131);
- Interior Doors: Five-Cross Panel Oregon Douglas Fir;
- Trim: Beautiful Douglas Grain Fir or Yellow Pine;
- Windows of California Clear White Pine;
- Medicine Case;
- Kitchen Cabinets;
- Keels; Traps; and Down Spout;
- 40-Lb. Building Paper; Bath Weights;
- Bretford Design Hardware (see page 133);
- Paint for Three Coats Outside Trim and Siding;
- Shellac and Varnish for Interior Doors and Trim;
- Complete Plans and Specifications.

We guarantee enough material to build this house. Price does not include cement, brick or plaster. See description of "Honor Bill" Houses on pages 12 and 13.

For Our Easy Payment Plan See Page 144

This house can be built with rooms reversed See page 1.



FLOOR PLAN

### OPTIONS

Sheet Plaster and Plaster Finish, to take the place of wood lath, \$124.00 extra. See page 109.

Oriental Asphalt Shingles, guaranteed 17 years, instead of wood shingles, \$34.00 extra.

Storm Doors and Windows, \$41.00 extra.

Screen Doors and Windows, galvanized wire, \$28.00 extra.

For prices of Plumbing, Heating, Wiring, Electric Fixtures and Shades see pages 130 and 131.

## FIVE-ROOM BUNGALOW HOME



Honor Bill

**The Wellington**  
No. P3213 "Already Cut" and Fitted  
**\$1,988.00**

is a masterpiece in a five-room NOR BILT bungalow. The porch, size 12 feet by 6 feet, massive stucco columns, the tile, the soft toned shingle sides and gable siding, produce a perfect effect. The Wellington has been one of the choicest locations and is wherever it is built. It has found at a profit of about \$2,000.00 to

use of 12-foot studding, the main s are 2 feet 11 inches above the foundation, giving an unusual height angle walls. An artistic touch is the flower box beneath the front and the massive brick chimney on elevation.

g Room. Crossing the porch, you enter through an eight-light glass door. is 12 feet 4 inches by 13 feet 7 inches, of sunshine and air from three windows, red brick mantel is located on the outside either side of the fireplace are hinged dows. The ceiling is ornamented by culture.

g Room. The arrangement of the living room permits an unobstructed view side cased opening, allowing the two rooms into one very large room, if so desired, room walls are ornamented with moulded or high class buildings. A large double side an abundance of light and air. The is 14 feet 4 inches by 11 feet 3 inches. ny of space is seat the happy family along room table. Space is provided for inside wall.

se. A swinging door leads to the kitchen, it arranged inusewife's workroom. Pre- d becomes a pleasure because of having elating the sink, stove and work table below. The built-in cupboard, where n stenails and provisions can be stored, feature. Cross ventilation and light are s window on the side, and another in the or open into a rear entry, which leads basement or to the outside. Directly kitchen door, space is provided for

The Bedrooms and Bath. A small hall, directly of the dining room, connects with two large bedrooms and bathroom—an ideal arrangement. Immediately of the hall is a coat closet. Each bedroom has a closet with hat shelf and wardrobe pole. Each bedroom has two windows, giving light and cross ventilation.

The Basement. Basement with cement floor under the entire house. There is ample space for a work bench, laundry, storage and fuel.

Height of Ceilings. Basement, 7 feet from floor to joists. Main floor, 8 feet 6 inches from floor to ceiling.

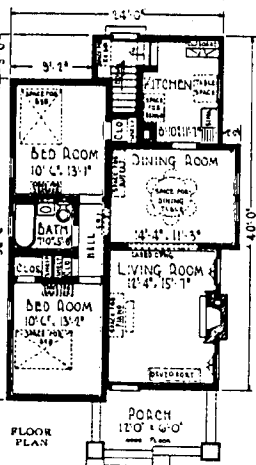
### What Our Price Includes

At the price quoted we will furnish all the material to build this five-room bungalow, consisting of:

- Lumber; Lath;
- Roofing, Best Grade Clear Red Cedar Shingles;
- Siding, Clear Cypress or Clear Red Cedar, Bevel, Above Belt Course;
- Siding, Best Grade Thick Cedar Shingles;
- Framing Lumber, No. 1 Quality Douglas Fir or Pacific Coast Hemlock;
- Sliding, Clear Edge Grain Fir;
- Flooring, Clear Maple for Kitchen and Bathroom, Clear Oak for Other Rooms;
- Porch Floor, Clear Edge Grain Fir or Pacific Coast Hemlock;
- Finishing Lumber; High Grade Millwork (see pages 110 and 111);
- Interior Doors, Two Vertical Panel Design of Douglas Fir;
- Trim, Beautiful Grain Douglas Fir or Yellow Pine;
- Kitchen Cupboard and Medicine Cases;
- Brick Mantel;
- Windows of Milfronts Clear White Pine;
- 48-Lb. Building Paper; Sash, Weights;
- Even Trough and Down Spouts;
- Chicago Design Hardware (see page 131);
- Paint, Three Coats Outside Trim and Bevel Siding; Stain, Two Brush Coats for Shingles on Walls;
- Shellac and Varnish for Interior Trim and Doors;
- Shellac, Paste Filler and Floor Varnish for Oak and Maple Floors;
- Complete Plans and Specifications.

We guarantee enough material to build this house. Price does not include cement, brick or plaster. See description of "Honor Bill" Houses on pages 12 and 13.

Can be built on a lot 30 feet wide



### OPTIONS

- Shed Plaster and Plaster Finish to take the place of wood lath, \$147.00 extra. See page 109.
- Interior Asphalt Shingles, guaranteed 17 years, instead of wood shingles, for roof, \$48.00 extra.
- Slat Doors and Trim in living room and dining room, Maple Floors in kitchen and bathroom, \$82.00 extra.
- Storm Doors and Windows, \$52.00 extra.
- Screen Doors and Windows, galvanized wire, \$34.00 extra.

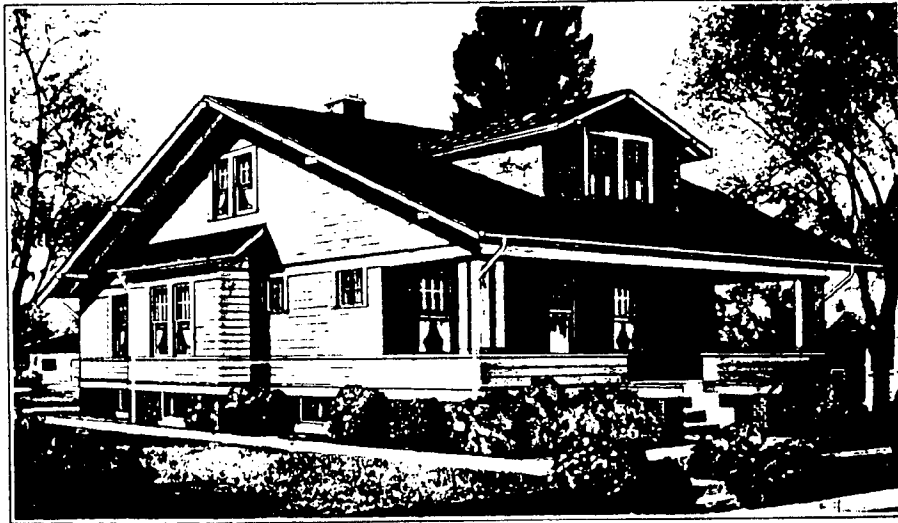
Far prices of Plumbing, Heating, Wiring, Electric Fixtures and Shades see pages 130 and 131.

For Our Easy Payment Plan See Page 144

P602

SEARS, ROEBUCK AND CO.

## FIVE OR EIGHT ROOMS AND BATH



Honor Bill

**The Sheridan**  
No. P3224 "Already Cut" and Fitted  
**\$2,245.00**

THE SHERIDAN is a popular type of bungalow, planned to give the utmost livable space for its size, 28 by 38 feet. The upkeep cost is very small. All the materials are high grade. Porch extends across the entire front of the bungalow and is 26 feet wide by 8 feet deep. It may be screened or glazed and used as a most desirable room.

### FIRST FLOOR

The Living Room. A view of the living room suggests a comfortable home. Plenty of space permits placing of piano, literature and pictures. Size, 15 feet 2 inches wide by 12 feet 11 inches deep. Room is well lighted and cross ventilated by the double front window and the two casement windows at the side.

The Dining Room. Living and dining rooms were planned and may be used as one room or as separate rooms, being connected by a closed opening. Dining room is well lighted by double window and thorough ventilation is assured. There is ample space to seat and serve the family; also space for a buffet.

The Kitchen. The kitchen is entered from dining room by a swinging door. Sink is immediately inside the door, with space for range alongside. Table space is arranged under double window. Windows afford light and ventilation. A door connects with pantry that is equipped with shelves and lighted by window. There is space for refrigerator, and front door in entry. A door also opens to entry where steps lead to outside and to basement.

The Bedrooms. Through so open passage you enter a conveniently located hall leading to bedrooms and stairway to second floor. In designing the hall and bedrooms attention was given to the creation of service closets. A coat closet is located in passage from dining room to hall, with a linen closet in the closet with pole and shelf. A broom closet and air closet from two windows. Rear bedroom has one clothes closet, with shelf and wardrobe pole and another closet with shelf. Lighted and ventilated by two windows.

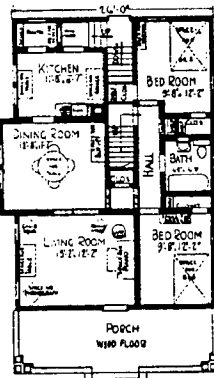
The Bathroom. Bathroom is conveniently located between the two bedrooms. A medicine case with plastic glass mirror is furnished.

### SECOND FLOOR

An enclosed stairway leads to second floor. The plan calls for three bedrooms and clothes closets for just the small cost of finishing them. See option under floor plan.

Basement. Room for furnace, laundry and storage. Height of Ceilings. Main floor, 8 feet 7 inches. Floor to ceiling. Second floor, 8 feet 7 inches. Door to ceiling. Basement, 7 feet. concrete door to ceiling joists.

Can be built on a lot 32 feet wide

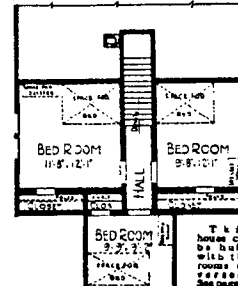


FIRST FLOOR PLAN

SEARS, ROEBUCK AND CO.



Partial view showing living room and dining room of the Sheridan. There are many other ways to furnish this bungalow home.



Finished Second Floor Plan, \$141.00 Extra

For Our Easy Payment Plan See Page 144

P603

SEARS, ROEBUCK AND CO.

### What Our Price Includes

At the price quoted we will furnish all the material to build this five-room bungalow, consisting of:

- Lumber; Lath;
- Roofing, Oriental Slate Surfaced Shingles;
- Siding, Clear Cypress or Clear Red Cedar, Bevel;
- Finishing Lumber, No. 1 Quality Douglas Fir or Pacific Coast Hemlock;
- Porch Flooring, Clear Edge Grain Fir;
- Porch Ceilings, Clear Grade Douglas Fir or Pacific Coast Hemlock;
- Finishing Lumber;
- High Grade Millwork (see pages 110 and 111);
- Interior Doors, Two Vertical Panel Design of Douglas Fir;
- Trim, Beautiful Grain Douglas Fir or Yellow Pine;
- Medicine Case;
- Windows of California Clear White Pine;
- 48-Lb. Building Paper; Sash, Weights;
- Even Trough and Down Spouts;
- Chicago Design Hardware (see page 131);
- Paint, Three Coats Outside Trim and Siding; Stain, Two Brush Coats for Shingles on Walls;
- Shellac and Varnish for Interior Trim and Doors;
- Shellac, Paste Filler and Floor Varnish for Oak and Maple Floors;
- Complete Plans and Specifications.

We guarantee enough material to build this house. Price does not include cement, brick or plaster.

Complete plans and specifications. "Honor Bill" construction explained on pages 12 and 13.

### OPTIONS

- Shed Plaster and Plaster Finish to take the place of wood lath, \$147.00 extra. With attic, \$174.00 extra. See page 109.
- Storm Doors and Windows, \$59.00 extra. With attic, \$85.00 extra.
- Screen Doors and Windows, galvanized, \$37.00 extra. With attic, \$17.00 extra.
- Oak Paper, Trim and Floors for living and dining room, \$142.00 extra.
- Slat Doors and Windows, \$52.00 extra.

For Prices of Plumbing, Heating, Wiring, Electric Fixtures and Shades see pages 130 and 131.

For Our Easy Payment Plan See Page 144

For Our Easy Payment Plan See Page 144

21

## FROM THE GOLDEN WEST



OSBORN is the most pleasing type stucco and shingle-sided bungalow Spanish architecture. Where you find its equal? Massive stucco and bulkheads, trimmed with red brick, and a needed touch of color, using its gravel tones. The timber, resting on the large square piers, are in perfect harmony with the stucco and shingle roof, and support the graceful roof wide veranda. Large and timber porch here the architect has given careful to every detail, and furnished a credit to striking, or restful. The shingle, the rough wood columns, corbels, pilars, can be painted or stained a rich or dark brick red, with most pleasing contrast with the gray stucco porch and columns.

Osborn will appeal to the lover of because of its two open porches, both set by the main roof, and the sleeping in the rear. The side porch is private, 12 feet x 8 feet 3 inches. The front porch, 12 feet wide steps and landing level, to sit on concrete, and is 22 feet by 9 feet, is of unusual size.

**Living Room.** This spacious room extends the full width of the house, 24 feet 11 inches by 11 inches. One is immediately attracted with the richness and high position of the woodwork. The side of the room is a recessed wall with a large window, and a paneled window with a decorative arch. The side of the room is a recessed wall with a large window, and a paneled window with a decorative arch. The side of the room is a recessed wall with a large window, and a paneled window with a decorative arch.

**Dining Room.** A well appointed with a bookcase, side table, and a large window. The side of the room is a recessed wall with a large window, and a paneled window with a decorative arch. The side of the room is a recessed wall with a large window, and a paneled window with a decorative arch.

**Honor Bill**

# The Osborn

No. P12050A "Already Cut" and Fitted

**\$2,753.00**

**The Kitchen.** Located back of the dining room is the kitchen, 10 feet 3 inches by 11 feet 6 inches. It contains a sink, a range, and a refrigerator. The large cupboard has a working shelf, and a window above it. There is a space for the range and refrigerator, and a window above it. There is a space for the range and refrigerator, and a window above it.

**What Our Price Includes**

At the price quoted we will furnish all the material to build this five-room and sleeping porch bungalow, consisting of:

- Lumber: Lath;
- Roofing: Best Grade of Red Cedar Shingles;
- Siding: Cedar Siding, or Red Cedar, Board;
- Framing Lumber, No. 1 Douglas Fir or Douglas Fir, or Fir;
- Flooring: Best Grade of Hardwood Floor, or Hardwood;
- Porch Ceiling, Cedar or Fir, or Pacific Coast Pine;
- Finishing Lumber;
- High Grade Millwork, including 110 and 111;
- Interior Doors, Four Panels, Douglas Fir;
- Trim, including Casings, Mouldings, and Baseboards;
- Kitchen Cabinet;
- Mantel;
- Ironing Board;
- Eave Trough and Down Spout;
- Windows, California Glass, West Glass;
- 40-Lb. Building Paper; Sash Weights;
- Stratford Design Hardware, including 132;
- Paints, White, Green, Blue, Brown, and Black;
- Shellac and Varnish, including 132, 133, and 134.

Options include:

- 10-Lb. Building Paper; Sash Weights;
- Interior Doors, Four Panels, Douglas Fir;
- Trim, including Casings, Mouldings, and Baseboards;
- Windows, California Glass, West Glass;
- Shellac and Varnish, including 132, 133, and 134;
- Electric Wiring, Heating, Wiring, Electric Fixtures and Shades, see pages 130 and 131.

For Our Easy Payment Plan See Page 144

## FIVE ROOMS, BATH AND PORCH



THE OAKDALE is a bungalow home of unusual charm. It is a masterpiece of one of America's best architects. The Oakdale's exterior, as well as its floor plan, deserves your careful study. A unique feature is the large front porch, size, 15 feet by 8 feet, with brick foundation and large square columns that support the trusses that carry its roof with its wide overhanging eaves. Note the timber pilings that ornament the gables, and add strength to the structure; the three louver ventilators that adorn the

**Honor Bill**

# The Oakdale

No. P3206A "Already Cut" and Fitted

**\$1,842.00**

**What Our Price Includes**

At the price quoted we will furnish all the material to build this five-room bungalow consisting of:

- Lumber: Lath;
- Roofing: Best Grade of Red Cedar Shingles;
- Siding: Cedar Siding, or Red Cedar, Board;
- Framing Lumber, No. 1 Douglas Fir or Douglas Fir, or Fir;
- Flooring: Best Grade of Hardwood Floor, or Hardwood;
- Porch Ceiling, Cedar or Fir, or Pacific Coast Pine;
- Finishing Lumber;
- High Grade Millwork, including 110 and 111;
- Interior Doors, Four Panels, Douglas Fir;
- Trim, including Casings, Mouldings, and Baseboards;
- Kitchen Cabinet;
- Mantel;
- Ironing Board;
- Eave Trough and Down Spout;
- Windows, California Glass, West Glass;
- 40-Lb. Building Paper; Sash Weights;
- Stratford Design Hardware, including 132;
- Paints, White, Green, Blue, Brown, and Black;
- Shellac and Varnish, including 132, 133, and 134.

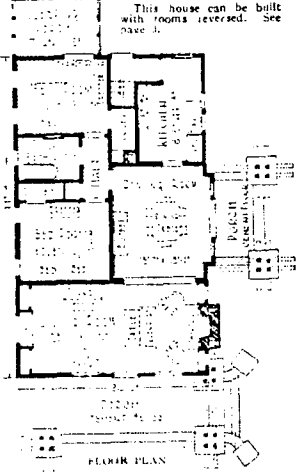
**The Living Room.** This is a beautiful room, 11 feet 6 inches by 11 feet 6 inches. It contains a sink, a range, and a refrigerator. The large cupboard has a working shelf, and a window above it. There is a space for the range and refrigerator, and a window above it.

**The Dining Room.** A well appointed with a bookcase, side table, and a large window. The side of the room is a recessed wall with a large window, and a paneled window with a decorative arch. The side of the room is a recessed wall with a large window, and a paneled window with a decorative arch.

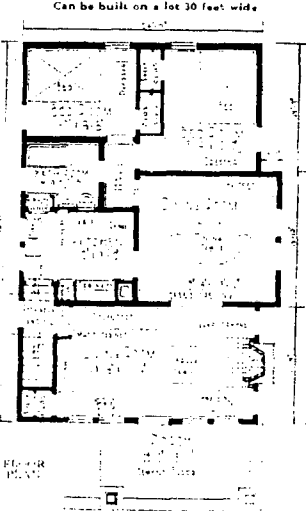
**The Kitchen.** Located back of the dining room is the kitchen, 10 feet 3 inches by 11 feet 6 inches. It contains a sink, a range, and a refrigerator. The large cupboard has a working shelf, and a window above it. There is a space for the range and refrigerator, and a window above it.

For Our Easy Payment Plan See Page 144

Can be built on a lot 42 feet wide



Can be built on a lot 30 feet wide



SEABY, ROEBUCK AND CO.

SEABY, ROEBUCK AND CO.

April 10, 1999

Ms. Perry Kephart, Historic Preservation Planner  
M-NCPPC  
8787 Georgia Avenue  
Silver Spring, MD 20910-3760

Dear Ms. Kephart,

The L.A.P. met on Saturday, April 10, 1999 to review the proposed plat for the former Moore property, 9816 Capitol View Avenue. We concluded unanimously that the proposed houses are too closely spaced for this part of Capitol View Park, the most pristine, least developed section of the entire historic district, with widely spaced houses from Leafy Avenue to the north to Forest Glen Avenue to the south. Every house is well spaced from others, typically sited on 1-1/2 to 2-1/2 lots, and each is a historic resource in itself. The spacing of these houses contributes greatly to the sense of green open space that is one of the most charming features of the area. Indeed, it would set a poor precedent to allow these new houses to be spaced so closely together, as there are many more vacant lots in this immediate area. Were they also to be so densely developed, it would forever alter the special and historic character of this gateway area. This would be a loss not only to the unique character of Capitol View Park but also to Montgomery County, which has lost much of its original late 19<sup>th</sup> - early 20<sup>th</sup> century character, especially in the near-in suburban areas. Capitol View Park's south portal has not changed significantly in almost 100 years. The sense of stepping back in time is palpable and worthy of preservation.

In sum, we'd prefer to see fewer, larger houses on this site for a number of reasons, as follows:

1. The Moore house is the smallest and most modest house in the vicinity. If the new houses are equally modest and are spaced as platted, this section of Capitol View Park will start to take on the more mixed character of the more northerly section of Capitol View Avenue, which has many fewer, more far flung historic resource properties, with more very crowded infill houses, thereby offering a more mixed character of considerably less distinction than the southern portal to Capitol View Park, which is truly unique. The proposed houses are so closely spaced that the view of the site from the south approach will be closed in by a receding wall of houses extending out of site to the east. Rather than building more tiny houses, we think that given enough lot area, the original Moore house could successfully be expanded in size to match more closely the massing and size of other nearby houses. To us this would be preferable to adding so many small houses, one of which is so close to the south side of the Moore house as to preclude enlarging it in the most logical direction, given the existing conditions. We are unanimous in our preference not to allow a new house on lot 22, except as per our attached plat.
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- between the original Moore house and lot 23, and with two houses only to the south of the Moore house. Our proposal for platting the lots is attached.
3. With respect to trees, we appreciate that Mr. Alfandre appears to be concerned with preserving trees, particularly the White Oak to the far north of the property. We respectfully request that this and other trees to remain be fenced at their drip lines, with no storage of materials or topsoil allowed, to prevent damage to the soil and roots during any construction planned for the site.
  4. With respect to safety, we observe that the location of the driveway entrance on the blind curve is an invitation to more accidents than already occur on that curve. It is the most dangerous part of Capitol View Avenue, with accidents occurring regularly due to the narrow curving character and poor sight lines of the road. Any driveway on the south end should be located as far west as possible. We are unanimous in opposing the private drive that is shown traversing the lots behind the houses. This road cuts the houses off from their rear yards and is out of character with the historic district. It appears to be so designed as to alleviate the need for individual driveways from the street, but the greater effect is to enhance the impression of overcrowding the site. Better to include fewer houses, as suggested above, perhaps incorporating a shared driveway between two of the houses served, as shown on our proposed plat.
  5. We urge Mr. Alfandre to reconsider his plans for this unusual property in its special setting. As he is not a resident of this area, he may not yet have come to truly appreciate either its uniqueness or the protective instincts of the residents of this special place, which we do not wish to see diminished by the application of the maximum density permitted by the zoning, a condition which does not now prevail.

We appreciate the opportunity to express our views on this matter and hope that these concerns will be given due consideration.

Yours sincerely,

Emily C. Volz, A.I.A., Chair, L.A.P.

Carol Ireland, L.A.P.

Jenny Ritchie, L.A.P.

Duncan Tebow, L. A.P.

Cc: Mr. Derrick Berlage, County Council



# A. CONTEXT STUDY

(AS IS)



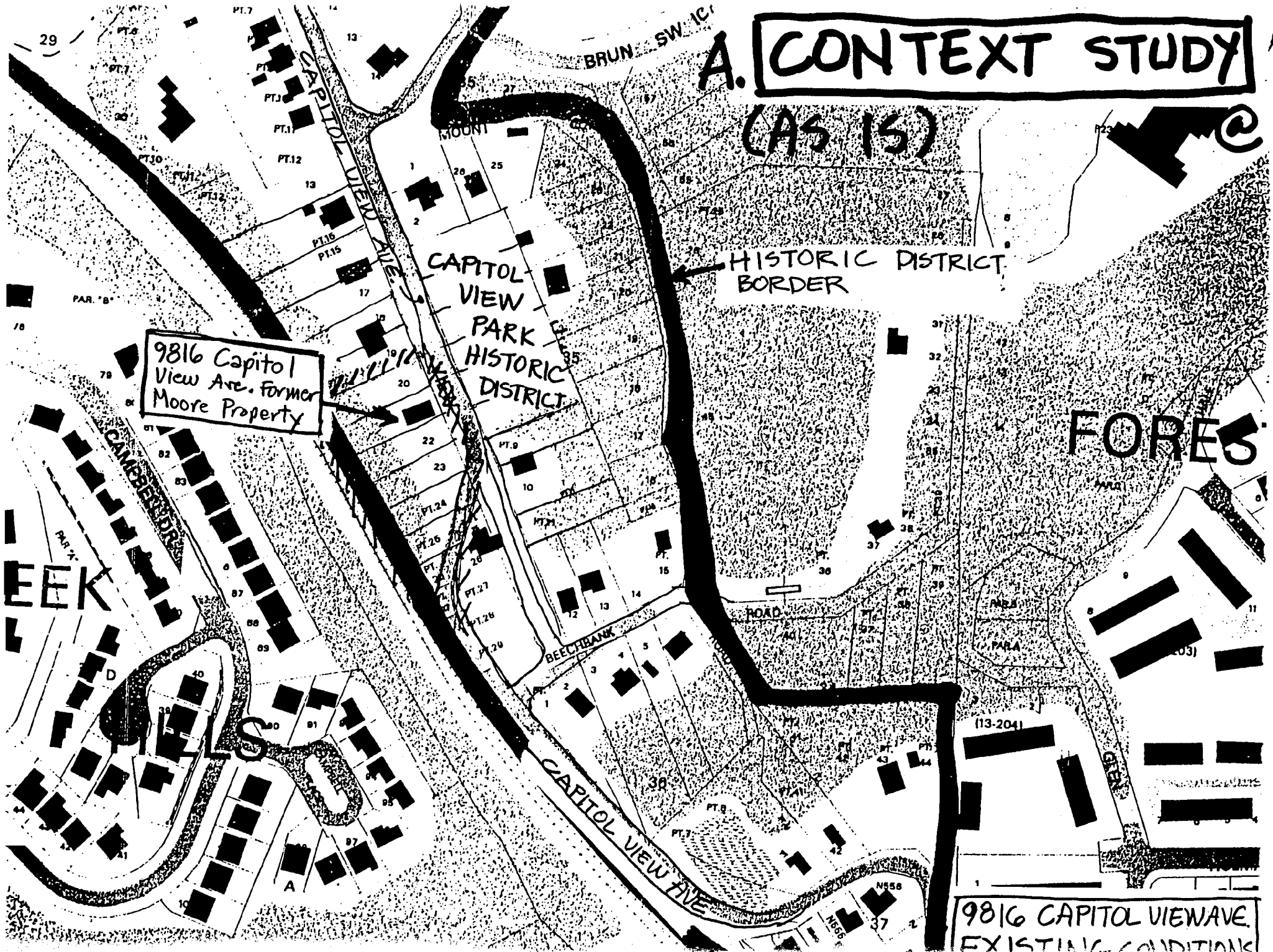
HISTORIC DISTRICT BORDER

9816 Capitol View Ave. former Moore Property

CAPITOL VIEW PARK HISTORIC DISTRICT

FOREST

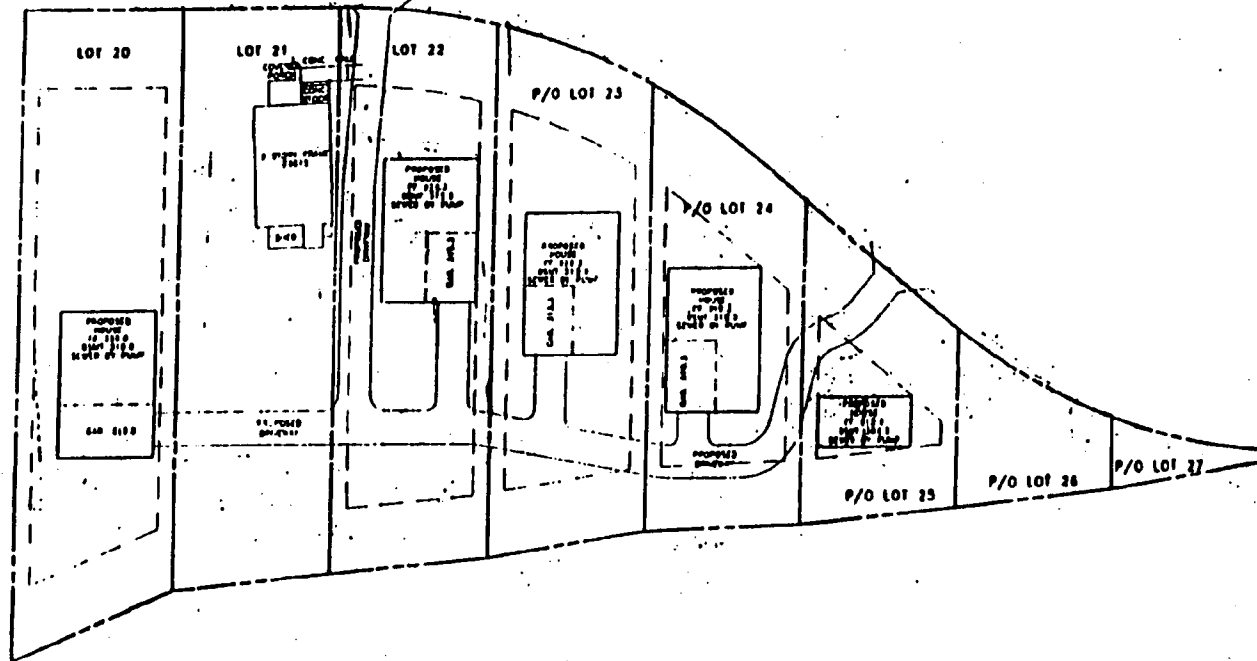
9816 CAPITOL VIEW AVE. EXISTING CONDITIONS



VICINITY MAP 1"=2000'

CAPITOL VIEW AVENUE

Alfandre Proposal  
 9816 Capital View Ave.  
**SITE PLAN to**  
**Match context stud**  
**'B'**



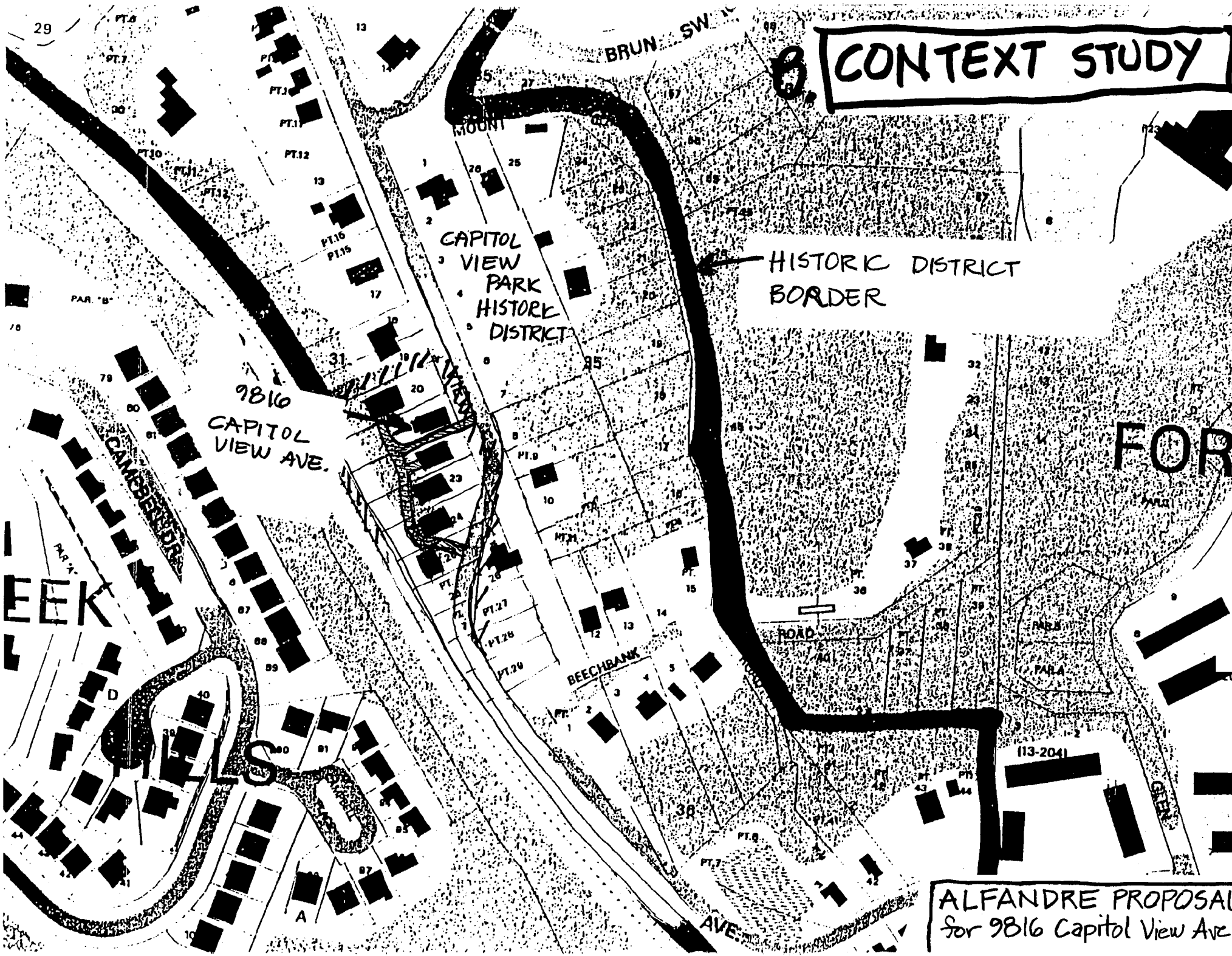
**NOTES**

- 1 TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE IN THE DATE OF THE A.S.S.C.
- 2 LINES SHOWN PER FIELD SURVEY BY THIS OFFICE
- 3 BOUNDARY DISTANCE, UTILITY INFORMATION AND ADJ. WING IMPROVEMENTS TAKEN FROM RECORDED INFORMATION TOGETHER WITH FIELD LOCATIONS

9

<p><b>CONCEPTUAL SITE PLAN</b>          HOUSE CONSTRUCTION          LOTS 20 - 22 &amp; PART OF LOTS 23-27, BLOCK 31  <b>CAPITOL VIEW PARK</b>          AS RECORDED IN          PLAT BOOK A AT PLAT NUMBER 9</p>		<p>WHEATON ELECTION DISTRICT NO. 13          MONTGOMERY COUNTY, MARYLAND</p>	<p>DATE          11-30-09          CHECKED          GAF          3/09</p>									
				<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	DATE	BY					
No.	DATE	BY										
<p><b>FOWLER ASSOCIATES, INC.</b>          CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS</p>			<p>DATE          11-30-09          CHECKED          GAF          3/09</p>									

# CONTEXT STUDY



CAPITOL  
VIEW  
PARK  
HISTORIC  
DISTRICT

HISTORIC DISTRICT  
BORDER

9816  
CAPITOL  
VIEW AV.

FOR

ALFANDRE PROPOSAL  
for 9816 Capitol View Ave.

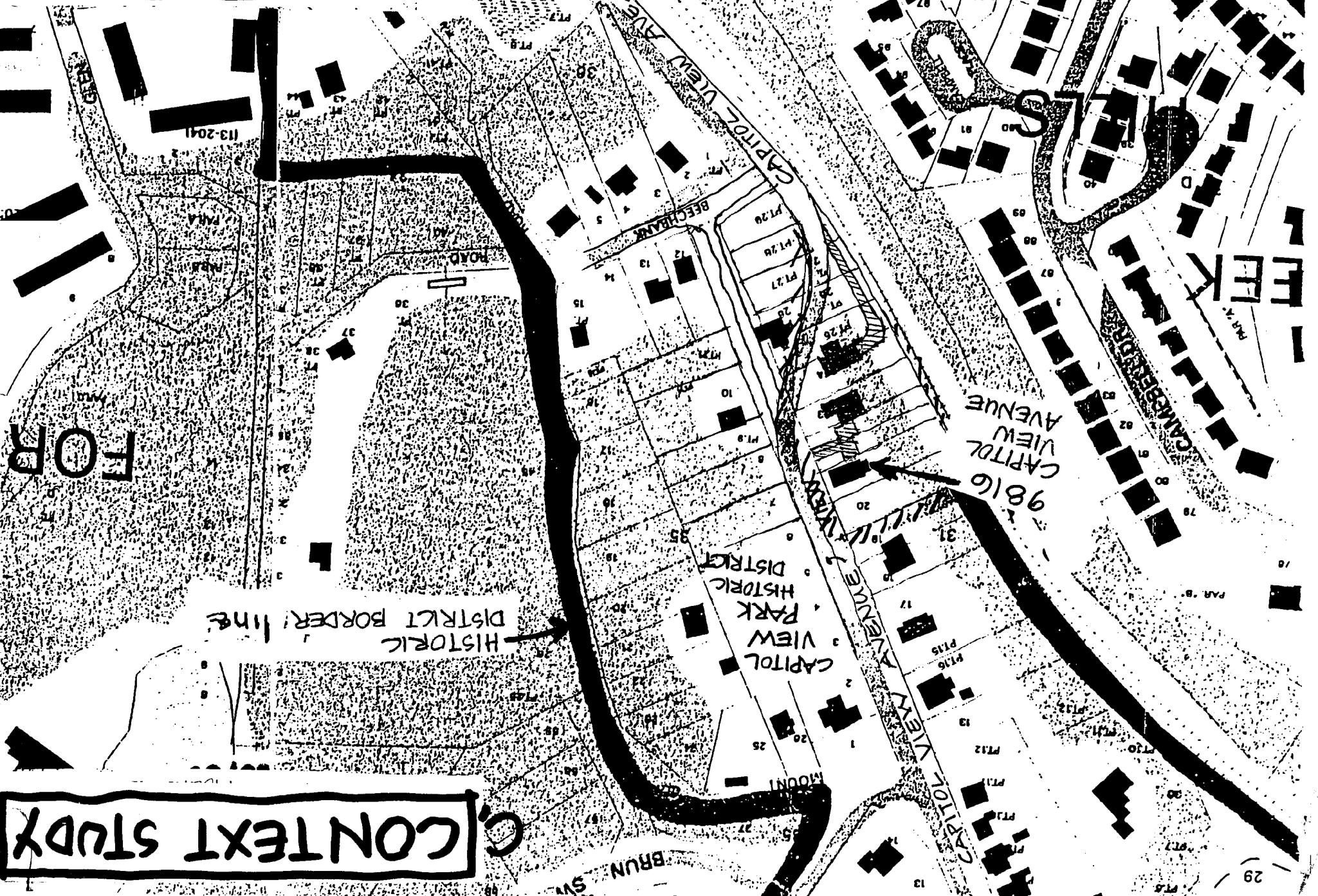
(13-204)



# C. CONTEXT STUDY

HISTORIC DISTRICT  
PARK VIEW  
CAPITOL VIEW  
HISTORIC DISTRICT

FOR



L.A.P. Counter proposal to  
Altavde. Proposal for 9816  
Capitol View Ave.

9816  
CAPITOL  
VIEW  
AVENUE

April 10, 1999

Ms. Perry Kephart, Historic Preservation Planner  
M-NCPPC  
8787 Georgia Avenue  
Silver Spring, MD 20910-3760

Dear Ms. Kephart,

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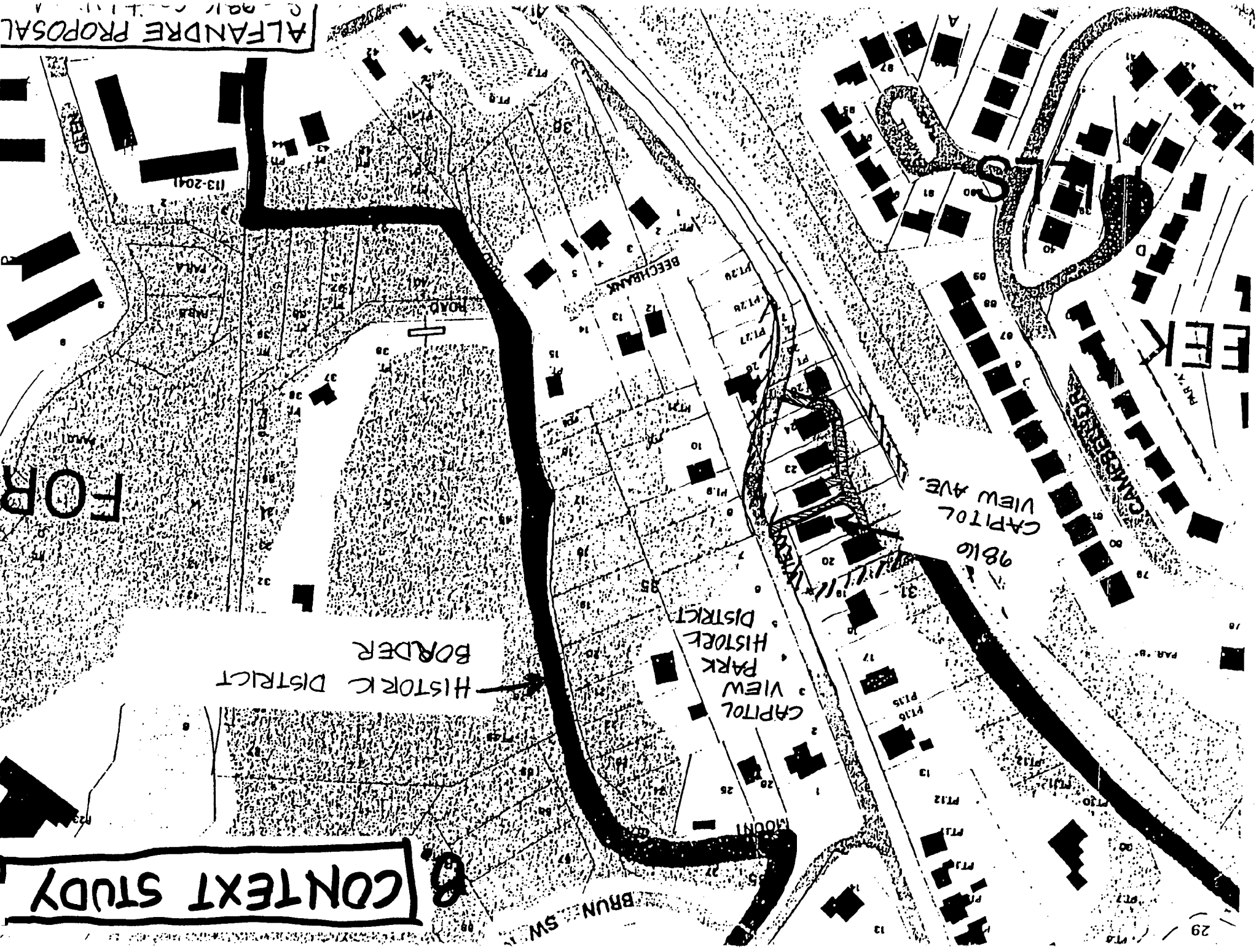
Duncan Tebow, L. A.P.

Cc: Mr. Derrick Berlage, County Council

ALFANDRE PROPOSAL

FOR

CONTEXT STUDY

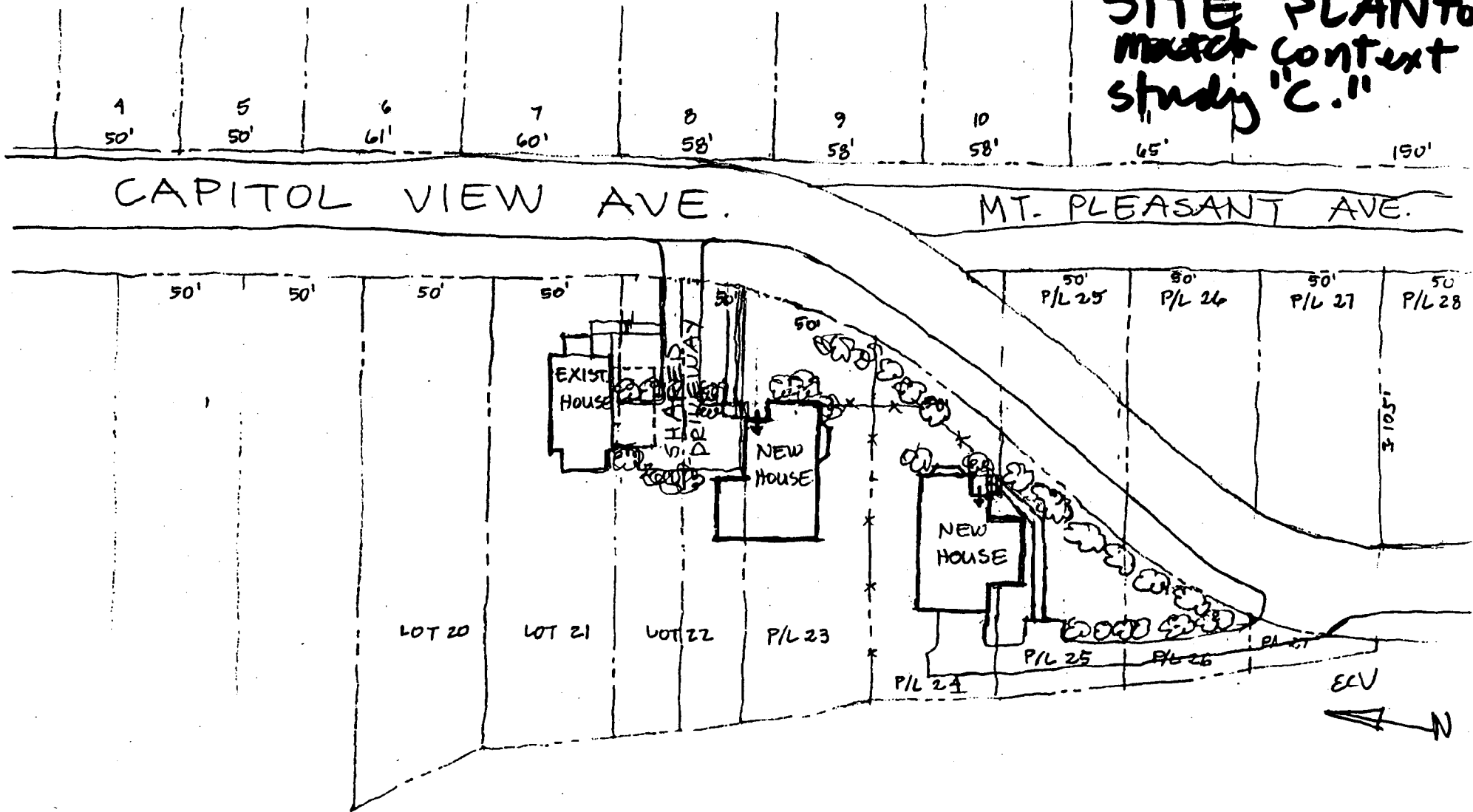




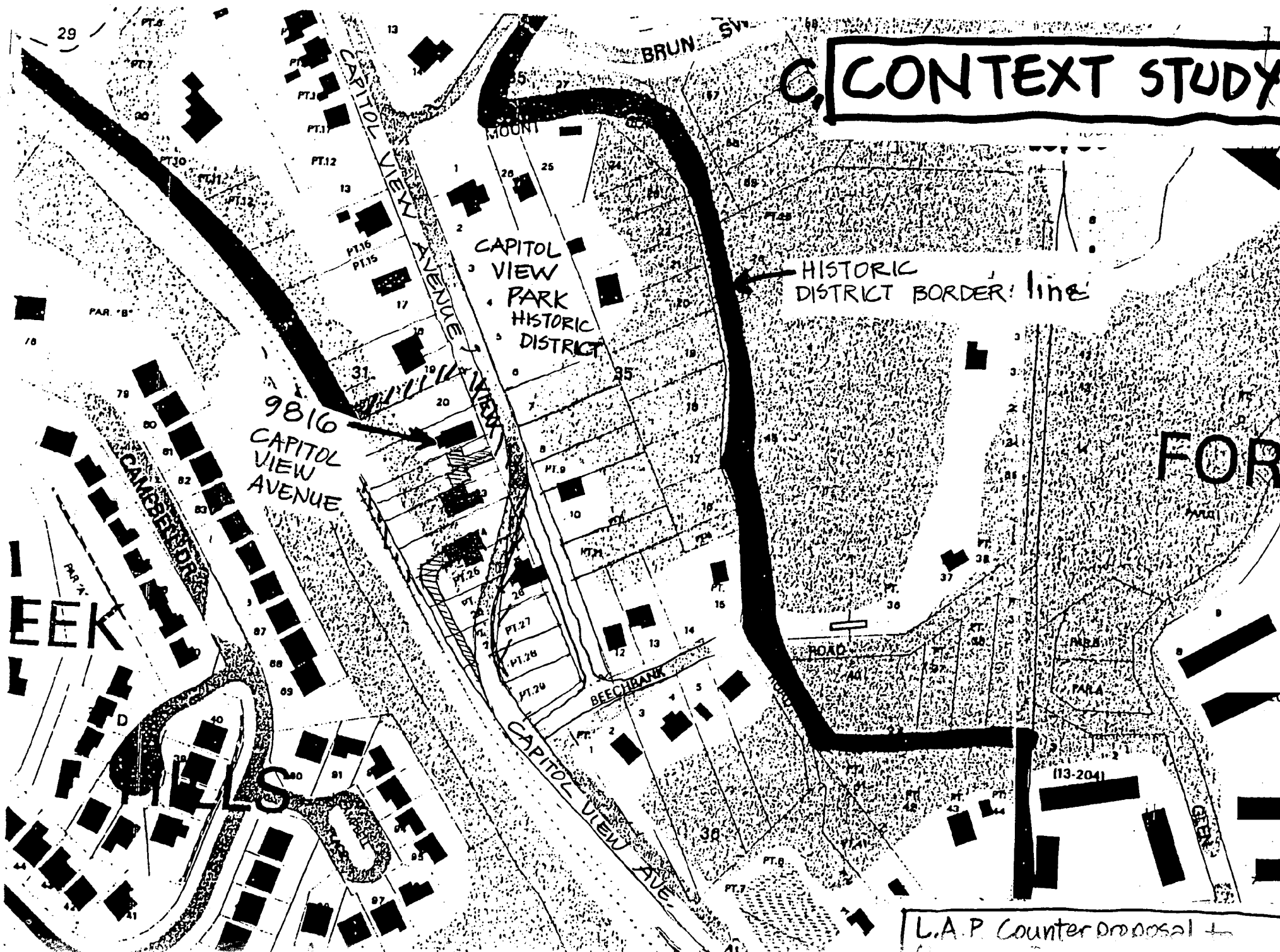
L.A.P. Counter-proposal  
9816 Capitol View Ave.

**DRAFT**

**SITE PLAN to  
match context  
study "C."**



# C. CONTEXT STUDY



FOR

L.A.P. Counter proposal to

April 10, 1999

Ms. Perry Kephart, Historic Preservation Planner  
M-NCPPC  
8787 Georgia Avenue  
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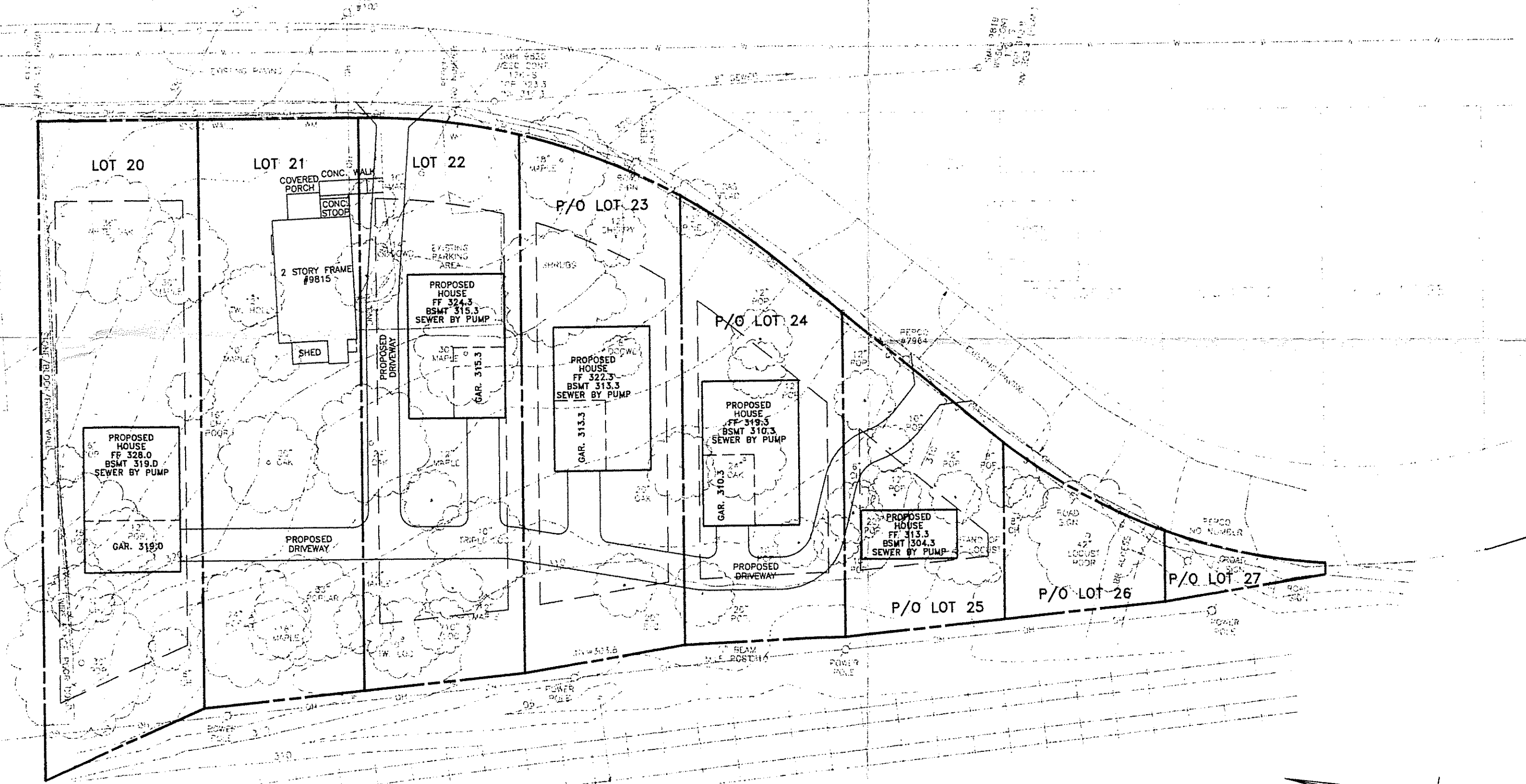
Duncan Tebow, L. A.P.

Cc: Mr. Derrick Berlage, County Council



CAPITOL VIEW AVENUE

VICINITY MAP 1"=2000'



CSX TRANSPORTATION, INC.

NOTES

1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE IN THE DATUM OF THE W. S. C.
2. TREES SHOWN PER FIELD SURVEY BY THIS OFFICE.
3. BOUNDARY OUTLINE, UTILITY INFORMATION AND ADJOINING IMPROVEMENTS TAKEN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS.

CONCEPTUAL SITE PLAN

HOUSE CONSTRUCTION  
 LOTS 20 - 22 & PART OF LOTS 23-27, BLOCK 31  
**CAPITOL VIEW PARK**

AS RECORDED IN  
 PLAT BOOK A AT PLAT NUMBER 9

WHEATON ELECTION DISTRICT NO. 13 MONTGOMERY COUNTY, MARYLAND

**FOWLER ASSOCIATES, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS

255 NORTH WASHINGTON STREET, SUITE 300  
 ROCKVILLE, MD 20850  
 (301) 762-2377

REVISIONS		
No.	DATE	BY
1	3/23/99	GMF

SCALE	DRAWN
1"=30'	GMF
CHECKED	DATE
	3/99
JOB NUMBER	
99-006	
DRAWING NO.	
1 of 1	

PRINTED  
 MAR 24 1999  
 FOWLER ASSOCIATES

April 10, 1999

Ms. Perry Kephart, Historic Preservation Planner  
M-NCPPC  
8787 Georgia Avenue  
Silver Spring, MD 20910-3760

Dear Ms. Kephart,

The L.A.P. met on Saturday, April 10, 1999 to review the proposed plat for the former Moore property, 9816 Capitol View Avenue. We concluded unanimously that the proposed houses are too closely spaced for this part of Capitol View Park, the most pristine, least developed section of the entire historic district, with widely spaced houses from Leafy Avenue to the north to Forest Glen Avenue to the south. Every house is well spaced from others, typically sited on 1-1/2 to 2-1/2 lots, and each is a historic resource in itself. The spacing of these houses contributes greatly to the sense of green open space that is one of the most charming features of the area. Indeed, it would set a poor precedent to allow these new houses to be spaced so closely together, as there are many more vacant lots in this immediate area. Were they also to be so densely developed, it would forever alter the special and historic character of this gateway area. This would be a loss not only to the unique character of Capitol View Park but also to Montgomery County, which has lost much of its original late 19<sup>th</sup> - early 20<sup>th</sup> century character, especially in the near-in suburban areas. Capitol View Park's south portal has not changed significantly in almost 100 years. The sense of stepping back in time is palpable and worthy of preservation.

In sum, we'd prefer to see fewer, larger houses on this site for a number of reasons, as follows:

1. The Moore house is the smallest and most modest house in the vicinity. If the new houses are equally modest and are spaced as platted, this section of Capitol View Park will start to take on the more mixed character of the more northerly section of Capitol View Avenue, which has many fewer, more far flung historic resource properties, with more very crowded infill houses, thereby offering a more mixed character of considerably less distinction than the southern portal to Capitol View Park, which is truly unique. The proposed houses are so closely spaced that the view of the site from the south approach will be closed in by a receding wall of houses extending out of site to the east. Rather than building more tiny houses, we think that given enough lot area, the original Moore house could successfully be expanded in size to match more closely the massing and size of other nearby houses. To us this would be preferable to adding so many small houses, one of which is so close to the south side of the Moore house as to preclude enlarging it in the most logical direction, given the existing conditions. We are unanimous in our preference not to allow a new house on lot 22, except as per our attached plat.
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Duncan Tebow, L. A.P.

Cc: Mr. Derrick Berlage, County Council



Confronting property owners:

9808 Capitol View Ave. - David C. Clough, Jr.  
Silver Spring, MD 20910

9811 Capitol View Ave. - Duncan E. Tebow  
Silver Spring, MD 20910

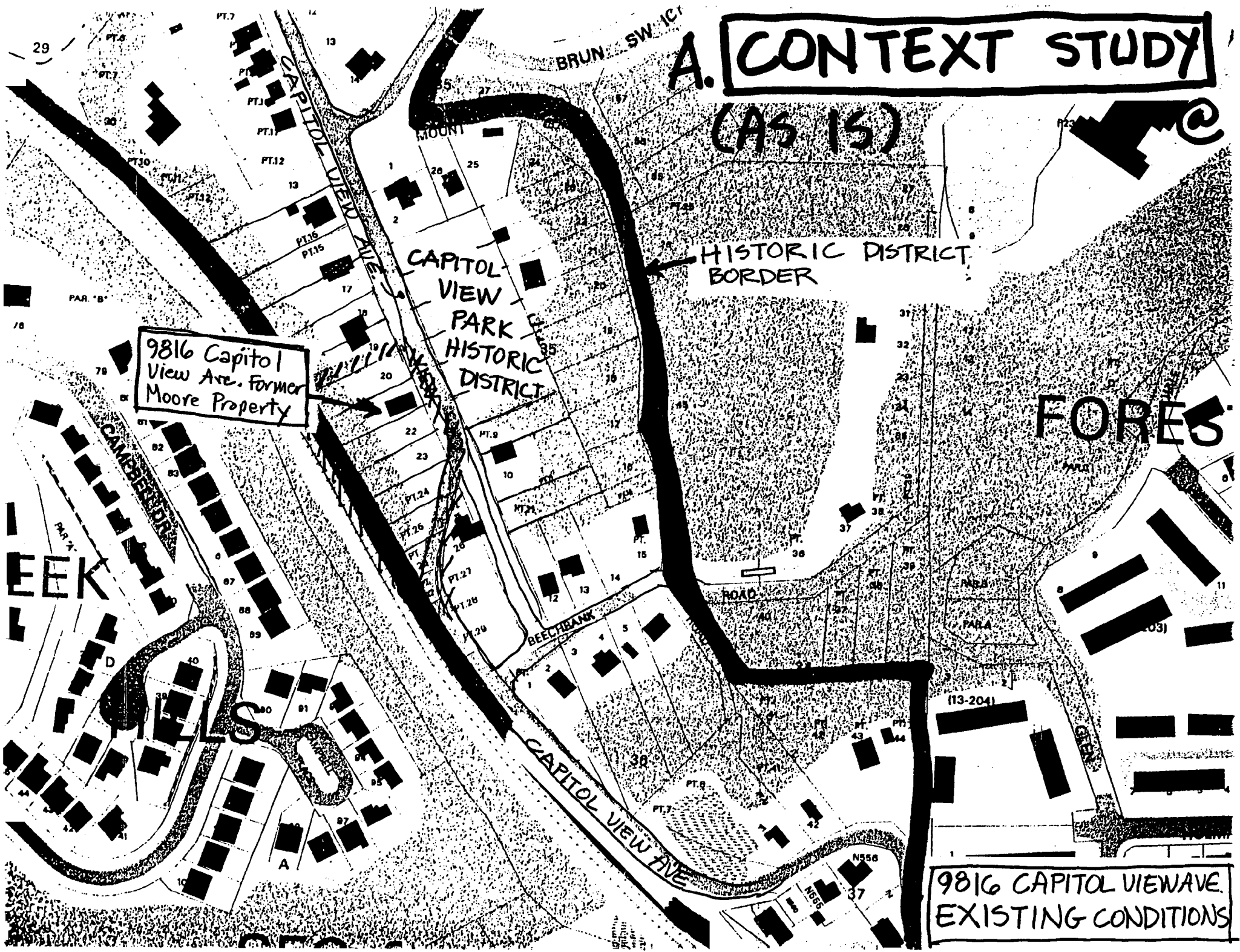
9819 Capitol View Ave - Eloise B. Cohen  
Silver Spring, MD 20910

adjoining property owner:

9822 Capitol View Ave. - Charles W. Fallow  
Silver Spring, MD, 20910

# A. CONTEXT STUDY

(AS IS)



9816 Capitol View Ave. Former Moore Property

HISTORIC DISTRICT BORDER

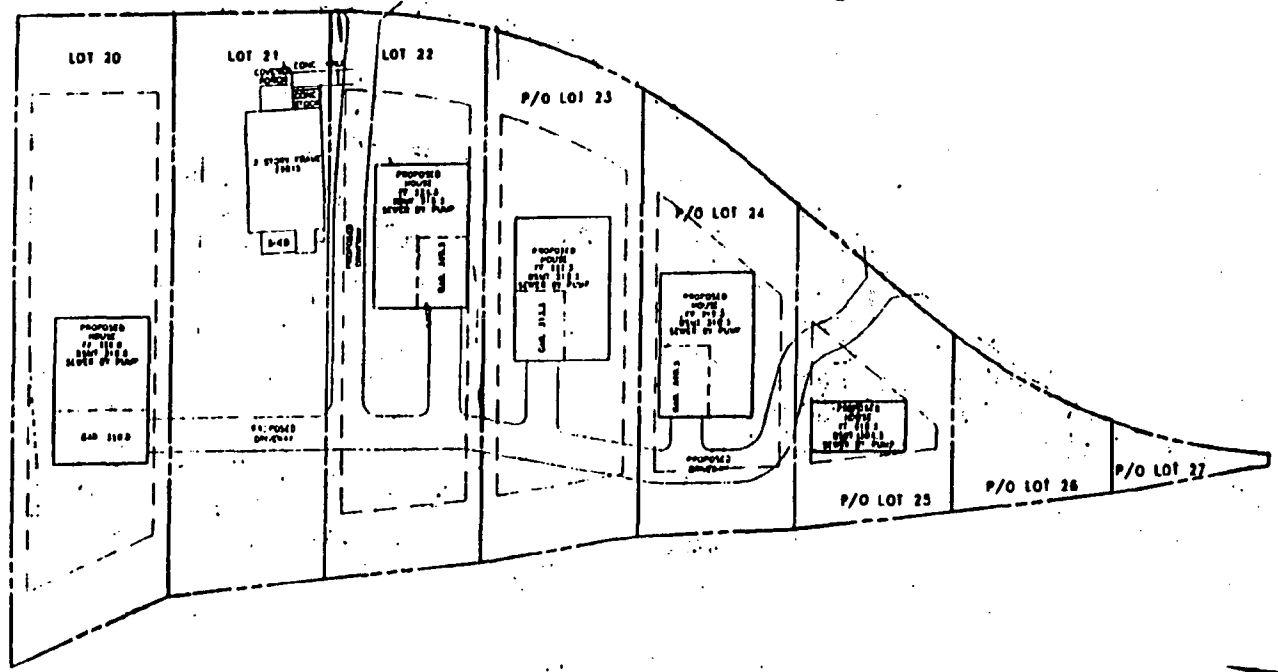
FOREST

9816 CAPITOL VIEW AVE. EXISTING CONDITIONS

VICINITY MAP 1"=2000'

CAPITOL VIEW AVENUE

Alfandre Proposal  
 9816 Capital View Ave.  
**SITE PLAN to**  
**Match context study**  
**'B'**



**NOTES**

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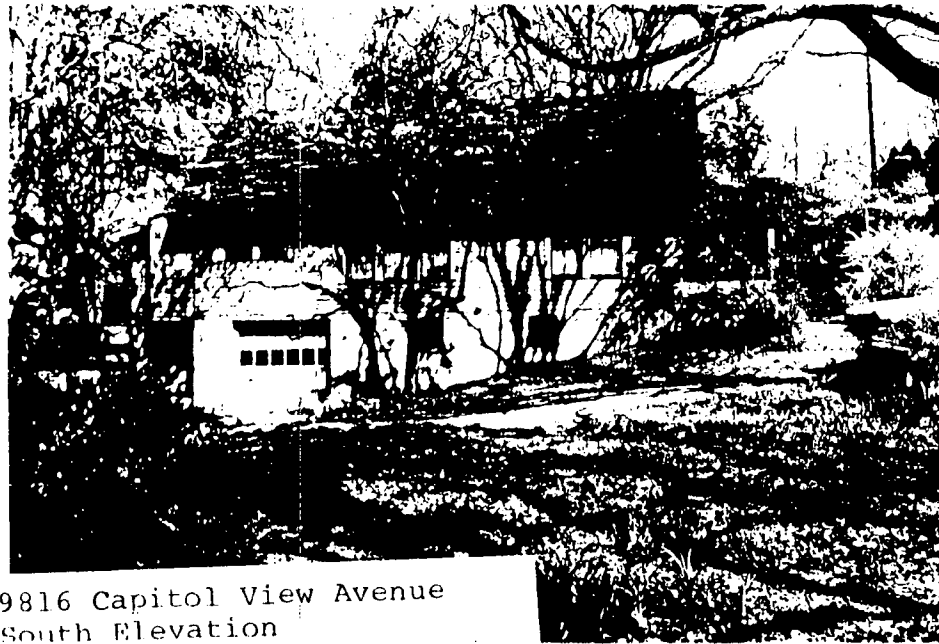
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9816 Capitol View Avenue  
North Elevation



9816 Capitol View Avenue  
East Elevation



9816 Capitol View Avenue  
South Elevation



9816 Capitol View Avenue  
West Elevation

April 10, 1999

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Jenny Ritchie, L.A.P.

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Cc: Mr. Derrick Berlage, County Council

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b> 9816 Capitol View Avenue, Silver Spring	<b>Meeting Date:</b> 04/14/99
<b>Resource:</b> Capitol View Park Historic District	<b>Report Date:</b> 04/07/99
<b>Case Number:</b> Not applicable	<b>Public Notice:</b> 03/31/99
<b>Review:</b> Preliminary Consultation	<b>Tax Credit:</b> None
<b>Applicant:</b> Design Homes, LLC (Joe Alfandre)	<b>Staff:</b> Perry Kephart

**PROPOSAL:** New Construction    **RECOMMEND:** Return for 2<sup>nd</sup> Preliminary Consultation

---

**BACKGROUND**

The yellow frame Sears-type Bungalow, built in 1928 at 9816 Capitol View Avenue, is a contributing resource and a familiar landmark in the Capitol View Park Historic District. The house is set at the front of a 52,475 foot lot (lots 20 through partial lot 27 on the attached map, circle 5) that has no other improvements at this time. The house is clearly seen on the left at the top of the big curve as one enters the historic district from the south along Capitol View Avenue.

The only access to the property from Capitol View is a short driveway immediately adjacent to the house. The driveway leads to a lower level basement garage. The land drops off from the front to the back of the property (east to west) and from northern wider section to the narrower southern area. The Metropolitan (now CSX) railroad line runs behind the length of the property. There are several mature shade trees on the lot including hickory, oak, poplar, maple, and locust.

The historic district in which the resource is located is significant as an example of a railroad community that began with the construction of the Metropolitan Branch of the B & O Railroad in the 1870's. The two major building styles that reflect the early years of the community are large Queen Anne houses from the late 19<sup>th</sup> and early 20<sup>th</sup> century and more modest Sears-type kit houses from the early 20<sup>th</sup> century.

As noted in the Capitol View & Vicinity Approved and Adopted Sector Plan, July 1982, "Most Capitol View Park structures possess little distinction as architectural entities. When grouped, however, these resources meet the criteria for district designation as a visual example of suburban development styles." The bungalow at 9816 Capitol View is an integral and highly visible part of the historic district streetscape.

Demolition of the historic resource was applied for by the previous owner and denied by the HPC. During that review process a number of issues were raised, some of which are

considered below. The property has been purchased by the applicant who, in addition to the infill project that is the subject of this preliminary consultation, has submitted a HAWP application for alterations to the rear of the house

### **PROPOSAL**

The applicant proposes to construct 5 new houses on the lots on either side of the existing historic resource. A driveway is proposed to connect the houses at the rear of the property. Access to Capitol View Avenue would be at the south end of the property and by extending the existing driveway down to the new paving.

The houses are proposed to have footprints ranging in size from approximately 313 s.f. to 328 s.f. The design and materials for the houses are to be the subject of a future consultation. The applicant has indicated that they are to be two-story structures similar in style and scale to the existing 1½-story Bungalow.

### **STAFF DISCUSSION**

The Local Advisory Panel has indicated that they will be providing input into the discussion of the proposed project. To date we have not been contacted by the adjacent neighbors.

Some of the issues that should be considered in reviewing the proposed infill are:

1. The scale of the buildings relative to the existing house and to the other houses in the district is important in a historic district such as this one that has two distinct eras of importance.
2. The design and materials for the new houses need to be determined before the project can go forward.
3. In the previous case, drainage problems off the road onto Lot 20 and 21 were presented as being serious enough to justify demolition of the house. Determination of the extent of that problem and remediation to avoid further damage to the historic resource might be considered as a condition of approval.
4. A tree survey indicating what trees are proposed to be removed or are affected by the construction should be included in the next consultation.
5. The extent of grading required for this project should be considered.
6. The design and location of any fencing should be considered in the design for the site.
7. The location of the proposed house on Lot 20 should be considered relative to the

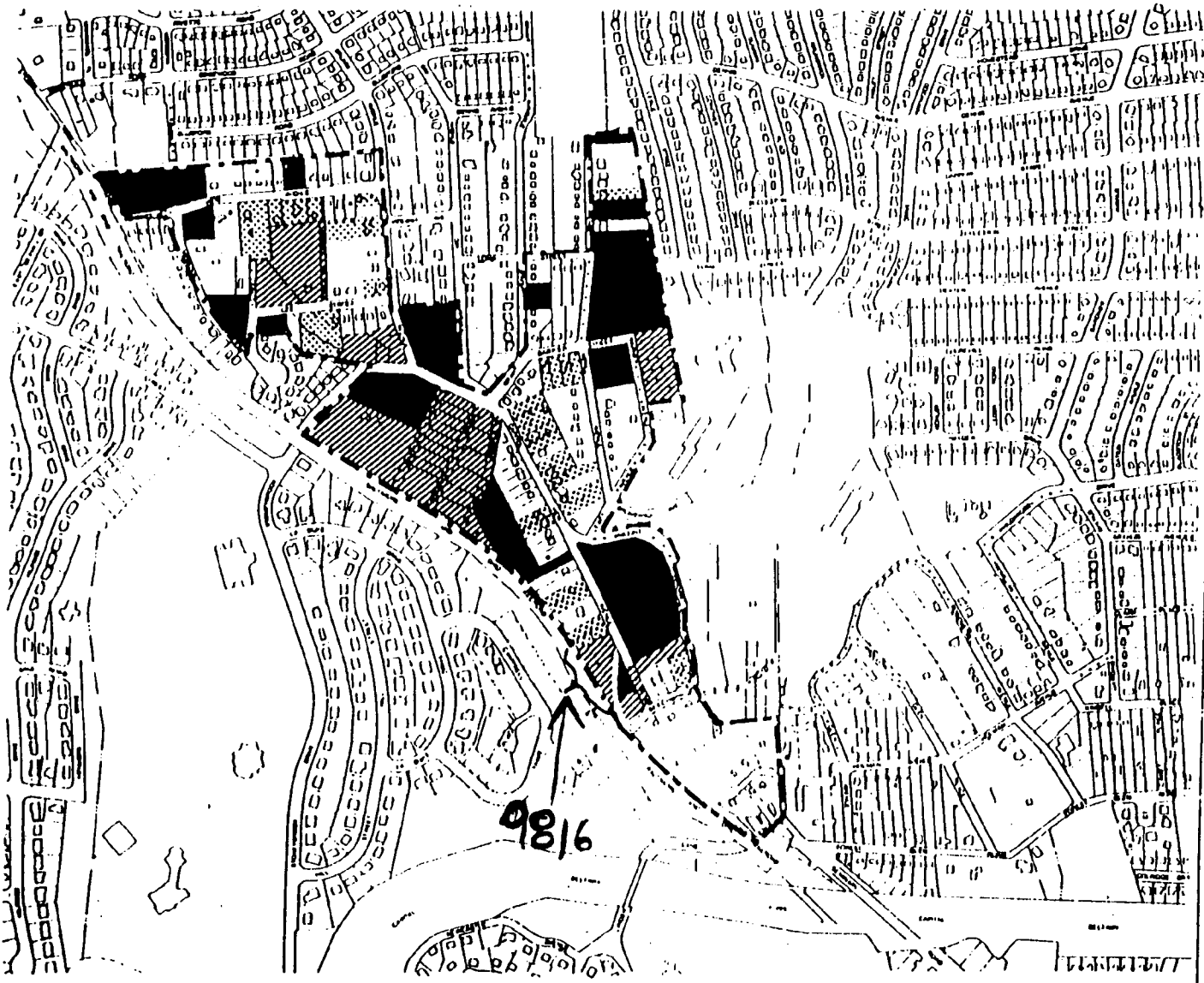


house on the adjoining property.

8. The type of paving that is planned for the site should be considered.
9. The HPC may want to consider whether placement of a house and a parking area on Lot 25 is feasible. The possibility for a marketable design for a very small infill house is an important preservation issue for historic districts.

**STAFF RECOMMENDATION**





Staff recommends that the conceptual site plan be supplemented with further information and brought to the HPC for a second preliminary consultation.



APPROVED #31/7  
~~PROPOSED~~  
 HISTORIC DISTRICT

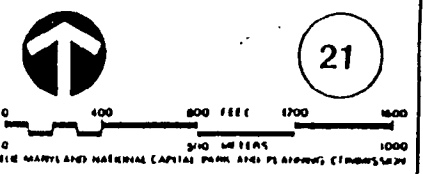
--- Historic District Boundary

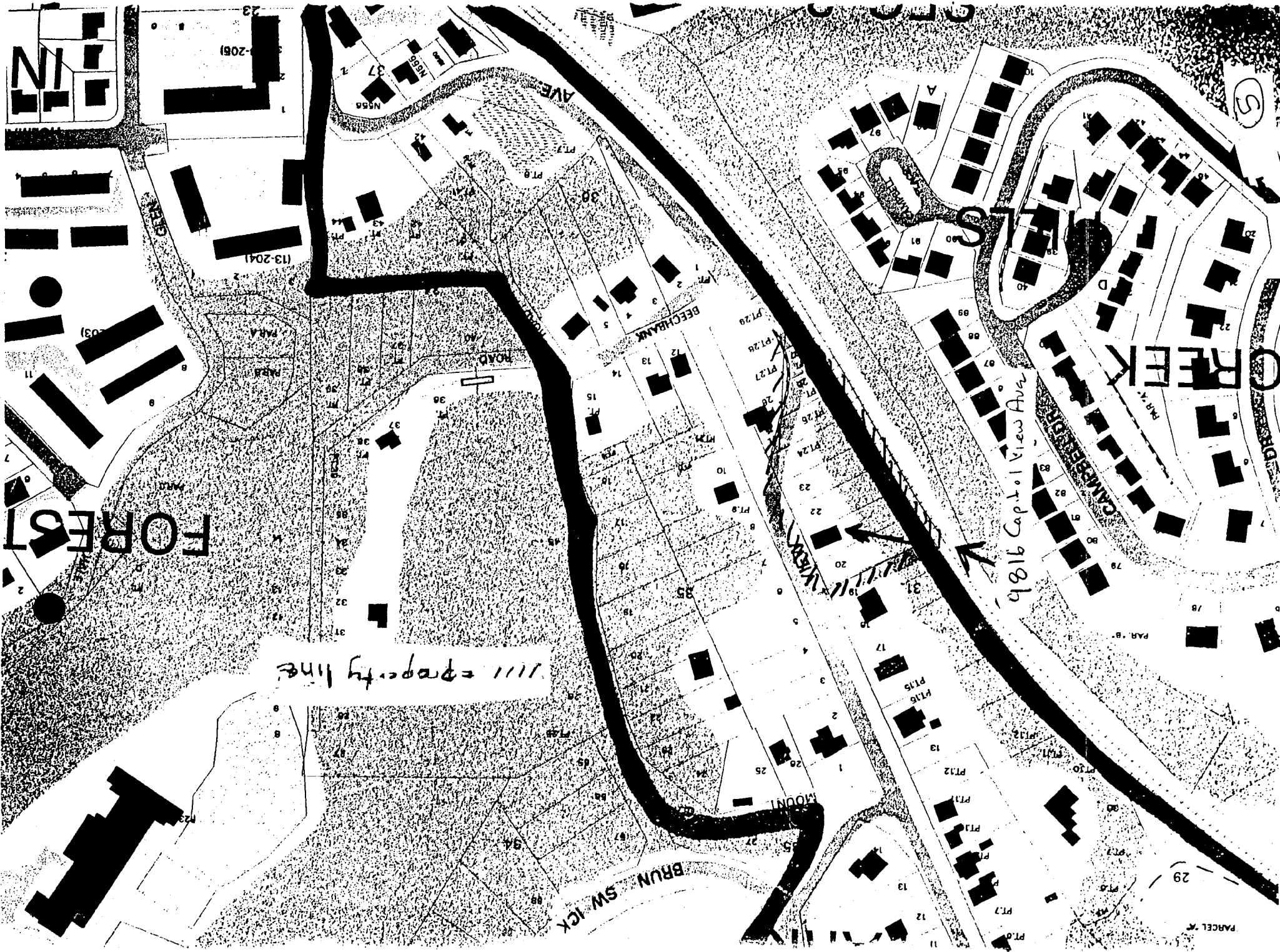
RESOURCES

-  1870 - 1916
-  1917 - 1935
-  Nominal (1935 - )
-  Spatial

# Capitol View Special Study Area

KENSINGTON-WHEATON PLANNING AREA





FOREST

CREEK

1111 - property line

9816 Capitol View Ave

BRUN SW CK

BECHBANK

CAMBERBORN

(13-204)

(208)

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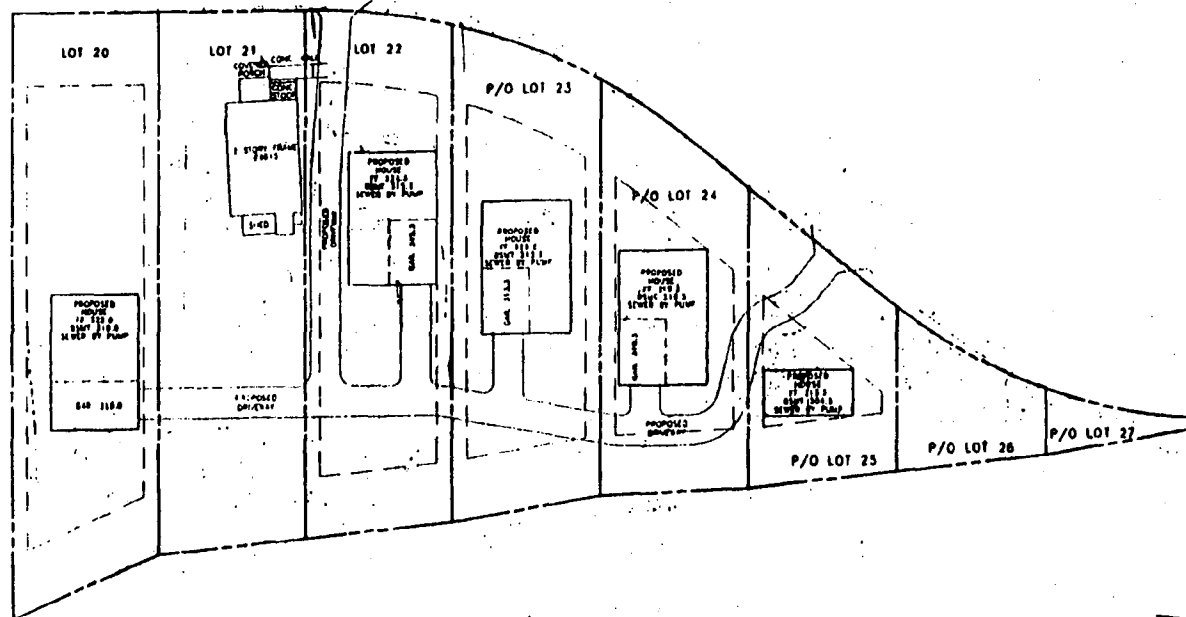
PT. 298

PT. 299

PT. 300

VICINITY MAP 1"=2000'

CAPITOL VIEW AVENUE



**NOTES**

1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE IN THE DAYTIME OF THE 4 & 5 C.
2. FEETES SHOWN PER FIELD SURVEY BY THIS OFFICE.
3. BOUNDARY, OUTLINE, UTILITY INFORMATION AND ADJOINING IMPROVEMENTS TAKEN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS.

**CONCEPTUAL SITE PLAN**  
 HOUSE CONSTRUCTION  
 LOTS 20 - 22 & PART OF LOTS 23-27, BLOCK 31  
**CAPITOL VIEW PARK**  
 AS RECORDED IN  
 PLAT BOOK A AT PLAT NUMBER 9

WHEATON ELECTION DISTRICT NO. 13 MONTGOMERY COUNTY, MARYLAND

**FOWLER ASSOCIATES, INC.**  
 CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS

255 NORTH WASHINGTON STREET, SUITE 300  
 ROCKVILLE, MD 20850  
 (301) 392-2377

REVISIONS		
NO.	DATE	BY

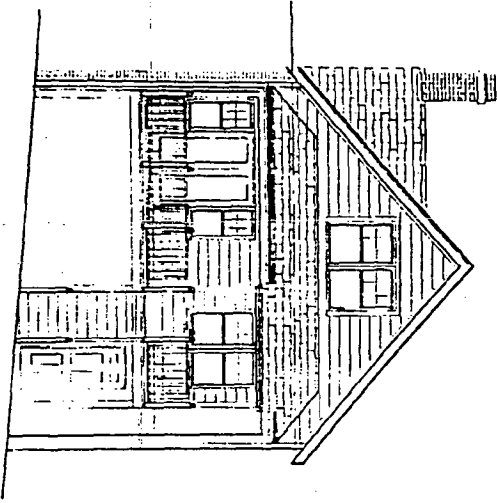
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	1"=30'	CVF
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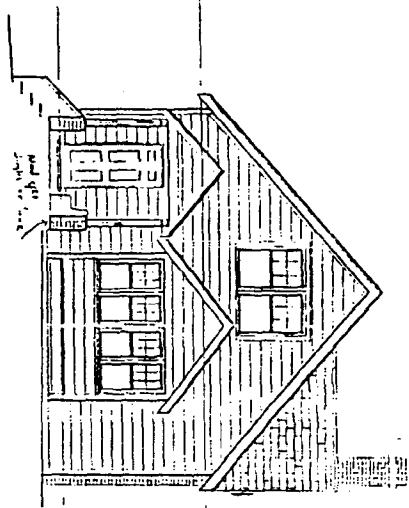
REAR ELEVATION

1/4" = 1'-0"



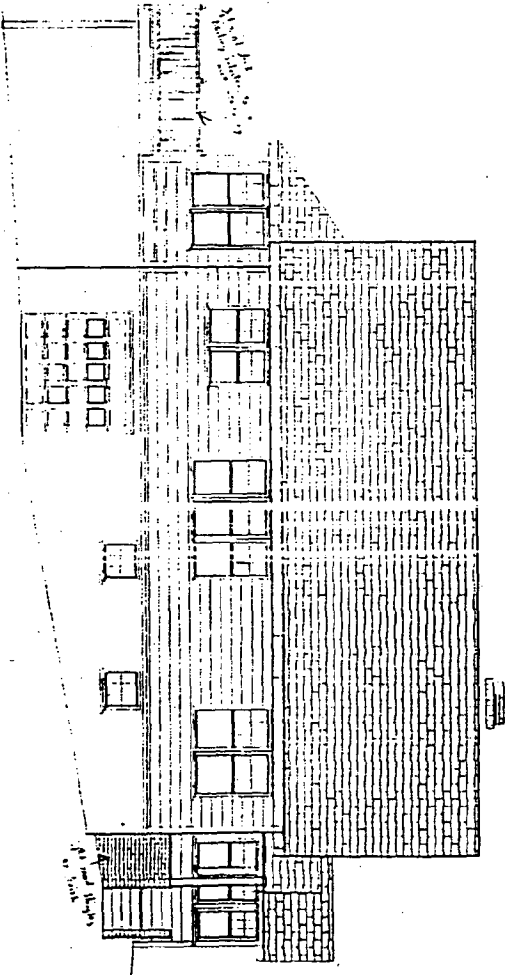
FRONT ELEVATION

1/4" = 1'-0"



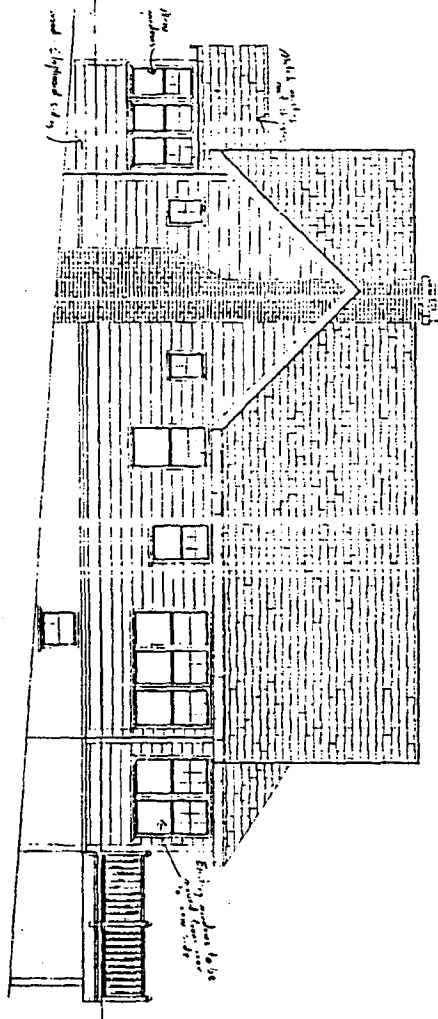
LEFT SIDE ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"



Proposed Elevations  
for Existing Residence

REMODELING OF A KENSINGTON BUNGALOW FOR  
**JOSEPH ALFANDRE COMPANY**  
KENSINGTON, MARYLAND

ELEVATIONS

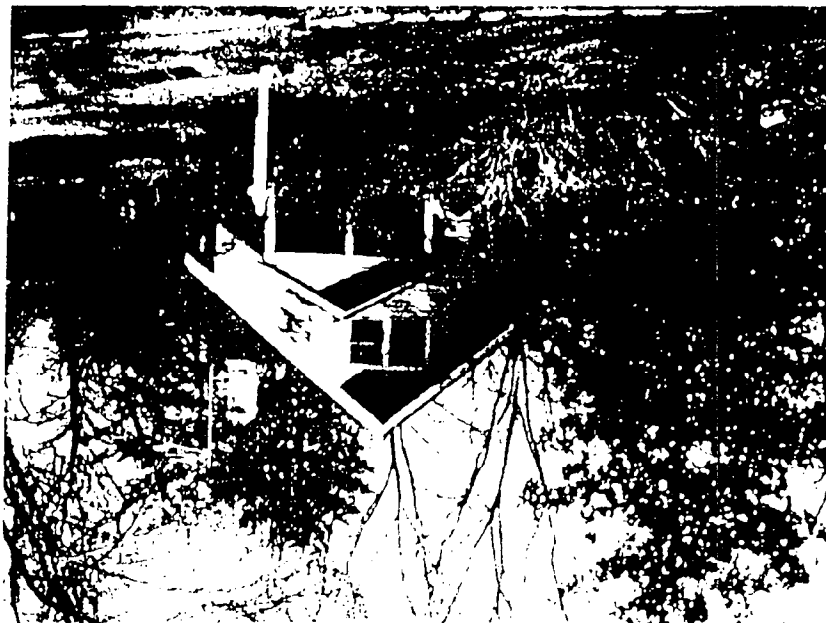
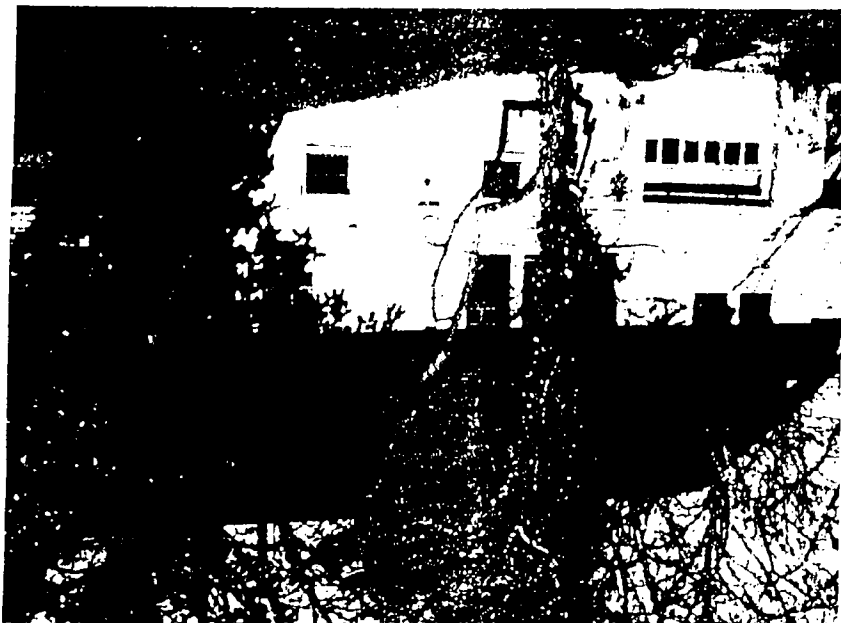


L. THOMAS WALSMAN, ARCHITECT

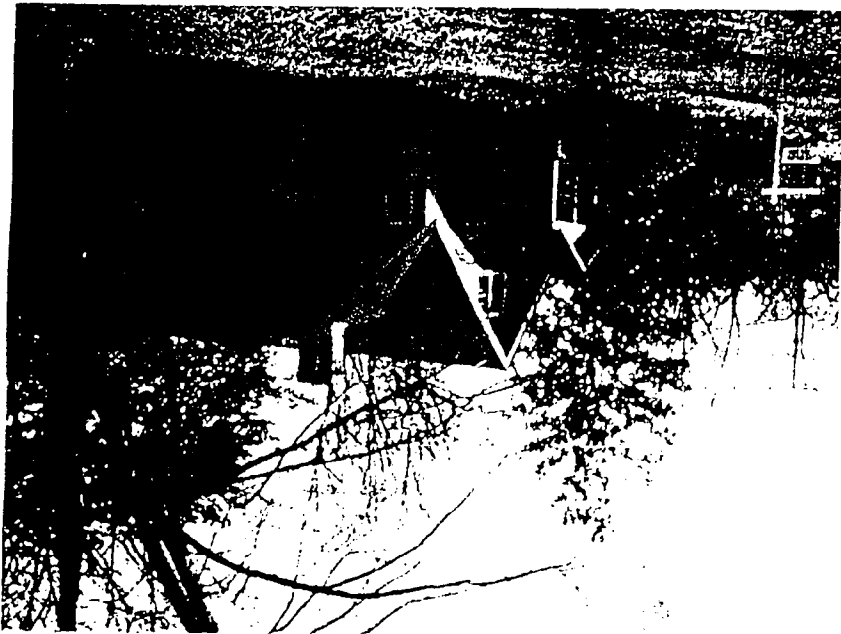
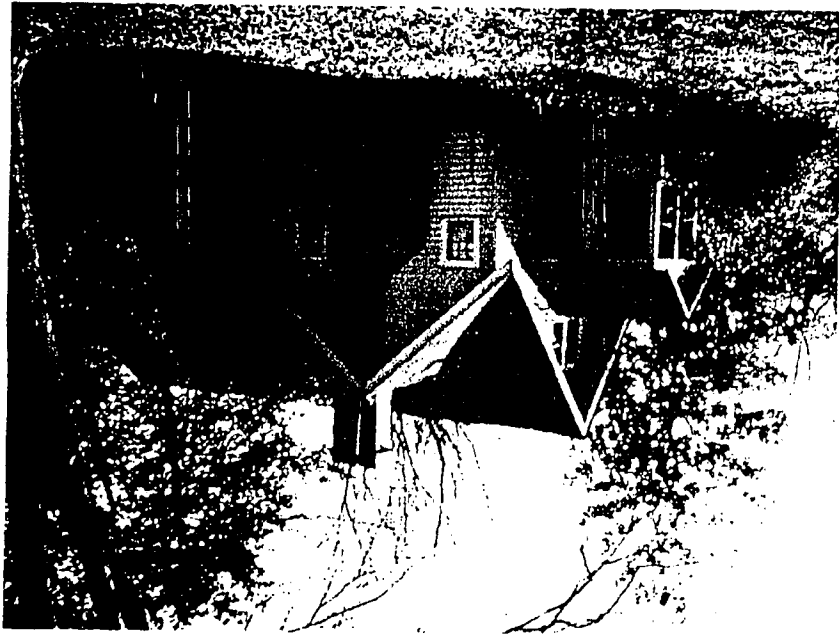
1215 BARRINGTON RD BARRINGTON, N.H. 03024 (603) 251-2100

A-2

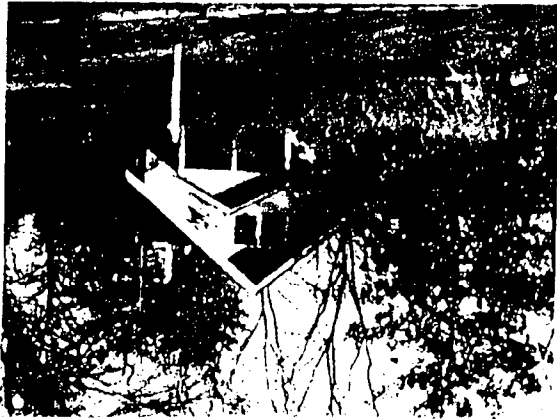
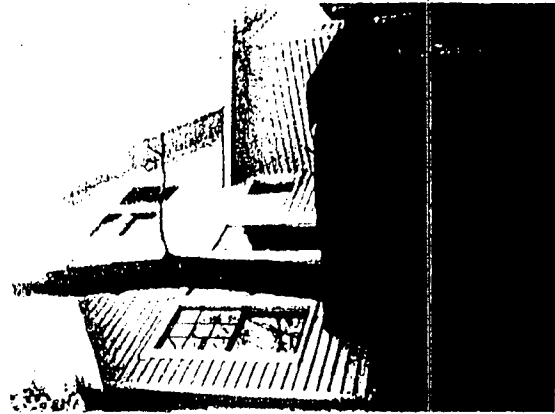
3-24-99



9

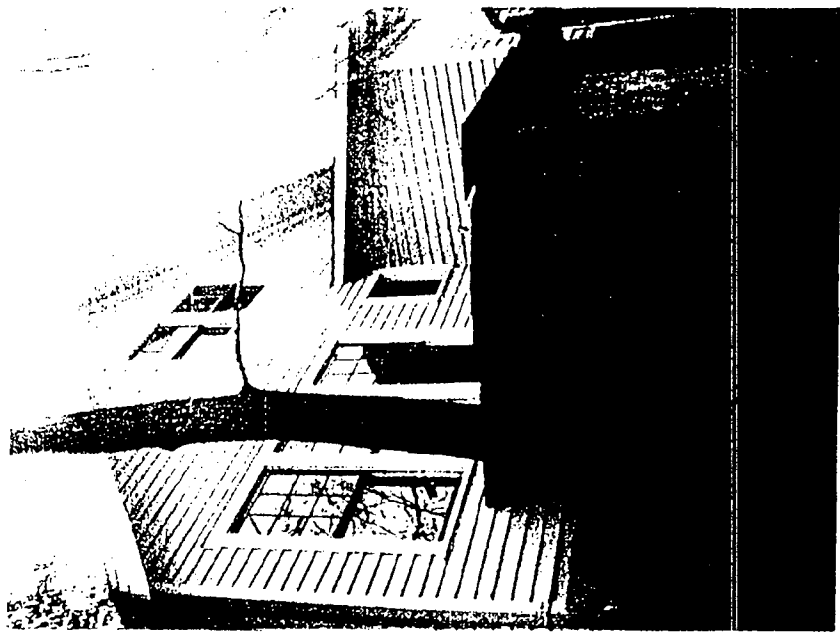


01





11



Confronting property owners:

9808 Capitol View Ave. -  
Silver Spring, MD 20910

David C. Clough, Jr.

9811 Capitol View Ave. -  
Silver Spring, MD 20910

Duncan E. Tebow

9819 Capitol View Ave. -  
Silver Spring, MD 20910

Eloise B. Cohen

adjoining property owner:

9822 Capitol View Ave. -  
Silver Spring, MD, 20910

Charles W. Fallow



Tim Stoen/GAZETTE

Residents of Capitol View, which features many old and unusual homes, must abide by building restrictions because of the neighborhood's historic designation.

# Like it or not, Capitol View is historic

S.S. GAZETTE  
Residents accept building restrictions

by Vanessa Phillips  
Staff Writer

One hundred years ago, the Capitol View Park neighborhood in Silver Spring was a bustling railroad village near Forest Glen, where trains stopped on their way to Washington.

As the area developed, various forms of architecture began to comprise Capitol View, making the neighborhood a hodgepodge of history through its homes.

## Montgomery In Microcosm Part III

A walk through Capitol View Park today proves it is not a cookie-cutter neighborhood, a typical suburban subdivision. There are grandiose Victorian homes,

charming bungalows and even mail-order homes from the Sears catalogs of yesterday.

Capitol View's distinction led it to become the county's first historic district in 1982. Residents in Capitol View, known for their political activism, say their fight to garner the designation for the area was an act to preserve the special nature of the neighborhood.

"Developers wanted to come in and

have a look at it," said Carol Ireland, member of the Capitol View Park Historical Society.

"Our community was like a backwater. Nobody really knew about us. With the Beltway and the Metro nearby, land is getting scarce. People are beginning to find us," said Roberta Hahn, who is also part of the historical society and a former member of the county's Historic Preservation Commission.

Homeowners who wish to make renovations and builders who want to develop must obtain a historic area work permit, which is granted by the county's Historic Preservation Commission (HPC). The commission must review plans to assure the new reconstruction will fit into the historic but eclectic character of the neighborhood.

A local advisory panel also reviews plans, often visiting the homes of an area slated for work.

Residents who follow the regulations can receive tax credits from the state for helping to maintain the historic area.

The restrictions placed on neighborhood work range from limiting a deck on the back of a Victorian house to preserving old trees.

"The HPC is not always going to let you do what you want to do," said Linda Case, a resident who lives in the oldest area home and had renovations done. Nevertheless, Case and her husband worked closely with the neighborhood panel to make sure their plans fit historic criteria.

Continued on Next Page  
→  
fr

See **Capitol View**, page A-11

# CAPITOL VIEW

"When most people step back, they see it's for the best," said Hahn, a member of the neighborhood advisory panel. "Usually, if you tell people (ahead of time), it's not a problem. It's when people get caught after final plans are made, it gets sticky."

Problems can come in the form of neighbors unwilling to listen to HPC, or builders who aim to construct as much as possible on the smallest parcel of space.

"Sometimes with developers, you have more of a control, because you can issue a stop-work order. With private property, you have enforcement powers, but it gets harder," said Gwen Marcus, historic preservation coordinator for the Maryland-National Capital Park and Planning Commission.

Punishment for violators of historic regulations can come in the form of warnings, stop-work orders and fines. But Marcus said the county wants to try and mend the relationship with the violator before punishment.

"Sometimes, it's just a misunderstanding. Historic designation is something that is hard for a lot of developers and owners to understand. We try not to come in as the heavy-handed government," he said. Often, negotiations lead to a compromise between the county and developers.

While neighbors said they respect HPC's tough task, some wonder about its effectiveness.

"The boards are less willing to challenge now" than they were 10 years ago, said Roger Friedman, president of the local civic association.

"The HPC works hard, but its (regulations) are impossible to enforce," said resident Steve Kramer.

While residents and staff working agree enforcement can be tough, they still see the historic designation as important.

"We don't want to keep things exactly the same," said Diane Smith, past president of the civic association. "We want to use the homes as a reminder to what we came from."

"Some people think the HPC is not strict enough," said Hahn. "But HPC takes into consideration the many things" to keep a house livable.

"We're not going to stop the development, but at least we're going to make it more compatible," she said.

"There is a contingent not as happy to have the government stepping in to regulate," said Ireland.

But Ireland said the historic designation prevents large-scale development, such as previous plans for townhouses on Pratt Place, which were reduced.

Some residents can see literally in their backyard what happens to development outside the historic district. Just outside the historic district is a tract of land adjacent to Leafy House, a home for

seniors, where the trees have been cleared to make way for 10 single-family homes. Although residents said they know developers are within legal bounds, they still are upset to see the work.

"Because it's outside the historic district, the developers have a good deal more leverage," said County Councilman Derrick Berlage (D-5, Silver Spring), who has lived in Capitol View Park for a year. "But I still am concerned to see the amount of tree loss."

Berlage said under a bill that has been passed by the County Council since that particular development began its plans, construction projects are prevented from cutting down so many trees.

"One constant in our neighborhood is the trees. Some people don't think about them until they're gone," said Hahn.

The HPC and Capitol View neighbors are beginning to think about future trends which affect the historic designation, including the prevalence of infill development, where homes are added to remaining parcels of land.

Sometimes infill creates difficult situations for HPC, such as on Meadowneck Court, where new homes are being added to an area surrounded by dwellings constructed in 1982.

Sometimes, the local panel reviews the characters of just four or five nearby homes, or one block, to determine what can and cannot be added, said Hahn.

"Because of the HPC, infill development within the historic district has been much more sensitive," said Berlage. "Historic preservation is a balance. You want to preserve the character and give reasonable discretion to the homeowners."

Capitol View likely will face an ongoing battle between its historic designation and new construction.

"What's unique about Capitol View is how much construction has been going on there since it became a historic district," said Marcus.

Neighbors said that for better or for worse, they will continue to fight and maintain the unique area in which they have chosen to live.

"I think most people in the neighborhood aren't aware with the newer homes that they're under the rules, regulations and benefits of an historic district. I see the plusses and minuses," said Case.

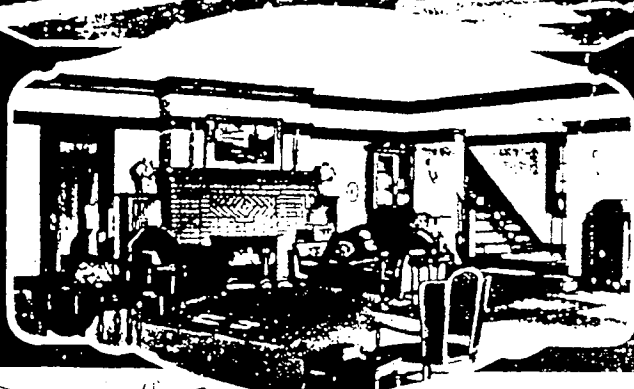
"When you live in Capitol View, you get a sense of history every day," said Berlage.

In the upcoming final installment of "Montgomery in Microcosm," neighbors will evaluate the issues facing Capitol View Park.

14

35

# SEARS, ROEBUCK CATALOG OF HOUSES 1926



An Unabridged Reprint  
Sears, Roebuck and Co.

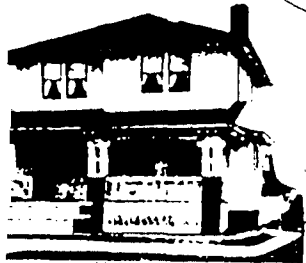
# BUILT by OUR CUSTOMERS at SUBSTANTIAL SAVINGS



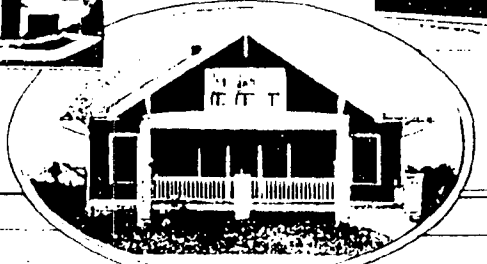
**THE WESTLY**  
 I have been very pleased to have my new home built by the "Honor Bill" Modern Home. The material is of good quality and the workmanship is excellent. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home.



**THE USBORNE**  
 We are well pleased with our "Honor Bill" Modern Home. The material is of good quality and the workmanship is excellent. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home.



**THE ANHELMUS**  
 I am very pleased to have my new home built by the "Honor Bill" Modern Home. The material is of good quality and the workmanship is excellent. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home.



**THE CONWAY**  
 I am very pleased to have my new home built by the "Honor Bill" Modern Home. The material is of good quality and the workmanship is excellent. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home.



**OLIVIA**  
 I am very pleased to have my new home built by the "Honor Bill" Modern Home. The material is of good quality and the workmanship is excellent. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home. I have saved about \$1,000.00 by buying the "Honor Bill" Modern Home.



**THE ELSMORE**  
 I have saved \$1,000.00 by getting it ready. Cut from Sears, Roebuck and Co. FRED W. KNIGHT, N. J. Box 1908, West Albany, N. Y.

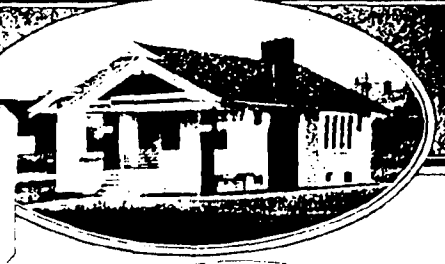
The voluntary words of our customers prove the wisdom in buying "Honor Bill" Modern Homes. Here are just a few photographs and copies of parts of letters that were taken at random from our large testimonial files. Over thirty-four thousand customers have purchased "Honor Bill" Modern Homes.



**CLARENCE I. PARKER,**  
 124 Industrial Ave.,  
 Dearborn, Mich.

**THE LANGSTON**  
 In 1921 I bought, erected and am now living in the "Honor Bill" Modern Home. I have since built the "Honor Bill" Modern Home on a Langston and an Adeline. Your service, quality and courtesy makes me a booster for "Honor Bill" Modern Homes.  
 HENRY M. TENG,  
 1423 Lowry Ave.,  
 Norwood, Ohio.

*Read what they say*



**Argyle**  
 I have had complete satisfaction from the start. All material was of the good grade, plenty of it, and it went together perfectly. I made a big saving in time and money.  
 F. O. MATTHEWS,  
 News, Texas.

Every day interesting testimonials come from "Honor Bill" Modern Home customers. They tell of the money saved, satisfaction with our quality materials, architectural plans, specifications, service and easy payment plan. There are no worries. Our guarantee protects you in every way.



**Dear Sir:**  
 I want to express my appreciation for the very courteous and efficient attention that I have received from you while building my "Honor Bill" Modern Home. I have saved about \$1,500.00 of which I credit about \$1,000.00 to later saved by the "Honor Bill" Modern Home.  
 W. H. BREWSTER,  
 Washington, D. C.



**Alhambra**  
 The millwork and other materials furnished are certainly of very exceptional quality.  
 M. A. LANGE,  
 5025 Nina Ave., Norwood Park, Ill.

**Puettan**

I wish to express my appreciation for the prompt and efficient service rendered. The whole thing was done in a very short time and it exceeded in quality the building I had before. I have since built the "Honor Bill" Modern Home on a Chevy Chase, D. C.



**Clyde**  
 I am well pleased with the house and with your material. My wife and I, who are nearing 60 years, built the house ourselves and we saved about \$1,200.00.  
 W. E. O'NEIL,  
 115 Maple St., Waukegan, Ill.



**Eliot**  
 I have nothing but praise for both material and service.  
 JOSEPH DEHAVEN,  
 Glenshaw, Pa.



**Woodland**  
 Thank you for the efficient service rendered. The house was erected in a wonderfully short period.  
 LOUIS T. MACKER,  
 Cincinnati, Ohio.

19

## Thickness of Hardwood Flooring

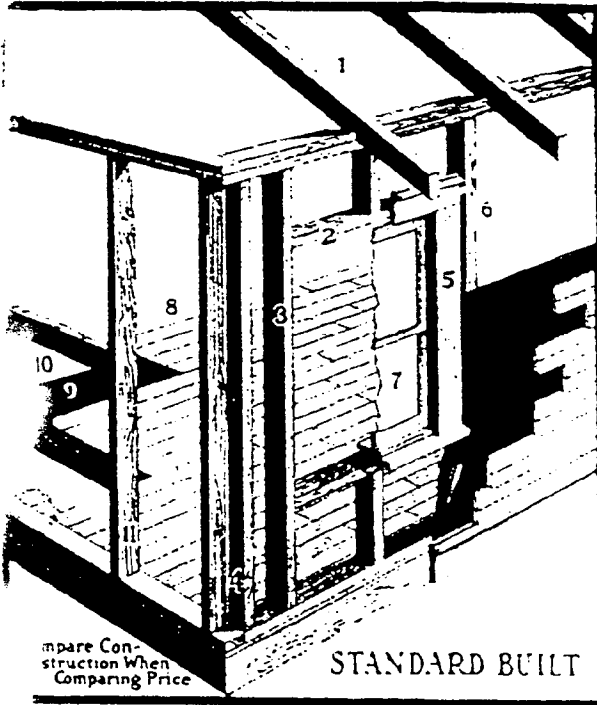
When we specify oak or maple flooring, we furnish it 1 1/2 inch thick, to be laid over the subfloor. Be sure to consider this point when comparing our prices with others.

We furnish shellac and extra durable floor varnish for maple floors, and paste filler and extra durable floor varnish for our oak floors.

## Cut Through a Portion of the Roof

**What Do You Find?** Here are full size extra clear Red Cedar Shingles of the best quality obtainable. Their durable and lasting qualities are too well known to need comment. The illustration in the upper left hand corner of the opposite page shows the extra thickness of our extra Clear Red Cedar Shingles we furnish when wood shingles are specified with "Honor Bilt" Homes, compared with standard "A" grade 6-2 shingles generally furnished for most houses.

Search throughout any "Honor Bilt" Modern Home and you will find every detail in every section represents the finest material.



Compare Construction When Comparing Price

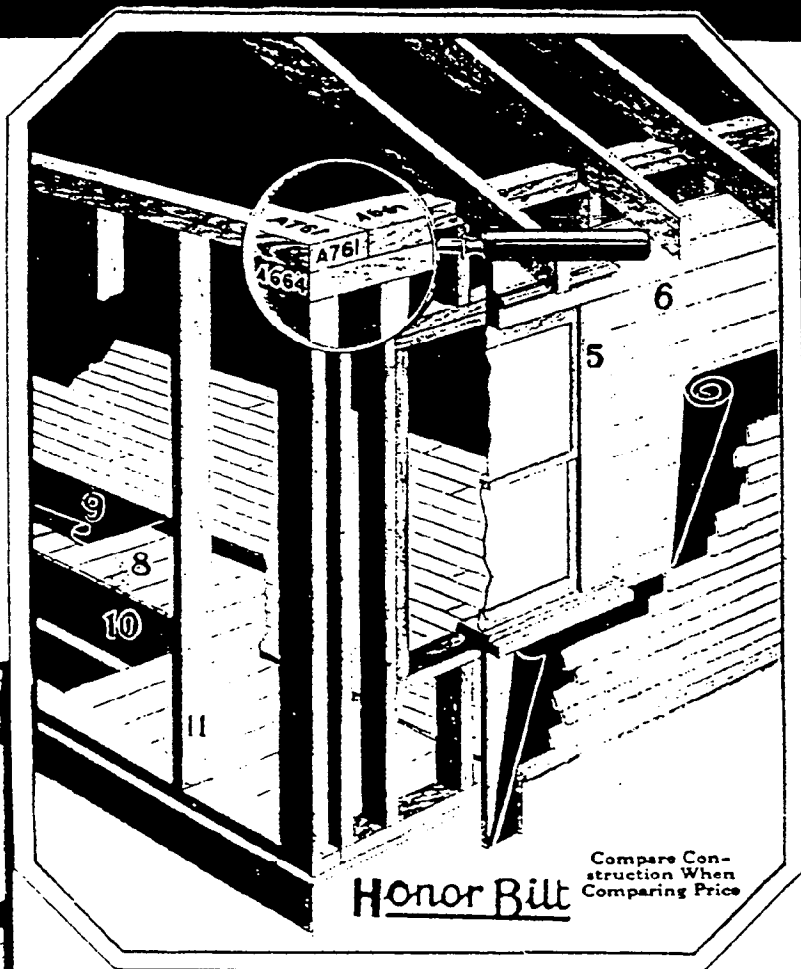
STANDARD BUILT

## Standard Built Construction

(See picture above)

- 1—Rafters, 2x4 inches, 22 1/2 INCHES APART.
- 2—SINGLE PLATES over doors and windows.
- 3—SINGLE STUDDINGS at sides of doors and windows.
- 4—TWO STUDS at corners.
- 5—Outside casing 3/4 INCH THICK.
- 6—NO wood sheathing.
- 7—All glass, SINGLE STRENGTH.
- 8—NO SUB-FLOOR.
- 9—Tarred felt under floors and siding.
- 10—Joists, 2x3, are placed 22 1/2 INCHES APART.
- 11—Studdings, 2x4 inches, 14 1/2 INCHES APART.
- 12—Star "A" 6-2 Red Cedar Shingles for roof.
- 13—All outside paint, two coats.

Standard Built Homes are illustrated and described on pages 113 to 120, inclusive.



Compare Construction When Comparing Price

Honor Bilt

"Honor Bilt" Modern Homes are illustrated and described on pages 1 to 112, inclusive

## "Honor Bilt" Is the Better Home for You

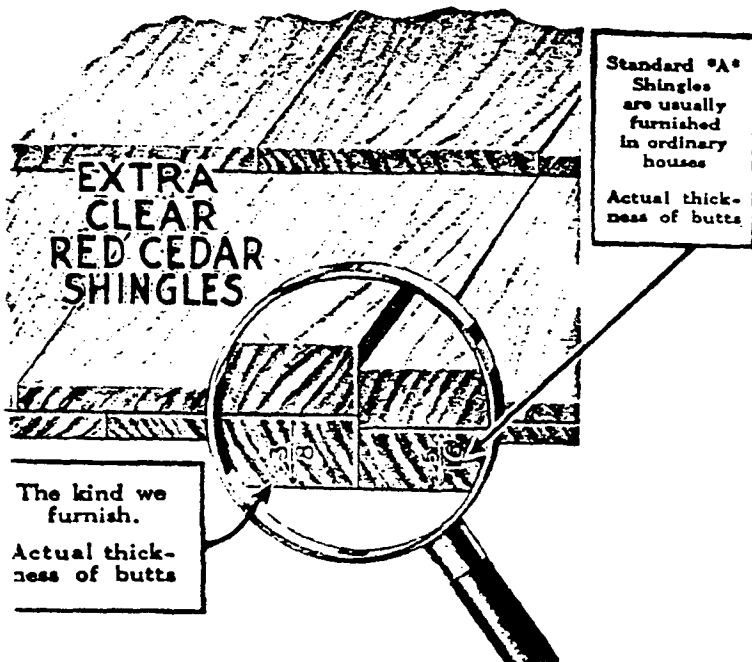
### Here Are the Reasons:

An "HONOR BILT" home means a home of guaranteed quality. It means the best in quality of workmanship and in quality of material—also architectural and free plan service (see pages 17 to 19). Judge for yourself by examining the two illustrations on this page. See the difference between Standard Built construction and "HONOR BILT" construction.

Naturally, a Standard Built house will cost less than an "HONOR BILT" house of the same size. But the thirteen reasons clearly explain why the "HONOR BILT" is well worth the low price we charge.

### "Honor Bilt" Construction Illustrated Above

- 1—Rafters, 2x6 or 2x4 inches (larger where needed), 14 1/2 INCHES APART.
- 2—DOUBLE PLATES over doors and windows.
- 3—DOUBLE STUDDINGS at sides of doors and windows.
- 4—THREE STUDS at corners.
- 5—Outside casing, 1 1/2 INCHES THICK.
- 6—High grade WOOD SHEATHING, 1 1/2 inch thick.
- 7—All glass over 24x26 inches is HIGH QUALITY DOUBLE STRENGTH.
- 8-9—DOUBLE FLOORS WITH HEAVY BUILDING PAPER between the subfloor and finished floor.
- 10—2x8-inch joists, or 2x10 where needed, 14 1/2 IN. APART.
- 11—Studdings, 2x4 inches, 14 1/2 INCHES APART.
- 12—Best Grade of clear Cedar Shingles, Oriental Asphalt Shingles or Oriental Slate Surfaced Roll Roofing, guaranteed for seventeen years, as specified.
- 13—All outside paint, three coats of guaranteed paint, shingle stain (when shingles are used as siding), two brush coats.



## Look Into the Remotest Corner of an "Honor Bilt" House

Look between the walls, underneath the floors or beneath the shingles. Look anywhere, for that matter. You will always find that an "Honor Bilt" house is genuine through and through. Furthermore, you will always find that the quality specified in an "Honor Bilt" house is always best suited to the purpose for which it is intended. For example, inspect the kind and grade of window and sash frames.

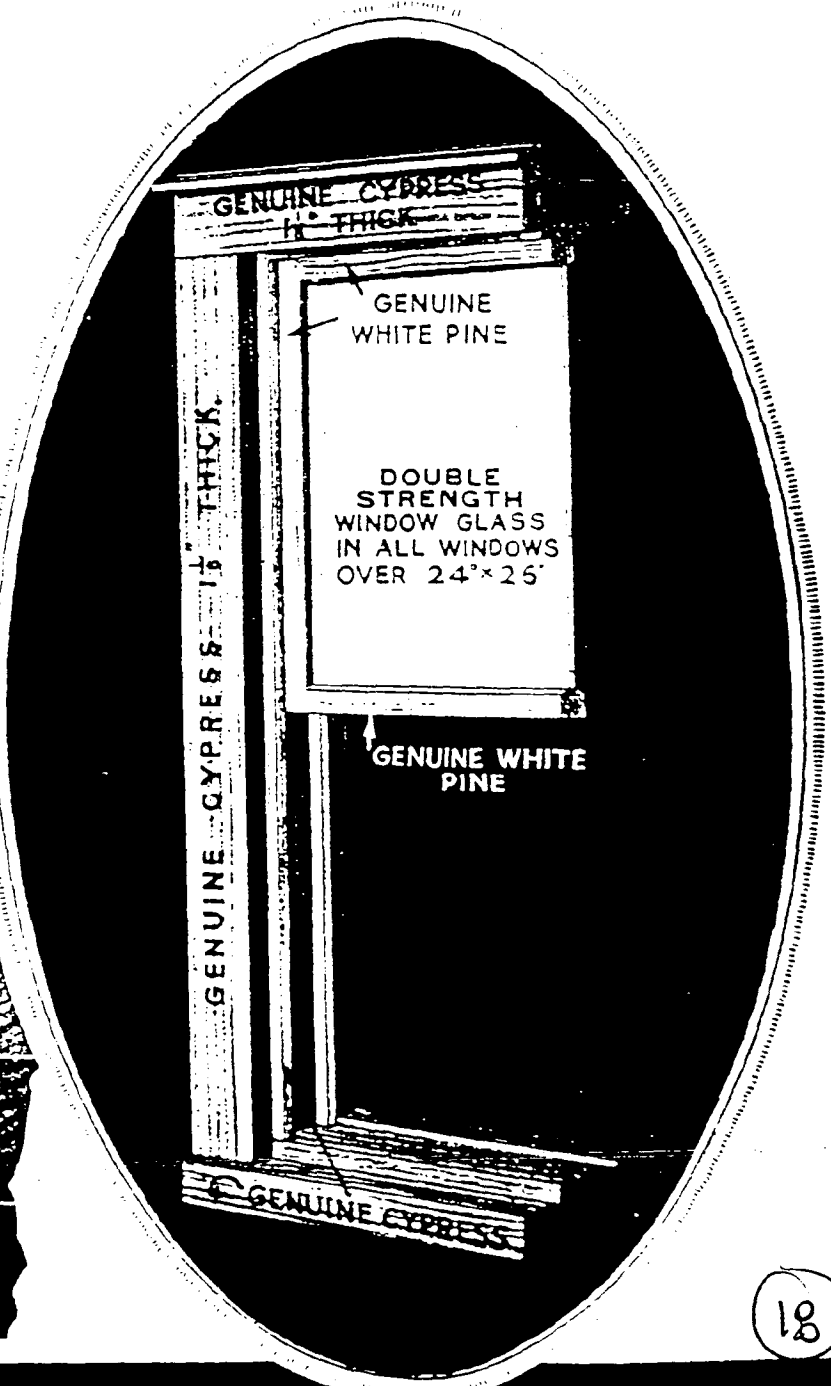
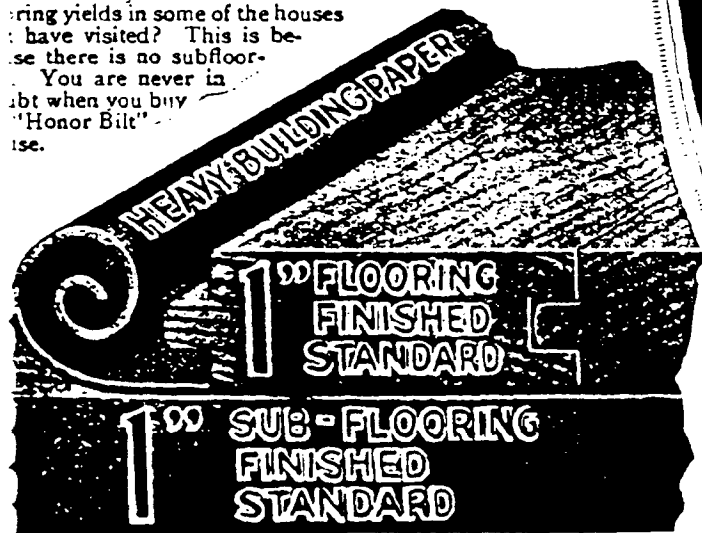
### Cut a Window and Frame in Two

**What Do You Find?** The outside casings are 1½ inches thick and the sills of our window and sash frames made of red cypress, the very best wood for the purpose. The frames are high grade, practically clear lumber. Frames are cut to exact size of the window for which they are intended. The sashes are leakproof, an exclusive feature of "Honor Bilt" homes. Red cypress is a much more costly lumber than is generally used for this purpose, but "Honor Bilt" specifications always call for the best. Hence red cypress for our frames. The glass for all windows over 24x26 inches is of double length; nearly twice as thick as the ordinary glass.

### Set Up a Portion of an "Honor Bilt" Floor

**What Do You Find?** The illustration shows you the flooring and finished flooring used in our "Honor Bilt" Modern Homes. Each is one inch thick. You can easily see how it makes solid, strong, durable and warm floors. Notice the extra heavy building paper between the subflooring and finished flooring. No chance for drafts to circulate through here.

When considering the purchase of any house, investigate the question closely and be sure to insist on double floors. They will reduce heat bills and protect your health. Have you ever noticed how the spring yields in some of the houses you have visited? This is because there is no subflooring. You are never in doubt when you buy an "Honor Bilt" house.





FIVE ROOMS, BATH AND PORCH



**THE ARGYLE** is a longlow home that will not be too extreme and yet entirely different from a cottage. The exterior shows fine shingles, except the gables and chimneys all for stone. It is neat, well-kept and subtly constructed. We have added the most popular built-in fixtures, such as built-in range and the need of perfect "bunkie" porch and furniture, such as benches and set-back chairs. Moreover, the study of the Argyle floor plan reveals one feature in construction and more significant than the usual six or seven-room starts today.

As you enter a sunny entrance hall, you enter a room that is not only a living room, but a dining room, and a kitchen. The living room is 12 feet 6 inches by 12 feet 6 inches. The dining room is 12 feet 6 inches by 12 feet 6 inches. The kitchen is 12 feet 6 inches by 12 feet 6 inches. The living room is 12 feet 6 inches by 12 feet 6 inches. The dining room is 12 feet 6 inches by 12 feet 6 inches. The kitchen is 12 feet 6 inches by 12 feet 6 inches.

**Living Room.** From the front porch, with its built-in seat, you enter the living room. It is 12 feet 6 inches wide by 12 feet 6 inches long. A wide fireplace is placed on the wall. A comfortable chair and a set-back chair are placed on the wall. A window seat is placed on the wall. A window seat is placed on the wall.

**Dining Room.** You pass through a wide card table opening into the dining room. It is 12 feet 6 inches wide by 12 feet 6 inches long. A window seat is placed on the wall. A window seat is placed on the wall.

**Kitchen.** A swinging door leads from the dining room into the kitchen. It is 12 feet 6 inches wide by 12 feet 6 inches long. A window seat is placed on the wall. A window seat is placed on the wall.

**Bedrooms.** A hall opens from the living room into the two bedrooms and bath. The living room is 12 feet 6 inches wide by 12 feet 6 inches long. A window seat is placed on the wall. A window seat is placed on the wall.

**Options.** For prices of plumbing, heating, wiring, electric fixtures and shades, see pages 130 and 131.

For Our Easy Payment Plan See Page 144

Honor Bill

The Argyle

No. P17018A "Already Cut" and Fitted \$2,150.00

Basement. Excavated basement with concrete floor. Room for furnace, water tank and storage.

Height of Ceilings. Main floor, 8 feet 2 inches from floor to ceiling. Basement, 7 feet high from floor to ceiling.

What Our Price Includes

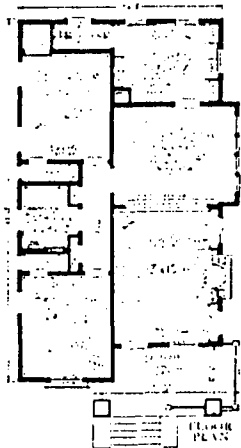
At the price quoted we will furnish all the material to build this five-room house, consisting of: Lumber; Lath; Roof Shingles, Best Grade Thick Cedar; Siding, Best Grade Thin Cedar Shingles; Framing Lumber, No. 1 Quality Douglas Fir or Pacific Coast Hemlock; Flooring, Clear Maple for Kitchen and Bathroom; Parquet Floor for Living Room, Parquet or Oak for Dining Room; Ceiling, Clear Douglas Fir or Pacific Coast Hemlock; Finishing Lumber; High Grade Millwork, see pages 110 and 111; Interior Doors, Best Grade Paint Stained Douglas Fir; Trim, Beautiful Grain Douglas Fir or Yellow Pine; Kitchen Cabinets; Medicine Case; Bellows; Windows, California Clear White Pine; Sash, Building Paper, Sash Weights; Extra Trough and Down Spout; Chicago Design Hardware, see page 132; Paint for Three Coats, White Lead; Stairs for Staircase, White Pine; Two Built-in Seats; Shingles and Varnish for Porch; Trim and Doors; Shingles, Paste Filler and Floor Varnish for Walk and Maple Floors.

Complete Plans and Specifications. Built on concrete foundation and excavated under entire house. We guarantee enough material to build this house. Price does not include cement, brick or plaster.

See description of "Honor Bill" Houses on pages 12 and 14.

Can Be Built on 13-Foot Lot

This house can be built on a 13-foot lot (see page 12)



OPTIONS

Shut the front and back doors to make the place of your own. Shut the front and back doors to make the place of your own. Shut the front and back doors to make the place of your own. Shut the front and back doors to make the place of your own.

For prices of plumbing, heating, wiring, electric fixtures and shades, see pages 130 and 131.

FIVE ROOMS AND BATH



Honor Bill  
The Sunlight  
No. P3221 "Already Cut" and Fitted  
\$1,620.00

**IN THIS** modern five-room bungalow the architects have carefully planned every detail, that every inch of space is used to the best advantage. A careful study of the floor plan will reveal that the arrangement is ideal in every particular, resulting in the greatest amount of comfort, the lowest cost of fuel and minimum cost of upkeep. The careful planning of the "Sunlight" relieves the usual household drudgery. The high quality materials are the same as in all "HONOR BILL" homes. The low price is due: First, to the careful thought in its planning, and second, in the fact that the materials are figured at factory prices.

Front and rear gables ornamented with wood shingles, which can be stained in a pleasing tone. Porch, 21 by 8 feet, protects the front windows and door from snow, rain and sun. It makes an ideal place to enjoy the pleasant weather. Here is room for porch swing and furniture. A nice place for the kiddies to play. An enclosed rear entry is a feature.

**The Living Room.** Three steps lead to the front porch, which opens into the living room through an eight-foot door. The arrangement of the door plan permits either a continuation living room and dining room, or separate dining. The living room, one 12 feet 6 inches wide by 12 feet 6 inches long, has space for table, lampstand and other furniture. Windows on two opposite corners permit plenty of light and ventilation.

**The Dining Room.** A wide card opening leads from the living room to dining room. Here a buffet may be placed on the inside wall. Here the family may dine in a cheerful atmosphere. Double windows supply an abundance of light and fresh air.

**The Kitchen.** A swinging door leads from the dining room into the kitchen. Here the architect has considered the daily tasks of the housewife. The range, stove and sink are so arranged as to take all of the "backache" out of the work. Near by is a convenient cupboard for china, glassware and utensils. Plenty of air and light is provided by two windows. The rear door leads to an enclosed entry, with stairway to basement, and outside entrance. Space is provided for refrigerator.

**The Bedrooms.** Passing from the dining room, you enter a hall that connects with the two bedrooms and bathroom. Directly off the hall is a linen closet. The front bedroom is of good size. A clothes closet is provided with a shelf and wastebasket. There is a rear bedroom, one 12 feet 6 inches by 10 feet, with built-in closet. Each bedroom has two windows giving ample light and ventilation. The arrangement of bathroom provides for tub in a recess, toilet and lavatory.

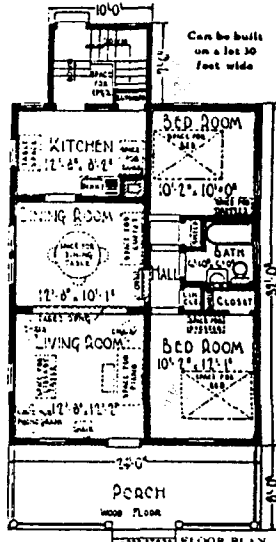
**The Basement.** Space for laundry, storage rooms and fuel tank. Height of Ceilings. Basement, 7 feet high from floor to ceiling. Main floor, 9 feet from the floor to ceiling.

What Our Price Includes

At the price quoted we will furnish all the material to build this five-room bungalow, consisting of: Lumber; Lath; Roofing, Best Grade Clear Red Cedar Shingles; Siding, Clear Cypress or Clear Red Cedar, Best; Framing Lumber, No. 1 Quality Douglas Fir or Pacific Coast Hemlock; Flooring, Clear Douglas Fir or Pacific Coast Hemlock; Parquet Flooring, Clear Edge Grain Pine; Porch Ceiling, Clear Grade Douglas Fir or Pacific Coast Hemlock; Finishing Lumber; High Grade Millwork, see pages 110 and 111; Interior Doors, Two Great Paint Stained Douglas Fir; Trim, Beautiful Grain Douglas Fir or Yellow Pine; Medicine Case; Windows of California White Pine; Sash, Building Paper, Sash Weights; Extra Trough; Down Spout; Stratford Design Hardware, see page 132; Paint for Three Coats, White Lead and White; Sash for Shingles of Gables for Two Weathered; Shingles and Varnish for Interior Trim and Doors.

Complete Plans and Specifications. Built on concrete foundation and excavated under entire house. We guarantee enough material to build this house. Price does not include cement, brick or plaster. See description of "Honor Bill" Houses on pages 12 and 14.

For Our Easy Payment Plan See Page 144



Options. Shut the front and back doors to make the place of your own. Shut the front and back doors to make the place of your own. Shut the front and back doors to make the place of your own. Shut the front and back doors to make the place of your own.

119

FIVE ROOMS—NEAT PORCH



Honor Bill

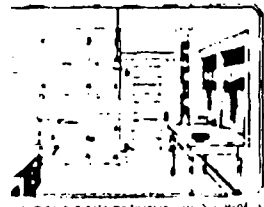
The Clyde

Model "Already Cut" and Fitted  
\$1,666.00

THE CLYDE has been built in many sections of the country by customers who are of your satisfaction. Their letters tell of their "Honor Bill" system, the quality of the workmanship. Some tell of the money and the reliable service. Others writing tell their home at a profit and another Sears, Roebuck and Co. "Bill" home.

Finishing panels and tapered columns, and other little touches make this an unusually well balanced and attractive which will look as well on a narrow lot as a wide one.

Living Room. Selecting the living room, it is a room to live in and light it up. It contains a fireplace and has three windows, the wide front ones and a window on the side. A mantel and fireplace are included. The seat is 19 feet 3 inches by 11 feet 2 inches. It is a comfortable and attractive that no matter what direction you move, they are always to be seen and attractively placed.



Seating to be made as shown with No. 1701.

The Dining Room. The wide eaved entrance into the living room adds to the light and the feeling of spaciousness. Here you have the two windows looking into the living room. Opposite is a big wall space that will accommodate a buffet.

The Kitchen. From the living room you enter the kitchen, which is an unusually compact, convenient arrangement. Standing at the sink you are close to the window and the table. Kitchen cabinet is deep letter space. The grade entrance is a modern improvement that you will like better the longer you live in the house. It is a nice feature for the house. Fine for carrying things between basement and yard and makes the kitchen easier to heat.

The Bedrooms. A hall is taken from the living room that connects with the two bedrooms and bath. There is a closet closet off each bedroom. The bathroom has a medicine case and is lighted by a window.

Basement. Excavated basement under the entire house. Room for storage, furnace and laundry.

Height of Ceilings. Basement, 7 feet from floor to soffit. Main floor, 8 feet from floor to ceiling.

What Our Price Includes

As the price quoted we will furnish all the material to build this five-room bungalow consisting of:

- Lumber: Siding, Clear Grade Clear Red Cedar Shingles; Siding, Clear Grade Cypress or Clear Red Cedar; Bevel; Framing Lumber, No. 1 Quality Douglas Fir or Pacific Coast Hemlock.
- Flooring: Clear Grade Douglas Fir or Pacific Coast Hemlock.
- Porch Flooring: Clear Grade Cypress Fir.
- Porch Ceiling: Clear Grade Douglas Fir or Pacific Coast Hemlock.
- Finishing Lumber:

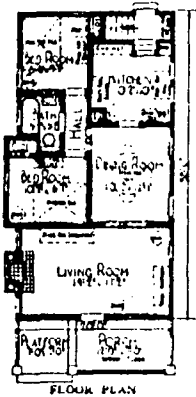
- Windows of California Clear White Pine, High Grade Millwork, see pages 110 and 111;
- Interior Doors, Five-Cove Panel Design Douglas Fir, Trim, Beautiful Grade Douglas Fir or Yellow Pine, Mantel, Medicine Case, Kitchen Cabinet;
- 60-Lb. Building Paper; Bath Weights;
- Exact Trade and Down Spools;
- Standard Design Hardware, see page 112;
- Paint for Three Coats Outside Trim and Siding; Shingles and Varnish for Interior Trim and Doors; Siles for Two Beds; Casts for Wood Shingles in Gables;
- Complete Plans and Specifications.

— Built on a concrete foundation and excavated under entire house.

We guarantee enough material to build this house. Price does not include cement, brick or plaster.

See description of "Honor Bill" houses on page 14 and 15.

For Our Easy Payment Plan See Page 144



Can be built on a lot 28' 6" x 34'

OPTIONS

Sheet Plaster and Plaster Finish, instead of wood lath, \$114.00 extra. See page 109

Interior Doors, Five-Cove Panel Design Douglas Fir, instead of wood shingles, \$11.00 extra.

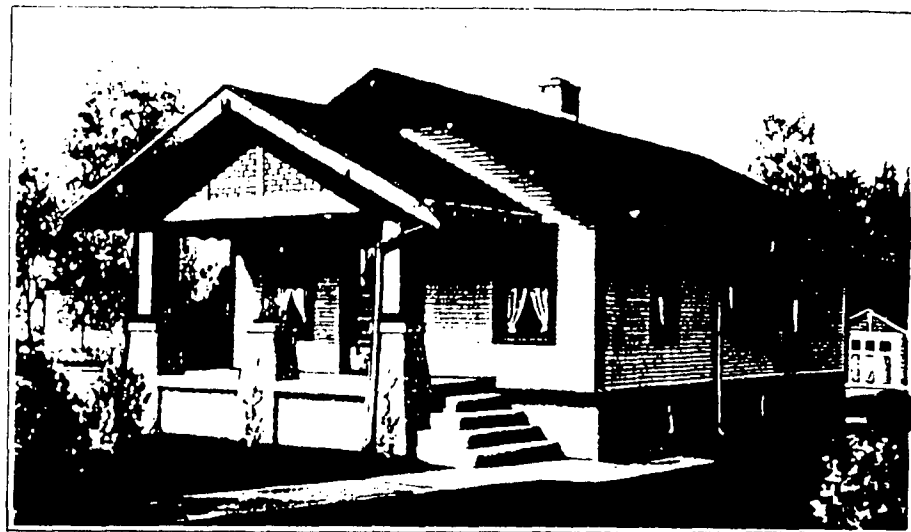
100-Lb. Paper and Floor in living room and dining room, Maple Floor in kitchen and bathroom, \$128.00 extra.

Storm Doors and Windows, \$110.00 extra.

Screens Doors and Windows, galvanized wire, \$11.00 extra.

For prices of Plumbing, Heating, Wiring, Electric Fixtures and Shades see pages 130 and 131.

FOUR ROOMS AND BATH



Honor Bill

The Olivia

No. P7028 "Already Cut" and Fitted  
\$1,283.00

THE OLIVIA bungalow surely deserves its great popularity because it is one of the best planned four-room-with-bath bungalows. Here the architect has created a beautiful and harmonious design and, in addition, has planned the greatest amount of available floor space without wasting one inch.

Observe the beautiful front porch with large gable roof with exposed rafters and fancy verge boards. Note the artistic arrangement of concrete columns and how the center one provides a convenient place for a jardiniere or flower box. Then, note the shingled gables and paneled columns. Follow the lines of this home from front to rear and there will be no doubt in your mind that this is a most attractive home. Gray painted trim with a white color body will make this the "finest" home in your block.

The front porch, 16 feet by 7 feet, is delightful. It may be screened in summer and closed in winter. A swing or a lounging chair, with table, lamp and rug, and the porch is converted into a sun room.

The Living Room. Six, 40 feet 8 inches by 15 feet 2 inches. Large wall spaces permit the placing of furniture and piano in a pleasing manner. There is plenty of light and ventilation from two windows and glazed front door.

The Kitchen and Dining Room. From the living room a door opens into the large kitchen. It is 8 feet 7 inches by 11 feet 7 inches. Location of sink and stove are planned to save many steps when preparing the daily meals. On the opposite side there is a built-in cabinet. (See illustration to the left.) Near the stove is a cupboard opening to the pantry. It is provided with shelves for



Cabinets Furnished in Kitchen

utensils and other kitchen needs. A table can be placed under the two windows. Directly off the kitchen is a linen closet with two shelves. A door leads down three steps to the rear entry, where there is space for a ice box. Steps to basement are here, also.

The Bedrooms. From the living room a hall connects with the two bedrooms and bath. Front bedroom is 10 feet 2 inches by 10 feet 8 inches, and rear bedroom is 10 feet 2 inches by 9 feet 2 inches. Each bedroom has a clothes closet. There are two windows in each bedroom, permitting cross ventilation and light.

The bathroom plumbing is arranged on one wall, saving material and labor. The bathroom has a medicine cabinet and a window.

Basement. Excavated basement with concrete floor. Room for furnace, laundry and storage.

Height of Ceilings. Main floor, 8 feet 2 inches from floor to ceiling. Basement, 7 feet from floor to soffit.

What Our Price Includes

At the price quoted we will furnish all the material to build this four-room bungalow, consisting of:

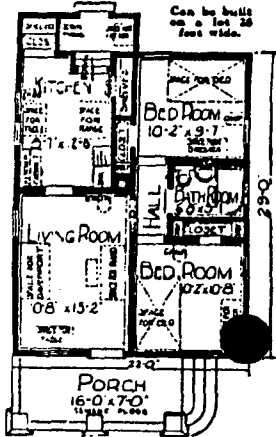
- Lumber: Siding, Clear Grade Clear Red Cedar Shingles; Siding, Clear Grade Cypress or Clear Red Cedar; Bevel; Framing Lumber, No. 1 Quality Douglas Fir or Pacific Coast Hemlock.
- Flooring: Clear Grade Douglas Fir or Pacific Coast Hemlock.
- Porch Ceiling: Clear Grade Douglas Fir or Pacific Coast Hemlock.
- Finishing Lumber:

- High Grade Millwork, see pages 110 and 111;
- Interior Doors, Five-Cove Panel Design of Douglas Fir, Trim, Beautiful Grade Douglas Fir or Yellow Pine; Windows of California Clear White Pine, Mantel, Medicine Case, Kitchen Cabinet;
- 60-Lb. Building Paper; Bath Weights;
- Exact Trade and Down Spools;
- Standard Design Hardware, see page 112;
- Paint for Three Coats Outside Trim and Siding; Shingles and Varnish for Interior Doors and Trim;
- Complete Plans and Specifications.

We guarantee enough material to build this house. Price does not include cement, brick or plaster. See description of "Honor Bill" houses on pages 14 and 15.

This house can be built with rooms reversed. See page 1.

Can be built on a lot 28' 6" x 34'



OPTIONS

Sheet Plaster and Plaster Finish, to take the place of wood lath, \$114.00 extra. See page 109.

Interior Doors, Five-Cove Panel Design Douglas Fir, instead of wood shingles, \$11.00 extra.

Storm Doors and Windows, \$110.00 extra.

Screens Doors and Windows, galvanized wire, \$11.00 extra.

For prices of Plumbing, Heating, Wiring, Electric Fixtures and Shades see pages 130 and 131.

For Our Easy Payment Plan See Page 144

SEARS, ROEBUCK AND CO.

P003

Page 45

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**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

**Address:** 9816 Capitol View Avenue, Silver Spring      **Meeting Date:** 04/14/99  
**Resource:** Capitol View Park Historic District      **Public Notice:** 03/31/99  
**Case Number:** 31/6-99B      **Report Date:** 04/07/99  
**Review:** HAWP      **Tax Credit:** None  
**Applicant:** Design Homes, LLC (Joe Alfandre)      **Staff:** Perry Kephart  
**PROPOSAL:** Alterations      **RECOMMEND:** Approval

---

**DATE OF CONSTRUCTION:** 1928

**SIGNIFICANCE:** Contributing Resource in Capitol View Park Historic District

**ARCHITECTURAL DESCRIPTION:** Wood-frame, 2-bay, 1½ story, front gable, Sears-type Bungalow with lapped wood siding. There is a front-gabled screen porch to the right of the front entry.

**PROPOSAL:** The applicant proposes to:

1. Remove the shed roof back porch enclosure and the lean-to next to it at the rear of the house.
2. Extend the house 7 feet to the rear by means of a shed roof addition with paired one-pane french doors flanked by 6/1 windows. Paired 6/1 windows are also to be included at the rear and on both sides. The ground level is proposed to be constructed of parged cement and have a door at grade leading to the garage area.
3. Construct a wood rear deck at the first floor level with steps leading to grade. The deck is to have a painted wood railing with inset wood pickets.
4. Enclose the screened front porch with 6/1 windows on all three sides.
5. Construct a front gabled entry portico with red or dark brick 24" side walls, a brick walk, and brick or concrete steps leading down to the driveway.

The new construction is to be of wood frame with wood siding (except where noted). The windows are to be double-glazed with shadow bar muntins. The doors at front and rear are to be of wood (optional metal core) with either vertical lower panels and lights above or with paneling appropriate to the Sears-type style of the historic resource.

## STAFF DISCUSSION

The rehabilitation of the house is part of a larger project that includes construction of houses on 4 or 5 of the lots on either side of the existing resource. The infill project is the subject of a separate preliminary consultation.

The proposed alterations are in keeping as to design and materials with the style of the house. The applicant is to be commended for modifying the interior of the house to meet contemporary standards without significantly altering the exterior of the structure.

## STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.**

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Joe Alfandre

Daytime Phone No.: 301-946-9500

Tax Account No.: 2283876

Name of Property Owner: Design Homes Daytime Phone No.: 301-946-9500

Address: 10423 Amory Ave # 180 c Kensington MD 20895  
Street Number City State Zip Code

Contractor: Design Homes, LLC Phone No.: 301-946-9500

Contractor Registration No.: 3464

Agent for Owner: Joe Alfandre Daytime Phone No.: 301-946-9500

**LOCATION OF BUILDING/PREMISE**

House Number: 9816 Street: Capitol View Ave, Silver Spring  
 Town/City: Capitol View Park Nearest Cross Street: Stoneybrook Rd  
 Lot: 21 Block: 31 Subdivision: Capitol View Park  
 Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: I.D. 13-0099628

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |   |   |  |   |                                    |   |   |                               |                               |
|---|---|--|---|------------------------------------|---|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend  | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C  | <input type="checkbox"/> Slab      | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input checked="" type="checkbox"/> Move      | <input checked="" type="checkbox"/> Install | <input checked="" type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                                      | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove        | <input checked="" type="checkbox"/> Single Family |                               |                               |
| <input checked="" type="checkbox"/> Revision  | <input checked="" type="checkbox"/> Repair  | <input type="checkbox"/> Revocable                 | <input checked="" type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input type="checkbox"/> Other: _____             |   |                               |                               |
- 1B. Construction cost estimate: \$ 80,000
- 1C. If this is a revision of a previously approved active permit, see Permit # N/A

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_
- 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Joe Alfandre Signature of owner or authorized agent 3-24-99 Date (3)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Sears Craftsman house circa 1920's, Capital View Park setting.  
CSX Railroad tracks adjacent.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Addition 1st Floor rear 7 ft. Break in plane, offset from original rear of house. Utilize existing windows. No environmental disturbance. Enclosure of existing front screen porch to create inglenook. Addition entry porch. Optional rear deck.  
Also, request for preliminary discussion on new, adjacent houses.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

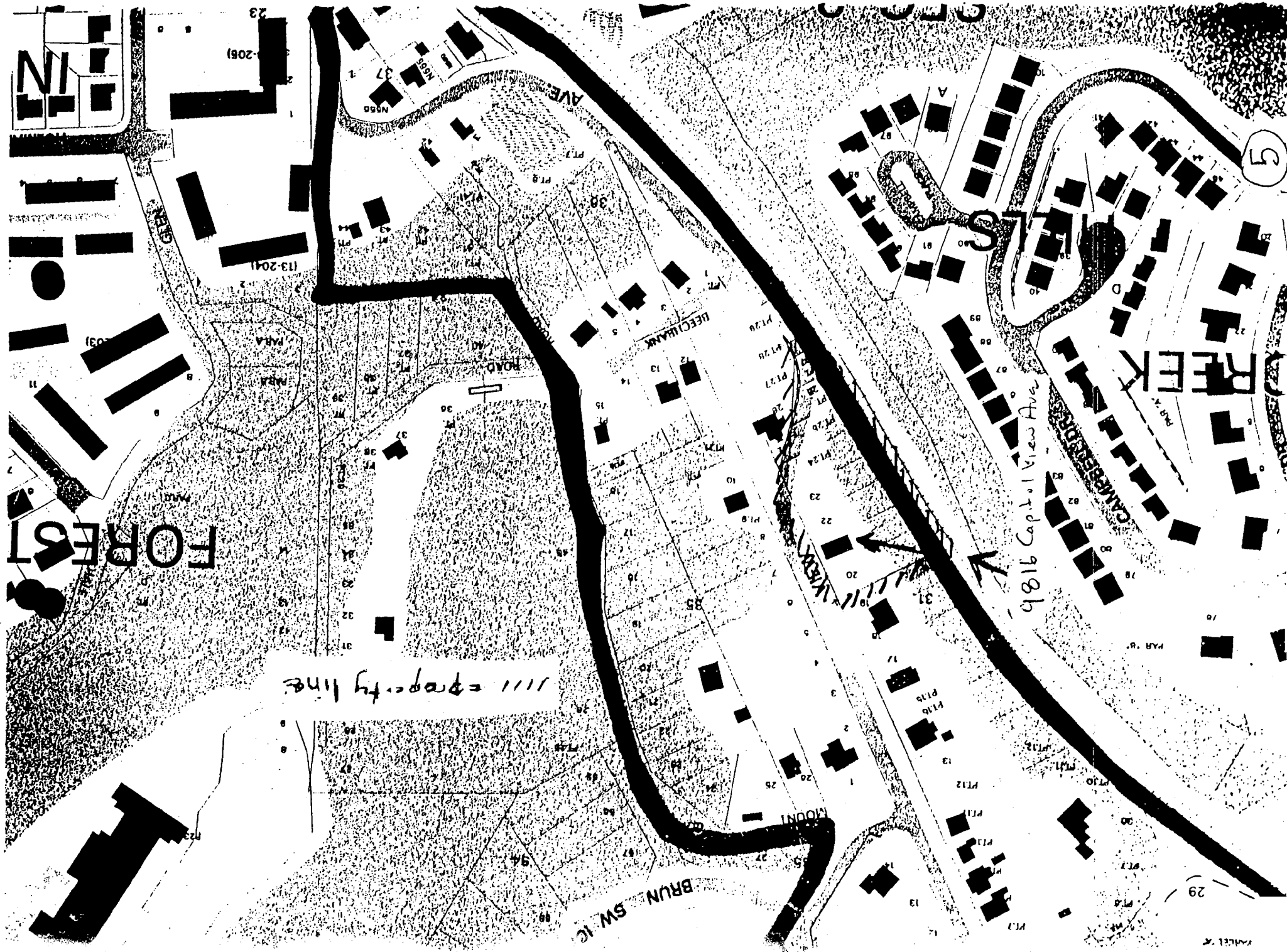
General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

4





FOREST

IN

13-2061

13-2041

1111 = property line

BRUN SW 10

9816 Capitol View Ave


CAMPBELL

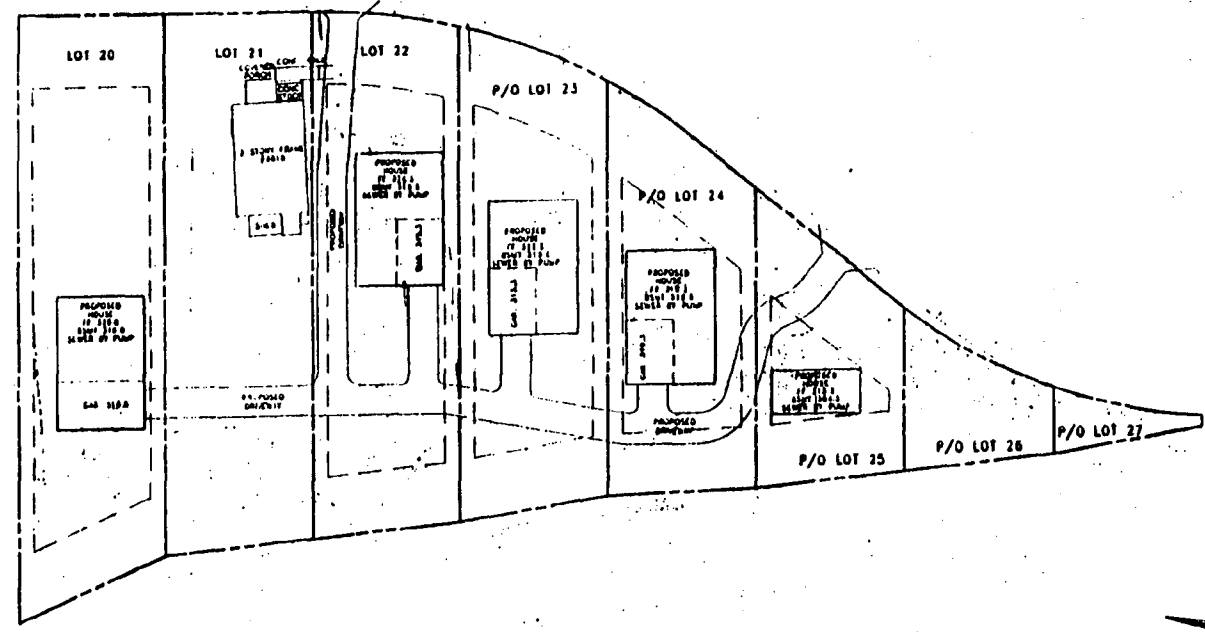
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PARCEL #

VICINITY MAP 1"=2000'

CAPITOL VIEW AVENUE 9816 Capitol View Ave  




**NOTES**

1. TOPOGRAPHY SHOWN HEREON PER FIELD SURVEY BY THIS OFFICE IN THE DATE OF THE 4 5 5 C
2. TREES SHOWN PER FIELD SURVEY BY THIS OFFICE
3. BOUNDARY DELINE, UTILITY INFORMATION AND ADDING IMPROVEMENTS TAKEN FROM RECORD INFORMATION TOGETHER WITH FIELD LOCATIONS

9

<p><b>CONCEPTUAL SITE PLAN</b>                  HOUSE CONSTRUCTION                  LOTS 20 - 22 &amp; PART OF LOTS 23-27, BLOCK 31  <b>CAPITOL VIEW PARK</b>                  AS RECORDED IN                  PLAT BOOK A AT PLAT NUMBER 9                  WHEATON ELECTION DISTRICT NO. 13      MONTGOMERY COUNTY, MARYLAND</p>			<p>NO. 24 EED                  FOWLER ASSOCIATES</p>																				
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No	DATE	BY																			<p><b>FOWLER ASSOCIATES, INC.</b>                  CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS                  255 NORTH WASHINGTON STREET, SUITE 300                  ROCKVILLE, MD 20850                  (301) 762-7377</p>	
No	DATE	BY																					
<p>SCALE                  1" = 30'</p>		<p>DATE                  3/99</p>																					
<p>JOB NUMBER                  99-006</p>		<p>DRAWING NO                  1 OF 1</p>																					

# BUILT by OUR CUSTOMERS at SUBSTANTIAL SAVINGS



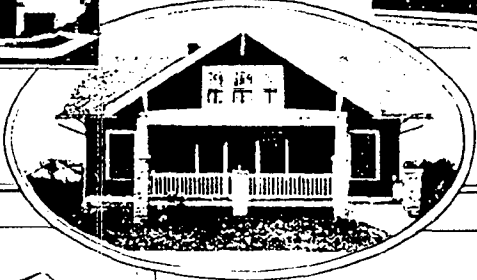
**THE WESTLY**  
All material was very good and sufficient. The lumber was superior, no carpenter needed to any that could be obtained here. We highly recommend your "Honor Bill" service. Hope that everyone who builds will be as satisfied as we are in cost, convenience and quality.  
**ALBERT J. KECEL,**  
3110 Jewett St.,  
Washington, D. C.



**THE OSBORNE**  
We are well satisfied with our "Osborne" house. The material is as good as can be got anywhere and way above the average. I made a big saving by the use of "Honor Bill" Ready-Cut material. Our dealings with your company have been unusually satisfactory, and recommend you to anyone about to build.  
**CLARENCE L. PARKER,**  
19 Olmstead Ave.,  
Dearborn, Mich.



**THE AMERICUS**  
The best planned house I ever saw. Carpenter's tool box it was the best I ever used. Everything fits. I saved just \$1,500.00.  
**JOHN HALL,**  
R. F. D. 1, Box 145,  
Brooklyn Sta.,  
Cleveland, Ohio.



**THE LANGSTON**  
In 1921 I bought, erected and am now living in the "Americus". I have since built the Alpha and am working on a Langston and an Aetna. Your service, quality and courtesy makes one a booster for "Honor Bill" homes.  
**HENRY M. JUNG,**  
4223 Lowry Ave.,  
Norwood, Ohio.



I am so well pleased I am thinking of buying another.  
**OLIVIA WILLIAM BLYLL,**  
R. F. D. 1, Box 5,  
Elkhart, Ind.

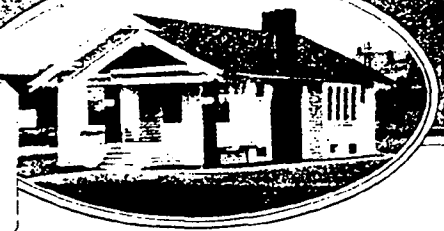
**THE CONWAY**  
I built the house myself with help only after the roof was on and the weather clearing. I estimate I saved between \$1,500.00 and \$2,000.00.  
**J. A. Paddelford,**  
2300 Stanton St.,  
Washington, D. C.



**THE ELSMORE**  
I figure about \$1,500.00 saved by getting it Ready-Cut from Sears, Roebuck and Co.  
**FRED W. KRIMP,**  
R. 1, Box 900,  
West Albany, N. Y.

The voluntary words of our customers prove the wisdom in buying "Honor Bill" Modern Homes. Here are just a few photographs and copies of parts of letters that were taken at random from our huge testimonial files. Over thirty-four thousand customers have purchased "Honor Bill" Modern Homes.

## Read what they say



**Argyle**  
I have had complete satisfaction from the start. All material was of extra good grade, plenty of it, and it went together perfectly. I made a big saving in time and money.  
**J. O. MATTHEWS,**  
Xenia, Ohio.

Every day interesting testimonials come from "Honor Bill" Modern Home customers. They tell of the money saved, satisfaction with our quality materials, architectural plans, specifications, service and easy payment plan. There are no worries. Our guarantee protects you in every way.



**Dear Sir:** I want to express my appreciation for the very courteous and efficient attention that I have received from you while building my "Martha Washington" House. I have saved about \$1,500.00, of which I credit about \$1,000.00 to labor saved by the "Honor Bill" ready cut masonry.  
**A. H. BREWSTER,**  
Washington, D. C.

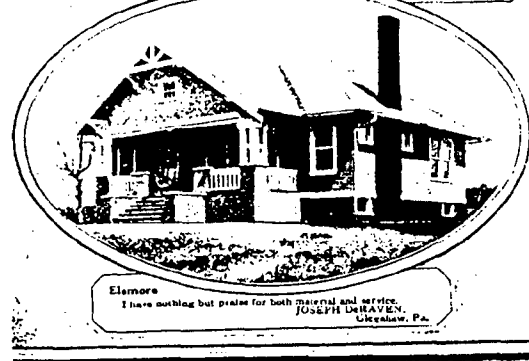


**Alhambra**  
The millwork and other materials furnished are certainly of very exceptional quality.  
**M. A. LANGE,**  
5925 Nias Ave., Norwood Park, Ill.

**Puritan**  
I wish to express my appreciation of the prompt and efficient service rendered. The whole transaction has been most satisfactory. There was sufficient material and it exceeded in quality the builder's expectations.  
**E. E. THOMPSON,**  
4114 Ingham St.,  
Chevy Chase, D. C.



**Clyde**  
I am well pleased with the house and with your material. My wife and I, who are nearing 60 years, built the house ourselves and we saved about \$1,500.00.  
**W. E. O'NEIL,**  
715 Maple St., Wamego, Kan.

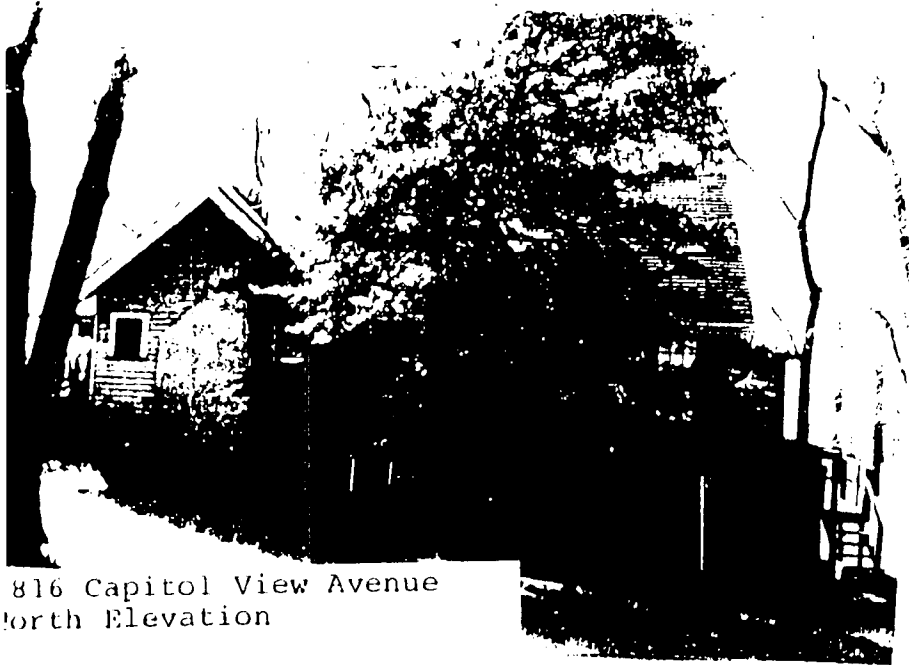


**Elmore**  
I have nothing but praise for both material and service.  
**JOSEPH DEWEAVEY,**  
Licksville, Pa.

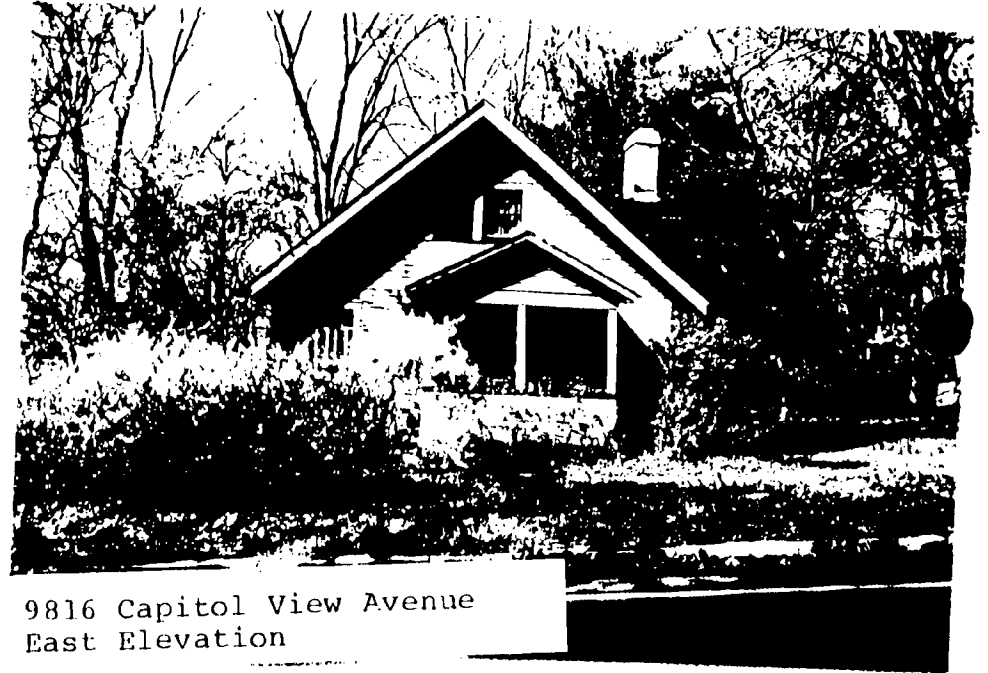


**Woodland**  
Thank you for the efficient service rendered. The house was erected in a wonderfully short period.  
**LOUIS T. MACKIE,**  
Cincinnati, Ohio.

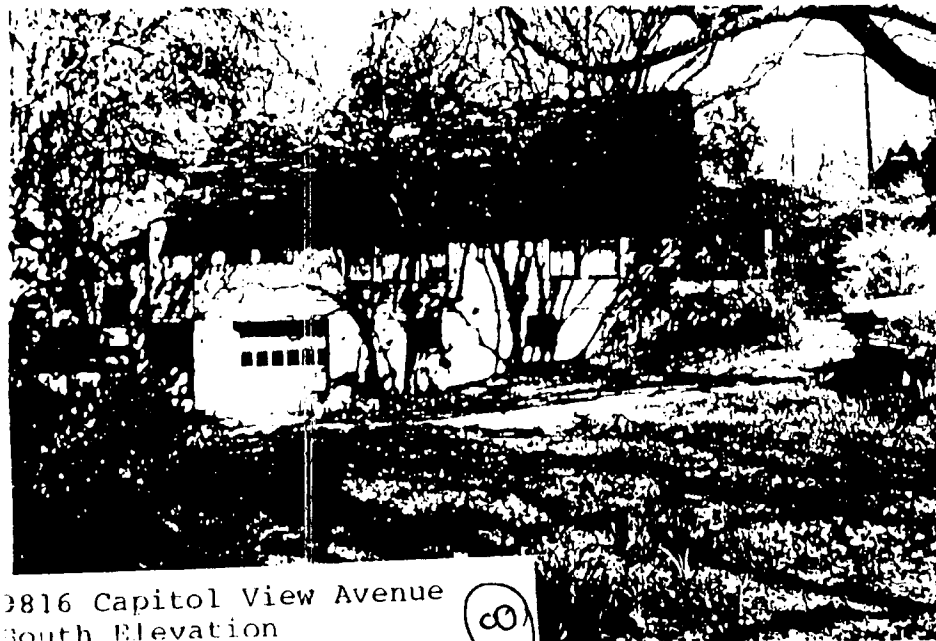
Existing



816 Capitol View Avenue  
North Elevation

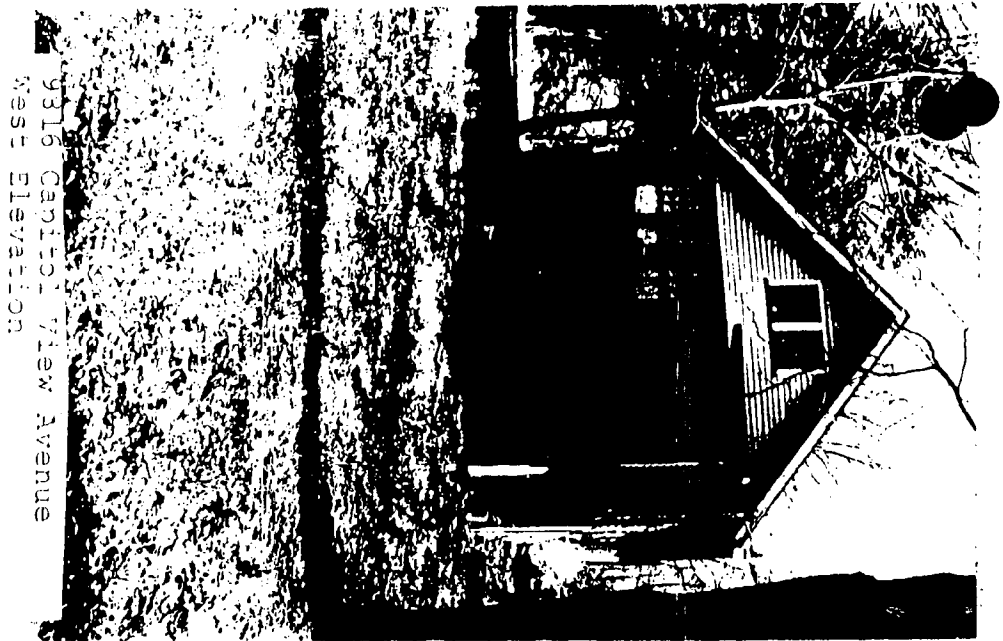


9816 Capitol View Avenue  
East Elevation



9816 Capitol View Avenue  
South Elevation

(00)

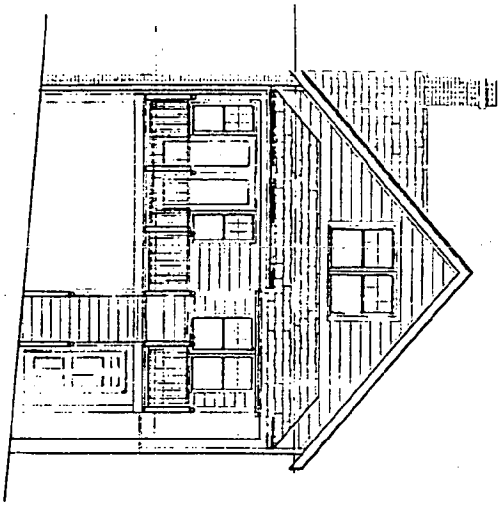


9816 Capitol View Avenue  
West Elevation

9

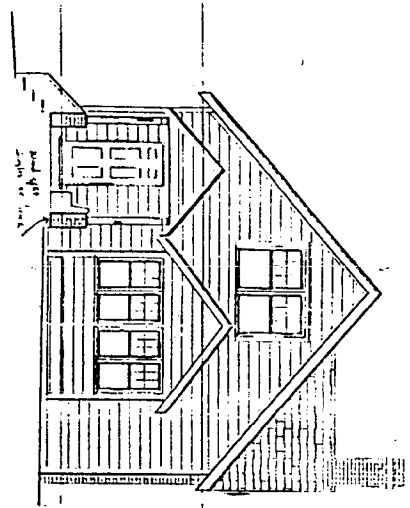
REAR ELEVATION

1/4" = 1'-0"



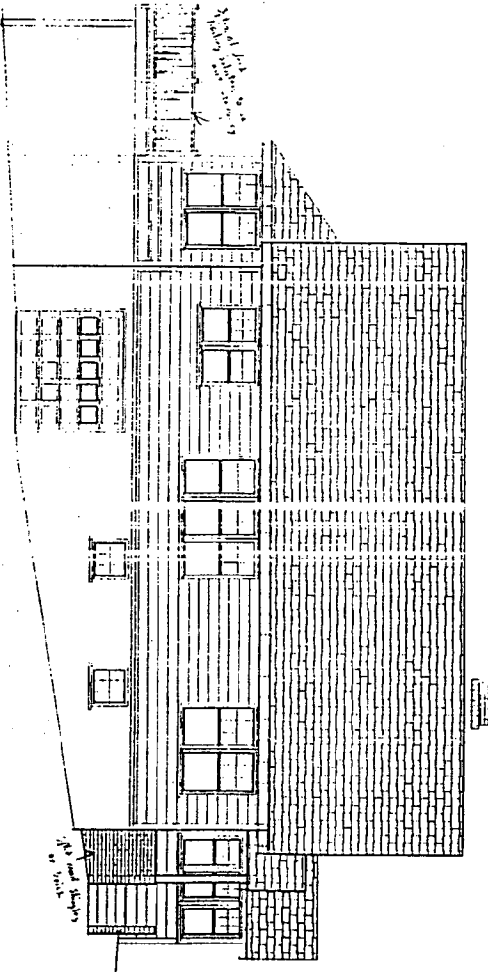
FRONT ELEVATION

1/4" = 1'-0"



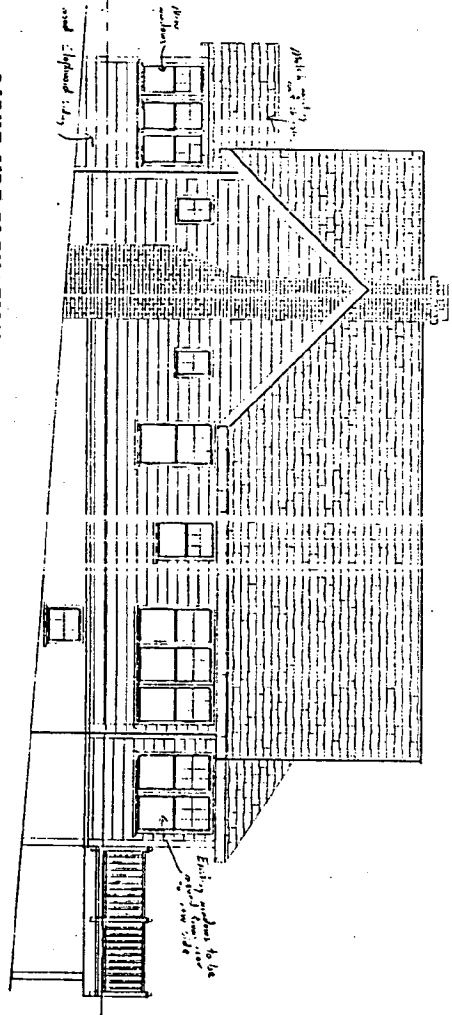
LEFT SIDE ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = 1'-0"



Proposed

REMODELING OF A KENSINGTON BUNGALOW FOR  
JOSEPH ALFANDRE COMPANY  
KENSINGTON, MARYLAND

ELEVATIONS



I. THOMAS WALSMAN, ARCHITECT

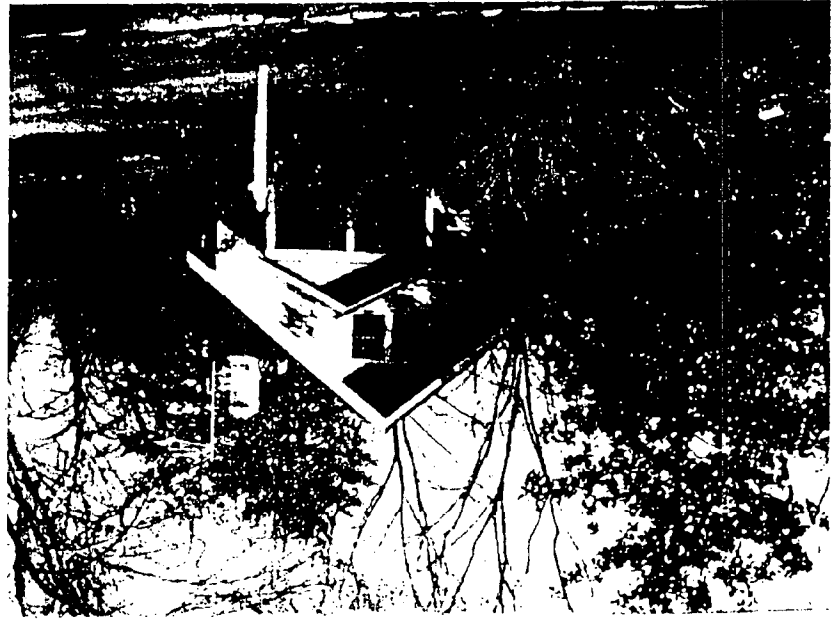
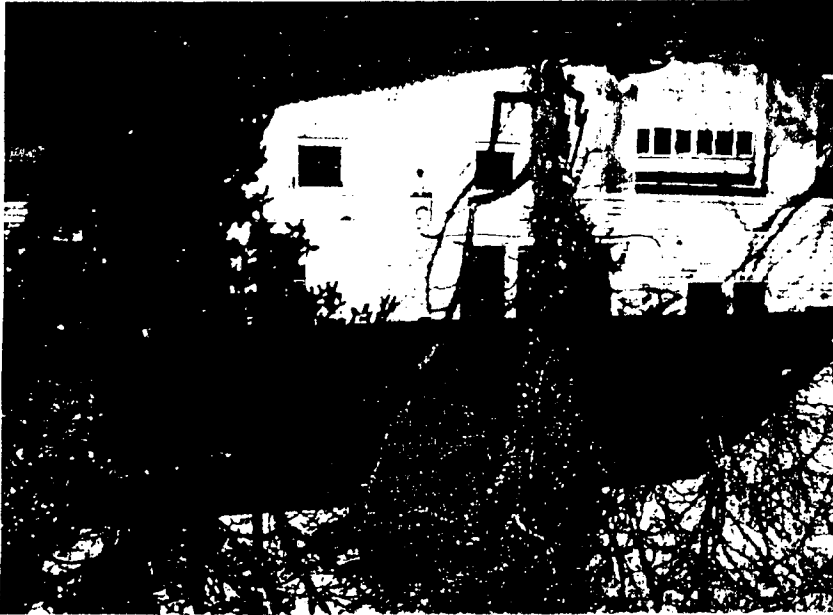
1230 BALTIMORE RD. BALTIMORE, MD. 21204

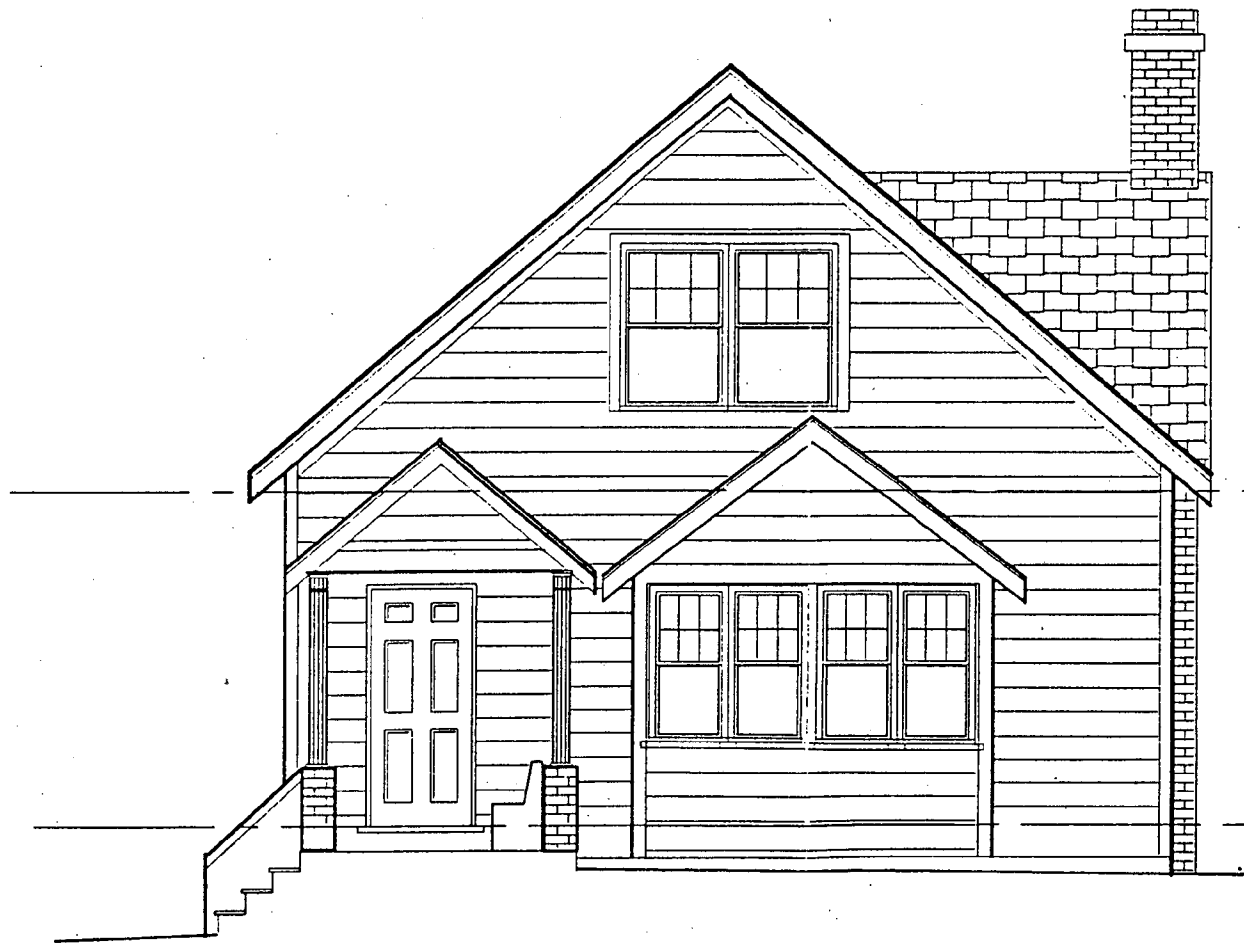
13499

A-2

Existing

01





*Proposed*  
**FRONT ELEVATION**

1/4" = 1'-0"

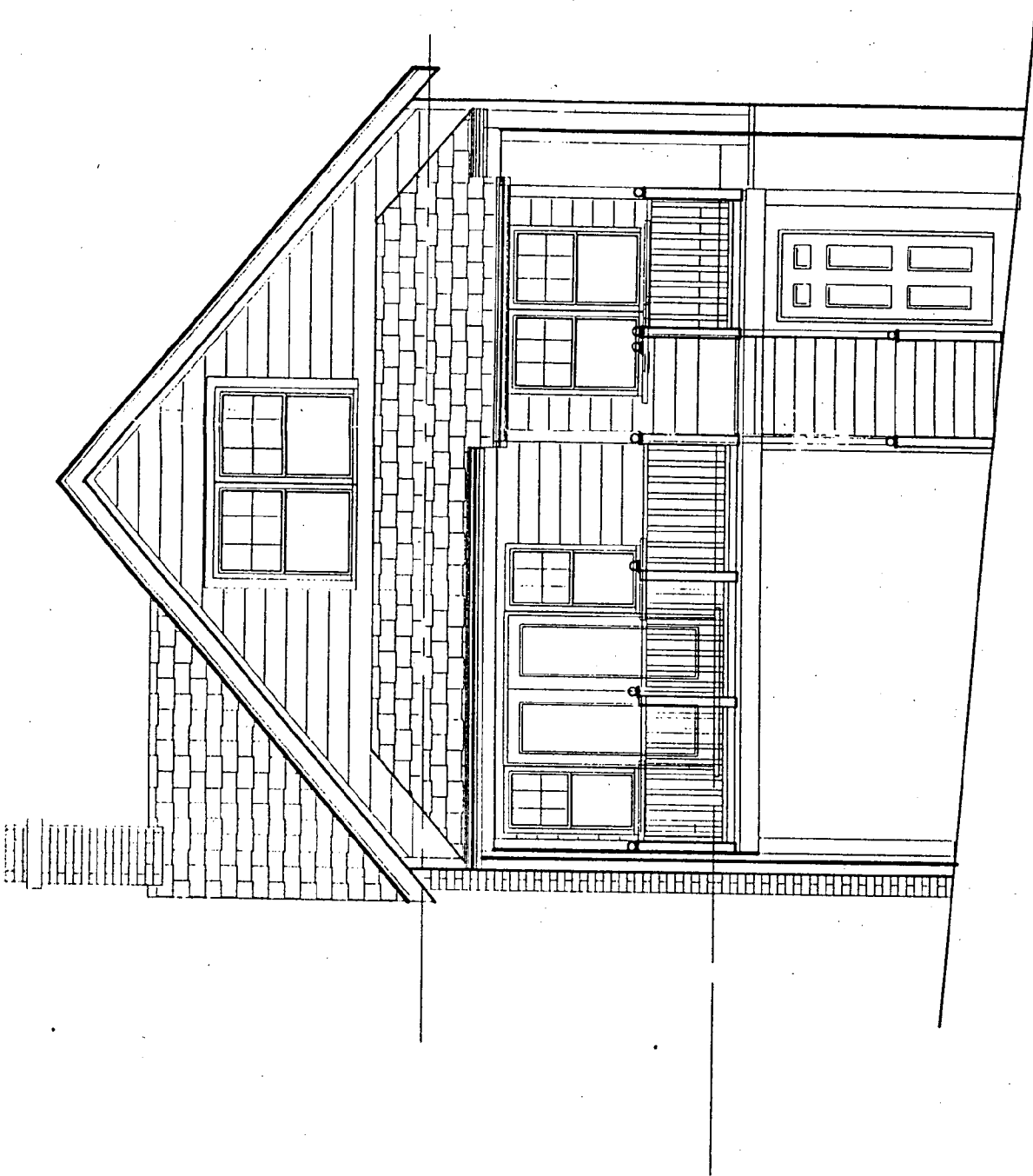


Existing

(2)

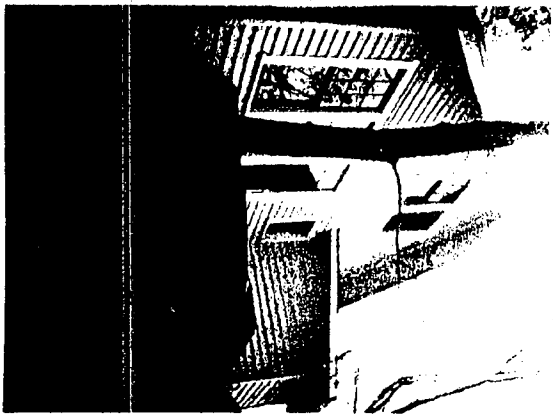






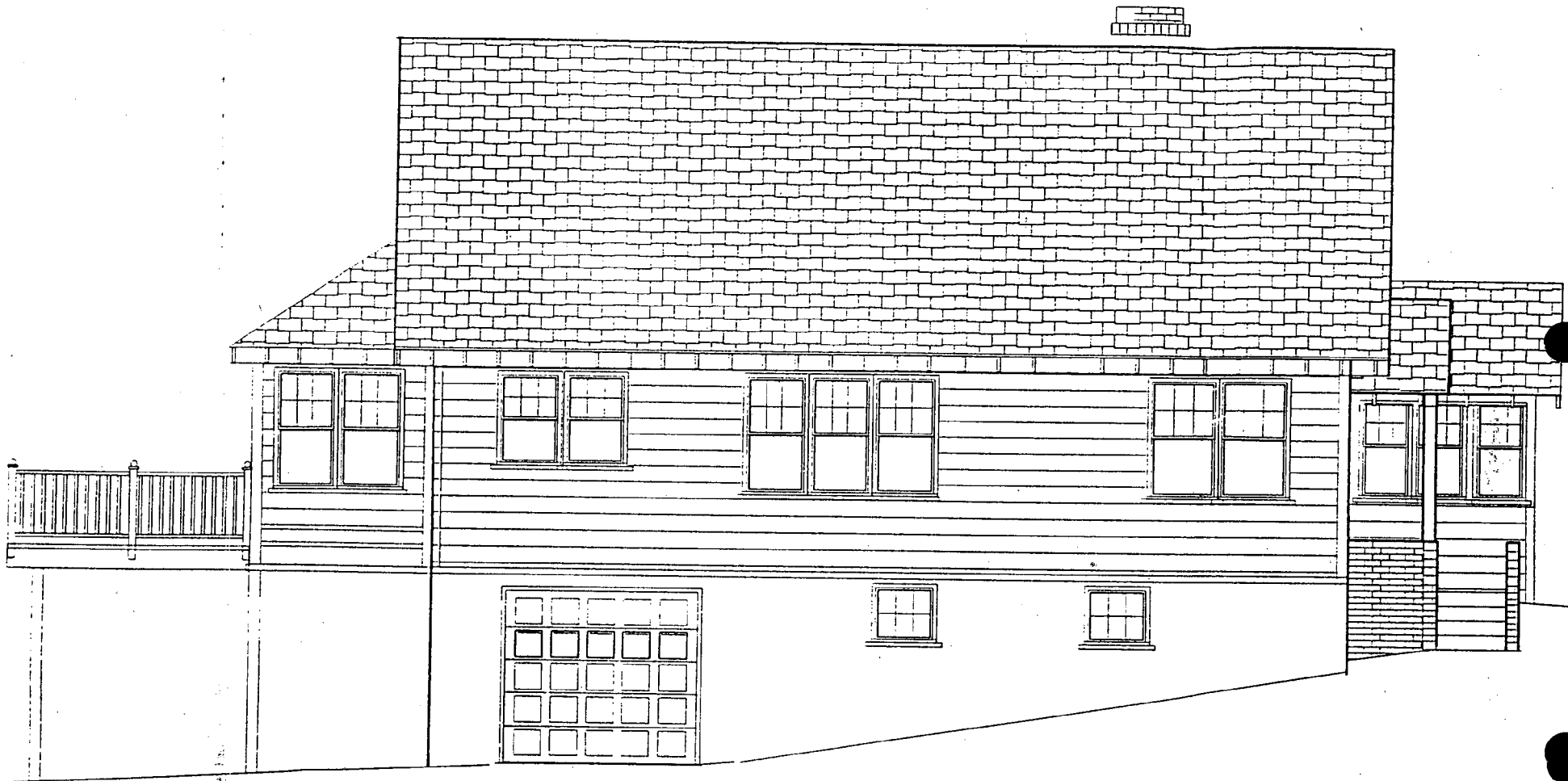
*Proposed*  
**REAR ELEVATION**

1/4" = 1'-0"



14

Existing



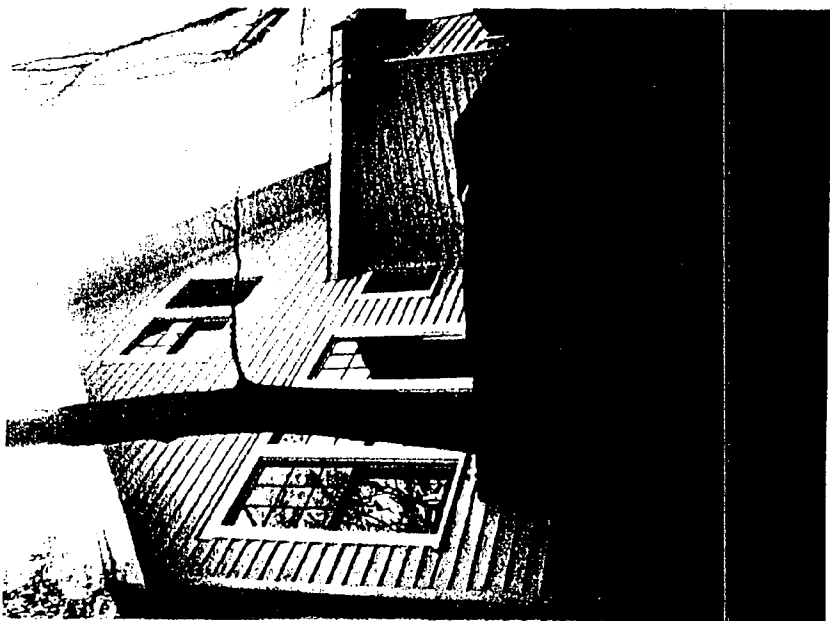
*Proposed*  
**LEFT SIDE ELEVATION**

1/4" = 1'-0"

15

Existing

16





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Joe Alfandre
Daytime Phone No.: 301-946-9500
Tax Account No.: 2283876
Name of Property Owner: Design Homes
Daytime Phone No.: 301-946-9500
Address: 10423 Armory Avenue # 180-c Kensington, Maryland 20895
Contractor: Design Homes, LLC
Phone No.: 301-946-9500
Contractor Registration No.: 3464
Agent for Owner: Joe Alfandre
Daytime Phone No.: 301-946-9500

LOCATION OF BUILDING/PREMISE

House Number: 9816 Street: Capitol View Avenue, Silver Spring
Town/City: Capitol View Park Nearest Cross Street: Stoneybrook Road
Lot: 20, 22, 23, 30 Block: 31 Subdivision: Capitol View Park
Liber: Folio: Parcel: I. D. 13-0099628

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
Construct [x] Extend [ ] Alter/Renovate [ ] A/C [x] Slab [ ] Room Addition [x] Porch [ ] Deck [ ] Shed [ ]
Move [ ] Install [ ] Wreck/Raze [ ] Solar [x] Fireplace [ ] Woodburning Stove [x] Single Family [ ]
Revision [ ] Repair [ ] Revocable [ ] Fence/Wall (complete Section 4) [x] Other: [ ]
1B. Construction cost estimate: \$ 150,000 x 4
1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [x] WSSC 02 [ ] Septic 03 [ ] Other:
2B. Type of water supply: 01 [x] WSSC 02 [ ] Well 03 [ ] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 8 feet 0 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[ ] On party line/property line [x] Entirely on land of owner [ ] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Joe Alfandre
Date: 6-30-99

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: 99063006 Date Filed: Date Issued:

3/7-99F

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Sears Bungalow rehab subject to HAWP Permit # 9903250080.

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- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

HAWP application of 4 R-60 lots previously discussed at preliminary hearing.

Enclosed site plan provides tree survey and location of new house foundations

relative to tree location. It also reflects spatial considerations and scale

relative to Capitol View Avenue and the existing Sears bungalow. A barrier fence

at the rear of the property at junction with CSX rail right of way is also included.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

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HISTORIC PRESERVATION COMMISSION
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Liber: Folio: Parcel: I. D. 13-0099628

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable, A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall (complete Section 4), Other.
1B. Construction cost estimate: \$ 150,000 x 4
1C. If this is a revision of a previously approved active permit, see Permit # N/A

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2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: Date Filed: Date Issued:

drain: ok  
ndg w/ CAP  
Δ use design