

37/3-93Q 7320 Baltimore Avenue  
Takoma Park Historic District



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # \_\_\_\_\_

NAME OF PROPERTY OWNER Jack + Andrea Butler TELEPHONE NO. (301) 587-5069  
(Contract/Purchaser) (Include Area Code)

ADDRESS 7320 BALTIMORE AVE STATE MD ZIP 20912

CONTRACTOR Tom Louis CITY TELEPHONE NO. (301) 847-1549

PLANS PREPARED BY Tom Louis CONTRACTOR REGISTRATION NUMBER TELEPHONE NO. (301) 847-1549  
(Include Area Code)

REGISTRATION NUMBER \_\_\_\_\_

### LOCATION OF BUILDING/PREMISE

House Number 7320 Street BALTIMORE AVE

Town/City Takoma Park MD Election District \_\_\_\_\_

Nearest Cross Street AIBANY

Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend/Add	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> Repair	Circle One: <input type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition
<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Revocable	<input checked="" type="checkbox"/> Deck	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Shed
			<input type="checkbox"/> Revision	Fence/Wall (complete Section 4) Other _____		

1B. CONSTRUCTION COSTS ESTIMATE \$ 3000.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY \_\_\_\_\_

1E. IS THIS PROPERTY A HISTORICAL SITE? \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 ( ) WSSC	02 ( ) Septic
03 ( ) Other _____	

2B. TYPE OF WATER SUPPLY

01 ( ) WSSC	02 ( ) Well
03 ( ) Other _____	

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas Louis  
Signature of owner or authorized agent (agent must have signature notarized on back) \_\_\_\_\_ Date \_\_\_\_\_

APPROVED [Signature] For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature Albert B. Randall Date 10-23-93

APPLICATION/PERMIT NO: \_\_\_\_\_ FILING FEE: \$ \_\_\_\_\_

DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_

OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7320 Baltimore Avenue Meeting Date: 6/23/93  
Resource: Takoma Park Historic District Review: HAWP/Alteration  
Case Number: 37/3-93Q Tax Credit: No  
Public Notice: 6/9/93 Report Date: 6/16/93  
Applicant: Jack and Andrea Butler Staff: Nancy Witherell  
PROPOSAL: REAR DECK RECOMMEND: APPROVE

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The applicant proposes the construction of a wooden deck at the rear of a two-story house listed as a contributing structure in the historic district. The deck would measure between 13' and 18' in width and 24' in length, on two levels (12" and 6" above grade) with a railing around the entire deck. Two lattice frames 5' in height would be installed along part of one side of the deck. A wooden plank walkway would be constructed along the other side of the deck.

STAFF DISCUSSION

The deck is consistent with approved decks at the rear of houses in the historic district. The deck sits low on the site behind the house.

STAFF RECOMMENDATION

The staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided;

and with the Takoma Park guidelines.



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Lot \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

### 1A. TYPE OF PERMIT ACTION: (circle one)

Construct     Extend/Add     Alter/Renovate     Repair  
 Wreck/Raze     Move     Install     Revocable     Revision

Circle One:  A/C     Slab     Room Addition  
 Porch     Deck     Fireplace     Shed     Solar     Woodburning Stove  
Fence/Wall (complete Section 4)     Other \_\_\_\_\_

1B. CONSTRUCTION COSTS ESTIMATE \$ 3000.00

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SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT  
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Backyard project - no landscaping exists. The entire area is gravel.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is a multi-level deck with the highest level being under 24" above grade. There are no trees on the site and ones on adjacent lots are distant enough so as to not have their roots disturbed. The deck could only be seen from the backyard, not the street.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

*the deck will be supported by 2" x 32" posts. Beams are 4x6  
secured to footings with metal anchors. Posts are 2x6 not to  
exceed 6'. Beam spans not to exceed 6'. Spacing is 24". All  
wood is pressure treated 40CCA grade one & two. total area of deck is 482 sq. ft.*

- b. the relationship of this design to the existing resource(s):

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- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

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3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

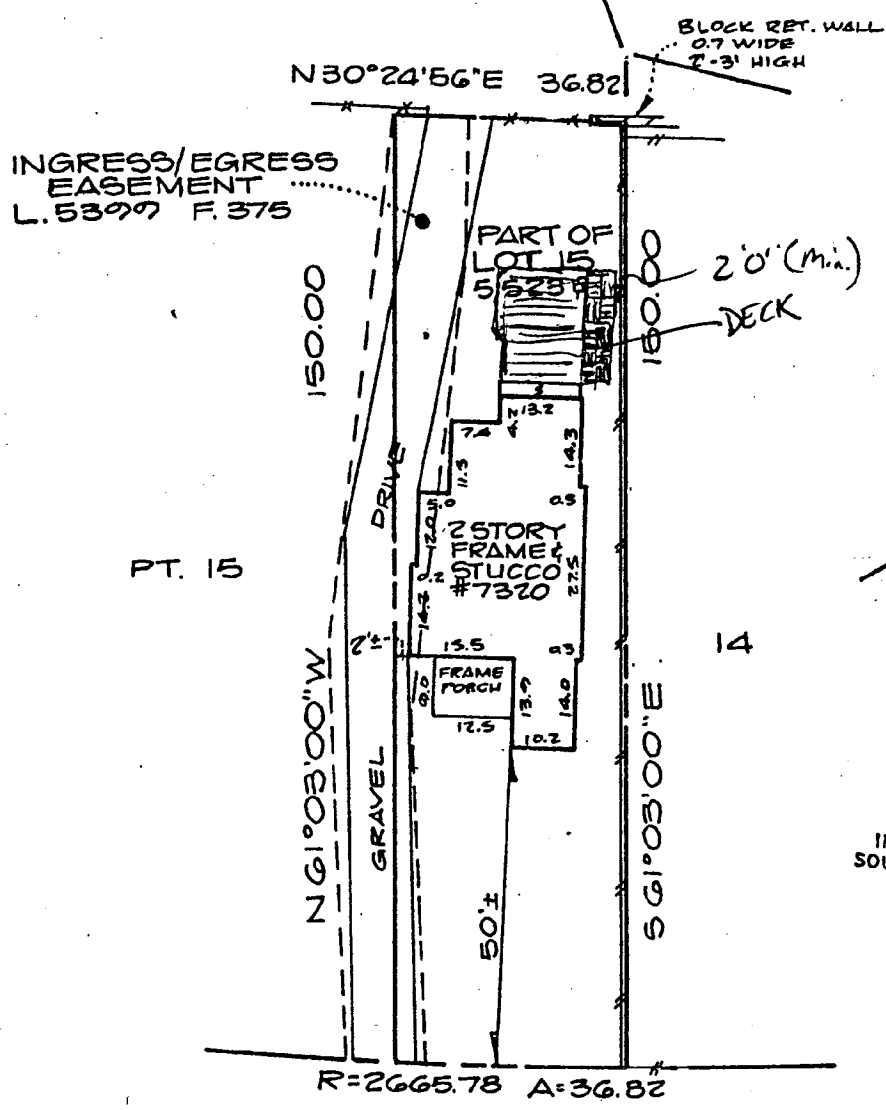
5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name Bob + Lori Zini 589-2163  
 Address 7322 BALTIMORE AVE.  
 City/Zip TAKOMA PARK MD 20912
2. Name Chery + Brad + WALT Penny 585-4237  
 Address 7318 BALTIMORE AVE  
 City/Zip TAKOMA PARK MD. 20912



**MONTGOMERY CO. GOVERNMENT**

Department of Environmental Protection  
Division of Environmental Policy & Compliance

Approved [Signature] Date 5/28/93

Zoning Class R-60 Page 209/261

Board of Appeals Case Deck

BUILDING LINE AND/OR FLOOD ZONE INFORMATION IS TAKEN FROM AVAILABLE SOURCES AND SUBJECT TO INTERPRETATION OF ORIGINATOR.

H.U.D. FLOOD PANEL NOT AVAILABLE

BALTIMORE AVENUE

LOCATION OF HOUSE  
PART OF LOT 15 BLOCK 76  
T.P.L. & T. CO.'S SUBDIVISION OF  
**TAKOMA PARK**  
MONTGOMERY COUNTY, MD

<b>SURVEYOR'S CERTIFICATE</b> THE PLAN SHOWN HEREON IS PREPARED FROM FIELD MEASUREMENTS OF EXISTING STRUCTURES AND DIMENSIONS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, AS SHOWN OR DESCRIBED.   REGISTERED LAND SURVEYOR MD # 224	<b>REFERENCES</b> PLAT BK. B PLAT NO. 23	 SNIDER, BLANCHARD & ASSOC., INC. SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 286 Montevue Lane Frederick, MD 21701 (301) 694-5544 2 Professional Dr., Suite 216 Gaithersburg, MD 20879 (301) 948-5100	DATE OF LOCATIONS SCALE: 1"=30'
	LIBER 5399 FOLIO 375		WALL CHECK: HSE. LOC.: 3-28-89 BOUNDARY:

5



front



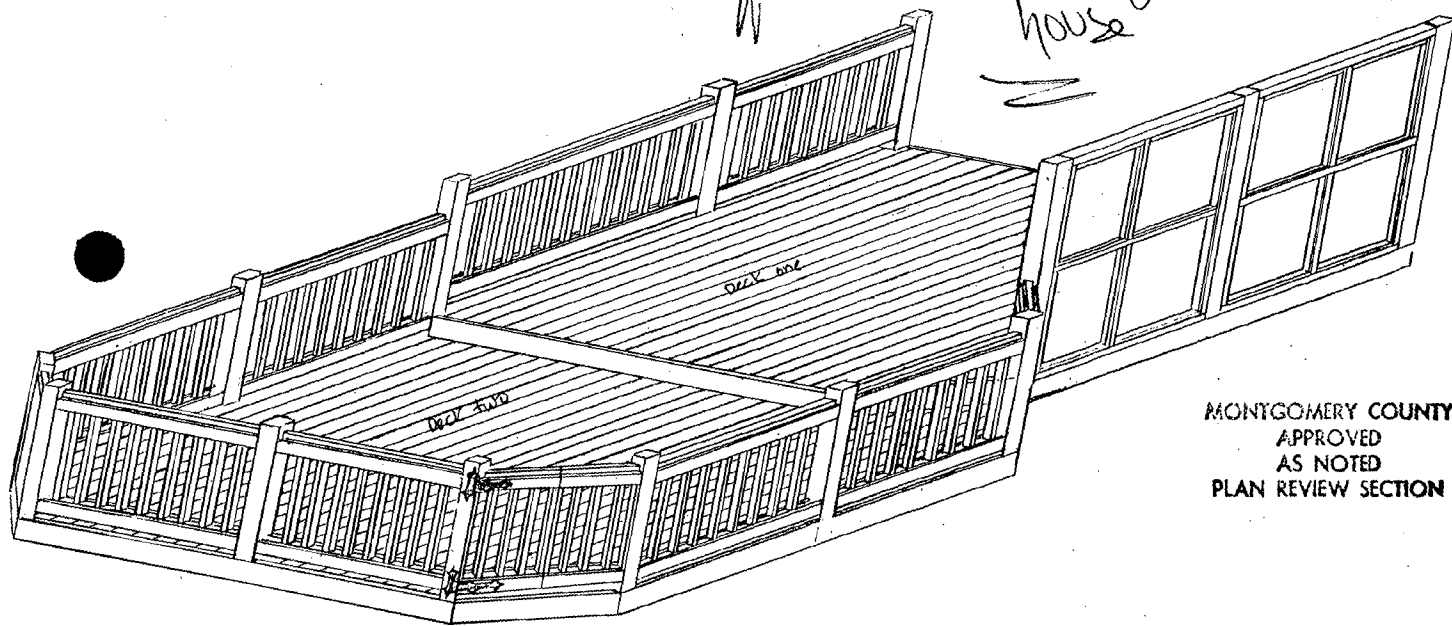
Back



area of  
patio →

Back  
yard





Back of  
house

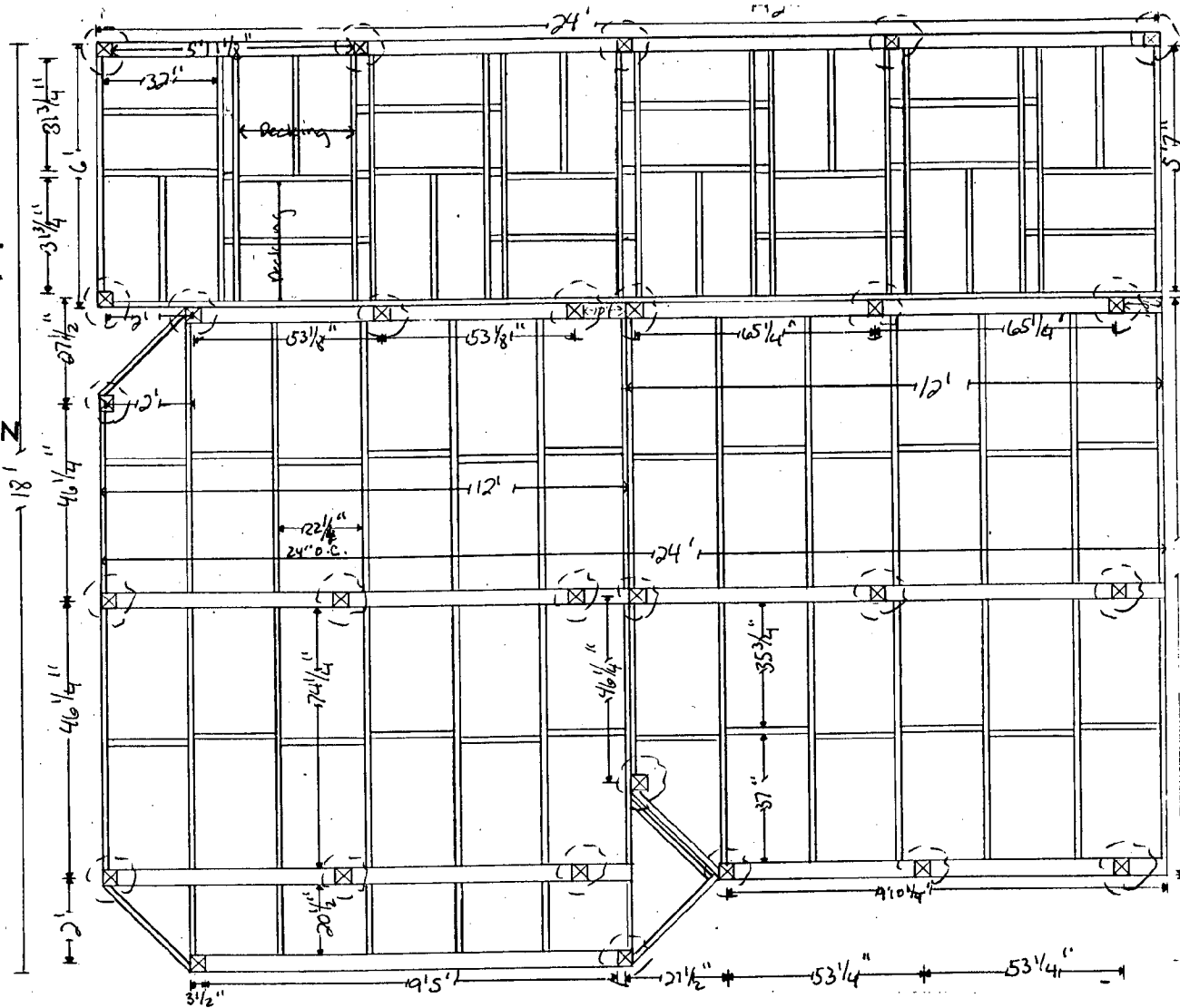
MONTGOMERY COUNTY  
APPROVED  
AS NOTED  
PLAN REVIEW SECTION

(1)

MONTGOMERY COUNTY GOVERNMENT.  
Department of Environmental Protection  
Division of Development  
Services and Regulation

Approved Q. Hehr  
Date 5/28/93

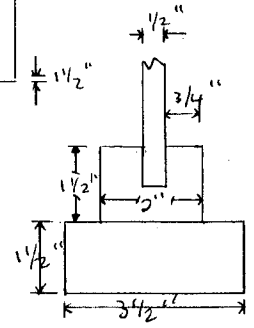
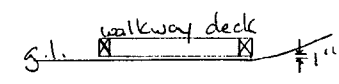
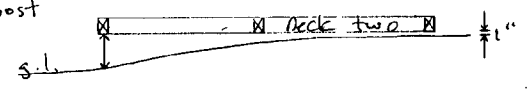
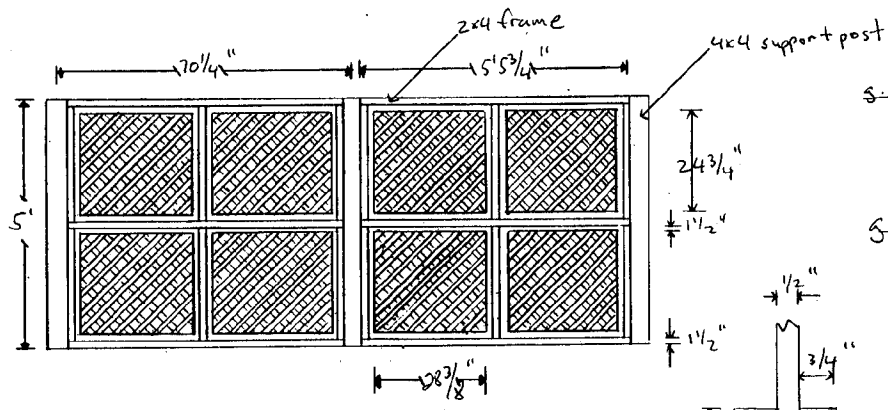
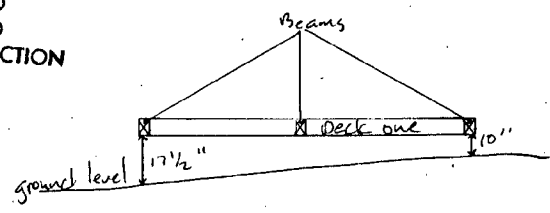
GENERAL STRUCTURAL  
ARRANGEMENT APPROVED  
SUBJECT TO FURTHER  
APPROVAL OF CONSTRUCTION



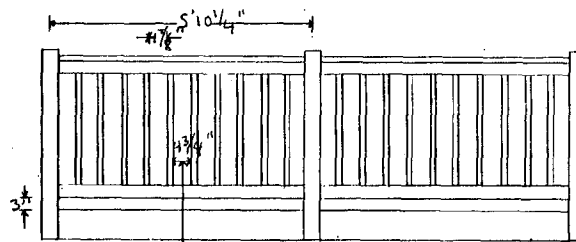
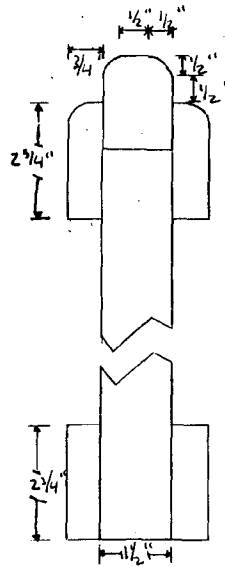
(8)

MONTGOMERY COUNTY  
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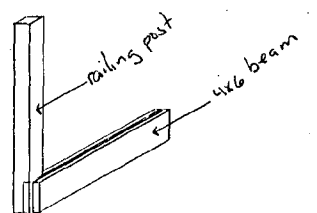
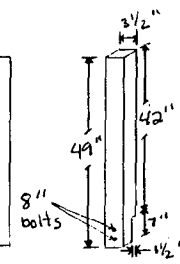
all wood is yellow pine pressure treated 4DCCA
joist are held by joist hangers
decking is all 2x6
beams are 4x6
joist are 2x6



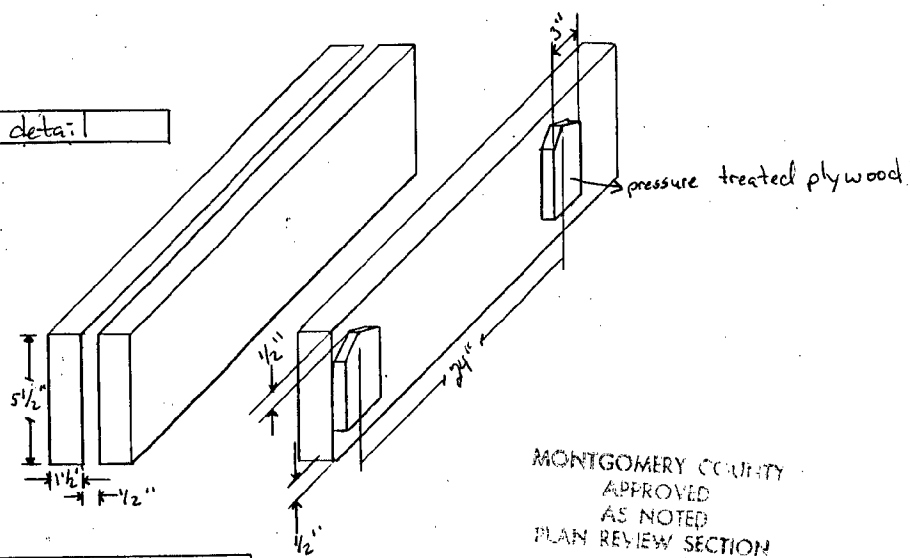
MONTGOMERY COUNTY  
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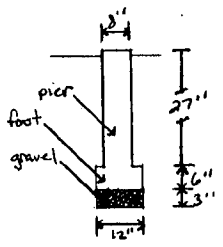
difference is to accommodate  
3" total span



beam detail

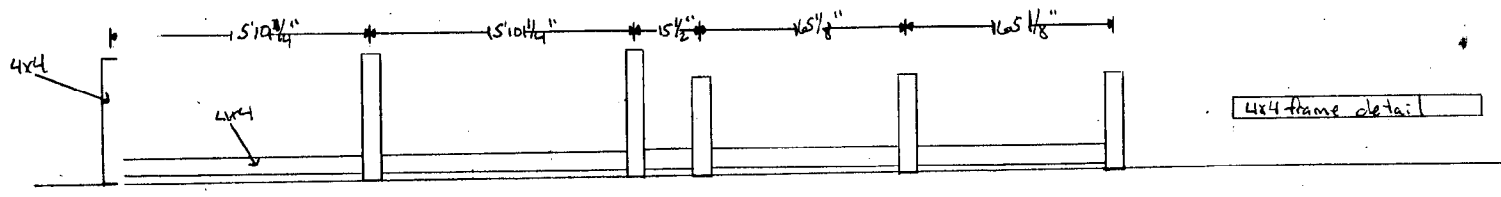


forming detail

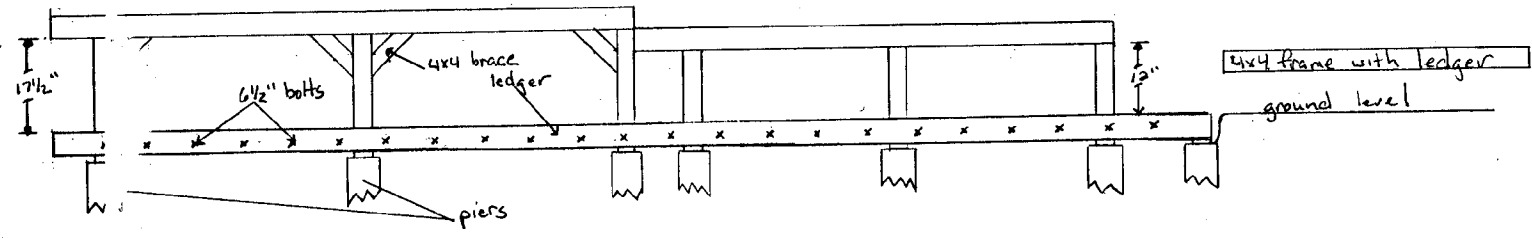


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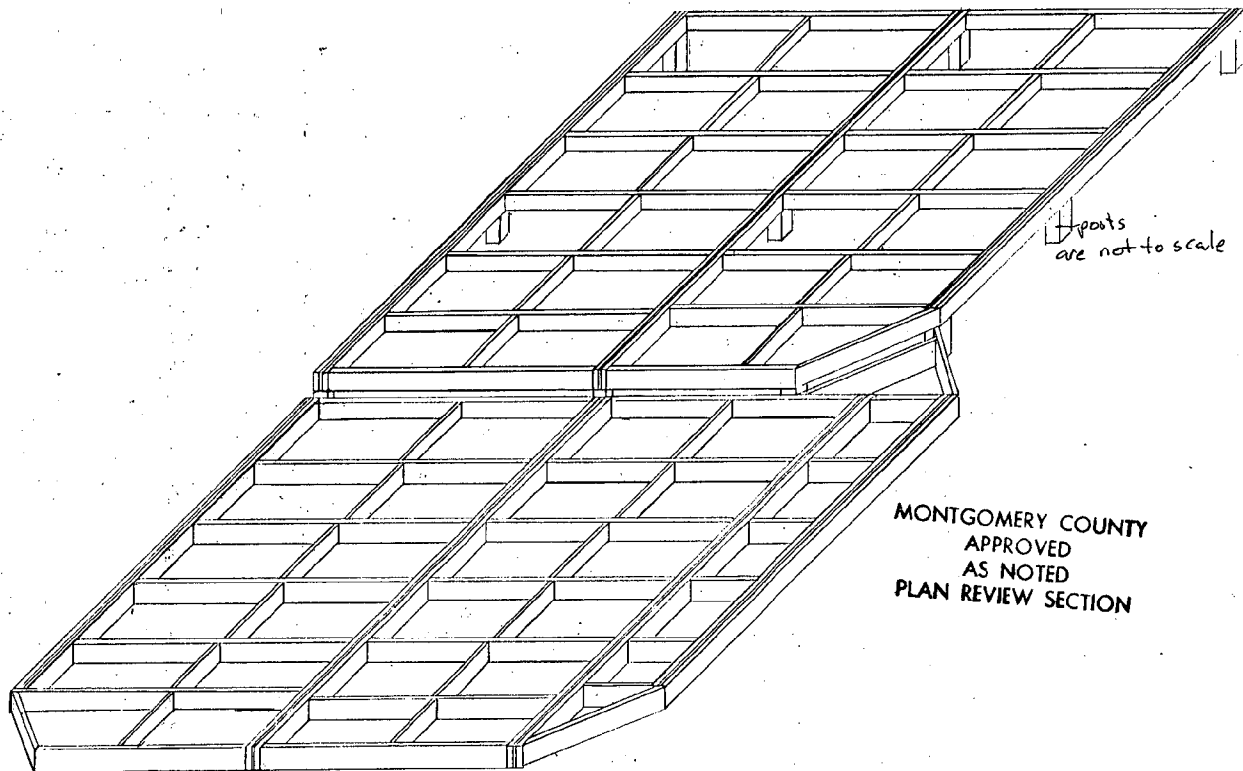
4x4 frame detail



4x4 frame detail



4x4 frame with ledger



points  
are not to scale

MONTGOMERY COUNTY  
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PLAN REVIEW SECTION

**THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION  
8787 GEORGIA AVENUE  
SILVER SPRING, MARYLAND 20907**







