

30/13-93C 10911 Kenilworth Avenue  
Garrett Park Historic District



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Robert Hubbard, Acting Chief  
Division of Development Services and Regulation  
Department of Environmental Protection

FROM: Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit

DATE: 11.2.93

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved  Denied

Approved with Conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

The Building Permit for this project should be issued conditional upon adherence to the approved Historic Area Work Permit.

Applicant: Frederiksen

Address: 10911 Kewlworth Ave, Garrett Park



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # \_\_\_\_\_

NAME OF PROPERTY OWNER Elke & Norman Frederiksen TELEPHONE NO. 301 796-5214  
(Contract/Purchaser) (Include Area Code)

ADDRESS 10911 Kenilworth Ave., Garrett Park, MD. 20896  
CITY STATE ZIP

CONTRACTOR Hudson & Ebel Construction TELEPHONE NO. 301 442-4996

PLANS PREPARED BY Breihan & Rill Architects TELEPHONE NO. 202 668-6233  
(Include Area Code)

REGISTRATION NUMBER 6363-A

LOCATION OF BUILDING/PREMISE

House Number 10911 Street Kenilworth Ave.

Town/City Garrett Park Election District \_\_\_\_\_

Nearest Cross Street Stratmore Ave.

Lot 46 Block 99 Subdivision \_\_\_\_\_

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	<u>Extend/Add</u>	Alter/Renovate	Repair	Circle One: A/C	Slab	<u>Room Addition</u>
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
					Woodburning Stove	Other _____

1B. CONSTRUCTION COSTS ESTIMATE \$ 50,000.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? Yes

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Septic
03 <input type="checkbox"/> Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Well
03 <input type="checkbox"/> Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) [Signature] Date 7/16/93

APPROVED [Signature] For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature Albert B. Randall Date 10.13.93

APPLICATION/PERMIT NO: \_\_\_\_\_ FILING FEE: \$ \_\_\_\_\_

DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_

OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 10911 Kenilworth Avenue                      Meeting Date: 10/13/93  
Resource: Garrett Park Historic District              Review: HAWP/Alteration  
Case Number: 30/13-93C                                      Tax Credit: No  
Public Notice: 9/29/93                                      Report Date: 10/6/93  
Applicant: Elke & Norman Frederiksen              Staff: Nancy Witherell  
PROPOSAL: Construct rear addition                      RECOMMEND: Approve

---

The applicants propose constructing a one-story frame addition at the rear of their home, a Dutch Colonial-style house built in 1965 and designated an Out-of-Period resource in the Garrett Park Historic District.

The house is rectangular in plan with a footprint of approximately 850 square feet. The rear addition, including a lower connecting element, would project from the rear elevation, creating a T-shaped footprint and adding approximately 600 square feet.

STAFF DISCUSSION

Since the house is a non-historic resource, the Commission's primary purpose in reviewing the project is to ensure that the character of adjacent historic resources and the neighborhood is not affected by the addition.

The house immediately to the south, a Queen Anne-style structure designated an outstanding resource, was recently the subject of a preliminary consultation before the Commission. The owners are contemplating partially restoring the wrap-around porch on the side of the house facing the Frederiksens' home. The house to the north is an Out-of-Period structure; the house to the rear is a contributing structure built in the 1930s.

In the staff's judgment, the addition is well-designed and well-scaled for the house. Materials and details reflect the character of the existing house. The addition is sited to the rear and does not extend the full width of the rear elevation. Although it would extend approximately 33 feet toward the rear, the addition is well-articulated. No trees would be removed in the construction of the addition.

The staff's only concern is with the proposal to create a 42-

square foot opening in the south (side) elevation of the existing house and fill it with glass block, a material that is not associated with houses of this time period, style, or scale (see page 24 of the packet). This proposed alteration would be visible from the public way and from the Queen Anne-style house to the south. The staff would strongly urge the applicants to reconsider this part of the proposal and to use openings that reflect the well-articulated scale and character of the house and proposed addition. Since light and privacy are desired at this location, perhaps the owners could consider the use of etched or blasted glass in more traditional openings.

#### STAFF RECOMMENDATION

The staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(d):

In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

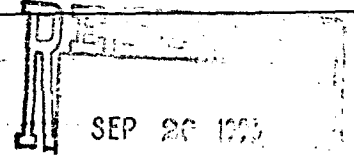
and with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625



## APPLICATION FOR HISTORIC AREA WORK PERMIT

CITY OF ROCKVILLE  
Dept. of Community Development

TAX ACCOUNT # \_\_\_\_\_

NAME OF PROPERTY OWNER Elke & Norman Frederiksen TELEPHONE NO. 301 946-8214  
(Contract/Purchaser) (Include Area Code)

ADDRESS 10911 Kenilworth Ave. Garrett Park, Md. 20896  
CITY STATE ZIP

CONTRACTOR Hudson & Ebel Construction TELEPHONE NO. 301 942-4998

PLANS PREPARED BY Brennan & Hill Architects TELEPHONE NO. 202 628-6233  
(Include Area Code)

REGISTRATION NUMBER 6363-A

### LOCATION OF BUILDING/PREMISE

House Number 10911 Street Kenilworth Ave.

Town/City Garrett Park Election District \_\_\_\_\_

Nearest Cross Street Strathmore Ave.

Lot 40 Block 99 Subdivision \_\_\_\_\_

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	<u>Extend/Add</u>	Alter/Renovate	Repair	Circle One: A/C	Slab	<u>Room Addition</u>
Wreck/Raze	Move	Install	Revocable	Fence/Wall (complete Section 4)	Other _____	Solar Woodburning Stove

1B. CONSTRUCTION COSTS ESTIMATE \$ 50,000<sup>00</sup>

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY Pepeco

1E. IS THIS PROPERTY A HISTORICAL SITE? Yes

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 ( ) Septic
03 ( ) Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 ( ) Well
03 ( ) Dther _____	

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

*[Handwritten signature]*

*[Handwritten initials]*



SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT  
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing lot houses a (2) story Dutch Colonial built in 1965 and classified as Non-Conforming/Out of Period by the Montgomery County Council. The house is sited on a long, flat 9,227 s.f. lot with a dense bamboo edge straddling the southeast property line. Adjacent properties include house #10909, a 1891 Victorian structure to the south, house #10913, a 1960's Dutch Colonial to the north, and house #10918, a 1930's Colonial to the east.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The new work consists of a (1) story brick base, wood frame Library/Bathroom addition off the back of the existing house. The stylistic detailing is based on the 1965 Gambrel design, further elaborated in the Craftsman style. The addition has no substantial impact on the site, i.e. no tree removal, regrading etc. This addition continues the tradition of turn-of-century houses and only adds to the character of this 1965 house.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

The addition is a (11/2) story structure of thoughtful scale and proportions in the manner of the original house. This addition relates to the existing structure and incorporates a further level of detail found in the older Garrett Park houses.

- b. the relationship of this design to the existing resource(s):

The new design relates to the existing house stylistically as well as in its use of materials (brick base, wood siding and panels), scale and massing.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

This addition meets all requirements as stated in the Ordinance (Chapter 24A). The only work to the existing house involves relocating an existing living room window, replacing an existing kitchen door, and partial demolition of an existing exterior kitchen wall, replacing brick with glass block to allow for more light while maintaining privacy.

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).



5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0"; or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

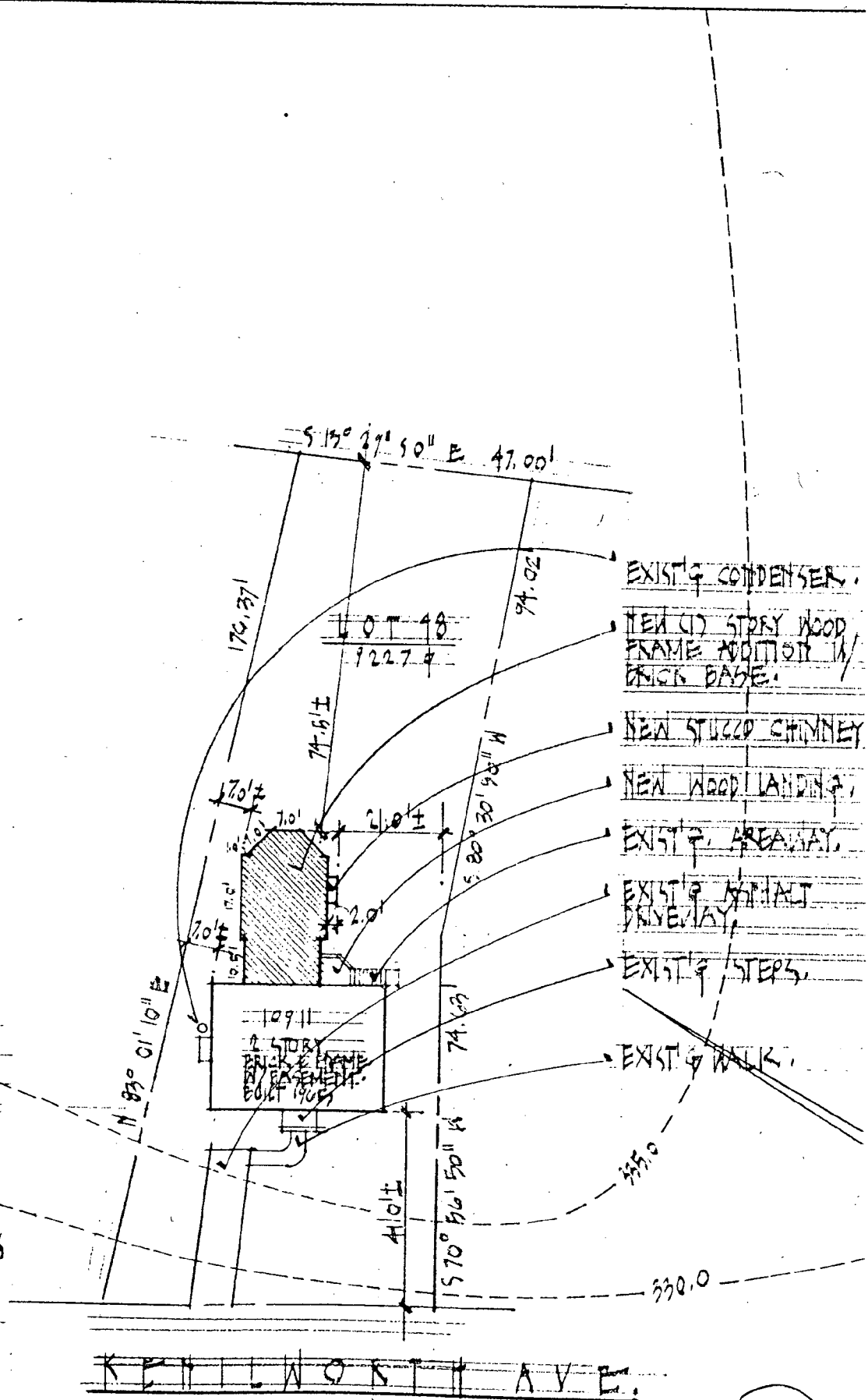
1. **Name:** G. Miller and C. Calvert  
**Address:** 10904 Kenilworth Ave.  
**City/Zip:** Garrett Park, MD 20896
2. **Name:** Marian A. F. Sullivan  
**Address:** 10906 Kenilworth Ave.  
**City/Zip:** Garrett Park, MD 20896

3. **Name:** James and Mary Gordon  
**Address:** 10909 Kenilworth Ave.  
**City/Zip:** Garrett Park, MD 20896
4. **Name:** Stanley and Gloria Ruby  
**Address:** 10913 Kenilworth Ave.  
**City/Zip:** Garrett Park, MD 20896
5. **Name:** Clarence L. and G.R. Buck  
**Address:** 10918 Montrose Ave.  
**City/Zip:** Garrett Park, MD 20896

The new work consists of a (1) story brick base, wood frame Library/Bathroom addition off the back of the existing house. The stylistic detailing is based on the 1965 Gambrel design with thoughtful scale and proportion in the manner of the original house. Particular attention is paid to achieving a seamless connection to the existing house through mimicing as many design features as possible. The roof matches the original house in similar roof profile and fiberglass roofing with white aluminum gutters and downspouts to match existing where possible. A painted metal standing seam roof is used in place of fiberglass to accommodate the low slope over the bathroom 'connector' piece. Windows are wood double hung, eight over one muttin patterns along with wood casements in addition to a glass block infill window on the south wall to maximize light while maintaining privacy. All window heads align with tops of existing windows, reinforcing their sense of belonging. Similar materials are continued i.e. orange-red brick full height 'connector' walls and Library 'pavillion' base along with smooth painted white trim above surrounding windows with wood siding on gable end. Other elements include a pigmented stucco chimney and new wood rail to replace an existing metal rail.

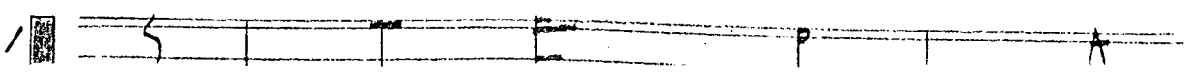
TO USE LOCATION  
 LOT 18 | BLOCK 99  
 GARRETT PARK VILLAGE  
 MONTGOMERY COUNTY

PREPARED BY:  
 MD. REG. NO. 203  
 R. C. KELLY LAND SURVEYORS  
 AND ASSOC., INC.  
 DATED: 4.10.92.



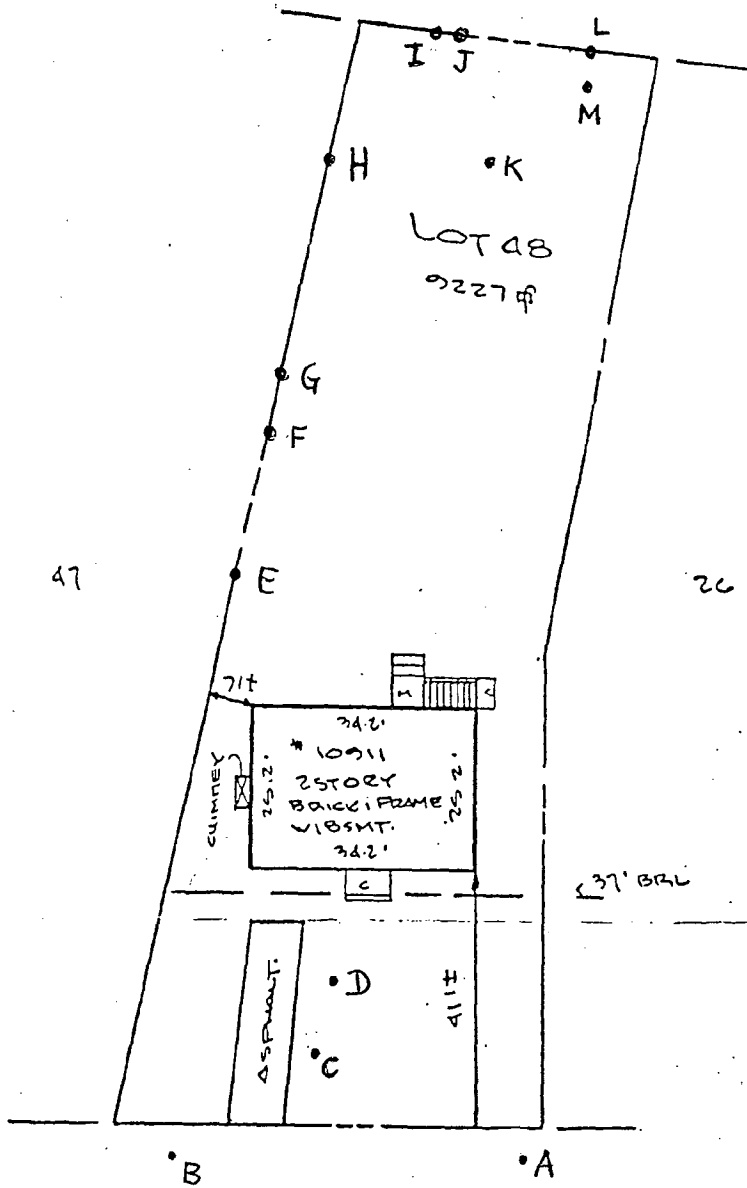
KENNESAW AVE.

7

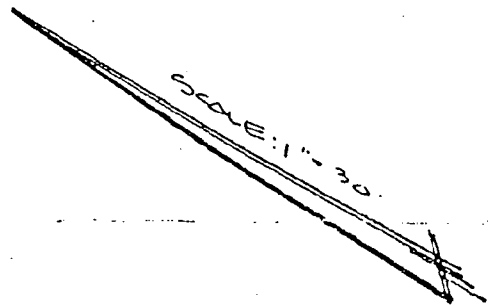


NOTE: NO PROPERTY  
CORNERS FOUND

NOTE: The lot shown hereon does not lie  
within the limits of the 100 year flood  
plain as shown on FIRM Panel No.  
CORRETT 0022 Date of Map:  
Flood Zone:  
AREAS NOT INCLUDED



Tree  
Survey



10911 KENILWORTH AVENUE

IMPROVEMENT LOCATION SURVEY

LOT 48 BLOCK 99



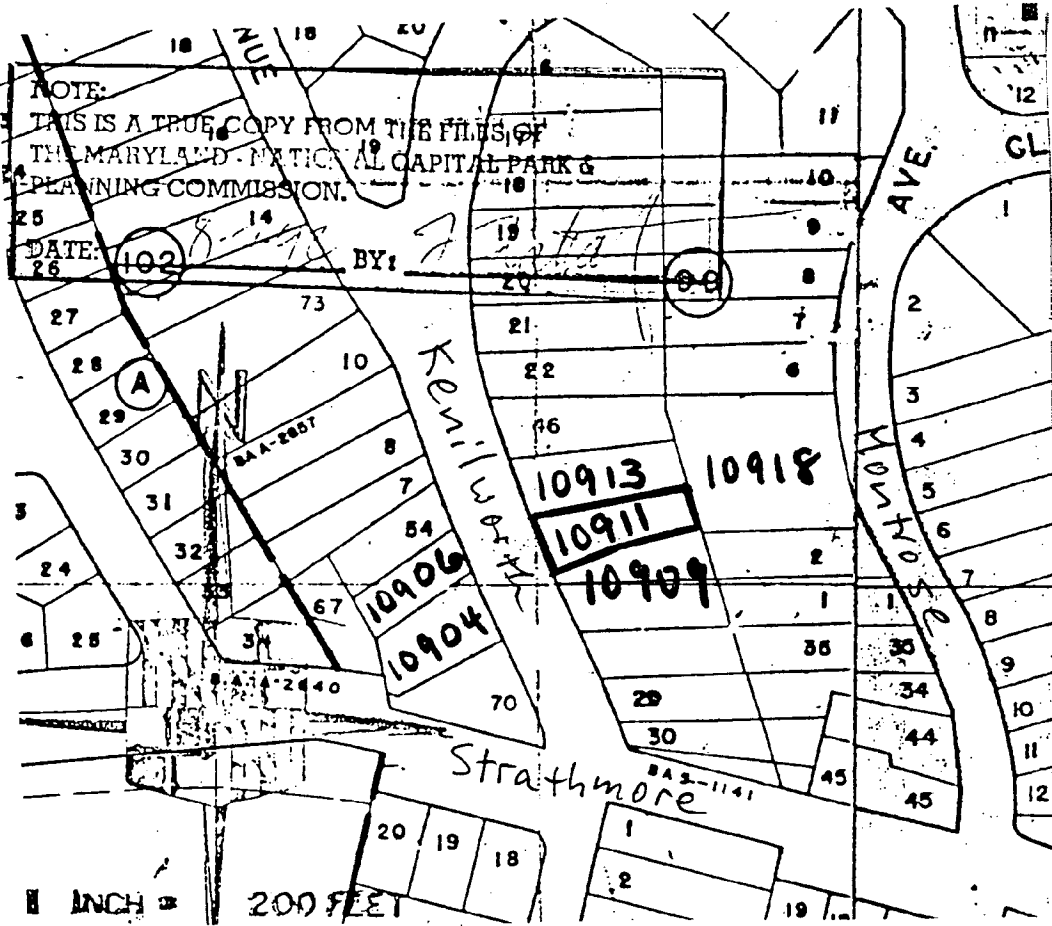
SURVEYOR'S CERTIFICATE

I hereby certify that the position of all  
existing improvements on the above  
described property has been carefully  
established by a transit-tape survey; and

(3)

TREE SURVEY, 10911 KENILWORTH AVE.,  
GARRETT PARK

- A Sugar maple, 10" diam.
- B Sugar maple, 8" diam.
- C Pin oak, 15" diam.
- D Tulip tree, 37" diam.
- E Ornamental elm, 20" diam.
- F Willow, 11 " diam.
- G Willow, 16" diam.
- H Ashleaf maple, 9" diam.
- I Ornamental elm, 8" diam.
- J Red mulberry, 7" diam.
- K Sugar maple, 11" diam.
- L Tulip tree, 16" diam.
- M Ornamental elm, 20" diam.



10



Front of our house.



South side of our house.



North side of our house.





Rear of our house.



View from our back yard to the back of our house (left) and to the back of 10913 Kenilworth Ave. (right).



View from the back of our house to our back yard and, beyond it, to 10918 Montrose Ave.



View of the back of 10918 Montrose Ave., as seen from back of the trees in the back of our lot.



View from our back yard to the back of our house (right) and, mostly screened by bamboo, the north side of 10909 Kenilworth Ave.



View of the front of our house and, on the right, the northwest corner of 10909 Kenilworth Ave.



View from the street looking eastward to the front of our house (right) and to the front of 10913 Kenilworth Ave. (left), a house which is essentially identical to ours.



View from across the street looking eastward to the front of our house (right) and to the front of 10913 Kenilworth Ave. (left).



View from our front yard across the street to 10904 Kenilworth Ave. (on the left) and to 10906 Kenilworth Ave. (behind the car and the trees on the right).



View from our house across the street to 10904 Kenilworth Ave.

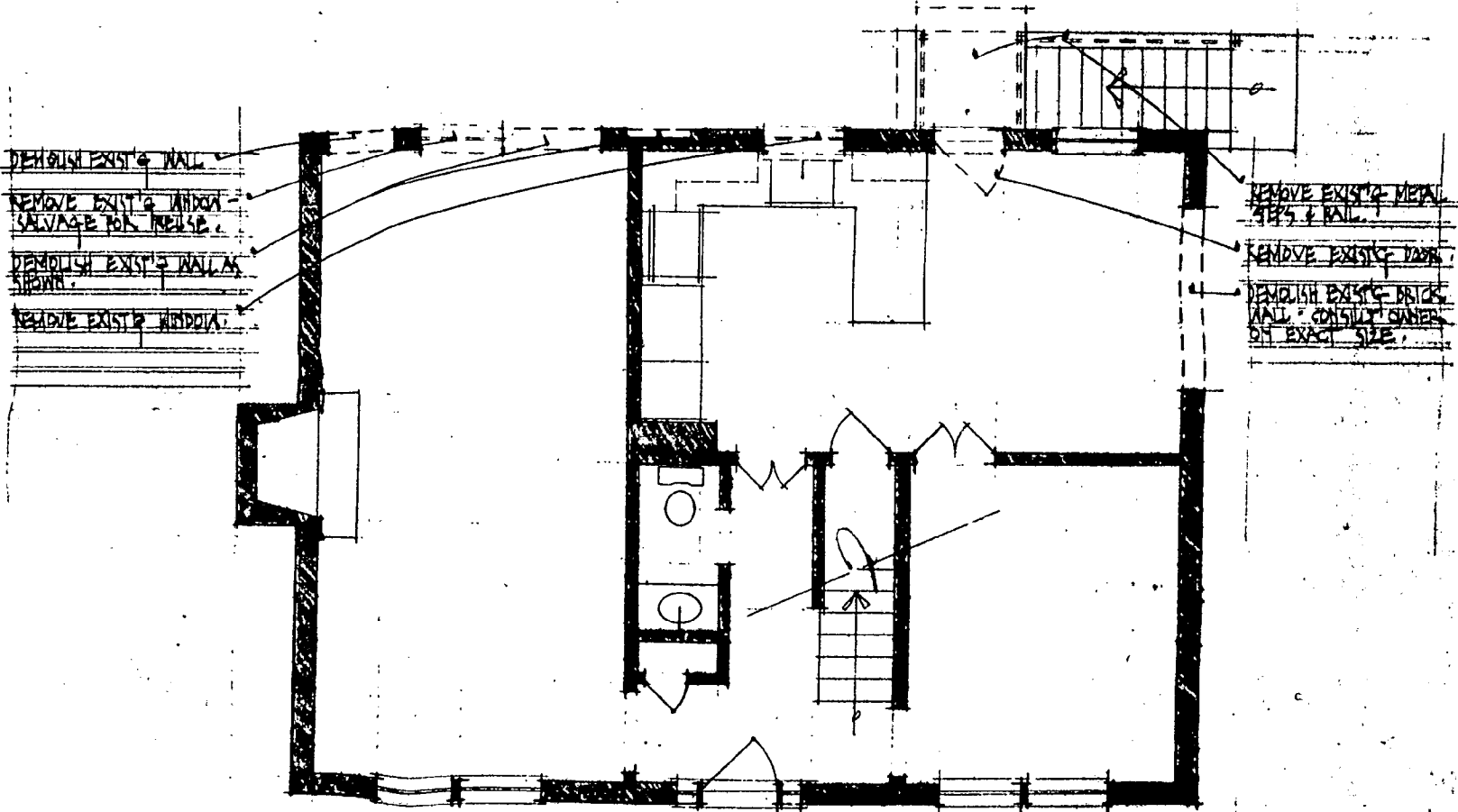


View of the front of 10906 Kenilworth Ave.

19

BRENNAN &

202

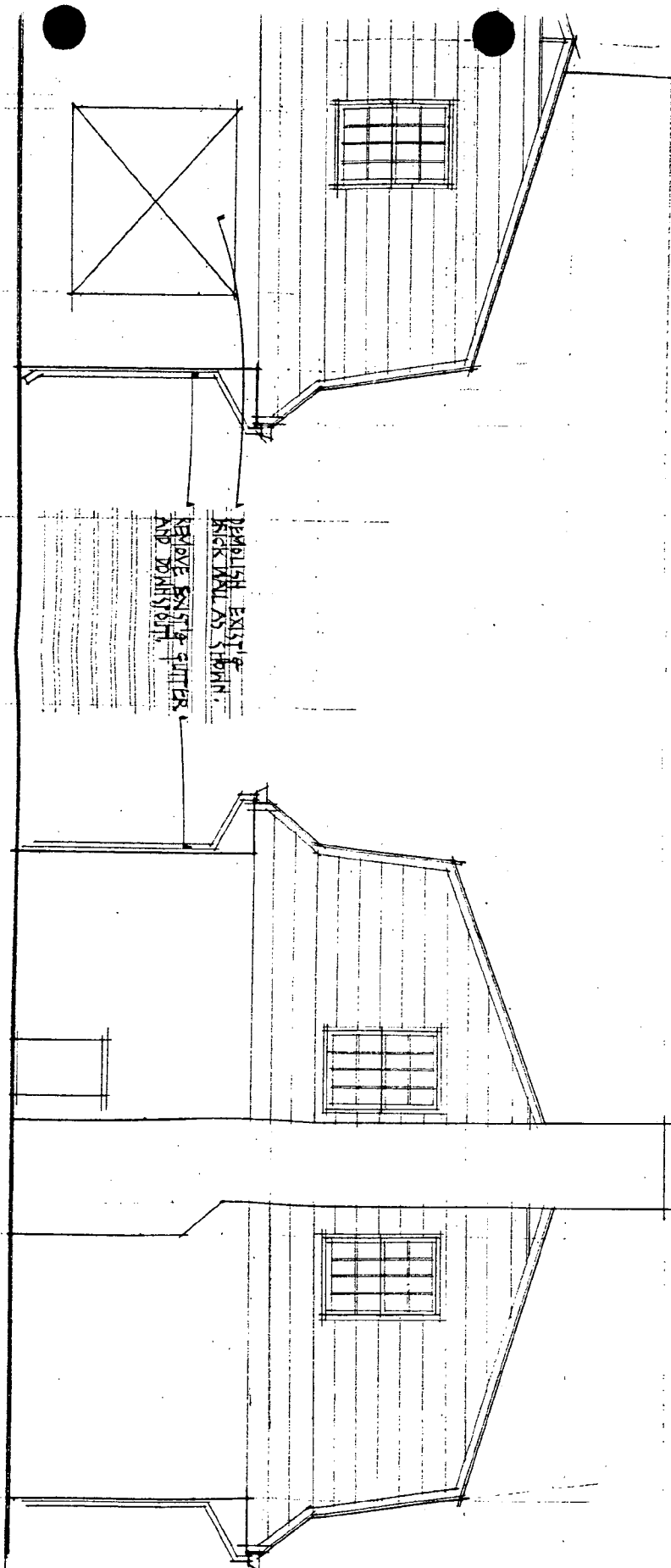


FIRST FLOOR PLAN - DEMO.

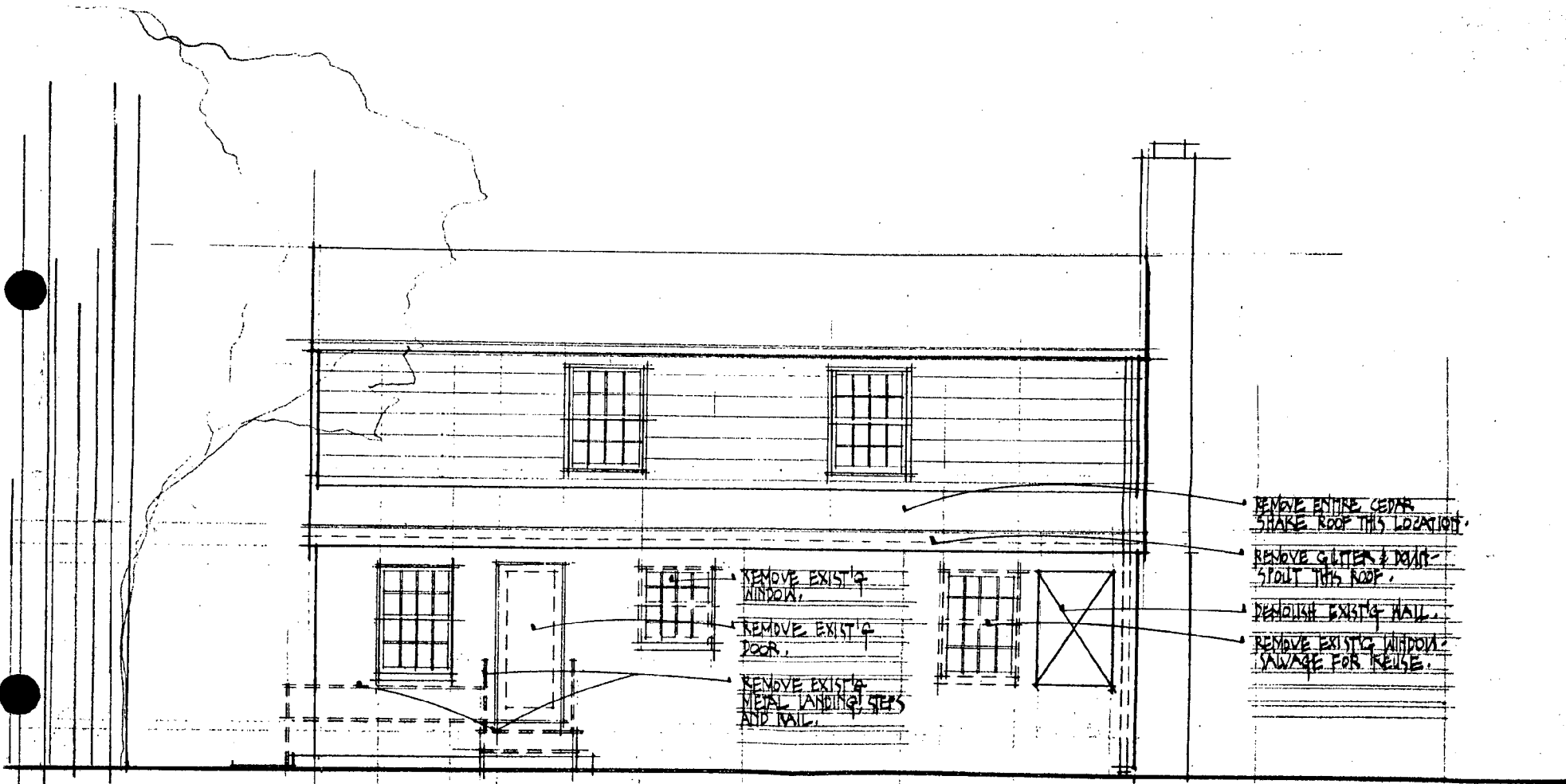
REVISIONS

ELEVATION

SECTION ELEVATION



17



REMOVE EXIST'G WINDOW.

REMOVE EXIST'G DOOR.

REMOVE EXIST'G METAL LANDING STEPS  
ADD RAIL.

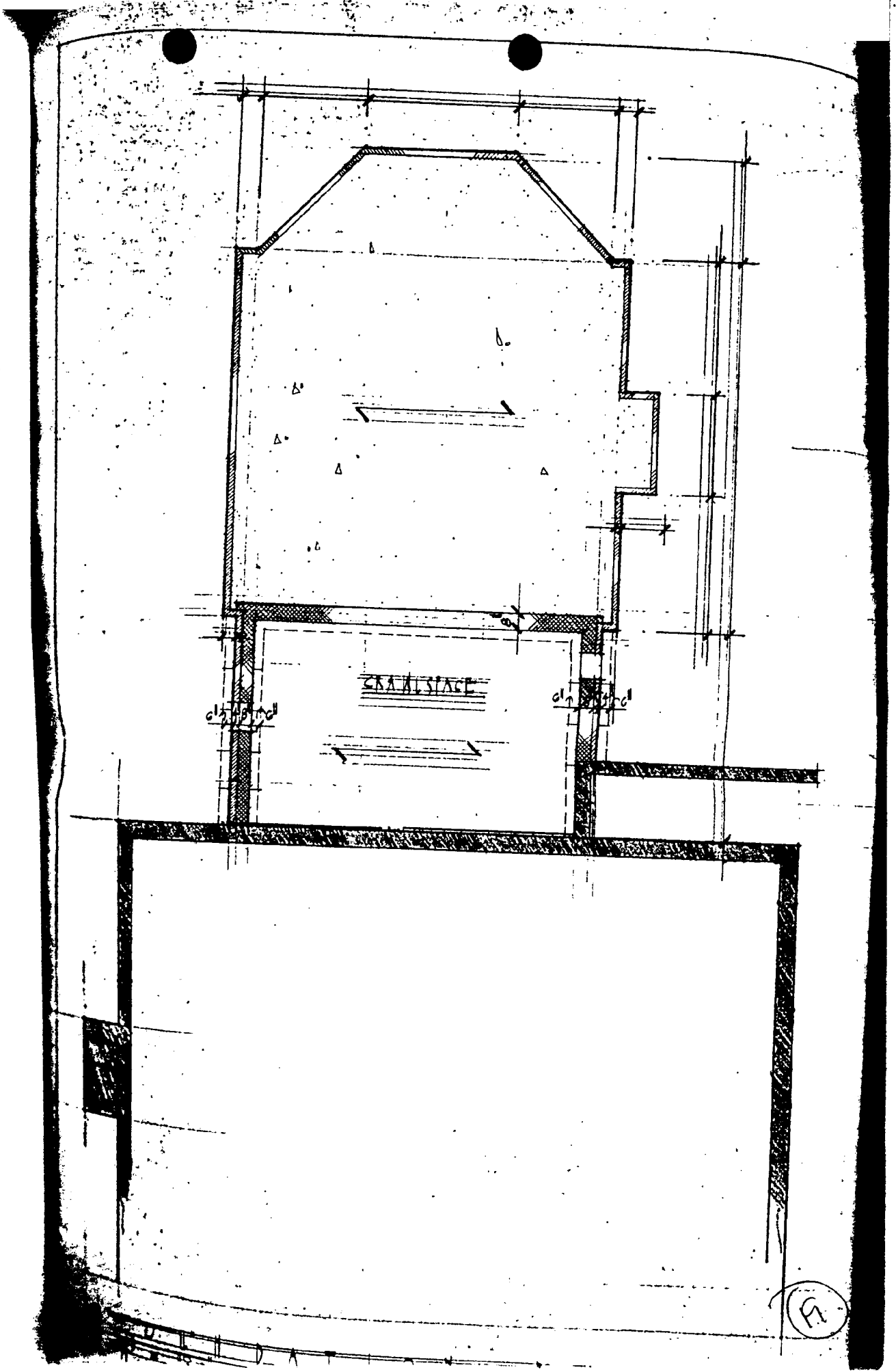
REMOVE ENTIRE CEDAR SHAKE ROOF THIS LOCATION.

REMOVE GUTTER & DRAIN SPOUT THIS ROOF.

DEMOLISH EXIST'G HALL.

REMOVE EXIST'G WINDOW - SALVAGE FOR REUSE.

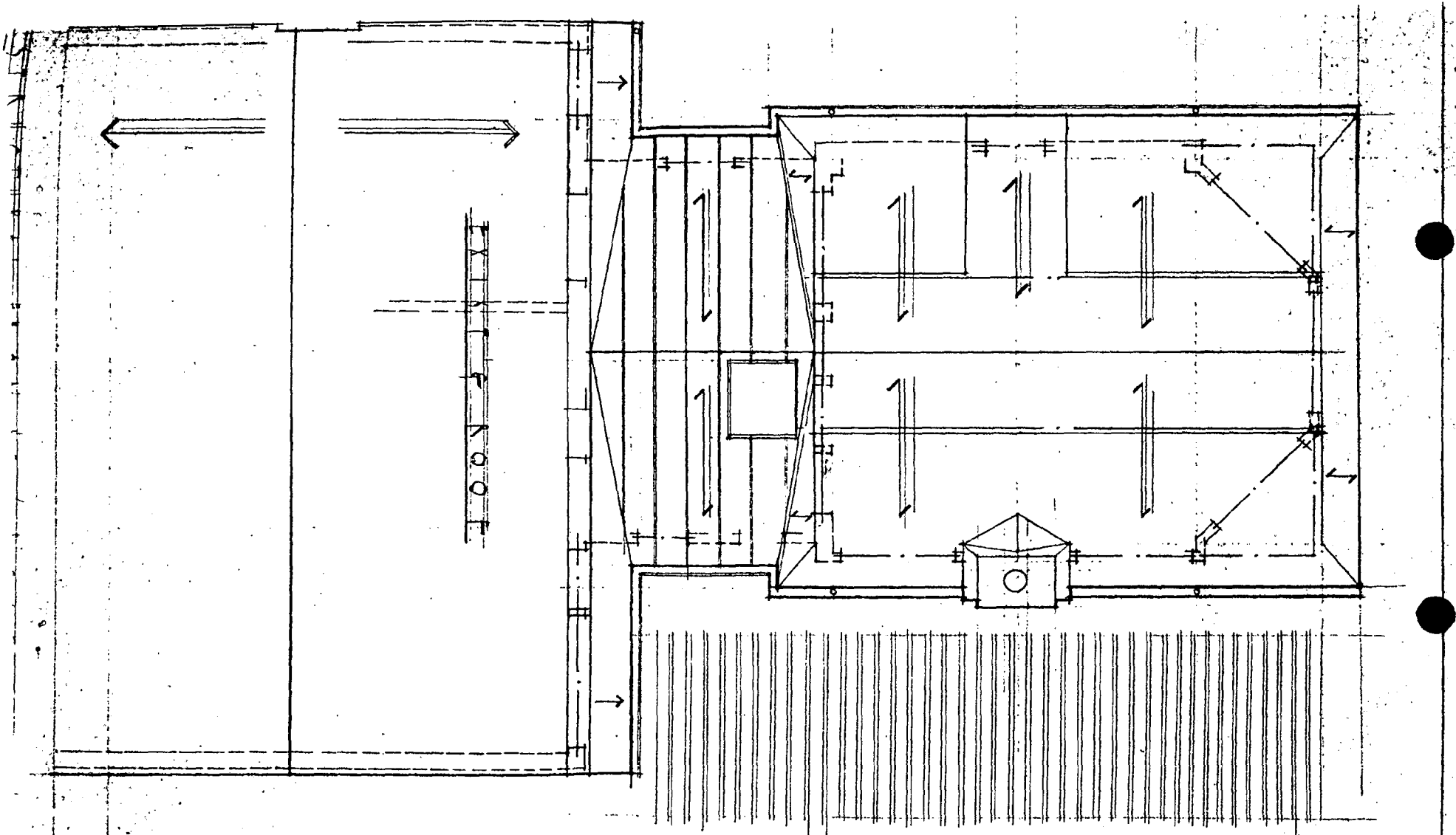
1 EAST ELEVATION - DEMO.



STAGE

(15)

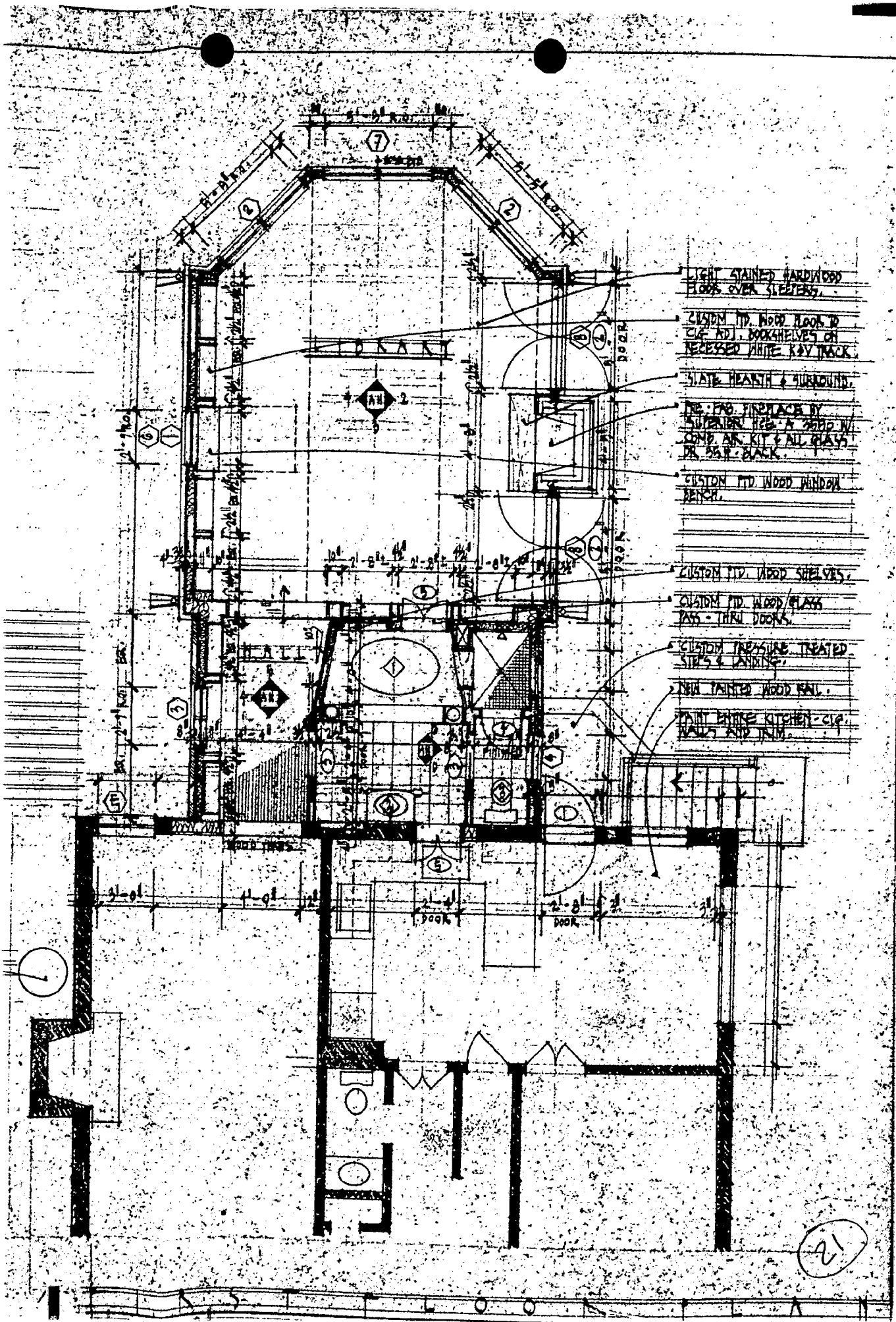




**FREDERIKSEN ADDITION**  
20911 KENILWORTH AVENUE  
GARRETT PARK, MARYLAND 20896

**BRENNAN & RILL ARCHITECTS, P.C.**  
W A S H I N G T O N D C  
202 628 6233

20



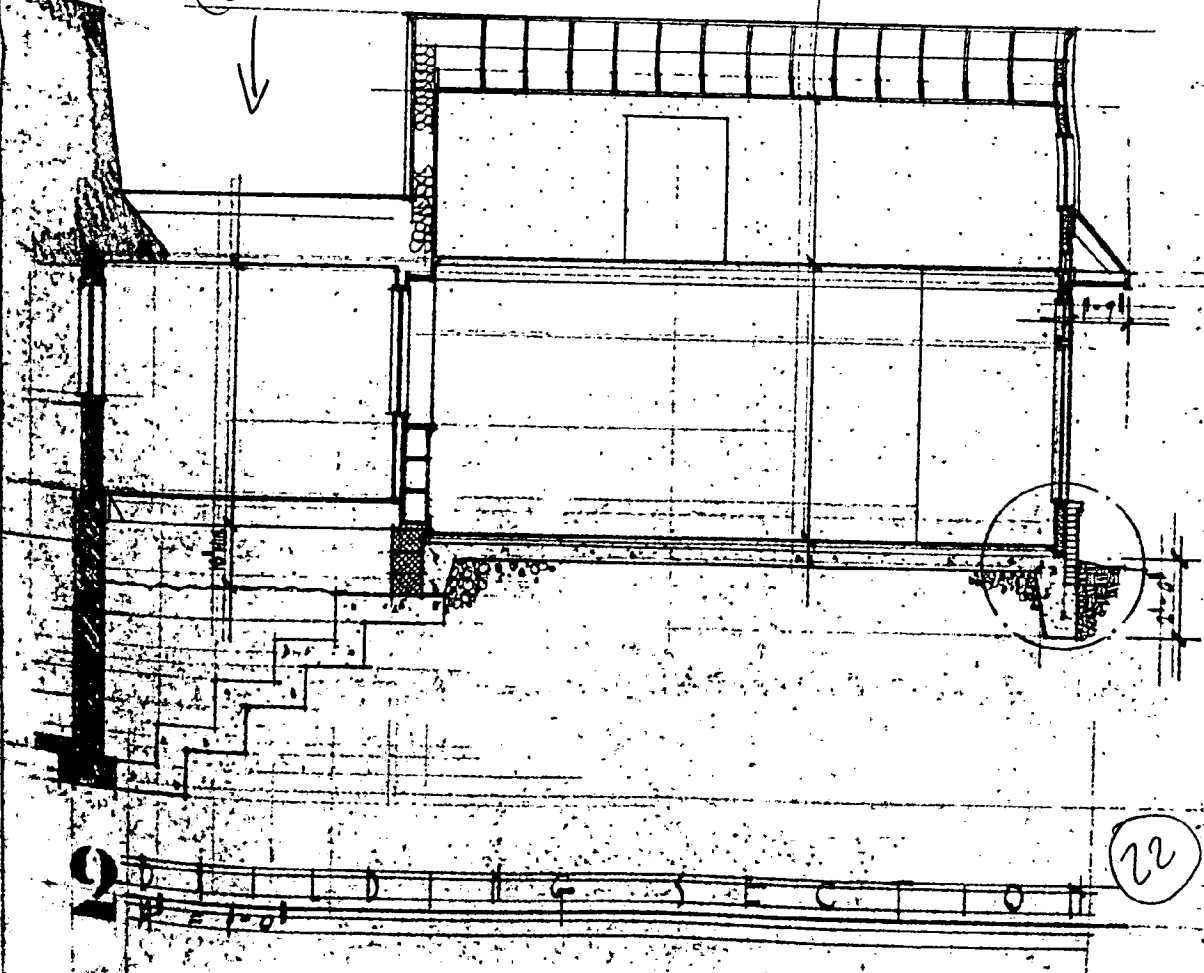
- 1. LIGHT STAINED HARDWOOD FLOORS OVER SLEEPERS.
- 2. CUSTOM MID. WOOD FLOOR IN CLO. AND BOOKSHELVES OR RECESSED WHITE KEY TRACK.
- 3. SLATE HEARTH & SURROUND.
- 4. NO. 1 PG. FIREPLACE BY SUPERIOR. REC. A SEED W/ COMP. AIR KIT & ALL GLASS OR GR. BLACK.
- 5. CUSTOM MID. WOOD WINDOW BENCH.
- 6. CUSTOM MID. WOOD SHELVES.
- 7. CUSTOM MID. WOOD/GLASS PASS-THRU DOORS.
- 8. CUSTOM PRESSURE-TREATED STEPS & LANDING.
- 9. NEW PAINTED WOOD RAIL.
- 10. PAINT ENTIRE KITCHEN - CLO. WALLS AND TRIM.

(21)

← Existing house

← "Connector"

← New library



2

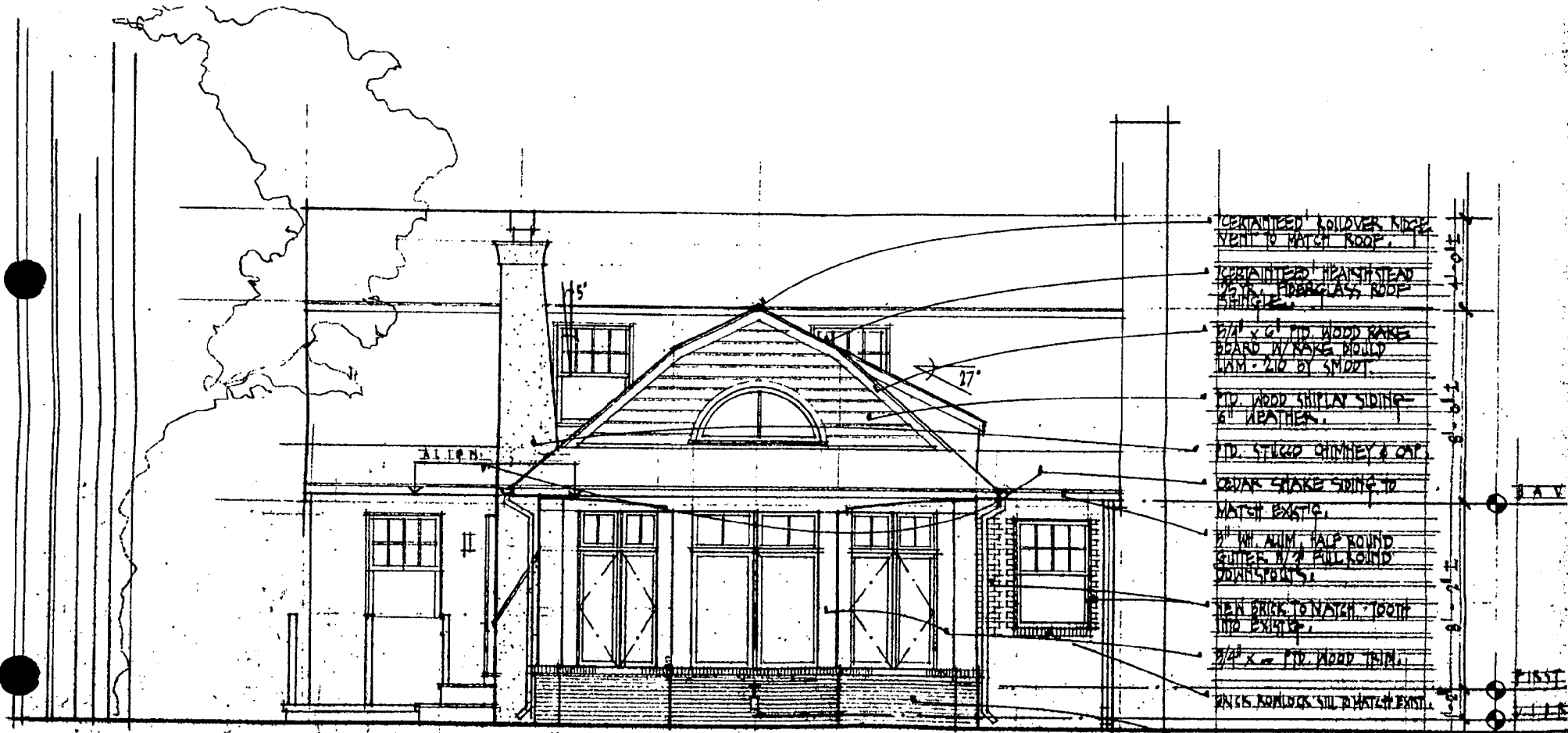
1" = 1'-0"

C O N N E C T I O N

22







- CERTAINTEED ROLOVER SHIP VENT TO MATCH ROOF.
- CERTAINTEED HEAVY STEAD 1/2" x 1" FIBERGLASS ROOF SHINGLES.
- 5/4" x 6" MID. WOOD BARE BOARD W/ BAYS SHOULD WAM - 210 BY SMOOT.
- MID. WOOD SHIP LAY SIDING - 6" WEATHERS.
- MID. STICKED CHIMNEY & CAP.
- CEDAR SHAKE SIDING TO MATCH EXIST.
- 1" W/1" ANIM. HALF ROUND GUTTERS W/ 1" FULL ROUND DOWNSPOUTS.
- NEW BRICK TO MATCH TOOTH AND EXIST.
- 3/4" x 1" MID. WOOD TRIM.
- WINGS ROULOCK SILL TO MATCH EXIST.
- BRICK BASE W/ ROULOCK CAP TO MATCH EXIST.

ALIGN.

021111E

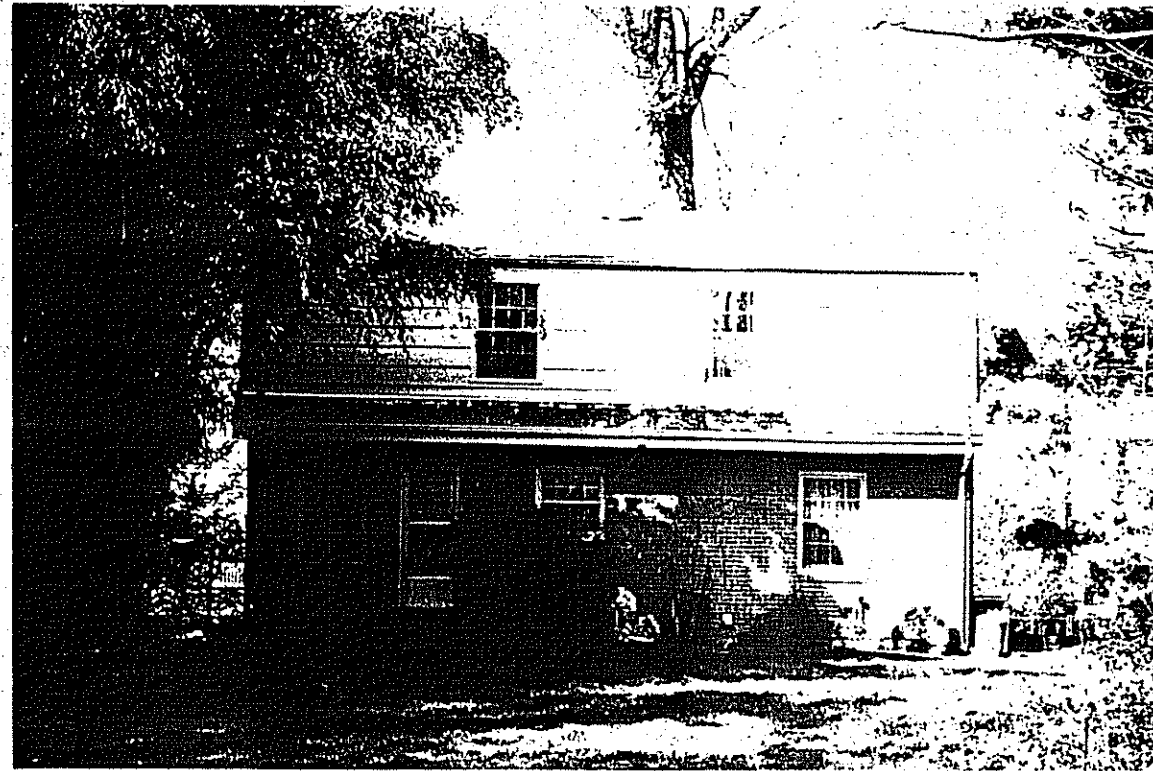
021111E

A S T E L E V A T I O N

7/11/01







**GENERAL NOTES**

1. General contractor to refer any differences between actual measurements and specified dimensions to Architect for clarifications prior to beginning and or continuing. No additional compensation will be made for expenses incurred as a result of discrepancies.
2. Do not scale drawings to determine dimensions.
3. Foundation to comply with Montgomery County Radon gas mitigation requirements as specified in the amendments to CABO 1989 Section 310. General Contractor to provide an approved seal at all penetrations into existing foundation and vents at new crawl space foundation.
4. Patch walls, floors and ceilings to match existing where disturbed or damaged by demolition of construction.

**DEMOLITION NOTES**

1. All excavated earth to remain on site, owner to direct location for storage.
2. Provide required structural support prior to demolition work at critical locations.
3. Provide erosion control methods and materials as required by local code.
4. Provide temporary waterproofing and security following all exterior wall demolition work.
5. Remove all debris from demolition from site on a regular basis and dispose of according to local requirements.
6. All items specified for salvage and reuse shall be kept on site and protected from damage.
7. Owner to remove and relocate shrubs that they wish to reuse. Others are to be disposed of by G.C.
8. All finished landscaping by owner. Grading and drainage by G.C.

**HVAC/PLUMBING/ELECTRICAL NOTES**

1. Heating & Air Conditioning: Extend existing forced air to service new space. Verify capacity of existing unit to handle additional load.
2. Provide new hose bib at new exterior brick base. See sheet A6.
3. Provide new electrical as necessary. Verify capacity of existing panel.

**ALLOWANCES  
(materials only)**

1. Door Hardware: (\$100.00/each exterior door leaf)  
(\$50.00/each interior door)  
(\$35.00/each screen door)
2. Ceramic Tile: \$3.50/sq. ft.

**LIST OF DRAWINGS:**

- A1 Site Plan/General Notes
- A2 First Floor Plan-Demolition
- A3 South and North Elevations -Demolition
- A4 East Elevation-Demolition
- A5 Foundation Plan/Structural Framing/Roof Plan
- A6 First Floor Plan/Schedules
- A7 Building Section/Reflected Ceiling Plan
- A8 South Elevation
- A9 East Elevation
- A10 North Elevation
- A11 Interior Elevations

approved by HPL w/   
 MONROE TESSON ARCHITECTS P.C.

BRENNAN & RILL ARCHITECTS, P.C.   
 WASHINGTON, D.C.

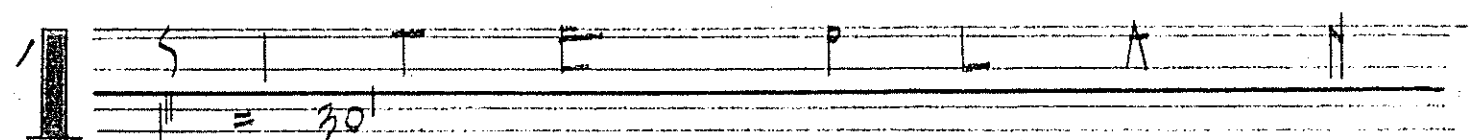
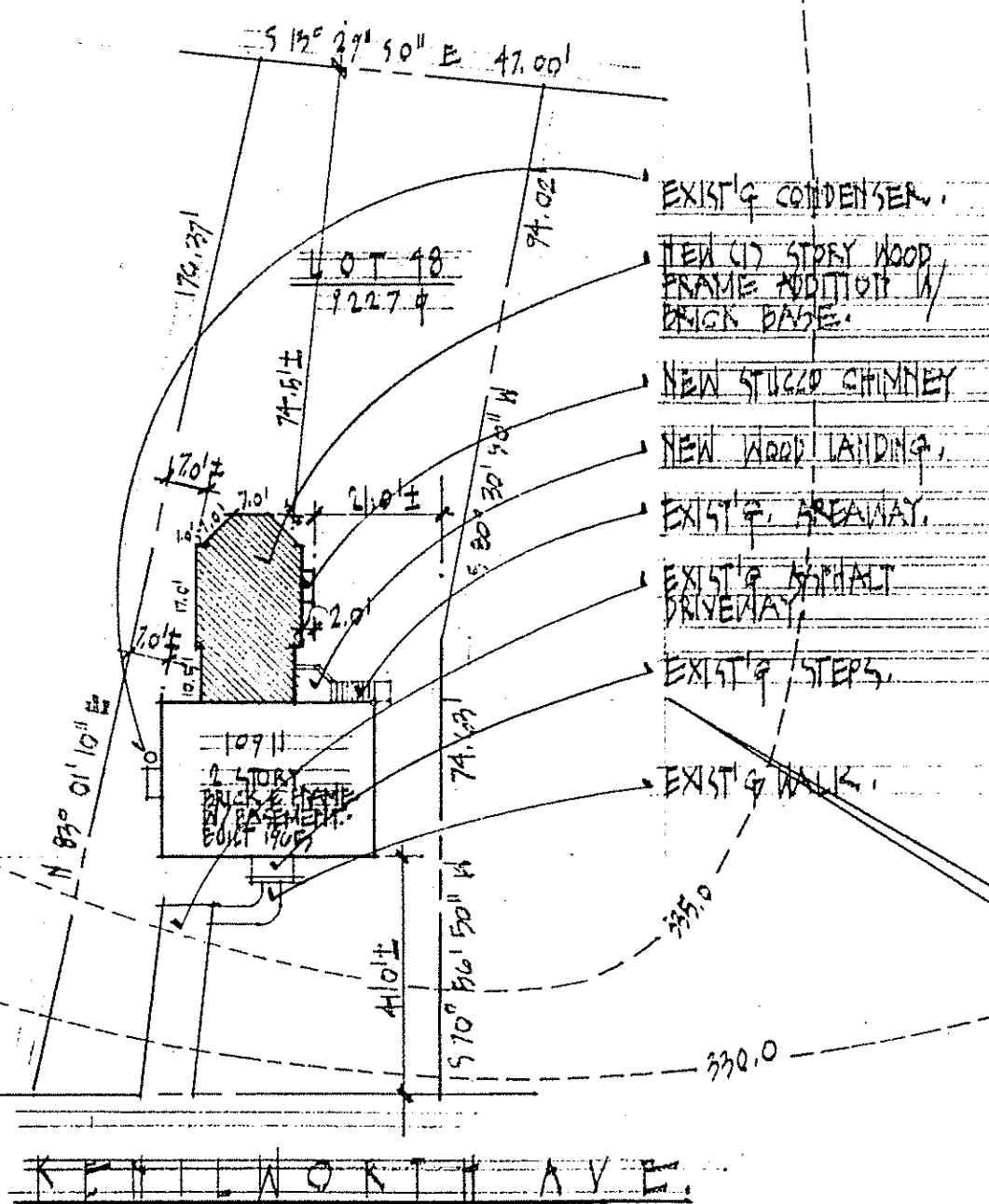
202 628 6237

7/7/92

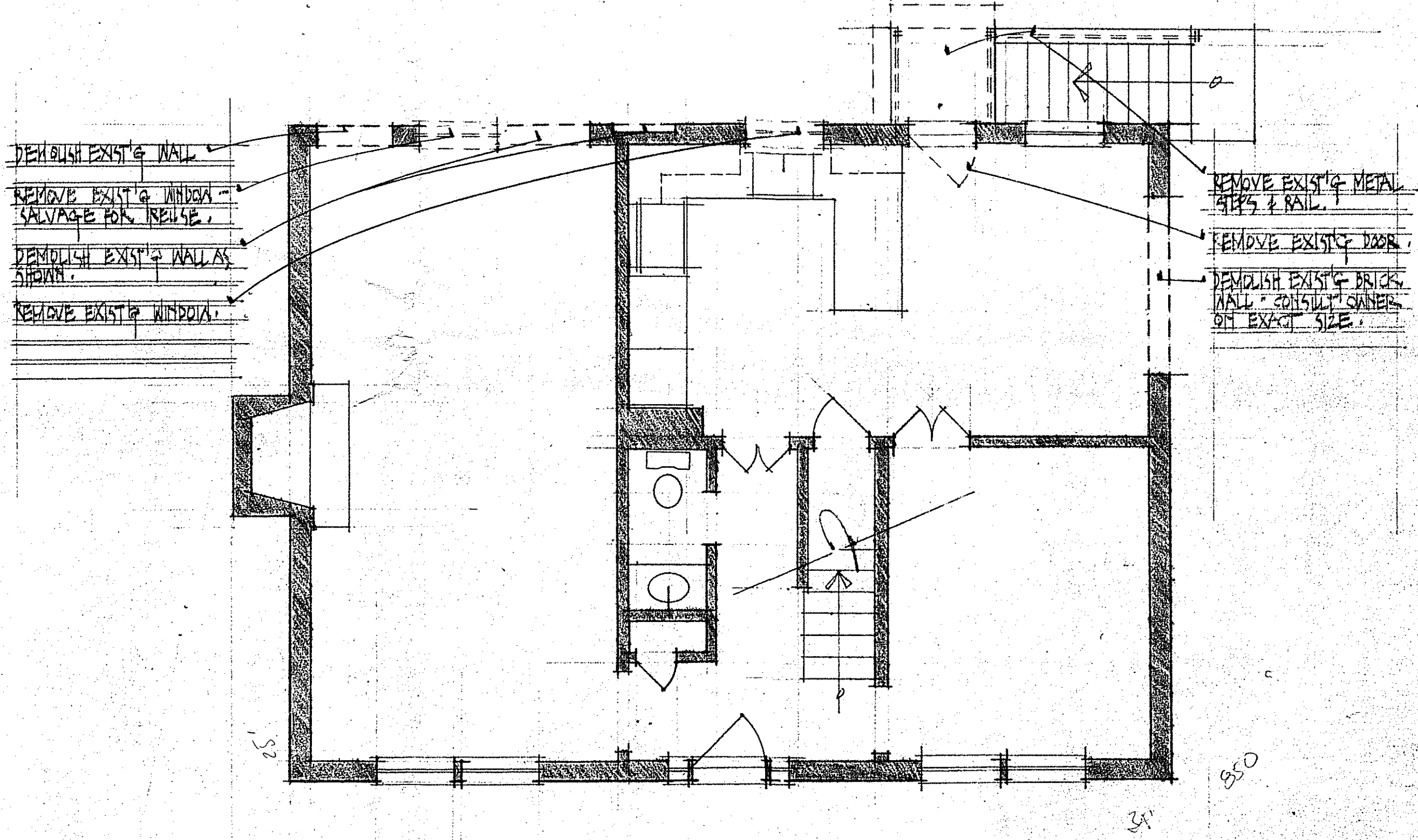
**FREDERIKSEN ADDITION**   
 10911 KENILWORTH AVENUE   
 GARRETT PARK, MARYLAND 20896

HOUSE LOCATION   
 LOT 48 BLOCK 99   
 GARRETT PARK, MARYLAND   
 MONTGOMERY COUNTY

PREPARED BY:   
 MD. REG. NO. 203   
 R. C. KELLY LAND SURVEYORS   
 AND ASSOC., INC.   
 DATED: 4/10/92





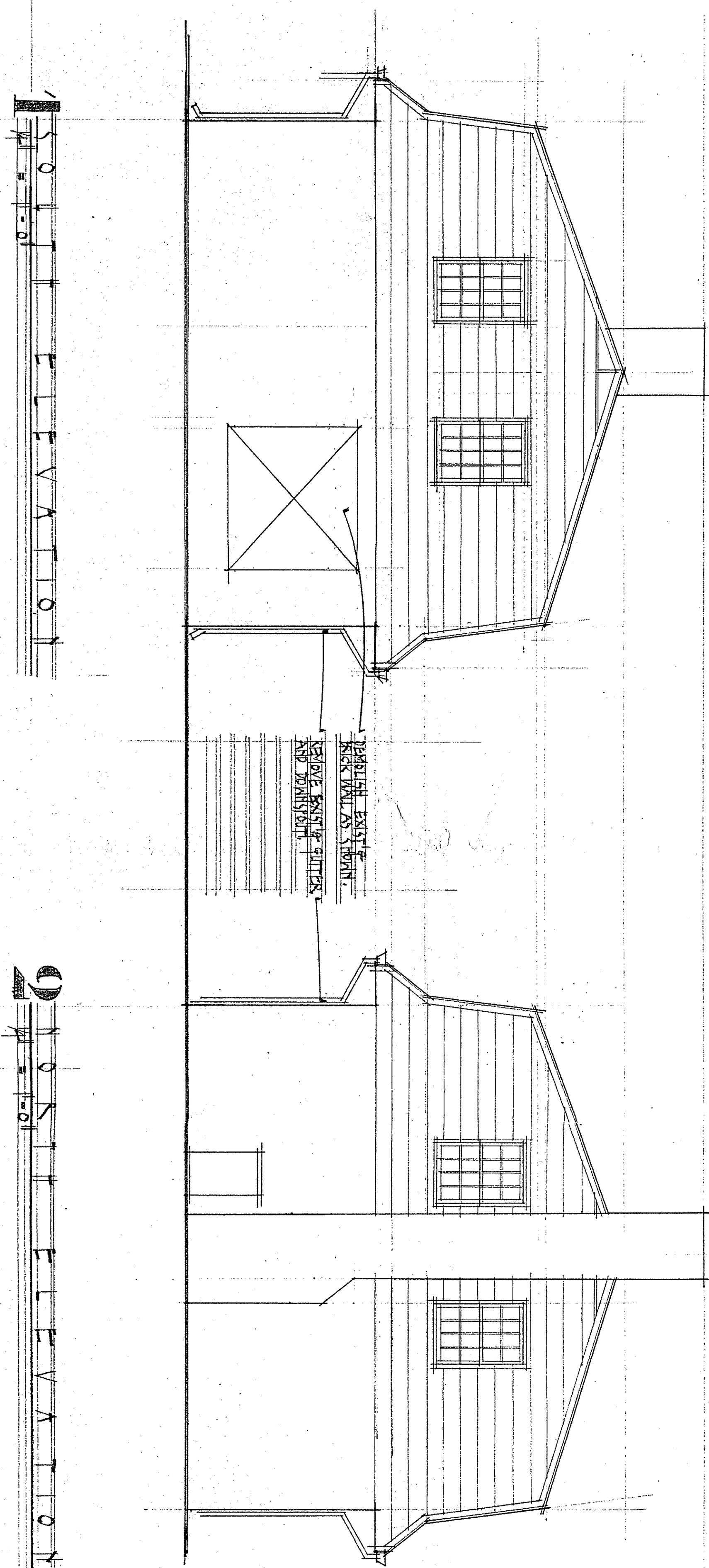


FIRST FLOOR PLAN - DEMO.  
 1/4" = 1'-0"

BRENNAN & RILL ARCHITECTS, PC  
 W A S H I N G T O N D C  
 202 628 6237

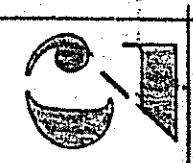
FREDERIKSEN ADDITION  
 10931 KENILWORTH AVENUE  
 GARRETT PARK, MARYLAND 20896





LEVEL 1

LEVEL 2

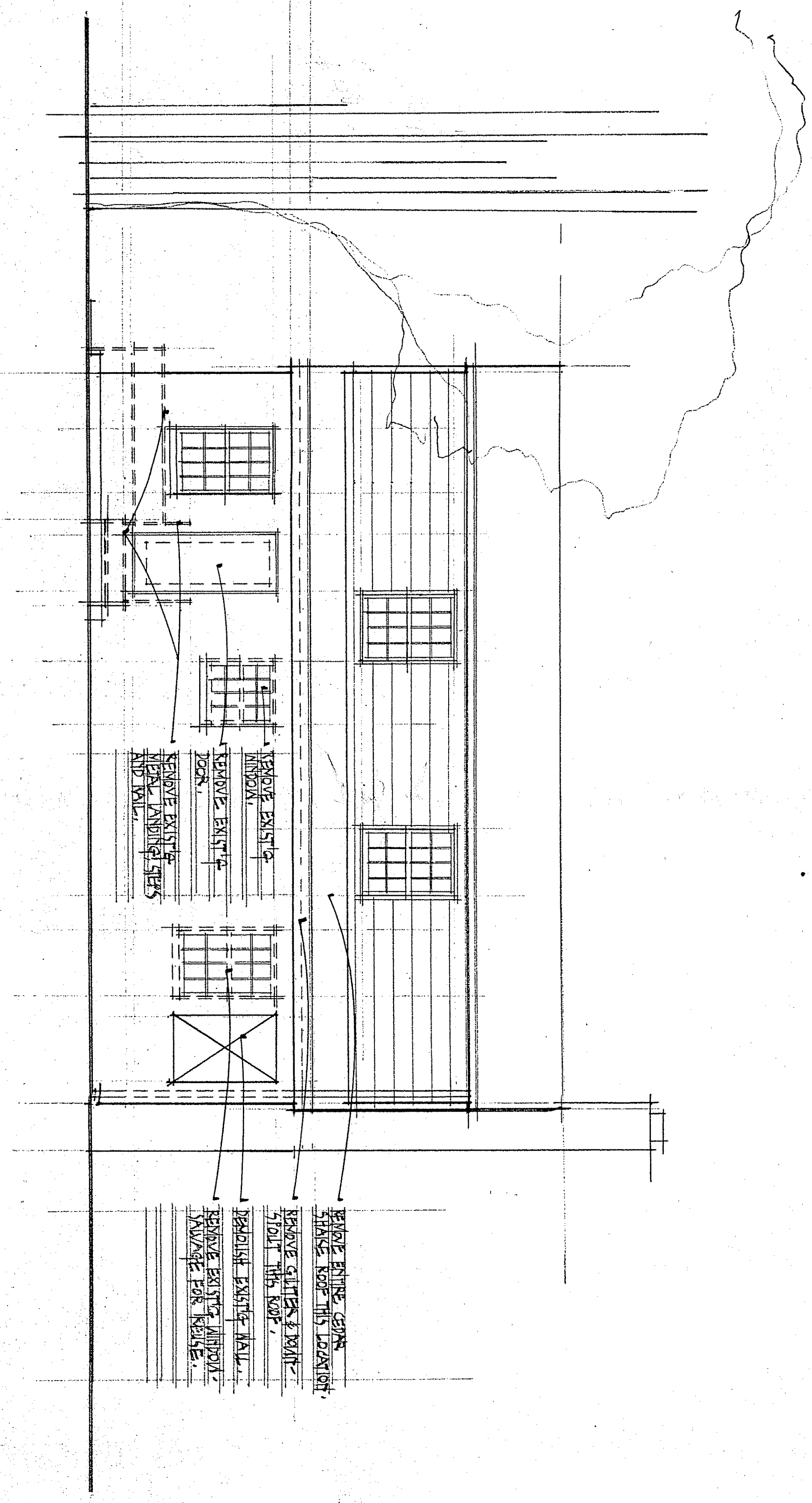


**FREDERIKSEN ADDITION**  
 10911 KENILWORTH AVENUE  
 GARRETT PARK, MARYLAND 20896

**BRENNAN & RILL ARCHITECTS, PC**  
 WASHINGTON DC

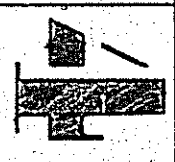
202 628 6233

1  
M  
E  
S  
T  
E  
L  
E  
V  
A  
T  
I  
O  
N  
D  
E  
M  
O.



REMOVE EXISTING WINDOW.  
REMOVE EXISTING DOOR.  
REMOVE EXISTING METAL LANDING STEPS AND WALL.

REMOVE ENTIRE GABLE SHAKES ROOF THIS LOCATION.  
REMOVE GUTTERS & ROOF-SHOUT THIS ROOF.  
REPAIR/REPLACE EXISTING WALL.  
REMOVE EXISTING WINDOW - SALVAGE FOR REUSE.

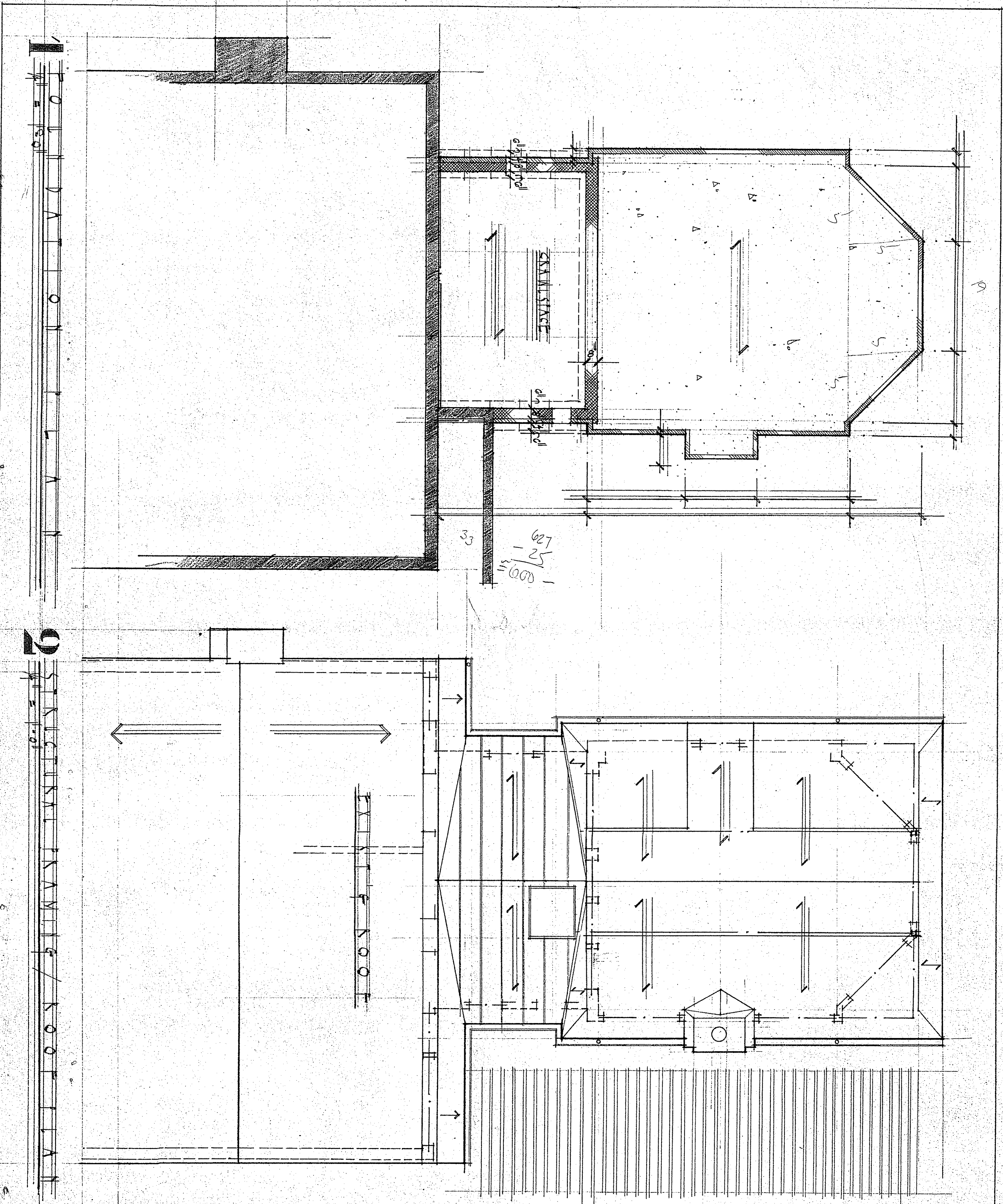


**FREDERIKSEN ADDITION**  
10911 KENILWORTH AVENUE  
GARRETT PARK, MARYLAND 20896

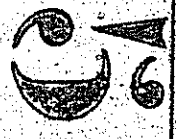
**BRENNAN & RILL ARCHITECTS, PC**  
WASHINGTON D.C.

202 628 6233





6  
STAIRS  
LOBBY  
LOBBY



**FREDERIKSEN ADDITION**  
 10911 KENILWORTH AVENUE  
 GARRETT PARK, MARYLAND 20896

**BRENNAN & RILL ARCHITECTS, PC**  
 WASHINGTON D C

202 628 6233



# WINDOW SCHEDULE

- ① WEATHER SHIELD
- ② WEATHER SHIELD
- ③ WEATHER SHIELD
- ④ WEATHER SHIELD
- ⑤ WEATHER SHIELD
- ⑥ WEATHER SHIELD
- ⑦ WEATHER SHIELD
- ⑧ WEATHER SHIELD
- ⑨ WEATHER SHIELD
- ⑩ WEATHER SHIELD

# DOOR SCHEDULE

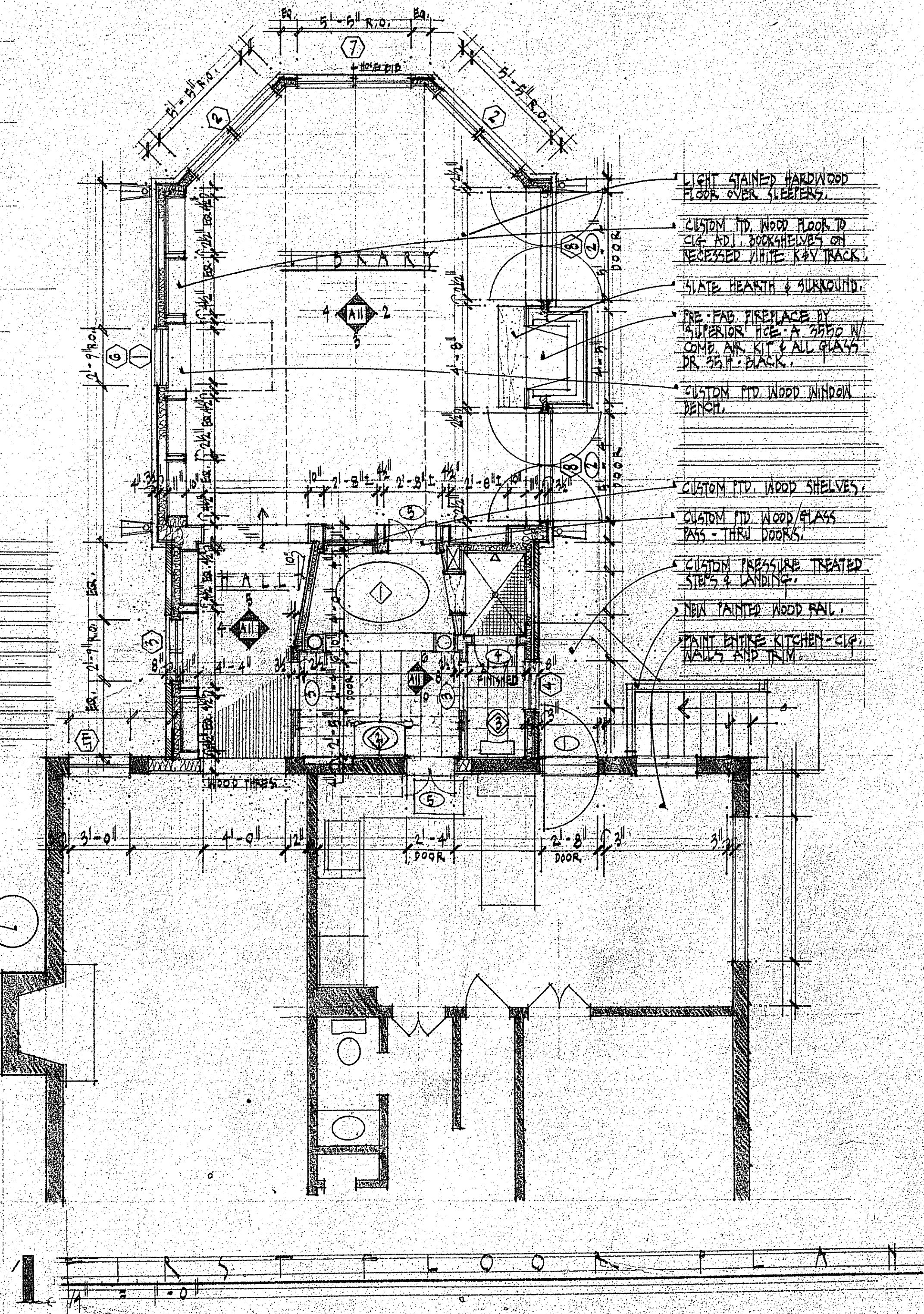
①	HULLIF SANDERS	KITCHEN	STD. WOOD SINGLE LITE DBL. GL. DR. 21'-0" X 6'-0" 21'-0" X 6'-0"
②	HULLIF SANDERS	LIBRARY	STD. WOOD SINGLE LITE DBL. GL. DR. 6'-7" X 6'-11" 6'-7" X 6'-11"
③	STOCK	BATHROOM	STD. WOOD SOLID CORE POCKET DR. TO MATCH EXISTING 21'-4" X 6'-3"
④	ACE	SHOWER	STOCK SHOWER DOORS - CLEAR GLASS W/ POLISHED BRASS FRAME
⑤	CUSTOM	PASS-THRU MEDICINE CABINET	CUSTOM STD. WOOD FRAME PROTECTED GLASS W/ INL AD. NUTION WIDE 3' HEIGHT
⑥	CUSTOM	CRAWL SPACE ACCESS DOOR	

# LIGHT FIXTURE SCHEDULE

①	HALO	FLO	2x DOWNLIGHT SPECULAS CLEAR ALZAK A17 H77 HOUSING
②	BY OWNER		VANITY LIGHT, WALL MOUNTED
③	BY OWNER		WALL SCOTCHS - GFI
④	HARDPLIER	WALST LITE 1221	SHOWER HEFT A17-75W
⑤	NITONE	0814	EXHAUST FAN - WHITE
⑥	BY OWNER		EXTERIOR WALL MOUNTED
⑦	STORCO		COORDED SPOT - ALUMINUM
⑧	BY OWNER	HUNTER	WH. CLG. MOUNTED PAN W/ DOWN ROD

# PLUMBING FIXTURE SCHED.

①	BY OWNER	WHIRLPOOL
②	BY OWNER	PEDESTAL SINK
③	BY OWNER	TOILET



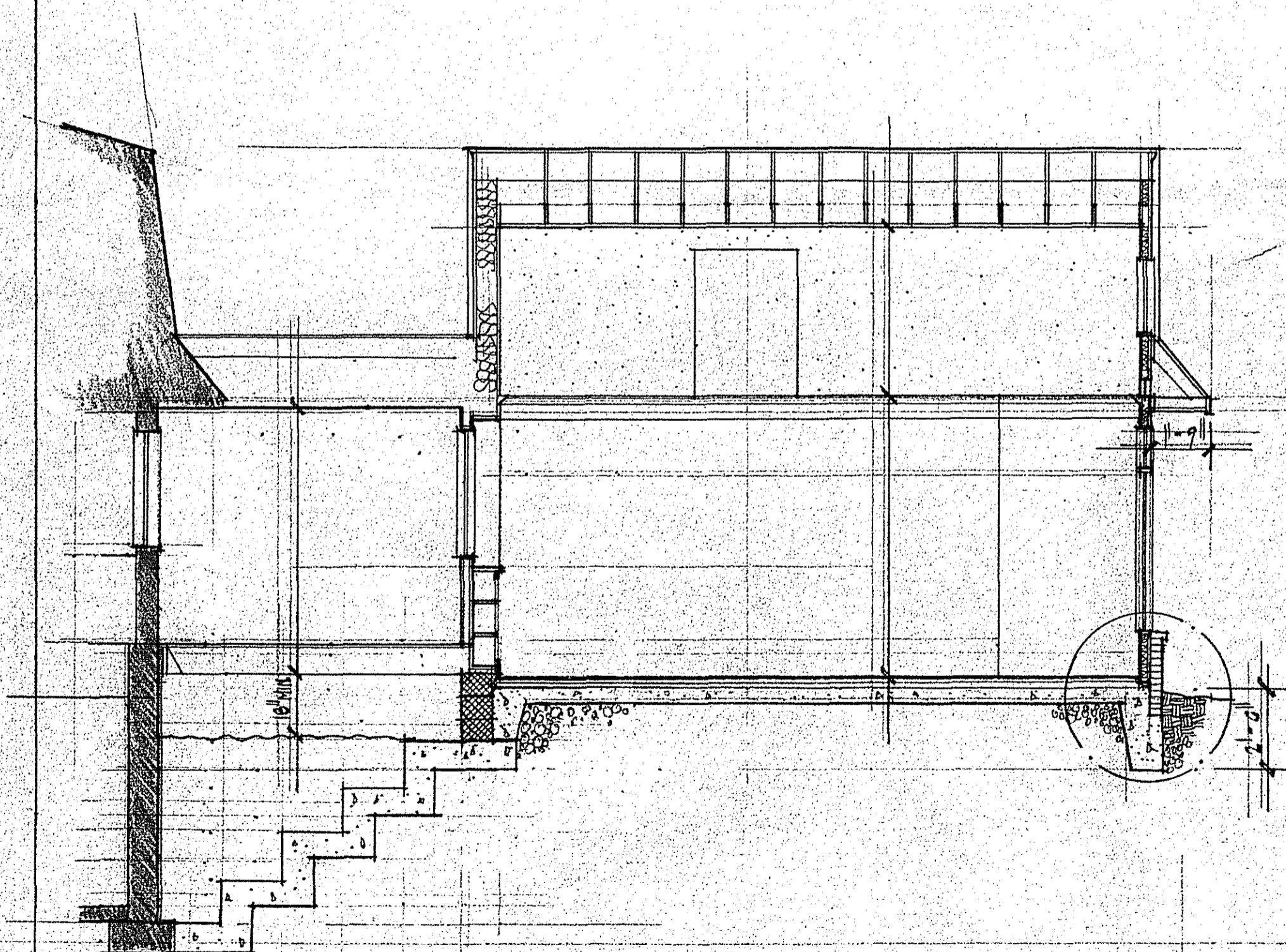
- ① LIGHT STAINED HARDWOOD FLOOR OVER SLEEPERS.
- ② CUSTOM STD. WOOD FLOOR TO CLG. ADJ. BOOKSHELVES ON RECESSED WHITE KEY TRACK.
- ③ SLATE HEARTH & SURROUND.
- ④ PRE-FAB FIREPLACE BY SUPERIOR HE-A 3500 W/ COMB. AIR KIT & ALL GLASS OR 3500-BLACK.
- ⑤ CUSTOM STD. WOOD WINDOW BENCH.
- ⑥ CUSTOM STD. WOOD SHELVES.
- ⑦ CUSTOM STD. WOOD GLASS PASS-THRU DOORS.
- ⑧ CUSTOM PRESSURE TREATED STEPS & LANDING.
- ⑨ NEW PAINTED WOOD RAIL.
- ⑩ PAINT ENTIRE KITCHEN - CLG. WALLS AND ISL.

BRENNAN & RILL ARCHITECTS, PC  
 W A S H I N G T O N D C  
 202 628 6237

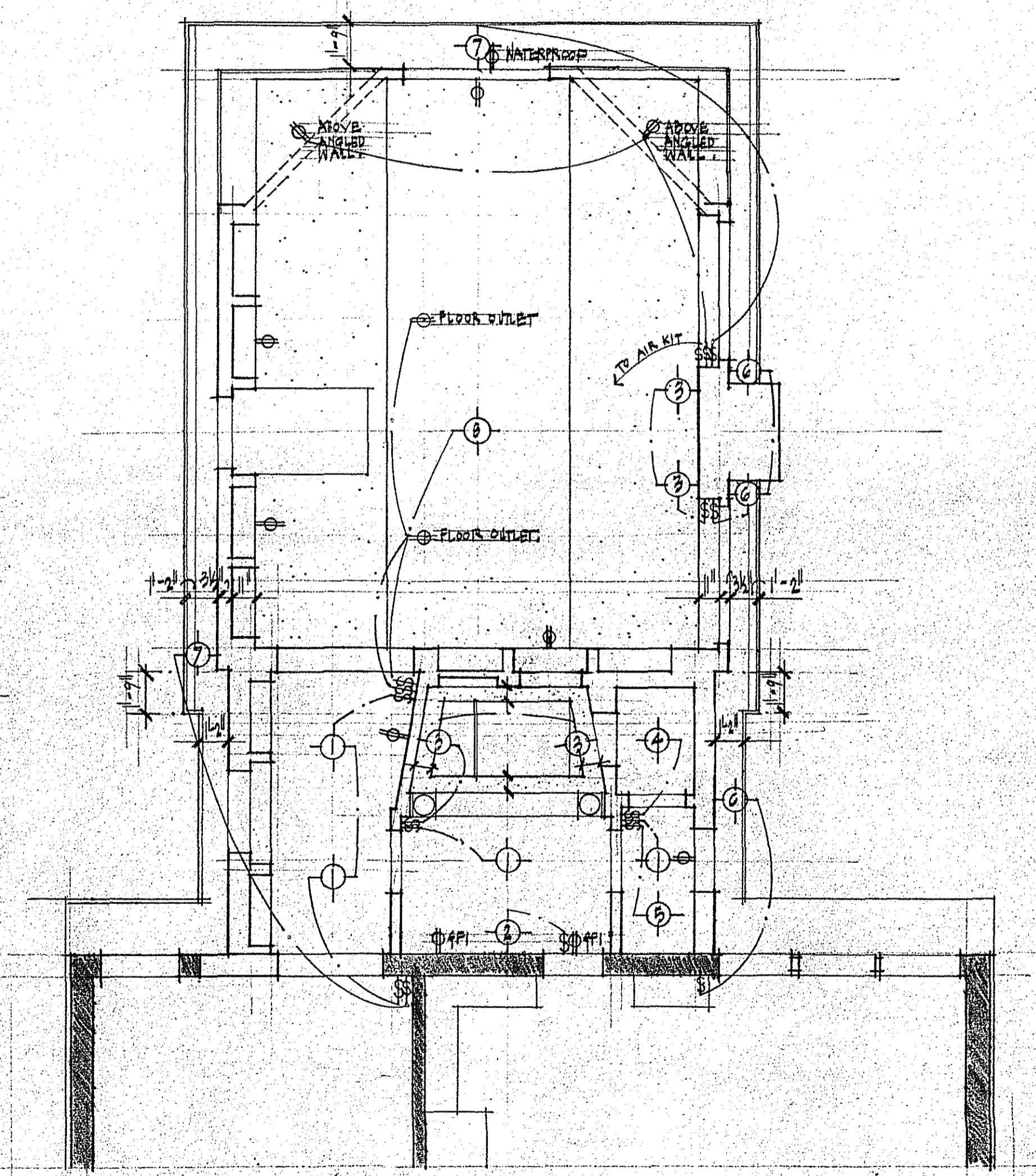
FREDERIKSEN ADDITION  
 10911 KENILWORTH AVENUE  
 GARRETT PARK, MARYLAND 20886







**2 BUILDING SECTION**  
 1/4" = 1'-0"



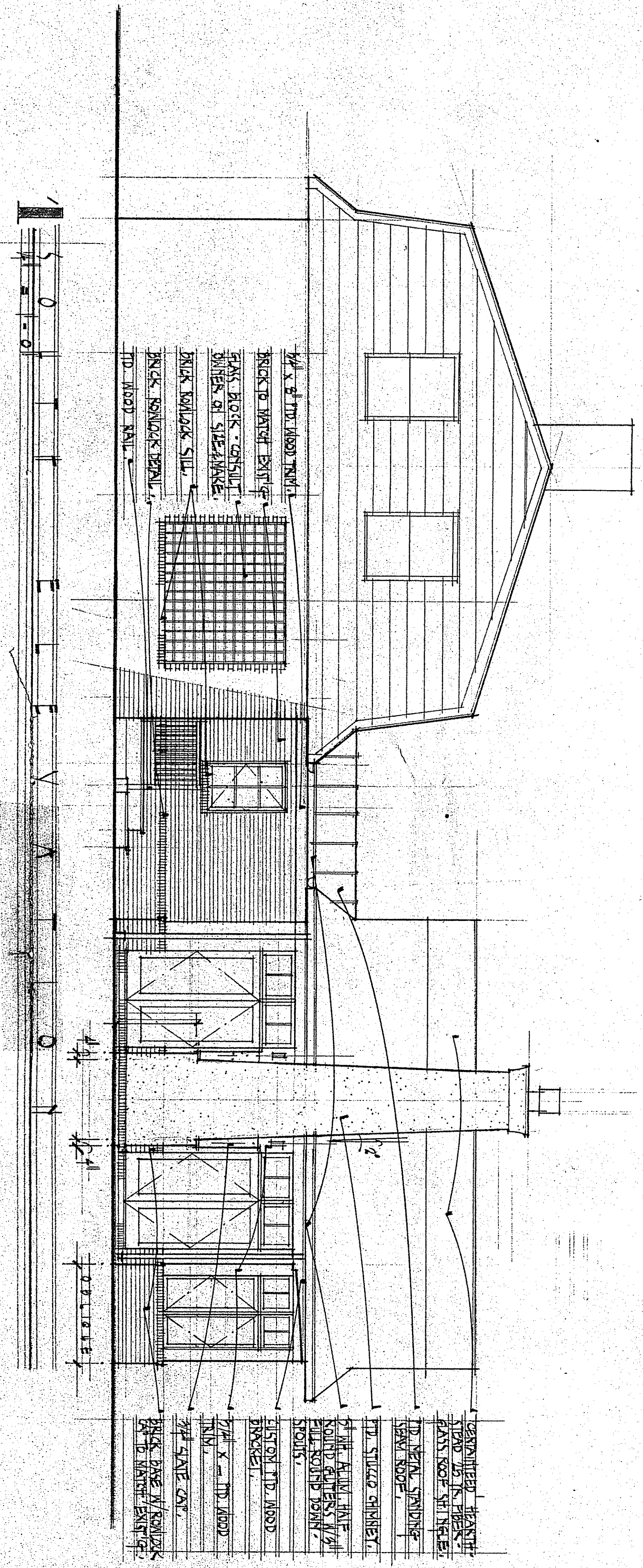
**REFLECTED CEILING PLAN**  
 1/4" = 1'-0"



**FREDERIKSEN ADDITION**  
 10911 KENILWORTH AVENUE  
 GARRETT PARK, MARYLAND 20896

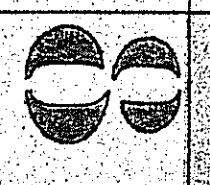
**BRENNAN & RILL ARCHITECTS, PC**  
 WASHINGTON, D.C.  
 202 628 6233





1/4" x 8" T.D. WOOD TRIM  
 BRICK TO MATCH EXIST'G  
 GLASS BLOCK - CONT. SILL  
 DIVIDER ON SIDE MARKER  
 BRICK KNOCKOUT SILL  
 BRICK KNOCKOUT BEAM  
 T.D. WOOD NAIL

GARMENTED HEARTH  
 STAIR UP TO FLOOR  
 GLASS ROOF - SEE NOTES  
 T.D. METAL STANDING  
 SEAM ROOF  
 T.D. STUCCO CHIMNEY  
 5/8" METAL HANG  
 SOUND GUTTERS 1/2"  
 FULL ROUND DOWN  
 SPOUTS  
 CLUSTON T.D. WOOD  
 BRICKS  
 7/8" x 1" T.D. WOOD  
 TRIM  
 3/4" SLATE CAP  
 BRICK BASE W/ SOUND  
 CAP TO MATCH EXIST'G

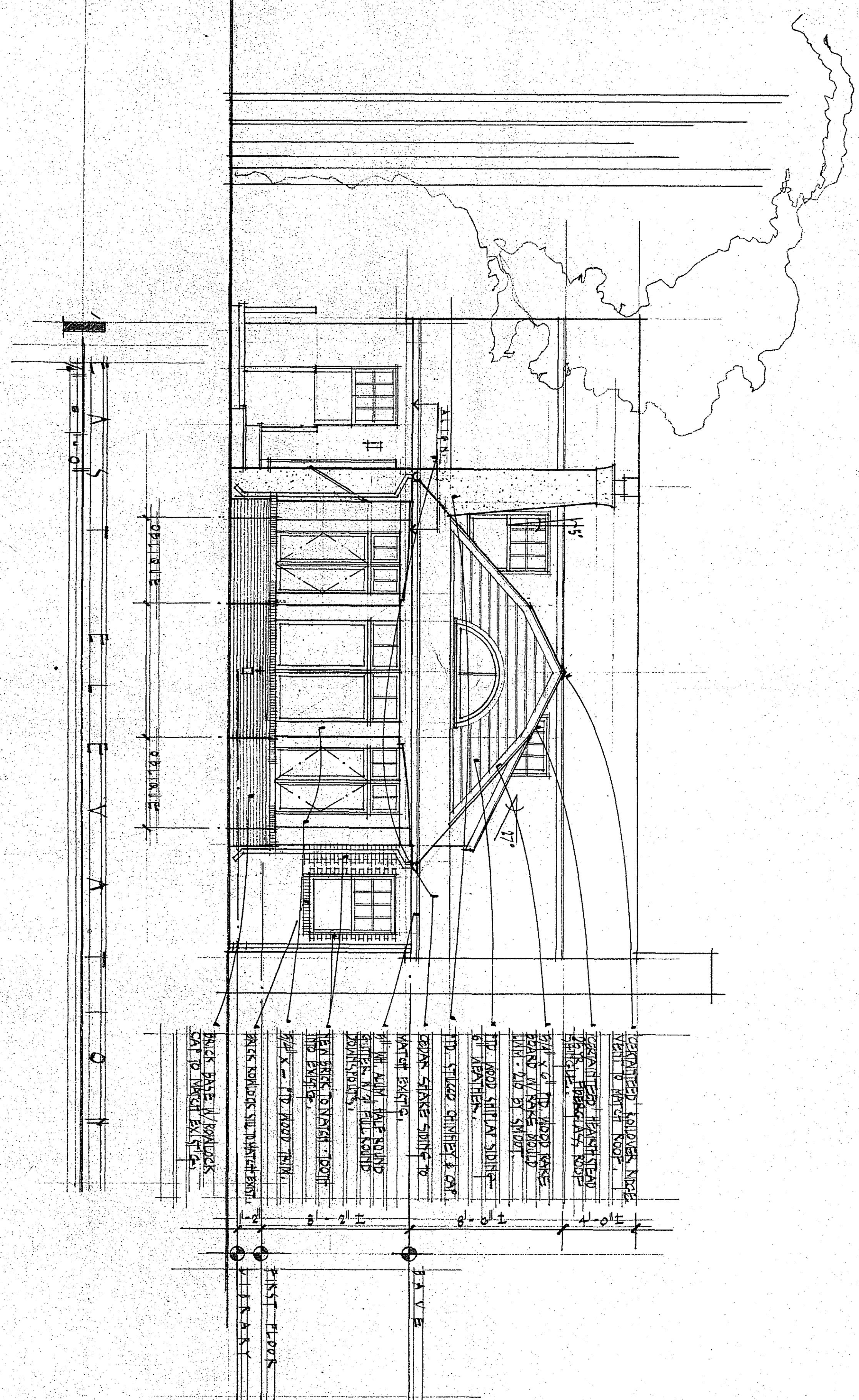


**FREDERIKSEN ADDITION**  
 10911 KENILWORTH AVENUE  
 GARRETT PARK, MARYLAND 20896

**BRENNAN & RILL ARCHITECTS, P.C.**  
 WASHINGTON D.C.

202 628 6233

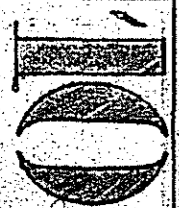
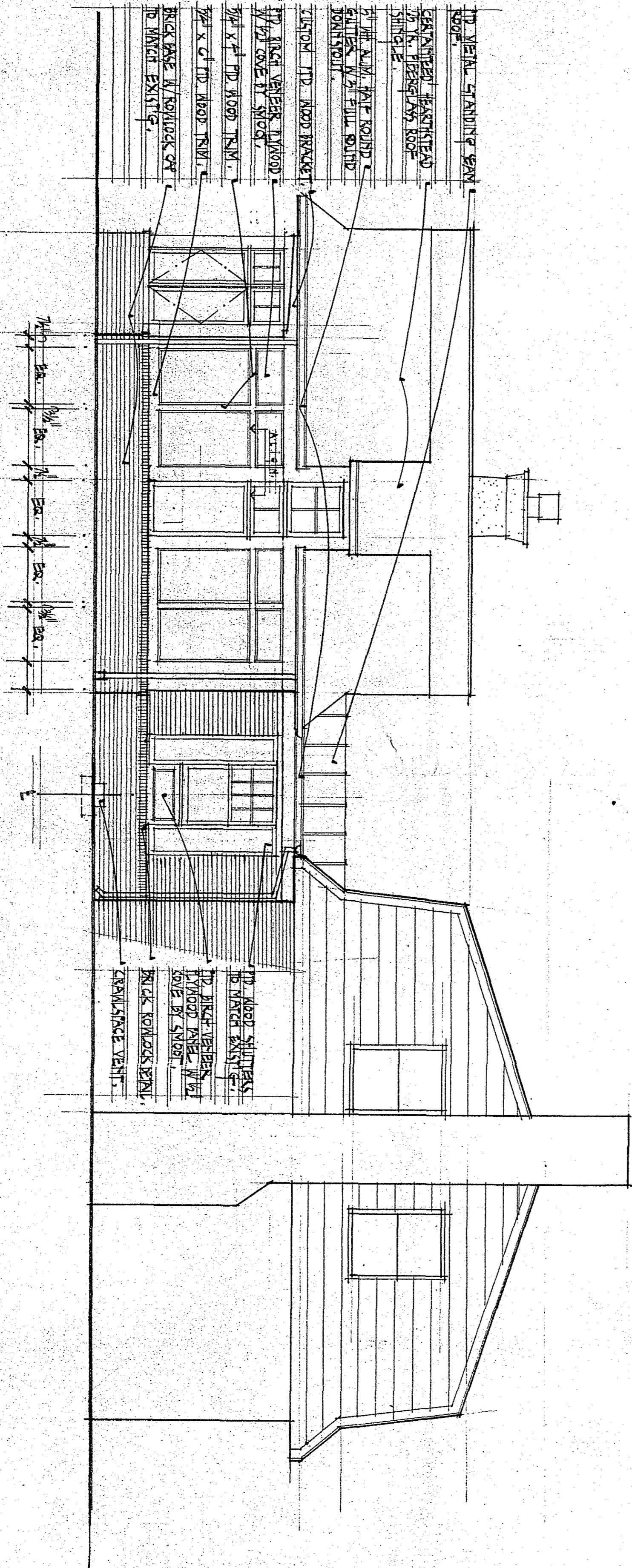




- 1. CEILINGED FOLLOWER NOSE VENT TO VENT ROOF.
- 2. CEILINGED HEAVY STEAM TRAP & FLOORCLAY ROOF FLASHING.
- 3. 2" x 4" TO WOOD RAFTERS BOARD AT RAFTERS JOINT W/ 2" BY SHIRT.
- 4. 2" WOOD SHIP LAY STUDING @ 16" ON CENTER.
- 5. 2" STUDING CHIMNEY & CAP MATCH EXISTING.
- 6. CEDAR SHAKE SIDING TO MATCH EXISTING.
- 7. 3/4" W/ 1/2" HALF ROUND GUTTERS W/ 2" FULL ROUND JOINTS @ 20" O.C.
- 8. 1/2" BRICK TO MATCH EXISTING.
- 9. 1/2" x 4" TO WOOD TRIM.
- 10. BRICK ROOFERS SILL TO MATCH EXISTING.
- 11. BRICK PATE W/ ROOFLOCK CAP TO MATCH EXISTING.



0  
1  
2  
3  
4  
5  
6  
7  
8  
9  
10  
11  
12  
13  
14  
15  
16  
17  
18  
19  
20  
21  
22  
23  
24  
25  
26  
27  
28  
29  
30  
31  
32  
33  
34  
35  
36  
37  
38  
39  
40  
41  
42  
43  
44  
45  
46  
47  
48  
49  
50  
51  
52  
53  
54  
55  
56  
57  
58  
59  
60  
61  
62  
63  
64  
65  
66  
67  
68  
69  
70  
71  
72  
73  
74  
75  
76  
77  
78  
79  
80  
81  
82  
83  
84  
85  
86  
87  
88  
89  
90  
91  
92  
93  
94  
95  
96  
97  
98  
99  
100  
101  
102  
103  
104  
105  
106  
107  
108  
109  
110  
111  
112  
113  
114  
115  
116  
117  
118  
119  
120  
121  
122  
123  
124  
125  
126  
127  
128  
129  
130  
131  
132  
133  
134  
135  
136  
137  
138  
139  
140  
141  
142  
143  
144  
145  
146  
147  
148  
149  
150  
151  
152  
153  
154  
155  
156  
157  
158  
159  
160  
161  
162  
163  
164  
165  
166  
167  
168  
169  
170  
171  
172  
173  
174  
175  
176  
177  
178  
179  
180  
181  
182  
183  
184  
185  
186  
187  
188  
189  
190  
191  
192  
193  
194  
195  
196  
197  
198  
199  
200  
201  
202  
203  
204  
205  
206  
207  
208  
209  
210  
211  
212  
213  
214  
215  
216  
217  
218  
219  
220  
221  
222  
223  
224  
225  
226  
227  
228  
229  
230  
231  
232  
233  
234  
235  
236  
237  
238  
239  
240  
241  
242  
243  
244  
245  
246  
247  
248  
249  
250  
251  
252  
253  
254  
255  
256  
257  
258  
259  
260  
261  
262  
263  
264  
265  
266  
267  
268  
269  
270  
271  
272  
273  
274  
275  
276  
277  
278  
279  
280  
281  
282  
283  
284  
285  
286  
287  
288  
289  
290  
291  
292  
293  
294  
295  
296  
297  
298  
299  
300  
301  
302  
303  
304  
305  
306  
307  
308  
309  
310  
311  
312  
313  
314  
315  
316  
317  
318  
319  
320  
321  
322  
323  
324  
325  
326  
327  
328  
329  
330  
331  
332  
333  
334  
335  
336  
337  
338  
339  
340  
341  
342  
343  
344  
345  
346  
347  
348  
349  
350  
351  
352  
353  
354  
355  
356  
357  
358  
359  
360  
361  
362  
363  
364  
365  
366  
367  
368  
369  
370  
371  
372  
373  
374  
375  
376  
377  
378  
379  
380  
381  
382  
383  
384  
385  
386  
387  
388  
389  
390  
391  
392  
393  
394  
395  
396  
397  
398  
399  
400  
401  
402  
403  
404  
405  
406  
407  
408  
409  
410  
411  
412  
413  
414  
415  
416  
417  
418  
419  
420  
421  
422  
423  
424  
425  
426  
427  
428  
429  
430  
431  
432  
433  
434  
435  
436  
437  
438  
439  
440  
441  
442  
443  
444  
445  
446  
447  
448  
449  
450  
451  
452  
453  
454  
455  
456  
457  
458  
459  
460  
461  
462  
463  
464  
465  
466  
467  
468  
469  
470  
471  
472  
473  
474  
475  
476  
477  
478  
479  
480  
481  
482  
483  
484  
485  
486  
487  
488  
489  
490  
491  
492  
493  
494  
495  
496  
497  
498  
499  
500  
501  
502  
503  
504  
505  
506  
507  
508  
509  
510  
511  
512  
513  
514  
515  
516  
517  
518  
519  
520  
521  
522  
523  
524  
525  
526  
527  
528  
529  
530  
531  
532  
533  
534  
535  
536  
537  
538  
539  
540  
541  
542  
543  
544  
545  
546  
547  
548  
549  
550  
551  
552  
553  
554  
555  
556  
557  
558  
559  
560  
561  
562  
563  
564  
565  
566  
567  
568  
569  
570  
571  
572  
573  
574  
575  
576  
577  
578  
579  
580  
581  
582  
583  
584  
585  
586  
587  
588  
589  
590  
591  
592  
593  
594  
595  
596  
597  
598  
599  
600  
601  
602  
603  
604  
605  
606  
607  
608  
609  
610  
611  
612  
613  
614  
615  
616  
617  
618  
619  
620  
621  
622  
623  
624  
625  
626  
627  
628  
629  
630  
631  
632  
633  
634  
635  
636  
637  
638  
639  
640  
641  
642  
643  
644  
645  
646  
647  
648  
649  
650  
651  
652  
653  
654  
655  
656  
657  
658  
659  
660  
661  
662  
663  
664  
665  
666  
667  
668  
669  
670  
671  
672  
673  
674  
675  
676  
677  
678  
679  
680  
681  
682  
683  
684  
685  
686  
687  
688  
689  
690  
691  
692  
693  
694  
695  
696  
697  
698  
699  
700  
701  
702  
703  
704  
705  
706  
707  
708  
709  
710  
711  
712  
713  
714  
715  
716  
717  
718  
719  
720  
721  
722  
723  
724  
725  
726  
727  
728  
729  
730  
731  
732  
733  
734  
735  
736  
737  
738  
739  
740  
741  
742  
743  
744  
745  
746  
747  
748  
749  
750  
751  
752  
753  
754  
755  
756  
757  
758  
759  
760  
761  
762  
763  
764  
765  
766  
767  
768  
769  
770  
771  
772  
773  
774  
775  
776  
777  
778  
779  
780  
781  
782  
783  
784  
785  
786  
787  
788  
789  
790  
791  
792  
793  
794  
795  
796  
797  
798  
799  
800  
801  
802  
803  
804  
805  
806  
807  
808  
809  
810  
811  
812  
813  
814  
815  
816  
817  
818  
819  
820  
821  
822  
823  
824  
825  
826  
827  
828  
829  
830  
831  
832  
833  
834  
835  
836  
837  
838  
839  
840  
841  
842  
843  
844  
845  
846  
847  
848  
849  
850  
851  
852  
853  
854  
855  
856  
857  
858  
859  
860  
861  
862  
863  
864  
865  
866  
867  
868  
869  
870  
871  
872  
873  
874  
875  
876  
877  
878  
879  
880  
881  
882  
883  
884  
885  
886  
887  
888  
889  
890  
891  
892  
893  
894  
895  
896  
897  
898  
899  
900  
901  
902  
903  
904  
905  
906  
907  
908  
909  
910  
911  
912  
913  
914  
915  
916  
917  
918  
919  
920  
921  
922  
923  
924  
925  
926  
927  
928  
929  
930  
931  
932  
933  
934  
935  
936  
937  
938  
939  
940  
941  
942  
943  
944  
945  
946  
947  
948  
949  
950  
951  
952  
953  
954  
955  
956  
957  
958  
959  
960  
961  
962  
963  
964  
965  
966  
967  
968  
969  
970  
971  
972  
973  
974  
975  
976  
977  
978  
979  
980  
981  
982  
983  
984  
985  
986  
987  
988  
989  
990  
991  
992  
993  
994  
995  
996  
997  
998  
999  
1000

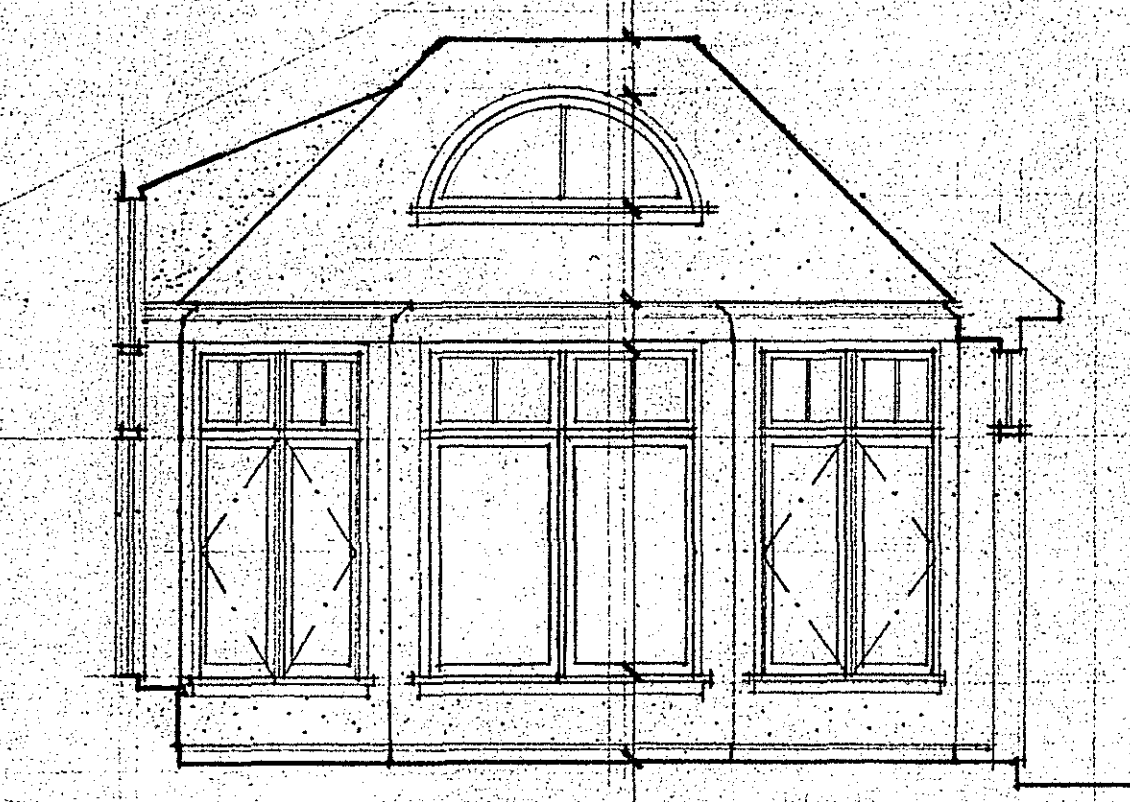


**FREDERIKSEN ADDITION**  
10911 KENILWORTH AVENUE  
GARRETT PARK, MARYLAND 20896

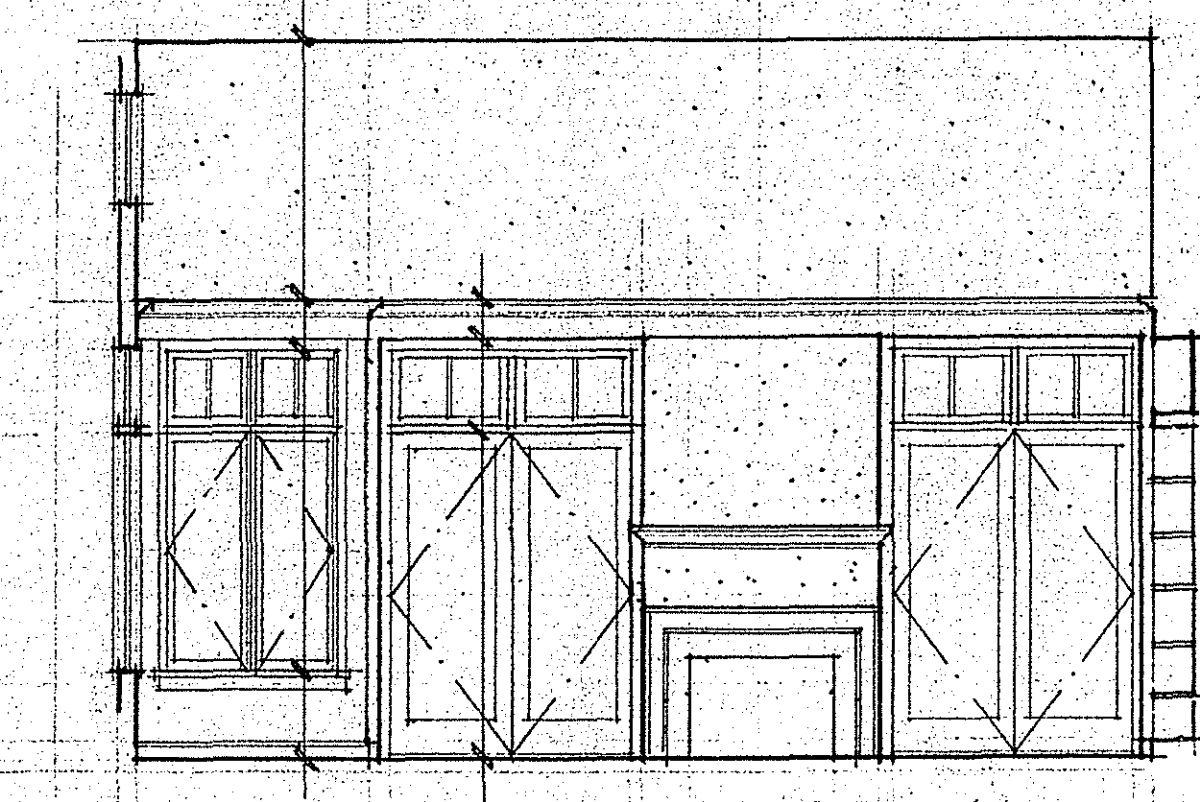
**BRENNAN & RILL ARCHITECTS, P.C.**  
WASHINGTON D.C.

202 628 6233

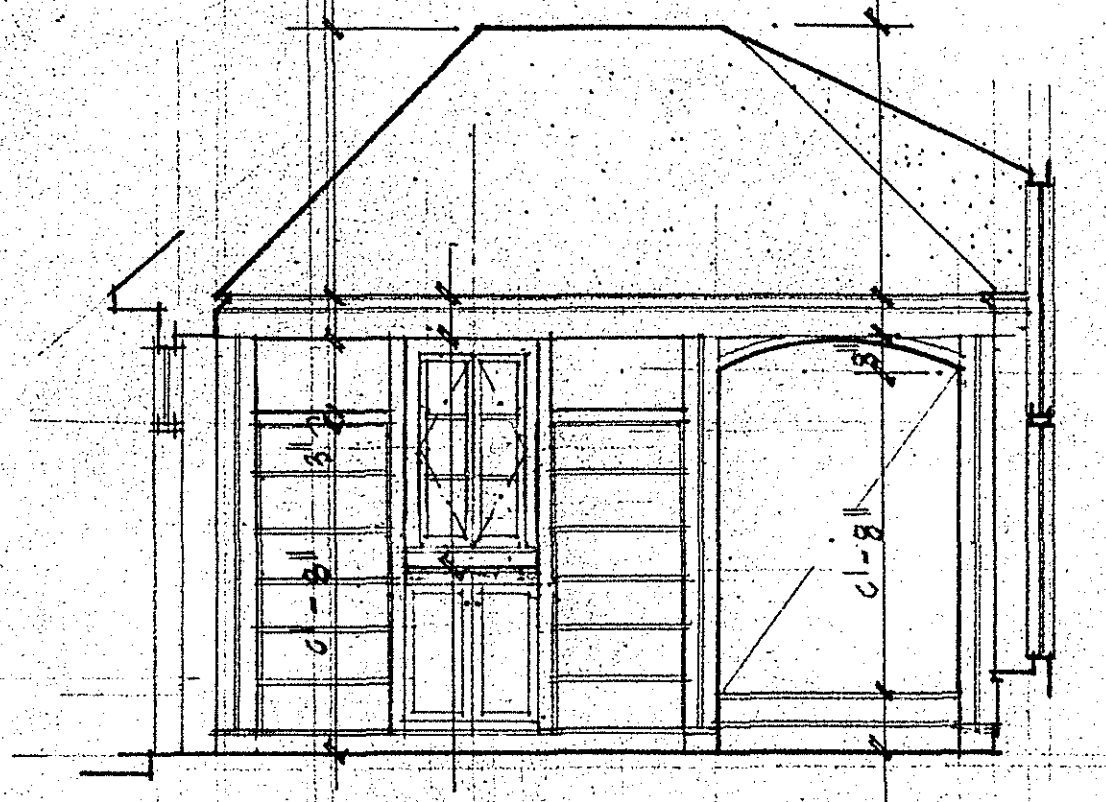




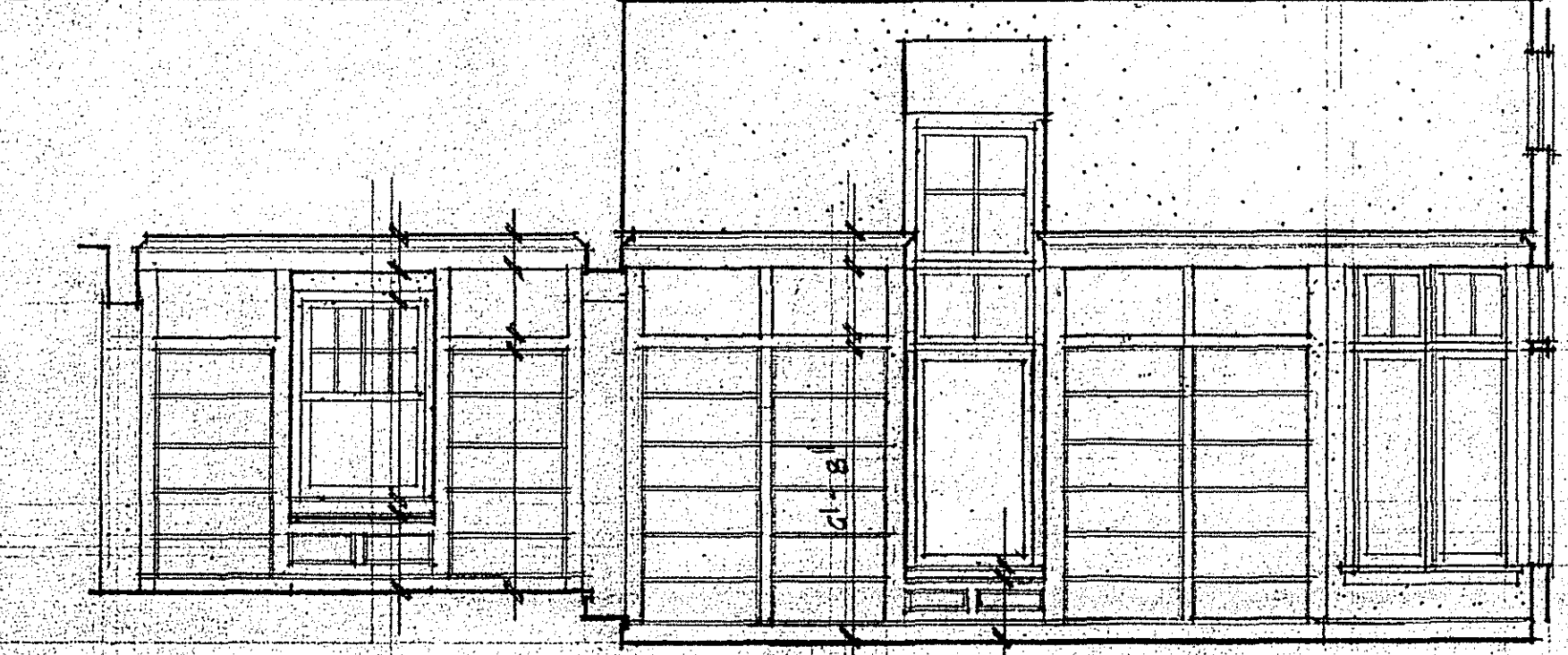
1 LIBRARY  
1/4" = 1'-0"



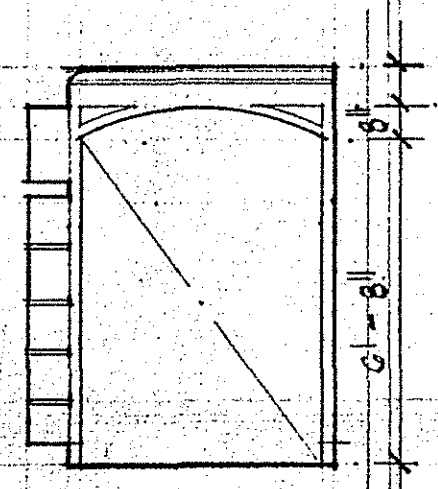
2 LIBRARY  
1/4" = 1'-0"



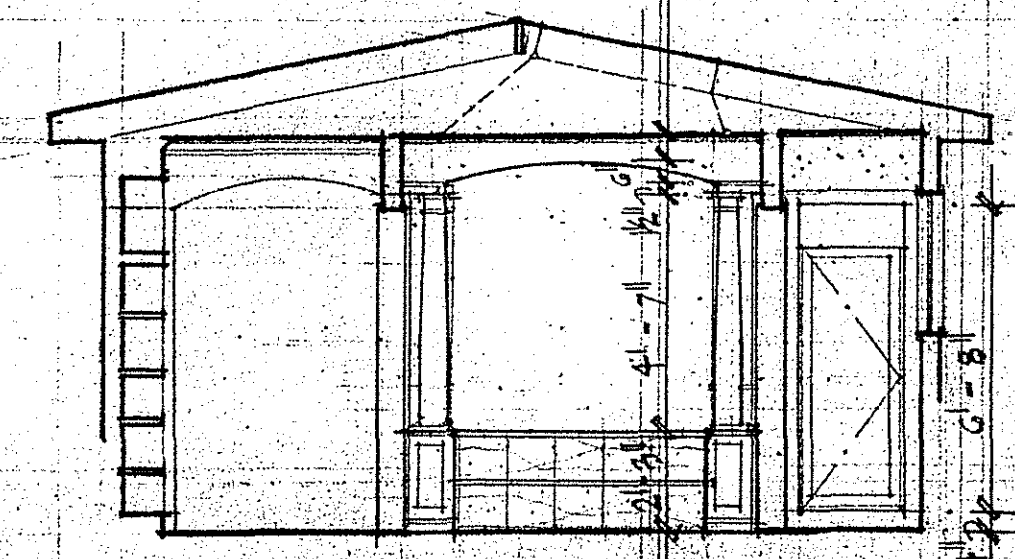
3 LIBRARY  
1/4" = 1'-0"



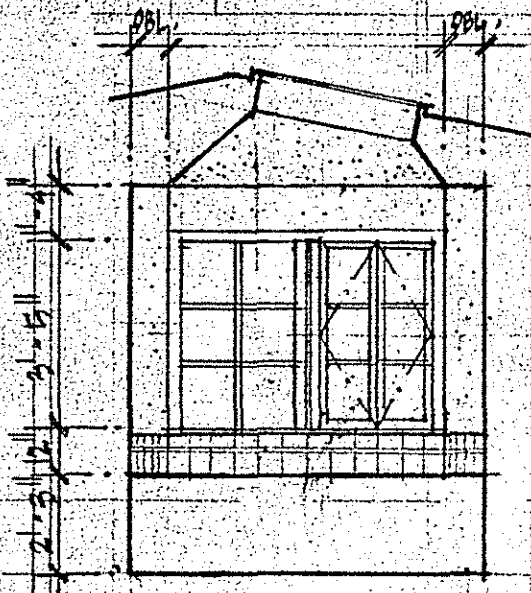
4 LIBRARY  
1/4" = 1'-0"



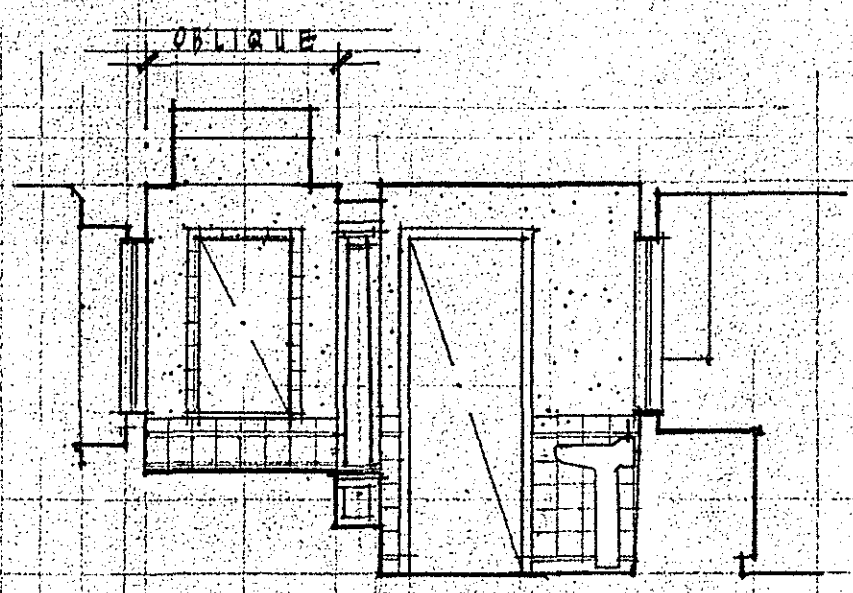
5  
1/4" = 1'-0"



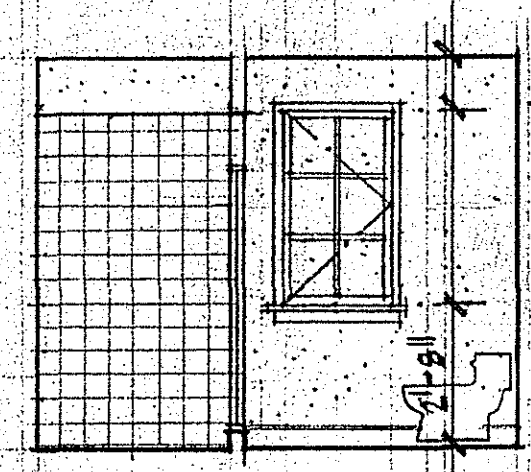
6 TALL BATHROOM  
1/4" = 1'-0"



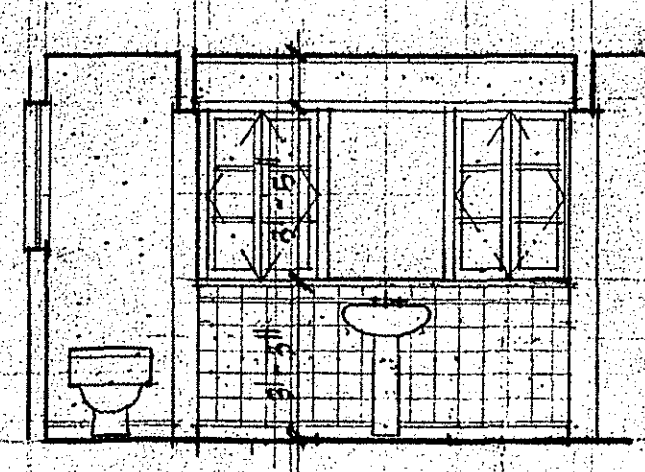
7 BATHROOM  
1/4" = 1'-0"



8 BATHROOM  
1/4" = 1'-0"



9 BATHROOM  
1/4" = 1'-0"



10 BATHROOM  
1/4" = 1'-0"

BRENNAN & RILL ARCHITECTS, PC  
WASHINGTON, D.C.

202 628 6277

FREDERIKSEN ADDITION  
10911 KENILWORTH AVENUE  
GARRETT PARK, MARYLAND 20896



Front of our house.



South side of our house.



North side of our house.





Rear of our house.



View from our back yard to the back of our house (left) and to the back of 10913 Kenilworth Ave. (right).



View from the back of our house to our back yard and, beyond it, to 10918 Montrose Ave.



View of the back of 10918 Montrose Ave., as seen from back of the trees in the back of our lot.



View from our back yard to the back of our house (right) and, mostly screened by bamboo, the north side of 10909 Kenilworth Ave.



View of the front of our house and, on the right, the northwest corner of 10909 Kenilworth Ave.





View from the street looking eastward to the front of our house (right) and to the front of 10913 Kenilworth Ave. (left), a house which is essentially identical to ours.



View from across the street looking eastward to the front of our house (right) and to the front of 10913 Kenilworth Ave. (left).



View from our front yard across the street to 10904 Kenilworth Ave. (on the left) and to 10906 Kenilworth Ave. (behind the car and the trees on the right).



View from our house across the street to 10904 Kenilworth Ave.



View of the front of 10906 Kenilworth Ave.