

30/13-00A 10909 Montrose Ave.  
(Garrett Park HD)

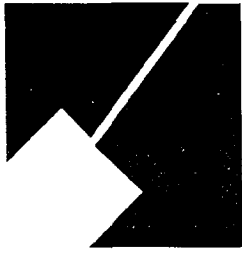
Post office - report

10909 Montrose -

Noon's wing -

- removed 1 b/i window  
where french doors are.
- Const.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 4-13-00

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

---

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

         Approved

X Approved with Conditions: ① THE WINDOW TO BE REMOVED, WILL BE STORED ON SITE.

---

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: STEPHEN + TANYA KEETER

Address: 10909 MONTROSE AVE, GARRETT PARK

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Scott Kreep  
Daytime Phone No.: (301) 215-9310

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Stephen Scott + Tanya Kreep Daytime Phone No.: (301) 215-9310  
Address: 10909 Montrose Ave, Garrett Park, MD 20896  
Street Number City State Zip Code

Contractor: N/A Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: N/A Daytime Phone No.: \_\_\_\_\_

LOCATION OF BUILDING/PREMISE

House Number: 10909 Street: Montrose Ave  
Town/City: Garrett Park M.D. 20896 Nearest Cross Street: Streatmore Ave  
Lot: 9 Block: 98 Subdivision: N/A  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 3,800.00  
1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: N/A  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: N/A

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches N/A  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stephen Scott Tanya Kreep 3/17/00  
Signature of owner or authorized agent Date

Approved: X W/CONDITION For Chairperson Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 4-12-00  
Application/Permit No.: 214380 Date Filed: 3/23/00 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*No change to the outside structure of the home will take place. The deck will be attached to the back of the home and a window on the back of the home will be turned into a door.*

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*Deck will be constructed on the back of the house and not visible to the side or front of the house.*

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

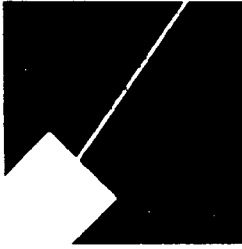
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

**MEMORANDUM**

DATE: 4-13-00

TO: Local Advisory Panel/Town Government - GARRETT PARK

FROM: Historic Preservation Section, M-NCPPC  
Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner  
Michele Naru, Historic Preservation Planner (M)

SUBJECT: Historic Area Work Permit Application - HPC Decision

---

The Historic Preservation Commission reviewed this project on 4-12-00  
A copy of the HPC decision is enclosed for your information.

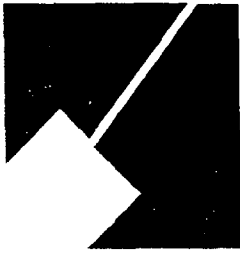
Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

10909 Montrose Ave

ADJACENT AND CONFRONTING OWNERS

1. Evelyn L. Harris  
10905 Montrose Ave.  
Garrett Park, MD 20896
2. Terence E. & V.F. Saurain  
10916 Clermont Ave.
3. Robert B. & S.W. Hifford  
10918 Clermont Ave.
4. EXA D. A. Murray  
10914 Clermont Ave.
5. Paul J + A Russillo  
10904 Montrose Ave.
6. Charles A + C.R. Snyder  
10910 Montrose Ave.
7. Robert M. Jr. + B.A. Frost  
10915 Montrose Ave.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 4-13-00

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

---

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



**EXPEDITED  
HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	10909 Montrose Avenue, Garrett Park	<b>Meeting Date:</b>	04/12/00
<b>Applicant:</b>	Scott and Tanya Kreter	<b>Report Date:</b>	04/05/00
<b>Resource:</b>	Outstanding Resource Garrett Park Historic District	<b>Public Notice:</b>	03/29/00
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Case Number:</b>	30/13-2000A	<b>Staff:</b>	Michele Naru
<b>PROPOSAL:</b>	Deck Installation, Window Removal	<b>RECOMMEND:</b>	Approve w/cond.

**DATE OF CONSTRUCTION:** 1925

**SIGNIFICANCE:**

- Individual Master Plan Site
- Within a Master Plan Historic District
- Primary Resource
- Contributing Resource
- Non-contributing/Out-of-Period Resource

**ARCHITECTURAL DESCRIPTION:** This one-story, three-bay, dwelling is located in the Garrett Park Historic District. The "Chevy House" is clad in clapboard siding with an asphalt shingle roof. The principal facade is ornamented with an entrance portico. The house sits on the front part of a .24 acre lot with an expansive rear yard.

**PROPOSAL:** Applicant is proposing to construct a 24' x 14' deck to be attached to the rear of the house. In order to access the new deck, the applicant is proposing to remove a paired, 6/1 wood window on the rear facade and install French doors. The applicant will be maintaining the original size of the opening and will be reproducing the profile of the original window surround to be installed around the new doors.

**RECOMMENDATION:**

- Approval
- Approval with conditions:

1. The original window to be removed should be stored on site.

①

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or

4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

## Policy On Use of Expedited Staff Reports for Simple HAWP Cases

This policy is developed with the understanding that:

- I. The HPC's policy regarding in-kind replacements has not changed, that is, all replacements of exterior features with exactly matching materials may be done without a HAWP.
- II. Staff will continue to notify Local Advisory Panel (LAP), and adjacent and confronting owners of all HAWP applications and, if a neighbor or the LAP is known to object to a proposal, the Expedited Staff Report will not be used.
- III. If, because of the specifics of the case, staff is uncertain whether the Expedited Staff Report format is appropriate, or if an applicant requests it, the Standard Staff Report will be used.
- IV. The Expedited Staff Report format may be used on the following type of cases:
  1. Alterations to properties on which the Maryland Historical Trust (MHT) holds an easement and which have been reviewed and approved by the MHT Easement Committee.
  2. Modifications to a property which do not significantly alter its visual character. These include, but are not limited to:
    - A. Repair or replacement of masonry foundations with new materials that match the original closely.
    - B. Installation of vents, venting pipes, and exterior grills.
    - C. New installation of gutters.
  4. Removal of asbestos, asphalt, or other artificial siding when the original siding is to be repaired, and, where necessary, replaced in kind.
  5. Removal of accessory building that are not original to the site or otherwise historically significant.
  6. Replacement of missing architectural details, provided that at least one example of the detail to be replaced exists on the house, and/or physical or documentary evidence exists that illustrates or describes the missing detail or details.
  7. Signs that are in conformance with all other County sign regulations.

8. Construction of wooden decks that are at the rear of a structure and are not readily visible from a public right-of-way. This applies to all categories of resources: Outstanding, Contributing, Individually Designated Sites, or Non-contributing.
9. Replacement of roofs on non-contributing or out-of-period building, as well as new installation of historically appropriate roofing materials on outstanding and contributing buildings..
10. Installation of exterior storm windows or doors that are compatible with the historic site or district in terms of material or design.
11. Construction of fences that are compatible with historic site or district in terms of material, height, location, and design. Requests for fences higher than 48" to be located in the front yard of a property will not be reviewed using an Expedited Staff Report.
12. Construction or replacement of walkways, parking areas, patios, driveways or other paved areas that are not readily visible from a public right-of-way and/or are compatible in material, location, and design with the visual character of the historic site or district.
13. Construction or repair of retaining walls where the new walls are compatible in material, location, design and height with the visual character of the historic site or district.
14. Construction or replacement of storage and small accessory buildings that are not readily visible from a public right-of-way.
15. Landscaping, or the removal or modification of existing planting, that is compatible with the visual character of the historic site or district.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Scott Kreker

Daytime Phone No.: (301) 215-9310

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Scott + Tanya Kreker Daytime Phone No.: (301) 215-9310 <sup>\* work Home (301) 962-8698</sup>

Address: 10909 Montrose Ave, Garrett Park, MD 20896  
Street Number City State Zip Code

Contractor: N/A Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: N/A Daytime Phone No.: \_\_\_\_\_

LOCATION OF BUILDING/PREMISE

House Number: 10909 Street: Montrose Ave

Town/City: Garrett Park M.D. 20876 Nearest Cross Street: Strathmore Ave

Lot: 9 Block: 98 Subdivision: N/A

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate
- Move  Install  Wreck/Raze
- Revision  Repair  Revocable

CHECK ALL APPLICABLE:

- A/C  Slab  Room Addition  Porch  Deck  Shed
- Solar  Fireplace  Woodburning Stove  Single Family
- Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 3,800.00

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: N/A

2B. Type of water supply: 01  WSSC 02  Well 03  Other: N/A

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches N/A

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Scott Kreker Tanya Kreker  
Signature of owner or authorized agent

3/17/00  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 214380 Date Filed: 3/23/00 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*No change to the outside structure of the home will take place. The deck will be attached to the back of the home and a window on the back of the home will be turned into a door.*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*Deck will be constructed on the back of the house and not visible to the side or front of the house.*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6

# 10909 MONTROSE RD GARRETT PARK HISTORIC DISTRICT



### Casual User Application

Notice:  
The planimetric, property, and topographic information shown on this map is based on copyrighted Map Products from Montgomery County Department of Park and Planning of the Maryland-National Capital Park and Planning Commission, and may not be copied or reproduced without permission from M-NCPPC.

Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:14400 scale aerial photography using stereo photogrammetric methods.

This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate as of the date. All map features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended.

Copyright © 1998

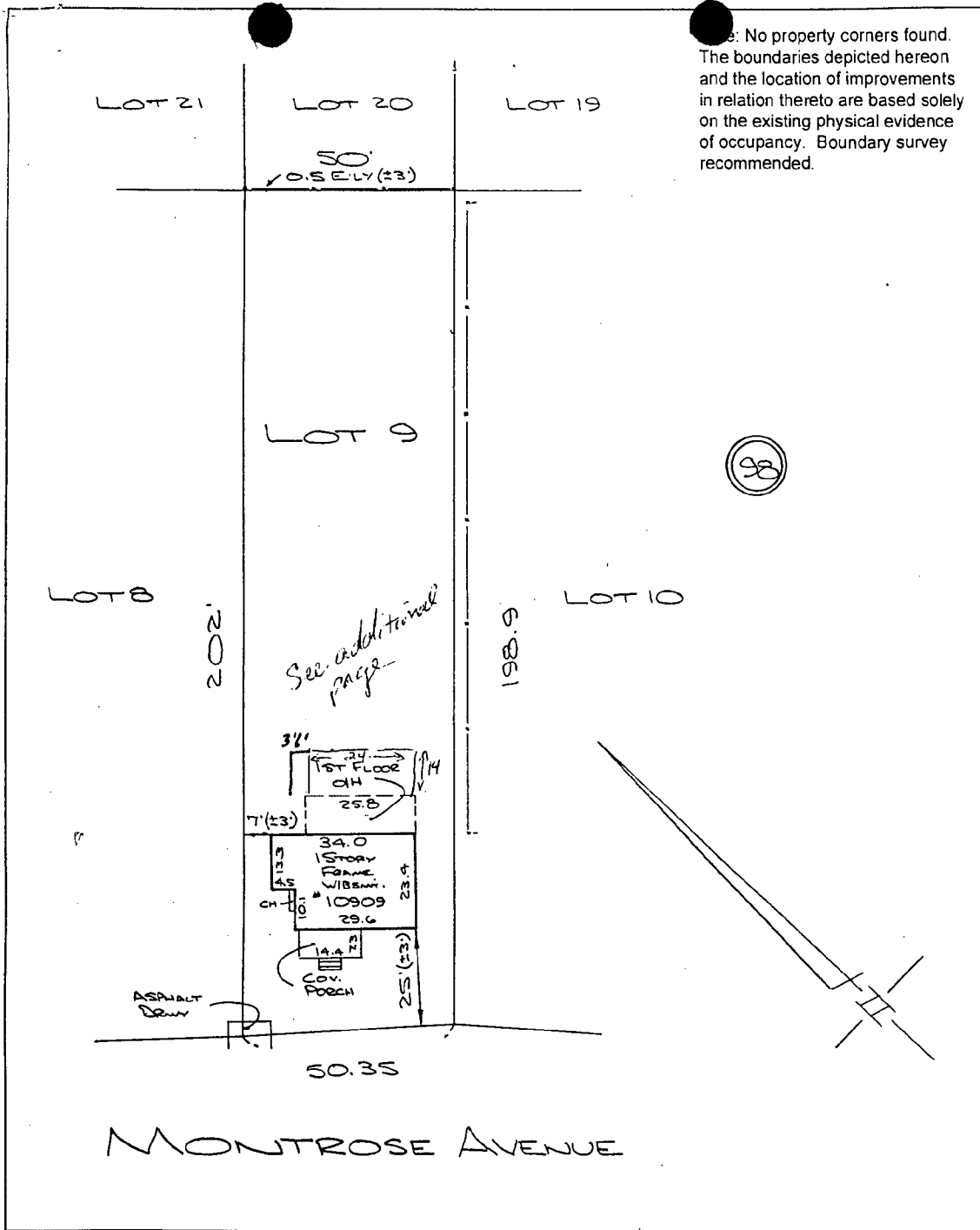
MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
P.O. Box 10000 - Silver Spring, Maryland 20903-0000



Scale: 1" = 100'

### Legend

- Street Centerlines
- Buildings
- Bridges
- Parking Lots
- Lot Drives
- Hydrology - Line
- Cultural
- Field Court
- Pool
- Inverse Polygon
- Pavement
- ROW
- Hydrology - Poly
- Parcels



**Capitol Surveys, Inc.**

10762 Rhode Island Avenue  
 Beltsville, Maryland 20705  
 Phone 301-931-1350  
 Fax 301-931-1352

NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

This property lies within Zone C, (Areas of minimal flooding) as delineated on the maps of the National Flood Insurance Program, unless otherwise shown.

LOCATION DRAWING  
 LOT 9      BLOCK 98  
 SECTION 2  
**GARRETT PARK**  
 MONTGOMERY COUNTY, MARYLAND

Recorded in Plat Book **A**      Plat **27**      Scale 1" = 30'  
 CASE: **1143-98**      FILE: **59043**  
 DATE: **MAY 4, 1998**

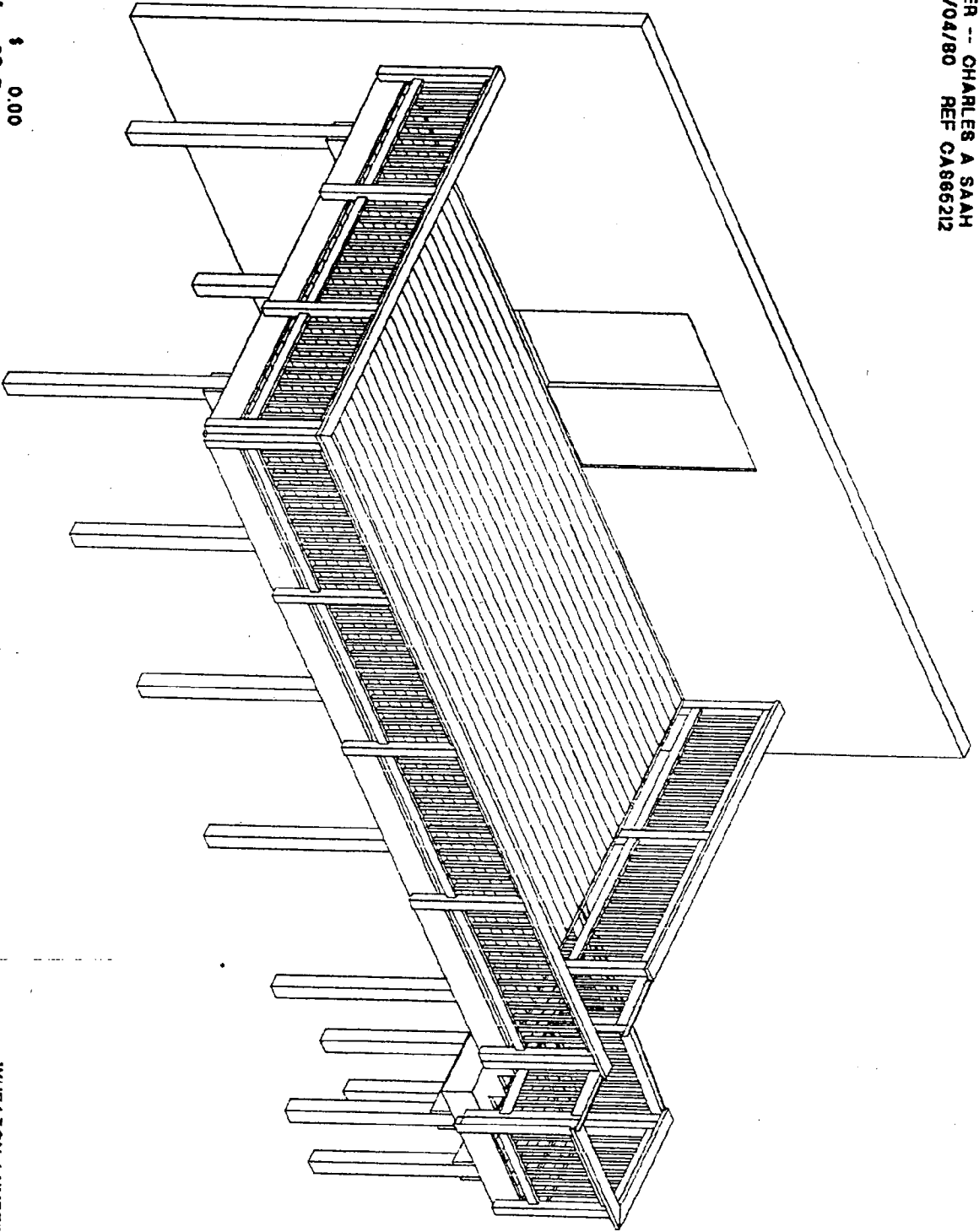
I hereby certify this location drawing was prepared in accordance with the minimum standards of practice for the State of Maryland and to the best of my belief of what can be reasonably observed.

**EDWARD L. LOPEZ, JR.**  
  
 Edward L. Lopez, Jr.  
 Maryland Property Line Surveyor No. 522

⊙ 98



CUSTOM VIEW  
CUSTOMER -- CHARLES A SAH  
DATE 02/04/80 REF CA86212

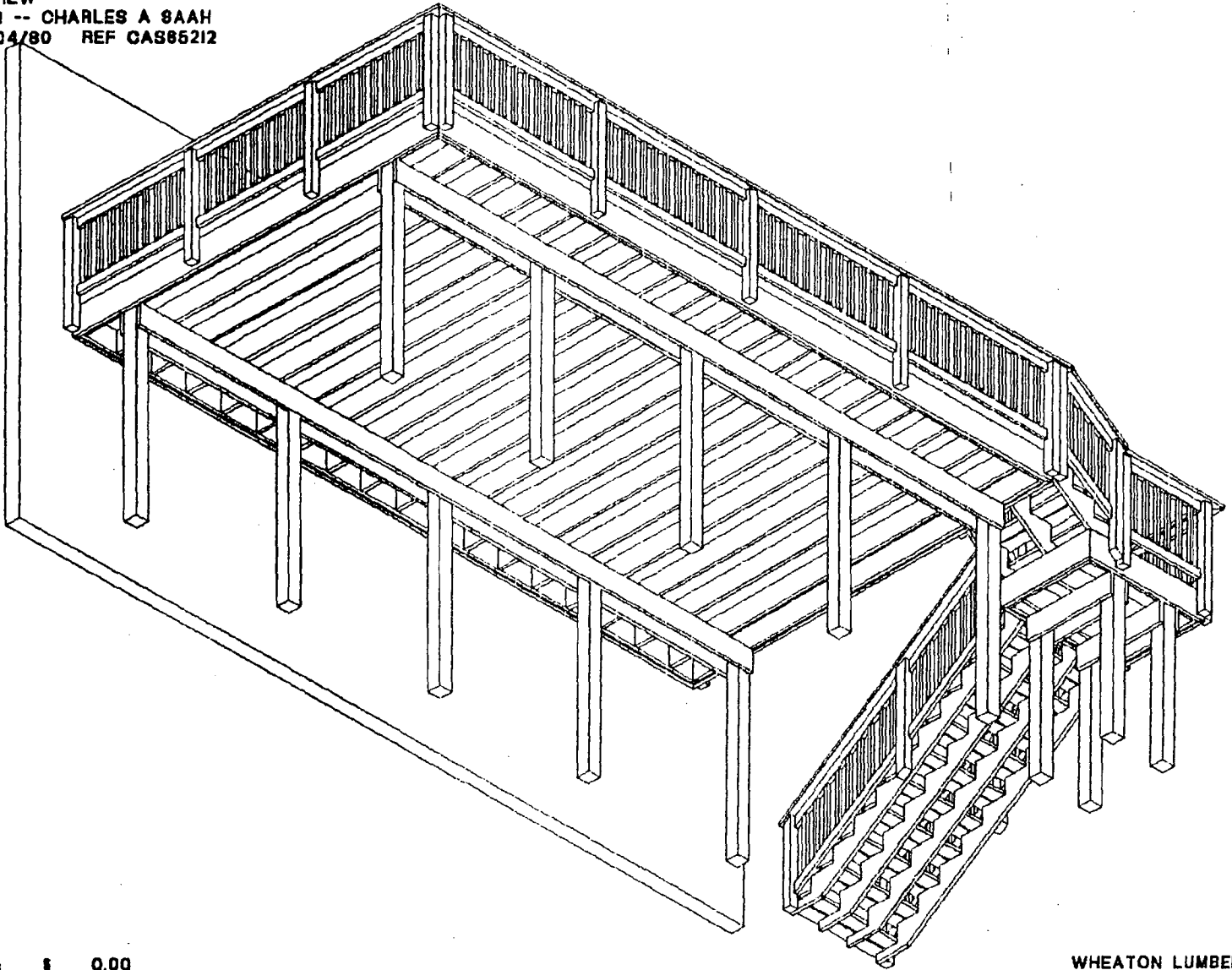


Total Cost: \$ 0.00  
Price Valid for 90 Days.

WHEATON LUMBER CO. INC  
2802 BLUERIDGE AVE  
WHEATON MD.

CUSTOM VIEW  
CUSTOMER -- CHARLES A SAAH  
DATE 02/04/80 REF CAS65212

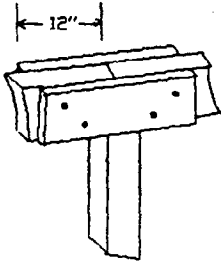
11



Total Cost: \$ 0.00  
Price Valid for 90 Days.

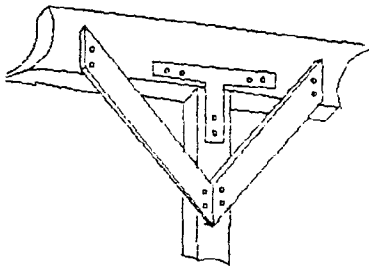
WHEATON LUMBER CO, INC  
2802 BLUERIDGE AVE  
WHEATON MD.

(Read the description in the previous page.)



Beam Splice

Scraps of joist lumber can be used to cross brace the joists longer than eight feet for rigidity. This is called bridging and prevents the joists from rolling over. Perimeter posts that are made of 2x4 scraps secured to the post two feet down from the top and extend out on each side two feet along the beam to form a 'V' shape.

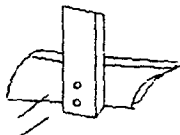


Knee Brace Detail

First, determine the bark side of the decking material and lay out the pieces with bark side up to prevent cupping. Start with the outside limits of the deck and work inward. Decking is nailed at each joist and care should be taken to stagger the ends. When nailing deck boards to joists, drive nail at opposite angles. If the decking material doesn't extend the full length of the deck, be sure to butt join the pieces directly over a joist. Decking material spacing shall be approximately 1/4". Spacing is desirable as an aid to drainage and ventilation and should not be eliminated entirely without just consideration.

Railing posts are then set out to insure even spacing of about four feet. Then the posts are plumbed, measured and are now ready to be bolted into place. Secure stable posts are a must for providing a safe deck environment. Before fastening railing members, treat cut pieces with a wood preservative and angle the cuts to allow drainage joists.

Railing must be able support someone leaning on them so it is imperative to properly secure all members. When attaching railings, avoid creating joists where moisture can collect. This speeds decay and shortens deck life. A continuous cap board is installed to protect the exposed post tops from moisture. If the cap board is set at an angle, it will discourage people from sitting on the railing and provide positive drainage.



Securing the Railing Posts

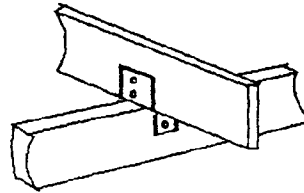
Careful construction, correct application of a preservative, and proper drainage where wood is joined will increase the expected life of the deck. Treating a deck with preservatives and /or finishes can add years to its useful life. Even heart-grade redwood and cedar, disease resistant as they are, benefit from treatment more than enough to repay the initial cost. Regular maintenance is also critical.

Even with perfect spacing of deck boards, dirt, leaves, and other refuse will accumulate in the cracks and trap moisture. Moisture is the mortal enemy of a wood deck and ultimately leads to decay. Keep the deck surface clean and free of mildew. Shaded deck areas are especially susceptible to mold and mildew. You can control this problem by regular scrubbing with a commercial mildewicide.

A deck is also subject to the constant weathering effects of sun, rain, and in some areas snow. The wood shrinks and swells in response to changes in moisture and this movement twists and loosens nails. So keep the cracks clear and check periodically for loose nails or screws. Protuding nails can be countersunk with a nail set. Setting nails during construction will prevent them from staining the deck surface.

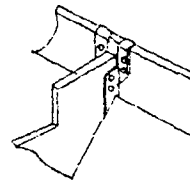
'DECK DESIGNER' conservatively estimates the amount of material and labor price needed to construct the project. Fractions are rounded up and a five percent cushion has been included. 'DECK DESIGNER' also offers the option of two loading assumptions, 40 psi and 60 psi. 'DECK DESIGNER' assumes a level site; for slopes, use the value of the maximum height of deck surface above grade.

Next the joists can be set out on sixteen inch centers. In order to achieve even spacing, start at the middle and work toward the perimeter. Joists are secured to the beams with metal straps and the fascia is fastened using joist hanged. The fascia is then added to frame the deck edge on all exposed sides.

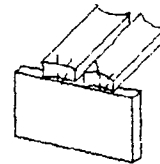


Connecting Joists to Beams

Because stairs must be tied into the substructure, the procedure for constructing stairs is easiest if done prior to the surface decking. Stair stringers are cut from the 2x12's with a tread length of eleven inches. Stair treads are formed using two 2x6's and overhang the stringers by one inch on each side. Care needs to be taken to avoid overcutting stringer because this weakens the stair structure. Stair stringers shall be secured to the fascia and to the anchors in the stair footing. Once stringers are aligned, tread can be installed.



Connecting Stringer to Fascia

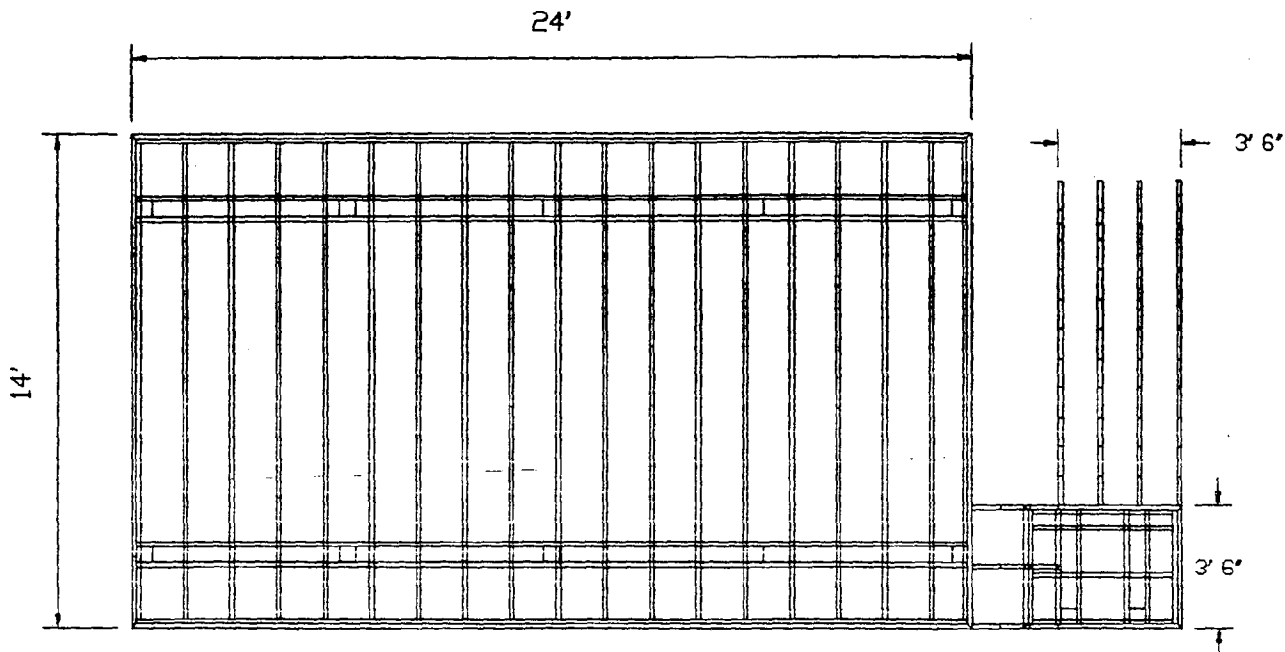


Nailing the Deck Board

12

PLAN VIEW  
CUSTOMER -- CHARLES A SAAH  
DATE 02/04/80 REF CAS65212

WHEATON LUMBER CO, INC  
2602 BLUERIDGE AVE  
WHEATON MD.



**LOAD AND SUPPORT:** Your deck will support a 69 PSF live load. Posts have 36" below-ground post support.

**DECK AND POST HEIGHT:** You selected a height of 96" from the top of decking to level ground. The top of the deck support posts will therefore be 85.25" above ground level. Your salesperson can provide information for uneven or sloped ground.

**JOISTS:** Set joists on top of beams, 16" center to center.

**NOTE:** The design may require knee braces and bridging between joists. Your materials list includes the necessary items. The suggested design is not a finished building plan. You are responsible for all measurements being correct, for verifying that the design (and any substitutions or modifications that you make) meets all local building codes and requirements. To verify that the suggested design, and any substitutions or modifications, is consistent with conditions at the construction site, review the design with your architect. Also consult your architect for proper construction and use of materials in the structure.

Be sure to follow the deck construction detail available from your store salesperson.

(13)

## CONSTRUCTION SEQUENCE OVERVIEW

The following is a brief overview of the construction sequence for deck construction. First timers are encouraged to check the book department here at the store for publication with additional detailed information. This sequence can be divided into twelve basic steps:

Preconstruction planning	Laying out the footings	Securing the ledger
Placement of the post	Setting out the beams	Laying out joists & fascia
Bracing and bridging	Fastening the decking material	Installing the stair
Balting the rail posts	Constructing the handrail	Maintenance

Before construction can commence, be sure to check the following: (1) The soil in the area where you intend to build is adequately stable to support the deck envisioned. (2) No underground utilities exist in the area of the footings. (3) No wiring or piping are in the wall locations to be drilled. (4) Know your legal limits.

Check with your local building department to learn about the regulations which may affect the design and construction of your deck, and determine if any building permits are required. Also, make sure that there are no deed restrictions that may be imposed on your proposed addition. Local building department and utility companies may be of assistance.

Building codes and zoning laws are designed to safeguard against dangerous construction practices as well as property misuse. Bypassing them runs the risk of having to do costly modifications or even perhaps totally dismantling the deck entirely if it violates these regulations. It is often possible to obtain a zoning variance if you can prove that the proposed deck will not encroach on a neighbor's privacy and that it offers no threat to public safety.

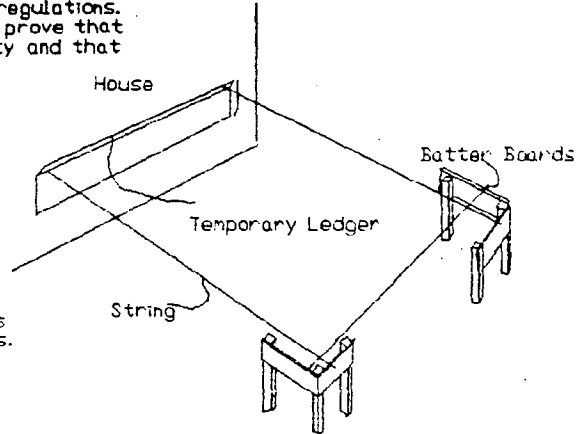
The first and most crucial construction steps is to correctly lay out and construct the concrete footings. Footing size depends on three factors: deck weight, soil conditions, and extent of freezing soil. Check with store personnel on pertinent local data. Footings must provide anchorage for resisting lateral motion and uplift that can occur during high winds. Weak or improperly laid out footings can ruin the whole deck.

It is a good idea to begin the layout using wooden batter boards, stakes, and string. The batter boards shall be located several feet outside of the deck corners as shown on the drawing. Use a line level to adjust strings. When the strings are in place, use them for locating the footings. Once proper locations are determined, begin by excavating the holes and preparing for the concrete.

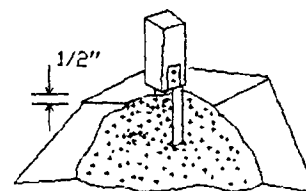
Footings are holes filled with concrete. Depth for footings is determined by local conditions. If you are mixing the concrete yourself, remember the most crucial element in the equation is the concrete water content. It is also vital to remember to place anchor bolts while the concrete is damp.

Correct attachment of the ledger boards is imperative for proper deck alignment. To avoid decay, the ledger must be either flashed or set out from the wall by using spacer blocks. Gaps between blocks shall not exceed sixteen inches. Temporarily brace the ledger to check to make sure it is level. After the ledger is leveled, secure it to the wall using lag bolts at two foot centers staggered vertically so as not to form a straight line.

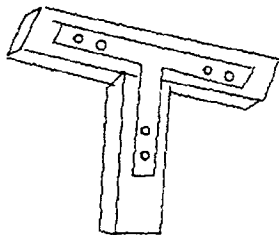
Next, temporarily brace posts in place in order to measure for cutting to proper height. Plumb before fastening to footing stirrup. Accurately measuring post heights is an all-important phase in building a deck. Stable horizontal substructures are impossible without precise measurements and fittings. For decks attached to the house, start work on the post farthest from the house.



Locating the Footings and Piers



Connecting Posts to Piers



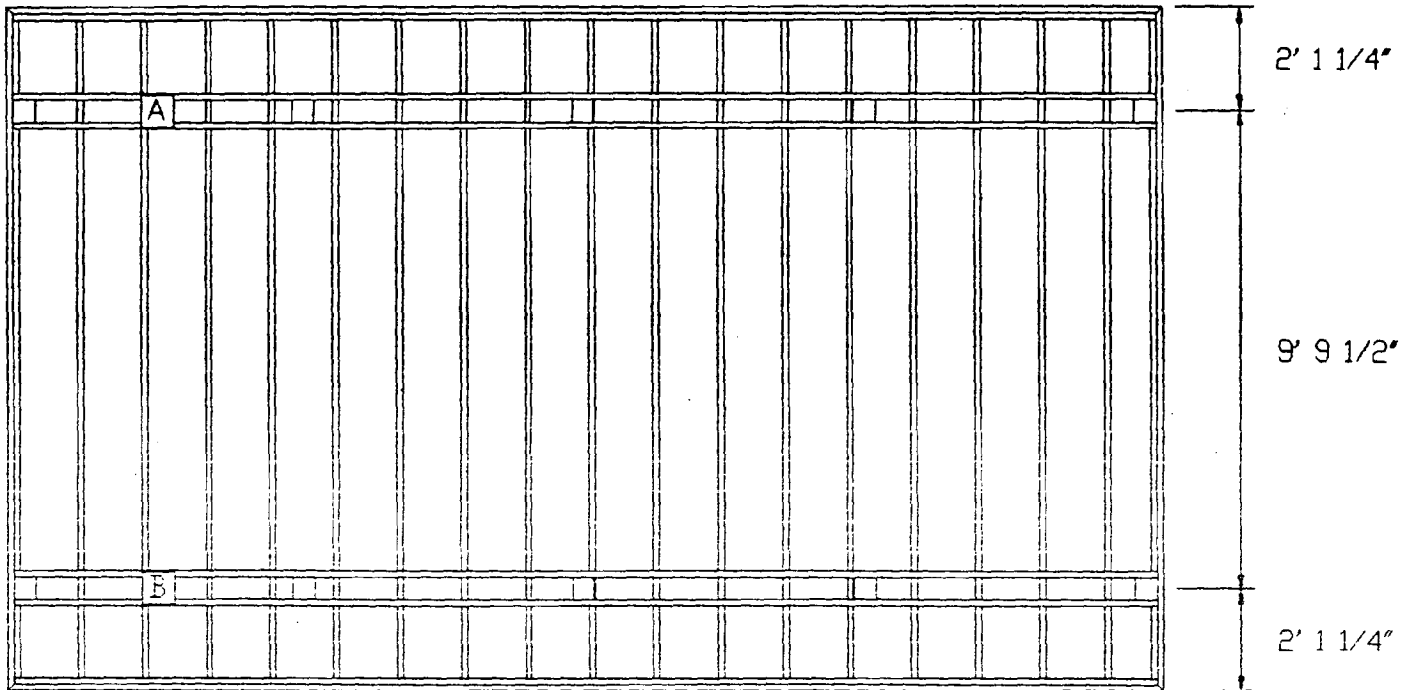
Post-to-Beam Attachment

Once the posts are in place, installing the beams over the tops and securing them in place is a straightforward operation. For beams that are over sixteen feet in length, splicing becomes an important consideration. Splices should overlap each side by at least one foot and be made to insure that all pieces extend over at least two vertical posts. Also splices should be staggered so that they don't fall on the same line of posts.

(1)

BEAM LAYOUT  
 CUSTOMER -- CHARLES A SAAH  
 DATE 02/04/80 REF CAS65212

WHEATON LUMBER CO. INC  
 2602 BLUERIDGE AVE  
 WHEATON MD.



BEAM LABEL	BEAM LENGTH	POST COUNT	POST SPACING
A	23' 9"	5	5' 9 7/8"
B	23' 9"	5	5' 9 7/8"

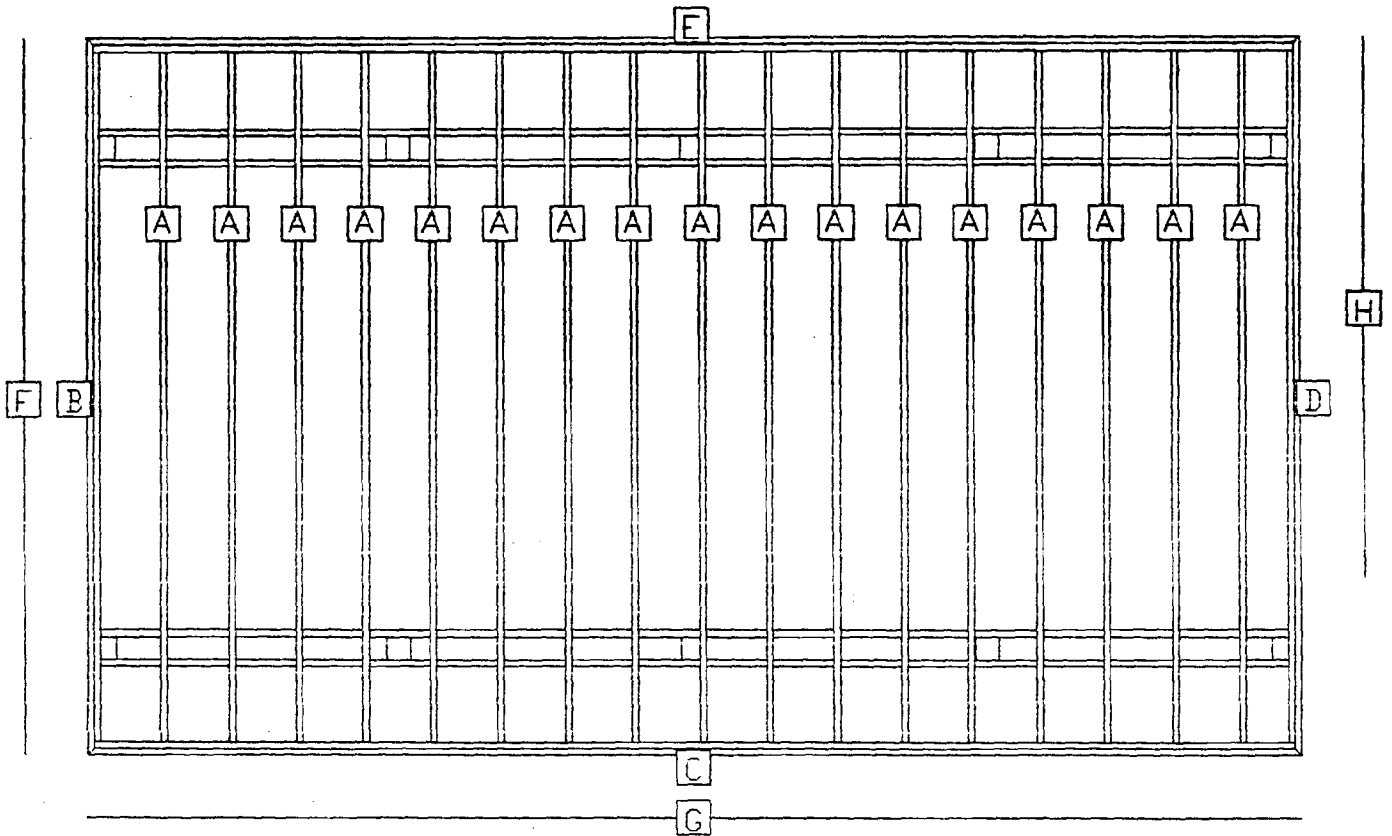
Post spacing is measured center-to-center.

Depth of concrete footers --- 36 inches.

15

CUT LIST  
 CUSTOMER -- CHARLES A SAAH  
 DATE 02/04/80 REF CAS65212

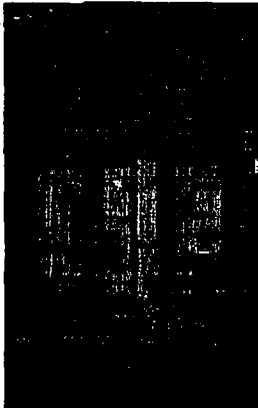
WHEATON LUMBER CO, INC  
 2602 BLUERIDGE AVE  
 WHEATON MD.



LABEL	LENGTH	BEVELS	LABEL	LENGTH	BEVELS
A joist (17)	13' 6"		E fascia	24'	F45 S45
B fascia	14'	F45 S45	E ledger	23' 9"	
B ledger	13' 6"		F cap	14' 4 1/2"	F0 S45
C fascia	24'	F45 S45	F section	4' 5 13/16"	
C ledger	23' 9"		G cap	24' 10"	F45 S0
D fascia	14'	F45 S45	G section	5' 10 1/8"	
D ledger	13' 6"		H cap	10' 7"	
			H section	5' 1/4"	

16

### Frenchwood® Outswing Patio Doors



Andersen® doors are available in four distinct styles which combine contemporary and traditional design with convenient operation, low maintenance, and excellent weathertightness.

The Andersen Frenchwood® Outswing Patio Door saves interior space because it opens to the outside. It also has one of the highest ratings for weathertightness in the industry, and includes our patented multiple-point locking system for excellent security.

The Frenchwood® Outswing Patio Door is available in one, and two panel units in 6' 8", 6'11", and 8' heights.



To: Michele 301-563-3412  
about: Deck for 10909 Montrose Ave  
Garrett Park MD  
20896  
Scott and Tanya Kreter  
301-215-9310

(17)

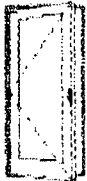


# Frenchwood® Outswing Patio Door – Unit Identification

► | Unit Identification | 6'-8" Height | 6'-11" Height | 8'-0" Height |

(Units viewed from the exterior)

## Basic Hinging



**Left hinged**  
Hinges mounted on the left stile of the panel.

**Right hinged**  
Hinges mounted on the right stile of the panel.

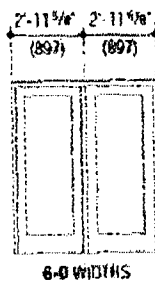
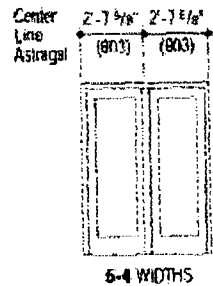
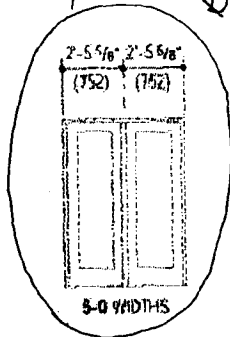
## Basic Panels



**Active Panel**  
The operating panel most commonly used.

**Passive Panel**  
The operating panel with astragal attached.

## Center Line Astragal Dimensions



*Keep moldings surround existing opening via - existing keep pipe of opening.*

## Order Designation Description



**FWO 6068 A P L R**

**FWO** - Frenchwood Outswing Door  
**6068** - Door rough opening  
**A** - Active panel  
**P** - Passive panel  
**L** - Left hinged  
**R** - Right hinged

► | Unit Identification | 6'-8" Height | 6'-11" Height | 8'-0" Height |

18

OWNER INFORMATION

M.D.A.T. REAL PROPERTY SYSTEM  
MONTGOMERY COUNTY

03/17/2000

DISTRICT: 04 ACCT NO: 00057847

USE: RESIDENTIAL

OWNER NAME: FROST, ROBERT M JR & B A

PRINCIPAL  
RESIDENCE  
NO

MAILING ADDRESS: 10915 MONTROSE AVE BX 0212  
GARRETT PARK MD 20896

TRANSFERRED  
FROM:

DATE: 05/22/1974 PRICE: \$0

DEED REFERENCE: 1) / 4525/ 386  
2)

SPECIAL TAX RECAPTURE

\* NONE \*

TAX EXEMPT: NO

PRESS: <F1> LOCATION INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM  
MONTGOMERY COUNTY

03/17/2000

LOCATION INFORMATION

DISTRICT: 04 ACCT NO: 00057847  
NAME: FROST, ROBERT M JR & B A

USE: RESIDENTIAL

PREMISE ADDRESS  
MONTROSE AVE

ZONING  
R90

LEGAL DESCRIPTION  
GARRETT PARK

MAP GRID PARCEL SUBDIV SECT BLOCK LOT GROUP  
HQ21 3 98 8 82

PLAT NO :  
PLAT REF:

SPECIAL TAX AREAS - TOWN: GARRETT PARK

TAX CLASS: 26

PRIMARY STRUCTURE DATA  
YEAR BUILT ENCLOSED AREA  
0000

PROPERTY LAND AREA  
10,326.00 SF

COUNTY  
USE  
910

PRESS: <F1> OWNER INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM  
MONTGOMERY COUNTY

03/17/2000

OWNER INFORMATION

DISTRICT: 04 ACCT NO: 00058170

USE: RESIDENTIAL

OWNER NAME: HARRIS, EVELYN-L

PRINCIPAL  
RESIDENCE  
YES

MAILING ADDRESS: 10905 MONTROSE AVE  
GARRETT PARK MD 20896

TRANSFERRED  
FROM:

DATE: 12/06/1977 PRICE: \$0

DEED REFERENCE: 1) / 5053/ 404  
2)

SPECIAL TAX RECAPTURE

TAX EXEMPT: NO

\* NONE \*

PRESS: <F1> LOCATION INFO <F2> VALUE INFO <F6> SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM 03/17/2000

LOCATION INFORMATION MONTGOMERY COUNTY

DISTRICT: 04 ACCT NO: 00058170  
NAME: HARRIS, EVELYN L USE: RESIDENTIAL

PREMISE ADDRESS ZONING LEGAL DESCRIPTION  
10905 MONTROSE AVE R90 LOT 11 GARRETT PARK  
GARRET PARK 20896

MAP GRID: PARCEL SUBDIV SECT BLOCK LOT GROUP  
HQ21 3 98 10 82  
PLAT NO :  
PLAT REF:

SPECIAL TAX AREAS - TOWN: GARRETT PARK TAX CLASS: 26

PRIMARY STRUCTURE DATA PROPERTY LAND AREA COUNTY  
YEAR BUILT ENCLOSED AREA 20,230.00 SF USE  
1923 1,635 SF 111

PRESS: <F1> OWNER INFO <F2> VALUE INFO <F6> SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM 03/17/2000

OWNER INFORMATION MONTGOMERY COUNTY

DISTRICT: 04 ACCT NO: 00057357 USE: RESIDENTIAL

OWNER NAME: GIFFORD, ROBERT B & S W PRINCIPAL RESIDENCE  
MAILING ADDRESS: 10918 CLERMONT AVE YES  
GARRETT PARK MD 20896

TRANSFERRED FROM: DATE: 08/05/1991 PRICE: \$225,500

DEED REFERENCE: 1) / 9876/ 321  
2) SPECIAL TAX RECAPTURE

TAX EXEMPT: NO \* NONE \*

PRESS: <F1> LOCATION INFO <F2> VALUE INFO <F6> SELECT NEXT PROPERTY

M.D.A.T. REAL PROPERTY SYSTEM 03/17/2000

LOCATION INFORMATION MONTGOMERY COUNTY

DISTRICT: 04 ACCT NO: 00057357  
NAME: GIFFORD, ROBERT B & S W USE: RESIDENTIAL

PREMISE ADDRESS ZONING LEGAL DESCRIPTION  
10918 CLERMONT AVE R90 GARRETT PARK  
GARRET PARK 20896

MAP GRID: PARCEL SUBDIV SECT BLOCK LOT GROUP

MAP GRID PARCEL SUBDIV SECT BLOCK LOT GROUP  
HQ21 3 98 21 82

PLAT NO :  
PLAT REF:

SPECIAL TAX AREAS - TOWN GARRETT PARK

TAX CLASS: 26

PRIMARY STRUCTURE DATA -  
YEAR BUILT ENCLOSED AREA  
1922 1,018 SF

PROPERTY LAND AREA  
9,063.00 SF

COUNTY  
USE  
111

PRESS: <F1> OWNER INFO <F2> VALUE INFO  
<F6> SELECT NEXT PROPERTY

OWNER INFORMATION M.D.A.T. REAL PROPERTY SYSTEM 03/17/2000  
MONTGOMERY COUNTY

DISTRICT: 04 ACCT NO: 00059835

USE: RESIDENTIAL

OWNER NAME: SAUVAIN, TERRENCE E & V F

PRINCIPAL  
RESIDENCE  
YES

MAILING ADDRESS: 10916 CLERMONT AVENUE  
GARRETT PARK MD 20896

TRANSFERRED  
FROM:

DATE: 11/13/1972 PRICE: \$47,500

DEED REFERENCE: 1) / 4297/ 248  
2)

SPECIAL TAX RECAPTURE

\* NONE \*

TAX EXEMPT: NO

PRESS: <F1> LOCATION INFO <F2> VALUE INFO  
<F6> SELECT NEXT PROPERTY

LOCATION INFORMATION M.D.A.T. REAL PROPERTY SYSTEM 03/17/2000  
MONTGOMERY COUNTY

DISTRICT: 04 ACCT NO: 00059835  
NAME: SAUVAIN, TERRENCE E & V F

USE: RESIDENTIAL

PREMISE ADDRESS  
10916 CLERMONT AVE  
GARRET PARK 20896

ZONING LEGAL DESCRIPTION  
R90 GARRETT PARK

MAP GRID PARCEL SUBDIV SECT BLOCK LOT GROUP

M.D.A.T. REAL PROPERTY SYSTEM  
MONTGOMERY COUNTY

03/17/2000

LOCATION INFORMATION

DISTRICT: 04 ACCT NO: 00060504

NAME: SNYDER, CHARLES A & C R

USE: RESIDENTIAL

PREMISE ADDRESS  
10910 MONTROSE AVE  
GARRET PARK 20896

ZONING

LEGAL DESCRIPTION  
GARRETT PARK

MAP	GRID	PARCEL	SUBDIV	SECT	BLOCK	LOT	GROUP
HQ31			3	99	35	82	

PLAT NO :  
PLAT REF:

SPECIAL TAX AREAS - TOWN: GARRETT PARK

TAX CLASS: 26

PRIMARY STRUCTURE DATA	PROPERTY LAND AREA	COUNTY
YEAR BUILT	ENCLOSED AREA	USE
1922	1,908 SF	111

PRESS: <F1> OWNER INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

OWNER NAME: SNYDER, CHARLES A & C R

PRINCIPAL  
RESIDENCE  
NO

MAILING ADDRESS: 10910 MONTROSE AVE  
GARRETT PARK

MD 20896

TRANSFERRED  
FROM:

DATE: 12/22/1986 PRICE: \$0

DEED REFERENCE: 1) / 7458/ 684  
2)

SPECIAL TAX RECAPTURE

\* NONE \*

TAX EXEMPT: NO

PRESS: <F1> LOCATION INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

LOCATION INFORMATION M.D.A.T. REAL PROPERTY SYSTEM  
MONTGOMERY COUNTY

03/17/2000

DISTRICT: 04 ACCT NO: 02689624  
NAME: SNYDER, CHARLES A & C R

USE: RESIDENTIAL

PREMISE ADDRESS  
MONTROSE AVE

ZONING

LEGAL DESCRIPTION  
GARRETT PARK

MAP GRID PARCEL SUBDIV SECT BLOCK LOT GROUP  
HQ31 3 99 P34 82

PLAT NO :  
PLAT REF:

SPECIAL TAX AREAS - TOWN: GARRETT PARK

TAX CLASS: 36

PRIMARY STRUCTURE DATA  
YEAR BUILT ENCLOSED AREA  
0000

PROPERTY LAND AREA  
5,093.00 SF

COUNTY  
USE  
910

PRESS: <F1> OWNER INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

OWNER INFORMATION M.D.A.T. REAL PROPERTY SYSTEM  
MONTGOMERY COUNTY

03/17/2000

DISTRICT: 04 ACCT NO: 00060504

USE: RESIDENTIAL

OWNER NAME: SNYDER, CHARLES A & C R

PRINCIPAL  
RESIDENCE  
YES

MAILING ADDRESS: 10910 MONTROSE AVE  
PO BOX 571  
GARRETT PARK

MD 20896

TRANSFERRED  
FROM:

DATE: 10/23/1985 PRICE: \$105,000

DEED REFERENCE: 1) / 6900/ 356  
2)

SPECIAL TAX RECAPTURE

\* NONE \*

TAX EXEMPT: NO

PRESS: <F1> LOCATION INFO <F2> VALUE INFO

<F6> SELECT NEXT PROPERTY

SPECIAL TAX AREAS - TOWN: GARRETT PARK

PLAT NO:  
PLAT REF:

TAX CLASS: 26

PRIMARY STRUCTURE DATA	PROPERTY LAND AREA	COUNTY
YEAR BUILT 1963	ENCLOSED AREA 1,176 SF	USE 111
	9,570.00 SF	

PRESS: <F1> OWNER INFO <F2> VALUE INFO <F6> SELECT NEXT PROPERTY

OWNER INFORMATION M.D.A.T. REAL PROPERTY SYSTEM 03/17/2000  
MONTGOMERY COUNTY

DISTRICT: 04 ACCT NO: 00059607 USE: RESIDENTIAL

OWNER NAME: MURRAY, EXA D A ET AL PRINCIPAL RESIDENCE YES  
MAILING ADDRESS: 10914 CLERMONT AVE MD 20896  
GARRETT PARK

TRANSFERRED FROM: DATE: 03/28/1990 PRICE: \$0

DEED REFERENCE: 1) / 9249/ 475 2)	SPECIAL TAX RECAPTURE HOMEOWNERS TAX CREDIT
TAX EXEMPT: NO	

PRESS: <F1> LOCATION INFO <F2> VALUE INFO <F6> SELECT NEXT PROPERTY

LOCATION INFORMATION M.D.A.T. REAL PROPERTY SYSTEM 03/17/2000  
MONTGOMERY COUNTY

DISTRICT: 04 ACCT NO: 00059607 USE: RESIDENTIAL  
NAME: MURRAY, EXA D A ET AL

PREMISE ADDRESS	ZONING	LEGAL DESCRIPTION
10914 CLERMONT AVE	R90	GARRETT PARK 0994/23
GARRET PARK 20896		8

MAP GRID	PARCEL	SUBDIV	SECT	BLOCK	LOT	GROUP	PLAT NO :
HQ21		3		98	19	82	PLAT REF:

SPECIAL TAX AREAS - TOWN: GARRETT PARK

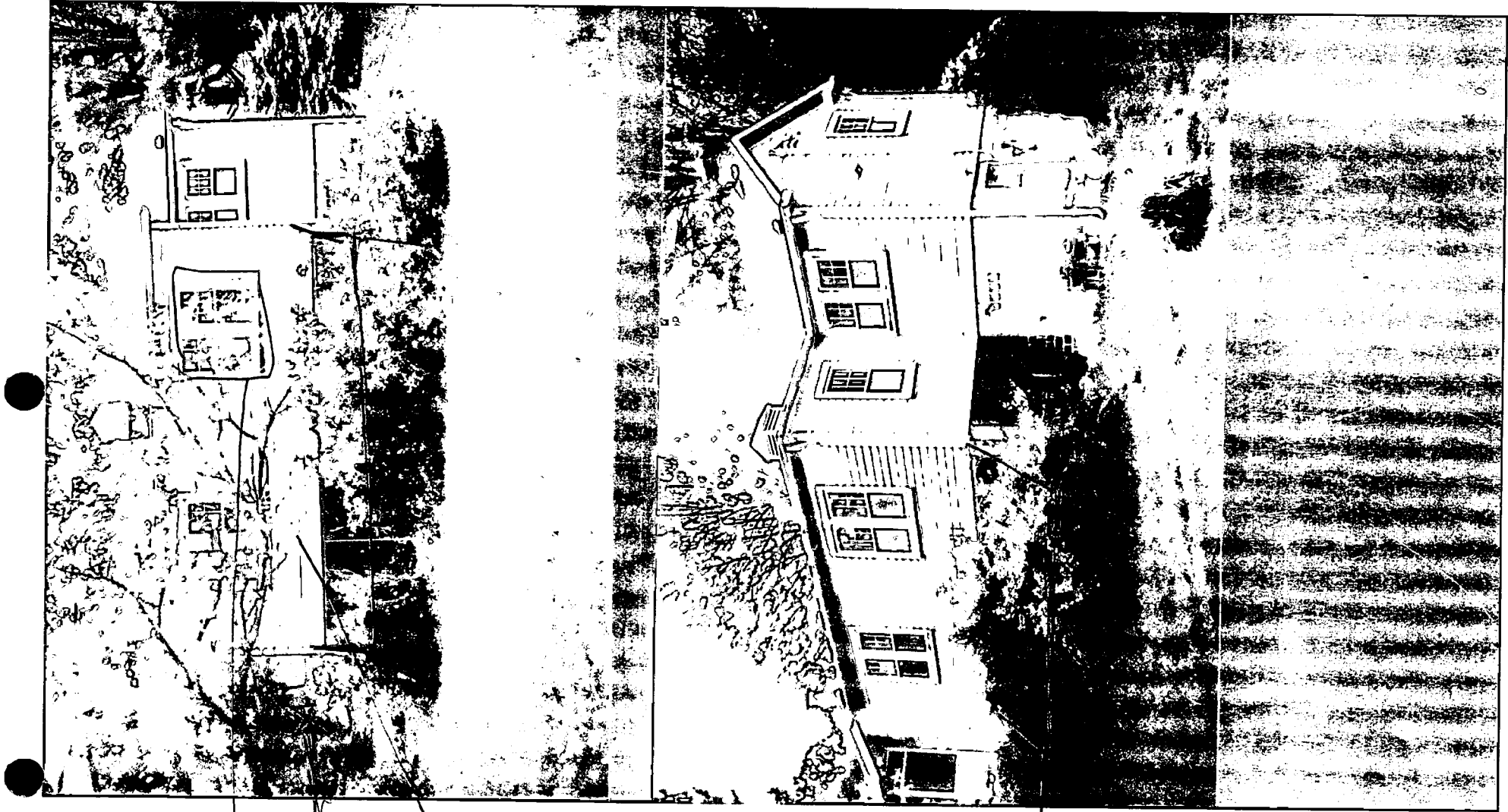
TAX CLASS: 26

PRIMARY STRUCTURE DATA	PROPERTY LAND AREA	COUNTY
YEAR BUILT 1923	ENCLOSED AREA 1,004 SF	USE 111
	10,089.00 SF	

PRESS: <F1> OWNER INFO <F2> VALUE INFO <F6> SELECT NEXT PROPERTY

OWNER INFORMATION M.D.A.T. REAL PROPERTY SYSTEM 03/17/2000  
MONTGOMERY COUNTY

DISTRICT: 04 ACCT NO: 02689624 USE: RESIDENTIAL



Door

Street

Deck  
Here

Deck  
Here