

30/13-00B 4710 Waverly Avenue  
(Garrett Park Historic)



**4710 Waverly Ave.  
front elevation from public right of way**



**4710 Waverly Ave.  
from 4709 Waverly Ave.**



**4710 Waverly Ave.  
rear elevation from own private yard**



**4710 Waverly Ave.  
from 4711 Waverly Ave.**



4710 Waverly Ave.  
from 4716 Waverly Ave.  
(left elevation)



**4710 Waverly Ave.  
from 4716 Waverly Ave.  
(left elevation)**



**4710 Waverly Ave.  
right elevation from public right of way**





**4710 Waverly Ave.  
from 4702 Waverly Ave.**



**4710 Waverly Ave.  
rear elevation from own private yard**



**4710 Waverly Ave.  
right elevation from own private yard**

A RESIDENCE FOR \$2,800.

Mr. Hillson, of Bridgeport, Conn., has built lately on Colorado Avenue a very attractive residence, of which we give a perspective, with corresponding floor plans. The engraving was made direct from a photograph of the house specially taken for the SCIENTIFIC AMERICAN. The floor plans are excellent. The house contains all the modern improvements. The principal feature of the exterior is the bay window, which runs up two stories and rises into a tower. There is a cellar under the whole of house, with foundation of stone and underpinning of brick. The first and second stories are clapboarded, and have a band of cut shingles around top of first story windows. The roof is covered with a best quality of Bangor slate. There are ten rooms, four on each floor and two in the attic. The principal rooms on the first floor are separated by sliding doors. The parlor and sitting room have open fireplaces with tile hearths and very handsome slate mantels, with beveled plate glass mirrors, etc. Kitchen is neatly wainscoted, contains sink and ash trays, all neatly cased the same as wainscot. Supplied with hot and cold water.

There is an entrance to cellar from kitchen, as well as an outside entrance.

The dining room has two china closets, which are fitted up with shelves and drawers in a most complete manner.

The hall is large and has a very handsome staircase, with an elegant 8x8 carved newel, with turned balusters

and rail, all put up in a workmanlike manner. This staircase is a very easy one, with a 10" tread and 7" rise.

The bed rooms on second floor are large and provided with closets and clothes presses.

The bath room is provided with all the conveniences.

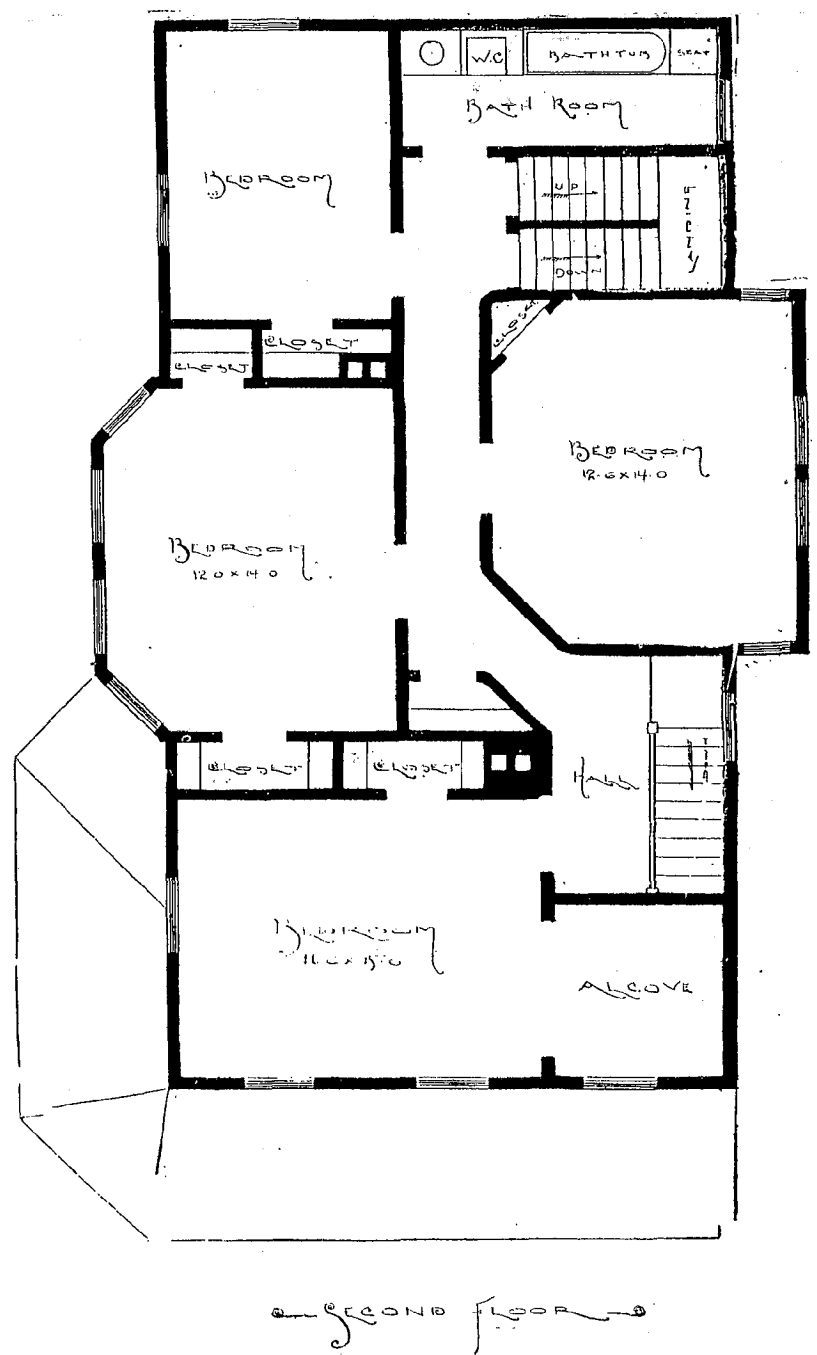
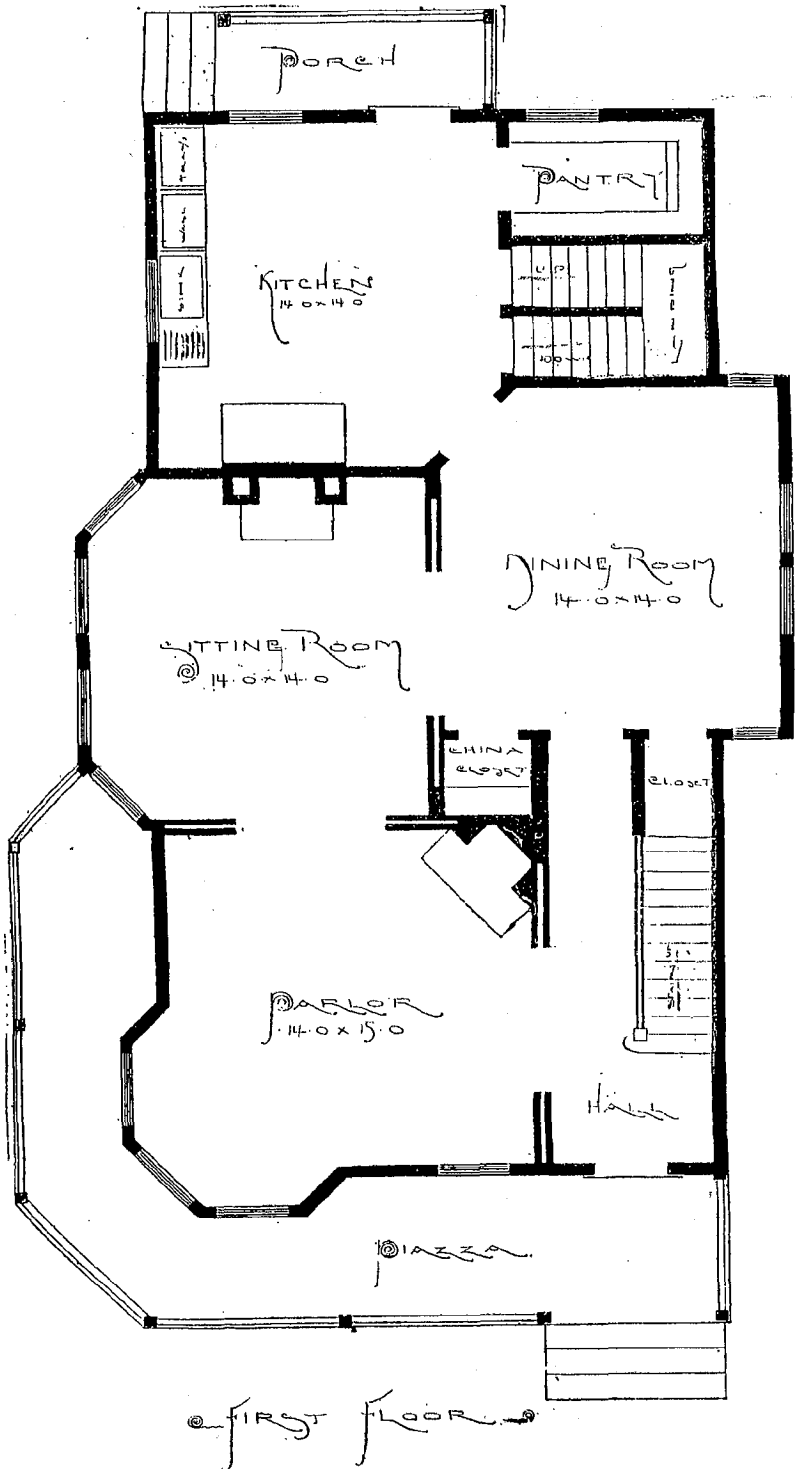
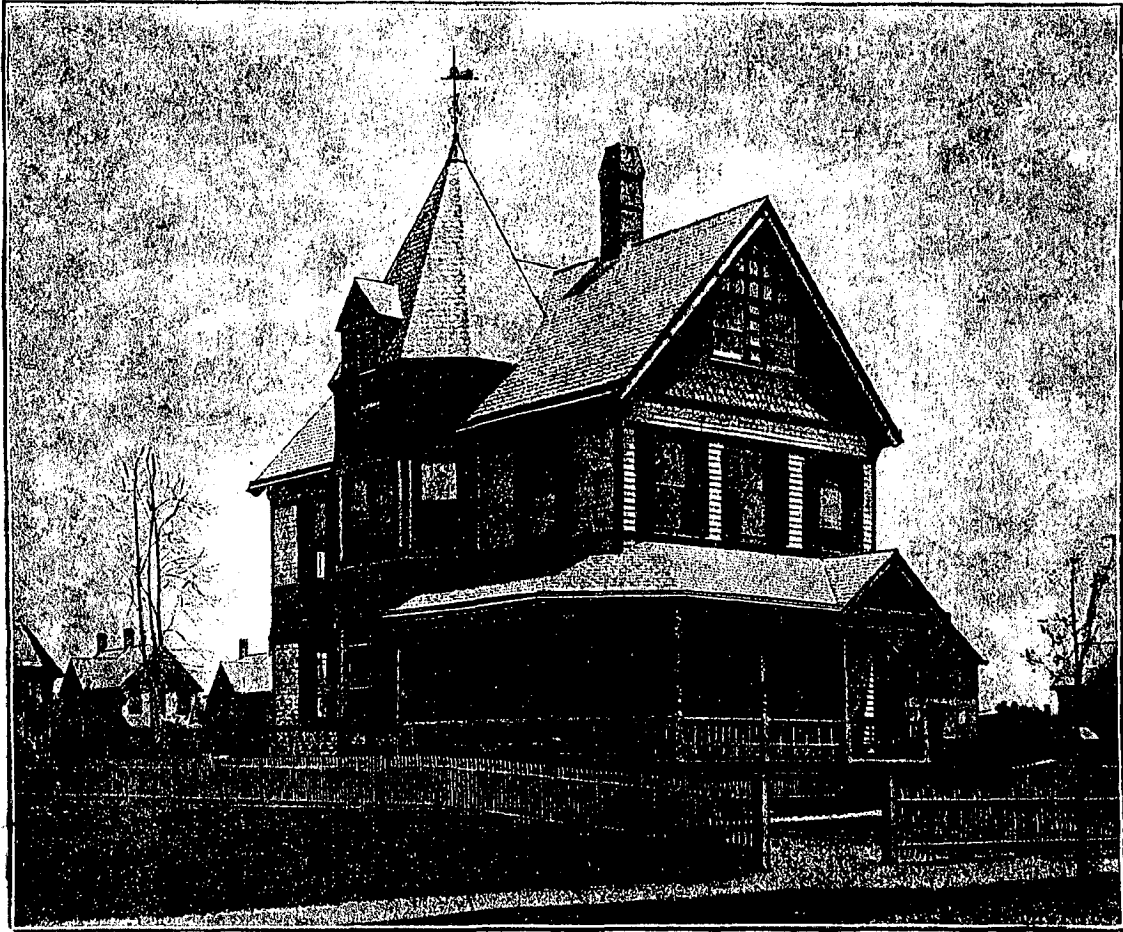
The inside trim throughout is of whitewood, finished in cherry. The door and window casings are leaded, and turned sink angle blocks are provided at angles of casings.

The ceilings of the principal rooms are neatly corniced and paneled; ornamental center pieces are provided.

The house is piped for gas.

This house cost \$2,800 to build, and is a very commodious structure for that price.

Those who cannot enjoy the luxury of an outside sun blind can extemporize a very good substitute by simply lowering the upper half of the window frame and turning the inside roller blind outside. This not only screens the window, but creates a strong draught between the panes and the linen, and thus absolutely makes the glass cold. If there is any wind the blind can be kept steady by drawing in the cord and tassel and shutting the lower half of the window-frame tight down upon it.



A RESIDENCE FOR \$2,800.

## Changes to Plans for

4710 Waverly Avenue, Garrett Park, MD, 20896-0424

Permit Number: 232765

1. **Drawing 1. Basement Plan:** Bulldozer inadvertently removed dirt from portion of area to be left remaining. Structural engineer Jolles & McKenzie visited the site and established a revised structural plan for footings adjoining existing house (drawing dated March 16, 2001). See also Drawing 6 label F.
2. **Drawings 1 and 2. Basement, First and Second Floor Plans:** Removed elevator shaft. Moved staircase to rear of house.
3. **Drawings 2, 3 and 4. First Floor Plan and Front and Right Elevations:** Removed bathroom and corrected omission by architect of entrance hall off porch joining old house to new house.
4. **Drawing 2. First Floor Plan:** Moved bathroom to pantry area (left side of first floor plan).
5. **Drawings 6, 7 and 7a. Structure, Third Floor and Roofing Plans:** The architect's roof plan was incorrect. The ridge plate should not have been used with the knee wall, which began to move. The structural engineer from Jolles and McKenzie visited the site and established revised structural plan for a supported roof beam with supports down to the footings in the basement floor (drawing dated January 4, 2002).

**4710 Waverly Avenue  
Garrett Park, MD  
20896-0424**

December 28, 2001

Ms. Michelle Naru  
Montgomery County Department of Park and Planning  
M-NCPPC  
8787 Georgia Avenue  
Silver Spring, MD 20910-3760

APPROVED  
Montgomery County  
Historic Preservation Commission  
9/27/02

Reference: Case Number 30/13-00B

Dear Michelle:

I am following up (belatedly) on our telephone conversation before Thanksgiving.

The purpose of this letter is to obtain permission for a small modification to my architect's drawings for my house at 4710 Waverly Avenue in Garrett Park. His drawing's did not match my approved, preliminary drawings, and I would like to re-instate the floor plan I originally intended.

The background to this project is that my husband and I presented to the Montgomery County Historic Preservation Commission on May 10, 2000, after reviewing our drawings and plans with you. You had prepared presentation material as a Commission Staff Report for HAWP review at the May 10 meeting. The Commission gave their approval to the project that evening. However, they asked that the preliminary drawings I had done be replaced with an architect's drawings.

The feature to be modified (as shown on the architect's drawings) is the short, diagonal passage way that joins the old house with the new addition on the right side. On my preliminary drawings as approved by the Commission on May 10, I had shown a passage between old and new, but the architect left this off his drawings. I did not catch the omission before you stamped them for approval on October 13, 2000.

For more detail, please see Circle 11 of my preliminary drawings in your attachment to the Commission Staff Report for HAWP review (copy attached). During the discussion on May 10, the Commission stated that the wrap-around porch from the front (north) side to the right (west) side should be eliminated and replaced with a side porch not connected to the existing front (north) porch. It was agreed you would work with me to define the new porch on the right side. The Commission did not ask that the interior floor plan be changed, nor did you and I discuss any need to change the interior floor plan.

Page Two  
Ms. Michelle Naru  
December 17, 2001

Unfortunately, when he redrew the side porch, the architect changed the interior floor plan to remove the connection between old and new, eliminating a flow I consider essential. This is the problem I would now like corrected on the architect's drawings. I am attaching a reduced copy of the architect's version of the floor plan, without the connecting passage.

As I say, the Commission approved my preliminary drawing which included an interior connecting passage way. On the copy of Circle 11 attached, note the new 6'7" wall (highlighted in yellow).

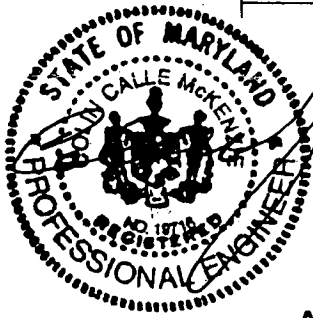
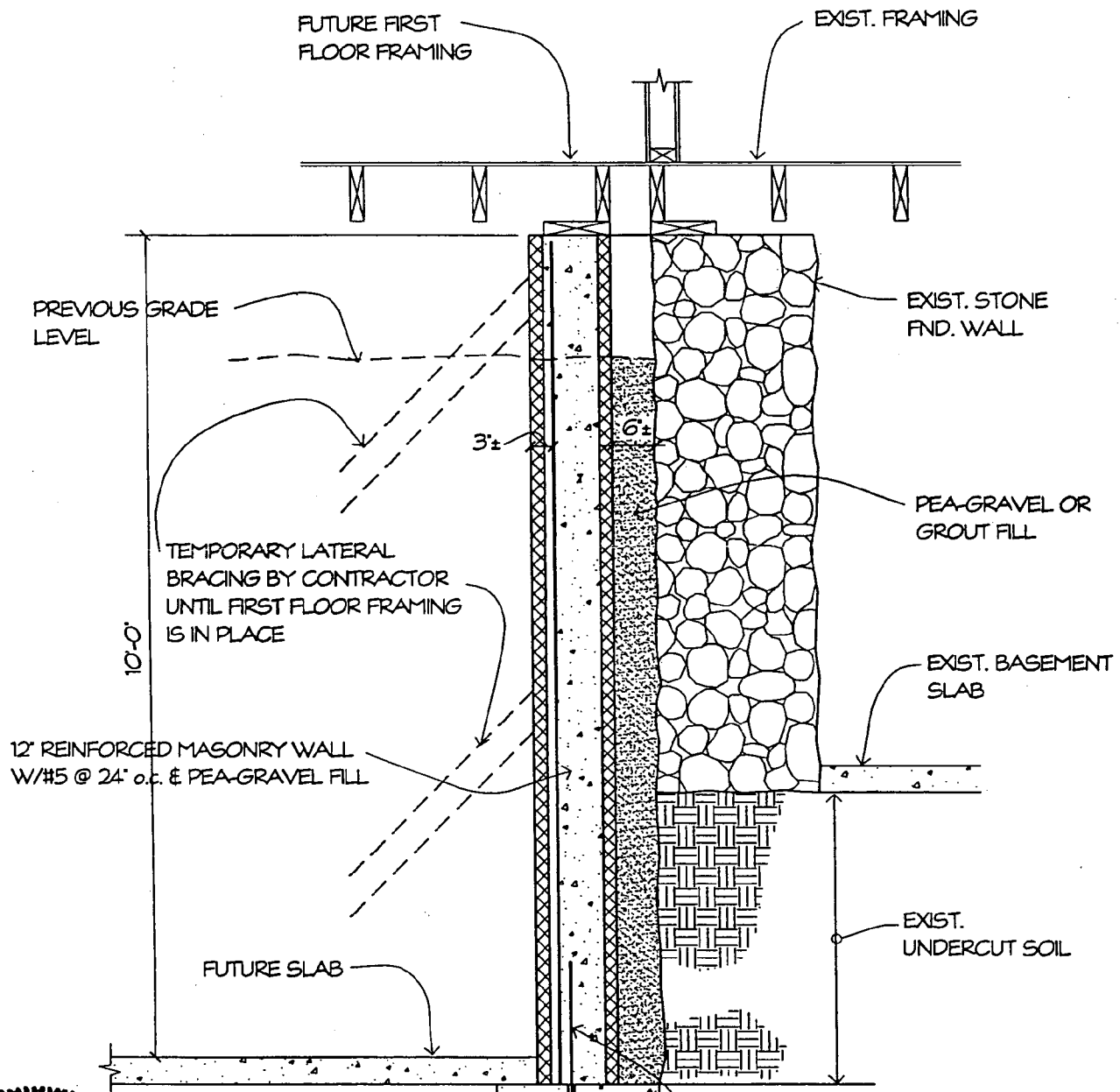
I am requesting permission for the approved architect's drawing to be modified to re-instate the connecting passage, and to allow the double entry doors from the porch to be in this 6'7" wall. This small area will serve as a small entrance hall as well as provide passage between the old and the new parts of the house.

The exterior is not very different from the front elevation except to change the door shown on the architect's drawing to a window, and to add the angled perspective of the double doors in the re-instated 6'7" wall. On the right side elevation, the double doors added to this wall also have an angled perspective. Modified copies of his drawings are attached, as are copies of Circles 13 and 15 as approved by the Commission on May 10, 2000.

If you have any questions, please call me at 301-942-1030. Thank you in advance for your early review.

Sincerely,

Pamela N. Morgan



**DETAIL OF NEW BASEMENT WALL  
AT UNDERCUT STONE FOUNDATION**

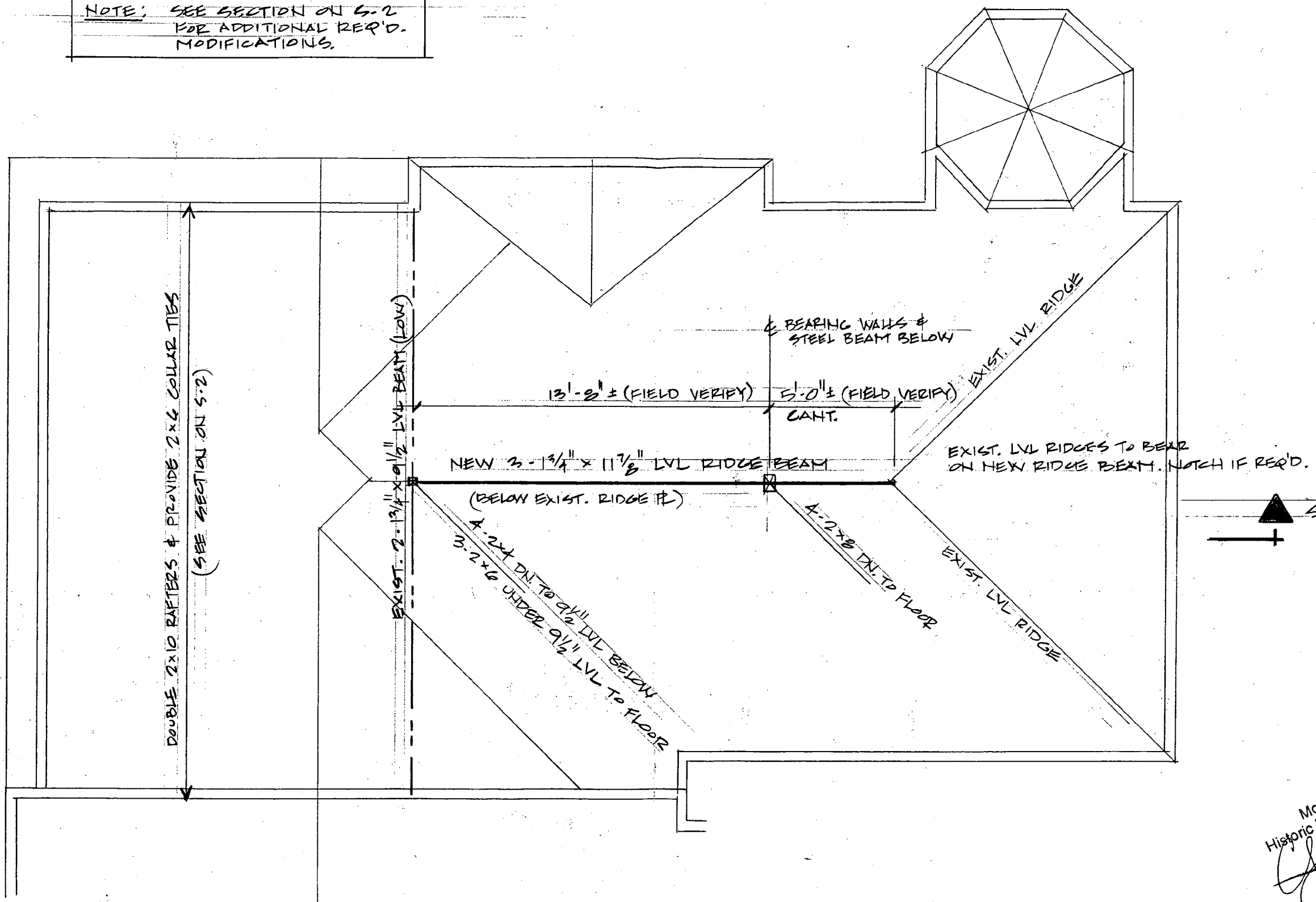
SCALE: 1/2" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
09/27/02

<b>JOLLES &amp; MCKENZIE, P.A.</b> structural engineers  1400 spring street, suite 460 silver spring, maryland 20910 301/589-2411		Project Name MORGAN RESIDENCE 4710 WAVERLY AVENUE GARRETT PARK, MARYLAND	Dwg. No.  <b>S-1</b>
		Title DETAIL OF NEW BASEMENT WALL AT UNDERCUT STONE FOUNDATION	
Engr. CM	Drafter LW	Proj. No. 2-0005-M	Date 3/16/01



NOTE: SEE SECTION ON S-2 FOR ADDITIONAL REQ'D. MODIFICATIONS.



SECTION

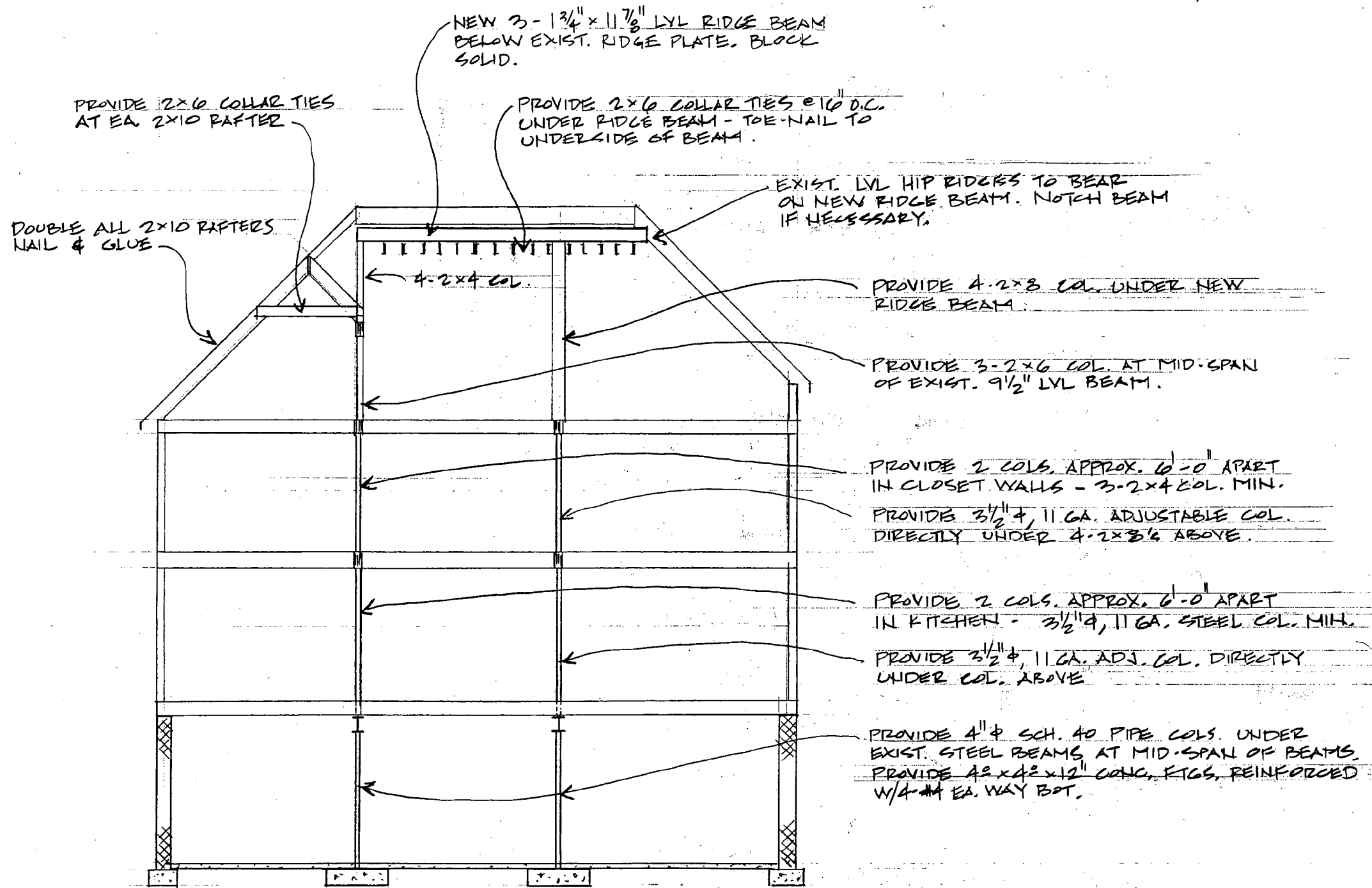
SECTION

**PLAN - ROOF FRAMING MODIFICATIONS**

SCALE: 1/4" = 1'-0"


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Montgomery County  
Historic Preservation Commission  
*[Signature]* 09/27/02

<b>JOLLES &amp; MCKENZIE, P.A.</b> structural engineers 1400 spring street, suite 460 silver spring, maryland 20910 301/589-2411			Project Name <b>MORGAN RESIDENCE</b> 4712 WAVERLY AVE. GARRETT PARK, MARYLAND	Dwg. No. <b>S-1</b>
Title <b>ROOF FRAMING MODIFICATIONS</b>		Engr. <b>CM</b>	Drafter <b>CM</b>	Proj. No. <b>2-0111-K</b>
		Date <b>1-4-02</b>		



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 09/27/02

**SECTION - ROOF FRAMING MODIFICATIONS**  
 SCALE: 1/8" = 1'-0"

<b>JOLLES &amp; MCKENZIE, P.A.</b> structural engineers 1400 spring street, suite 460 silver spring, maryland 20910 301/589-2411			Project Name <b>MORGAN RESIDENCE</b> <b>4710 WAVERLY AVE.</b> <b>GARRETT PARK, MARYLAND</b>	Dwg. No. <b>4-2</b>
Title <b>ROOF FRAMING MODIFICATIONS</b>		Engr. <b>CM</b>	Drafter <b>CM</b>	Proj. No. <b>2-0111-K</b>
		Date <b>1-4-02</b>		

9/26

2:30

Corri -

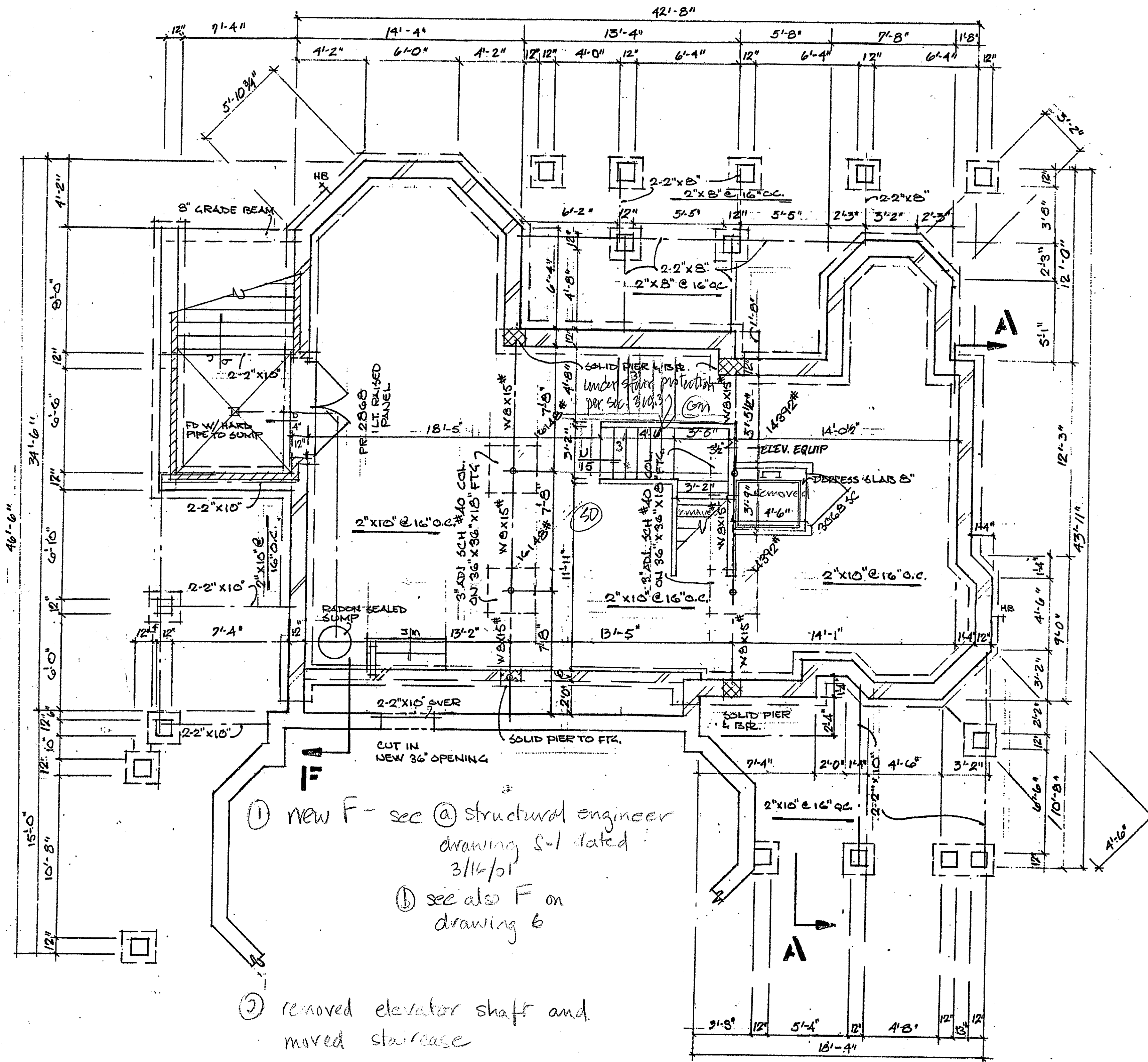
Please call Pam

Morgan re: 4710

Waverly Avenue

Garrett Park, she was

~~working~~ working at Michele  
Doe



- ① new F - sec @ structural engineer drawing S-1 dated 3/16/01
- ② see also F on drawing 6
- ③ removed elevator shaft and moved staircase

**BASEMENT PLAN**

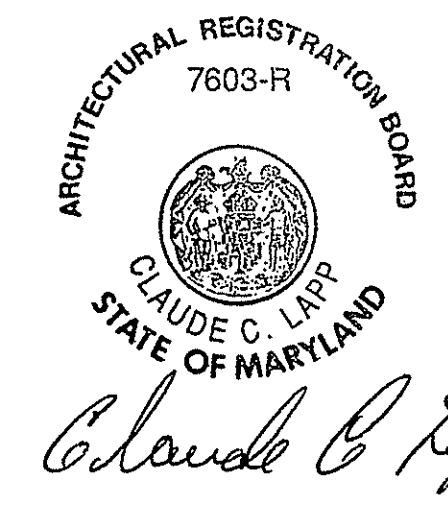
1/4" = 1'-0"

NOTE: - ALL WALLS ARE 3/2" UNLESS OTHERWISE NOTED.  
- SET PORCH BEAMS W/ SLOPE

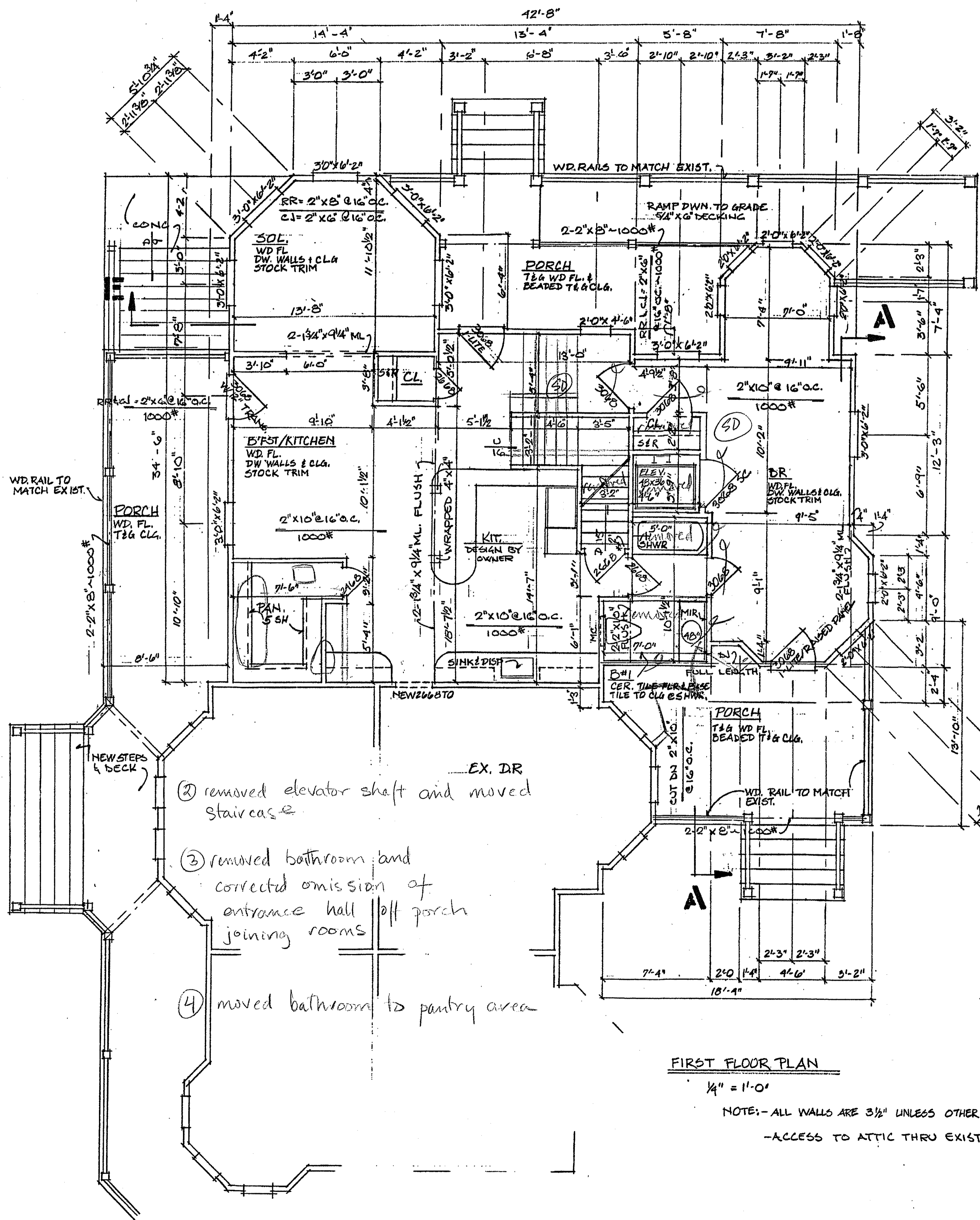
APPROVED  
Montgomery County  
Historic Preservation Commission  
09/27/02 [Signature]  
Modified

APPROVED  
Montgomery County  
Historic Preservation Commission  
[Signature] 10/13/00

Contractor to check and verify all dimensions and conditions in field prior to start of construction. Notify architect of any discrepancies.



CLAUDE C. LAPP ARCHITECT 11820 PARKLAWN DRIVE, SUITE 100 ROCKVILLE, MD 20852-2329 301-881-6355 FAX 301-770-9163				
<b>ADDITION TO: MORGAN RESIDENCE</b>				
DRAWN BY	DATE	LOT NO.	BLOCK	DWG. NO.
CHECKED BY	9/27/02			1

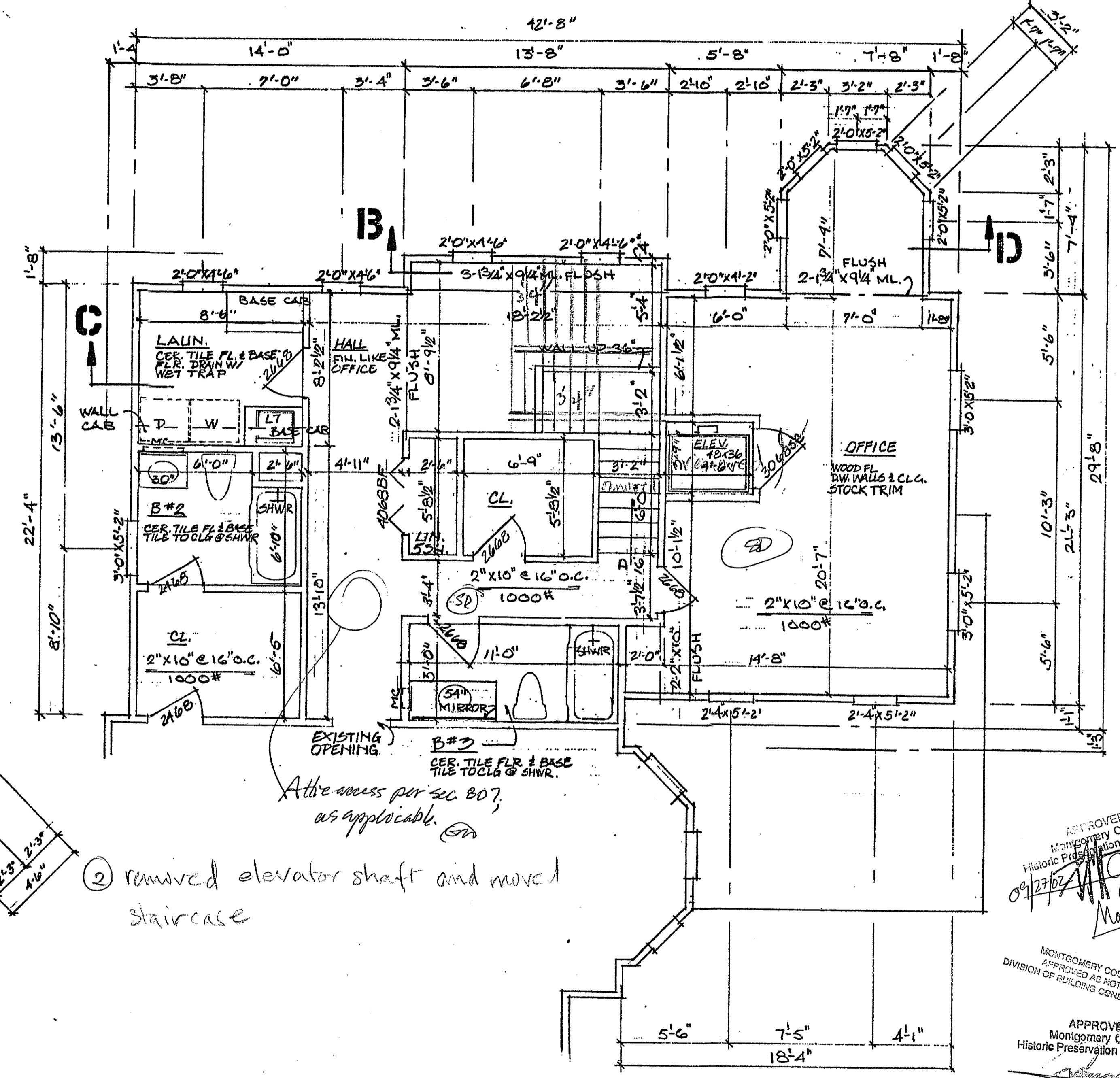


- ① removed elevator shaft and moved staircase
- ② removed bathroom and corrected omission of entrance hall off porch joining rooms
- ④ moved bathroom to pantry area

**FIRST FLOOR PLAN**

1/4" = 1'-0"

NOTE: - ALL WALLS ARE 3/8" UNLESS OTHERWISE NOTED.  
- ACCESS TO ATTIC THRU EXIST. HSE ACCESS

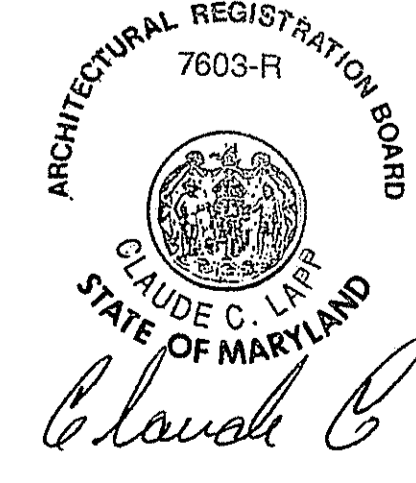


- ② removed elevator shaft and moved staircase

**SECOND FLOOR PLAN**

1/4" = 1'-0"

Contractor to check and verify all dimensions and conditions in field prior to start of construction. Notify architect of any discrepancies.



<b>CLAUDE C. LAPP</b> ARCHITECT 11820 PARKLAWN DRIVE, SUITE 100 ROCKVILLE, MD 20852-2529 301-831-6956 FAX 301-770-9163			
<b>ADDITION TO: MORGAN RESIDENCE</b>			
DRAWN BY	DATES	LOT NO.	BLOCK
CHECKED BY	SECTION	JOB NO.	2

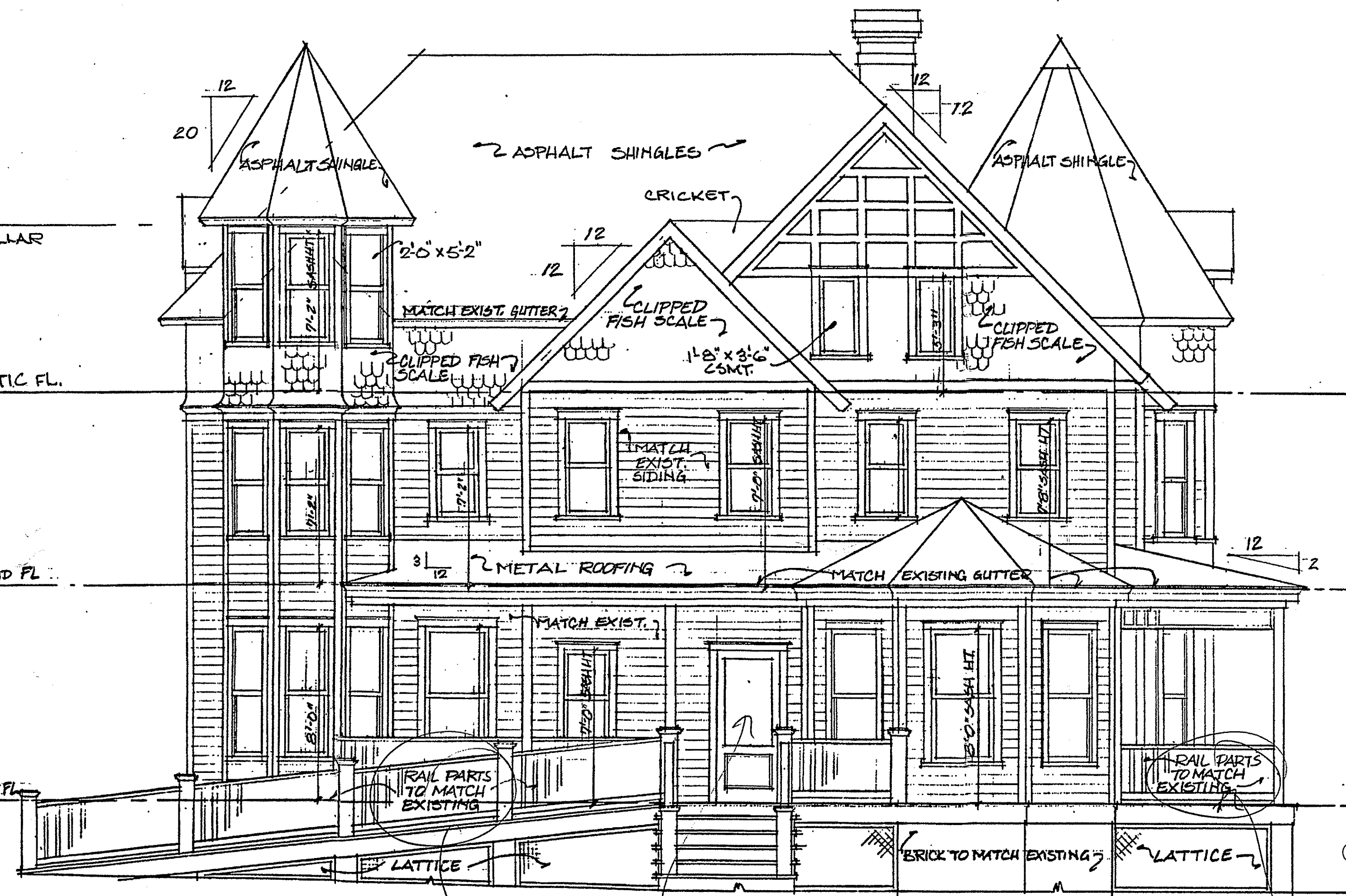
APPROVED  
Montgomery County  
Historic Preservation Commission  
09/27/02  
Modified

MONTGOMERY COUNTY  
APPROVED AS NOTED  
DIVISION OF BUILDING CONSTRUCTION

APPROVED  
Montgomery County  
Historic Preservation Commission  
10/13/00



**FRONT ELEVATION**  
1/4" = 1'-0"



**REAR ELEVATION**  
1/4" = 1'-0"

EXIST NEW

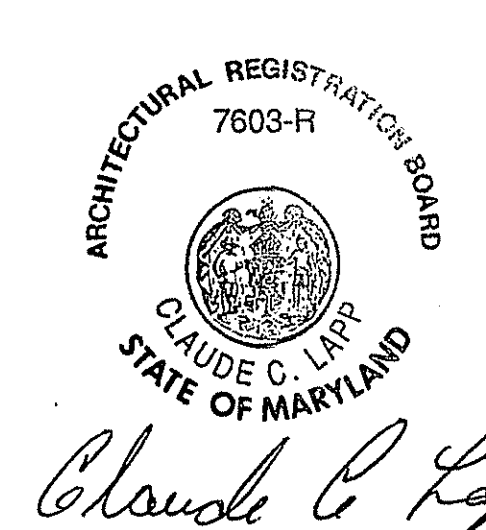
③ corrected omission of entrance hall off porch joining rooms

Comments must also conform to sec. 315.3 (typ. all new)

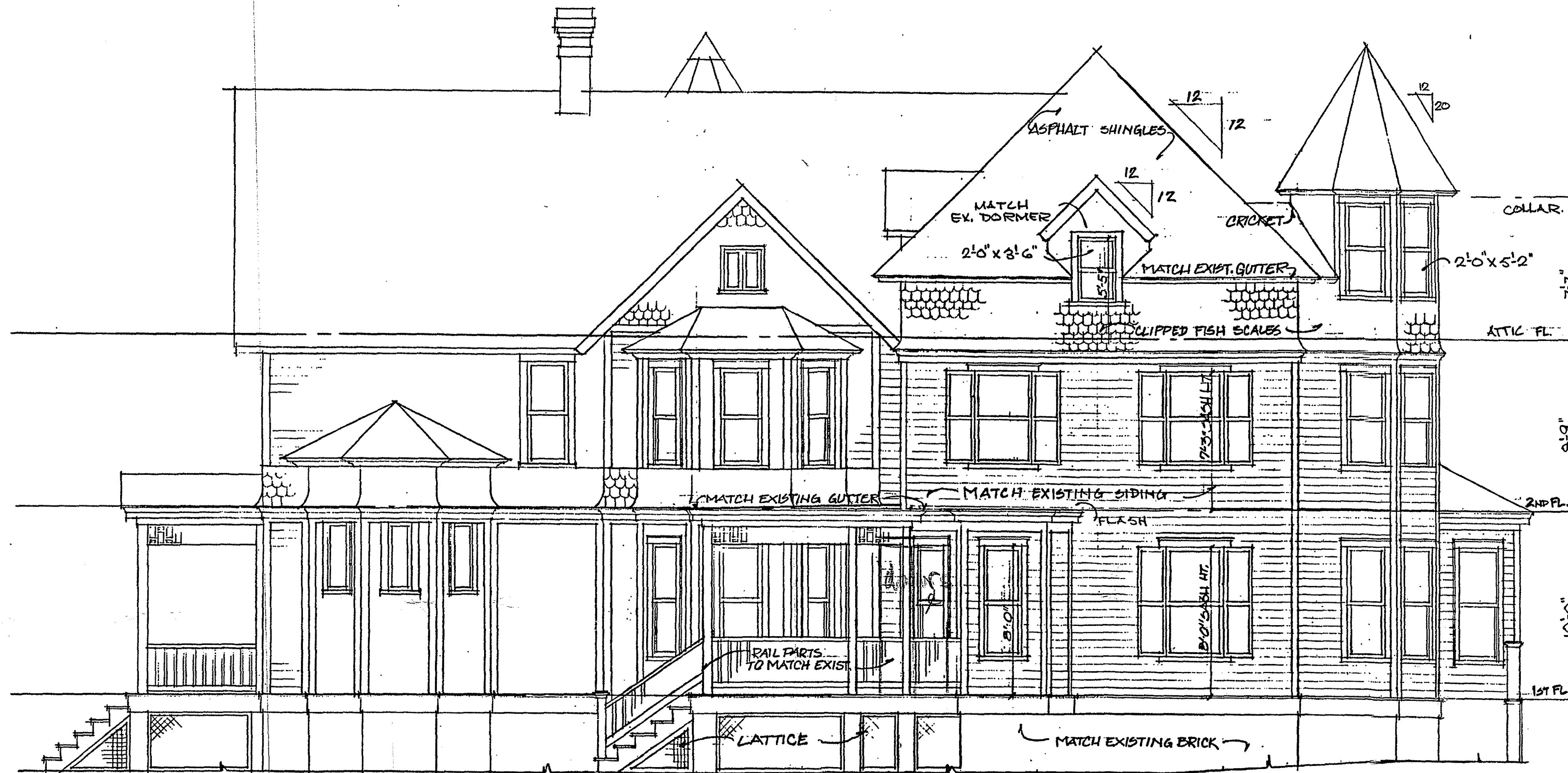
APPROVED  
Montgomery County  
Historic Preservation Commission  
10/27/02  
Mark Lead

APPROVED  
Montgomery County  
Historic Preservation Commission  
10/13/02

Contractor to check and verify all dimensions and conditions in field prior to start of construction. Notify architect of any discrepancies.



CLAUDE C. LAPP ARCHITECT 11820 PARKLAWN DRIVE, SUITE 100 ROCKVILLE, MD 20852-2529 301-891-6956 FAX 301-770-9163				
ADDITION TO: MORGAN RESIDENCE				
DRAWN BY	DATES	LOT NO.	BLOCK	DRWG. NO.
	8-14-00			
CHECKED BY		SECTION	JOB NO.	3
	10-6-00			
	9/27/02			



EXIST | NEW

RIGHT SIDE  
1/4" = 1'-0"

③ Corrected omission of entrance hall off porch

APPROVED  
Montgomery County  
Historic Preservation Commission  
09/27/07  
*[Signature]*

APPROVED AS NOTED  
DIVISION OF BUILDING CONSTRUCTION

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* 10/13/00

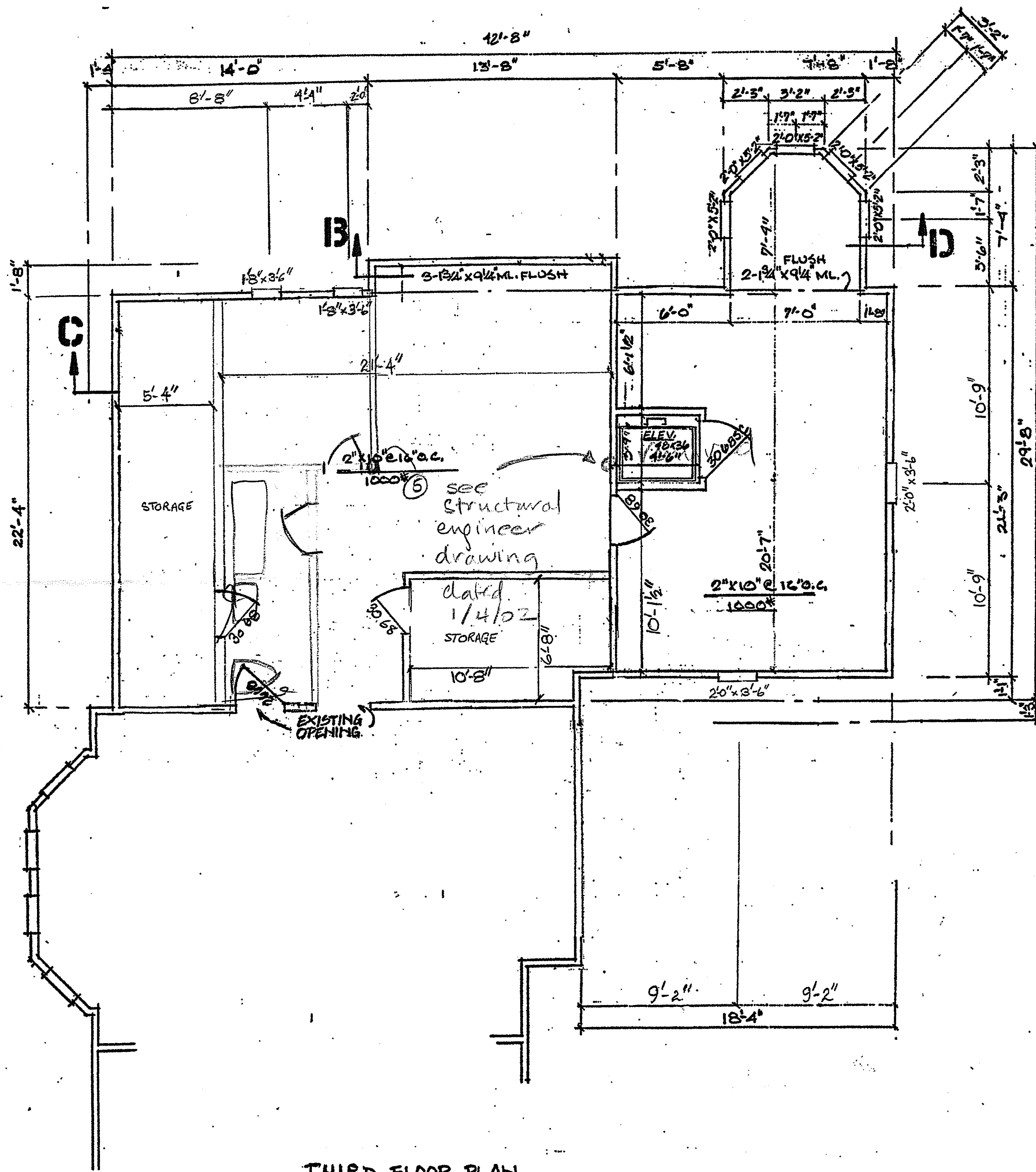
Contractor to check and verify all dimensions and conditions in field prior to start of construction. Notify architect of any discrepancies.

ARCHITECTURAL REGISTRATION BOARD  
7603-R  
CLAUDE C. LAPP  
STATE OF MARYLAND  
*[Signature]*

CLAUDE C. LAPP ARCHITECT 11920 PARKLAWN DRIVE, SUITE 100 ROCKVILLE, MD 20852-2529 301-881-6855 FAX 301-770-9163				
ADDITION TO: MORGAN RESIDENCE				
DRAWN BY	DATE	LOT NO.	BLOCK	DRWG. NO.
	8-14-00			4
CHECKED BY	DATE	SECTION	JOB NO.	
	9/27/07			



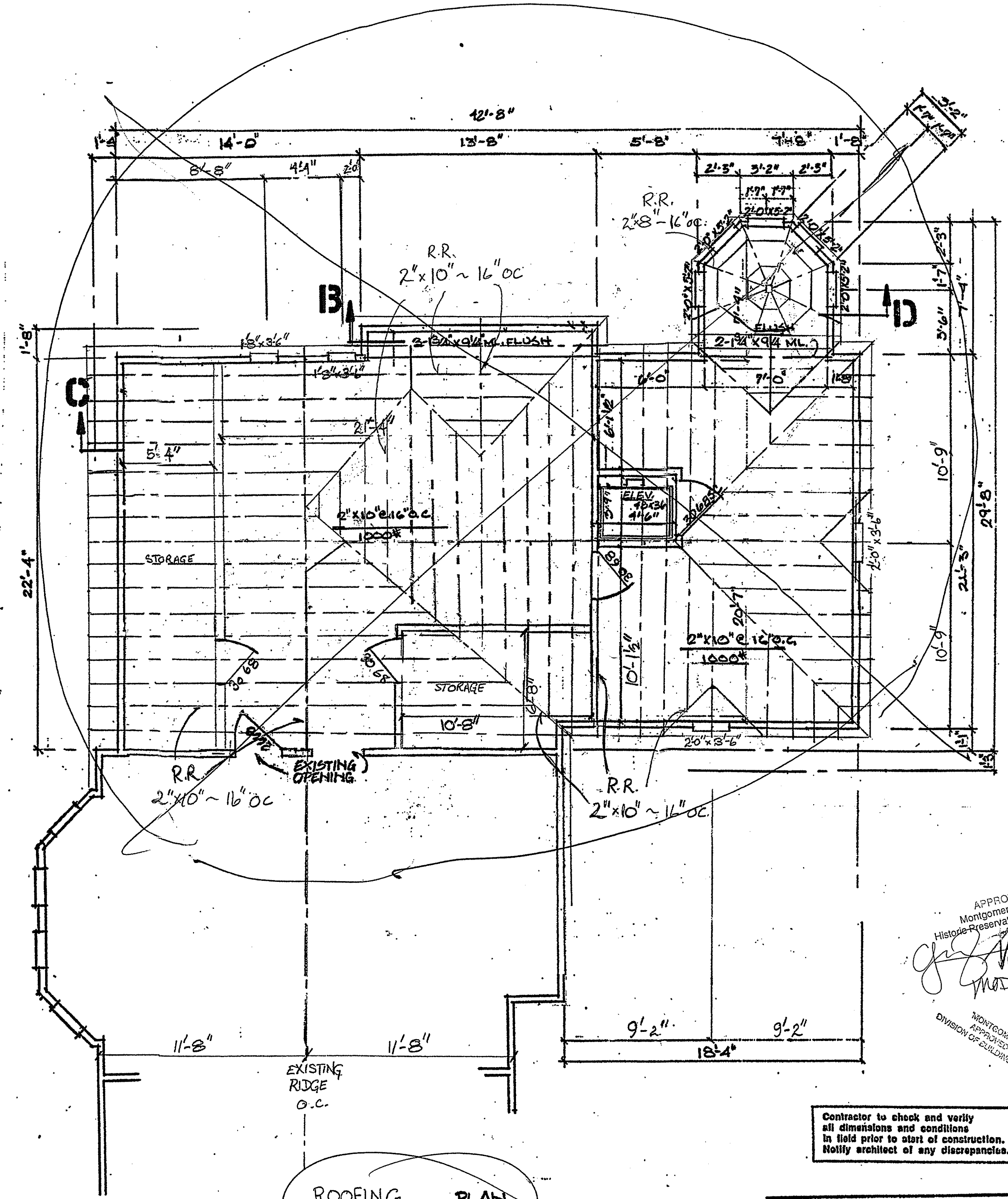




**THIRD FLOOR PLAN**

1/4" = 1'-0"

NOTE:- ALL WALLS ARE 3/8" UNLESS OTHERWISE NOTED.  
 -ACCESS TO ATTIC THRU EXIST. HSE ACCESS



**ROOFING PLAN**

1/4" = 1'-0"

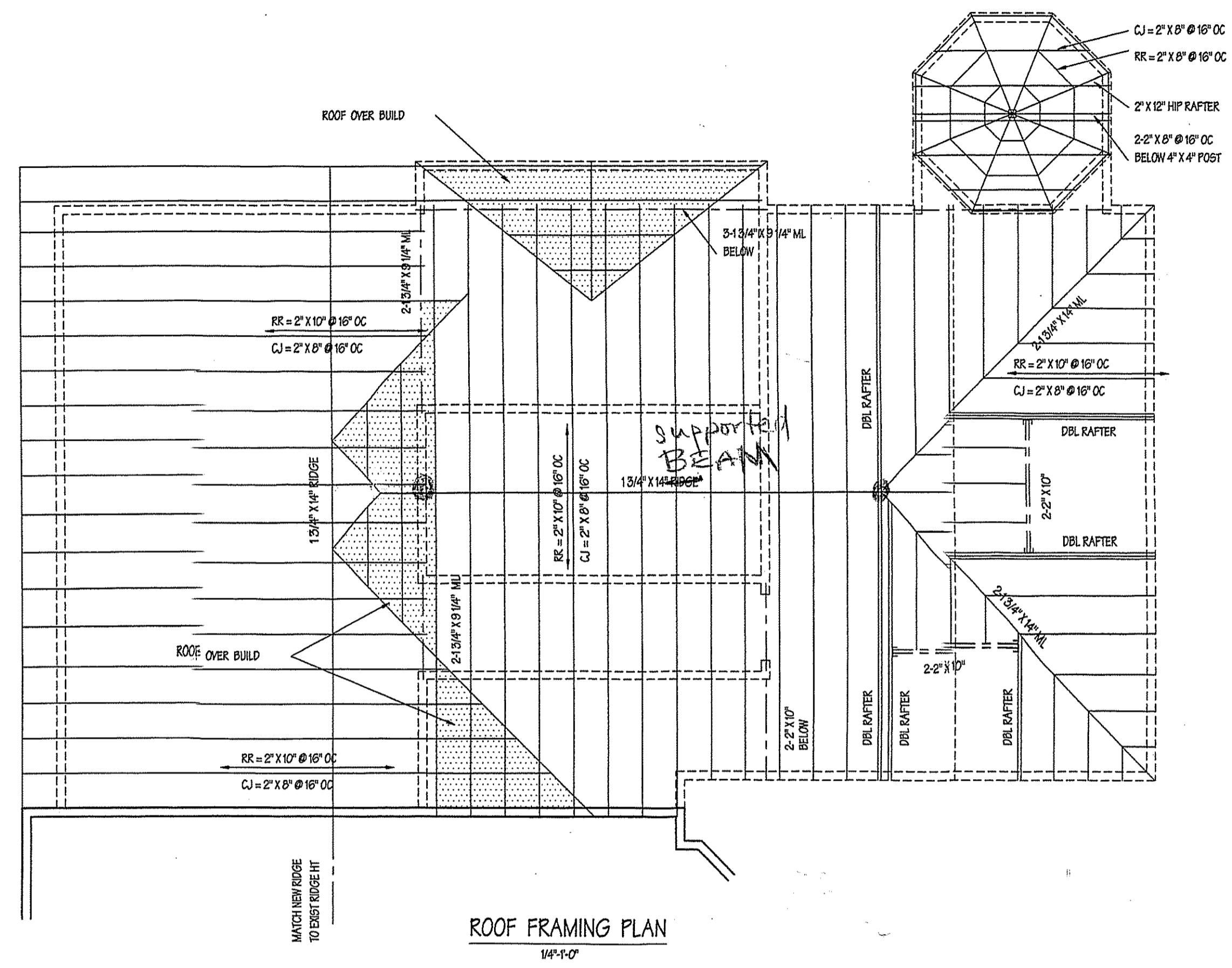
NOTE:- ALL WALLS ARE 3/8" UNLESS OTHERWISE NOTED.

See revised sheet # 7A (attached)  
 (CM)

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*  
 MODIFIED  
 MONTGOMERY COUNTY  
 APPROVED AS SHOWN  
 DIVISION OF BUILDING CONSTRUCTION

Contractor to check and verify all dimensions and conditions in field prior to start of construction. Notify architect of any discrepancies.

ADDITION TO: MORGAN RESIDENCE				
DRAWN BY	DATES	LOT NO.	BLOCK	DRWG. NO.
CHECKED BY	10-18-00	SECTION	JOB NO.	7
	9/27/02			



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*  
 MODIFIED

MONTGOMERY COUNTY  
 APPROVED AS NOTED  
 DIVISION OF BUILDING CONSTRUCTION

ARCHITECTURAL REGISTRATION BOARD  
 7603-R  
 CLAUDE C. LAPP, ARCHITECT  
 STATE OF MARYLAND  
*Claude C. Lapp*

ROOF FRAMING PLAN  
 (REVISED)

NOTE: All interior wall dimensions to be 3 1/2" unless noted otherwise.

NOTE: All wall angles to be 90 OR 45 degrees unless noted otherwise.

Contractor to check and verify all dimensions and conditions in field prior to start of construction. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

CLAUDE C. LAPP  
 ARCHITECT  
 11820 PARKLAWN DRIVE (S. 100)  
 ROCKVILLE, MD. 20852  
 PHONE: (301) 881-6856 FAX: (301) 770-9168

ADDITION TO:  
 MORGAN RESIDENCE

DRAWN BY	DATES	LOT NO.	BLOCK	DWG. NO.
	11-10-00			
CHECKED BY	SECTION	JOB NO.		
<i>9/27/02</i>			7A	

May 3, 2001

**Mrs. Pam Morgan**  
4710 Waverly Avenue  
Garrett Park, MD 20896

Dear Mrs. Morgan:

Thank you for sending me your proposed revisions to your approved HAWP (Case # 30/13-00B) dating May 10, 2000. The following proposed projects are approved at staff level:

1. The continuance of the existing pattern of fish scale around the new addition on the first and second floor.
2. The use of 1/1, double-hung, Pella, wood windows on the new addition.
3. The installation of three, 5'3" wide double hung windows in each sunroom wall on the "left elevation."
4. The installation of larger windows in the two bays in the bedroom on the "right elevation" and the elimination of the one window shown on the straight wall.
5. The installation of a basement awning window on the "right elevation."

Any additional alterations to the exterior of the house would need to be reviewed by the Historic Preservation Commission prior to the project's commencement.

If you have any additional questions, please do not hesitate to contact me at 301-563-3404.

Sincerely,

Michele Naru  
Historic Preservation Planner

Cc: Garret Park Mayor and LAP

**Proposed Modifications to the Plans  
for 4710 Waverly Avenue, Garrett Park**

as Approved by Montgomery County Historic Preservation Commission on 10/13/00

**Case Number: 30/13-00B**

The first six proposed modifications are hopefully quite minor and restore our original intention in our drawings given initial approval by the HAWP review on 5/10/00. These six modifications correct omissions or errors by the architect who drew the plans which were subsequently approved by the Commission Staff.

1. Continue the existing pattern of fish scale around the house, on the exterior between first and second floor. As required in item #3 in "Approved with Conditions" for the gable ends, clipped fish scale shingles will be used. See Circle 15 in the attachment to the Commission Staff Report for HAWP review on meeting date 5/10/00.
2. All new roofing, including on the porches, will be the same as the existing section of the house. When the new roofing is applied, the existing roofing will be replaced for needed repairs. There will be no metal roofing on any new (or old) porches. All roofing will be asphalt roofing shingles.
3. The windows will be double-hung Pella wood windows throughout the new section as stated on Circles 13, 15, 17, 19 of the Commission Staff Report for HAWP review on meeting date 5/10/00. No old windows will be reused. However, contrary to item #5 in "Approved with Conditions" the windows will not be true divided light. Pella mullion inserts for divided light are available if required. (The existing house has double-hung windows, not divided light which, I believe, would look quite out of place in the new addition.)
4. The windows drawn by the architect on the Approved Plans are smaller than those shown on the attachment to the Commission Staff Report for HAWP review on meeting date 5/10/00. As drawn by the architect, insufficient light will enter the living space, unnecessarily. This is particularly true in the single-story sunroom at the rear of the house. Three adjacent double hung windows in each sunroom wall are proposed (total window width 5'3" in each 6' wall). The other window in the left elevation (Circle 17) would match this, also being a three double hung window. Another window change is to use larger windows in the two bays in the bedroom on the right but eliminate the one window shown in the straight wall (to provide furniture wall space).
5. A basement window on the right side is needed for cross ventilation to the basement door.
6. The architect incorrectly removed the door access from the existing house to the new bedroom on the right side of the addition. See the 6'7" wall shown on Circle 11 in

*Approved @ Staff level*

*needed HAWP*

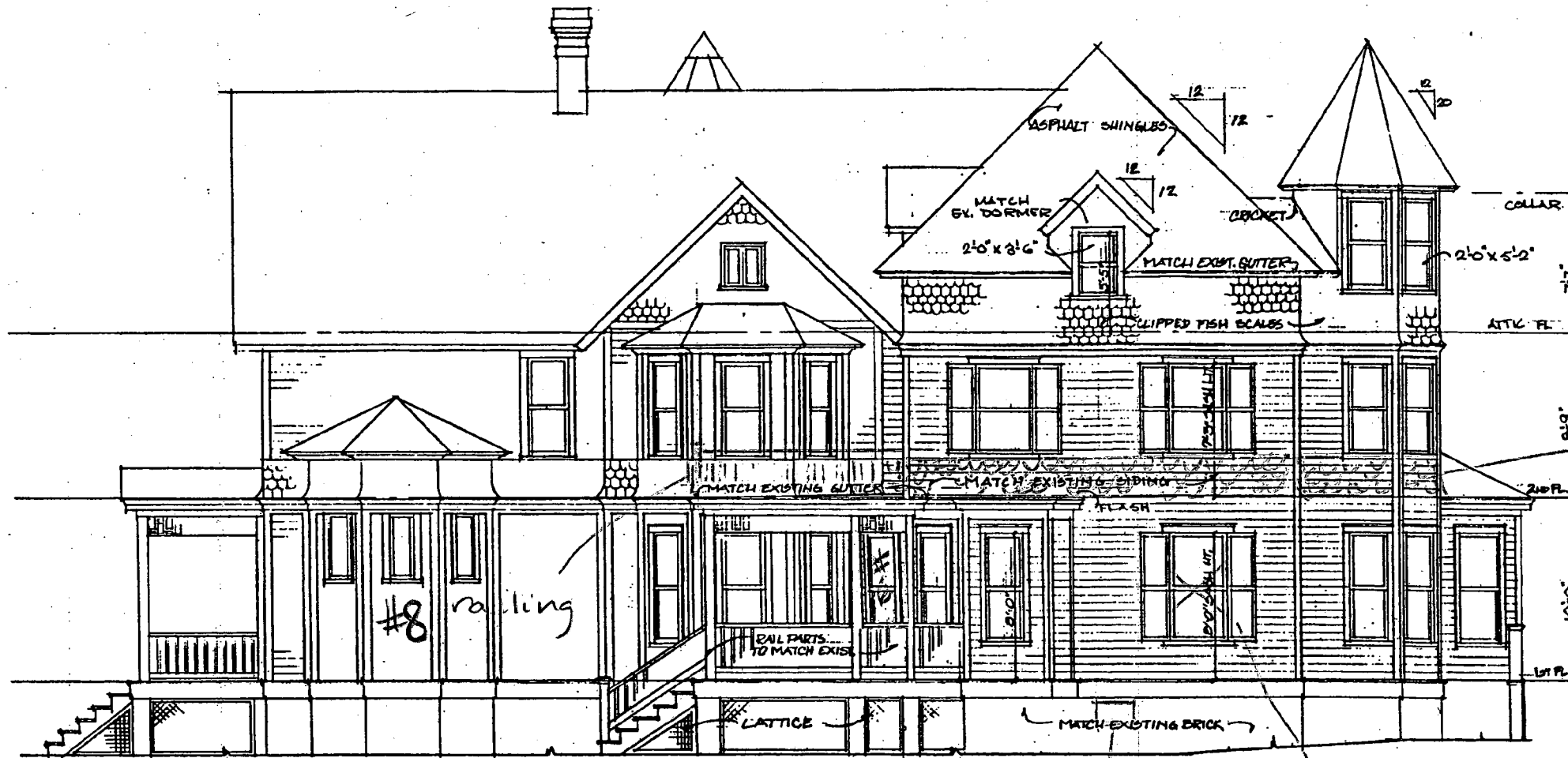
*needed HAWP*

the attachment to the Commission Staff Report for HAWP review on meeting date 5/10/00. The Approved Plan needs to be modified to re-instate this wall.

The last two proposed modifications are perhaps more significant and are changes to the attachment to the Commission Staff Report for HAWP review on meeting date 5/10/00, as well as changes to the Approved Plans as drawn by the architect.

*Needs  
hawp*

7. We would like to include two pre-fabricated fireplaces on the left side of the new addition, one in the basement and one on the first floor. This will require chimney flues which will be interior to the house framing. The flues will show only on the roof as shown in the attached modified drawing of the left elevation of the Approved Plans. The chimney surround on the roof will be framed and will be covered with the same wood clapboard siding as on the new addition's exterior.
8. The Approved Plans show a flat porch roof on the right side of the new addition. We would like to add code-compliant railing and put a door from the second floor bedroom of the new addition out onto this flat roof. These railings are shown in the attached modified drawing of the right elevation of the Approved Plans.



RIGHT SIDE  
1/8" = 1'-0"

EXIST NEW

#5 basement window

#4 no window

#1 clipped fish scale

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 10/12/10

Contractor to check and verify all dimensions and conditions in field prior to start of construction. Notify architect of any discrepancies.



CLAUDE C. LAPP  
ARCHITECT  
11820 PARKLAWN DRIVE, SUITE 100  
ROCKVILLE, MD 20852-2529  
301-881-6855 FAX 301-770-9163  
ADDITION TO:  
MORGAN RESIDENCE

CLAUDE C. LAPP  
ARCHITECT  
11220 PARKWAY DRIVE, SUITE 100  
ROCKVILLE, MD 20852-2529  
301-881-6858 FAX 301-770-9143

PROFESSIONAL REGISTRATION NO.  
7603-R

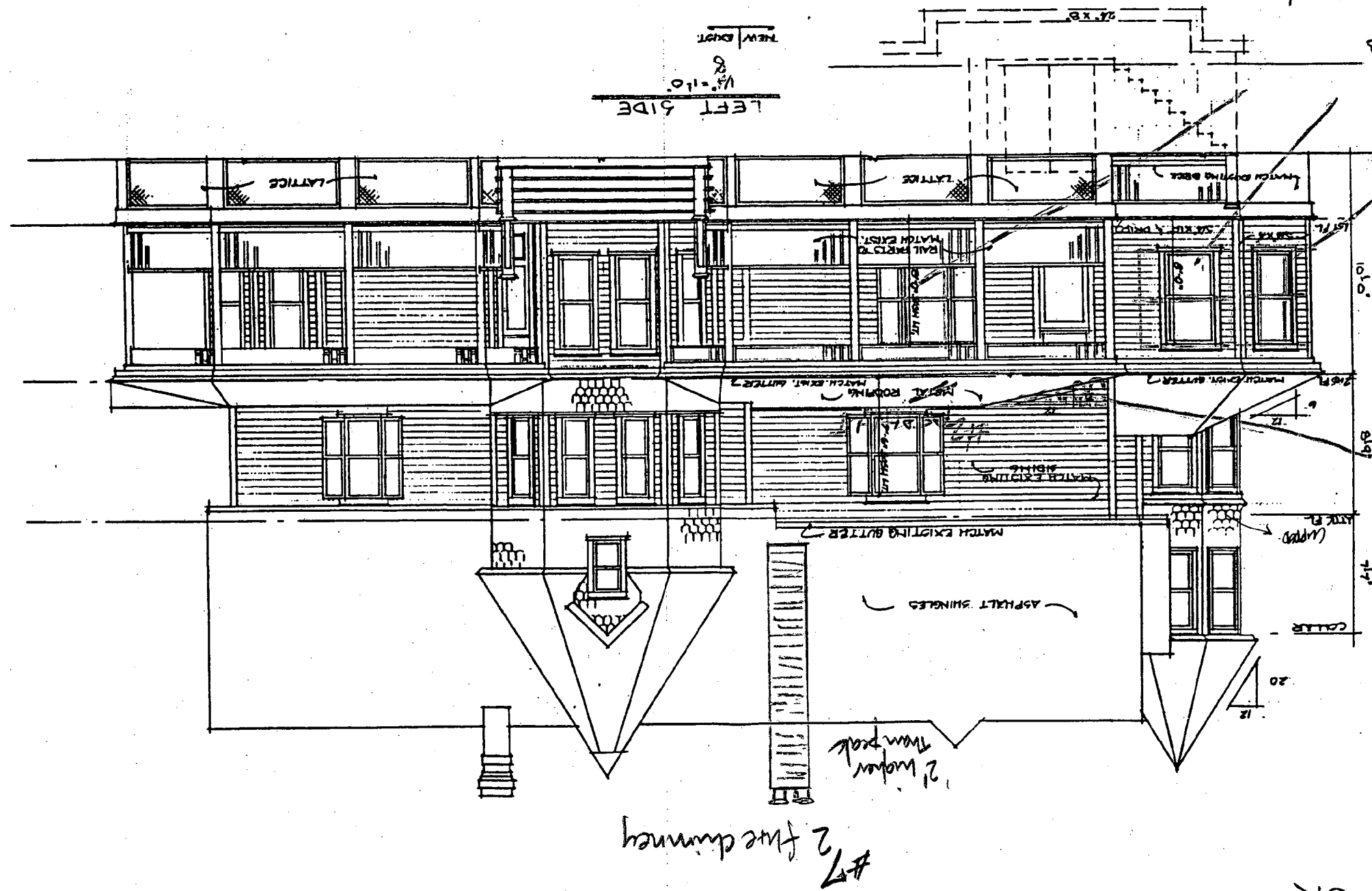
Contractor to check and verify  
all dimensions and conditions  
in field prior to start of construction.  
No liability assumed if any discrepancies.

APPROVED  
Montgomery County  
Planning Commission  
@ 10/13/00

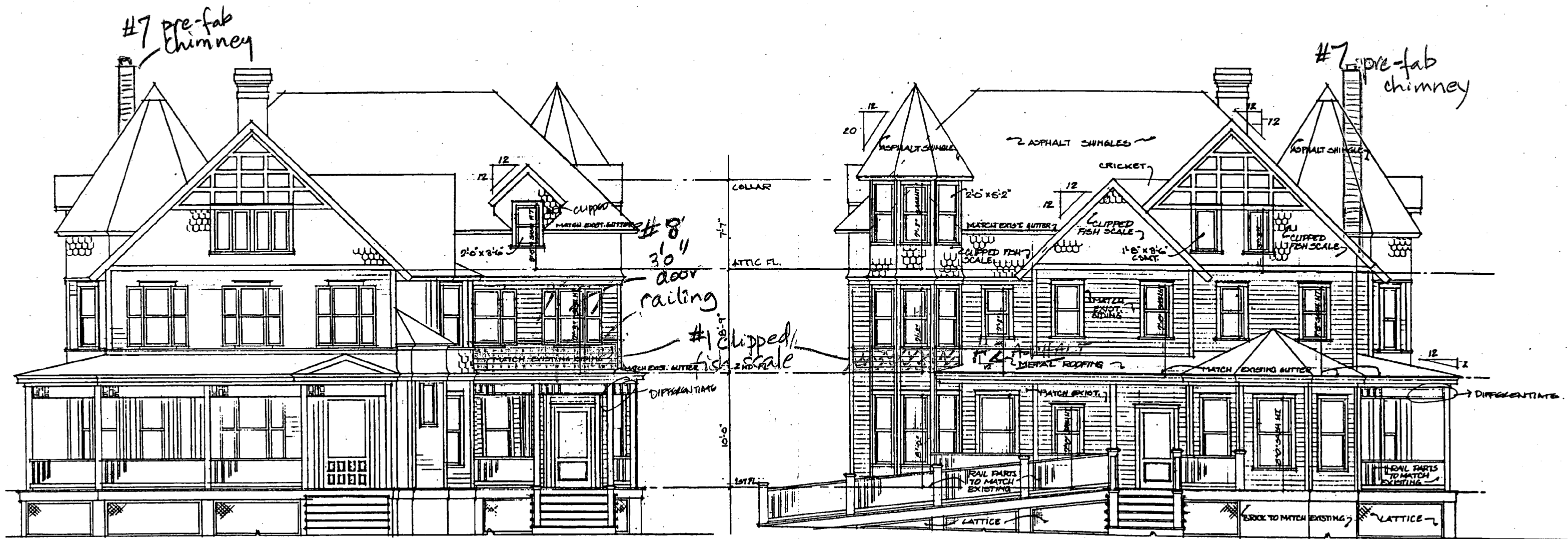
#3 Pella double hung  
(call new windows)

#4 larger  
windows

#1 clipped  
fish  
scale



page 6R (There is no page 7R since front and rear elevations are on one page.)



FRONT ELEVATION  
1/4" = 1'-0"

REAR ELEVATION  
1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 10/13/00

Contractor to check and verify  
all dimensions and conditions  
in field prior to start of construction.  
Notify architect of any discrepancies.

TEXTURAL REGISTRATION  
7603-R

CLAUDE C. LAPP  
ARCHITECT  
11825 PARKLAWN DRIVE, SUITE 100  
ROCKVILLE, MD 20852-7129



# ADDITION TO: MORGAN RESIDENCE

4710 WAVERLY AVENUE, GARRETT PARK, MD 20896

## GENERAL NOTES

- 1) All construction to be in conformance with C.A.B.O., one and two family dwelling code, 1995 edition & all MONTGOMERY COUNTY additions and revisions thereto.
- 2) Design live loads:
  - Sleeping room load .. 30 p.s.f.
  - Floor load ..... 40 p.s.f.
  - Roof load ..... 30 p.s.f.
  - Deck load ..... 40 p.s.f.
  - Garage load..... 50 p.s.f.
- 3) Soil bearing to be 2000 p.s.f. minimum.
- 4) Design wind load 20 p.s.f.
- 5) Maximum height of fill above basement slab to be 7' -0".
- 6) Bottom of all concrete footings to be 24" minimum below finished grade.
- 7) Foundation walls shall comply to C.A.B.O. Sec. R-401. thru 404.
- 8) Foundation drainage shall comply to C.A.B.O. Sec. R-405.
- 9) Foundation waterproofing shall comply to C.A.B.O. Sec. R-406.
- 10) Top of garage slab to be 4" below any adjacent finished floor.
- 11) Attached Garages shall comply to C.A.B.O. Sec. R-309.
- 12) Concrete floors shall comply to C.A.B.O. Sec. R-505.
- 13) All concrete to be 150 p.c.f. and conform to the latest A.C.I. 318 specifications. Porches, garages, slabs and steps exposed to weather, to be 3500 p.s.i. air entrained concrete. Foundation walls, exterior walls and other vertical concrete work to be 3000 p.s.i. air entrained concrete. All other concrete to be 3000 p.s.i.
- 14) All c.m.u. used in basement and foundation walls shall be load bearing units conforming to A.S.T.M. C 90-70 for hollow units. At wood post and wood beam bearing locations on c.m.u. wall cells shall be filled solid with grout or mortar for top two course minimum.
- 15) All c.m.u. walls shall have standard truss type DUR-O-WALL bed joint reinforcing at maximum 16" vertical spacing.

- 16) All brick units used in exterior shall conform to A.S.T.M. C 62 or A.S.T.M. C 216.
- 17) All mortar shall be type "S" conforming to A.S.T.M. C 270-82.
- 18) Backfilling against basement walls shall not be performed until first floor framing is in place and top of reinforced c.m.u. walls are braced against overturning.
- 19) Maximum allowable lateral pressure on basement walls 30 p.s.f.
- 20) All reinforcing steel to be grade 40 and conform to A.S.T.M. Spec. A 615. Unless otherwise noted.
- 21) Steel post cap plates to conform to A.S.T.M., Spec. A 36, Fy = 36,000 p.s.i. Bolts shall be A.S.T.M. A 307 or better.
- 22) Steel columns in basement to be adjustable 3" I.D. S40 columns unless specified otherwise.
- 23) All structural wood framing, including roof and floor sheathing, to be in accordance with the "National Design Specifications for Wood Construction", published by The National Forest Products Association. Framing lumber shall be of the following grades or better:

CLASSIFICATION	SIZE	BENDING MODULUS OF	
		"Fb"	ELASTICITY "E"
POSTS #1 D.F.		1200	1600000
HEADERS, BEAMS, ROOF HIPS #1 S.P.	2x4	1850	1700000
	2x6	1650	1700000
	2x8	1500	1700000
	2x10	1300	1700000
	2x12	1250	1700000
RAFTERS, JOISTS AND STUDS #2 H.F.	2x4	1050	1500000
	2x6	1000	1500000
	2x8	1000	1500000
	2x10	1000	1500000
	2x12	1000	1500000
Gang-Lam Beams (Fv = 285 PSI)	all	2600	1900000

- 24) All headers to be 2 - 2" x 10" s unless specified otherwise.
- 25) Provide double jack studs at each end of headers and beams up to 4'-0" long, follow C.A.B.O. with longer spans.
- 26) Splices of the bottom and top portion of a double top plate must be staggered a minimum of 4'-0".

- 27) All roof, floor and girder trusses to be designed by truss manufacturer to carry required loads and to be installed according to manufacturer's specifications.
- 28) Contractor to provide architect with shop drawings for all roof and floor trusses for approval.
- 29) Provide solid blocking under all jack studs not bearing directly on joists or T.J.I.'s.
- 30) In those cases where floor trusses are not centered directly over the studs, splices of the top plate shall occur only over the studs.
- 31) Where installation of plumbing, heating or other pipes necessitates cutting of top plates, a metal tie not less than eighteen gauge, forty-five thousandths (0.045)" thickness and 1 1/2" wide shall be fastened to the plate across and to each side of the opening with not less than 16d nails.
- 32) Double beams, double hip and valley rafters shall be nailed securely together to ensure that the two members act conjointly in resisting the applied load.
- 33) Unless specified otherwise provide the following lintel over masonry openings:

BRICK: * UP TO	3'-0"	3 1/2" x 3 1/2" x 1/4"
	5'-0"	3 1/2" x 4" x 1/4"
	8'-0"	3 1/2" x 5" x 5/16"
	9'-0"	3 1/2" x 6" x 5/16"
STONE: UP TO	3'-0"	6" x 4" x 5/16"
	5'-0"	6" x 6" x 5/16"
	8'-0"	6" x 6" x 3/8"
	9'-0"	6" x 8" x 7/16"

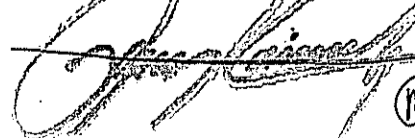
- \* Provide one angle per 4" of brick thickness.
- \* Provide one angle per 6" of stone thickness.
- All angles to have 4" bearing at each end min.

- 34) All untreated lumber to be minimum of 8" above finished grade. All lumber in contact with concrete or c.m.u. to be pressure treated.
- 35) All prefab fireplaces to be U.L. rated and installed according to manufacturers specifications.
- 36) Fireplaces with terminations higher than 35'-0" above adjacent grade to be solid masonry.
- 37) Chimney and fireplace construction to be in accordance with C.A.B.O. Chapter 10 and fig. R-1003.1.

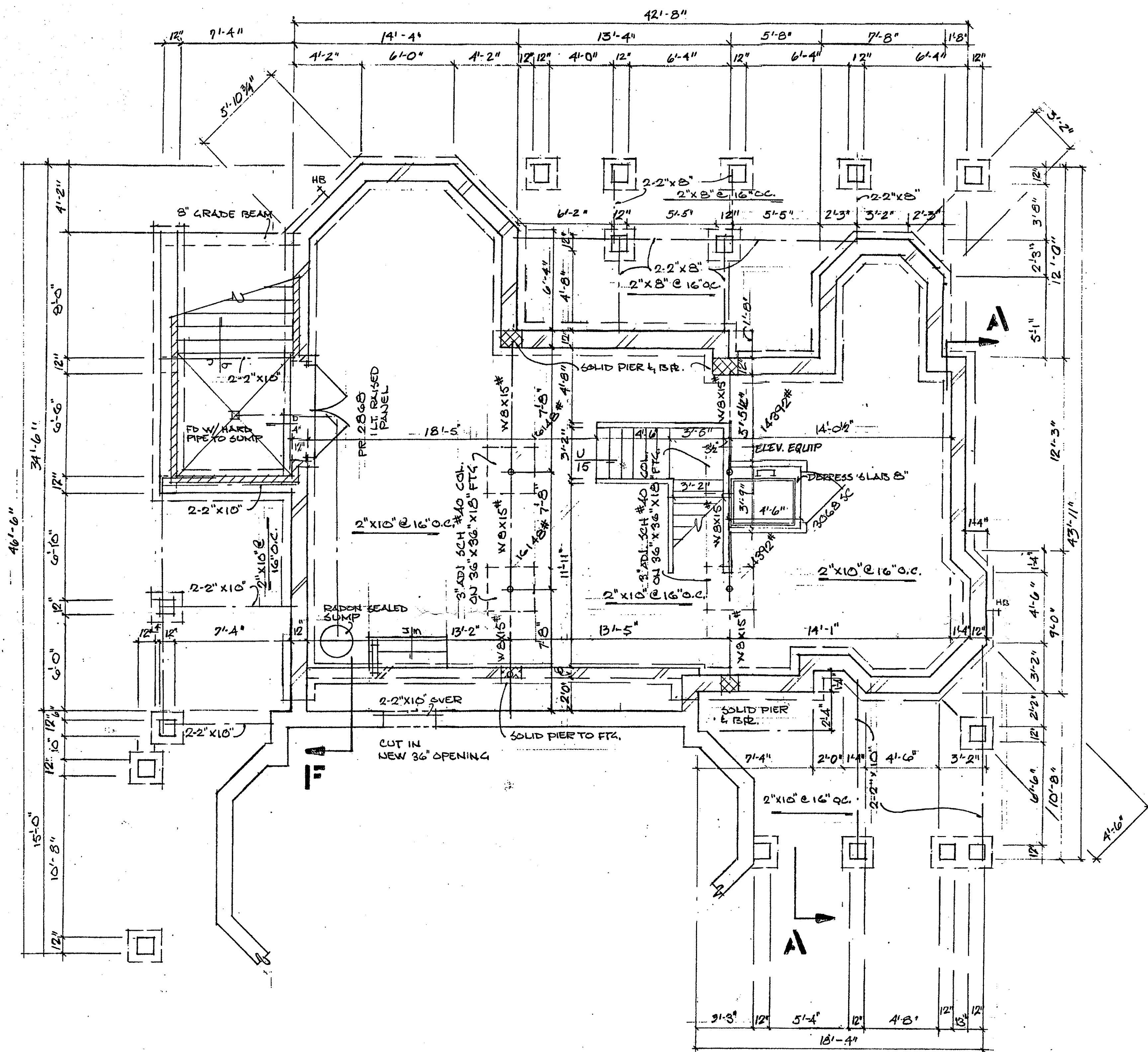
- 38) Fireplace hearth to project 20" from front of facing and 12" to side of opening.
  - 39) Firestopping shall be provided according to C.A.B.O. Sec. R - 602.7. The integrity of all firestopping shall be maintained.
  - 40) Draftstopping shall be provided according to C.A.B.O. Sec. R - 602.7.
  - 41) Provide radon mitigation according to C.A.B.O. Sec. R - 324.
  - 42) Provide interconnected smoke detectors to protect all floors, bedrooms, and basement according to C.A.B.O. Sec. R-316
  - 43) Stairways shall comply with C.A.B.O. Sec. R-314. Minimum headroom to be 6'-8" clear at all points. Minimum tread to be 9". Maximum riser to be 8 1/4" as per 4-97 amendments.
  - 44) Handrails & guardrails shall comply to C.A.B.O. Sec. R-315.
  - 45) All exits shall comply to C.A.B.O. Sec. R-310.
  - 46) Sleeping room windows shall comply with C.A.B.O. Sec. R-310.2.1. & 4-97 amendments. Maximum sill height 44" above finished floor.
  - 47) All Glazing shall comply to C.A.B.O. Sec. R-308.
  - 48) All Ceiling heights shall comply to C.A.B.O. Sec. R-305.
  - 49) All exterior wall coverings shall comply to C.A.B.O. Sec. R-703.
  - 50) All gas piping shall conform to N.F.P.A. 54.
  - 51) Electrical wiring must conform to the 1993 National Electrical Code and County Requirements.
- Note: Builder shall provide roof framing plans signed and sealed by truss manufacturer and shop drawings for floor joists at framing inspection.
- Note: Trusses shall be braced per. manufactures recommendations.

**CLAUDE C. LAPP**  
**ARCHITECT**  
**11820 PARKLAWN DR.**  
**ROCKVILLE, MD 20852**  
**TEL. 301-881-6856 FAX. 301-770-9163**

APPROVED  
 Montgomery County  
 Historic Preservation Commission

  
 10/13/00

*Hpc copy*



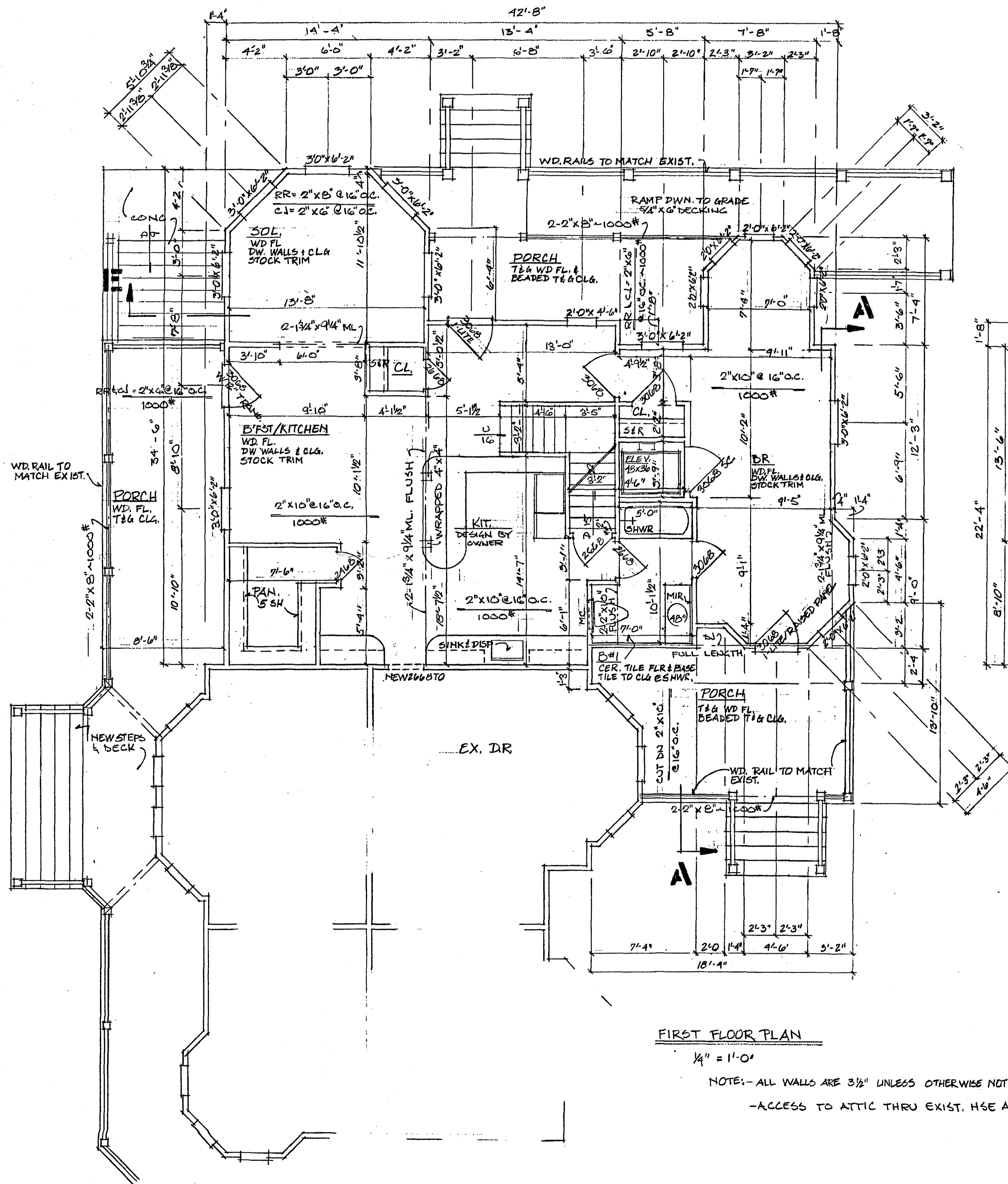
**BASEMENT PLAN**

1/4" = 1'-0"  
 NOTE: - ALL WALLS ARE 3/2" UNLESS OTHERWISE NOTED.  
 - SET PORCH BEAMS W/ SLOPE

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 10/13/00

Contractor to check and verify all dimensions and conditions in field prior to start of construction. Notify architect of any discrepancies.

CLAUDE C. LAPP ARCHITECT 11820 PARKLAWN DRIVE, SUITE 100 ROCKVILLE, MD 20852-2529 301-881-6555 FAX 301-770-9163				
ADDITION TO: <b>MORGAN RESIDENCE</b>				
DRAWN BY	DATE	LOT NO.	BLOCK	DWG. NO.
CHECKED BY	10-6-00			1
		SECTION	JOB NO.	

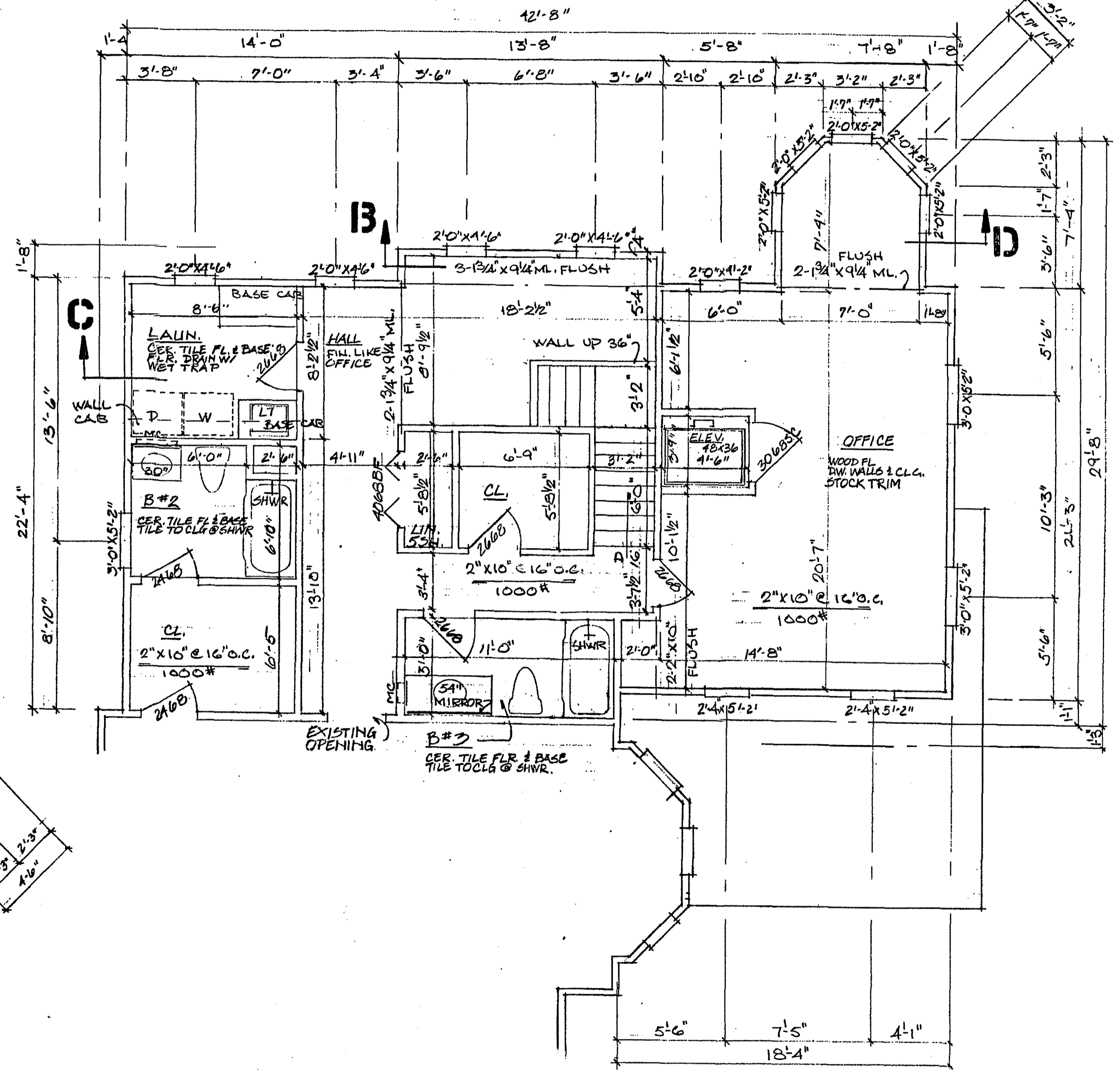


FIRST FLOOR PLAN

1/4" = 1'-0"

NOTE: - ALL WALLS ARE 3/8" UNLESS OTHERWISE NOTED.

- ACCESS TO ATTIC THRU EXIST. HSE ACCESS



SECOND FLOOR PLAN

1/4" = 1'-0"

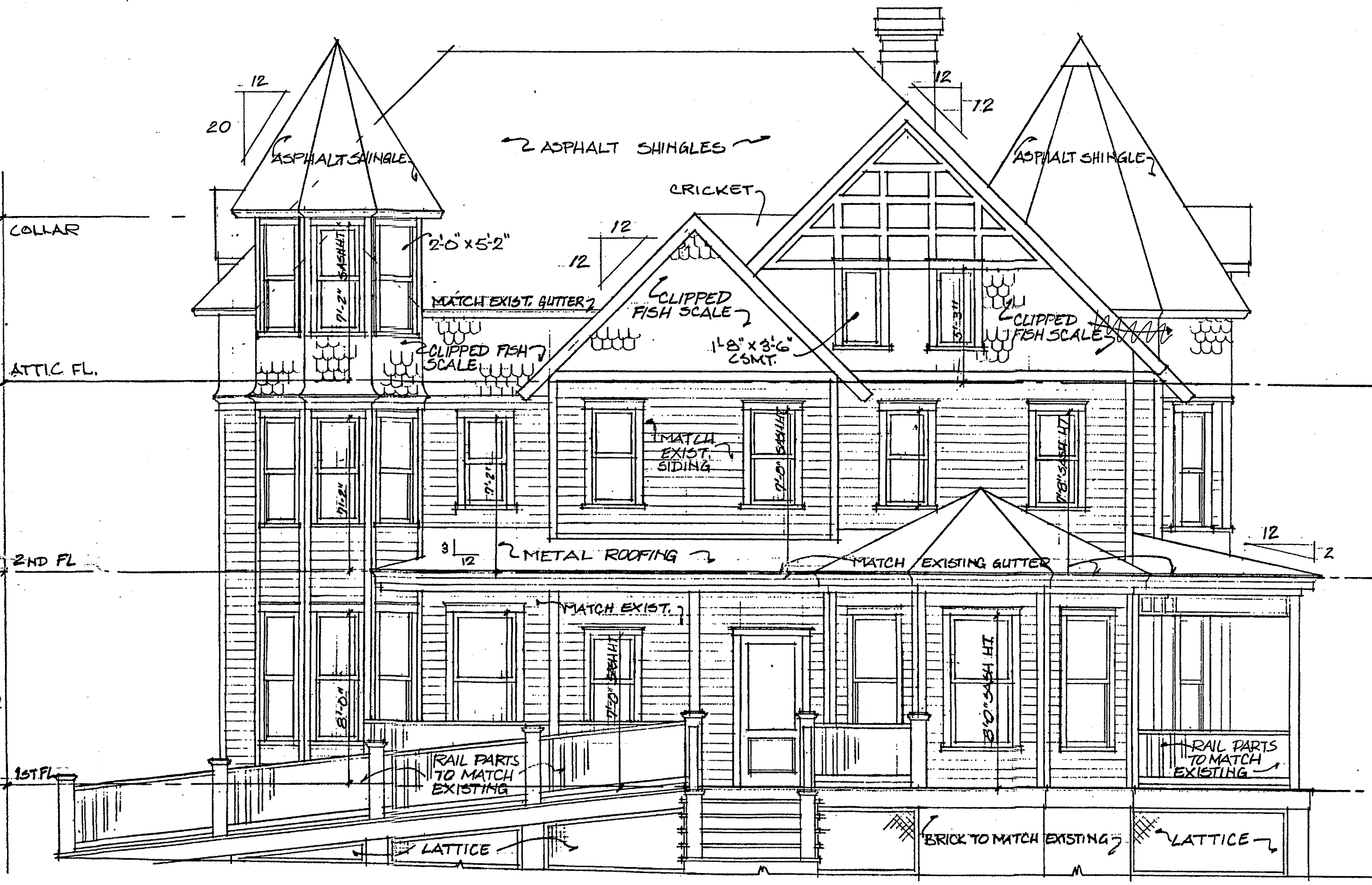
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
10/13/00

Contractor to check and verify all dimensions and conditions in field prior to start of construction. Notify architect of any discrepancies.

CLAUDE C. LAPP ARCHITECT 11820 PARKLAWN DRIVE, SUITE 100 ROCKVILLE, MD 20852-2529 301-801-6856 FAX 301-770-9163				
ADDITION TO: MORGAN RESIDENCE				
DRAWN BY	DATES	LOT NO.	BLOCK	DRWG. NO.
CHECKED BY	8-14-00 10-6-00			2
		SECTION	JOB NO.	



FRONT ELEVATION  
1/4" = 1'-0"



REAR ELEVATION  
1/4" = 1'-0"

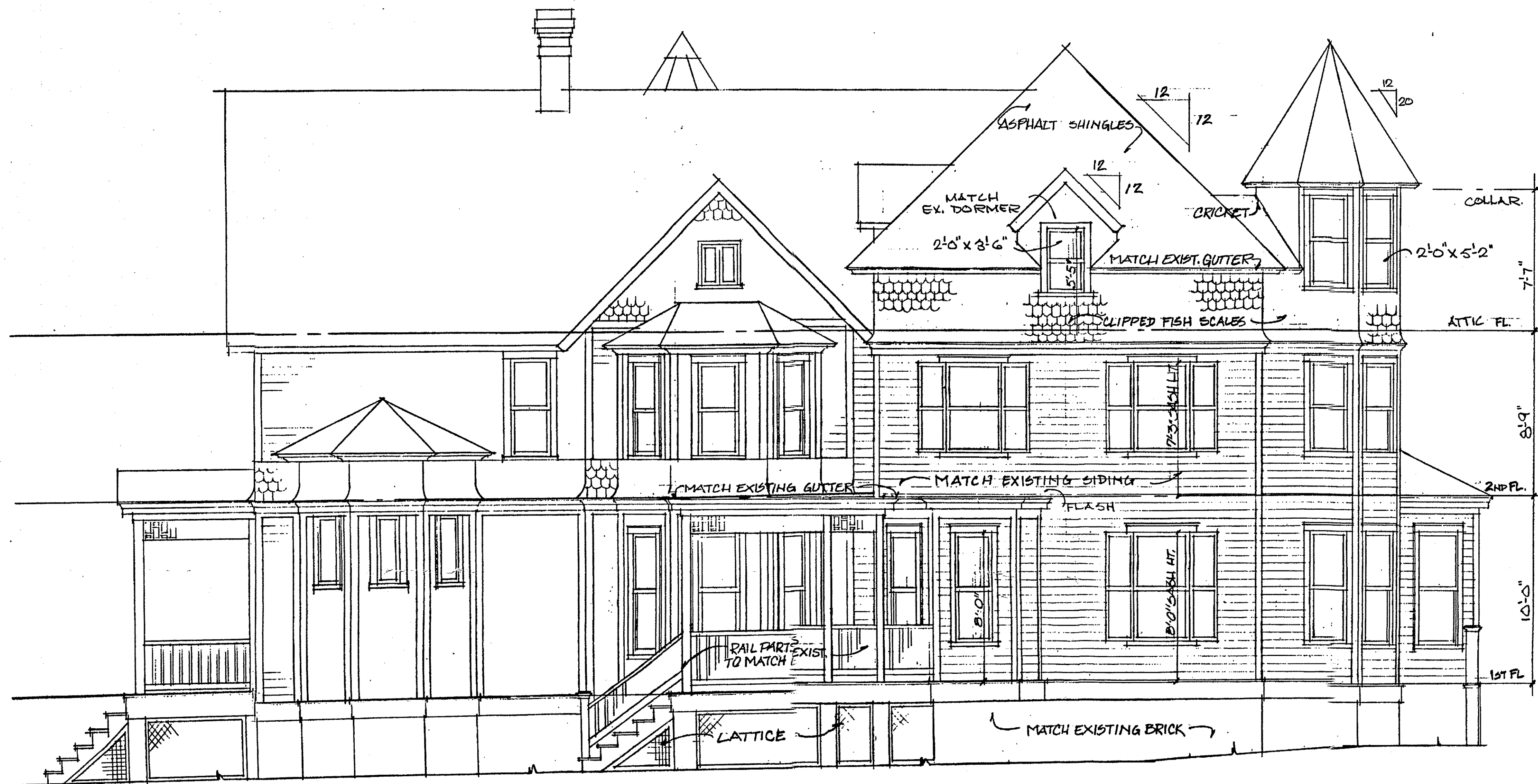
EXIST NEW

NEEDS TO BE DIFFERENT DESIGN FROM FRONT ORIGINAL.

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
10/13/00

Contractor to check and verify all dimensions and conditions in field prior to start of construction. Notify architect of any discrepancies.

CLAUDE C. LAPP ARCHITECT 11820 PARKLAWN DRIVE, SUITE 100 ROCKVILLE, MD 20852-3529 301-881-6856 FAX 301-770-9163				
ADDITION TO: MORGAN RESIDENCE				
DRAWN BY	DATE	LOT NO.	BLOCK	DRWG. NO.
	8-14-00			
CHECKED BY	DATE	SECTION	JOB NO.	
	10-6-00			3



RIGHT SIDE  
1/4" = 1'-0"

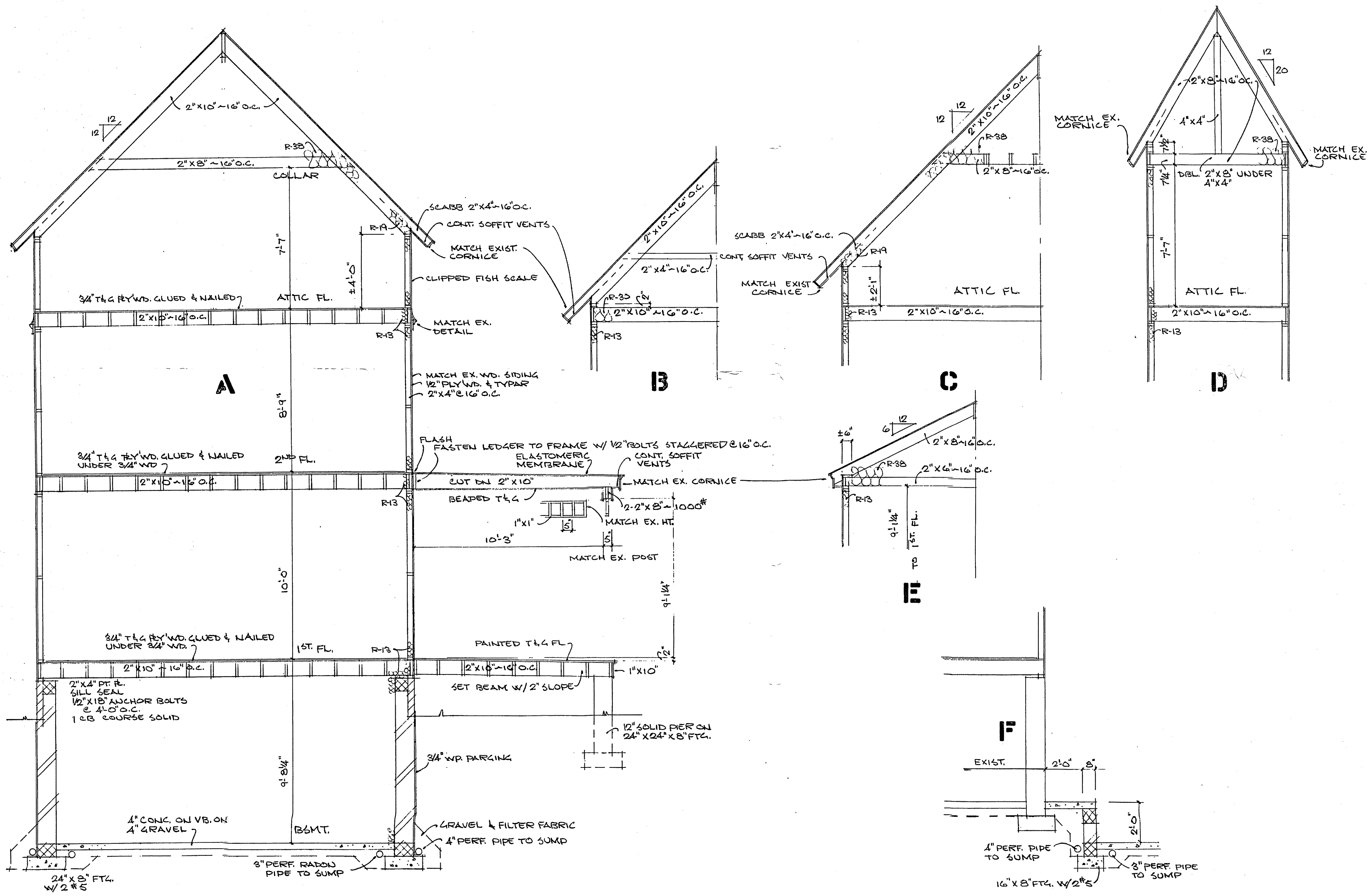
Contractor to check and verify all dimensions and conditions in field prior to start of construction. Notify architect of any discrepancies.

CLAUDE C. LAPP ARCHITECT 11820 PARKLAWN DRIVE, SUITE 100 ROCKVILLE, MD 20852-2529 301-881-6255 FAX 301-770-9163				
ADDITION TO: MORGAN RESIDENCE				
DRAWN BY	DATE	LOT NO.	BLOCK	DRWG. NO.
	8-14-00			4
CHECKED BY	DATE	SECTION	JOB NO.	
	10-6-00			



Contractor to check and verify all dimensions and conditions in field prior to start of construction. Notify architect of any discrepancies.

CLAUDE C. LAPP ARCHITECT 11820 PARKLAWN DRIVE, SUITE 100 ROCKVILLE, MD 20852-2529 301-831-8556 FAX 301-770-9163				
ADDITION TO: MORGAN RESIDENCE				
DRAWN BY	DATE	LOT NO.	BLOCK	DRWG. NO.
	8-14-00			
CHECKED BY	10-6-00	SECTION	JOB NO.	5



SECTIONS  
 3/8" = 1'-0"

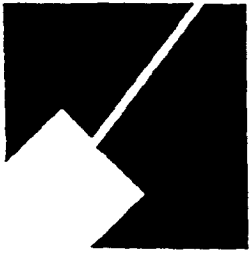
Contractor to check and verify all dimensions and conditions in field prior to start of construction. Notify architect of any discrepancies.

CLAUDE C. LAPP  
 ARCHITECT  
 11820 PARKLAWN DRIVE, SUITE 100  
 ROCKVILLE, MD 20852-2529  
 301-931-6396 FAX 301-770-9163

**ADDITION TO:  
 MORGAN RESIDENCE**

DRAWN BY	DATE	LOT NO.	BLOCK	DRWG. NO.
CHECKED BY	10-6-00	SECTION	JOB NO.	6

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 10/13/00

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation KAN

SUBJECT: Historic Area Work Permit DPS# 217797 HPC# 30/13-00B

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

         Approved

X          Approved with Conditions: 1. The spindlework and details on the new north elevation porch be the same size but of different patterns and be constructed from wood. 2. The wood clapboard on the new additions should be 2" larger in width and be separated from the original massing with vertical wood trim. 3. The gable ends of the new construction are to be ornamented with a *clipped* fish scale shingle- to differentiate them from the original. 4. The window surrounds are to be of simpler design as to not replicate the existing. 5. The owner will use new door applications and not salvaged doors from Old House Parts. The new windows and doors will be wood. The windows will be true-divided light. 6. Healthy trees to be removed should be replaced with a tree on the County's Native Species List---somewhere on the said property.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: RICHARD AND PAM MORGAN

Address: 4710 WAVERLY AVE, GARRETT PARK

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Pam Morgan

Daytime Phone No.: 301-942-1030  
FX 901-942-0025

Tax Account No.: 000 58512

Name of Property Owner: Richard C & PN Morgan Daytime Phone No.: 301-942-1030

Address: 4710 Waverly Ave, Po Box 424, Garrett Park, MD 20896-0424  
Street Number City Street Zip Code

Contractor: tbd or ourselves Phone No.: -

Contractor Registration No.: -

Agent for Owner: tbd or none Daytime Phone No.: -

LOCATION OF BUILDING/PREMISE

House Number: 4710 Street: Waverly Avenue

Town/City: Garrett Park Nearest Cross Street: Montrose Avenue

Lot: 16+PTLT17 Block: 99 Subdivision: Garrett Park 003 = SUB

Liber: 11684 Folio: 187 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: driveway, tree removal

1B. Construction cost estimate: \$ 120,000

1C. If this is a revision of a previously approved active permit, see Permit # n/a

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other:

2B. Type of water supply: 01  WSSC 02  Well 03  Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Richard C. Morgan  
Pamela N. Morgan  
Signature of owner or authorized agent

4/18/00  
Date

Approved: X W/CONDITIONS for Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 10/13/00

Application/Permit No.: 217797 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Garrett Park is a well-known historic town, described in the Master Plan. The house was built in 1891 as a summer home. It has two habitable floors, a low-ceiling attic, and a low-ceiling basement. It had an extensive addition at the rear of materials and construction inferior to the original. It also had an extension by the previous owners at the rear without building permit (I believe) and with exposed plumbing not insulated to code (giving frozen pipe problems). Other inferior construction problems include sinking foundation, which also leaks.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is to alter, extend, and improve the inferior rear extensions. Foundations will be strengthened, drafts from holes in walls and foundations stopped, and plumbing re-worked. The extension will be used for an elderly semi-invalid mother so the project includes a ramp for disabled access. These changes at the rear are not visible from the public right-of-way.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: 10/13/00

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC  
Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner  
Michele Naru, Historic Preservation Planner MN

SUBJECT: Historic Area Work Permit Application - HPC Decision

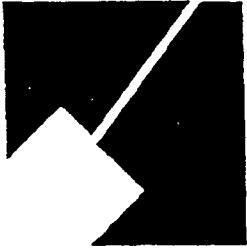
HPC# 30/13-00B DPS# 217797

The Historic Preservation Commission reviewed this project on 10/12/00  
A copy of the HPC decision is enclosed for your information.

ORIG. METG  
5/10/00

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 10/13/00

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits DPS# 217797 HPC# 30/13-00B

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

## HISTORIC PRESERVATION COMMISSION STAFF REPORT

**Address:** 4710 Waverly Ave, Garrett Park      **Meeting Date:** 05/10/00  
**Resource:** Garrett Park Historic District      **Report Date:** 05/03/00  
**Review:** HAWP      **Public Notice:** 04/26/00  
**Case Number:** 30/13-00B      **Tax Credit:** None  
**Applicant:** Richard and Pam Morgan      **Staff:** Michele Naru  
**PROPOSAL:** Side and rear additions      **RECOMMEND:** Approve w/ cond.

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### PROJECT DESCRIPTION

**SIGNIFICANCE:** Outstanding Resource in Garrett Park Historic District.  
**STYLE:** Queen Anne  
**DATE:** 1889

This three-story, three-bay frame dwelling is an outstanding resource located in the Garrett Park Historic District. The house has a full-width front gable roof ornamented with a hexagonal tower. The walls are clad in clapboard with wood shingle and half-timber detailing in the gable ends. A one-story, wrap-around porch with pedimented entry extends across the front elevation of the house. The porch is ornamented with elaborate spindlework porch supports, frieze and balustrade. Alterations to the original main block of the house includes two rear additions, one circa 1898 and one circa 1986.

### PROPOSAL:

The applicant proposes to increase the the existing house 1241 sq. ft. by (Circle    ):

1. Extending the existing wrap-around porch around the south elevation and constructing a two-story side addition with a 2-1/2 story hexagonal tower (to house a new elevator) and rear porch. The vocabulary of the existing front porch and the original block of the house will be continued throughout the new porch extension and two-story addition.
2. Constructing a one-story porch on the north elevation. This porch will also mimic the existing vocabulary of the original porch.
3. Constructing a 1-1/2 story addition on top of the existing non-historic, one-story, rear addition. Extending this addition by constructing a new 2-1/2 story extension and 1 story sunroom to its east elevation.

4. Constructing a ramp at the rear to allow for disabled access.
5. Removing original driveway and constructing a new driveway along the south side of the house.

The materials used on the new additions and porches will match the fabric of the original block. These elements include porch spindlework and details, clapboard siding, half-timbering and shingles in the gable ends, true-divided light wood windows and doors from Old House Parts.

### **STAFF DISCUSSION**

Staff applauds the care and thought that has been put into the architectural design of these new additions. Staff feels that much of the design is respectful of the original structure and is in keeping with the period of the house. However, staff is concerned with the alterations to the original block of the house. This is an outstanding resource in the historic district and is subject to the highest level of review. Changes to the main block of an outstanding resource are problematic.

The continuation of the wrap-around porch along its south elevation as proposed will change the existing character defining configuration of the house. The Queen Anne Style is notable for its asymmetrical porch types. Changing the original configuration of the porch will alter the historic integrity and the asymmetrical design of this outstanding resource. It is for these reasons that staff does not support this alteration to the main block.

Staff generally supports alterations to outstanding resources on rear additions that are not visible from the public right-of-way. Although, the design scheme for the 2-1/2 story, c.1898 rear addition will result in no changes to the original block of the house, additions to a building that have acquired historic significance in its own right should generally be preserved. This addition is a very large addition to this outstanding resource in Garrett Park. Staff is concerned with the magnitude of this project and would encourage the applicant to reduce its size. Staff notes that this proposed addition is designed to provide a living space for an elderly semi-invalid family member. The applicant needs this additional space and an elevator to accommodate the expansion of their household. Staff supports the modifications to the rear although the modifications will be sacrificing the integrity of the historic rear addition.

Staff feels that the height of the proposed 2-1/2 story, c. 1898, rear addition is not problematic due to the lot's grading. The existing house sits on a lot that is significantly above street level. Therefore, the alterations to the rear will not be visible from the right-of-way. (The chimney on the main block is not visible from the public right-of-way and staff notes that the chimney is notably taller than the proposed height of the new addition.)

Staff is concerned that the proposed rear changes will read as part of the original massing of the house. Staff would encourage the applicant to change the materials and design of the details so

the new additions read clearly as contemporary additions to the house. In order to differentiate the original from the new staff suggests that:

1. The spindlework and details on the new north elevation porch be the same size but of different patterns.
2. The clapboard on the new additions should be 2" larger in width and be separated from the original massing with vertical wood trim.
3. The gable ends are to be ornamented with an imbrication of a different pattern (See Circle ) and the half-timbering is not to be used.
4. The window surrounds are to be of simpler design as to not replicate the existing.
5. The owner should use new door applications and not salvaged doors from Old House Parts. The use of historic salvaged pieces on new construction gives a false sense of history.

The rear, one-story addition was built in 1986. Staff does approve the modifications to this addition.

The applicant is also proposing a change in the location of the lot's driveway. Presently the driveway is located along the north elevation. The applicant desires to move the driveway parallel to the south elevation of the house. Staff encourages this modification, because the existing driveway separates the house from the adjacent lot which is part of the owners property. Moving this driveway erases this division and allows one to view the adjacent parcel as being associated with the house.

The applicant has provided the Commission with a tree survey indicating the trees to be removed for this proposal (Circle ). The applicant has also provided staff with a letter from a certified arborist on the status of the trees to be removed (Circle ). The trees to be removed are a 12"dia. cedar, 7"dia. dogwood, 18"dia. evergreen, 14"dia. evergreen, and three trees are potentially dead or dying. Removal of healthy trees is generally discouraged, however, this lot is heavily wooded and staff feels that the removal of these trees will not adversely affect the lot's environmental setting. As a pro-active measure, staff would encourage the applicant to plant a tree on the lot for every healthy tree to be removed.

The **Garrett Park LAP** has not responded to the HAWP application at the time this report was prepared.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with conditions** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

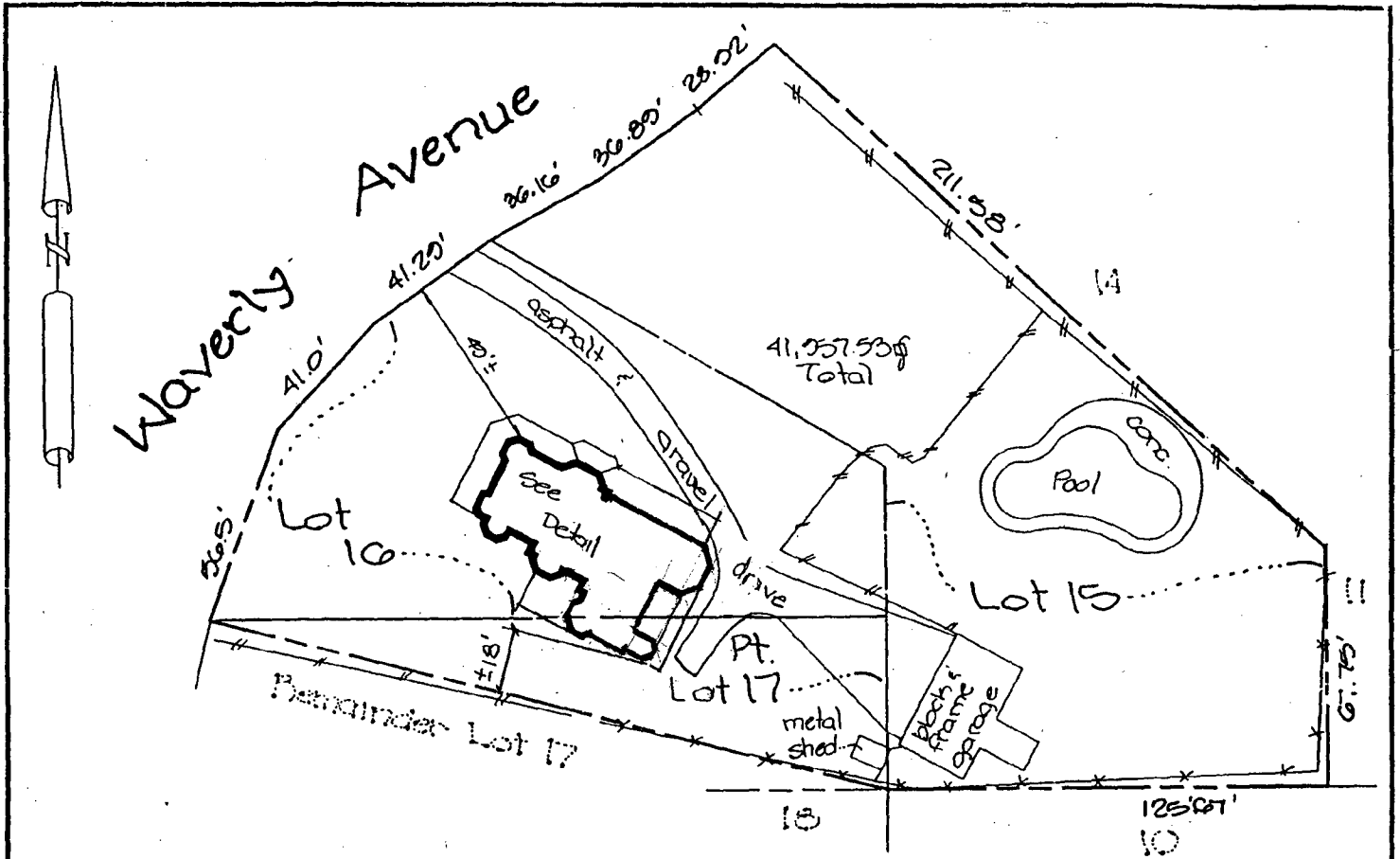
and with the conditions:

1. Applicant to get staff level approval for all exterior materials to be used on the new additions and extensions.
2. Healthy trees to be removed should be replaced with a tree on the native species list somewhere on said property.
3. New wood doors to be installed on new additions. Historic salvaged doors are not to be used.
4. The wrap-around front porch is not continued around the south elevation.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.

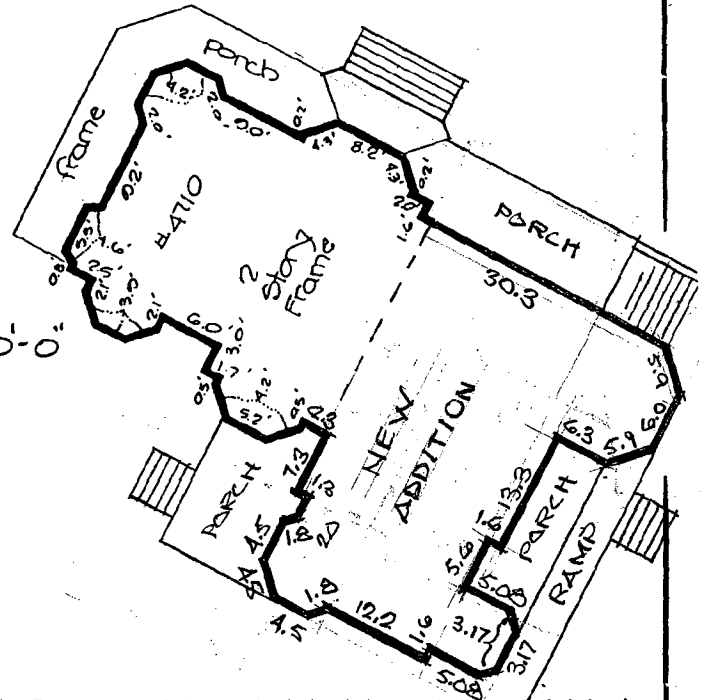


NOTE: This location for title purposes only - not to be used for determining property lines. Property Corner Markers NOT guaranteed by this location



Notes:

- 1) H.U.D panel not available
- 2) Fences and/or walls shown are for picture purposes only. The exact location can only be determined by a class 3 boundary survey or better with the property corners being set.



Location of House  
 Lots 15 & 16 and Part of Lot 17, Block 20  
**Garrett Park**  
 Montgomery County, Maryland  
 10-6-00

Building Line and/or Flood Zone Information is taken from Available Sources and is Subject to Interpretation of Originator.

MECcheck COMPLIANCE REPORT  
 1995 Model Energy Code  
 MECcheck Software Version 2.0

Permit #
Checked by/Date

COUNTY: Montgomery  
 STATE: Maryland  
 HDD: 4999  
 CONSTRUCTION TYPE: Single Family  
 DATE: 10-7-1997

DATE OF PLANS: 10-6-2000

TITLE:  
 PROJECT INFORMATION:  
 Addition to:  
 Morgan Residence

COMPLIANCE: PASSES  
 Required UA = 643  
 Your Home = 625

	Area or Perimeter	Insul R-Value	Sheath R-Value	Glazing/Door U-Value	UA
CEILINGS	220	19.0	0.0		11
CEILINGS	880	38.0	0.0		26
WALLS: Wood Frame, 16" O.C.	3025	13.0	0.0		249
WALLS: Masonry	87	13.0	0.0		7
GLAZING: Windows or Doors	519			0.500	260
BSMT: 8.7' ht/5.5' bg/8.7' insul.	1136	13.0			64
SLAB FLOORS: Unheated, 36.0" insul.	11	4.0			8

COMPLIANCE STATEMENT: The proposed building design represented in these documents is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the requirements of the 1995 CABO Model Energy Code.

Builder/Designer \_\_\_\_\_ Date \_\_\_\_\_

MECcheck INSPECTION CHECKLIST  
1995 Model Energy Code  
MECcheck Software Version 2.0

DATE: 10-7-1997

Bldg.  
Dept.  
Use

CEILINGS:

- [ ] 1. R-19  
Comments/Location \_\_\_\_\_
- [ ] 2. R-38  
Comments/Location \_\_\_\_\_

WALLS:

- [ ] 1. Wood Frame, 16" O.C., R-13  
Comments/Location \_\_\_\_\_
- [ ] 2. Masonry, R-13  
Comments/Location \_\_\_\_\_

WINDOWS AND GLASS DOORS:

- [ ] 1. U-value: 0.50  
For windows without labeled U-values, describe features:  
# Panes \_\_\_\_\_ Frame Type \_\_\_\_\_ Thermal Break? [ ] Yes [ ] No  
Comments/Location \_\_\_\_\_

BASEMENT WALLS:

- [ ] 1. 8.7' ht/5.5' bg/8.7' insul., R-13  
Comments/Location \_\_\_\_\_

SLAB-ON-GRADE FLOORS:

- [ ] 1. Unheated, 36.0" insul., R-4  
Comments/Location \_\_\_\_\_  
Slab insulation to extend down from the top of the slab to at least 36" OR down to at least the bottom of the slab then horizontally for a total distance of 36".

AIR LEAKAGE:

- [ ] Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage must be sealed. Recessed lights must be type IC rated and installed with no penetrations or installed inside an appropriate air-tight assembly with a 0.5" clearance from combustible materials and 3" clearance from insulation.

VAPOR RETARDER:

- [ ] Required on the warm-in-winter side of all non-vented framed ceilings, walls, and floors.

MATERIALS IDENTIFICATION:

- [ ] Materials and equipment must be identified so that compliance can be determined. Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment must be provided. Insulation R-values and glazing U-values must be clearly marked on the building plans or specifications.

DUCT INSULATION:

- [ ] Ducts in unconditioned spaces must be insulated to R-5.

Ducts outside the building must be insulated to R-8.0.

**DUCT CONSTRUCTION:**

- [ ] All ducts must be sealed with mastic and fibrous backing tape. Pressure-sensitive tape may be used for fibrous ducts. The HVAC system must provide a means for balancing air and water systems.

**TEMPERATURE CONTROLS:**

- [ ] Thermostats are required for each separate HVAC system. A manual or automatic means to partially restrict or shut off the heating and/or cooling input to each zone or floor shall be provided.

**MISC REQUIREMENTS:**

- [ ] Refer to the MECcheck Manual for requirements relating to swimming pools, HVAC piping conveying fluids above 120 F or chilled fluids below 55 F, and circulating hot water systems.

-----NOTES TO FIELD (Building Department Use Only)-----

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Page 1

House Location  
Lots 15 & 16, Section No. 99  
&

Sub Lot 1 of 17 in Mrs Hadassah H. Hellen's  
Subdivision of Lot No 17, Section 99  
As Amended  
GARRETT PARK  
Montgomery County, Maryland

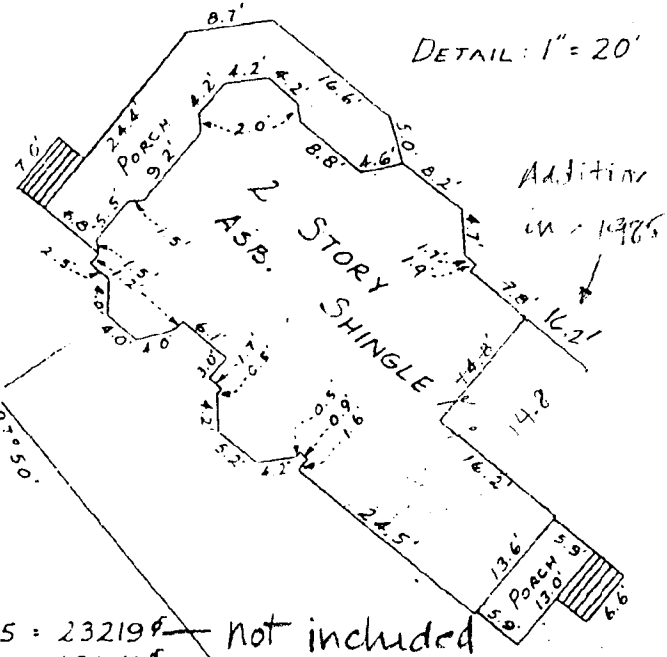
I hereby certify that the plan shown hereon is correct, and that the improvements are correctly shown on this plan.

August 20, 1962  
Scale: 1" = 40'  
Plat Book A, Plat 24  
Map J.A. 4, Folio 121

*William Neal Hurley, Jr.*  
William Neal Hurley, Jr., Surveyor  
Md 3025

See enlargement  
for 1" = 20' scale

DETAIL: 1" = 20'



Lot 15	=	23219¢	not included
Lot 16	=	13941¢	
Sub Lot Of 17	=	4796¢	
<b>TOTAL</b>	=	<b>41,956¢</b>	

WAVERLY AVENUE

WAVERLY

201.0'±  
REMAINING PART OF  
Lot 17 NOT INCLUDED

99



240°13'



128.7'

4710 Waverly Avenue

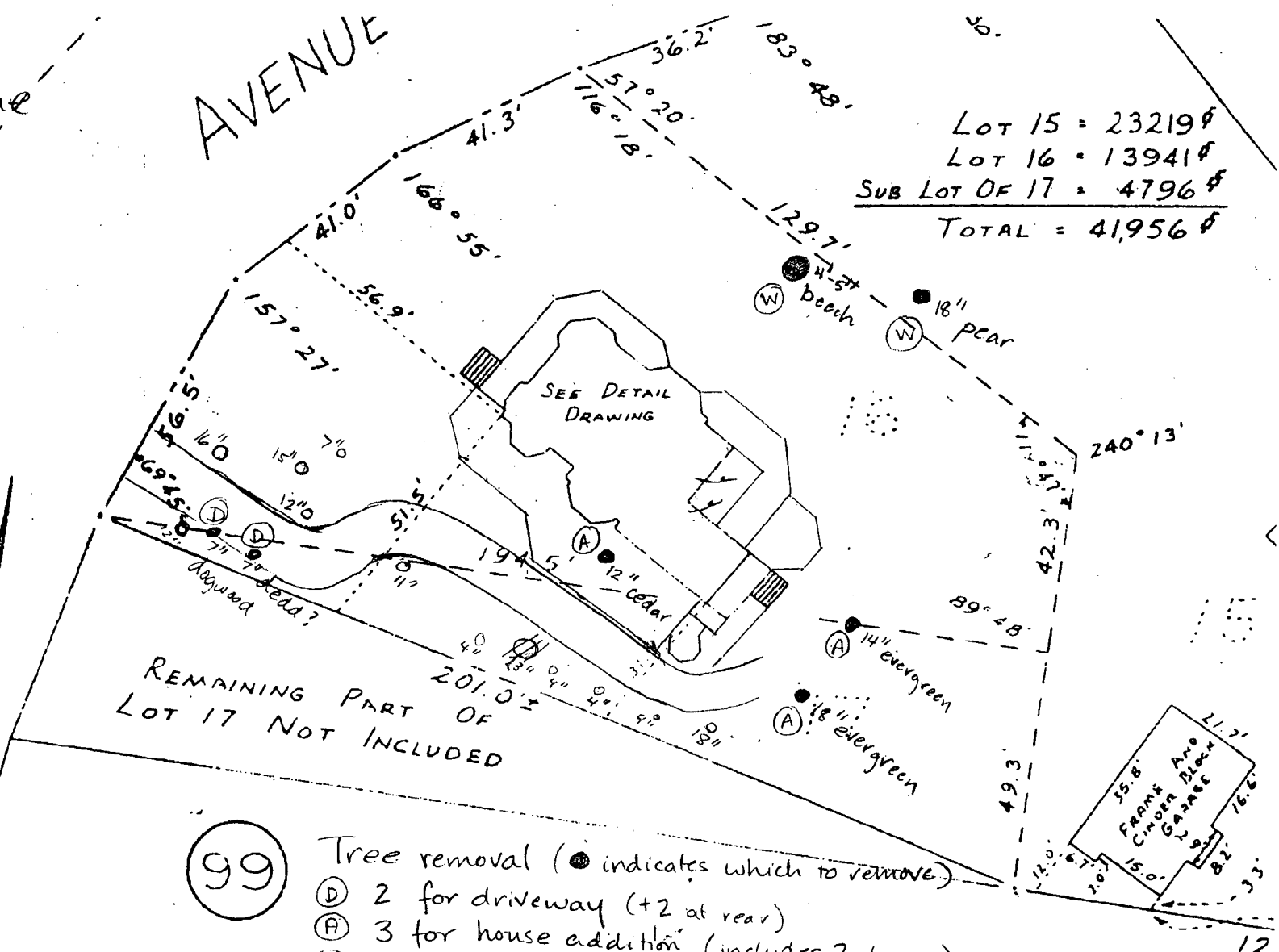
TREE SURVEY

WAVERLY

AVENUE

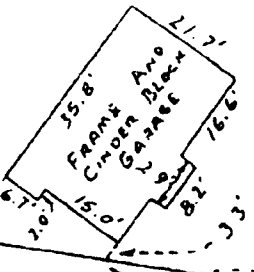
Lot 15 = 23219¢  
 Lot 16 = 13941¢  
 SUB LOT OF 17 = 4796¢  
 TOTAL = 41,956¢

REMAINING PART OF  
 LOT 17 NOT INCLUDED



99

- Tree removal (● indicates which to remove)
- (D) 2 for driveway (+2 at rear)
- (A) 3 for house addition (includes 2 at rear)
- (W) 2 very old, weak; fear falling.
- ⊗ Drip line over new addition



4710 Waverly Ave. Garrett Park

## Adjacent and Confronting Property Owners

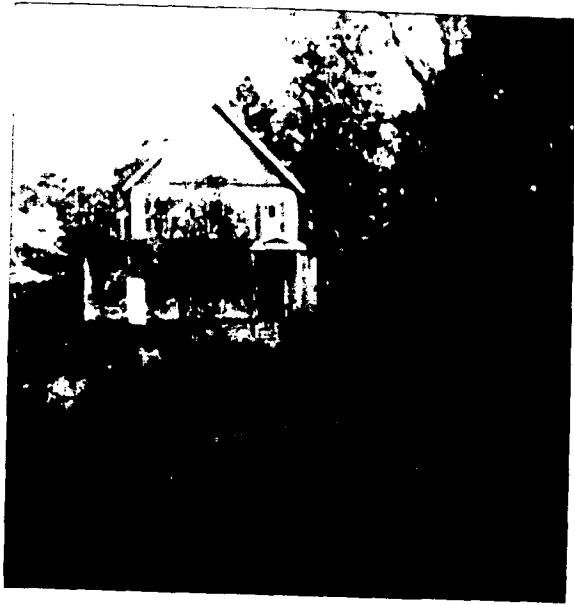
Pat Rye and Bill Spinard (adjacent, northeast)  
4702 Waverly Ave.  
Po Box 312  
Garrett Park, MD 20896-0312

Jeff and Margaret Human (confronting, north)  
4709 Waverly Ave  
Po Box 113  
Garrett Park, MD 20896-0113

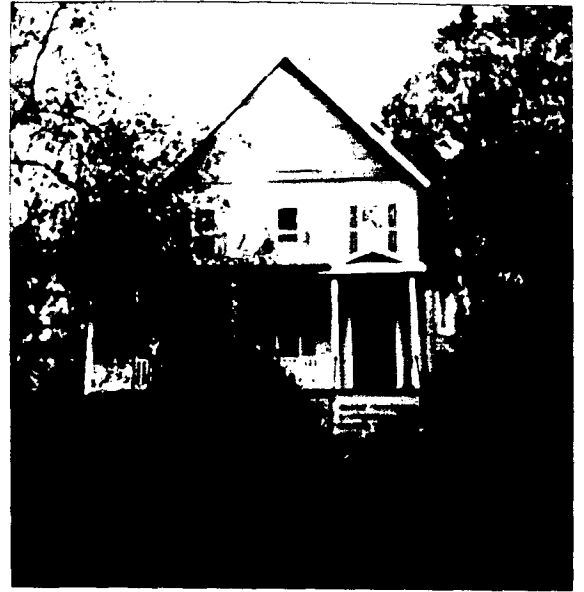
Glenn and Kitty Roberts (confronting, north west)  
4711 Waverly Ave.  
Po Box 159  
Garrett Park, MD 20896-0159

Ken and Jane Saloman (adjacent, south)  
4716 Waverly Ave  
Po Box 227  
Garrett Park, MD 20896-0227

Ruby Freer (rear, east)  
10934 Montrose Rd  
Po Box 144  
Garrett Park, MD 20896-0144  
(no building visible from rear)



**4710 Waverly Ave.  
from 4711 Waverly Ave.**



**4710 Waverly Ave.  
front elevation from public right of way**



**4710 Waverly Ave.  
from 4716 Waverly Ave.  
(left elevation)**



**4710 Waverly Ave.  
from 4716 Waverly Ave.  
(left elevation)**





**4710 Waverly Ave.  
from 4709 Waverly Ave.**



**4710 Waverly Ave.  
right elevation from public right of way**



**4710 Waverly Ave.  
right elevation from own private yard**



**4710 Waverly Ave.  
from 4702 Waverly Ave.**



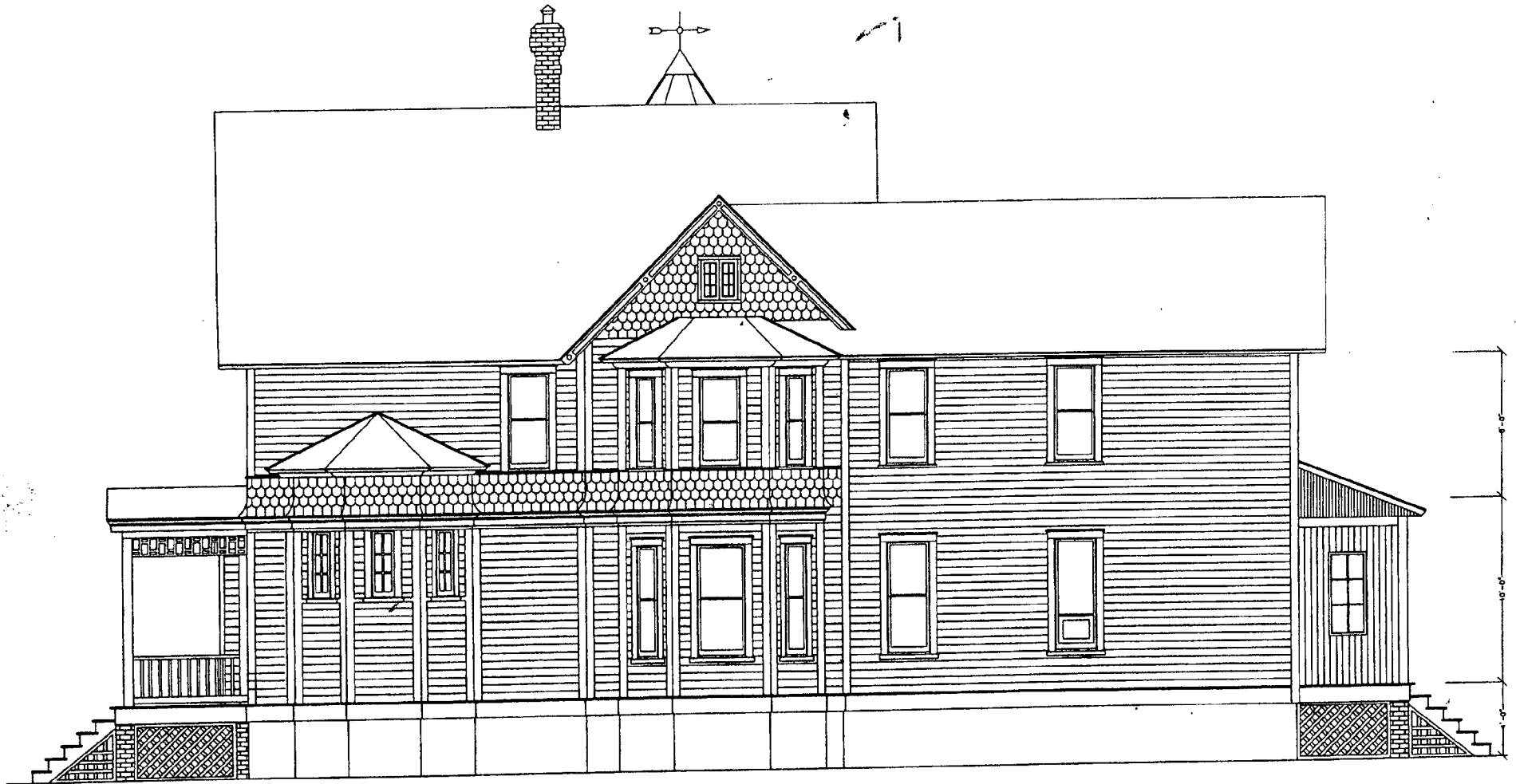
4710 Waverly Ave.  
rear elevation from own private yard



4710 Waverly Ave.  
rear elevation from own private yard

Original photographs already submitted  
to Michelle Naru, Mont Co Dept of Park & Planning,  
(301-563-3400)

Existing 2 of 4



470 Veverly Avenue, Garrett Park, MD

LEFT ELEVATION

E  
A-2

1/8"=1'-0"

Existing - 3 of 4



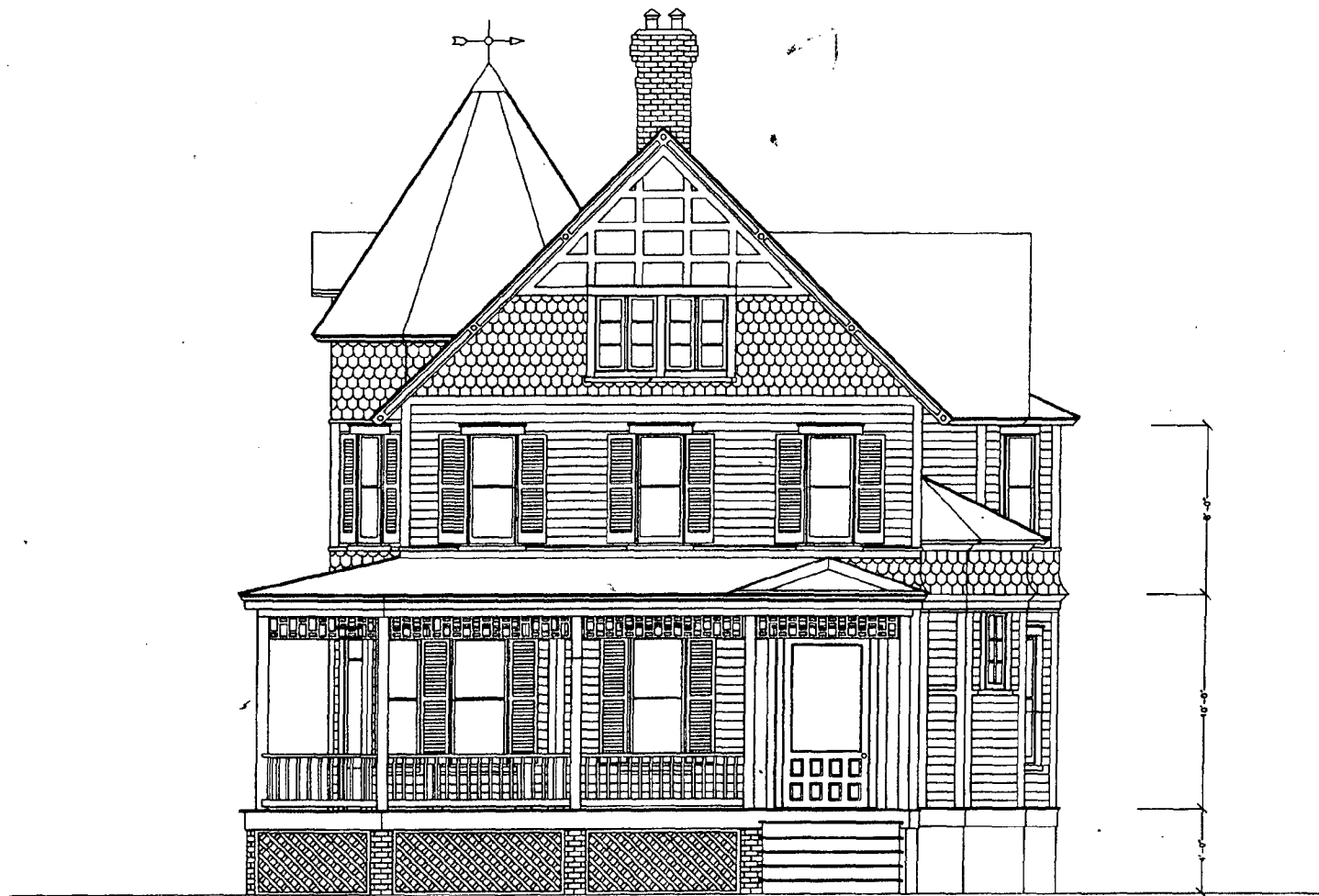
470 Voverly Avenue, Garrett Park, MD

RIGHT ELEVATION

E  
A-3

1/8"=1'-0"

Existing - 1 of 4



470 Veverly Avenue, Garrett Park, MD

FRONT ELEVATION

E  
A-1

1/8" = 1'-0"

Existing - 4 of 4



4700 Vaverly Avenue, Garrett Park, MD

REAR ELEVATION

E  
A-4

1/8"=1'-0"