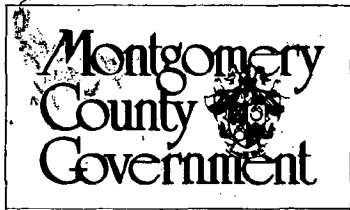


37/3-93L 7125 Carroll Avenue  
Takoma Park Historic District

**THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION  
8787 GEORGIA AVENUE  
SILVER SPRING, MARYLAND 20907**

Pompa / Sicker # 3713-942  
7071 Carroll Avenue  
Takoma Park Historic District  
AEC 7/28/94



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

(5010-250 Hwy for 10 Rockville Dist)

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1056850

NAME OF PROPERTY OWNER JEAN + HESTON LAWRENCE TELEPHONE NO. 301-891-3724  
(Contract/Purchaser) (Include Area Code)

ADDRESS 7125 CARROLL AVE, TAKOMA PARK, MD 20912  
CITY STATE ZIP

CONTRACTOR J+H CONTRACTING TELEPHONE NO. 301 270-2529  
CONTRACTOR REGISTRATION NUMBER 73856

PLANS PREPARED BY CFM DESIGN TELEPHONE NO. 301 794-0682  
(Include Area Code)

REGISTRATION NUMBER 6059-A

### LOCATION OF BUILDING/PREMISE

House Number 7125 Street CARROLL AVE.

Town/City TAKOMA PARK Election District 13

Nearest Cross Street PHILADELPHIA AVE.

Lot 75 Block B 19 Subdivision B.F. GILBERT ADDITION

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)

|   |                                     |   |                                    |   |                                |  |
|---|-------------------------------------|---|------------------------------------|---|--------------------------------|--|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend/Add | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> Repair    | Circle One: A/C                                     | Slab                           | Room Addition                              |
| <input type="checkbox"/> Wreck/Raze           | <input type="checkbox"/> Move       | <input type="checkbox"/> Install        | <input type="checkbox"/> Revocable | <input type="checkbox"/> Porch                      | <input type="checkbox"/> Deck  | <input type="checkbox"/> Fireplace         |
|   |                                     |   | <input type="checkbox"/> Revision  | <input type="checkbox"/> Shed                       | <input type="checkbox"/> Solar | <input type="checkbox"/> Woodburning Stove |
|   |                                     |   |                                    | Fence/Wall (complete Section 4) Other <u>GARAGE</u> |                                |  |

1B. CONSTRUCTION COSTS ESTIMATE \$ 8,000.

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? YES MASTER PLAN

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/OADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

|                    |               |
|--------------------|---------------|
| 01 ( ) WSSC        | 02 ( ) Septic |
| 03 ( ) Other _____ |               |

2B. TYPE OF WATER SUPPLY

|                    |             |
|--------------------|-------------|
| 01 ( ) WSSC        | 02 ( ) Well |
| 03 ( ) Other _____ |             |

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Heaton J. Lawrence Signature of owner or authorized agent (agent must have signature notarized on back) Date 4-19-93

APPROVED + For Chairperson, Historic Preservation Commission  
Signature Albert B. Randall Date 5-12-93

APPLICATION/PERMIT NO: 1204210105 FILING FEE: \$ \_\_\_\_\_  
DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_  
DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_  
OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7125 Carroll Avenue Meeting Date: 5/12/93  
Resource: Takoma Park Historic District Review: HAWP/Alteration  
Case Number: 37/3-93L Tax Credit: No  
Public Notice: 4/28/93 Report Date: 5/5/93  
Applicant: Jean and Hesston Lauver Staff: Nancy Witherell  
PROPOSAL: construct garage RECOMMEND: Approve

---

The applicants propose the construction of a two-car frame garage to the rear of the house (a contributing structure) behind the existing driveway at the extreme rear corner of the lot. The garage roof's gable end would face the rear yard and street. The applicants propose T-111 for the walls and asphalt shingles for roof.

STAFF DISCUSSION

The staff finds the size, location, and design of the garage to be consistent with the Takoma Park guidelines. The use of T-111 is generally not encouraged, because it is not a material used during the period in which historic houses were built. In this instance, for an ancillary structure, the staff finds its use acceptable. The garage would be sited at the rear of the yard and not in close proximity either to the house or to public view. Further, the narrow gable end wall--most of which would contain the garage door--would face the street.

STAFF RECOMMENDATION

The staff recommends that the Commission find the construction of the garage as proposed consistent with the purposes of Chapter 24A, particularly 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850

~~247-3625~~

(go to 250 Hungerford Dr, Rockville - DEP)

## APPLICATION FOR HISTORIC AREA WORK PERMIT

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House Number 7125 Street CARROLL AVE.

Town/City TAKOMA PARK Election District 13

Nearest Cross Street PHILADELPHIA AVE.

Lot 25 Block B 19 Subdivision B.F. GILBERT ADDITION

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

- 1A. TYPE OF PERMIT ACTION: (circle one)
- |   |                                     |   |                                    |                                 |                               |                                    |                               |                                |  |
|---|-------------------------------------|---|------------------------------------|---------------------------------|-------------------------------|------------------------------------|-------------------------------|--------------------------------|--|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend/Add | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> Repair    | Circle One: A/C                 | Slab                          | Room Addition                      |                               |                                |  |
| <input type="checkbox"/> Wreck/Raze           | <input type="checkbox"/> Move       | <input type="checkbox"/> Install        | <input type="checkbox"/> Revocable | <input type="checkbox"/> Porch  | <input type="checkbox"/> Deck | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Shed | <input type="checkbox"/> Solar | <input type="checkbox"/> Woodburning Stove |
|   |                                     |   | <input type="checkbox"/> Revision  | Fence/Wall (complete Section 4) |                               |                                    | Other                         | <u>GARAGE</u>                  |  |
- 1B. CONSTRUCTION COSTS ESTIMATE \$ 8,000.
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_
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- 2A. TYPE OF SEWAGE DISPOSAL
- 01 ( ) WSSC 02 ( ) Septic
- 03 ( ) Other \_\_\_\_\_
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

*Handwritten signature*

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT  
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING STRUCTURE IS A 1910 ERA HOUSE  
THAT IS 2 1/2 STORIES TALL. WAS 4 APARTMENTS UNTIL  
CURRENT OWNER'S RETURNED IT TO A SINGLE FAMILY UNIT IN  
MID 1980'S. EXTERIOR IS CEDAR SHINGLES WITH A LITTLE  
CRUMBLING STUCCO AT THE BASE. HOUSE IS LOCATED ON A  
VERY BUSY STREET IN TAKOMA PARK.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

WE ARE PROPOSING TO BUILD A TWO CAR GARAGE ON  
THE REAR LEFT CORNER OF OUR LOT, AT END OF  
EXISTING DRIVE AND PARKING AREA. AS CAN BE NOTED  
BY OUR PHOTO'S THERE ARE ALREADY 3 DETACHED GARAGES  
OR CARRAGE HOUSE'S IN THE AREA.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

THE DESIGN IS LONGER AND SLENDER TO GIVE THE <sup>NEEDED</sup> REQUIRED SQ FOOTAGE NEEDED YET TO PRESERVE AS MUCH OF THE BACK YARD AS POSSIBLE. THE MATERIALS TO BE USED ARE COMMON IN THE ADJOINING HOMES. REF. TO T-111 FOR SIDING, WOOD WINDOW & CORNER TRIM AND ASPHALT ROOF SHINGLES

- b. the relationship of this design to the existing resource(s):

DESIGN IS SIMILAR TO EXIST GARAGES ELSE WHERE ON THE BLOCK AND IN THE NEIGHBORHOOD. THIS IS A CUSTOM DESIGNED GARAGE, TO BE SIMPLE, YET TO MEET THE DESIGN & FEEL OF THE AREA.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):
- 
- 
- 
- 

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name RUSSEL W. + K. J. PITTMAN  
Address 7123 CARROLL AVE.  
City/Zip TAKOMA PARK, MD. 20912
2. Name DENIS J. + S. A. MACARTHY  
Address 10206 GREEN ACRES DR.  
City/Zip SILVER SPRING, MD. 20903



3. Name GUY RENE  
Address 7128 CARROLL AVE.  
City/Zip TAKOMA PARK, MD. 20912

4. Name THOMAS ANASTASIO AND OTHERS  
Address 32 COLUMBIA AVE.  
City/Zip TAKOMA PARK, MD. 20912

5. Name EMILE RUTNER  
Address 34 COLUMBIA AVE.  
City/Zip TAKOMA PARK, MD. 20912

6. Name WILLIAM E. STRUM  
Address 36 COLUMBIA AVE.  
City/Zip TAKOMA PARK, MD. 20912

7. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

8. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

1757E



**Front View of Property with drive entrance on left.**



**View of location of the proposed garage from the front street.  
Garage is to be located about 15 feet in front of cars.**



View from second story of house showing location of proposed garage. Out line of proposed garage can be partially seen by wood laying in grass.



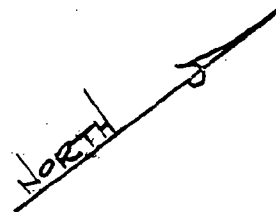
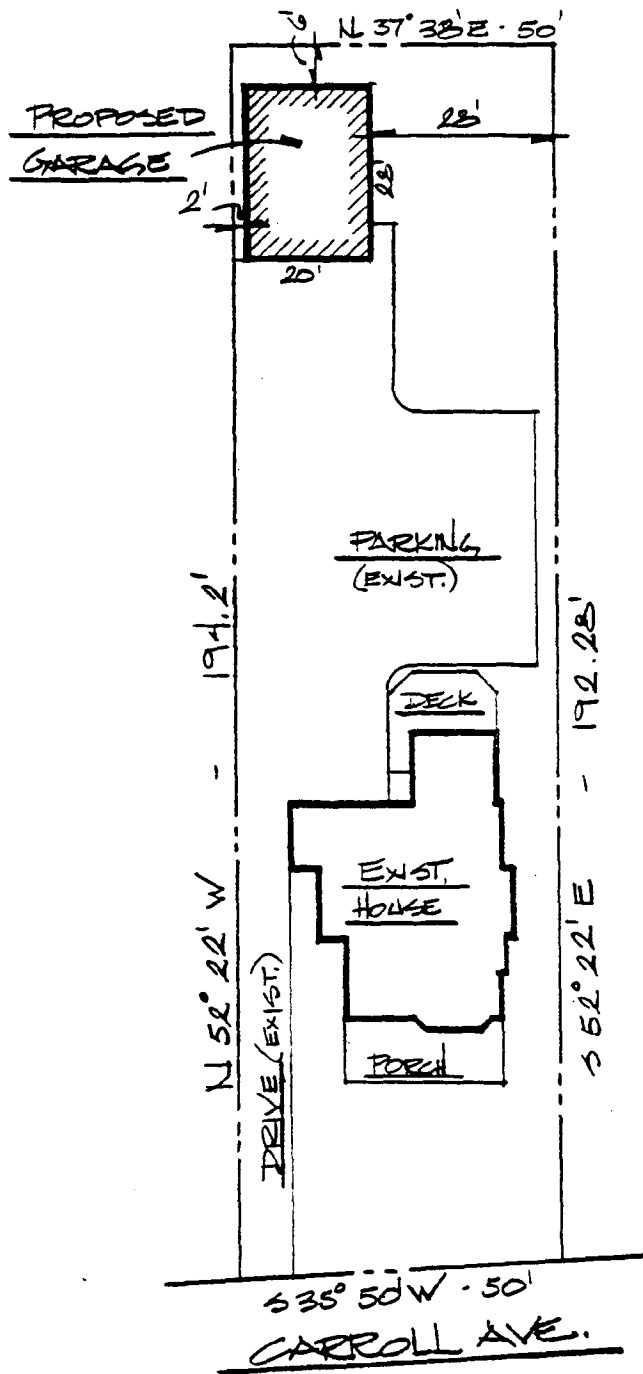
View from ground level still showing location and adjoining shed on property behind.



**View from second story of house showing location of adjacent properties with garages to the right of proposed garage.**

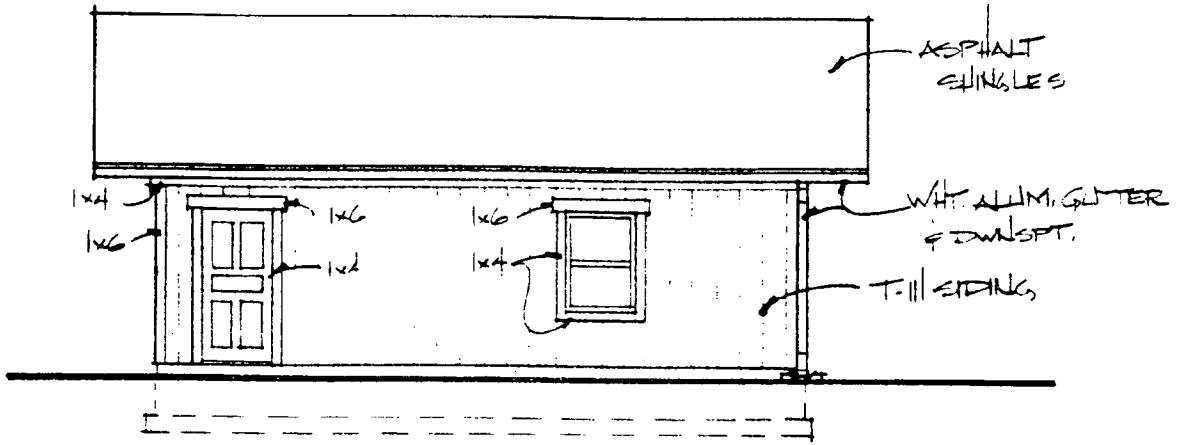


**View to the left of the proposed garage showing the neighboring parking lot and a neighboring garage.**



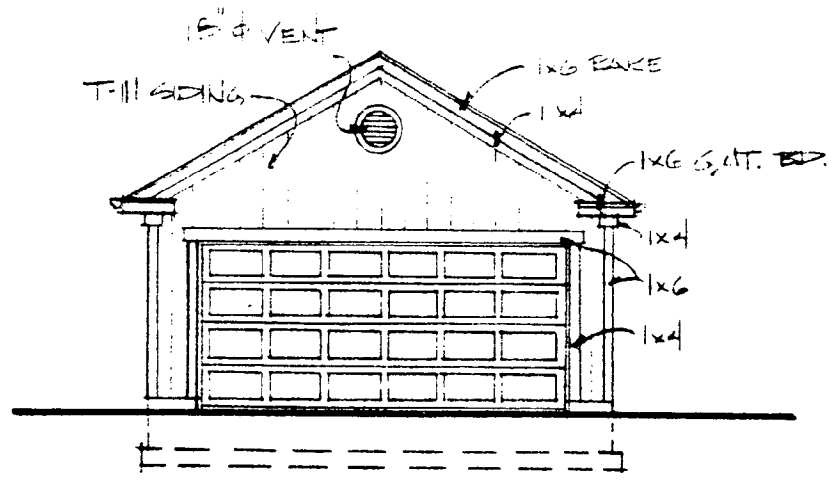
LALVER GARAGE  
 7125 CARROLL AVE.  
 TAKOMA PARK, MD  
 LOT 25, BLOCK 19  
 SCALE: 1" = 30'-0"

**CEM DESIGN**  
 520 ANDERSON AVENUE  
 ROCKVILLE, MARYLAND  
 20850  
 301-294-0682



SIDE ELEV.

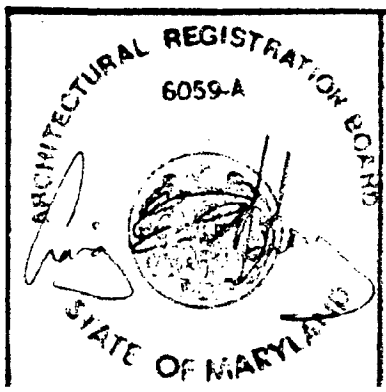
SCALE: 1/8" = 1'-0"



FRONT ELEV.

SCALE: 1/8" = 1'-0"

D.  
ER  
ELEV.  
PANEL



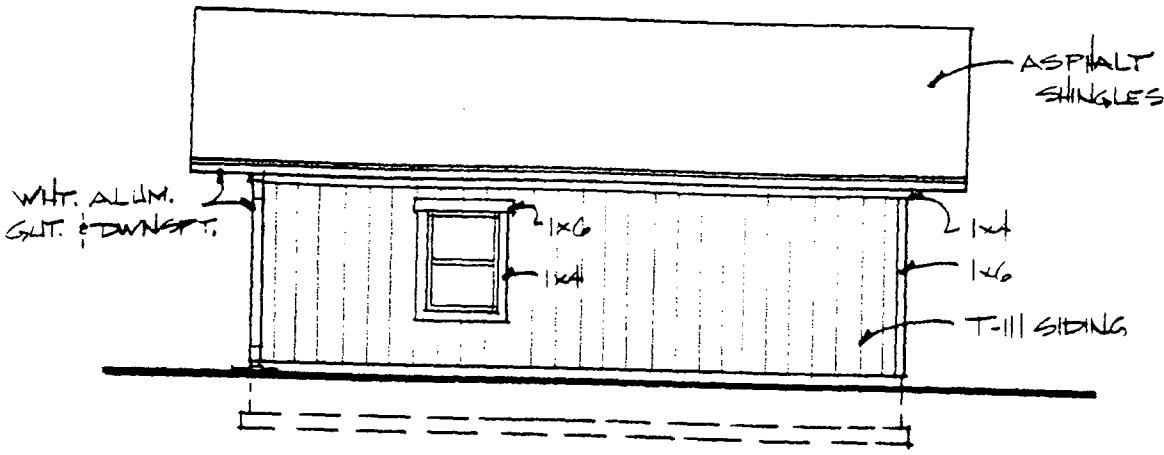
LAWVER  
GARAGE  
TAKOMA PARK - MARYLAND

**CEM DESIGN**  
520 ANDERSON AVENUE  
ROCKVILLE, MARYLAND  
20850

301-294-0682

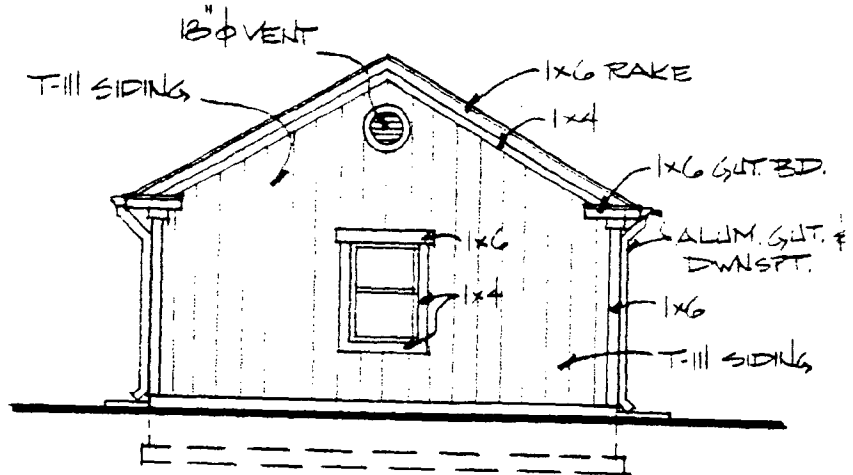
SHT. 1 OF 4

4/12/93



SIDE ELEV.

SCALE: 1/8" = 1'-0"



REAR ELEV.

SCALE: 1/8" = 1'-0"



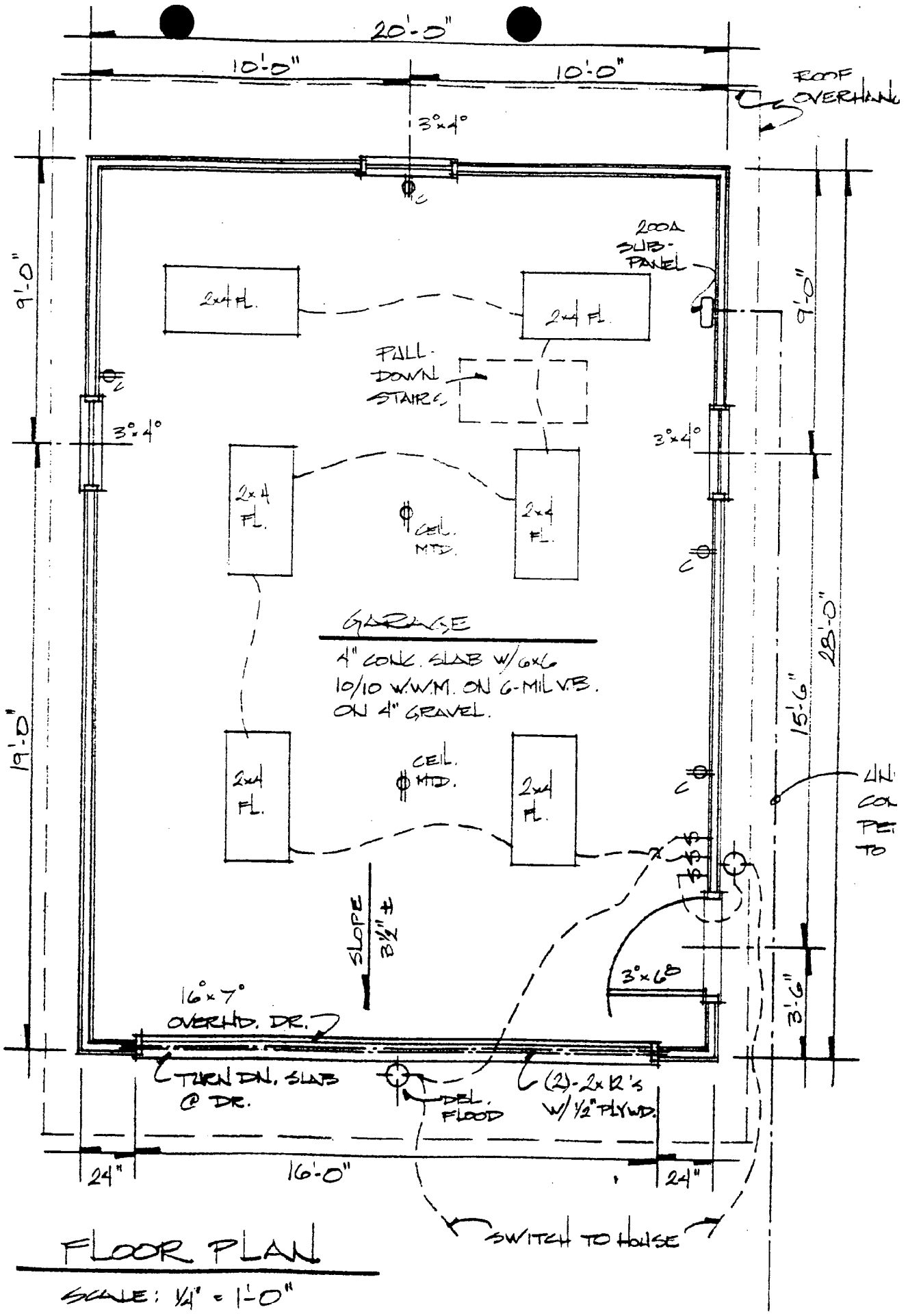
LAWVER  
GARAGE

TAKOMA PARK - MARYLAND

**CEM DESIGN**  
520 ANDERSON AVENUE  
ROCKVILLE, MARYLAND  
20850

301-294-0682

SHT. 2 OF 4



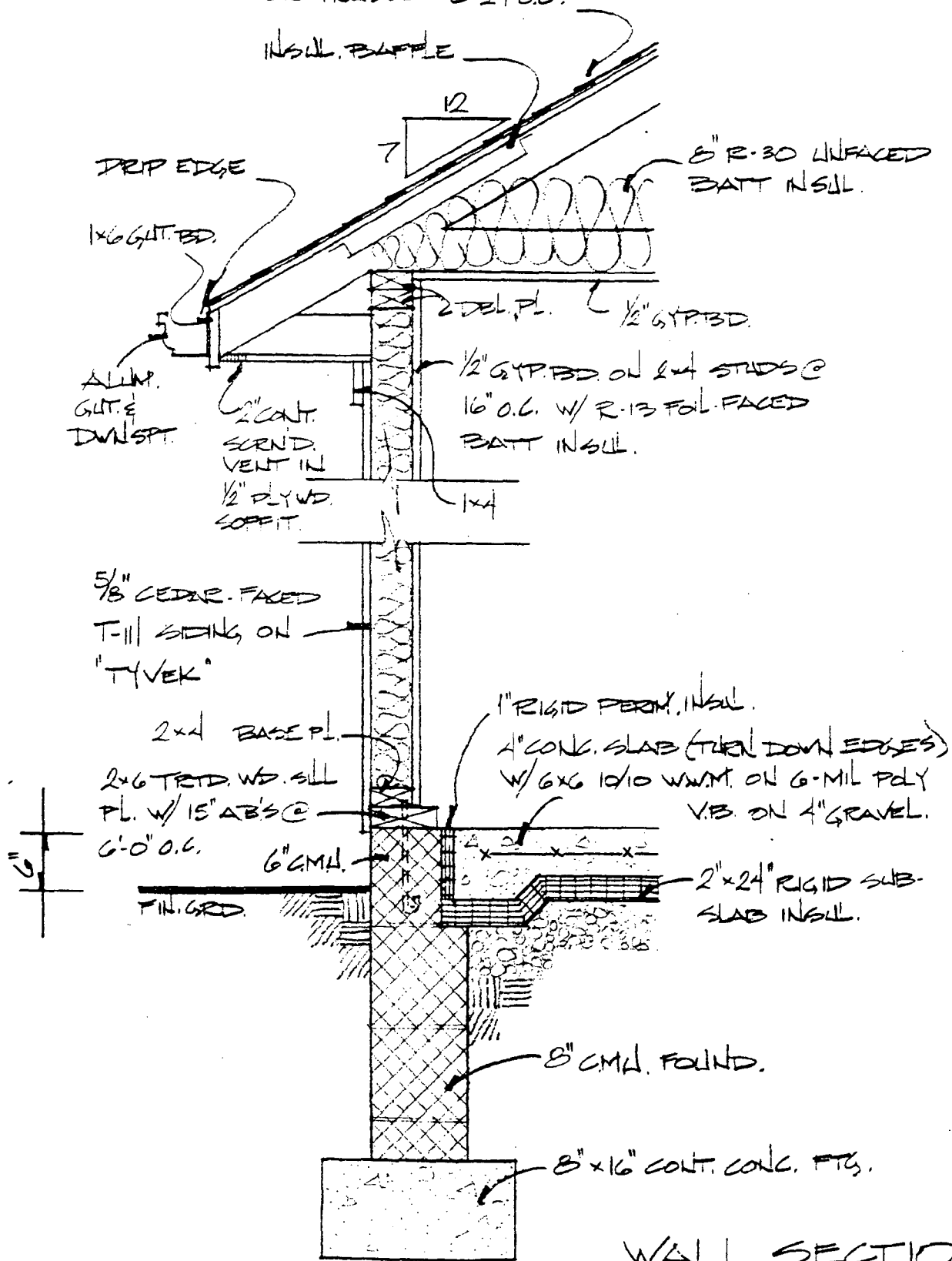
# FLOOR PLAN

SCALE: 1/4" = 1'-0"



ASPHALT SHINGLES ON  
 15# FELT ON 1/2" PLY WD.  
 ON TRUSSES @ 24" O.C.

INSUL. BAFFLE



WALL SECTION

SCALE: 1" = 1'-0"

GENERAL REQUIREMENTS:

1. Work performed shall comply with the BOCA building code, latest edition, and all applicable local and state codes, ordinances, regulations, and F.H.A. minimum standards.
2. The Architect accepts no responsibility for changes or deviations from these plans unless made by prior signed letter or change order.
3. These Documents are solely for construction of this project. Copyright 1992, Craig E. Moloney, A.I.A. All rights reserved.

CONCRETE AND MASONRY

1. The concrete properties shall be as follows:

|                 | Min. comp. strength<br>at 28 days (PSI) | Max. size<br>aggregate | Slump     |
|-----------------|---|------------------------|-----------|
| Footings -      | 2500                                    | 3/4" - 1"              | 4" ± 1"   |
| Slab on grade - | 3000                                    | 3/4" - 1"              | 4" ± 1/2" |

2. Concrete work shall conform to ACI-308-83 and ACI-301-72, Specifications for Structural Concrete for Buildings.
3. All reinforcement, anchor bolts, pipe sleeves and other inserts shall be secured in place before concrete is placed.
4. Provide 95% backfill compaction at all slabs and footings per ASTM D-698.
5. Detailing, fabricating and placing of reinforcement shall be in accordance with ACI-315, Manual of Standard Practice for Detailing Reinforced Concrete Structures. Welded wire mesh shall conform to ASTM A-185. Furnish support bars and required accessories in accordance with CRSI standards.

FOUNDATION

1. Footings shall bear a minimum of 2'-6" below finished grade.
2. Concrete slab and footing calculations are based on a 2500 PSF value. Depths and sizes of footings shall be subject to change if soil conditions are other than assumed.

MASONRY

1. Design and construction of C.M.U. walls shall conform to the requirements and specifications of B.I.A. and N.C.M.A. codes, latest edition. A.S.T.M. masonry standards:  
Hollow load-bearing C.M.U.: C-90  
Mortar (type N or S): C-270
2. Provide continuous horizontal masonry joint reinforcement (Dur-o-wall) at 16" o.c. in all masonry walls.

CARPENTRY

1. All lumber shall No. 2 HEM-FIR or equal. Air or kiln dried lumber may be used.
2. Stress grade of lumber shall be clearly stamped with the Lumber Inspection Association seal showing the stress grade. All fabrication, erection, and other procedures shall conform to the current "National Design Specifications for stress-grade lumber and its fastenings".
3. All purlins, joists and beams not framed over supporting members shall be supported by means of "TECO" joist hangers.
4. No structural member shall be omitted, notched, cut, relocated or its size altered without prior approval by the Architect.
5. Block solid all bearing supports where adequate lateral support is not otherwise provided. Provide 2x firestops at mid-point of stud walls. Lap top plates at corners.

6. Unless noted otherwise, provide 2 - 2x10 lintels in all partition openings.
7. All wood in contact with masonry or concrete shall be pressure-treated wood.
8. All nailing shall comply with BOCA code, latest edition and all State and local building codes.

PLYWOOD

1. All plywood shall be Douglas fir and shall be manufactured and graded in accordance with "Product Standard P-1-66" for soft plywood, construction and industrial.
2. Roof sheathing shall be standard INT-DFPA, Group 2 or 3.

TRUSSED RAFTERS

1. Trussed rafters shall be designed and fabricated in accordance with the provisions of the "National Design Specification for stress-grade lumber and its fastenings", National Forest Products Association, and the "Design Specification for Light Metal Connected Wood Trusses", Truss Plate Institute.
2. Wood members shall be fastened on each side of each joint with toothed 18 ga. galvanized steel plates. Trussed rafters shall be secured to supporting members with TRIP-L-GRIP anchors.

INSULATION

1. Provide insulation as shown on the drawings.
2. Caulk and seal all floor and top plates, joints in sheathing, etc. prior to installation of batt insulation. Fill all shim spaces around doors and windows with loose batt insulation.

ROOFING

1. Roofing shall be 240# self-sealing asphalt shingles over one layer of 15# asphalt saturated felt underlay.

SIDING AND TRIM

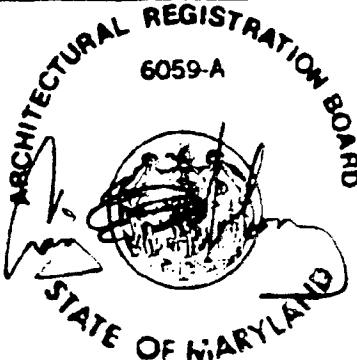
1. Siding to be 5/8" cedar faced "T-111" exterior plywood, stained to match existing house.
2. Sizes for window and door trim, rakes, corner boards, etc. are shown on the drawings. Trim color to match existing trim.

GYPSUM WALLBOARD

1. All gypsum wallboard shall be installed in accordance with the BOCA code, latest edition, and State and local codes.
2. The sizes and spacing of fasteners shall comply with BOCA code, latest edition, and State and local codes.

ELECTRICAL

1. All work shall be in accordance with all codes, rules and regulations of governing agencies and shall comply with the requirements of the serving power and telephone companies.

|   |   |   |
|---|---|---|
|  | <p><u>LAWVER</u></p> <p><u>GARAGE</u></p> <p>TAKOMA PARK - MARYLAND</p> | <p><b>CEM DESIGN</b><br/>         520 ANDERSON AVENUE<br/>         ROCKVILLE, MARYLAND<br/>         20850</p> <p>301-294-0682</p> <p>Sht. 4 OF 4</p> <p>4/14/93</p> |
|---|---|---|





**Front View of Property with drive entrance on left.**



**View of location of the proposed garage from the front street.  
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