

37/3-95K 7336 Carroll Avenue  
Takoma Park Historic District

BoA  
upheld staff  
Report -  
guy took vote +  
will issue their  
opinion.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring Maryland 20910-3760

September 29, 1995

Judith Heimann  
Chairperson  
Montgomery County Board of Appeals  
100 Maryland Avenue  
Rockville, MD 20850

Dear Ms. Heimann:

The Historic Preservation Commission considered the revised application of Carol Marks at the September 27, 1995 meeting, as directed by the Board of Appeals at the July 26, 1995 hearing, and voted to deny the amended application. The HPC considered this proposal as a retroactive application because the work has already been completed.

As soon as we receive the minutes from the hearing and the HPC has approved them, we will send a copy of the minutes to you, along with the staff report and a copy of the amended application.

Please let us know when the Board of Appeals would like to schedule the continuation of the hearing.

Sincerely,

*George Kousoulas* 207

George Kousoulas  
Vice Chairperson  
Historic Preservation Commission

cc: Carol Marks  
Loretta Shapero  
Walter Booth

Case forwarded to Board of Appeals

pro. denied (Rundall, Conroy, Soderberg, Brumfield)  
4: 2 ← Davis and Jordan opposed  
1 Abstention (Gregg Chamber)

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7336 Carroll Avenue

Meeting Date: 9/27/95

Resource: Takoma Park Historic District

Review: HAWP/RETROACTIVE

Case Number: 37/3-95K CONTINUED

Tax Credit: No

Public Notice: 9/13/95

Report Date: 9/20/95

Applicant: Carol Marks

Staff: Robin D. Ziek

PROPOSAL: Window sash replacement

RECOMMEND: APPROVAL  
WITH CONDITIONS

Commissioner Denial

BACKGROUND

RESOURCE: Takoma Park Historic District

STYLE: Bungalow

DATE: 1920s

SIGNIFICANCE: Contributing Resource

The applicant appeared before the Commission on April 12, 1995. At that time, her request to replace the sash on two windows on the side elevation facing Lee Avenue was denied on the basis that 1) the application to replace these two windows was the first phase in the owner's plan to replace all of the 6/1 original windows with 1/1 replacement sash; 2) an evaluation on the extent of deterioration of the windows had not been provided to the HPC; and 3) the proposed replacement unit involved snap-in muntins rather than true-divided light window sash. (see John Fleming's FAX of April 5, 1995 - attached)

The applicant appealed the denial decision to the Board of Appeals, as is her right. The Board of Appeals heard the case on July 26, 1995. The hearing went forward until the applicant proposed a new amendment to the project, by proposing to install new window sash which had thermal glazing, but integral muntins rather than the snap-in muntins which were originally proposed. At this point, the Board of Appeals directed the applicant to return to the HPC with her revised application for their consideration.

Staff spoke with the applicant at the end of the Board of Appeals hearing to ask for an appointment to come into the property to get a close look at the subject windows since they are too high for close scrutiny from the street level. The applicant indicated that she would be out of town. Staff suggested that the applicant's contractor, who has his offices directly across the street from her home on Lee, might be directed to let someone into her house to look at the windows, and the applicant declined.

Staff went by the house the following day to attempt to evaluate the condition of the windows from the street, and discovered that the old window sash had been removed and new sash installed. Staff called the contractor and was told that the applicant had asked him to go ahead with the window installation prior to the Board of Appeals hearing and he had directed his workman to do this installation. The contractor would not specify a date, but seemed to indicate sometime within the past few weeks. The applicant has indicated in her letter to the Chairman of the Board of Appeals dated September 1, 1995 that she had asked the contractor

①

to install the new window sash during a 3 day period in April immediately after the April 12th hearing, due to her misunderstanding a conversation with Staff. However, Staff recollects that the windows were still in place much later than that, because Staff had been past the house prior to the Board of Appeals meeting to get a fresh view of the house, and had the windows been replaced at that time, Staff would have indicated that fact to the Board of Appeals.

### CURRENT PROJECT PROPOSAL

The applicant is requesting retroactive approval to replace the window sashes in two windows on the Lee Street facade of her house. The original windows have been removed from the site, and the new windows are installed. The applicant has installed a type of window sash which approximates 6/1 true-divided light sash, although the information supplied from the manufacturer (Marvin Windows) provides no details about the muntins and mainly discusses the ease of installation.

The subject property is on a corner lot, and therefore three elevations are visible from the public right-of-way. The Guidelines provide direction that the "design review emphasis will be restricted to changes that are at all visible from the public right-of-way" (page 15) The proposed window sash replacement is visible from Lee Avenue.

### STAFF DISCUSSION

The applicant believes that the Contributing Resources which make up over 60% of the resources within the Takoma Park Historic District are of marginal concern to the Historic Preservation Commission and the County. This is not the case, and Staff will attempt to explain the HPC's policy with regard to proposed changes and alterations that concern replacement of original materials at Contributing Resources in Takoma Park, which policy the HPC has expressed with consistency through its years of review of projects in the Takoma Park Historic District.

The HPC is guided in its decisions in Takoma Park by three sources. The HPC is guided first and foremost by Article 24A-8 of the Montgomery County code, which provides the following instruction:

The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate or inconsistent with, or detrimental to the preservation, enhancement or ultimate protection of the historic site, or historic resource within an historic district, and to the purposes of this chapter.

The HPC has further adopted the Secretary of the Interior's Standards for the Rehabilitation as the county-wide Guidelines for review of all HAWPs.

Finally, with respect to the designation of the historic district in Takoma Park, the HPC worked in conjunction with a committee of citizens appointed by the Mayor of Takoma Park to write district-specific guidelines to provide "guidance regarding the intent of historic designation." (page 13) The Guidelines were adopted by the County Council in order to make explicit the kinds of issues that were of major concern to the citizens of Takoma Park. They are "general and broad in nature and are not intended to be the final or ultimate design review manual for the Takoma Park Historic District". (page 13) The Guidelines highlight "some of the factors" (page 16) which will be considered under each category of resource, and the HPC uses this guidance in their review of specific projects. This flexibility which the Guidelines provide is unique for Takoma Park in the County, but an examination of the various decisions

which have been made by the HPC since Takoma Park was designated show a consistency which the law demands and which the citizens of Takoma Park expect.

The Guidelines direct the HPC to use flexibility in their decisions, such as, (on page 16) noting that "some non-original materials may be acceptable on a case-by-case basis". This flexibility is much more than what is expressed by the Secretary of the Interior Standards (#2), where it states that "The removal of historic materials ... shall be avoided." The HPC has voted to allow replacement of original windows in Takoma Park on several instances, but the HPC has also denied proposals to replace original windows in Takoma Park, all based on the specific merits of each case.

**The wholesale replacement of original fabric is not endorsed anywhere in the Takoma Park Guidelines.** A major tenet of historic preservation is that a resource is composed of its diverse elements, and that preservation of the original fabric is central to preservation of the original resource. If one replaces all of the elements on a historic structure, do you still have a historic structure or do you have a new building that has the design of an old structure?

The Guidelines for Contributing Resources also clearly state on page 16 that "some non-original building materials may be acceptable on a case-by-case basis". This means that the HPC will need sufficient information to be able to assess any proposal to replace original building material. Such requests typically involve original siding or original windows.

**Examples of HPC Decisions:**

1) At 510 New York Avenue (#37/3-95T) (Contributing Resource), the replacement of some of the original windows was approved because of the reduced condition of the windows due to years of neglect and lack of maintenance. The original windows were 1/1 and the HPC approved thermally glazed 1/1 replacement sash. However, approximately half of the original windows were retained and refurbished.

2) At 511 New York Avenue (#37/3-95N) (Contributing Resource), replacement of an original window with a different material was denied.

3) At 7714 Takoma Avenue (#37/3-93V) (Contributing Resource), replacement of all of the original windows was approved after much consideration because of the proposed commercial use of the building (as a day care center). However, while the applicant requested approval for installation of thermal glazing throughout, the HPC approved replacement of the 6/1 windows with the new upper sash to be single glazed true-divided light with six lights. The lower sash with its single light was approved as a double glazed sash.

Reuse of original windows is typically encouraged in projects which involve additions and/or alterations, such as at:

4) 7805 Takoma Avenue (37/3-95H) (Contributing Resource)

5) 24 Montgomery Avenue (37/3-95J) (Contributing Resource)

It is clear from the above examples, that the HPC has been concerned with the maintenance of original windows in Contributing Resources in Takoma Park, and does not endorse the wholesale replacement of original windows. The HPC has ruled that a window or some windows in a resource may be replaced if the need is demonstrated. That point of view was expressed in the Staff report to the applicant for the April 12th meeting: "Should the

Owner provide information detailing the deteriorated condition of the original windows, and propose replacement in kind with true-divided light window units, the Commission could find that new proposal consistent with the purposes of Chapter 24A-8."; and again to the applicant at the April 12th meeting by the HPC.

The request to replace original windows in a historic structure for reasons of energy efficiency has been addressed by the Advisory Council on Historic Preservation. Research has shown that the added benefit of thermal glazing is 20% of the overall efficiency of the window. The greatest thermal efficiency is reached through addressing the length of "crack" or that edge where the window moves. This efficiency is attained through the use of weatherstripping, caulking, and an air space which is provided by a storm window. Tests performed by the Advisory Council illustrate that the performance of a historic window will approximate the efficiency of the new thermally glazed windows and will often prove to be more cost effective. (see attached memo dated July 4, 1987 - Advisory Council on Historic Preservation)

Therefore, the financial needs of the private property owner are recognized in the evaluation of the Historic Preservation Commission, and further offset by the tax credit which is available to owners of historic properties for the work that they do to maintain their historic homes.

#### STAFF RECOMMENDATION

Staff recommends retroactive approval for the replacement of two 6/1 light window sash in two kitchen windows which front Lee Avenue with the following conditions:

- 1) The replacement sash must be wood;
- 2) The top sash in both cases must be either true-divided light; or with integral muntins on both the interior and exterior;
- 3) The HPC will not consider a retroactive HAWP from this applicant in the future. All violations of Chapter 24-A will be referred directly to the Department of Environmental Protection for compliance. The HPC clearly believes that the applicant now understands the process which has been developed for the implementation of Chapter 24-A of the Montgomery County Codes. In addition, Staff is always available to work closely with applicants to assure a complete HAWP application for review by the HPC.

Staff recommends that the Commission approve of the installation of the new window sash on the two side windows in the kitchen, and find the proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal ... would not be detrimental thereto [to the Historic District] or to the achievement of the purposes of this chapter;

and may have been consistent with Standard 6 [but this can not be confirmed by Staff]

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

# J.B. Fleming Co.

BUILDERS AND DEVELOPERS

## FACSIMILE TRANSMITTAL SHEET

Date: 9-5-95 Number of Pages (including this one): 3

To: HPC

Attn: ROBIN ZIEK

From: JOHN FLEMING

Re: MARK'S RESIDENCE - 7336 CARROLL AVE.

Notes: PLEASE FIND ATTACHED THE REVISED

SKETCHES FOR THE MARK'S RESIDENCE

THE REAR KITCHEN WINDOW (30 1/2" x 37 1/2")

IS A WOOD WINDOW, 1-OVER-1 TO MATCH  
THE TWO EXISTING REAR TWIN WINDOWS.  
CASING WILL MATCH THE EXISTING.

THE SIDE REPLACEMENT SASHES ARE  
ALSO 1-OVER-1 TO MATCH THE NEW  
FRONT WINDOWS, WHICH IS THE OWNER'S  
INTENT, OVER TIME, IN REPLACING THE  
BALANCE OF HER WINDOWS. GRILLS WILL  
BE INSTALLED TEMPORARILY TO MATCH THE  
EXISTING.

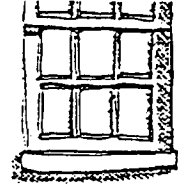
(5) (6)



Don L. Klima  
Chief, Eastern Division  
of Project Review

MEMORANDUM

1100 Pennsylvania Avenue, N.W. #809, Washington, D.C. 20004 (202) 784-0505



Date: July 4, 1987  
To: EDPR and WDPR Project Review Staff  
From: Senior Architect  
Subject: WINDOWS

As you are aware, the treatment of windows in historic buildings continues to be a primary issue in rehabilitation projects submitted for Council review. Over the past year we have been working with other Federal agencies in trying to resolve some of the major treatment issues. On December 3, 1986, I participated in the National Park Service's "Window Conference" in Boston, MA. The conference drew over 600 participants and provided substantial information to the design and construction industry regarding acceptable treatment of historic wood windows. The Council's participation was at the request of the Department of the Army and focused on window conservation, rather than replacement. As you know, we have often been at odds with the NPS tax certification program over the acceptability of replacement windows. Our primary disagreement with NPS is over the suitability of introducing a replacement window, made of a substitute material, that imitates the historic window. Our case policy has been, that if the historic window cannot be retained and retrofitted, it should be replaced in-kind; if in-kind replacement is not feasible, than a contemporary replacement window should be installed that is compatible with the historic structure. (A good example of the latter approach can be found in the 1918 Torpedo Factory Building in Old Town Alexandria. In that case it was determined that the multi-paned industrial windows were beyond salvage and, because that window type was no longer made, replacement in-kind was not feasible. The solution was found by installing a contemporary "industrial" window. Although it does not have the historic multi-paned appearance, the window maintains the industrial character of the building).

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The process of retrofitting historic wood and steel windows is changing almost on a daily basis. New materials and techniques are being incorporated into the standard process, resulting in a better product at a reduced cost. Some of the facts we have discovered regarding retrofitting are:

- o more than 60% of a window has to be rotted before replacement could be considered a prudent alternative. (Rot = if a 1/4" round center punch, when applied by hand, penetrates the wood more than 3/8" or breaks through the metal surface).

- o over 80% of the heat loss and gain experienced in a historic window is a result of infiltration around the window frame and sash, not through the glass. Accordingly, installing insulated glass in a window will only solve less than 20% of the energy loss problem, while installing new weatherstripping and properly caulking the window will solve more than 80% of the problem.

- o retrofitted windows will cost between 5% and 50% of the cost of replacement windows.

- o retrofitted windows will exceed the air and water infiltration performance of new windows.

- o if fitted with interior storm panes, retrofitted windows will exceed the "R" value of any new double glazed window.

In addition, within the last two months a one-step paint removing process has become available on the American market. "Peel Away" is manufactured in the United States, has been tested at the Agriculture South and Auditor's Building projects and is currently being laboratory tested at the Preservation Research Center at Columbia University. This material will substantially reduce the cost of refinishing historic windows and will further reduce the cost of retrofitting.

- o currently, American paint manufacturers are offering exterior and interior paints with up to a 15 year guarantee. This guarantee exceeds any finish guarantee of any aluminum or vinyl window manufacturer.



RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

**Historic Preservation Commission**  
 (301) 495-4570

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Carol Marks  
 DAYTIME TELEPHONE NO. (301) 270-3047

TAX ACCOUNT # \_\_\_\_\_

NAME OF PROPERTY OWNER Carol Marks DAYTIME TELEPHONE NO. (301) 270-3047

ADDRESS 7336 Carroll Ave Takoma Park MD 20912  
CITY STATE ZIP CODE

CONTRACTOR \_\_\_\_\_ TELEPHONE NO. ( ) \_\_\_\_\_

CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_

AGENT FOR OWNER \_\_\_\_\_ DAYTIME TELEPHONE NO. ( ) \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

HOUSE NUMBER 7336 STREET Carroll Ave

TOWN/CITY Takoma Park NEAREST CROSS STREET Lee Ave

LOT 1 BLOCK \_\_\_\_\_ SUBDIVISION General SScarroll's Addition

LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CIRCLE ALL APPLICABLE: Replace CIRCLE ALL APPLICABLE: A/C Slab Room Addition  
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove  
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other \_\_\_\_\_

1B. CONSTRUCTION COST ESTIMATE \$ \$300,00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # No

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. TYPE OF SEWAGE DISPOSAL 01  WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_

2B. TYPE OF WATER SUPPLY 01  WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS.  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

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I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS  
MUST ACCOMPANY THIS APPLICATION**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is a framed bungalow, circa 1920's.

According to the Takoma Park Historic District Ammenement, the

house is a "Contributing" resource to the Takoma Park Historical

District.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

In compliance with the T.P. Hist. Dist. guidelines for a contributing resource, I am applying for approval to replace the double windows in the kitchen, above the garage on Lee Ave. with double hung, thermal, wooden sashes, 1/1 with muntions on the inside & outside to replicate the existing 5/1 windows. The wooden frames & sills would remain intact.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

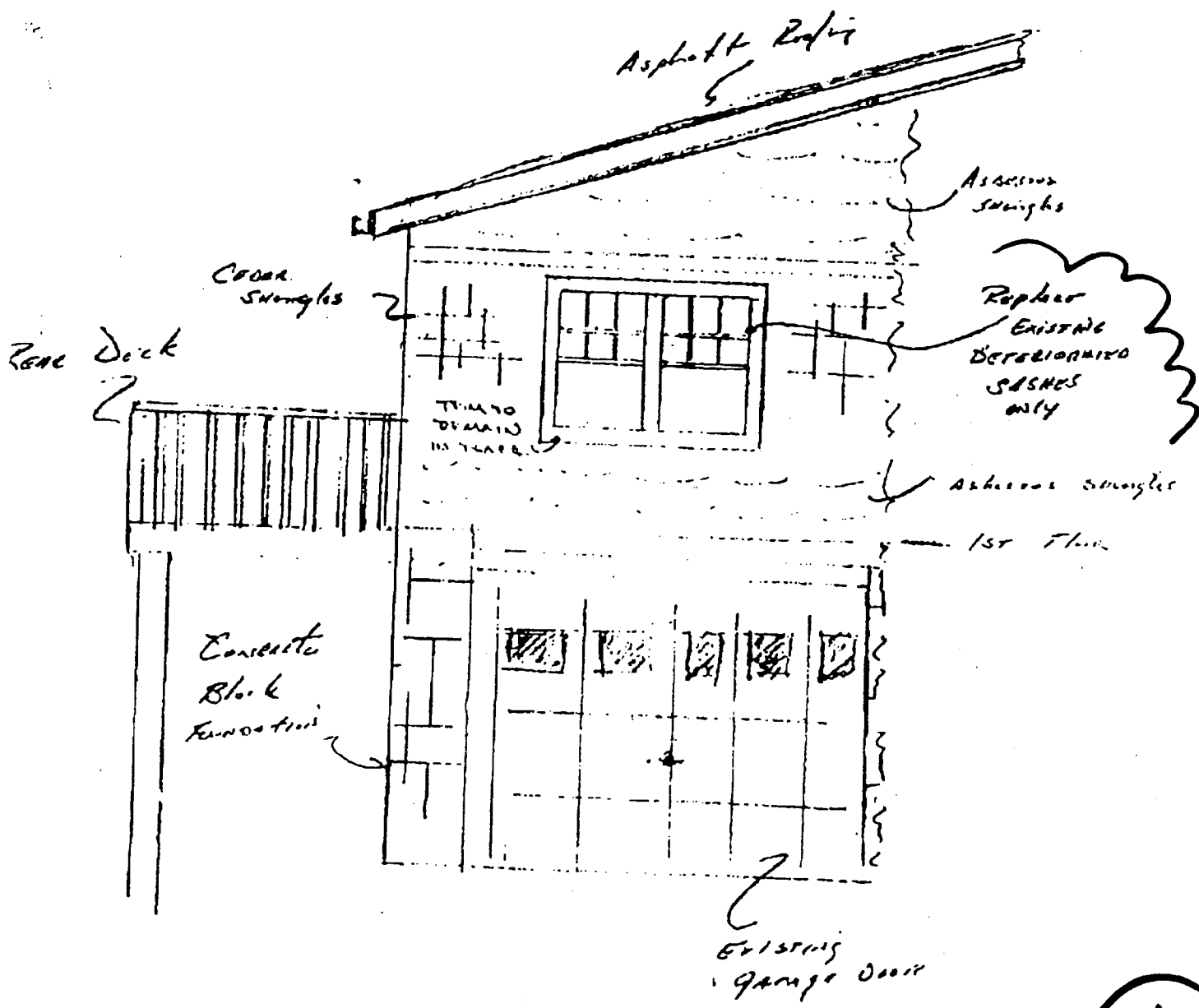
General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at



General S.S. Carroll's Addition  
To Takoma Park

Montgomery County, Maryland

Scale: 1" = 20'

Surveyor's Certificate

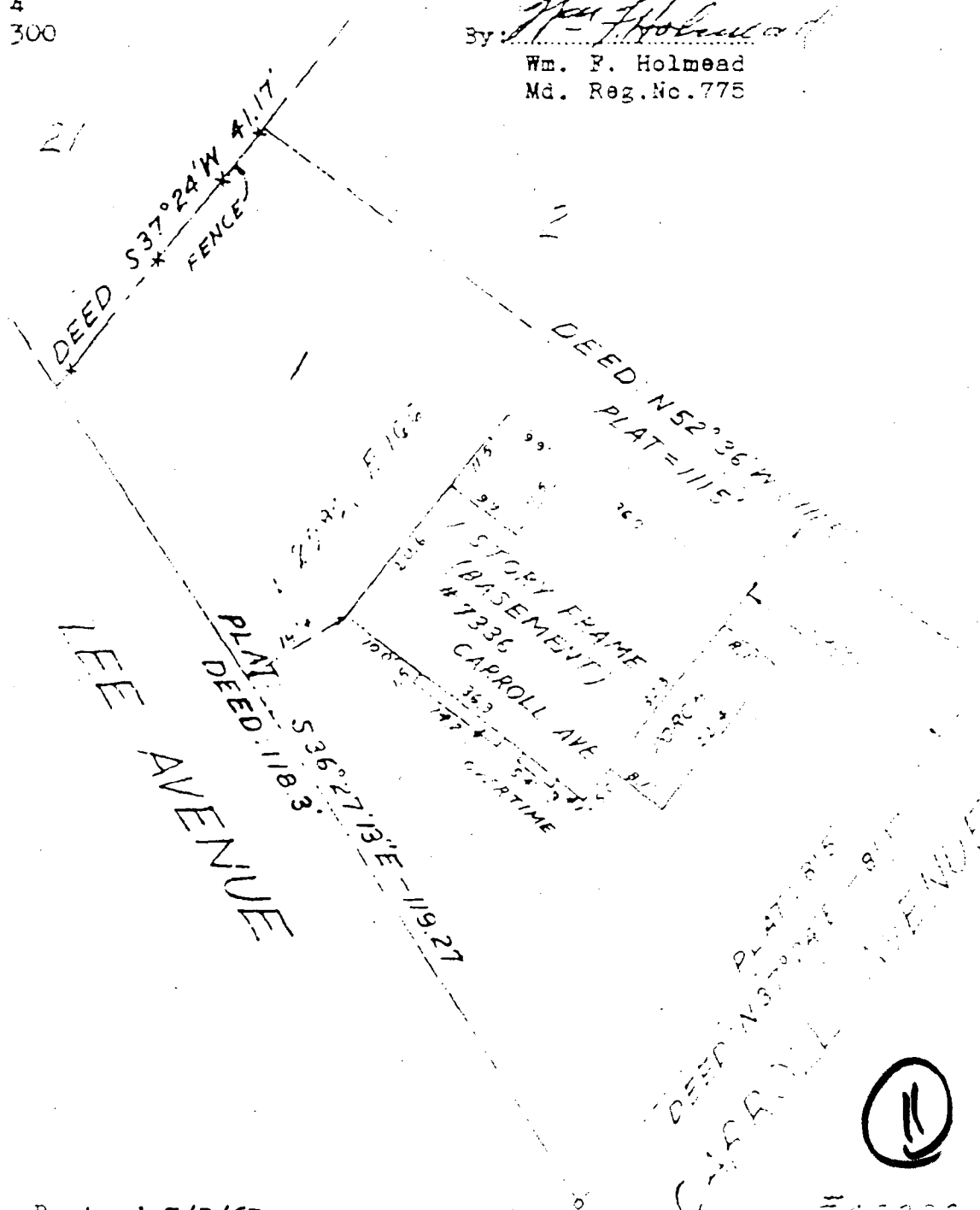
We hereby certify that we have carefully surveyed the property shown hereon in accordance with record description; that all of the existing improvements have been located by a transit-tape survey; that corner markers have been found ~~in place~~ where indicated, and that unless otherwise shown, there are no encroachments on either side of property lines.

Date: June 28, 1963

Plat Book 4  
Plat 300

Holmead & Frey  
Land Surveyors

By: *Wm. F. Holmead*  
Wm. F. Holmead  
Md. Reg. No. 775



## TILT PAC

*A Double Hung Sash Replacement System  
That Saves Time and Money*



**MADE TO ORDER FROM MARVIN**

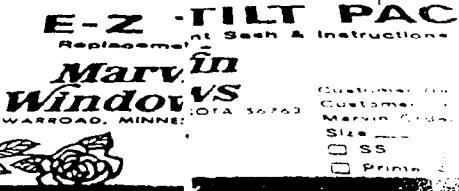
12

# WHAT'S IN THE PAC?

The contents of your E-Z Tilt Pac package

All parts packaged in one box and coded for each specific location. Comes complete with instructions for easy installation.

Snap-in jamb liners make for easy installation and operation.



Excellent weatherstripping on jamb and sash provides protection against drafts and heat loss.

Factory-applied exterior finish is available in four standard colors and 50 optional colors to match virtually any home.

Insulating glass provides energy efficiency.

Maintenance-free extruded aluminum cladding is available in four colors for an attractive, durable exterior.



# INSTALLING YOUR NEW E-Z TILT WINDOW

It's Easy To Do It!

## Step 1:

**Remove the old sash.**  
Carefully pry the old sash out of the casing from your window. If your old window has a weight-and-balance system, cut the cords, cut out the bottom sash. Then slide the top sash down, out the cords (if any) and remove the stops. Now take out the top sash.



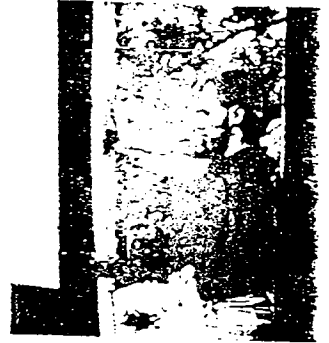
## Step 2:

**Prepare the frame.**  
Nail the metal clutches down both sides of the window sash. Pry them down from the top and then from the bottom.



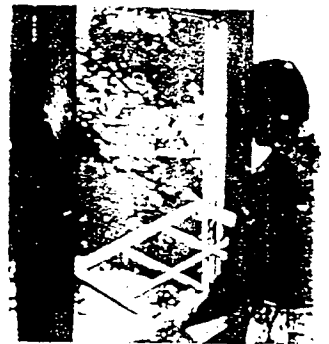
## Step 3:

**Install the jamb liners.**  
Put in the new stops and foam gaskets. Now, simply snap the vinyl jamb liners onto the brackets. With some finishing nails, install the new stop at the top with weatherstripping facing outward.



## Step 4:

**Install the new sash.**  
Pull down and lock the metal clutches in the jamb liners with a screwdriver. Place the top sash into the exterior track and ease it into place, lowering it onto the clutches. Install the lower sash in the interior track the same way. Replace the original casing.



**You're finished!** Our patty sashes are energy efficient again. Both tilt and clear down effortlessly. They'll assist in storm clearing. Or, they can make rain a breeze.

NAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

7334 Carroll Ave  
John + Susanna Fleming  
6907 Westminsterland Ave  
Takoma Park, MD  
20912

7338 Carroll Ave  
A. Douglas Crickell  
Takoma Park MD  
20912

5 Lee Ave  
Henry S. Ricks  
Takoma Park MD  
20912

7327 Carroll Ave  
Helen K. Wannink  
Takoma Park MD  
20912



## Montgomery County Government

August 28, 1995

Carol Marks  
7336 Carroll Avenue  
Takoma Park, MD 20912

Dear Ms. Marks:

Thank you for submitting a new Historic Area Work Permit (HAWP) application for replacement of two windows at your house at 7336 Carroll Avenue in the Takoma Park Historic District.

The material in this application does help to clarify exactly what work you wish to do. In addition, it has come to the attention of staff and the Historic Preservation Commission (HPC) that you have completed the work described in this new application - which makes your intended work even clearer, as the new window sashes are in place.

From a legal perspective, your current proposal with the clarifying information is technically a revision to the previous application which was reviewed by the HPC on April 12th and for which the appeal is pending. It is not a new application, which would be separately appealable to the Board of Appeals. The application has not been stamped in as received by the Department of Environmental Protection, and it has not received an official application number.

We are, therefore, returning the application dated August 2, 1995, to you, although we have retained a copy of it and all attachments. The information contained in the application dated August 2, 1995, is sufficient information for the HPC to review and this revision will be scheduled for the September 27, 1995, Commission meeting.

However, you should be aware that we have requested guidance from the Board of Appeals on whether they still want the HPC to undertake a review of your revisions, given that the work is already completed (see attached letter). We will let you know of any information or guidance that we receive from the Board of Appeals.

Historic Preservation Commission

51 Monroe Street, Rockville, Maryland 20850-2419, 301/217-3626

8787 Carroll Avenue, Silver Spring, MD 20910 (301) 995-1570

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If the Board wishes the HPC to proceed with a review of the already completed work, we will automatically schedule this item for the September 27th meeting. You do not need to submit anything further. Please call Loretta Shapero of the County Attorney's Office (217-2600) or Gwen Marcus, Historic Preservation Coordinator (495-4570), if you have additional questions on this matter.

Sincerely,



Walter Booth  
Chairperson, HPC

cc: Board of Appeals

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Office of the  
**County Attorney**

Montgomery County, MD  
301-217-2600  
301-217-2662 Fax  
301-217-2499 TDD  
mclaw@clark.net

Douglas M. Duncan  
County Executive

Charles W. Thompson, Jr.  
County Attorney

August 28, 1995

Judith B. Heimann, Chairperson  
Montgomery County Board of Appeals  
100 Maryland Avenue  
Rockville, Maryland 20850

Re: Appeal of Carol L. Marks, Case No. A-4325

Dear Ms. Heimann:

On July 26, 1995, the Board of Appeals considered an appeal by Carol Marks of a decision of the Montgomery County Historic Preservation Commission ("HPC") denying Ms. Marks' application for a Historic Area Work Permit. After several hours of testimony, the Board decided to hold the case record open so that the applicant could return to the HPC with some clarifications on the exact nature of the work she wished to undertake - specifically, how many original wood windows would be replaced and exactly what type of replacement window was proposed.

HPC staff have informed me that it came to their attention on August 2, 1995 that a portion of the work proposed by Ms. Marks had already been completed, even though the HAWP had been denied and the appeal was pending before the Board. Specifically, two windows in the kitchen area of the house had been replaced with new window sash. HPC staff have further informed me that when they inquired of Ms. Marks' contractor as to when the windows had been replaced, he did not provide an exact date but indicated that it was after the HPC denial of the work on April 12 and before the July 26 hearing.

On August 7, 1995, HPC staff received a new HAWP application from Carol Marks for the work which had already been completed. The HPC staff has returned this new application to Ms. Marks but has kept a copy, explaining that the original application is still pending before the Board and that the latest application pertains to that same project, not an entirely different one. HPC staff further explained that the information contained in the new application can be

Judith B. Heimann, Chairperson  
Montgomery County Board of Appeals  
August 28, 1995  
Page 2

considered as a clarification to the original HAWP application if the matter is considered further by the HPC. A copy of the letter sent to Ms. Marks is enclosed for your information.

While the agreement before the Board on July 26 was that the HPC would consider the clarifications that Ms. Marks was to make to her application, neither the HPC nor the Board at that time knew that Ms. Marks had apparently gone forward with a portion of the proposed work even though no HAWP had been granted. "Retroactive" HAWPs are always more difficult for the HPC to review and it is harder for the HPC to negotiate with an applicant on appropriate preservation work when the work has already been completed. HPC staff believe that such review would be especially difficult in this particular case given that the HPC has already reviewed and denied Ms. Marks' application for window replacement. In light of these recent developments, the HPC staff no longer believes it is necessary to review the revisions and/or clarifications proposed by the applicant, and request that a date be scheduled to complete the pending hearing before the Board.

However, if the Board still wants the HPC to review the clarifications presented by Ms. Marks, the HPC is certainly willing to continue to try to accomplish what the Board requested at the conclusion of the July 26 hearing. If that is the Board's preference, a review by the HPC of Ms. Marks clarifications will be scheduled for the September 27, 1995 agenda. Public notice of that meeting will be issued no later than September 8, 1995. Therefore, a response from the Board prior to that date as to whether it still wants the HPC to consider the Marks matter would be greatly appreciated.

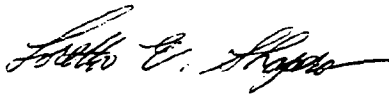
Of course, please do not hesitate to call me at 217-2607 if I may provide any additional information or clarification of this situation. As I am scheduled to be out of the office the week of August 28, 1995, please contact Ms. Gwen Marcus, HPC Staff Coordinator, during that time if any questions arise. Her phone number is 495-4570.

Judith B. Heimann, Chairperson  
Montgomery County Board of Appeals  
August 28, 1995  
Page 3

Thank you very much for your time and attention to this matter.

Very truly yours,

CHARLES W. THOMPSON, JR.  
COUNTY ATTORNEY



Loretta E. Shapero  
Assistant County Attorney

cc: Ms. Carol Marks  
Ms. Gwen Marcus, HPC Staff Coordinator

F:\RS\SHAPEL\WPDOCS\HPC\HEIMANN.LT

Carol L. Marks  
7336 Carroll Avenue  
Takoma Park, MD 20912

Judith B. Heimann, Chairperson  
Montgomery County Board of Appeals  
100 Maryland Avenue  
Rockville, Maryland 20850

Re: Appeal of Carol Marks, Case No. A-4325

Dear Ms. Heimann:

September 1, 1995

Reference is made to the letter to you dated August 28, 1995, from the County Attorney's office regarding my case. I would like to clarify what occurred between the HPC staff, specifically Robin Ziek, and myself regarding the replacement of my windows.

After the HPC hearing on April 12, 1995, I spoke with Robin Ziek and Gwen Marcus in the following week regarding my options and the appeal process. During one conversation on April 18, 1995, with Robin Ziek, we evidently had a misunderstanding about the side windows. As I explained to the Appeals Board and was attempting to explain to Ms Ziek, I never really wanted the 1/1 windows on the side but applied for them since the board had approved an 1/1 window for the rear of the house, in the same room. In the conversation, Ms. Ziek stated that if that were the case, (sounding very happy with my willingness to maintain the architectural integrity of the windows) she was sure the board would have no problem with me installing 6/1, true divided light windows. Upon hearing this news, having the new replacement windows sitting in my dining room and having everything completed in my newly renovated kitchen except for the side windows, I installed the windows with the belief that this would all be easily settled at the Appeals Hearing. My certainty was not only based on the conversation with Ms. Ziek, but after reviewing the Takoma Park Historic District Guidelines (TPHD) I discovered the HPC board had applied the Secretary of the Interior's guidelines for a Significant Resource to my 1920's Bungalow which is listed in the TPHD guidelines, Appendix A, 3rd page, as a Contributing Resource. Under the Contributing Resource guidelines, I am not bound to refurbish the old windows but to "...preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required." (Pages 15 & 16 of the TPHD Guidelines)

Approximately 3 days after my conversation with Ms Ziek and the installation of the side windows, I received a memorandum from Gwen Marcus, (initialed by Robin Ziek) dated April 17, 1995, stating the rear window installation had been approved and the side window replacement had been denied. I was quite surprised and concerned that the conversation I had had with Ms. Ziek was not



reflected in the Memorandum. I immediately called Ms Ziek regarding this and discovered we had misunderstood each other. She had been referring to the installation of rear window when I had been discussing the replacement of the side windows. I did not tell her I had already replaced the windows due to my confidence that the Appeals Board would side with me and the issue would be moot.

After meeting with the Board of Appeals on July 26, 1995, and was informed the case could not be heard until a proper application had been submitted, I complied at my first opportunity, completing the application with attachments and mailing it on Monday, July 31, 1995.

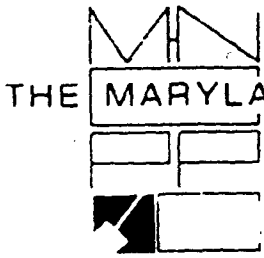
Ms. Heimann, I hope you see that I did not intentionally defy the HPC's decision. It was only through the combination of a misunderstanding, the feeling I had been unjustly denied and my desire to complete the already postponed renovation of my kitchen that I replaced the side windows before receiving written approval. I may have acted hastily but in good faith. My apologies to the HPC and the Appeals Board, I meant no disrespect but felt I was only doing what the Appeals Board would surely grant.

Thank you for your time in reviewing this matter. I look forward to meeting with the Appeals Board again and having this issue finally resolved.



Carol L. Marks

cc: County Attorney  
✓ HPC



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring Maryland 20910-3760

## FAX TRANSMITTAL SHEET

Design, Zoning, & Preservation Division  
(301)495-4570 (Telephone)

(301)495-1307 (Fax Number)

TO: LORETTA SHAPIRO FAX NUMBER: 217-2662

FROM: ROBIN ZIEK PHONE NUMBER: 495-4570

DATE: SEPT. 22, 1995

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 5

### NOTE:

HERE IS MY STAFF REPORT FOR CAROL MAKES -

PLEASE LET ME KNOW IF YOU HAVE ANY

COMMENTS, ESPECIALLY ON THE CONDITIONS

ON PAGE 4. (#3)

Thanks - Robin



RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

**Historic Preservation Commission**  
 (301) 495-4570

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Carol Marks  
 DAYTIME TELEPHONE NO. (301) 270-3047

TAX ACCOUNT # \_\_\_\_\_

NAME OF PROPERTY OWNER Carol Marks DAYTIME TELEPHONE NO. (301) 270-3047

ADDRESS 7336 Carroll Ave Takoma Park MD 20912  
CITY STATE ZIP CODE

CONTRACTOR \_\_\_\_\_ TELEPHONE NO. ( )

CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_

AGENT FOR OWNER \_\_\_\_\_ DAYTIME TELEPHONE NO. ( )

**LOCATION OF BUILDING/PREMISE**

HOUSE NUMBER 7336 STREET Carroll Ave

TOWN/CITY Takoma Park NEAREST CROSS STREET Lee Ave

LOT 1 BLOCK \_\_\_\_\_ SUBDIVISION General SScarroll's Addition

LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CIRCLE ALL APPLICABLE: Replace CIRCLE ALL APPLICABLE: A/C Stab Room Addition  
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove  
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other \_\_\_\_\_

1B. CONSTRUCTION COST ESTIMATE \$ \$300,00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # No

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. TYPE OF SEWAGE DISPOSAL 01  WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_

2B. TYPE OF WATER SUPPLY 01  WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_  Entirely on land of owner \_\_\_\_\_  On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Carol L. Marks  
 Signature of owner or authorized agent

8/2/95  
 Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

APPLICATION/PERMIT NO: \_\_\_\_\_ DATE FILED: \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS  
MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The house is a framed bungalow, circa 1920's.

According to the Takoma Park Historic District Ammendment, the

house is a "Contributing" resource to the Takoma Park Historical

District.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

In compliance with the T.P. Hist. Dist. guidelines for a contrib-  
uting resource, I am applying for approval to replace the double  
windows in the kitchen, above the garage on Lee Ave. with double  
hung, thermal, wooden sashes, 1/1 with muntions on the inside & outside  
to replicate the existing 5/1 windows. The wooden frames & sills  
would remain intact.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

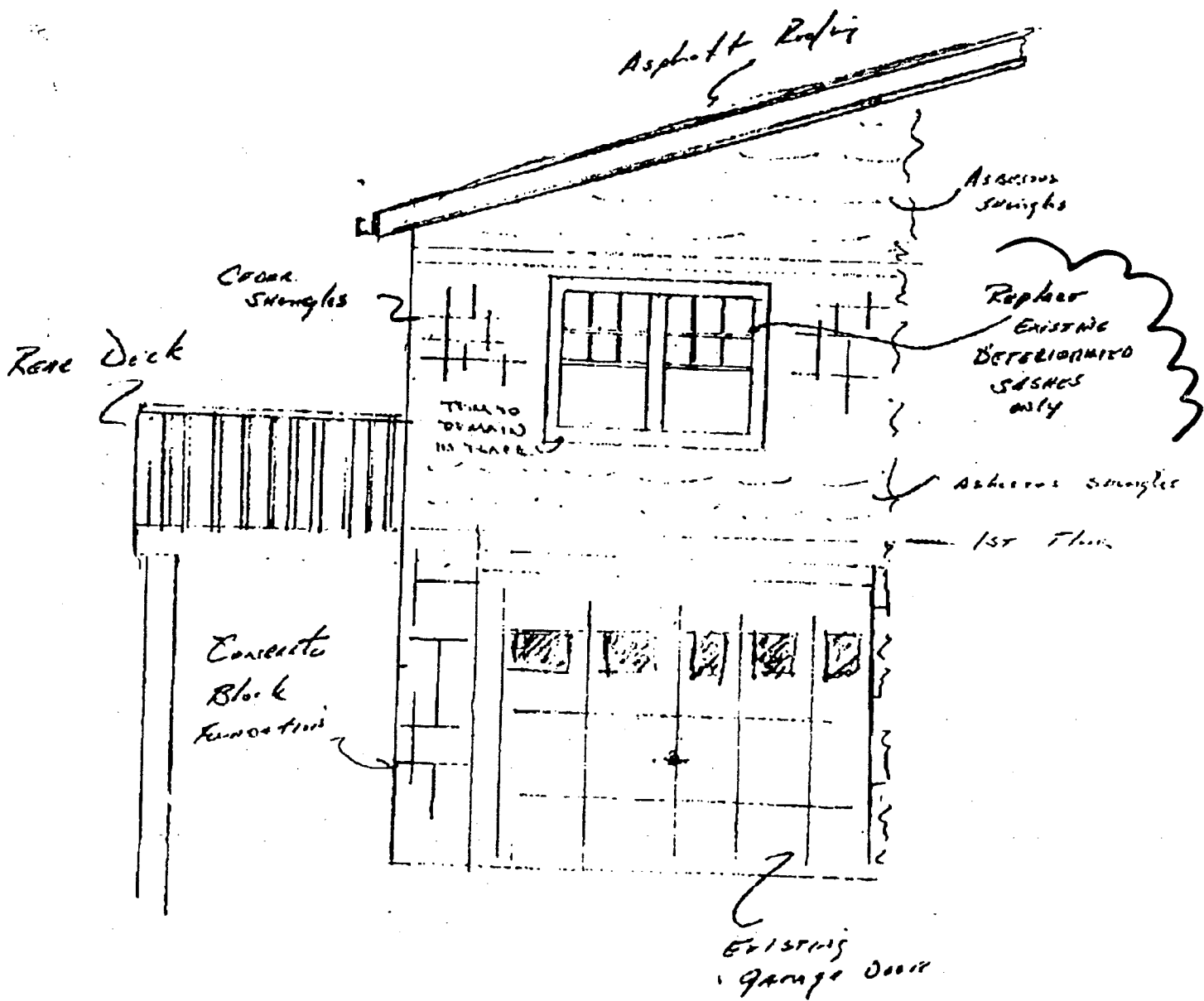
**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.



General S.S. Carroll's Addition  
To Takoma Park

Montgomery County, Maryland

Scale: 1" = 20'

Surveyor's Certificate

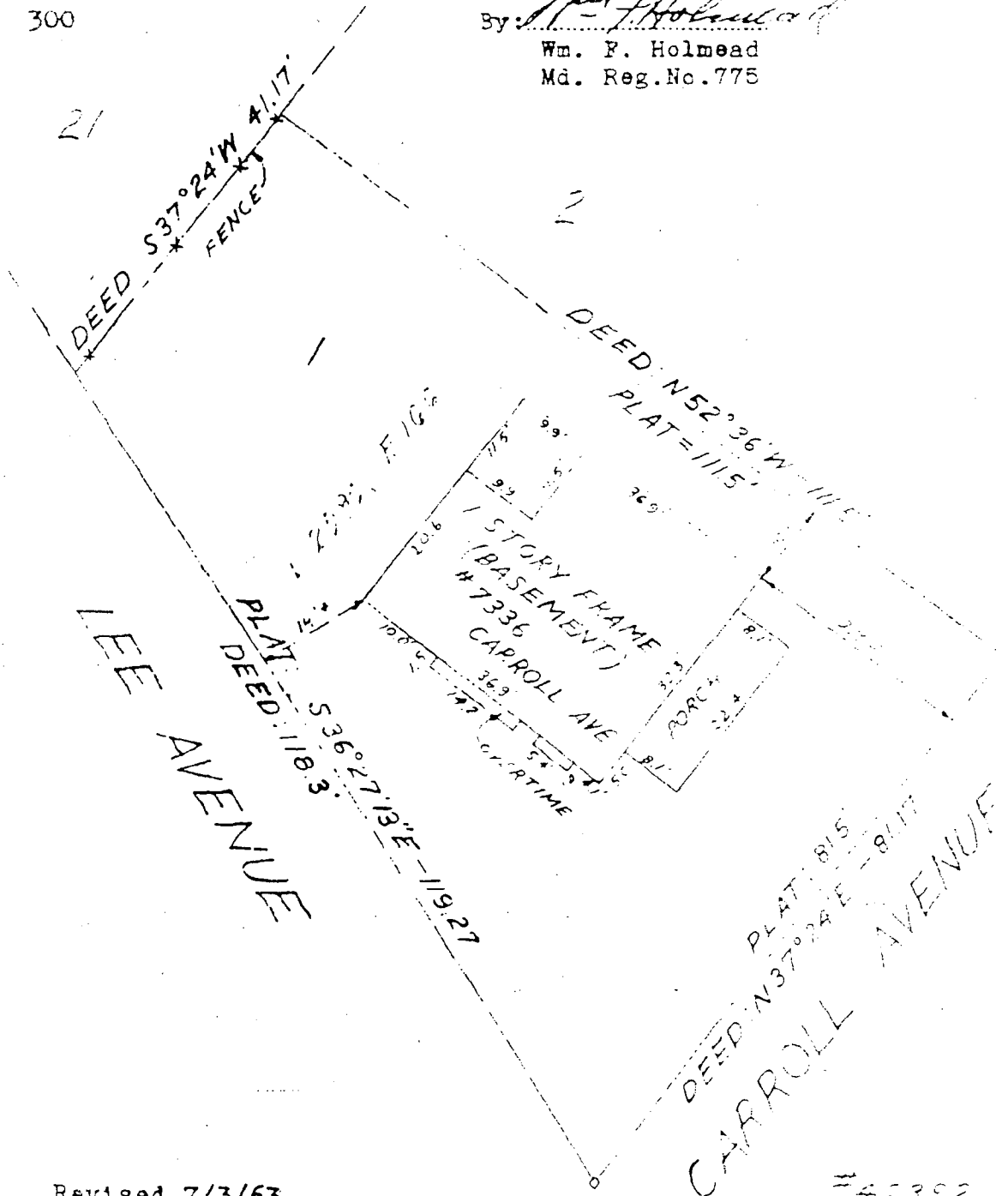
We hereby certify that we have carefully surveyed the property shown hereon in accordance with record description; that all of the existing improvements have been located by a transit-tape survey; that corner markers have been found ~~where~~ where indicated, and that unless otherwise shown, there are no encroachments on either side of property lines.

Date: June 28, 1963

Plat Book 4  
Plat 300

Holmead & Frey  
Land Surveyors

By: *Wm. F. Holmead*  
Wm. F. Holmead  
Md. Reg. No. 775





## **TILT PAC**

*A Double Hung Sash Replacement System  
That Saves Time and Money*



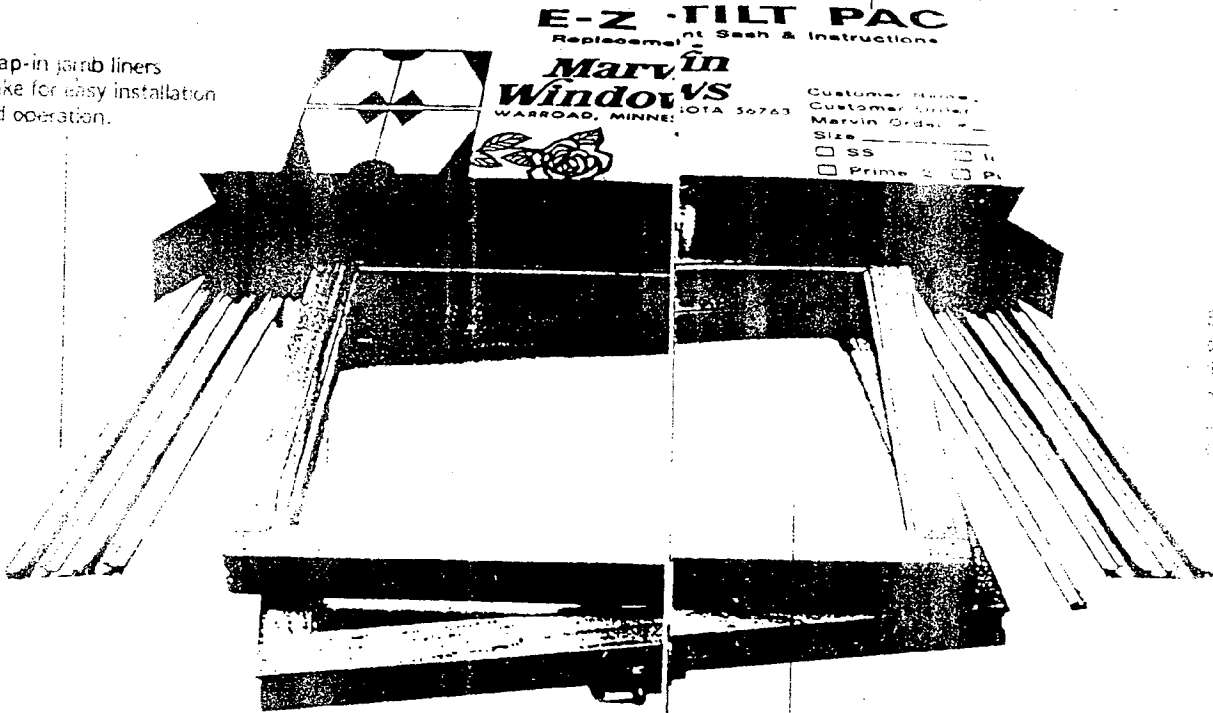
**MADE TO ORDER FROM MARVIN**

# WHAT'S IN THE PAC?

The contents of your E-Z Tilt Pac package

All parts packaged in one box and coded for each specific location. Comes complete with instructions for easy installation.

Snap-in jamb liners make for easy installation and operation.

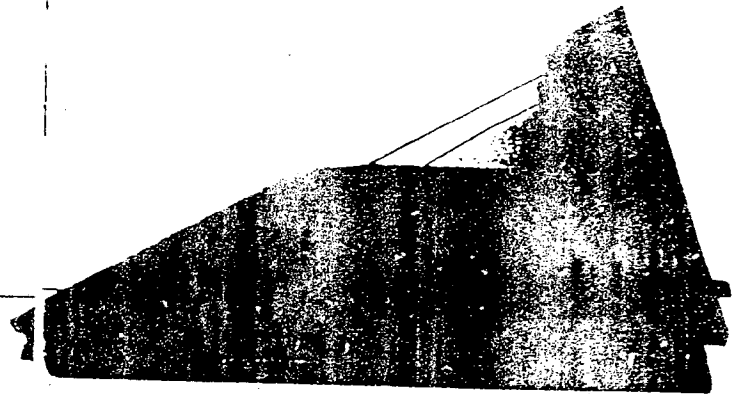


Efficient weatherstripping on jamb liners and sash offers protection against drafts and energy loss.

Factory-applied exterior finish is available in four standard colors and 50 optional colors to match virtually any home.

Insulating glass provides energy efficiency.

Maintenance-free extruded aluminum cladding is available in four colors for an attractive, durable exterior.





# INSTALLING YOUR NEW E-Z TILT WINDOW.

*It's As E-Z As This*

## Step 1:

*Remove the old sash.*  
Carefully remove the inside casing from your window. If your old window has a weight-and-pulley system, cut the cords. Lift out the bottom sash. Then, slide the top sash down, cut the cords (if any) and remove the stops. Now take out the top sash.



## Step 2:

*Prepare the frame.*  
Nail the metal brackets evenly down both sides of the window. Start about 4" from the top and finish about 4" from the bottom.



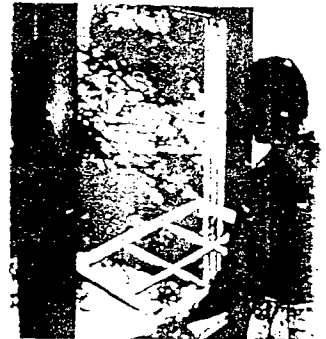
## Step 3:

*Install the jamb liners.*  
Put in the new stops and foam gaskets. Now simply snap the vinyl jamb liners onto the brackets. With small finishing nails, install the new stop at the top with weatherstripping facing outward.



## Step 4:

*Install the new sash.*  
Pull down and lock the metal clutches in the jamb liners with a screwdriver. Place the top sash into the exterior track and ease it into place, lowering it onto the clutches. Install the lower sash in the interior track the same way. Replace the original casing.



*You're finished!* Old, drafty double hung windows are energy efficient again. Both sashes will now tilt and slide down effortlessly. They'll also tilt into the interior for easy cleaning. Or, they can be removed at any time.

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

7334 Carroll Ave  
Jesse + Suzanne Fleming  
6907 Westmoreland Ave  
Takoma Park, MD  
20912

7338 Carroll Ave  
A. Douglas Cicciullo  
Takoma Park MD  
20912

5 Lee Ave  
Nancy S. Ricks  
Takoma Park MD  
20912

7327 Carroll Ave  
Helen K. Wannink  
Takoma Park MD  
20912



## Montgomery County Government

August 28, 1995

Carol Marks  
7336 Carroll Avenue  
Takoma Park, MD 20912

Dear Ms. Marks:

Thank you for submitting a new Historic Area Work Permit (HAWP) application for replacement of two windows at your house at 7336 Carroll Avenue in the Takoma Park Historic District.

The material in this application does help to clarify exactly what work you wish to do. In addition, it has come to the attention of staff and the Historic Preservation Commission (HPC) that you have completed the work described in this new application - which makes your intended work even clearer, as the new window sashes are in place.

From a legal perspective, your current proposal with the clarifying information is technically a revision to the previous application which was reviewed by the HPC on April 12th and for which the appeal is pending. It is not a new application, which would be separately appealable to the Board of Appeals. The application has not been stamped in as received by the Department of Environmental Protection, and it has not received an official application number.

We are, therefore, returning the application dated August 2, 1995, to you, although we have retained a copy of it and all attachments. The information contained in the application dated August 2, 1995, is sufficient information for the HPC to review and this revision will be scheduled for the September 27, 1995, Commission meeting.

However, you should be aware that we have requested guidance from the Board of Appeals on whether they still want the HPC to undertake a review of your revisions, given that the work is already completed (see attached letter). We will let you know of any information or guidance that we receive from the Board of Appeals.

Historic Preservation Commission

51 Monroe Street, Rockville, Maryland 20850-2419, 301/217-3625

8787 Georgia Avenue, Silver Spring, MD 20910 (301)495-4570

If the Board wishes the HPC to proceed with a review of the already completed work, we will automatically schedule this item for the September 27th meeting. You do not need to submit anything further. Please call Loretta Shapero of the County Attorney's Office (217-2600) or Gwen Marcus, Historic Preservation Coordinator (495-4570), if you have additional questions on this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Walter Booth", written in a cursive style.

Walter Booth  
Chairperson, HPC

cc: Board of Appeals



Office of the  
**County Attorney**

Montgomery County, MD  
301-217-2600  
301-217-2662 Fax  
301-217-2499 TDD  
mclaw@clark.net

Douglas M. Duncan  
County Executive

Charles W. Thompson, Jr.  
County Attorney

August 28, 1995

Judith B. Heimann, Chairperson  
Montgomery County Board of Appeals  
100 Maryland Avenue  
Rockville, Maryland 20850

Re: Appeal of Carol L. Marks, Case No. A-4325

Dear Ms. Heimann:

On July 26, 1995, the Board of Appeals considered an appeal by Carol Marks of a decision of the Montgomery County Historic Preservation Commission ("HPC") denying Ms. Marks' application for a Historic Area Work Permit. After several hours of testimony, the Board decided to hold the case record open so that the applicant could return to the HPC with some clarifications on the exact nature of the work she wished to undertake - specifically, how many original wood windows would be replaced and exactly what type of replacement window was proposed.

HPC staff have informed me that it came to their attention on August 2, 1995 that a portion of the work proposed by Ms. Marks had already been completed, even though the HAWP had been denied and the appeal was pending before the Board. Specifically, two windows in the kitchen area of the house had been replaced with new window sash. HPC staff have further informed me that when they inquired of Ms. Marks' contractor as to when the windows had been replaced, he did not provide an exact date but indicated that it was after the HPC denial of the work on April 12 and before the July 26 hearing.

On August 7, 1995, HPC staff received a new HAWP application from Carol Marks for the work which had already been completed. The HPC staff has returned this new application to Ms. Marks but has kept a copy, explaining that the original application is still pending before the Board and that the latest application pertains to that same project, not an entirely different one. HPC staff further explained that the information contained in the new application can be

**Office of the County Attorney**

**101 Monroe Street, 3rd Floor, Rockville, MD 20850**

Judith B. Heimann, Chairperson  
Montgomery County Board of Appeals  
August 28, 1995  
Page 2

considered as a clarification to the original HAWP application if the matter is considered further by the HPC. A copy of the letter sent to Ms. Marks is enclosed for your information.

While the agreement before the Board on July 26 was that the HPC would consider the clarifications that Ms. Marks was to make to her application, neither the HPC nor the Board at that time knew that Ms. Marks had apparently gone forward with a portion of the proposed work even though no HAWP had been granted. "Retroactive" HAWPs are always more difficult for the HPC to review and it is harder for the HPC to negotiate with an applicant on appropriate preservation work when the work has already been completed. HPC staff believe that such review would be especially difficult in this particular case given that the HPC has already reviewed and denied Ms. Marks' application for window replacement. In light of these recent developments, the HPC staff no longer believes it is necessary to review the revisions and/or clarifications proposed by the applicant, and request that a date be scheduled to complete the pending hearing before the Board.

However, if the Board still wants the HPC to review the clarifications presented by Ms. Marks, the HPC is certainly willing to continue to try to accomplish what the Board requested at the conclusion of the July 26 hearing. If that is the Board's preference, a review by the HPC of Ms. Marks clarifications will be scheduled for the September 27, 1995 agenda. Public notice of that meeting will be issued no later than September 8, 1995. Therefore, a response from the Board prior to that date as to whether it still wants the HPC to consider the Marks matter would be greatly appreciated.

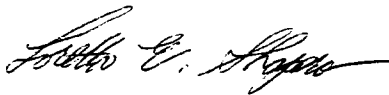
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Judith B. Heimann, Chairperson  
Montgomery County Board of Appeals  
August 28, 1995  
Page 3

Thank you very much for your time and attention to this matter.

Very truly yours,

CHARLES W. THOMPSON, JR.  
COUNTY ATTORNEY



Loretta E. Shapero  
Assistant County Attorney

cc: Ms. Carol Marks  
Ms. Gwen Marcus, HPC Staff Coordinator

I:\RS\SHAPEL\WPDOCS\HPC\HEIMANN.LT

Carol L. Marks  
7336 Carroll Avenue  
Takoma Park, MD 20912

Judith B. Heimann, Chairperson  
Montgomery County Board of Appeals  
100 Maryland Avenue  
Rockville, Maryland 20850

Re: Appeal of Carol Marks, Case No. A-4325

Dear Ms. Heimann:

September 1, 1995

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After meeting with the Board of Appeals on July 26, 1995, and was informed the case could not be heard until a proper application had been submitted, I complied at my first opportunity, completing the application with attachments and mailing it on Monday, July 31, 1995.

Ms. Heimann, I hope you see that I did not intentionally defy the HPC's decision. It was only through the combination of a misunderstanding, the feeling I had been unjustly denied and my desire to complete the already postponed renovation of my kitchen that I replaced the side windows before receiving written approval. I may have acted hastily but in good faith. My apologies to the HPC and the Appeals Board, I meant no disrespect but felt I was only doing what the Appeals Board would surely grant.

Thank you for your time in reviewing this matter. I look forward to meeting with the Appeals Board again and having this issue finally resolved.



Carol L. Marks

cc: County Attorney  
✓HPC

Marks

7336 Carroll Ave

Takoma Park H.D.

BOARD OF APPEALS  
for  
MONTGOMERY COUNTY

Stella B. Werner Council Office Building  
100 Maryland Avenue  
Rockville, Maryland 20850  
(301) 217-6600

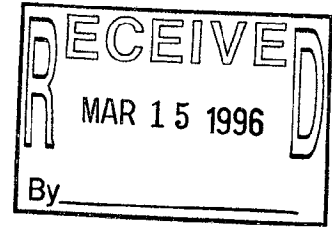
Case No. A-4325

APPEAL OF CAROL L. MARKS

(Hearings held July 26 and November 15, 1995)

OPINION OF THE BOARD

(Effective date of Opinion, January 5, 1996)



This case involves an appeal by Carol L. Marks from a decision of the Historic Preservation Commission (HPC). While granting this appeal, the Board wishes to state unequivocally that it does not condone - and will not condone - the flaunting of the authority of the Commission. In this case, however, the Board is convinced that the appellant's problems arose out of a genuine misunderstanding. At no time did the HPC question the appellant's bona fides and we, too, see no reason to raise that question. It is because we believe that her actions were taken in good faith that we **GRANT** the appellant's appeal. Had we had the slightest doubt, we would have affirmed the HPC.

It will do little good to review at length all the facts which led to the latest - and hopefully last - face-off between the HPC and the appellant. A brief review indicates that in April, 1995, appellant filed an application for a Historic Area Work Permit (HAWP) involving her house, located at 7336 Carroll Avenue, Takoma Park, Maryland, in the R-60 Zone. There is no dispute that the house is a contributing resource within the meaning of the code.

In April, 1995, the application involved a request to replace the sash on two windows on the side elevation facing Lee Avenue. That request was denied on the basis that 1) the application to replace these two windows was the first phase in the owner's plan to replace all of the 6/1 original windows with 1/1 replacement sash; 2) an evaluation of the extent of deterioration of the windows had not been provided to the HPC; and 3) the proposed replacement unit involved snap-in muntins rather than true-divided light window sash.

The applicant appealed the denial decision to the Board of Appeals. The Board of Appeals heard the case on July 26, 1995. The hearing went forward until the applicant proposed an amendment to the project by proposing to install a new window sash, which had thermal glazing, but integral muntins rather than the snap-in muntins, which were originally proposed. At this point, the Board of Appeals directed the applicant to return to the HPC with her revised application for its consideration.

The HPC Staff visited the house the following day to attempt to evaluate the condition of the windows from the street and discovered that the old window sash had been removed and new sash installed. Staff called the contractor and was told that the applicant had asked him to go ahead with the window installation prior to the Board of Appeals hearing and he had directed his workmen to do this installation. The contractor would not specify a date, but seemed to indicate sometime within the past few weeks.

CURRENT PROJECT PROPOSAL

The appellant is now requesting retroactive approval to replace the window sashes in two windows on the Lee Street facade of her house. The original windows have been removed from the site and the new windows are installed. The applicant has installed a type of window sash which approximates 6/1 true-divided light sash, although the information supplied from the manufacturer (Marvin Windows) provides no details about the muntins and mainly discusses the ease of installation.

The subject property is on a corner lot and, therefore, three elevations are visible from the public right-of-way. The Guidelines provide direction that the "design review emphasis will be restricted to changes that are at all visible from the public right-of-way" (page 15). The proposed window sash replacement is visible from Lee Avenue.

The HPC Staff recommended retroactive approval for the replacement of two 6/1 light window sash in two kitchen windows which front Lee Avenue with the following conditions:

1. The replacement sash must be wood;
2. The top sash in both cases must be either true-divided light; or with integral muntins on both the interior and exterior;

The staff also recommended that the Commission approve the installation of the new window sash on the two side windows in the kitchen and found the proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal ... would not be detrimental thereto [to...the Historic District] or to the achievement of the purposes of this chapter;

and may have been consistent with Standard 6.

Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

By letter of September 1, 1995, to the Chairman of this Board, Carol Marks stated:

"After the HPC hearing on April 12, 1995, I spoke with Robin Ziek and Gwen Marcus in the following week regarding my options and the appeal process. During one conversation on April 18, 1995, with Robin Ziek, we evidently had a misunderstanding about the side windows. As I explained to the Appeals Board, and was attempting to explain to Ms. Ziek, I never really wanted the 1/1 windows on the side but applied for them since the Board had approved an 1/1 window for the rear of the house in

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Ms. Heimann, I hope you see that I did not intentionally defy the HPC's decision. It was only through the combination of a misunderstanding, the feeling I had been unjustly denied and my desire to complete the already postponed renovation of my kitchen that I replaced the side windows before receiving written approval. I may have acted hastily but in good faith. My apologies to the HPC and the Appeals Board, I meant no disrespect but felt I was only doing what the Appeals Board would surely grant."

At the hearing before the Board, Gwen Marcus, of the HPC staff, recommended approval of the project. She indicated that had Carol Marks requested the windows as stated in the revised application, the Staff would have recommended approval.

#### DECISION OF THE BOARD

The Appeal of Carol Marks is **GRANTED**. The Commission's decision to deny the HAWP for the revised application is hereby **REVERSED**.

The Board has already stated in the opening sentences of this Resolution that it will not countenance the flaunting of the Commission's authority. Our decisions in previous cases illustrate the importance which we attach to the Commission's work. See Flaherty, Case No. A-3031; James Mullen, Case No. A-3434.

Similarly, retroactive applications for permits are disfavored because, in essence, they are a derogation of the HPC's initial responsibility for granting or denying permits.

In this case, however, none of these factors exist. Carol Marks genuinely believed that she was complying with the law. Neither the public interest nor the authority of the Commission will be served by denying the permit.


The Board specifically notes that the Staff had recommended that the revised application be granted on a retroactive basis.

The Board adopted the following Resolution:

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Tedi S. Osias

Executive Secretary to the Board

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BOARD OF APPEALS  
for  
MONTGOMERY COUNTY

Stella B. Werner Council Office Building  
100 Maryland Avenue  
Rockville, Maryland 20850  
(301) 217-6600

Case No. A-4325

APPEAL OF CAROL L. MARKS

(Hearings held July 26 and November 15, 1995)

OPINION OF THE BOARD

(Effective date of Opinion, January 5, 1996)

This case involves an appeal by Carol L. Marks from a decision of the Historic Preservation Commission (HPC). While granting this appeal, the Board wishes to state unequivocally that it does not condone - and will not condone - the flaunting of the authority of the Commission. In this case, however, the Board is convinced that the appellant's problems arose out of a genuine misunderstanding. At no time did the HPC question the appellant's bona fides and we, too, see no reason to raise that question. It is because we believe that her actions were taken in good faith that we **GRANT** the appellant's appeal. Had we had the slightest doubt, we would have affirmed the HPC.

It will do little good to review at length all the facts which led to the latest - and hopefully last - face-off between the HPC and the appellant. A brief review indicates that in April, 1995, appellant filed an application for a Historic Area Work Permit (HAWP) involving her house, located at 7336 Carroll Avenue, Takoma Park, Maryland, in the R-60 Zone. There is no dispute that the house is a contributing resource within the meaning of the code.

In April, 1995, the application involved a request to replace the sash on two windows on the side elevation facing Lee Avenue. That request was denied on the basis that 1) the application to replace these two windows was the first phase in the owner's plan to replace all of the 6/1 original windows with 1/1 replacement sash; 2) an evaluation of the extent of deterioration of the windows had not been provided to the HPC; and 3) the proposed replacement unit involved snap-in muntins rather than true-divided light window sash.

The applicant appealed the denial decision to the Board of Appeals. The Board of Appeals heard the case on July 26, 1995. The hearing went forward until the applicant proposed an amendment to the project by proposing to install a new window sash, which had thermal glazing, but integral muntins rather than the snap-in muntins, which were originally proposed. At this point, the Board of Appeals directed the applicant to return to the HPC with her revised application for its consideration.

The HPC Staff visited the house the following day to attempt to evaluate the condition of the windows from the street and discovered that the old window sash had been removed and new sash installed. Staff called the contractor and was told that the applicant had asked him to go ahead with the window installation prior to the Board of Appeals hearing and he had directed his workmen to do this installation. The contractor would not specify a date, but seemed to indicate sometime within the past few weeks.

CURRENT PROJECT PROPOSAL

The appellant is now requesting retroactive approval to replace the window sashes in two windows on the Lee Street facade of her house. The original windows have been removed from the site and the new windows are installed. The applicant has installed a type of window sash which approximates 6/1 true-divided light sash, although the information supplied from the manufacturer (Marvin Windows) provides no details about the muntins and mainly discusses the ease of installation.

The subject property is on a corner lot and, therefore, three elevations are visible from the public right-of-way. The Guidelines provide direction that the "design review emphasis will be restricted to changes that are at all visible from the public right-of-way" (page 15). The proposed window sash replacement is visible from Lee Avenue.

The HPC Staff recommended retroactive approval for the replacement of two 6/1 light window sash in two kitchen windows which front Lee Avenue with the following conditions:

1. The replacement sash must be wood;
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The staff also recommended that the Commission approve the installation of the new window sash on the two side windows in the kitchen and found the proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal ... would not be detrimental thereto [to...the Historic District] or to the achievement of the purposes of this chapter;

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At the hearing before the Board, Gwen Marcus, of the HPC staff, recommended approval of the project. She indicated that had Carol Marks requested the windows as stated in the revised application, the Staff would have recommended approval.

#### DECISION OF THE BOARD

The Appeal of Carol Marks is **GRANTED**. The Commission's decision to deny the HAWP for the revised application is hereby **REVERSED**.

The Board has already stated in the opening sentences of this Resolution that it will not countenance the flaunting of the Commission's authority. Our decisions in previous cases illustrate the importance which we attach to the Commission's work. See Flaherty, Case No. A-3031; James Mullen, Case No. A-3434.

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Tedi S. Osias  
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6/16/95

Stephen Ortado - will do July 26<sup>th</sup> trial

- he would want to talk w/ Carol Starks

- (maybe next week)

- he thinks a discussion will help.

(202) 686-0135

But he will block out July 26.

He understands that there is no fee.

July 24, 1995

150. of Appeals

Julia Heiman, Claire Used to be on Planning Bd  
Lynn Rafast, Kensington H.D. (she lives in Kensington H.D.) (her husband is in county President for Ken. H. Soc.)  
Wm Green, retired lawyer,  
Helen Strong, (quiet)  
Lyndsey, Smart, Doctor,

→ take slides showing snap-in example + time-divided light.

1. Details of application
2. Staff reviews
  - my recommendation
3. cite window statistics on Energy + Cost.
4. Call MHT to see if window rehab qualifies for 50% etc.

949-

3423

Mr. Ritzmann

BOARD OF APPEALS  
for  
MONTGOMERY COUNTY

3713-95K  
7336 Carroll Ave

Stella B. Werner Council Office Building  
100 Maryland Avenue  
Rockville, Maryland 20850  
(301) 217-6600

Case No. A-4325

APPEAL OF CAROL L. MARKS

(Hearings held July 26 and November 15, 1995)

OPINION OF THE BOARD

(Effective date of Opinion, January 5, 1996)

This decision culminates the Kafka-like adventure of Carol Marks in dealing with the Historic Preservation Commission (HPC). While granting this appeal, the Board wishes to state unequivocally that it does not condone - and will not condone - the flaunting of the authority of the Commission. In this case, however, the Board is convinced that the appellant's problems arose out of a genuine misunderstanding. At no time did the HPC question the appellant's bona fides and we, too, see no reason to raise that question. It is because we believe that her actions were taken in good faith that we **GRANT** the appellant's appeal. Had we had the slightest doubt, we would have affirmed the HPC.

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The HPC Staff visited the house the following day to attempt to evaluate the condition of the windows from the street and discovered that the old window sash had been removed and new sash installed. Staff called the contractor and was told that the applicant had asked him to go ahead with the window installation prior to the Board of Appeals hearing and he had directed his workmen to do this installation. The contractor would not specify a date, but seemed to indicate sometime within the past few weeks.

CURRENT PROJECT PROPOSAL

The appellant is now requesting retroactive approval to replace the window sashes in two windows on the Lee Street facade of her house. The original windows have been removed from the site and the new windows are installed. The applicant has installed a type of window sash which approximates 6/1 true-divided light sash, although the information supplied from the manufacturer (Marvin Windows) provides no details about the muntins and mainly discusses the ease of installation.

The subject property is on a corner lot and, therefore, three elevations are visible from the public right-of-way. The Guidelines provide direction that the "design review emphasis will be restricted to changes that are at all visible from the public right-of-way" (page 15). The proposed window sash replacement is visible from Lee Avenue.

The HPC Staff recommended retroactive approval for the replacement of two 6/1 light window sash in two kitchen windows which front Lee Avenue with the following conditions:

1. The replacement sash must be wood;
2. The top sash in both cases must be either true-divided light; or with integral muntins on both the interior and exterior;

The staff also recommended that the Commission approve the installation of the new window sash on the two side windows in the kitchen and found the proposal consistent with the purposes of Chapter 24A-8(b)2:

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#### DECISION OF THE BOARD

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Similarly, retroactive applications for permits are disfavored because, in essence, they are a derogation of the HPC's initial responsibility for granting or denying permits.

In this case, however, none of these factors exist. Carol Marks genuinely believed that she was complying with the law. Neither the public interest nor the authority of the Commission will be served by denying the permit.

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# Pre-hearing Submission

all documents which will be submitted.

all witnesses who will speak

- Chap. 24A

- Amendment for Tak, PK

(= Guidelines)

- Minutes for Sec of Int.

- Fed. Regs. on Sec of Int. Stand.

- Sec of Int. Standards

- Pres. Brief on Windows

- " " " Energy efficiency.

9  
3



(No Substitute Material)

Q: How will storm windows enhance thermal efficiency? When you have the drip holes so temp. can get into air space?

Q: Do we need to do research on costs for rebulding windows?  
Economic Analysis.

Muller Case - "taking" - full demolition requested

YES -  
Tech notes  
NPS Research

Call  
for expert  
witness

NPS - WMSPT

Steve Ortega on Wooden windows - can he give expert witness capacity?

MHT witness - Kauer

**APPEAL CHARGING ERROR  
IN ADMINISTRATIVE RULING OR ACTION**  
Please note instructions on reverse side.  
Attach additional sheets if required for answers.

Appeal is hereby made pursuant to Section 2-112 of the Montgomery County Code 1984, as amended, from the decision or other action of an official or agency of Montgomery County specified below which Appellant contends was erroneous.

Official or agency from whose ruling or action this appeal is made Historic Preservation Commission of Montgomery Co.

Brief description of ruling or action from which this appeal is made (attach duplicate copy of ruling or document indicating such action): Approval of 1/1 or 6/1 True divided light windows on rear of house (new installation). Denied Replacement of original windows on side of house, in the same room, with instructions to Refurbish but not Replace.

Date of that ruling or action: hearing date 4/12/95, Memorandum date 4/17/95.

Brief description of what, in appellant's view, the ruling or action should have been: approve new window and replacement windows that maintain the look of the original windows, 4/1, w/energy efficient and cost efficient True divided light simulations, keeping wood frame.

Number of section, and subsection if any, of the Montgomery County Code 1984, as amended, or citation or other statutory provision, which appellant contends was misinterpreted: 24A-8 a-d specifically 24A-8, b 1-3, C. (repairs), Takoma Park Amendment pgs 14-16. Contributing Resource.

Error of fact, if any, involved in the ruling or action from which this appeal is made: as stated in the Takoma Park Historic District guidelines: This house is a 'Contributing Resource' which should be viewed more

Error of law, if any, involved in the ruling or action from which this appeal is made: leniently. Pages 14-16 The HPC applied guidelines for "Significant Resource" instead of "Contributing Resource"

Question(s) of fact, if any, presented to the Board by this appeal: Does the proposed replacement windows and new window using 1/1 wood sashes with simulated wood muntions effect contributing resource guidelines

Question(s) of law, if any, presented to the Board by this appeal: \_\_\_\_\_

Description of real property, if any, involved in this appeal: Lot 1, Block Section 5  
Parcel \_\_\_\_\_, Subdivision General S.S. Carroll's addition Street and Number 7336 CARROLL AVE  
Town TAKOMA PARK, Zone \_\_\_\_\_

Appellant's present legal interest in above property, if any:  Owner (including joint ownership). \_\_\_\_\_ Lessee. \_\_\_\_\_ Contract to lease or rent. \_\_\_\_\_ Contract to purchase. \_\_\_\_\_ Other (describe) \_\_\_\_\_

Statement of appellant's interest, i.e., manner in which appellant is aggrieved by the ruling or action complained of (as property owner or otherwise): The side windows are in very poor condition & would take considerable time & money to refurbish. The additional cost of True divided light 4/1 (so it will match the side windows) in the rear of the house is exorbitant. I respect the architectural style of the house and neighborhood and want to abide by that style. The house is a 'Contributing Resource' not an 'Outstanding Resource'. The Commission did not differentiate between the two.

I hereby affirm that all of the statements and information contained in or filed with this appeal are true and correct.

Signature of Attorney \_\_\_\_\_

Address of Attorney \_\_\_\_\_

Telephone Number \_\_\_\_\_

Carol L. Marks  
Signature of Appellant(s)

7336 CARROLL AVE  
Address of Appellant(s)  
TAKOMA PARK, MD 20912

301-270-3047  
Telephone Number

BOARD OF APPEALS  
for  
MONTGOMERY COUNTY

Stella B. Werner Council Office Building  
100 Maryland Avenue  
Rockville, Maryland 20850

Telephone  
Area Code 301  
217-6600

Case No. A-4325

APPEAL OF CAROL L. MARKS

Notice is hereby given that a public hearing will be held by the Board of Appeals for Montgomery County, Maryland, in the Stella B. Werner Council Office Building, 100 Maryland Avenue, Rockville, Maryland, in the Second Floor Davidson Memorial Hearing Room, on the 26th day of July, 1995, at 1:30 p.m., or as soon thereafter as this matter can be heard, on the application filed pursuant to Section 2-112 of the Montgomery County Code.

The appellant charges administrative error on the part of the Historic Preservation Commission (HPC) in its decision dated April 17, 1995, in which HPC partially granted and partially denied an Historic Area Work Permit application, contending that Section 24A-8(a)-(d) of the Montgomery County Code was misinterpreted. In accordance with Chapter 2A, Administrative Procedures Act, a copy of the "charging document" (appeal) is attached to this notice.

The subject property is Lot 1, Block 5, B. F. Gilbert's Addition to Takoma Park Subdivision, located at 7336 Carroll Avenue, Takoma Park, Maryland in an R-60 Zone.

Notices forwarded this 12th day of May, 1995, to:

Carol L. Marks  
County Attorney  
Alan M. Wright, Senior Assistant County Attorney  
Director, Department of Environmental Protection  
Walter Booth, Chairperson, Historic Preservation Commission  
Gwen Marcus, Historic Preservation Coordinator, Historic  
Preservation Commission  
Members, Board of Appeals  
Contiguous and confronting property owners  
City of Takoma Park

County Board of Appeals

By Tedi S. Osias  
Tedi S. Osias  
Executive Secretary to the Board

APPEAL CHARGING ERROR  
IN ADMINISTRATIVE RULING OR ACTION  
Please note instructions on reverse side.  
Attach additional sheets if required for answers.

Appeal is hereby made pursuant to Section 2-112 of the Montgomery County Code 1984, as amended, from the decision or other action of an official or agency of Montgomery County specified below which Appellant contends was erroneous.

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Brief description of ruling or action from which this appeal is made (attach duplicate copy of ruling or document indicating such action): Approval of 1/1 or 6/1 True divided light windows on rear of house (new installation). Denied Replacement of original windows on side of house, in the same room, with instructions to Refurbish but not Replace.

Date of that ruling or action: hearing date 4/12/95, Memorandum date 4/17/95.

Brief description of what, in appellant's view, the ruling or action should have been: approve new window and replacement windows that maintain the look of the original windows, 6/1, w/energy efficient and cost efficient TRUE divided light simulations, keeping wood frame.

Number of section, and subsection if any, of the Montgomery County Code 1984, as amended, or citation or other statutory provision; which appellant contends was misinterpreted: 24A-8 a-d

Specifically 24A-8, b 1-3, c (Repairs), Takoma Park Amendment pgs 14-16, Contributing Resource.

Error of fact, if any, involved in the ruling or action from which this appeal is made: as stated in the Takoma Park Historic District guidelines: This house is a 'Contributing Resource' which should be viewed more

Error of law, if any, involved in the ruling or action from which this appeal is made: leniently. Pages 14-16

The HPC applied guidelines for "Significant Resource" instead of "Contributing Resource"

Question(s) of fact, if any, presented to the Board by this appeal: Does the proposed replacement windows and new window using 1/1 wood sashes with simulated wood muttons effect contributing resource guidelines

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Appellant's present legal interest in above property, if any:  Owner (including joint ownership). \_\_\_\_\_ Lessee. \_\_\_\_\_ Contract to lease or rent. \_\_\_\_\_ Contract to purchase. \_\_\_\_\_ Other (describe) \_\_\_\_\_

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Signature of Attorney \_\_\_\_\_

Address of Attorney \_\_\_\_\_

Telephone Number \_\_\_\_\_

Carol L. Marks  
Signature of Appellant(s)

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(OVER)



BOARD OF APPEALS  
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By Tedi S. Osias  
Tedi S. Osias

Executive Secretary to the Board

The start of streetcar service along Carroll Avenue in 1897 made the adjacent areas more attractive for residential development, leading to new subdivisions. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts

Movement which emphasized the inherent nature of the building materials and structural elements for ornamentation. Similarly, they reflect a social trend towards a more informal, unpretentious style of living. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established - detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller

scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Park, Philadelphia, Sycamore, Westmoreland, and Willow Avenues.

Takoma Park includes several mail order or kit houses. Twenty-one examples of Sears, Roebuck and Company houses built in fifteen different designs have been identified. These appeared in Sears' Modern Homes and Building Plans, primarily from 1911-1929. They encompass Craftsman,

☒ Sycamore Avenue  
Streetscape



☒ Willow Avenue  
Streetscape



Bungalow, Colonial Revival, and Dutch Colonial formats.

In contrast to the Craftsman/Bungalow designs, the Colonial Revival movement is also represented in Takoma Park through both Dutch Colonial and Georgian Revival variations, and in a few examples of Spanish Colonial Revival.

Dating from the 1930s onward, more houses were brick, generally following English Cottage and Cape Cod designs, while a few post World War II houses such as ramblers and 1980s neo-Victorian dwellings were also built and are found within the district boundaries.



7300 Holly Avenue



Old Town Streetscape, Carroll Avenue

Takoma Park's commercial areas known as "Old Town" and "Takoma Junction" retain much of their early 20th century character and are included within the district. Most of the buildings are 1 or 2-story brick structures with simple detailing. Particularly noteworthy examples are the Park Pharmacy building prominently located at the intersection of Laurel and Carroll and the commercial building

at 7000 Carroll Avenue which exemplifies the Art Deco period with its zig-zag motif cornice and polygonal light fixtures (See illustration pg. 19). The Sovran Bank building at Carroll and Willow (originally the Suburban Trust) is a distinguished example of Beaux Arts design. The charming Tudor Revival character of the service station at 7060 Carroll Avenue makes it a familiar neighborhood landmark which remains in its original use.

Two churches are located in the district, both Gothic Revival in derivation: the granite Takoma Park Presbyterian Church of 1923 and the Seventh Day Adventist Church at Eastern and Laurel. Though built in 1953, the Adventist Church is included as an outstanding resource for its connection with the Adventists who were a major factor in shaping the community's growth when its headquarters were moved from Battle Creek, Michigan in 1907.



Seventh Day Adventist Church (1953)

### III. CATEGORIZATION OF RESOURCES

The purpose of categorizing the buildings within the Takoma Park Historic District is to provide the Historic Preservation Commission and property owners with guidance as to the significance of various structures. As provided by Section 24A-8 (d) of the Historic Preservation Ordinance, structures with the highest degree of historical and architectural importance would receive the most detailed level of design review, structures of little historical or architectural significance would receive the most lenient level of design review, etc.

The buildings in the Takoma Park Historic District have been classified into three categories. These categories are defined as follows:

#### *Outstanding Resource:*

A resource which is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details and/or historical associations that make the resource especially representative of an architectural style, it must be especially important to the history of the district, and/or it must be especially unique within the context of the district.

#### *Contributing Resource:*

A resource which contributes to the overall character of the district and its street-scape, but which is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources add to the overall streetscape due to their size, scale, and architectural character.

#### *Non-Contributing or Out-of-Period Resource:*

A resource which is an intrusion in the district because of its lack of architectural and historical significance and/or because of major alterations that have eliminated most of the resource's original architectural integrity. Or a resource that is a newer building, which possibly contributes to the overall streetscape but is out of the district's primary historical and architectural context.

The complete database which lists each structure in the Takoma Park Historic District along with its designated category is included as part of this *Master Plan* amendment (see Appendix A).

#### IV. HISTORIC PRESERVATION REVIEW GUIDELINES

The Takoma Park Historic District is the largest area in Montgomery County to be designated as historic and to fall under the jurisdiction of the Historic Preservation Ordinance. Because of the unusual size and complexity of the district, this amendment includes historic preservation review guidelines to assist in the implementation of the historic designation.

The purpose of including broad historic preservation review guidelines and principles in the amendment to the *Master Plan for Historic Preservation* which creates the Takoma Park Historic District is to provide the Historic Preservation Commission and other applicable agencies (for example, the County Department of Transportation) with guidance regarding the intent of the historic designation. In addition, the purpose of these guidelines is to provide the Historic Preservation Commission with specific direction in reviewing applications for Historic Area Work Permits (HAWPs) and in generally administering the district, once designated. It is acknowledged, however, that guidelines are intended to provide guidance, not rigid design strictures. Each HAWP application will present a unique series of design issues and each will need to be reviewed individually. In addition, the historic preservation review guidelines developed for this amendment to the *Master Plan for Historic Preservation* are specific to Takoma Park and have been developed in response to this historic area's particular architectural features and community character. These guidelines should not be interpreted as county-wide policy—they are district-specific.

The historic preservation review guidelines and principles which follow are intended to be broad and general in nature. They are not intended to be the final or ultimate design review manual for the Takoma Park Historic District. After the district is designated, it is strongly recommended that the Historic Preservation Commission work closely with Planning Board staff, the City of Takoma Park, and with citizens in the Takoma Park community to develop and adopt a variety of educational materials, including a specific set of design guidelines, which can be published and distributed throughout Takoma Park.

#### ALTERATIONS TO EXISTING STRUCTURES

The vast majority of Takoma Park HAWPs which will be reviewed by the Historic Preservation Commission will involve exterior alterations, changes, and/or additions to existing structures. In reviewing HAWP applications it is important for the Historic Preservation Commission to recognize the eclecticism, creativity, and diversity of design in Takoma Park—features which contribute greatly to the town's unique architectural character and sense of community.

At the same time, it is essential to protect and preserve the features of Takoma Park's built environ-



Example of a compatible alteration: An undersized non-historic dormer was replaced by the dormer shown which is more typical of Bungalows in Takoma Park.

ment which make it of architectural and historical significance to the heritage of Montgomery County.

Thus, the challenge is to administer this very large and diverse district in a way which is balanced, equitable, and flexible enough to accommodate both preservation and creative architectural eclecticism.

A first step in achieving this necessary balance is the acknowledgment that structures in Takoma Park vary in terms of historical significance and architectural integrity. It follows that buildings should receive a level of design review which is commensurate with their significance.

To this end, the Historic Preservation Ordinance directs the Historic Preservation Commission to be lenient in its judgment of plans for structures in historic districts which are of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

The purpose of categorizing the structures within the Takoma Park Historic District as "Outstanding", "Contributing", and "Non-Contributing/Out-of-Period" is to provide the Historic Preservation Commission with guidance as to the architectural and historical significance of various resources. Structures with the highest degree of importance should receive the most detailed level of design review for HAWPS, structures of little significance should receive the most lenient level of design review for HAWPS, etc.

There are two very general, broad planning and design concepts which apply to all categories. These are:

- ☛ the design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,
- ☛ the importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

☛ Outstanding resources on Takoma Avenue



#### OUTSTANDING RESOURCES—RESIDENTIAL

These resources have the highest level of architectural and/or historical significance. While they will receive the most detailed level of design review, it is permissible to make sympathetic alterations, changes and additions to Outstanding Resources.

As a set of guiding principles for design review of Outstanding Resources, the Historic Preservation Commission will utilize the Secretary of the Interior's "Standards for Rehabilitation".

Specifically, some of the factors to be considered in reviewing HAWPs on Outstanding Resources:

- ✦ plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks, and materials
- ✦ emphasize placement of major additions to the rear of existing structures so that they are less visible from the public right-of-way
- ✦ while additions should be compatible, they are not required to be replicative of earlier architectural styles
- ✦ preservation of original and distinctive architectural features, such as porches, dormers, decorative details, shutters, etc. is encouraged
- ✦ preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged
- ✦ preservation of original building materials and use of appropriate, compatible new materials is encouraged
- ✦ all changes and additions should respect existing environmental settings, landscaping, and patterns of open space

#### CONTRIBUTING RESOURCES—RESIDENTIAL

A majority of structures in the Takoma Park Historic District have been assessed as being "Contributing Resources". While these structures may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. However, they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district).



Contributing resources on Hickory Avenue

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

- ✧ all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required
- ✧ minor alterations to areas that do not directly front on a public right-of-way -such as vents, metal stovepipes, air conditioners, fences, skylights, etc. -should be allowed as a matter of course; alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis
- ✧ major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited
- ✧ while additions should be compatible, they are not required to be replicative of earlier architectural styles
- ✧ second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing
- ✧ original size and shape of window and door openings should be maintained, where feasible
- ✧ some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition
- ✧ alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course
- ✧ all changes and additions should respect existing environmental settings, landscaping, and patterns of open space

■ Out of period resource on Valley View

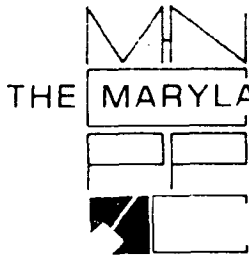


#### NON-CONTRIBUTING/OUT-OF-PERIOD RESOURCES—RESIDENTIAL

Non-Contributing/Out-of-Period Resources are either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district's primary periods of historical importance. These types of resources should receive the most lenient level of design review.

Most alterations and additions to





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring Maryland 20910-3760

## FAX TRANSMITTAL SHEET

Design, Zoning, & Preservation Division  
(301)495-4570 (Telephone)

(301)495-1307 (Fax Number)

TO: Paula Bevenfeld FAX NUMBER: \_\_\_\_\_

FROM: Robin Zek PHONE NUMBER: \_\_\_\_\_

DATE: 7/20/95

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 8

### NOTE:

pp. 12-14 gives overview on Categories

pp 15-16 Discusses Contributing Resources

(pp 10-11 - overview on T.P. history/development)

Call w/ any questions - Robin

1 record. All those in favor, please raise your right hand.  
2 Motion carries unanimously. Thank you for coming.

3 MR. BROYLES: Thank you. I appreciate it.

4 CHAIRMAN BOOTH: We have one minor change on the  
5 agenda at the request of the Applicant, and we are going to  
6 be substituting, or just switching Items D. and E., and  
7 therefore, at this time we would call Item E., the  
8 application of Carol Marks, for renovations at 7336 Carroll  
9 Avenue, Takoma Park, HPC Case Number 37/3-95K, in the  
10 Takoma Park Historic District. Do we have a staff report?

11 STATEMENT

12 MS. ZIEK: Yes. The resource is a 1920 bungalow on  
13 Carroll Avenue. It's a very nice neighborhood. This is a  
14 corner property, and the proposal reflects work that the  
15 owner is currently doing in the kitchen, which is evidently  
16 this corner room at the rear. The owner wishes to install  
17 a new window opening in the rear elevation and will match  
18 the existing windows on the rear, which are small 1/1  
19 windows. And staff feels that the owner is recommending,  
20 in this case a new wood window, 1/1, that would match  
21 the -- as I said, match the existing windows on the rear,  
22 and staff feels that this is a fine proposal and should be  
23 approved.

24 The second part of this is that the other windows in  
25 the kitchen are on the side elevation. It's a pair of 6/1

1 windows that the owner would like to replace with Sash Pac  
2 windows, a new wood window installation for both windows,  
3 which would be 1/1. Talking with the contractor, we've  
4 ascertained that the owner would like to actually replace  
5 all of the windows over time, and staff feels that this  
6 wholesale replacement of original fabric would not be  
7 consistent with the guidelines and recommends denial of  
8 this aspect at this time.

9 I have slides I could show. This is the bungalow,  
10 the blue house on Carroll Avenue. This is the front  
11 elevation, as you can see, 6/1 windows in the front. This  
12 is the rear elevation, from the side street. And the  
13 window would go to the right of the door and would be  
14 essentially the same size as the existing windows. Just a  
15 single window is proposed. This is the side elevation, and  
16 the two windows that appear over the garage are the two  
17 windows in question. They're in the kitchen now. And the  
18 owner -- those are the windows that the owner proposes to  
19 replace the sash. Here's a close-up. Obviously the storm  
20 windows are not in the best condition. And this is just  
21 another view of the house, showing basically the extent of  
22 window replacement that is proposed in the future.

23 If there are any questions, I'll be happy to answer  
24 any.

25 CHAIRMAN BOOTH: Okay. Thanks, Robin. Are there any

1 questions from the Commissioners for staff?

2 (No Response)

3 CHAIRMAN BOOTH: There being none, I would like to  
4 call Carol Marks, the Applicant, and Mr. John Fleming  
5 forward. Good evening. The floor is yours.

6 STATEMENT

7 MS. MARKS: First off, I would like to thank the  
8 staff for agreeing to the window in the back of the house,  
9 the 1/1.

10 Secondly, I would like to disagree with the staff's  
11 finding on the replacement windows. As you can see in the  
12 slide, those windows are in disrepair. They do not  
13 function well. The storm windows need to be repaired or  
14 replaced, and so do the screens. The counter weights that  
15 help operate the windows have broken and fallen inside the  
16 wall, so they don't work either. And due to cost of  
17 repairing those windows versus replacing them -- that was  
18 my original proposal, to replace those windows -- it would  
19 be less costly to replace them.

20 I'm proposing the 1/1 because, as was approved in the  
21 back of the house, those windows are 1/1, and as I manage  
22 to scrape money together and replace the rest of the  
23 windows in the house, I plan to do those with 1/1. But  
24 until I'm able to do that, we are going to use the  
25 grilles -- what are those?

1 MR. FLEMING: Snap-in muntins.

2 MS. MARKS: Snap-in muntins.

3 MR. FLEMING: Right.

4 MS. MARKS: Snap-in grilles to make them appear like  
5 the rest of the house. As I replace windows all on one  
6 side of the house, then those will come out, and they'll  
7 all be 1/1's, which my contractor tells me is historically  
8 correct in every aspect.

9 CHAIRMAN BOOTH: Mr. Fleming?

10 STATEMENT

11 MR. FLEMING: Yeah. The replacement package we're  
12 using is called the Sash Pac, and it's a wood window that  
13 actually allows you to keep the jamb in place and trim on  
14 the exterior in place, and you actually can remove the  
15 existing sash and put the sash pack in where the two sashes  
16 have been removed. So, it's a pretty cost effective  
17 treatment. Of course we want to use double pane windows  
18 and double pane glass, and we want to use something that  
19 has some good weather stripping.

20 The existing windows in that house, like a lot of  
21 these old houses, are in a fairly sorry state of disrepair.  
22 They haven't always had storm sashes on them. A lot of the  
23 wood is pretty well deteriorated. It costs a lot of money,  
24 I've tried to do this before, to go back to that window a  
25 number of times to -- well, usually the top sash is painted

1 in, as this one is. The counter weights have fallen off,  
2 so those have to be repaired. You have to loosen up the  
3 window, scrape the window, or get the paint off that  
4 window, recondition all the glazing because all the glazing  
5 is rotted, the glazing compound, replace the glass in a lot  
6 of cases because a lot of these are cracked windows, and  
7 particularly if you go in and re-glaze them, this old  
8 glass, chances are if you just touch it, it will crack, so  
9 you end up replacing most of it anyway. If it isn't  
10 cracked now, it will be. You paint it, you put it back in  
11 order, and you still end up with a window that is not  
12 energy efficient, and you still have to get a storm window  
13 and a screen for it. It's just not a cost effective  
14 solution to achieve a window that you want to last the next  
15 50, 75 years, whatever the life of that house is going to  
16 be.

17 The Sash Pac becomes really a nice solution for that.  
18 We are looking at the 1/1 because, as Carol said, the back  
19 of the house is already 1/1. We're adding a 1/1. The 1/1  
20 that we're adding is in the kitchen. These two windows  
21 that we're working on are in the kitchen, so that would be  
22 consistent. The owner would like to go with 1/1's, because  
23 that's her preference, and not have the muntin dividers,  
24 eventually for the rest of the house.

25 We're mentioning that it's historically correct,

1 because as I understand it, and correct me if I'm wrong,  
2 I'm not an authority on this, but I believe the smaller  
3 pane glass are more typical of a colonial home when glass  
4 was shipped from England, and it was because the  
5 manufacturing process tended to be smaller. And as you got  
6 into the turn of the century and later, 1/1 or larger panes  
7 of glass become more in style, and vogue, and eventually  
8 more typical. So, we don't really feel like it's  
9 compromising the historicity of the house. Just to mention  
10 that --

11 MS. ZIEK: John, I would like to make some correction  
12 there in the sense that at this period in architecture the  
13 architects had choices. And as you're saying, early on,  
14 perhaps the builders or architects didn't have the choices  
15 for the size of the pane of glass, but at the point we're  
16 talking about, early 20th Century, it was an architectural  
17 design decision to go with 6/1. They certainly had  
18 choices, and the choices that they made were the 6/1.

19 MR. FLEMING: But they could have chosen -- I mean,  
20 my point is, they're not necessarily choosing -- the 1/1  
21 wouldn't have been atypical for that period either.

22 MS. ZIEK: What we would talk about is that the  
23 resource is intact, and a lot of this proposal focuses on  
24 keeping the resource intact.

25 MR. FLEMING: Well, in any case, across the street

1 from this house there's a new house to be built. The  
2 Commission has already approved the construction of that  
3 house. That's a Package, a North American home, which I  
4 don't feel is all that historically accurate in its  
5 appearance, and it is 1/1, has windows that are 1/1 which  
6 the Commission did approve for the neighborhood right  
7 across the street.

8 I think, you know, our basic position is  
9 economically, and I was asked by staff about this, and it  
10 was a good question to ask. If we replace this with true-  
11 divided light, if we wanted to get a true-divided light  
12 window, and we couldn't use the snap-in muntins, and it had  
13 to be -- and we wanted to use a thermal glaze window, and  
14 we wanted that to be energy efficient, that window is about  
15 twice the cost of the cost of the Sash Pac, of a 1/1  
16 window. So, that's putting a lot of economic pressure on  
17 somebody who doesn't particularly want to have the true-  
18 divided lights anyway and already has a portion of the  
19 house in 1/1. So, our feeling was that that was the  
20 correct solution for the job.

21 CHAIRMAN BOOTH: Any Commissioners with any  
22 questions/comments?

23 MR. RANDALL: Yeah, I'll start off with a comment,  
24 which is that window replacement is something that comes up  
25 not infrequently before the Commission, and I think that



1 that is one of those areas where you will find probably a  
2 greater consistency than in many of the other areas that we  
3 deal with that are more complicated. And in my time on the  
4 Commission, there's been a pretty strong stance that if  
5 windows, if it's the original historic fabric to a  
6 structure and if they're repairable, then, in accordance  
7 with the Secretary of Interior's Guidelines, that's where  
8 the Commission has come out. And sure, old windows can be  
9 a pain, and they're probably not as energy efficient, but  
10 they go along with a lot of the other things about an old  
11 house. A lot of us live in old houses, probably with old  
12 windows, and leaks under old doors, and a whole lot of  
13 things. So --

14 MR. FLEMING: Do you need my card?

15 MR. RANDALL: Yeah. And, you know, I understand the  
16 issue, but from this Commissioner's perspective, while I  
17 don't have any problem with the new window installation at  
18 the rear of the structure, I'm not inclined or willing to  
19 depart from what's been a pretty consistent position not  
20 only for me, but from the Commission generally, that if  
21 they're repairable, take a little care with them. You  
22 won't necessarily break the old glass. I've done it, and  
23 I know Commissioner Brenneman has probably done it, and  
24 Commissioner Lanigan has done it with old windows. All of  
25 us have worked on our old houses, or had others, and if the

1 windows do break, then it's not all that expensive to throw  
2 in another pane. And so, I don't see any reason to depart  
3 from what our long-standing precedent has been.

4 MR. BRENNEMAN: I would have to agree with Bert. I  
5 think -- especially on any old windows in the old homes we  
6 do, that the average person that really gets into old homes  
7 and loves old homes, they really want you to protect the  
8 old windows since it's a real novelty to them. They like  
9 the old windows, they like the old glass, especially if it  
10 has the old wavy glass. And I think it adds a lot to a  
11 home. It takes a lot away when you substitute, especially  
12 something with a snap-in muntin.

13 MR. FLEMING: That's a temporary condition, the snap-  
14 in.

15 MR. BRENNEMAN: Pardon?

16 MR. FLEMING: That's a temporary condition, the snap-  
17 in.

18 MS. LANIGAN: I agree with the other Commissioners.  
19 I think one of the major points here is the fact that 6/1  
20 windows are original to the house, and they're an important  
21 and a very visible design feature of the house, and I  
22 wouldn't agree to changing that design feature.

23 MS. MARCUS: Can I just add a point, sort of as a  
24 little history? The Commission has approved 1/1 windows in  
25 completely new construction. There was one point brought

1 up about a new house being built in the community, and the  
2 Commission has, for completely new houses, approved 1/1  
3 construction. To my knowledge, the Commission has never  
4 approved, with a set of intact windows, complete removal of  
5 all the windows and replacement with new 1/1's.

6 In a couple of recent cases, Fertile Meadows, the  
7 Commission required folks who took a very deteriorated  
8 property that had been vacant for probably 5 to 6 years,  
9 was sitting open to the elements, really in bad shape, they  
10 did have to go in and repair the windows rather than  
11 replace. In addition, on the Waters House, which was that  
12 big redevelopment in Germantown, the developer initially  
13 had come in wanting to replace all the windows. When they  
14 costed it out with their contractors, they found out that  
15 repairing the windows ended up being less expensive for  
16 them than buying all new replacement windows that would  
17 match the existing. So, it ended up being something they  
18 actually chose to do with a little direction from the  
19 Commission.

20 But it has been a very, very important element in  
21 many of the discussions about existing houses to maintain  
22 historic fabric, whether it be original windows, original  
23 siding, original porch trim, original roofing materials.  
24 All of those kinds of issues are -- the Commission has  
25 taken a strong position on. New construction has had more

1 latitude, however.

2 CHAIRMAN BOOTH: Thank you, Gwen. I think -- yeah.  
3 It's almost a pun, but I think historically we have treated  
4 new construction a bit more leniently in those terms.

5 MR. RANDALL: I'm prepared to offer a motion, if  
6 nobody wants to engage in a lot more discussion.

7 MR. FLEMING: Can I make a couple other comments?

8 CHAIRMAN BOOTH: Certainly.

9 MR. FLEMING: The -- again, I think Gwen's point is  
10 that in terms of the economics of this, that's probably  
11 true. If you've got a replacement window in kind, a prime  
12 sash with true-divided lights, that would cost as much as  
13 rebuilding the window. These are pretty severely  
14 deteriorated, and I think from a building -- I spent many  
15 years insulating and testing homes for infiltration. I can  
16 tell you that these are very -- they're not cost effective  
17 windows. I mean, that's -- the ruling we're making here is  
18 sort of contrary to the County's own -- where the County is  
19 going with its codes, its building codes.

20 You can not get any significant energy value from a  
21 storm window. A storm window is called a storm window  
22 because it's to protect the sash from storms. It doesn't  
23 create a dead air space. In fact, it has to breathe, or  
24 else it would fog up and you'd get condensation between the  
25 windows, so it has to allow for air movement between the

1 panes, or between the sashes and the storm window.

2 And secondly, it can't be a -- because they can't  
3 create a dead air space, you don't have air infiltration  
4 control. And window glass itself is a great transmitter of  
5 energy, as you can see by the way it transmits light. So,  
6 in a way, I mean, I spent years trying to get windows  
7 tight. And this is going contrary to what the -- where the  
8 direction of building codes are heading.

9 MR. RANDALL: Okay.

10 MR. FLEMING: If it's not an issue today, it will be  
11 later.

12 MR. RANDALL: Well, it would be contrary to the  
13 Secretary of Interior and the Commission's long-standing  
14 precedence to go the other way. I would still offer a  
15 motion that the Historic Area Work Permit, that portion --  
16 actually, I wonder if it would be better to divide it into  
17 two cases. Well, let me just proceed. That an Historic  
18 Area Work Permit be granted for the new window installation  
19 in the rear elevation as proposed in the application, but  
20 that the replacement of the existing historic windows not  
21 be approved.

22 MR. FLEMING: Can we be more specific? Are you  
23 requiring a 6/6, whether it's true-divided -- or 6/1,  
24 whether it's true-divided or single pane with a storm sash?  
25 In some fashion ending up with a 6/1 true-divided?

1 MS. MARCUS: I think what I heard Commissioner  
2 Randall say is no replacement of the existing window, but  
3 repair rather than replacement; is that correct?

4 MR. RANDALL: That's exactly what I said.

5 MR. FLEMING: Okay. What if we were to replace the  
6 sash with a 6/1?

7 MR. RANDALL: No. I am proceeding with my motion as  
8 described, based on the historic fabric of that structure.

9 MS. LANIGAN: Second.

10 CHAIRMAN BOOTH: There is a motion and a second for  
11 the Commission. Is there any discussion?

12 MR. CLEMMER: Could you repeat the motion one more  
13 time?

14 MR. RANDALL: Right. The motion is to approve the  
15 new window installation at the rear of the structure as  
16 proposed in the application and to deny the replacement of  
17 the existing historic windows in the structure.

18 MR. FLEMING: Are we allowed to speak to this motion?

19 CHAIRMAN BOOTH: No. At this point it's Commission  
20 discussion.

21 MR. FLEMING: Thank you.

22 CHAIRMAN BOOTH: Any further comments, discussion?

23 (No Response)

24 CHAIRMAN BOOTH: There being none, Mr. Fleming you  
25 had something you'd like to say? I'll give you as much due

1 process as we're allowed to give you.

2 MR. FLEMING: Appreciate it. Yeah. I'm saying that  
3 those windows are in a severe state of disrepair. I'm  
4 not -- you know, that I know. I'm suggesting that if what  
5 the Commission is intending to do is get an authentic 6/1,  
6 it's still more cost effective, I think, to get an  
7 authentic 6/1, with true-divided lights, double pane glass,  
8 than it is to repair that, and rebuild a window, and end up  
9 with a product that is substandard. So, I'm saying if  
10 that's the -- if your intent is to maintain authenticity of  
11 a 6/1, it's more cost effective for the client to do that  
12 with a replacement sash than it is to try to rebuild a  
13 window and end up with a product that, one, doesn't look as  
14 good, and surely doesn't perform as well from an energy  
15 standpoint. And the alternative I'm offering is still  
16 authentic, authentic 6/1 with double pane glass.

17 MR. RANDALL: In that it was my motion, let me  
18 respond to it, if I can, and then if we can proceed to a  
19 vote up or down. That was -- I heard you before. I  
20 understood you before. I made the motion again, as I made  
21 it to begin with, because I believe if you have a  
22 repairable portion of the historic fabric of a structure,  
23 as Gwen Marcus pointed out too, it has been a consistent  
24 HPC theme that that particular historic fabric be saved and  
25 be repaired.

1           MR. BRENNEMAN: And I would like to add that I think  
2 staff says they feel the windows can be repaired.

3           MR. RANDALL: That's correct.

4           MS. MARCUS: I think one thing that you may want to  
5 consider is, if a full survey of all the windows on all the  
6 building is done and perhaps one window has had so much  
7 water infiltration that there is rotted wood, and it's a  
8 matter of replacing one window that ends up being  
9 irreparable with a matching or identical window, I think  
10 that's a different situation. I think what we're talking  
11 about here are windows that generally are repairable,  
12 although may not -- they aren't totally rotted out, is what  
13 I'm hearing. It's more an issue that the weights have  
14 dropped, the glazing is falling out, the windows are  
15 cracked, that kind of issue more than there is wholesale,  
16 rotten wood. And certainly if you came back and there is  
17 one or two windows that had -- and staff can go out and  
18 look at them -- that have wholesale wood rot, I think you  
19 could come back and talk about perhaps replacing that with  
20 a matching window. But that's not the situation before us  
21 today. I just wanted to clarify that.

22           CHAIRMAN BOOTH: Yeah. I just would like to add  
23 that, in regards to what Gwen had just mentioned, we have,  
24 upon very rare occasions, entertained a reconsideration  
25 when someone has come back in with additional information



1 that is not before us. But I'll tell you, it is only on  
2 very rare instances that I've ever seen that happen. But  
3 that is always a possibility. That being said, is there  
4 any further discussion?

5 (No Response)

6 CHAIRMAN BOOTH: There being none, close the public  
7 record. There is a motion on the floor that has been  
8 seconded. All those in favor of the motion, please raise  
9 your right hand.

10 (Vote Taken)

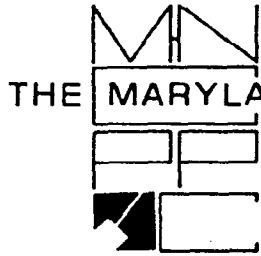
11 CHAIRMAN BOOTH: Five in favor. All those opposed?  
12 Abstaining? One abstention. Motion carries.

13 MS. MARCUS: We will put something in writing to the  
14 Applicant, and certainly all decisions of the Commission  
15 are appealable to the Board of Appeals within 30 days after  
16 you receive a written decision.

17 CHAIRMAN BOOTH: And I believe, Mr. Fleming, you're  
18 aware of that process.

19 MR. FLEMING: Yes.

20 CHAIRMAN BOOTH: Okay. I would then call Agenda Item  
21 D., the application of Mr. John Fleming for revisions to  
22 new construction plans at 3806 Washington Street,  
23 Kensington, HPC Case Number 31/6-93Q, a Revision, in the  
24 Kensington Historic District. We have a staff report. I  
25 don't think we need to see slides, but I would like to hear



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

## FAX TRANSMITTAL SHEET

Design, Zoning, and Preservation Division  
(301) 495-4570 (Telephone)

(301) 495-1307 (Fax Number)

TO: Carol Marks FAX NUMBER: 202-786-7400

FROM: Robin Zerk PHONE NUMBER: \_\_\_\_\_

DATE: 4-14-95

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 2

### NOTE:

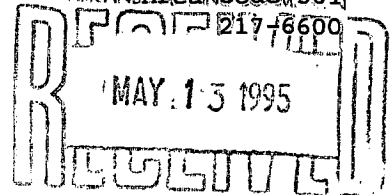
Call me at any questions  
fland copy coming in the mail -  
(Sec. of Int. Standards)

- approve with either 1/1 or the divided light 6/1

BOARD OF APPEALS  
for  
MONTGOMERY COUNTY

Stella B. Werner Council Office Building  
100 Maryland Avenue  
Rockville, Maryland 20850

NEIGHBORHOOD TELEPHONES  
THE MARYLAND NATIONAL CAPITAL  
PARK AND AREA IN CODE 301



Case No. A-4325

APPEAL OF CAROL L. MARKS

Notice is hereby given that a public hearing will be held by the Board of Appeals for Montgomery County, Maryland, in the Stella B. Werner Council Office Building, 100 Maryland Avenue, Rockville, Maryland, in the Second Floor Davidson Memorial Hearing Room, on the 26th day of July, 1995, at 1:30 p.m., or as soon thereafter as this matter can be heard, on the application filed pursuant to Section 2-112 of the Montgomery County Code.

The appellant charges administrative error on the part of the Historic Preservation Commission (HPC) in its decision dated April 17, 1995, in which HPC partially granted and partially denied an Historic Area Work Permit application, contending that Section 24A-8(a)-(d) of the Montgomery County Code was misinterpreted. In accordance with Chapter 2A, Administrative Procedures Act, a copy of the "charging document" (appeal) is attached to this notice.

The subject property is Lot 1, Block 5, B. F. Gilbert's Addition to Takoma Park Subdivision, located at 7336 Carroll Avenue, Takoma Park, Maryland in an R-60 Zone.

Notices forwarded this 12th day of May, 1995, to:

Carol L. Marks  
County Attorney  
Alan M. Wright, Senior Assistant County Attorney  
Director, Department of Environmental Protection  
Walter Booth, Chairperson, Historic Preservation Commission  
Gwen Marcus, Historic Preservation Coordinator, Historic  
Preservation Commission  
Members, Board of Appeals  
Contiguous and confronting property owners  
City of Takoma Park

County Board of Appeals

By Tedi S. Osias

Tedi S. Osias  
Executive Secretary to the Board

**APPEAL CHARGING ERROR  
IN ADMINISTRATIVE RULING OR ACTION**  
Please note instructions on reverse side.  
Attach additional sheets if required for answers.

Appeal is hereby made pursuant to Section 2-112 of the Montgomery County Code 1984, as amended, from the decision or other action of an official or agency of Montgomery County specified below which Appellant contends was erroneous.

Official or agency from whose ruling or action this appeal is made Historic Preservation Commission of Montgomery Co.

Brief description of ruling or action from which this appeal is made (attach duplicate copy of ruling or document indicating such action): Approval of 1/1 or 6/1 True divided light windows on rear of house (new installation). Denied Replacement of original windows on side of house, in the same room, with instructions to Refurbish but not Replace.

Date of that ruling or action: hearing date 4/12/95, Memorandum date 4/17/95.

Brief description of what, in appellant's view, the ruling or action should have been: approve new window and replacement windows that maintain the look of the original windows, 6/1, w/energy efficient and cost efficient TRUE divided light simulations, keeping wood frame.

Number of section, and subsection if any, of the Montgomery County Code 1984, as amended, or citation or other statutory provision, which appellant contends was misinterpreted: 24A-8 a-d

Specifically 24A-8, b 1-3, c (repairs), Takoma Park Amendment pgs 14-16, Contributing Resource.

Error of fact, if any, involved in the ruling or action from which this appeal is made: as stated in

the Takoma Park Historic District guidelines: 'This house is a contributing resource' which should be viewed more

Error of law, if any, involved in the ruling or action from which this appeal is made: leniently. Pages 14-16

The HPC applied guidelines for "Significant Resource" instead of "Contributing Resource"

Question(s) of fact, if any, presented to the Board by this appeal: Does the proposed replacement

windows and new window using 1/1 wood sashes with simulated wood muttons effect contributing resource guidelines

Question(s) of law, if any, presented to the Board by this appeal: \_\_\_\_\_

Description of real property, if any, involved in this appeal: Lot 1, Block Section 5  
Parcel \_\_\_\_\_, Subdivision General S.S. Carroll's addition Street and Number 7336 CARROLL AVE  
Town TAKOMA PARK, Zone \_\_\_\_\_

Appellant's present legal interest in above property, if any:  Owner (including joint ownership). \_\_\_\_\_ Lessee. \_\_\_\_\_ Contract to lease or rent. \_\_\_\_\_ Contract to purchase. \_\_\_\_\_ Other (describe) \_\_\_\_\_

Statement of appellant's interest, i.e., manner in which appellant is aggrieved by the ruling or action complained of (as property owner or otherwise): The side windows are in very poor condition & would take considerable time & money to refurbish. The additional cost of TRUE divided light 6/1 (so it will match the side windows) in the rear of the house is exorbitant. I respect the architectural style of the house and neighborhood and want to abide by that style. The house is a 'Contributing Resource' not an 'Outstanding Resource'. The Commission did not differentiate between the two.

I hereby affirm that all of the statements and information contained in or filed with this appeal are true and correct.

Signature of Attorney \_\_\_\_\_

Carol L. Marks  
Signature of Appellant(s)

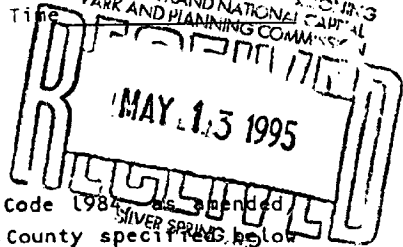
Address of Attorney \_\_\_\_\_

7336 CARROLL AVE  
Address of Appellant(s)  
TAKOMA PARK, MD 20912

Telephone Number \_\_\_\_\_

301-270-3047  
Telephone Number

**APPEAL CHARGING ERROR  
IN ADMINISTRATIVE RULING OR ACTION**  
Please note instructions on reverse side.  
Attach additional sheets if required for answers.



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Specifically 24A-8, b. 1-3, C. (Repairs), Takoma Park amendment pgs 14-16, Contributing Resource.

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Town TAKOMA PARK, Zone \_\_\_\_\_

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 Lessee \_\_\_\_\_  Contract to lease or rent \_\_\_\_\_  Contract to purchase \_\_\_\_\_  Other (describe) \_\_\_\_\_

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\_\_\_\_\_  
Signature of Attorney

Carol L. Marks  
Signature of Appellant(s)

\_\_\_\_\_  
Address of Attorney

7336 CARROLL AVE  
Address of Appellant(s)  
TAKOMA PARK, MD 20912

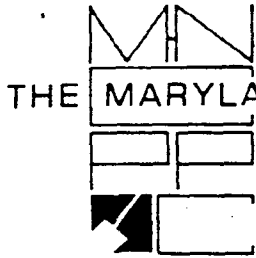
\_\_\_\_\_  
Telephone Number

301-270-3047  
Telephone Number

BOARD OF APPEALS FOR MONTGOMERY COUNTY, MARYLAND

LIST OF ADJOINING AND CONFRONTING PROPERTY OWNERS  
(Please see information on reverse side)

NAME	ADDRESS (Please add Zip Code)	LOT	BLOCK
John & Susanne Fleming	7334 Carroll Ave TAKOMA PARK, MD 20912 Home: 6907 Westmoreland Ave Takoma Park, MD 20912		(across Lee)
A Douglas Criscitello	7338 Carroll Ave 20912 Takoma Park, MD		Same (next to)
Nancy J. Ricks	5 Lee Ave Takoma Park, MD 20912		Same (behind)
Helen K. Wanning	7327 Carroll Ave Takoma Park, MD 20912		(across Carroll)



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: April 17, 1995

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus<sup>202</sup>, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of  
Application/ Release of Other Required Permits

---

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: April 17, 1995

**MEMORANDUM**

**TO:** Robert Hubbard, Chief  
Division of Development Services and Regulation  
Department of Environmental Protection (DEP)

**FROM:** Gwen Marcus, <sup>PDP</sup> Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

**SUBJECT:** Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

\_\_\_\_\_ Approved \_\_\_\_\_ Denied

X Approved with conditions: (1) Owner may install a new window on the rear elevation; to be either 1/1 or 6/1 true-divided light wood window.

(2) Owner is denied approval of proposal to remove existing windows on the side elevation. [See attached "Decision and Opinion of the Commission."]

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: Carol Marks

Address: 7336 Carroll Avenue, Takoma Park 20912

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



HISTORIC PRESERVATION COMMISSION

of

MONTGOMERY COUNTY

8787 Georgia Avenue  
Silver Spring, Maryland 20910

301-495-4570

Case no.: 37/3-95K

Received: March 22, 1995

Public Appearance: April 12, 1995

Before the Montgomery County Historic Preservation Commission

Application of Carol Marks  
7336 Carroll Avenue, Takoma Park

DECISION AND OPINION OF THE COMMISSION

Decision of the Commission: APPROVE the applicant's proposal to install a new window on rear elevation; DENY the applicant's proposal to replace original windows on side elevation and throughout the rest of the house.

Commission Motion: At the April 12, 1995, meeting of the Historic Preservation Commission, Commissioner Randall presented a motion to approve the installation of a new window on the rear elevation, but to deny the replacement of original windows on the side elevation and throughout the rest of the house at 7336 Carroll Avenue. Commissioner Lanigan seconded the motion. Commissioners Brenneman, Clemmer, Lanigan, Randall, and Trumble voted in favor of the motion. Commissioner Booth abstained. The motion was passed 5-0, with one abstention. Commissioners Bienenfeld and Kousoulas were absent.

SUMMARY OF APPLICATION AND BACKGROUND OF 7336 CARROLL AVENUE

The following terms are defined in Section 24A-2 of the Montgomery County Code:

Exterior features: The architectural style, design and general arrangement of the exterior of an historic resource, including the color, nature and texture of building materials, and the type or style of all windows, doors,

light fixtures, signs or other similar items found on or related to the exterior of an historic resource.

Historic District: A group of historic resources which are significant as a cohesive unit and contribute to the historical, architectural, archeological or cultural values within the Maryland-Washington Regional District and which has been so designated in the master plan for historic preservation.

On March 22, 1995, Carol Marks (applicant) applied for a Historic Area Work Permit (HAWP) to install a new window on the rear elevation and to replace two original windows on the side elevation of the house at 7336 Carroll Avenue. The applicant's stated intention was to eventually replace all the original windows throughout the rest of the house. The house is a Craftsman-style bungalow, which was designated as a contributing resource in the Takoma Park Historic District.

A statement of historic and architectural significance of the Takoma Park Historic District, as incorporated in the Master Plan amendment adopted August 1, 1992, is as follows:

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was one of the earliest railroad suburbs of Washington - second after Linden was established in 1873. The community was given new lifeblood in the early-20th century with the opening of streetcar lines, which led to the development of new subdivisions in Takoma Park.

Before 1883, the area that became Takoma Park was used for farming and vacation homes for Washingtonians. A few houses from this period still exist...In 1883, Benjamin Franklin Gilbert, a Washington real estate promoter, purchased a 90-acre farm for the establishment of Takoma Park. Gilbert promoted the healthy quality of Takoma Park's natural environment -- fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. These natural features continue to define and enhance the community today...

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement which emphasized the inherent nature of the building materials and structural elements for ornamentation. Similarly, they reflect a social trend towards a more informal, unpreten-

tious style of living. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established - detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Park, Philadelphia, Sycamore, Westmoreland, and Willow Avenues.

#### EVIDENCE IN THE RECORD

Copies of the applicant's Historic Area Work Permit application and a written report from the Historic Preservation Commission staff were distributed to Commissioners on April 5, 1995.

HPC staffperson Robin Ziek presented 35mm slides of the property and described the nature of the application. 7336 Carroll Avenue is on a corner lot and, therefore, three elevations are visible from the public right-of-way. The applicant proposed to add a new one-over-one window on the rear elevation of the house and to replace two of the existing, original six-over-one, true-divided light windows. The replacement windows would be one-over-one, double-pane windows with snap-in muntins on the upper pane. The applicant stated that it was her intention to eventually replace all of the windows in the house.

The staff recommended that the installation of the new window on the rear elevation was consistent with the Historic Preservation Ordinance and the Takoma Park Historic Preservation Review Guidelines. However, staff recommended denial of the replacement of original windows. Staff specifically cited a section of the Takoma Park Guidelines for Contributing Resources:

Preservation of original building materials and use of appropriate, compatible new materials is encouraged.

John Fleming, the applicant's contractor, stated that the existing windows in the house were deteriorated and were not airtight. They would need to be extensively repaired and existing storm windows would need to be repaired to make the house energy efficient. The applicant, Carol Marks, restated her desire to eventually replace all the original windows in the house, as her budget allowed.

Mr. Fleming stated that it would be less expensive to replace the original windows than to repair them. He also stated that it was his opinion that, even after the windows were repaired, they would not be as energy efficient as new windows.

Commissioner Randall stated that the replacement of original windows is not something that the Historic Preservation Commis-

sion has ever encouraged and that repair is much better. He acknowledged that old houses are not as airtight as new ones, but that was the nature of historic properties.

Commissioners Brenneman and Lanigan agreed with Commissioner Randall and cited examples of other cases when the Commission had required repair of original windows rather than replacement. They stated that the Commission has not generally approved the use of snap-in muntins, even in the case of entirely new construction projects.

Gwen Marcus, Historic Preservation Coordinator, reminded the Commission of two recent cases where the Commission had required repair rather than replacement of original windows: Fertile Meadows and the Waters House in Germantown. She stated that the developers who were renovating the Waters House had actually found repair to be more economical than replacement.

Commissioner Randall reiterated that the Commission is very concerned about the replacement of original building fabric and that windows are a very important original feature of a historic building.

Ms. Marcus noted that the Commission has approved some window replacement, on a case-by-case basis, where original windows were so damaged and rotted that they could not be repaired. However, total windows replacement without careful evaluation of each window was not recommended.

#### CRITERIA FOR APPROVAL AND FINDINGS OF THE COMMISSION

The criteria which the Commission must evaluate in determining whether to deny a Historic Area Work Permit application are found in Section 24a-8(a) of the Montgomery County Code, 1984, as amended.

Section 24a-8(a) provides that:

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate or inconsistent with, or detrimental to the preservation, enhancement or ultimate protection of the historic site, or historic resource within an historic district, and to the purposes of this chapter.

In analyzing whether the criteria for issuance of a Historic Area Work Permit have been met, the Commission also evaluates the evidence in the record in light of generally accepted principles of historic preservation, including the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabil-

itating Historic Buildings, adopted by the Commission on February 5, 1987. In particular, Standard #2 and Standard #6 are applicable in this case:

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities, and where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Additionally, specific historic preservation review guidelines were included in the Approved and Adopted Amendment to the Master Plan for Historic Preservation which created the Takoma Park Historic District. The purpose of these guidelines is to "...provide the Historic Preservation Commission and other applicable agencies...with guidance regarding the intent of the historic designation. In addition, the purpose of these guidelines is to provide the Historic Preservation Commission with specific direction in reviewing applications for Historic Area Work Permits (HAWPs)..."

The Takoma Park guidelines for contributing residential resources within the historic district state:

Preservation of original building materials and use of appropriate, compatible new materials is encouraged.

Based on this, the Commission finds that:

1. As proposed in the HAWP application, the replacement of original windows with one-over-one, double pane windows using snap-in muntins is not consistent with the preservation and enhancement of the architectural and historic character of this contributing resource, a Craftsman-style Bungalow, located in the Takoma Park Historic District.
2. Approval of the proposed Historic Area Work Permit application would substantially change the appearance of the historic structure and would cause the loss of the historic integrity in terms of exterior architectural features. Specifically, the proposed replacement windows would look substantially different from and have a different character than the original windows.

3. No evidence was presented which demonstrated that the existing windows at 7336 Carroll Avenue were in such an extreme state of deterioration that they are beyond reasonable repair.

#### CONCLUSION

The Commission was guided in its decision by Chapter 24A of the Montgomery County Code, by the Secretary of the Interior's Standards for Rehabilitation, and by the design guidelines for contributing structures found in the Approved and Adopted Amendment to the Master Plan for Historic Preservation which designated the Takoma Park Historic District.

Having heard and carefully considered all of the testimony and exhibits contained in the record, and based on this evidence and on the Commission's findings, as required by Section 24A-8(a) of the Montgomery County Code, 1984, as amended, it is the decision of the Montgomery County Historic Preservation Commission that the application of Carol Marks to replace original windows on the side elevation and throughout the rest of the house at 7336 Carroll Avenue in the Takoma Park Historic District be DENIED.

If any party is aggrieved by the decision of the Commission, pursuant to Section 24A-7(h) of the Montgomery County Code, an appeal may be filed within thirty (30) days with the Board of Appeals, which will review the Commission's decision de novo. The Board of Appeals has full and exclusive authority to hear and decide all appeals taken from decisions of the Commission. The Board of Appeals has the authority to affirm, modify, or reverse the order or decision of the Commission.



\_\_\_\_\_  
Walter Booth, Chairperson  
Montgomery County Historic  
Preservation Commission

April 17, 1995  
Date



RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

**Historic Preservation Commission**

(301) 495-4570

**APPLICATION FOR HISTORIC AREA WORK PERMIT**

CONTACT PERSON Jean Fleming  
 DAYTIME TELEPHONE NO. (301) 891-2880  
 TAX ACCOUNT # 7057490  
 NAME OF PROPERTY OWNER Carol Miller DAYTIME TELEPHONE NO. (301) 891-2880  
 ADDRESS 7336 Carroll Ave, Takoma Park MD CITY STATE ZIP CODE  
 CONTRACTOR Constructive Alternatives TELEPHONE NO. (301) 891-2880  
 CONTRACTOR REGISTRATION NUMBER 2236  
 AGENT FOR OWNER Jean Fleming DAYTIME TELEPHONE NO. (301) 891-2880

**LOCATION OF BUILDING/PREMISE**

HOUSE NUMBER 7336 STREET Carroll Ave  
 TOWN/CITY Takoma Park NEAREST CROSS STREET Lee Ave  
 LOT 1 BLOCK 5 SUBDIVISION B.F. Gilbert's Addition to Takoma Park  
 LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition  
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove  
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other ADD Windows  
 1B. CONSTRUCTION COST ESTIMATE \$ 400.00  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # No

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY 01 () WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Signature of owner or authorized agent \_\_\_\_\_ Date 3/21/95

APPROVED W/conditions X For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date 4/17/95

APPLICATION/PERMIT NO: 9503200100 DATE FILED: \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*The property is a frame bungalow circa 1930, originally  
sited in assessed streets. An existing porch has apparently  
been closed in some years ago and the new siding, corner brackets,  
were blended to match.*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*The proposed plan is to simply add a <sup>REAL</sup> window to the  
enclosed porch. The window in the new space will match  
the size, shape and restoration patterns of the existing house  
windows.*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.



BEFORE THE COUNTY BOARD OF APPEALS  
FOR MONTGOMERY COUNTY

APPEAL OF

\*

\* Case No. A-4325

CAROL L. MARKS

\*

**PRE-HEARING SUBMISSION**

Montgomery County, Maryland, submits the following information pursuant to the Administrative Procedures Act, Section 2A-7(a), Montgomery County Code 1984, as amended, in the proceeding before the Board of Appeals scheduled for July 26, 1995, at 1:30 p.m.

**A. DESCRIPTION OF CASE**

On April 17, 1995 the Historic Preservation Commission issued a decision granting in part and denying in part the Historic Area Work Permit application of Carol L. Marks, Appellant. Appellant has appealed the partial denial of her Historic Area Work Permit application.

**B. SUPPORTING DOCUMENTS**

1. Chapter 24A of the Montgomery County Code (1994), as amended.
2. Amendment to the Master Plan for Historic Preservation designating the Takoma Park Historic District - August 1992.
3. March 5, 1987 minutes of the Historic Preservation Commission (HPC) - adoption of the Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.
4. Title 36 Code of Federal Regulations §67.7 (1992) "Standards for Rehabilitation."

5. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1979; revised 1992).
6. Preservation Brief Number 9: The Repair of Historic Wooden Windows, published by the Department of the Interior (1981).
7. Preservation Brief Number 3: Conserving Energy in Historic Buildings, published by the Department of the Interior (1978).
8. Appellant's application for Historic Area Work Permit and supporting documentation.
9. HPC Staff Report, dated April 5, 1995.
10. HPC minutes from the April 12, 1995 meeting.
11. Decision of the Historic Preservation Commission, dated April 17, 1995.
12. Correspondence from HPC to Robert Hubbard at the Department of Environmental Protection, dated April 17, 1995, regarding Historic Area Work Permit action.
13. Correspondence from HPC to Historic Area Work Permit Applicants, dated April 17, 1995, regarding Historic Area Work Permit Application.
14. Original slides of the subject property.<sup>1</sup>

C. WITNESSES

Gwen Marcus  
Historic Preservation Coordinator  
Maryland-National Capital Park and Planning Commission  
8787 Georgia avenue  
Silver Spring, Maryland 20910-3760

Ms. Marcus is expected to testify concerning the August 1992 Amendment to the Master Plan for Historic Preservation, designating the Takoma Park Historic District and the

---

<sup>1</sup>The original slides have been retained and may be viewed prior to the hearing on request.

contributing resources, including the subject property. She is also expected to testify as to the review of the application for a Historic Area Work Permit filed by Appellant and applicable standards for rehabilitation of historic buildings and original wooden windows.

Robin Ziek  
Historic Preservation Planner  
Maryland-National Capital Park and Planning Commission  
8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Ms. Ziek is expected to testify as to the review of the application for a Historic Area Work Permit filed by Appellant, applicable standards for rehabilitation of historic buildings, and slides of the subject property.

George Kousoulas, Commissioner  
Historic Preservation Commission of Montgomery County  
8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Mr. Kousaoulas is expected to testify as to the standards and method of review applied to the application for the Historic Area Work Permit filed by appellant, the HPC's reasons for denial of the application, and the historical significance of original wood windows.

Stephen Orlando  
3711 Cumberland Street, N.W.  
Washington, D.C. 20016

Mr. Orlando is expected to testify regarding the historical significance of original wood windows, the rehabilitation, repair and maintenance of such original wood windows, and energy efficiency matters of historic buildings.

JoEllen Freese  
Office of Preservation Services  
Maryland Historical Trust  
100 Community Place

Crownsville, Maryland 21032

Ms. Freese is expected to testify regarding the historical significance of original wood windows, the rehabilitation, repair and maintenance of such original wood windows, and energy efficiency matters of historic buildings.

D. REQUEST SUMMONS AND SUBPOENAS


None.

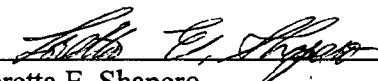
E. ESTIMATE OF TIME

The County estimates that its portion of the case will take approximately one (1) hour.

Respectfully submitted,

CHARLES W. THOMPSON, JR.  
COUNTY ATTORNEY

  
\_\_\_\_\_  
Alan M. Wright  
Senior Assistant County Attorney

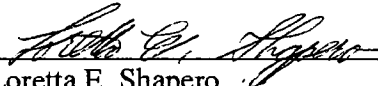
  
\_\_\_\_\_  
Loretta E. Shapero  
Assistant County Attorney

101 Monroe Street, Third Floor  
Rockville, Maryland 20850  
(301) 217-2600

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that, on this 3<sup>rd</sup> day of July, 1995, a copy of the foregoing  
Pre-Hearing Submission was mailed postage prepaid, first class, to:

Carol L. Marks  
7336 Carroll Avenue  
Takoma Park, Maryland 20912

  
\_\_\_\_\_  
Loretta E. Shapero  
Assistant County Attorney



RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

**Historic Preservation Commission**  
 (301) 495-4570

**APPLICATION FOR  
 HISTORIC AREA WORK PERMIT**

TAX ACCOUNT # 1057450  
 CONTACT PERSON John Fleming  
 DAYTIME TELEPHONE NO. (301) 891-2880  
 NAME OF PROPERTY OWNER Carol Marks <sup>290-3047</sup>  
 DAYTIME TELEPHONE NO. (301) 891-2880  
 ADDRESS 7336 Carroll Ave, Takoma Park MD 20910  
CITY STATE ZIP CODE  
 CONTRACTOR Constructive Alternatives TELEPHONE NO. (301) 891-2880  
 CONTRACTOR REGISTRATION NUMBER 2236  
 AGENT FOR OWNER John Fleming DAYTIME TELEPHONE NO. (301) 891-2880

**LOCATION OF BUILDING/PREMISE**

HOUSE NUMBER 7336 STREET Carroll Ave  
 TOWN/CITY Takoma Park NEAREST CROSS STREET Lee Ave  
 LOT 1 BLOCK 5 SUBDIVISION B.F. Cilhearts Assoc. Inc. to Takoma Park  
 LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition  
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove  
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other ADD Windows  
 1B. CONSTRUCTION COST ESTIMATE \$ 400.00  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # No

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 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

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Signature of owner or authorized agent \_\_\_\_\_ Date 3/21/95

APPROVED w/conditions  For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date 4/17/95

APPLICATION/PERMIT NO: 9503220100 DATE FILED: \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*This property is a former bungalow circa 1930, originally  
sited on narrow streets. An existing porch has apparently  
been closed in some years ago and the new siding, corner brackets  
were blended to match.*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*The proposed plan is to simply add a <sup>REAR</sup> window to the  
enclosed porch. The window in the new space will match  
the size, shape and construction pattern of the existing front  
windows.*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

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Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7336 Carroll Avenue

Meeting Date: 4/12/95

Resource: Takoma Park Historic District

Review: HAWP

Case Number: 37/3-95K

Tax Credit: No

Public Notice: 3/29/95

Report Date: 4/5/95

Applicant: Carol Marks

Staff: Robin D. Ziek

**PROPOSAL:** New window installation  
Sash replacement in existing  
windows

**RECOMMEND:** APPROVAL IN  
PART/ DENIAL OF SASH  
REPLACEMENT

---

BACKGROUND

RESOURCE: Takoma Park Historic District

STYLE: Bungalow

DATE: 1920s

SIGNIFICANCE: Contributing Resource

PROJECT DESCRIPTION: Install new window opening in rear elevation; replace deteriorated window sash in windows on side elevation.

STAFF DISCUSSION

Owner proposes to install a new window on the rear elevation, which will match the existing rear windows. The proposed new window will be wood, double hung, 1/1 light, with thermal glazing. The existing rear windows are 1/1.

The Owner would also like to replace, over time, all of the existing double hung windows. The original windows are 6/1 light of varying sizes. Due to cost restraints, the Owner proposes to replace only the sashes on the windows in the kitchen, because she is presently renovating this room. As more funds become available, the Owner proposes to replace each original window, perhaps one at a time. All of the new windows are proposed to be wood, 1/1, with thermal glazing, and installed within the existing window frame. The information provided by Marvin windows indicates that the original window sashes would be removed, the parting bead would be removed, and a new track would be installed on the jamb into which the new window sashes would slide. The original opening will remain the same. The new sashes would be wood, although the jamb liner or track is vinyl.





The Owner's contractor, John Fleming, has provided the following notes to provide more detailed information on the project: "Please find attached the revised sketches for the Marks Residence. The rear kitchen window (30-1/2" x 37-1/2") is a wood window, 1-over-1 to match the two existing rear twin windows. Casing will match the existing. The side replacement sashes are also 1-over-1 to match the new prime windows which is the owner's intent, over time, in replacing the balance of her windows. Grilles will be installed temporarily to match the existing." (see FAX attached)

### GENERAL STAFF COMMENTS

The subject property is on a corner lot, and therefore three elevations are visible from the public right-of-way. Staff recommends approval of the new window opening on the rear elevation, as this window will match the existing.

The second proposal, to replace all of the windows in the house with new 1/1 light sash installations is not recommended for approval. While the existing windows apparently need a lot of work, such as new putty, perhaps reglazing if any windows are broken, and new storm windows, the Owner has not demonstrated that the wood has deteriorated to the point where wholesale replacement is required. In addition, should the HPC agree to sash replacement, the Owner is not proposing to match the existing windows in design. Instead of the 6/1 window design, the Owner proposes 1/1 with snap-in grills.

Replacement of deteriorated window sash is problematic if the sash can be restored. Retention of original fabric is a goal of the HPC, and wholesale replacement of old sash is not automatically approvable. When window sashes are severely deteriorated, the HPC has approved replacement in kind only. In this case, the Owner proposes something different, which would not maintain the original design of the house. In addition, the HPC has consistently disapproved the use of snap-in muntin, even in entirely new construction projects.

The proposal for the new window opening on the rear elevation does meet the Takoma Park Guidelines for Contributing Resources that state:

all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required;

The proposal for sash replacement of original window sashes does not meet the Takoma Park Guidelines for Contributing Resources that state:

preservation of original building materials and use of appropriate, compatible new materials is encouraged.

### STAFF RECOMMENDATION

Staff recommends that the Commission approve of the installation of the new window on the rear elevation, and find that proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standard 10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**Staff recommends that the Commission deny approval of the installation of the new window sashes on the side elevation, as proposed, consistent with the purposes of Chapter 24A-8(a):**

The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate or inconsistent with, or detrimental to the preservation, enhancement or ultimate protection of the historic site, or historic resource within an historic district, and to the purposes of this chapter.

Should the Owner provide information detailing the deteriorated condition of the original windows, and propose replacement **in kind with true-divided light window units**, the Commission could find that new proposal consistent with the purposes of Chapter 24A-8.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON John Fleming  
 DAYTIME TELEPHONE NO. (301) 891-2880  
 TAX ACCOUNT # 1057490  
 NAME OF PROPERTY OWNER Carol Marks DAYTIME TELEPHONE NO. (301) 891-2880  
 ADDRESS 7336 Carroll Ave, Takoma Park MD 20912  
CITY STATE ZIP CODE  
 CONTRACTOR Constructive Alternatives TELEPHONE NO. (301) 891-2880  
 CONTRACTOR REGISTRATION NUMBER 2236  
 AGENT FOR OWNER John Fleming DAYTIME TELEPHONE NO. (301) 891-2880

LOCATION OF BUILDING/PREMISE  
 HOUSE NUMBER 7336 STREET Carroll Ave  
 TOWN/CITY Takoma Park NEAREST CROSS STREET Lee Ave  
 LOT 1 BLOCK 5 SUBDIVISION B.F. Gilberts Addition to Takoma Park  
 LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: Construct Extend Alter/Renovate Repair Move Wreck/Raze Install Revocable Revision  
 CIRCLE ALL APPLICABLE: A/C Slab Room Addition Porch Deck Fireplace Shed Solar Woodburning Stove Fence/Wall (complete Section 4) Single Family Other ADD Windows  
 1B. CONSTRUCTION COST ESTIMATE \$ 400.00  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # No

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01  WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY 01  WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

[Signature] Signature of owner or authorized agent 3/21/95 Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

**4**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*The property is a frameo bungalow circa 1930, originally  
was in asbestos shingles. An existing porch has apparently  
been closed in some years ago and the new siding, corner brackets  
were blended to match.*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*The proposed plan is to simply add a REAL window to the  
enclosed porch. The window in the new space will match  
the size, shape and restoration patterns of the existing house  
windows.*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

(4)

# J.B. Fleming Co.

BUILDERS AND DEVELOPERS

## FACSIMILE TRANSMITTAL SHEET

Date: 9-5-95 Number of Pages (including this one): 3

To: HPC

Attn: ROBIN ZIEK

From: JOHN FLEMING

Re: MARK'S RESIDENCE - 7336 CARROLL AVE.

Notes: PLEASE FIND ATTACHED THE REVISED

SKETCHES FOR THE MARK'S RESIDENCE

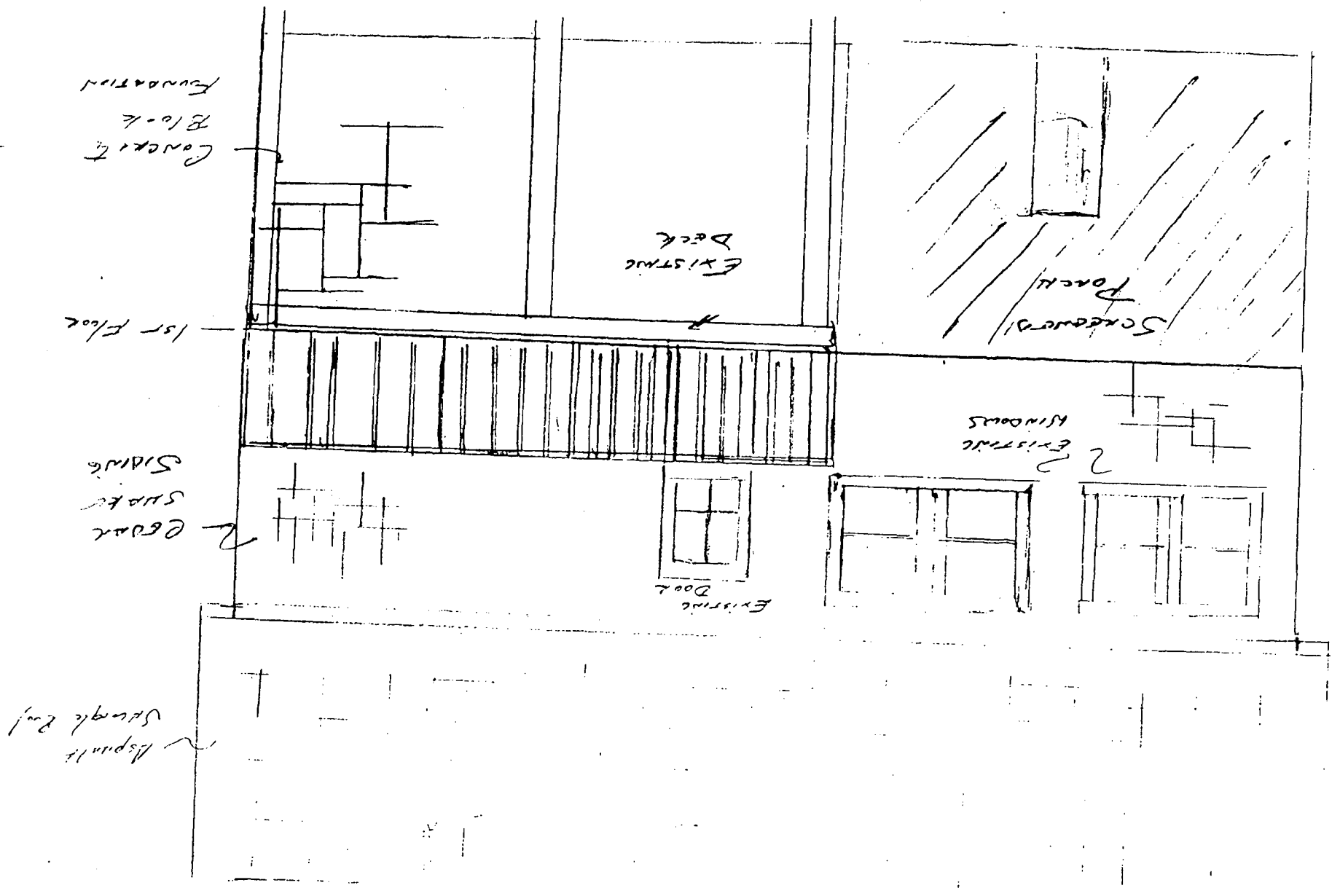
THE REAR KITCHEN WINDOW (30 1/2" x 37 1/2")

IS A WOOD WINDOW, 1-OVER-1 TO MATCH  
THE TWO EXISTING REAR TWIN WINDOWS.  
CASING WILL MATCH THE EXISTING.

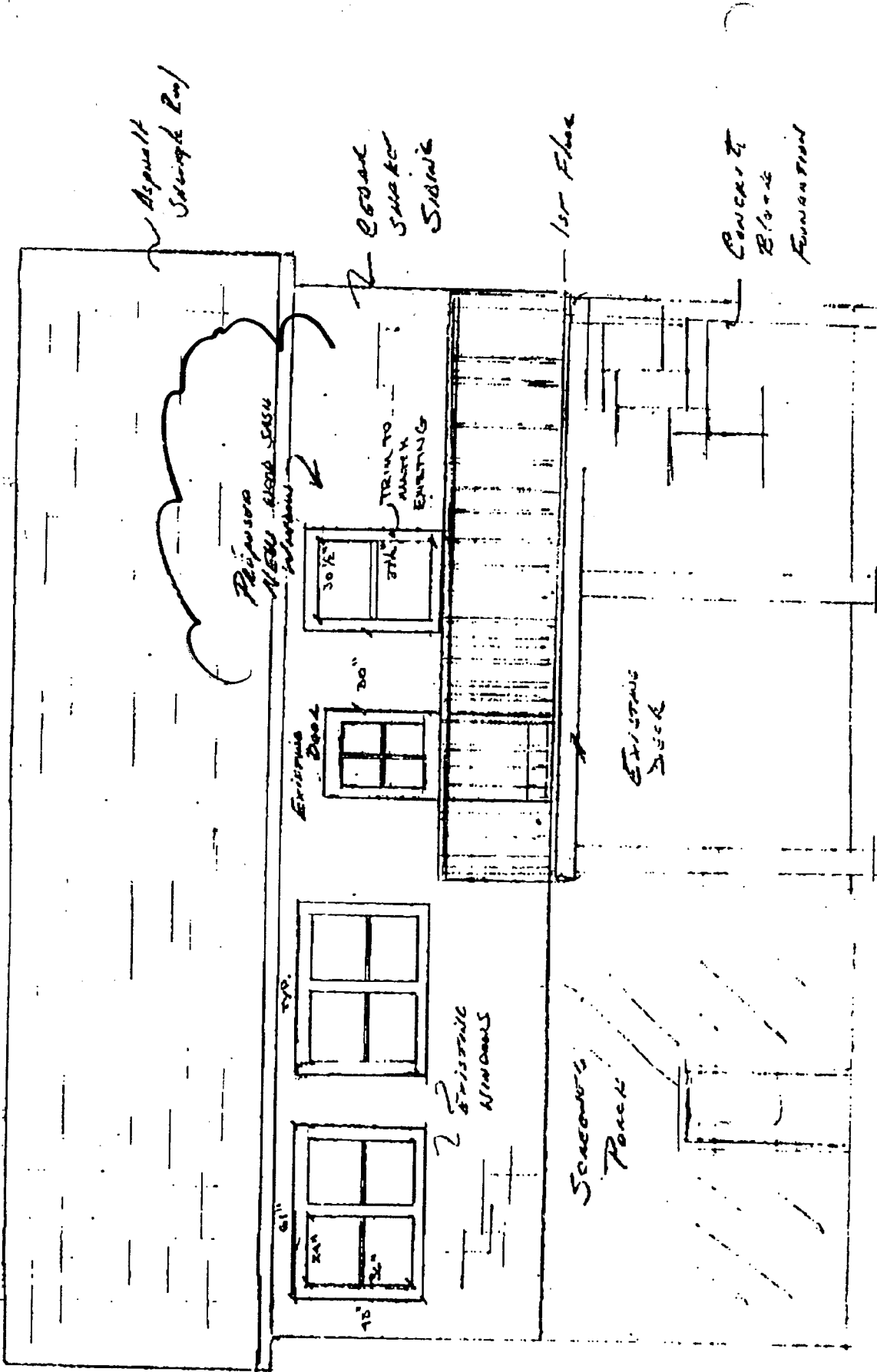
THE SIDE REPLACEMENT SASHES ARE  
ALSO 1-OVER-1 TO MATCH THE NEW  
FRONT WINDOWS, WHICH IS THE OWNER'S  
INTENT, OVER TIME, IN REPLACING THE  
BALANCE OF HER WINDOWS. GRILLS WILL  
BE INSTALLED TEMPORARILY TO MATCH THE  
EXISTING.

(E)

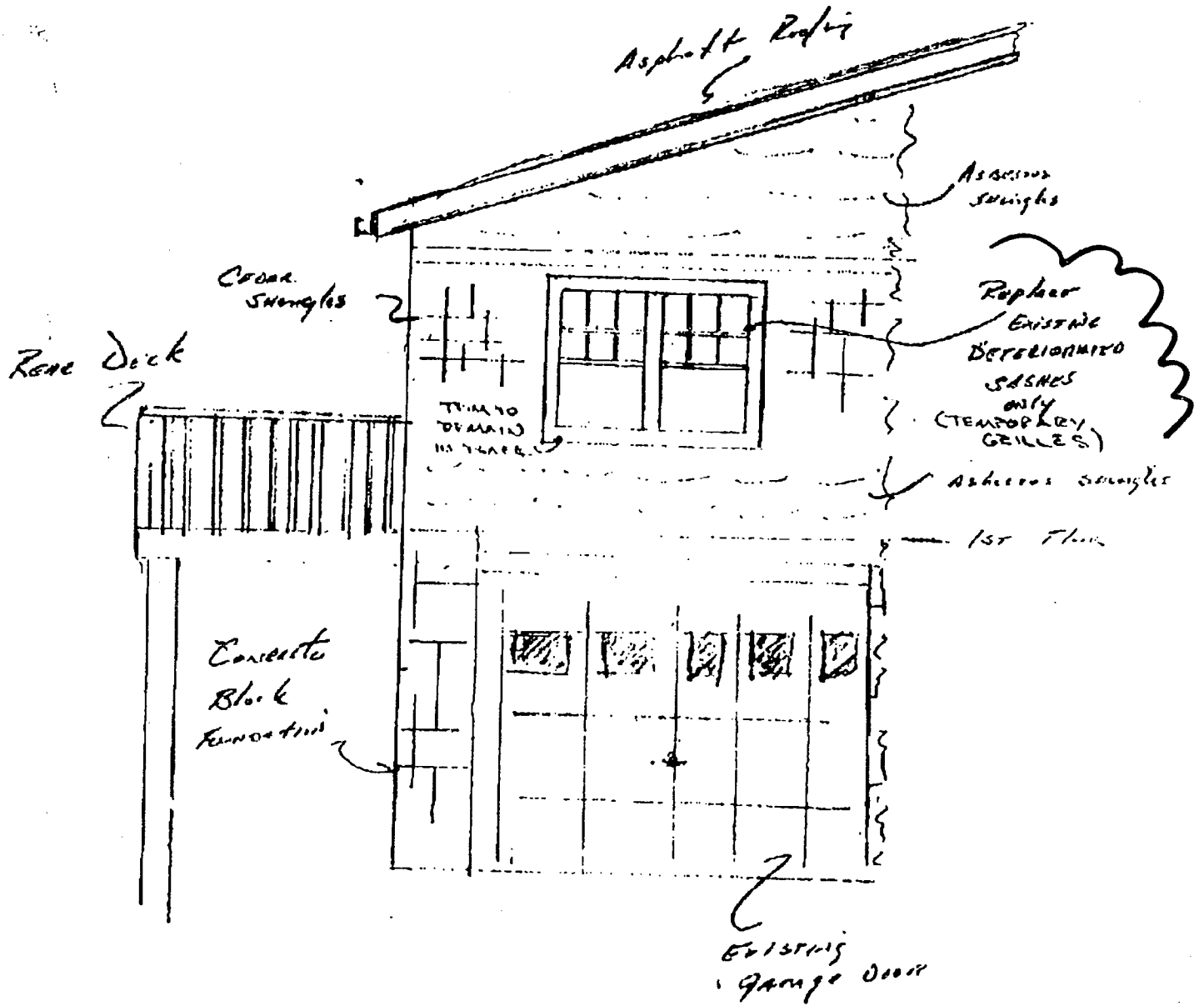
EXISTING REAR ELEVATION



8



PROPOSED REAR ELEVATION



9



## **TILT PAC**

*A Double Hung Sash Replacement System  
That Saves Time and Money*



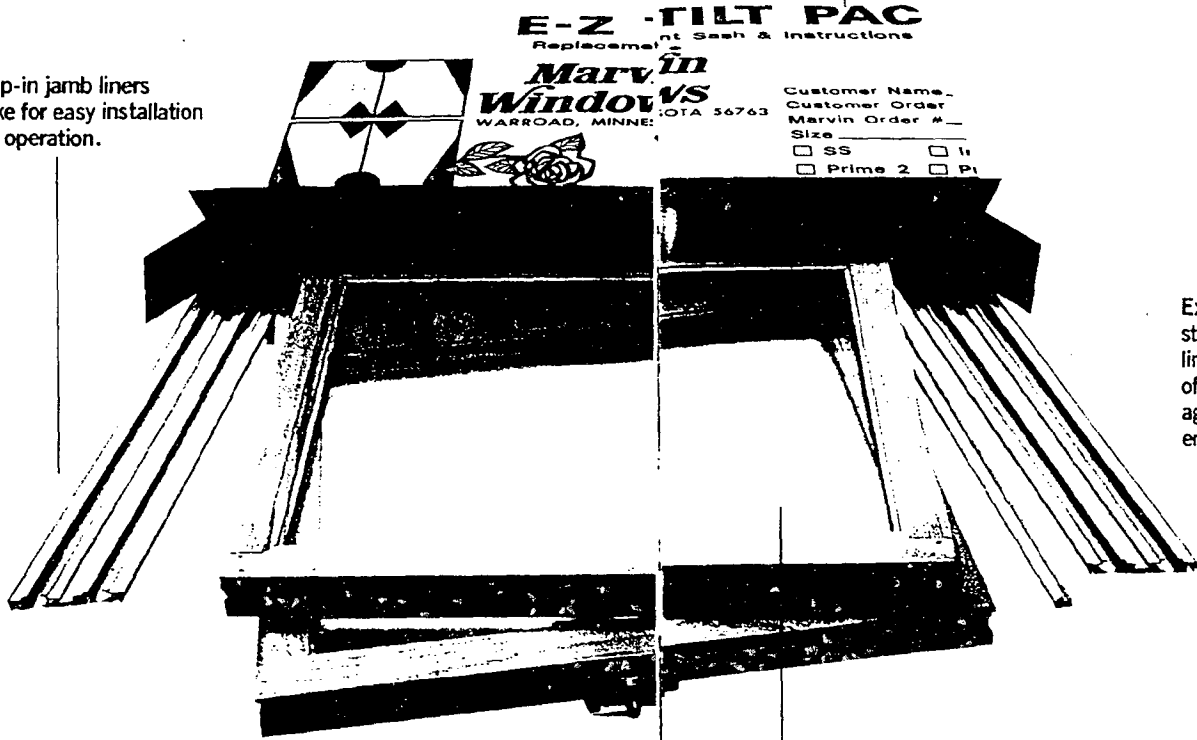
10

# WHAT'S IN THE PAC?

The contents of your E-Z Tilt Pac package

All parts packaged in one box and coded for each specific location. Comes complete with instructions for easy installation.

Snap-in jamb liners make for easy installation and operation.

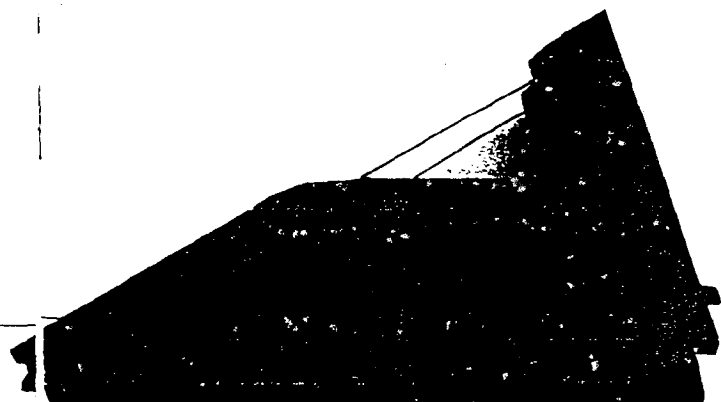


Excellent weatherstripping on jamb liners and sash offers protection against drafts and energy loss.

Factory-applied exterior finish is available in four standard colors and 50 optional colors to match virtually any home.

Insulating glass provides energy efficiency.

Maintenance-free extruded aluminum cladding is available in four colors for an attractive, durable exterior.



# INSTALLING YOUR NEW E-Z TILT WINDOW.

*It's As E-Z As This*

## **Step 1:**

### *Remove the old sash.*

Carefully remove the inside casing from your window. If your old window has a weight-and-pulley system, cut the cords. Lift out the bottom sash. Then, slide the top sash down, cut the cords (if any) and remove the stops. Now take out the top sash.



## **Step 2:**

### *Prepare the frame.*

Nail the metal brackets evenly down both sides of the window. Start about 4" from the top and finish about 4" from the bottom.



## **Step 3:**

### *Install the jamb liners.*

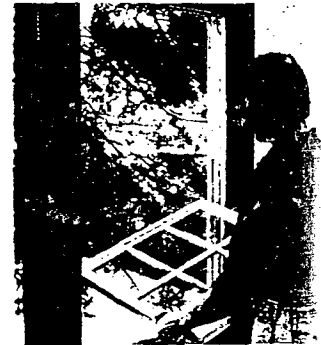
Put in the new stops and foam gaskets. Now, simply snap the vinyl jamb liners onto the brackets. With small finishing nails, install the new stop at the top with weatherstripping facing outward.



## **Step 4:**

### *Install the new sash.*

Pull down and lock the metal clutches in the jamb liners with a screwdriver. Place the top sash into the exterior track and ease it into place, lowering it onto the clutches. Install the lower sash on the interior track the same way. Replace the original casing.



*You're finished!* Old, drafty double hungs are new and energy efficient again. Both sashes will slide up and down effortlessly. They'll also tilt into the room for easy cleaning. Or, they can be removed altogether.

Lot 1, Section 5  
General S.S. Carroll's Addition  
To Takoma Park

Montgomery County, Maryland

Scale: 1" = 20'

Surveyor's Certificate

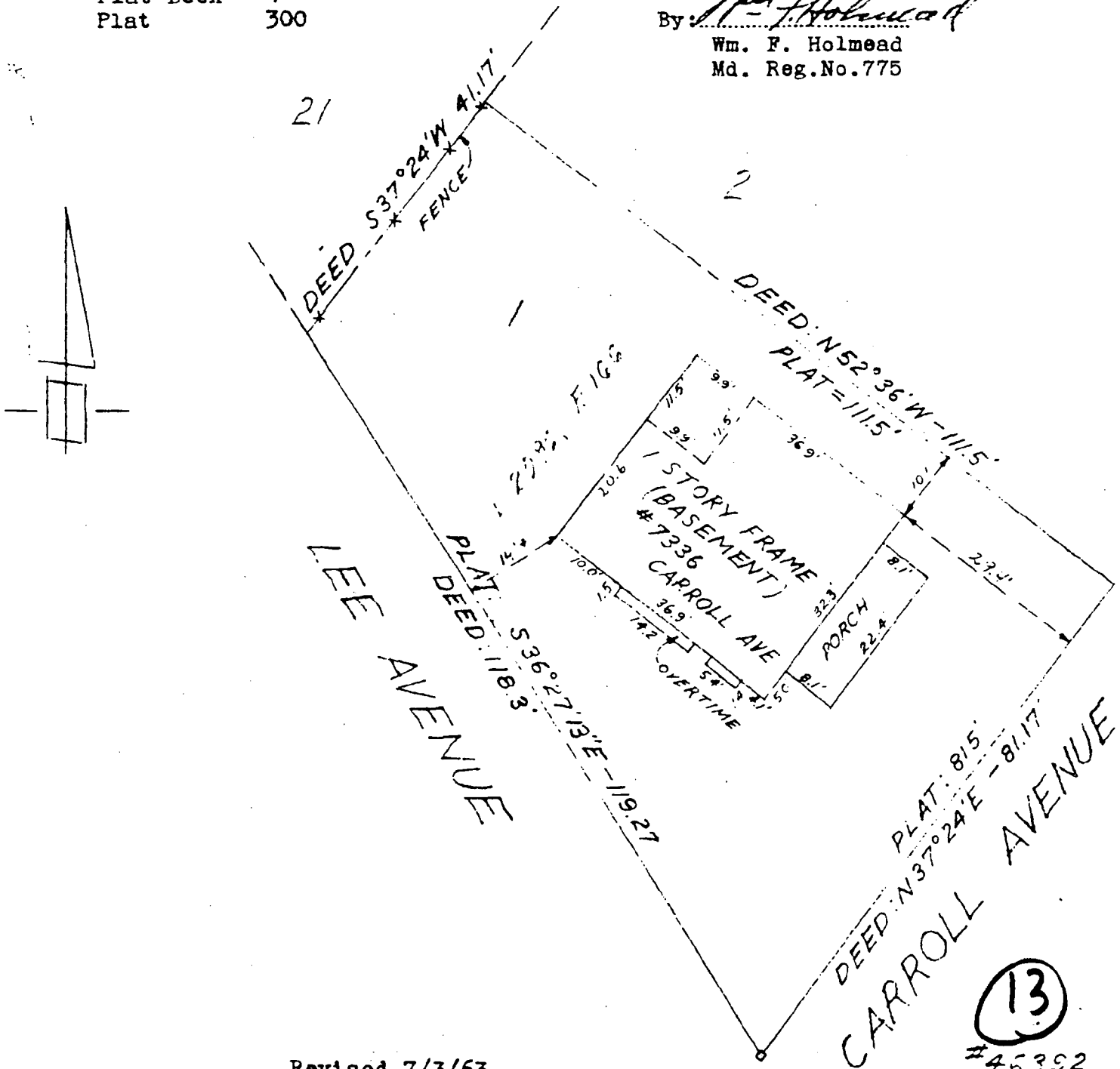
We hereby certify that we have carefully surveyed the property shown hereon in accordance with record description; that all of the existing improvements have been located by a transit-tape survey; that corner markers have been found ~~where indicated~~ where indicated, and that unless otherwise shown, there are no encroachments on either side of property lines.

Date: June 28, 1963

Plat Book 4  
Plat 300

Holmead & Frey  
Land Surveyors

By: *Wm. F. Holmead*  
Wm. F. Holmead  
Md. Reg. No. 775



7334 Cecil Ave  
Sera & Susan Fleming  
6907 Westmontland Ave  
Takoma Park, MD  
20912

5 Lee Ave  
Nancy S. Ricks  
Takoma Park MD  
20912

7338 Cecil Ave  
H. Douglas Detroitville  
Takoma Park MD  
20912

7327 Cecil Ave  
Helen K. Manning  
Takoma Park MD  
20912

14

1 record. All those in favor, please raise your right hand.  
2 Motion carries unanimously. Thank you for coming.

3 MR. BROYLES: Thank you. I appreciate it.

4 CHAIRMAN BOOTH: We have one minor change on the  
5 agenda at the request of the Applicant, and we are going to  
6 be substituting, or just switching Items D. and E., and  
7 therefore, at this time we would call Item E., the  
8 application of Carol Marks, for renovations at 7336 Carroll  
9 Avenue, Takoma Park, HPC Case Number 37/3-95K, in the  
10 Takoma Park Historic District. Do we have a staff report?

11 STATEMENT

12 MS. ZIEK: Yes. The resource is a 1920 bungalow on  
13 Carroll Avenue. It's a very nice neighborhood. This is a  
14 corner property, and the proposal reflects work that the  
15 owner is currently doing in the kitchen, which is evidently  
16 this corner room at the rear. The owner wishes to install  
17 a new window opening in the rear elevation and will match  
18 the existing windows on the rear, which are small 1/1  
19 windows. And staff feels that the owner is recommending,  
20 in this case a new wood window, 1/1, that would match  
21 the -- as I said, match the existing windows on the rear,  
22 and staff feels that this is a fine proposal and should be  
23 approved.

24 The second part of this is that the other windows in  
25 the kitchen are on the side elevation. It's a pair of 6/1

1 windows that the owner would like to replace with Sash Pac  
2 windows, a new wood window installation for both windows,  
3 which would be 1/1. Talking with the contractor, we've  
4 ascertained that the owner would like to actually replace  
5 all of the windows over time, and staff feels that this  
6 wholesale replacement of original fabric would not be  
7 consistent with the guidelines and recommends denial of  
8 this aspect at this time.

9 I have slides I could show. This is the bungalow,  
10 the blue house on Carroll Avenue. This is the front  
11 elevation, as you can see, 6/1 windows in the front. This  
12 is the rear elevation, from the side street. And the  
13 window would go to the right of the door and would be  
14 essentially the same size as the existing windows. Just a  
15 single window is proposed. This is the side elevation, and  
16 the two windows that appear over the garage are the two  
17 windows in question. They're in the kitchen now. And the  
18 owner -- those are the windows that the owner proposes to  
19 replace the sash. Here's a close-up. Obviously the storm  
20 windows are not in the best condition. And this is just  
21 another view of the house, showing basically the extent of  
22 window replacement that is proposed in the future.

23 If there are any questions, I'll be happy to answer  
24 any.

25 CHAIRMAN BOOTH: Okay. Thanks, Robin. Are there any

1 questions from the Commissioners for staff?

2 (No Response)

3 CHAIRMAN BOOTH: There being none, I would like to  
4 call Carol Marks, the Applicant, and Mr. John Fleming  
5 forward. Good evening. The floor is yours.

6 STATEMENT

7 MS. MARKS: First off, I would like to thank the  
8 staff for agreeing to the window in the back of the house,  
9 the 1/1.

10 Secondly, I would like to disagree with the staff's  
11 finding on the replacement windows. As you can see in the  
12 slide, those windows are in disrepair. They do not  
13 function well. The storm windows need to be repaired or  
14 replaced, and so do the screens. The counter weights that  
15 help operate the windows have broken and fallen inside the  
16 wall, so they don't work either. And due to cost of  
17 repairing those windows versus replacing them -- that was  
18 my original proposal, to replace those windows -- it would  
19 be less costly to replace them.

20 I'm proposing the 1/1 because, as was approved in the  
21 back of the house, those windows are 1/1, and as I manage  
22 to scrape money together and replace the rest of the  
23 windows in the house, I plan to do those with 1/1. But  
24 until I'm able to do that, we are going to use the  
25 grilles -- what are those?



1 MR. FLEMING: Snap-in muntins.

2 MS. MARKS: Snap-in muntins.

3 MR. FLEMING: Right.

4 MS. MARKS: Snap-in grilles to make them appear like  
5 the rest of the house. As I replace windows all on one  
6 side of the house, then those will come out, and they'll  
7 all be 1/1's, which my contractor tells me is historically  
8 correct in every aspect.

9 CHAIRMAN BOOTH: Mr. Fleming?

10 STATEMENT

11 MR. FLEMING: Yeah. The replacement package we're  
12 using is called the Sash Pac, and it's a wood window that  
13 actually allows you to keep the jamb in place and trim on  
14 the exterior in place, and you actually can remove the  
15 existing sash and put the sash pack in where the two sashes  
16 have been removed. So, it's a pretty cost effective  
17 treatment. Of course we want to use double pane windows  
18 and double pane glass, and we want to use something that  
19 has some good weather stripping.

20 The existing windows in that house, like a lot of  
21 these old houses, are in a fairly sorry state of disrepair.  
22 They haven't always had storm sashes on them. A lot of the  
23 wood is pretty well deteriorated. It costs a lot of money,  
24 I've tried to do this before, to go back to that window a  
25 number of times to -- well, usually the top sash is painted

1 in, as this one is. The counter weights have fallen off,  
2 so those have to be repaired. You have to loosen up the  
3 window, scrape the window, or get the paint off that  
4 window, recondition all the glazing because all the glazing  
5 is rotted, the glazing compound, replace the glass in a lot  
6 of cases because a lot of these are cracked windows, and  
7 particularly if you go in and re-glaze them, this old  
8 glass, chances are if you just touch it, it will crack, so  
9 you end up replacing most of it anyway. If it isn't  
10 cracked now, it will be. You paint it, you put it back in  
11 order, and you still end up with a window that is not  
12 energy efficient, and you still have to get a storm window  
13 and a screen for it. It's just not a cost effective  
14 solution to achieve a window that you want to last the next  
15 50, 75 years, whatever the life of that house is going to  
16 be.

17 The Sash Pac becomes really a nice solution for that.  
18 We are looking at the 1/1 because, as Carol said, the back  
19 of the house is already 1/1. We're adding a 1/1. The 1/1  
20 that we're adding is in the kitchen. These two windows  
21 that we're working on are in the kitchen, so that would be  
22 consistent. The owner would like to go with 1/1's, because  
23 that's her preference, and not have the muntin dividers,  
24 eventually for the rest of the house.

25 We're mentioning that it's historically correct,

1 because as I understand it, and correct me if I'm wrong,  
2 I'm not an authority on this, but I believe the smaller  
3 pane glass are more typical of a colonial home when glass  
4 was shipped from England, and it was because the  
5 manufacturing process tended to be smaller. And as you got  
6 into the turn of the century and later, 1/1 or larger panes  
7 of glass become more in style, and vogue, and eventually  
8 more typical. So, we don't really feel like it's  
9 compromising the historicity of the house. Just to mention  
10 that --

11 MS. ZIEK: John, I would like to make some correction  
12 there in the sense that at this period in architecture the  
13 architects had choices. And as you're saying, early on,  
14 perhaps the builders or architects didn't have the choices  
15 for the size of the pane of glass, but at the point we're  
16 talking about, early 20th Century, it was an architectural  
17 design decision to go with 6/1. They certainly had  
18 choices, and the choices that they made were the 6/1.

19 MR. FLEMING: But they could have chosen -- I mean,  
20 my point is, they're not necessarily choosing -- the 1/1  
21 wouldn't have been atypical for that period either.

22 MS. ZIEK: What we would talk about is that the  
23 resource is intact, and a lot of this proposal focuses on  
24 keeping the resource intact.

25 MR. FLEMING: Well, in any case, across the street

1 from this house there's a new house to be built. The  
2 Commission has already approved the construction of that  
3 house. That's a Package, a North American home, which I  
4 don't feel is all that historically accurate in its  
5 appearance, and it is 1/1, has windows that are 1/1 which  
6 the Commission did approve for the neighborhood right  
7 across the street.

8 I think, you know, our basic position is  
9 economically, and I was asked by staff about this, and it  
10 was a good question to ask. If we replace this with true-  
11 divided light, if we wanted to get a true-divided light  
12 window, and we couldn't use the snap-in muntins, and it had  
13 to be -- and we wanted to use a thermal glaze window, and  
14 we wanted that to be energy efficient, that window is about  
15 twice the cost of the cost of the Sash Pac, of a 1/1  
16 window. So, that's putting a lot of economic pressure on  
17 somebody who doesn't particularly want to have the true-  
18 divided lights anyway and already has a portion of the  
19 house in 1/1. So, our feeling was that that was the  
20 correct solution for the job.

21 CHAIRMAN BOOTH: Any Commissioners with any  
22 questions/comments?

23 MR. RANDALL: Yeah, I'll start off with a comment,  
24 which is that window replacement is something that comes up  
25 not infrequently before the Commission, and I think that

1 that is one of those areas where you will find probably a  
2 greater consistency than in many of the other areas that we  
3 deal with that are more complicated. And in my time on the  
4 Commission, there's been a pretty strong stance that if  
5 windows, if it's the original historic fabric to a  
6 structure and if they're repairable, then, in accordance  
7 with the Secretary of Interior's Guidelines, that's where  
8 the Commission has come out. And sure, old windows can be  
9 a pain, and they're probably not as energy efficient, but  
10 they go along with a lot of the other things about an old  
11 house. A lot of us live in old houses, probably with old  
12 windows, and leaks under old doors, and a whole lot of  
13 things. So --

14 MR. FLEMING: Do you need my card?

15 MR. RANDALL: Yeah. And, you know, I understand the  
16 issue, but from this Commissioner's perspective, while I  
17 don't have any problem with the new window installation at  
18 the rear of the structure, I'm not inclined or willing to  
19 depart from what's been a pretty consistent position not  
20 only for me, but from the Commission generally, that if  
21 they're repairable, take a little care with them. You  
22 won't necessarily break the old glass. I've done it, and  
23 I know Commissioner Brenneman has probably done it, and  
24 Commissioner Lanigan has done it with old windows. All of  
25 us have worked on our old houses, or had others, and if the

1 windows do break, then it's not all that expensive to throw  
2 in another pane. And so, I don't see any reason to depart  
3 from what our long-standing precedent has been.

4 MR. BRENNEMAN: I would have to agree with Bert. I  
5 think -- especially on any old windows in the old homes we  
6 do, that the average person that really gets into old homes  
7 and loves old homes, they really want you to protect the  
8 old windows since it's a real novelty to them. They like  
9 the old windows, they like the old glass, especially if it  
10 has the old wavy glass. And I think it adds a lot to a  
11 home. It takes a lot away when you substitute, especially  
12 something with a snap-in muntin.

13 MR. FLEMING: That's a temporary condition, the snap-  
14 in.

15 MR. BRENNEMAN: Pardon?

16 MR. FLEMING: That's a temporary condition, the snap-  
17 in.

18 MS. LANIGAN: I agree with the other Commissioners.  
19 I think one of the major points here is the fact that 6/1  
20 windows are original to the house, and they're an important  
21 and a very visible design feature of the house, and I  
22 wouldn't agree to changing that design feature.

23 MS. MARCUS: Can I just add a point, sort of as a  
24 little history? The Commission has approved 1/1 windows in  
25 completely new construction. There was one point brought

1 up about a new house being built in the community, and the  
2 Commission has, for completely new houses, approved 1/1  
3 construction. To my knowledge, the Commission has never  
4 approved, with a set of intact windows, complete removal of  
5 all the windows and replacement with new 1/1's.

6 In a couple of recent cases, Fertile Meadows, the  
7 Commission required folks who took a very deteriorated  
8 property that had been vacant for probably 5 to 6 years,  
9 was sitting open to the elements, really in bad shape, they  
10 did have to go in and repair the windows rather than  
11 replace. In addition, on the Waters House, which was that  
12 big redevelopment in Germantown, the developer initially  
13 had come in wanting to replace all the windows. When they  
14 costed it out with their contractors, they found out that  
15 repairing the windows ended up being less expensive for  
16 them than buying all new replacement windows that would  
17 match the existing. So, it ended up being something they  
18 actually chose to do with a little direction from the  
19 Commission.

20 But it has been a very, very important element in  
21 many of the discussions about existing houses to maintain  
22 historic fabric, whether it be original windows, original  
23 siding, original porch trim, original roofing materials.  
24 All of those kinds of issues are -- the Commission has  
25 taken a strong position on. New construction has had more

1 latitude, however.

2 CHAIRMAN BOOTH: Thank you, Gwen. I think -- yeah.  
3 It's almost a pun, but I think historically we have treated  
4 new construction a bit more leniently in those terms.

5 MR. RANDALL: I'm prepared to offer a motion, if  
6 nobody wants to engage in a lot more discussion.

7 MR. FLEMING: Can I make a couple other comments?

8 CHAIRMAN BOOTH: Certainly.

9 MR. FLEMING: The -- again, I think Gwen's point is  
10 that in terms of the economics of this, that's probably  
11 true. If you've got a replacement window in kind, a prime  
12 sash with true-divided lights, that would cost as much as  
13 rebuilding the window. These are pretty severely  
14 deteriorated, and I think from a building -- I spent many  
15 years insulating and testing homes for infiltration. I can  
16 tell you that these are very -- they're not cost effective  
17 windows. I mean, that's -- the ruling we're making here is  
18 sort of contrary to the County's own -- where the County is  
19 going with its codes, its building codes.

20 You can not get any significant energy value from a  
21 storm window. A storm window is called a storm window  
22 because it's to protect the sash from storms. It doesn't  
23 create a dead air space. In fact, it has to breathe, or  
24 else it would fog up and you'd get condensation between the  
25 windows, so it has to allow for air movement between the



1 panes, or between the sashes and the storm window.

2 And secondly, it can't be a -- because they can't  
3 create a dead air space, you don't have air infiltration  
4 control. And window glass itself is a great transmitter of  
5 energy, as you can see by the way it transmits light. So,  
6 in a way, I mean, I spent years trying to get windows  
7 tight. And this is going contrary to what the -- where the  
8 direction of building codes are heading.

9 MR. RANDALL: Okay.

10 MR. FLEMING: If it's not an issue today, it will be  
11 later.

12 MR. RANDALL: Well, it would be contrary to the  
13 Secretary of Interior and the Commission's long-standing  
14 precedence to go the other way. I would still offer a  
15 motion that the Historic Area Work Permit, that portion --  
16 actually, I wonder if it would be better to divide it into  
17 two cases. Well, let me just proceed. That an Historic  
18 Area Work Permit be granted for the new window installation  
19 in the rear elevation as proposed in the application, but  
20 that the replacement of the existing historic windows not  
21 be approved.

22 MR. FLEMING: Can we be more specific? Are you  
23 requiring a 6/6, whether it's true-divided -- or 6/1,  
24 whether it's true-divided or single pane with a storm sash?  
25 In some fashion ending up with a 6/1 true-divided?

1 MS. MARCUS: I think what I heard Commissioner  
2 Randall say is no replacement of the existing window, but  
3 repair rather than replacement; is that correct?

4 MR. RANDALL: That's exactly what I said.

5 MR. FLEMING: Okay. What if we were to replace the  
6 sash with a 6/1?

7 MR. RANDALL: No. I am proceeding with my motion as  
8 described, based on the historic fabric of that structure.

9 MS. LANIGAN: Second.

10 CHAIRMAN BOOTH: There is a motion and a second for  
11 the Commission. Is there any discussion?

12 MR. CLEMMER: Could you repeat the motion one more  
13 time?

14 MR. RANDALL: Right. The motion is to approve the  
15 new window installation at the rear of the structure as  
16 proposed in the application and to deny the replacement of  
17 the existing historic windows in the structure.

18 MR. FLEMING: Are we allowed to speak to this motion?

19 CHAIRMAN BOOTH: No. At this point it's Commission  
20 discussion.

21 MR. FLEMING: Thank you.

22 CHAIRMAN BOOTH: Any further comments, discussion?

23 (No Response)

24 CHAIRMAN BOOTH: There being none, Mr. Fleming you  
25 had something you'd like to say? I'll give you as much due

1 process as we're allowed to give you.

2 MR. FLEMING: Appreciate it. Yeah. I'm saying that  
3 those windows are in a severe state of disrepair. I'm  
4 not -- you know, that I know. I'm suggesting that if what  
5 the Commission is intending to do is get an authentic 6/1,  
6 it's still more cost effective, I think, to get an  
7 authentic 6/1, with true-divided lights, double pane glass,  
8 than it is to repair that, and rebuild a window, and end up  
9 with a product that is substandard. So, I'm saying if  
10 that's the -- if your intent is to maintain authenticity of  
11 a 6/1, it's more cost effective for the client to do that  
12 with a replacement sash than it is to try to rebuild a  
13 window and end up with a product that, one, doesn't look as  
14 good, and surely doesn't perform as well from an energy  
15 standpoint. And the alternative I'm offering is still  
16 authentic, authentic 6/1 with double pane glass.

17 MR. RANDALL: In that it was my motion, let me  
18 respond to it, if I can, and then if we can proceed to a  
19 vote up or down. That was -- I heard you before. I  
20 understood you before. I made the motion again, as I made  
21 it to begin with, because I believe if you have a  
22 repairable portion of the historic fabric of a structure,  
23 as Gwen Marcus pointed out too, it has been a consistent  
24 HPC theme that that particular historic fabric be saved and  
25 be repaired.

1 MR. BRENNEMAN: And I would like to add that I think  
2 staff says they feel the windows can be repaired.

3 MR. RANDALL: That's correct.

4 MS. MARCUS: I think one thing that you may want to  
5 consider is, if a full survey of all the windows on all the  
6 building is done and perhaps one window has had so much  
7 water infiltration that there is rotted wood, and it's a  
8 matter of replacing one window that ends up being  
9 irreparable with a matching or identical window, I think  
10 that's a different situation. I think what we're talking  
11 about here are windows that generally are repairable,  
12 although may not -- they aren't totally rotted out, is what  
13 I'm hearing. It's more an issue that the weights have  
14 dropped, the glazing is falling out, the windows are  
15 cracked, that kind of issue more than there is wholesale,  
16 rotten wood. And certainly if you came back and there is  
17 one or two windows that had -- and staff can go out and  
18 look at them -- that have wholesale wood rot, I think you  
19 could come back and talk about perhaps replacing that with  
20 a matching window. But that's not the situation before us  
21 today. I just wanted to clarify that.

22 CHAIRMAN BOOTH: Yeah. I just would like to add  
23 that, in regards to what Gwen had just mentioned, we have,  
24 upon very rare occasions, entertained a reconsideration  
25 when someone has come back in with additional information

1 that is not before us. But I'll tell you, it is only on  
2 very rare instances that I've ever seen that happen. But  
3 that is always a possibility. That being said, is there  
4 any further discussion?

5 (No Response)

6 CHAIRMAN BOOTH: There being none, close the public  
7 record. There is a motion on the floor that has been  
8 seconded. All those in favor of the motion, please raise  
9 your right hand.

10 (Vote Taken)

11 CHAIRMAN BOOTH: Five in favor. All those opposed?  
12 Abstaining? One abstention. Motion carries.

13 MS. MARCUS: We will put something in writing to the  
14 Applicant, and certainly all decisions of the Commission  
15 are appealable to the Board of Appeals within 30 days after  
16 you receive a written decision.

17 CHAIRMAN BOOTH: And I believe, Mr. Fleming, you're  
18 aware of that process.

19 MR. FLEMING: Yes.

20 CHAIRMAN BOOTH: Okay. I would then call Agenda Item  
21 D., the application of Mr. John Fleming for revisions to  
22 new construction plans at 3806 Washington Street,  
23 Kensington, HPC Case Number 31/6-93Q, a Revision, in the  
24 Kensington Historic District. We have a staff report. I  
25 don't think we need to see slides, but I would like to hear

HISTORIC PRESERVATION COMMISSION

of

MONTGOMERY COUNTY

8787 Georgia Avenue  
Silver Spring, Maryland 20910

301-495-4570

Case no.: 37/3-95K Received: March 22, 1995

Public Appearance: April 12, 1995

Before the Montgomery County Historic Preservation Commission

Application of Carol Marks  
7336 Carroll Avenue, Takoma Park

DECISION AND OPINION OF THE COMMISSION

Decision of the Commission: APPROVE the applicant's proposal to install a new window on rear elevation; DENY the applicant's proposal to replace original windows on side elevation and throughout the rest of the house.

Commission Motion: At the April 12, 1995, meeting of the Historic Preservation Commission, Commissioner Randall presented a motion to approve the installation of a new window on the rear elevation, but to deny the replacement of original windows on the side elevation and throughout the rest of the house at 7336 Carroll Avenue. Commissioner Lanigan seconded the motion. Commissioners Brenneman, Clemmer, Lanigan, Randall, and Trumble voted in favor of the motion. Commissioner Booth abstained. The motion was passed 5-0, with one abstention. Commissioners Bienenfeld and Kousoulas were absent.

SUMMARY OF APPLICATION AND BACKGROUND OF 7336 CARROLL AVENUE

The following terms are defined in Section 24A-2 of the Montgomery County Code:

Exterior features: The architectural style, design and general arrangement of the exterior of an historic resource, including the color, nature and texture of building materials, and the type or style of all windows, doors,

light fixtures, signs or other similar items found on or related to the exterior of an historic resource.

Historic District: A group of historic resources which are significant as a cohesive unit and contribute to the historical, architectural, archeological or cultural values within the Maryland-Washington Regional District and which has been so designated in the master plan for historic preservation.

On March 22, 1995, Carol Marks (applicant) applied for a Historic Area Work Permit (HAWP) to install a new window on the rear elevation and to replace two original windows on the side elevation of the house at 7336 Carroll Avenue. The applicant's stated intention was to eventually replace all the original windows throughout the rest of the house. The house is a Craftsman-style bungalow, which was designated as a contributing resource in the Takoma Park Historic District.

A statement of historic and architectural significance of the Takoma Park Historic District, as incorporated in the Master Plan amendment adopted August 1, 1992, is as follows:

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was one of the earliest railroad suburbs of Washington - second after Linden was established in 1873. The community was given new lifeblood in the early-20th century with the opening of streetcar lines, which led to the development of new subdivisions in Takoma Park.

Before 1883, the area that became Takoma Park was used for farming and vacation homes for Washingtonians. A few houses from this period still exist...In 1883, Benjamin Franklin Gilbert, a Washington real estate promoter, purchased a 90-acre farm for the establishment of Takoma Park. Gilbert promoted the healthy quality of Takoma Park's natural environment -- fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. These natural features continue to define and enhance the community today...

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement which emphasized the inherent nature of the building materials and structural elements for ornamentation. Similarly, they reflect a social trend towards a more informal, unpreten-

tious style of living. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established - detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Park, Philadelphia, Sycamore, Westmoreland, and Willow Avenues.

#### EVIDENCE IN THE RECORD

Copies of the applicant's Historic Area Work Permit application and a written report from the Historic Preservation Commission staff were distributed to Commissioners on April 5, 1995.

HPC staffperson Robin Ziek presented 35mm slides of the property and described the nature of the application. 7336 Carroll Avenue is on a corner lot and, therefore, three elevations are visible from the public right-of-way. The applicant proposed to add a new one-over-one window on the rear elevation of the house and to replace two of the existing, original six-over-one, true-divided light windows. The replacement windows would be one-over-one, double-pane windows with snap-in muntins on the upper pane. The applicant stated that it was her intention to eventually replace all of the windows in the house.

The staff recommended that the installation of the new window on the rear elevation was consistent with the Historic Preservation Ordinance and the Takoma Park Historic Preservation Review Guidelines. However, staff recommended denial of the replacement of original windows. Staff specifically cited a section of the Takoma Park Guidelines for Contributing Resources:

Preservation of original building materials and use of appropriate, compatible new materials is encouraged.

John Fleming, the applicant's contractor, stated that the existing windows in the house were deteriorated and were not airtight. They would need to be extensively repaired and existing storm windows would need to be repaired to make the house energy efficient. The applicant, Carol Marks, restated her desire to eventually replace all the original windows in the house, as her budget allowed.

Mr. Fleming stated that it would be less expensive to replace the original windows than to repair them. He also stated that it was his opinion that, even after the windows were repaired, they would not be as energy efficient as new windows.

Commissioner Randall stated that the replacement of original windows is not something that the Historic Preservation Commis-



sion has ever encouraged and that repair is much better. He acknowledged that old houses are not as airtight as new ones, but that was the nature of historic properties.

Commissioners Brenneman and Lanigan agreed with Commissioner Randall and cited examples of other cases when the Commission had required repair of original windows rather than replacement. They stated that the Commission has not generally approved the use of snap-in muntins, even in the case of entirely new construction projects.

Gwen Marcus, Historic Preservation Coordinator, reminded the Commission of two recent cases where the Commission had required repair rather than replacement of original windows: Fertile Meadows and the Waters House in Germantown. She stated that the developers who were renovating the Waters House had actually found repair to be more economical than replacement.

Commissioner Randall reiterated that the Commission is very concerned about the replacement of original building fabric and that windows are a very important original feature of a historic building.

Ms. Marcus noted that the Commission has approved some window replacement, on a case-by-case basis, where original windows were so damaged and rotted that they could not be repaired. However, total windows replacement without careful evaluation of each window was not recommended.

#### CRITERIA FOR APPROVAL AND FINDINGS OF THE COMMISSION

The criteria which the Commission must evaluate in determining whether to deny a Historic Area Work Permit application are found in Section 24a-8(a) of the Montgomery County Code, 1984, as amended.

Section 24a-8(a) provides that:

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate or inconsistent with, or detrimental to the preservation, enhancement or ultimate protection of the historic site, or historic resource within an historic district, and to the purposes of this chapter.

In analyzing whether the criteria for issuance of a Historic Area Work Permit have been met, the Commission also evaluates the evidence in the record in light of generally accepted principles of historic preservation, including the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabil-

itating Historic Buildings, adopted by the Commission on February 5, 1987. In particular, Standard #2 and Standard #6 are applicable in this case:

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities, and where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Additionally, specific historic preservation review guidelines were included in the Approved and Adopted Amendment to the Master Plan for Historic Preservation which created the Takoma Park Historic District. The purpose of these guidelines is to "...provide the Historic Preservation Commission and other applicable agencies...with guidance regarding the intent of the historic designation. In addition, the purpose of these guidelines is to provide the Historic Preservation Commission with specific direction in reviewing applications for Historic Area Work Permits (HAWPs)..."

The Takoma Park guidelines for contributing residential resources within the historic district state:

Preservation of original building materials and use of appropriate, compatible new materials is encouraged.

Based on this, the Commission finds that:

1. As proposed in the HAWP application, the replacement of original windows with one-over-one, double pane windows using snap-in muntins is not consistent with the preservation and enhancement of the architectural and historic character of this contributing resource, a Craftsman-style Bungalow, located in the Takoma Park Historic District.
2. Approval of the proposed Historic Area Work Permit application would substantially change the appearance of the historic structure and would cause the loss of the historic integrity in terms of exterior architectural features. Specifically, the proposed replacement windows would look substantially different from and have a different character than the original windows.

3. No evidence was presented which demonstrated that the existing windows at 7336 Carroll Avenue were in such an extreme state of deterioration that they are beyond reasonable repair.

#### CONCLUSION

The Commission was guided in its decision by Chapter 24A of the Montgomery County Code, by the Secretary of the Interior's Standards for Rehabilitation, and by the design guidelines for contributing structures found in the Approved and Adopted Amendment to the Master Plan for Historic Preservation which designated the Takoma Park Historic District.

Having heard and carefully considered all of the testimony and exhibits contained in the record, and based on this evidence and on the Commission's findings, as required by Section 24A-8(a) of the Montgomery County Code, 1984, as amended, it is the decision of the Montgomery County Historic Preservation Commission that the application of Carol Marks to replace original windows on the side elevation and throughout the rest of the house at 7336 Carroll Avenue in the Takoma Park Historic District be DENIED.

If any party is aggrieved by the decision of the Commission, pursuant to Section 24A-7(h) of the Montgomery County Code, an appeal may be filed within thirty (30) days with the Board of Appeals, which will review the Commission's decision de novo. The Board of Appeals has full and exclusive authority to hear and decide all appeals taken from decisions of the Commission. The Board of Appeals has the authority to affirm, modify, or reverse the order or decision of the Commission.



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Walter Booth, Chairperson  
Montgomery County Historic  
Preservation Commission

April 17, 1995  
Date

DATE: April 17, 1995

MEMORANDUM

TO: Robert Hubbard, Chief  
 Division of Development Services and Regulation  
 Department of Environmental Protection (DEP)

FROM: <sup>PDZ</sup> Gwen Marcus, Historic Preservation Coordinator  
 Design, Zoning, and Preservation Division  
 M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved  Denied

Approved with conditions: (1) Owner may install a new window on the rear elevation; to be either 1/1 or 6/1 true-divided light wood window.

(2) Owner is ~~denied~~ approval of proposal to remove existing windows on the side elevation. [See attached "Decision and Opinion of the Commission."]

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: Carol Marks

Address: 7336 Carroll Avenue, Takoma Park

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: April 17, 1995

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus<sup>RM</sup>, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of  
Application/ Release of Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

# Preservation Briefs: 9

## The Repair of Historic Wooden Windows

John H. Myers

The windows on many historic buildings are an important aspect of the architectural character of those buildings. Their design, craftsmanship, or other qualities may make them worthy of preservation. This is self-evident for ornamental windows, but it can be equally true for warehouses or factories where the windows may be the most dominant visual element of an otherwise plain building (see figure 1). Evaluating the significance of these windows and planning for their repair or replacement can be a complex process involving both objective and subjective considerations. The *Secretary of the Interior's Standards for Rehabilitation*, and the accompanying guidelines, call for respecting the significance of original materials and features, repairing and retaining them wherever possible, and when necessary, replacing them in kind. This Brief is based on the issues of significance and repair which are implicit in the standards, but the primary emphasis is on the technical issues of planning for the repair of windows including evaluation of their physical condition, techniques of repair, and design considerations when replacement is necessary.

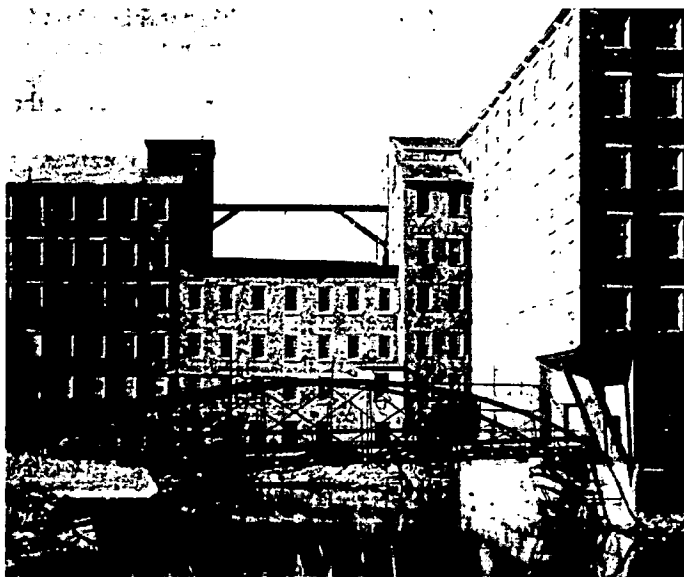


Figure 1. Windows are frequently important visual focal points, especially on simple facades such as this mill building. Replacement of the multi-pane windows here with larger panes could dramatically change the appearance of the building. The areas of missing windows convey the impression of such a change. Photo: John T. Lowe

Much of the technical section presents repair techniques as an instructional guide for the do-it-yourselfer. The information will be useful, however, for the architect, contractor, or developer on large-scale projects. It presents a methodology for approaching the evaluation and repair of existing windows, and considerations for replacement, from which the professional can develop alternatives and specify appropriate materials and procedures.

### Architectural or Historical Significance

Evaluating the architectural or historical significance of windows is the first step in planning for window treatments, and a general understanding of the function and history of windows is vital to making a proper evaluation. As a part of this evaluation, one must consider four basic window functions: admitting light to the interior spaces, providing fresh air and ventilation to the interior, providing a visual link to the outside world, and enhancing the appearance of a building. No single factor can be disregarded when planning window treatments; for example, attempting to conserve energy by closing up or reducing the size of window openings may result in the use of *more* energy by increasing electric lighting loads and decreasing passive solar heat gains.

Historically, the first windows in early American houses were casement windows; that is, they were hinged at the side and opened outward. In the beginning of the eighteenth century single- and double-hung windows were introduced. Subsequently many styles of these vertical sliding sash windows have come to be associated with specific building periods or architectural styles, and this is an important consideration in determining the significance of windows, especially on a local or regional basis. Site-specific, regionally oriented architectural comparisons should be made to determine the significance of windows in question. Although such comparisons may focus on specific window types and their details, the ultimate determination of significance should be made within the context of the whole building, wherein the windows are one architectural element (see figure 2).

After all of the factors have been evaluated, *windows should be considered significant to a building if they:* 1) are original, 2) reflect the original design intent for the building, 3) reflect period or regional styles or building practices, 4) reflect changes to the building resulting from major periods or events, or 5) are examples of exceptional craftsmanship or design. Once this evaluation of significance has been completed, it is possible to pro-

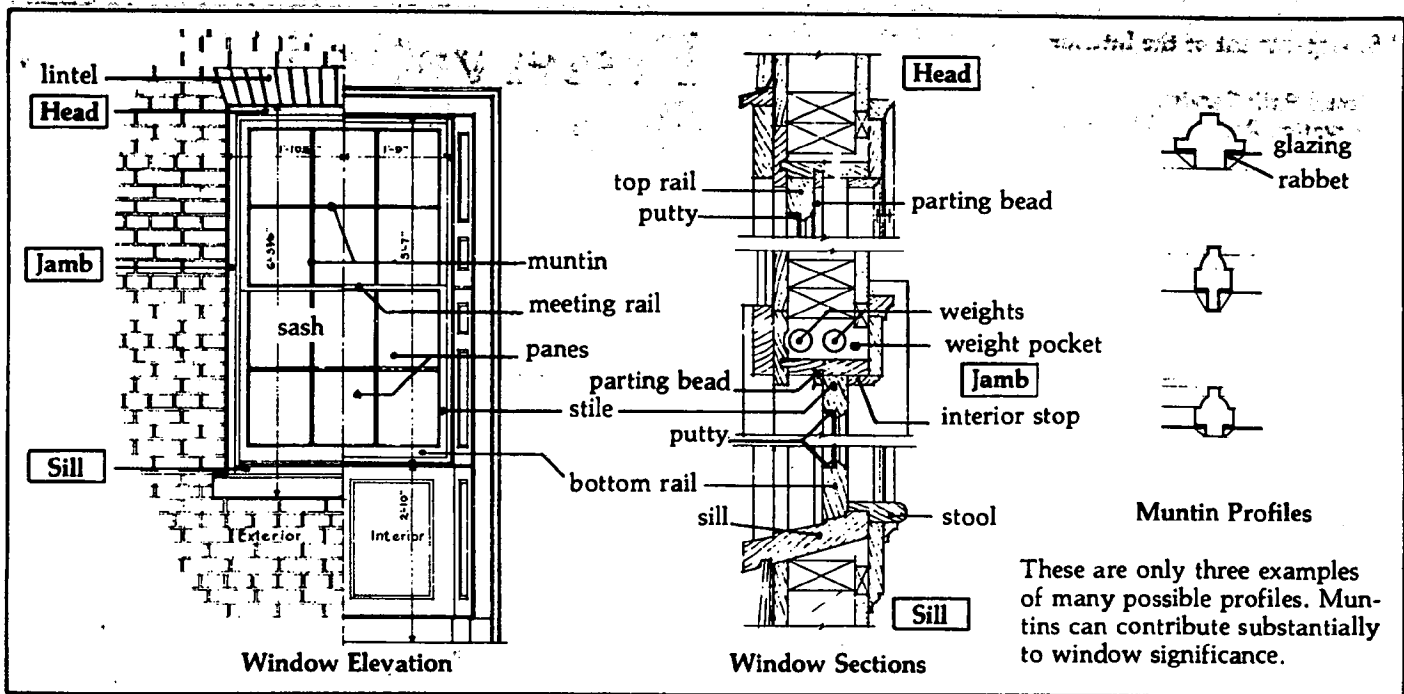


Figure 2. These drawings of window details identify major components, terminology, and installation details for a wooden double-hung window.

ceed with planning appropriate treatments, beginning with an investigation of the physical condition of the windows.

### Physical Evaluation

The key to successful planning for window treatments is a careful evaluation of existing physical conditions on a unit-by-unit basis. A graphic or photographic system may be devised to record existing conditions and illustrate the scope of any necessary repairs. Another effective tool is a window schedule which lists all of the parts of each window unit. Spaces by each part allow notes on existing conditions and repair instructions. When such a schedule is completed, it indicates the precise tasks to be performed in the repair of each unit and becomes a part of the specifications. In any evaluation, one should note at a minimum, 1) window location, 2) condition of the paint, 3) condition of the frame and sill, 4) condition of the sash (rails, stiles and muntins), 5) glazing problems, 6) hardware, and 7) the overall condition of the window (excellent, fair, poor, and so forth).

Many factors such as poor design, moisture, vandalism, insect attack, and lack of maintenance can contribute to window deterioration, but moisture is the primary contributing factor in wooden window decay. All window units should be inspected to see if water is entering around the edges of the frame and, if so, the joints or seams should be caulked to eliminate this danger. The glazing putty should be checked for cracked, loose, or missing sections which allow water to saturate the wood, especially at the joints. The back putty on the interior side of the pane should also be inspected, because it creates a seal which prevents condensation from running down into the joinery. The sill should be examined to insure that it slopes downward away from the building and allows water to drain off. In addition, it may be advisable to cut a dripline along the underside of the sill. This almost invisible treatment will insure proper water run-off, particu-

larly if the bottom of the sill is flat. Any conditions, including poor original design, which permit water to come in contact with the wood or to puddle on the sill must be corrected as they contribute to deterioration of the window.

One clue to the location of areas of excessive moisture is the condition of the paint; therefore, each window should be examined for areas of paint failure. Since excessive moisture is detrimental to the paint bond, areas of paint blistering, cracking, flaking, and peeling usually identify points of water penetration, moisture saturation, and potential deterioration. Failure of the paint should not, however, be mistakenly interpreted as a sign that the wood is in poor condition and hence, irreparable. Wood is frequently in sound physical condition beneath unsightly paint. After noting areas of paint failure, the next step is to inspect the condition of the wood, particularly at the points identified during the paint examination.

Each window should be examined for operational soundness beginning with the lower portions of the frame and sash. Exterior rainwater and interior condensation can flow downward along the window, entering and collecting at points where the flow is blocked. The sill, joints between the sill and jamb, corners of the bottom rails and muntin joints are typical points where water collects and deterioration begins (see figure 3). The operation of the window (continuous opening and closing over the years and seasonal temperature changes) weakens the joints, causing movement and slight separation. This process makes the joints more vulnerable to water which is readily absorbed into the end-grain of the wood. If severe deterioration exists in these areas, it will usually be apparent on visual inspection, but other less severely deteriorated areas of the wood may be tested by two traditional methods using a small ice pick.

An ice pick or an awl may be used to test wood for soundness. The technique is simply to jab the pick into a wetted wood surface at an angle and pry up a small sec-

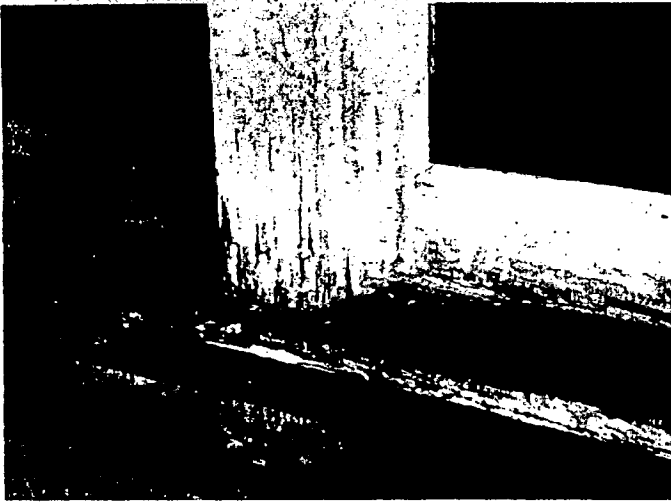


Figure 3. Deterioration of poorly maintained windows usually begins on horizontal surfaces and at joints where water can collect and saturate the wood. The problem areas are clearly indicated by paint failure due to moisture. Photo: Baird M. Smith, AIA

tion of the wood. Sound wood will separate in long fibrous splinters, but decayed wood will lift up in short irregular pieces due to the breakdown of fiber strength.

Another method of testing for soundness consists of pushing a sharp object into the wood, perpendicular to the surface. If deterioration has begun from the hidden side of a member and the core is badly decayed, the visible surface may appear to be sound wood. Pressure on the probe can force it through an apparently sound skin to penetrate deeply into decayed wood. This technique is especially useful for checking sills where visual access to the underside is restricted.

Following the inspection and analysis of the results, the scope of the necessary repairs will be evident and a plan for the rehabilitation can be formulated. Generally the actions necessary to return a window to "like new" condition will fall into three broad categories: 1) routine maintenance procedures, 2) structural stabilization, and 3) parts replacement. These categories will be discussed in the following sections and will be referred to respectively as Repair Class I, Repair Class II, and Repair Class III. Each successive repair class represents an increasing level of difficulty, expense, and work time. Note that most of the points mentioned in Repair Class I are routine maintenance items and should be provided in a regular maintenance program for any building. The neglect of these routine items can contribute to many common window problems.

Before undertaking any of the repairs mentioned in the following sections all sources of moisture penetration should be identified and eliminated, and all existing decay fungi destroyed in order to arrest the deterioration process. Many commercially available fungicides and wood preservatives are toxic, so it is extremely important to follow the manufacturer's recommendations for application, and store all chemical materials away from children and animals. After fungicidal and preservative treatment the windows may be stabilized, retained, and restored with every expectation for a long service life.

### Repair Class I: Routine Maintenance

Repairs to wooden windows are usually labor intensive and relatively uncomplicated. On small scale projects this

allows the do-it-yourselfer to save money by repairing all or part of the windows. On larger projects it presents the opportunity for time and money which might otherwise be spent on the removal and replacement of existing windows, to be spent on repairs, subsequently saving all or part of the material cost of new window units. Regardless of the actual costs, or who performs the work, the evaluation process described earlier will provide the knowledge from which to specify an appropriate work program, establish the work element priorities, and identify the level of skill needed by the labor force.

The routine maintenance required to upgrade a window to "like new" condition normally includes the following steps: 1) some degree of interior and exterior paint removal, 2) removal and repair of sash (including reglazing where necessary), 3) repairs to the frame, 4) weatherstripping and reinstallation of the sash, and 5) repainting. These operations are illustrated for a typical double-hung wooden window (see figures 4a-f), but they may be adapted to other window types and styles as applicable.

Historic windows have usually acquired many layers of paint over time. Removal of excess layers or peeling and flaking paint will facilitate operation of the window and restore the clarity of the original detailing. Some degree of paint removal is also necessary as a first step in the proper surface preparation for subsequent refinishing (if paint color analysis is desired, it should be conducted prior to the onset of the paint removal). There are several safe and effective techniques for removing paint from wood, depending on the amount of paint to be removed. Several techniques such as scraping, chemical stripping, and the use of a hot air gun are discussed in "Preservation Briefs: 10 Paint Removal from Historic Woodwork" (see Additional Reading section at end).

Paint removal should begin on the interior frames, being careful to remove the paint from the interior stop and the parting bead, particularly along the seam where these stops meet the jamb. This can be accomplished by running a utility knife along the length of the seam, breaking the paint bond. It will then be much easier to remove the stop, the parting bead and the sash. The interior stop may be initially loosened from the sash side to avoid visible scarring of the wood and then gradually pried loose using a pair of putty knives, working up and down the stop in small increments (see figure 4b). With the stop removed, the lower or interior sash may be withdrawn. The sash cords should be detached from the sides of the sash and their ends may be pinned with a nail or tied in a knot to prevent them from falling into the weight pocket.

Removal of the upper sash on double-hung units is similar but the parting bead which holds it in place is set into a groove in the center of the stile and is thinner and more delicate than the interior stop. After removing any paint along the seam, the parting bead should be carefully pried out and worked free in the same manner as the interior stop. The upper sash can be removed in the same manner as the lower one and both sash taken to a convenient work area (in order to remove the sash the interior stop and parting bead need only be removed from one side of the window). Window openings can be covered with polyethylene sheets or plywood sheathing while the sash are out for repair.

The sash can be stripped of paint using appropriate techniques, but if any heat treatment is used (see figure 4c), the glass should be removed or protected from the sudden temperature change which can cause breakage. An





Figure 4a. The following series of photographs of the repair of a historic double-hung window use a unit which is structurally sound but has many layers of paint, some cracked and missing putty, slight separation at the joints, broken sash cords, and one cracked pane. Photo: John H. Myers



Figure 4b. After removing paint from the seam between the interior stop and the jamb, the stop can be pried out and gradually worked loose using a pair of putty knives as shown. To avoid visible scarring of the wood, the sash can be raised and the stop pried loose initially from the outer side. Photo: John H. Myers



Figure 4c. Sash can be removed and repaired in a convenient work area. Paint is being removed from this sash with a hot air gun while an asbestos sheet protects the glass from sudden temperature change. Photo: John H. Myers



Figure 4d. Reglazing or replacement of the putty requires that the existing putty be removed manually, the glazing points be extracted, the glass removed, and the back putty scraped out. To reglaze, a bed of putty is laid around the perimeter of the rabbet, the pane is pressed into place, glazing points are inserted to hold the pane (shown), and a final seal of putty is beveled around the edge of the glass. Photo: John H. Myers



Figure 4e. A common repair is the replacement of broken sash cords with new cords (shown) or with chains. The weight pocket is often accessible through a removable plate in the jamb, or by removing the interior trim. Photo: John H. Myers

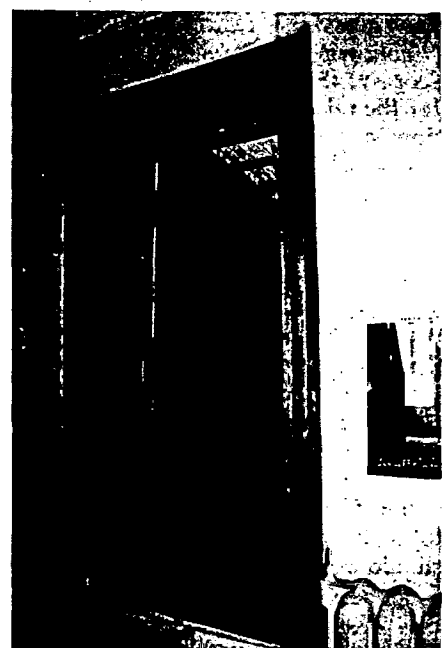


Figure 4f. Following the relatively simple repairs, the window is weathertight, like new in appearance, and serviceable for many years to come. Both the historic material and the detailing and craftsmanship of this original window have been preserved. Photo: John H. Myers

overlay of aluminum foil on gypsum board or asbestos can protect the glass from such rapid temperature change. It is important to protect the glass because it may be historic and often adds character to the window. Deteriorated putty should be removed manually, taking care not to damage the wood along the rabbet. If the glass is to be removed, the glazing points which hold the glass in place can be extracted and the panes numbered and removed for cleaning and reuse in the same openings. With the glass panes out, the remaining putty can be removed and the sash can be sanded, patched, and primed with a preservative primer. Hardened putty in the rabbets may be softened by heating with a soldering iron at the point of removal. Putty remaining on the glass may be softened by soaking the panes in linseed oil, and then removed with less risk of breaking the glass. Before reinstalling the glass, a bead of glazing compound or linseed oil putty should be laid around the rabbet to cushion and seal the glass. Glazing compound should only be used on wood which has been brushed with linseed oil and primed with an oil based primer or paint. The pane is then pressed into place and the glazing points are pushed into the wood around the perimeter of the pane (see figure 4d). The final glazing compound or putty is applied and beveled to complete the seal. The sash can be refinished as desired on the inside and painted on the outside as soon as a "skin" has formed on the putty, usually in 2 or 3 days. Exterior paint should cover the beveled glazing compound or putty and lap over onto the glass slightly to complete a weathertight seal. After the proper curing times have elapsed for paint and putty, the sash will be ready for reinstallation.

While the sash are out of the frame, the condition of the wood in the jamb and sill can be evaluated. Repair and refinishing of the frame may proceed concurrently with repairs to the sash, taking advantage of the curing times for the paints and putty used on the sash. One of the most common work items is the replacement of the sash cords with new rope cords or with chains (see figure 4e). The weight pocket is frequently accessible through a door on the face of the frame near the sill, but if no door exists, the trim on the interior face may be removed for access. Sash weights may be increased for easier window operation by elderly or handicapped persons. Additional repairs to the frame and sash may include consolidation or replacement of deteriorated wood. Techniques for these repairs are discussed in the following sections.

The operations just discussed summarize the efforts necessary to restore a window with minor deterioration to "like new" condition (see figure 4f). The techniques can be applied by an unskilled person with minimal training and experience. To demonstrate the practicality of this approach, and photograph it, a Technical Preservation Services staff member repaired a wooden double-hung, two over two window which had been in service over ninety years. The wood was structurally sound but the window had one broken pane, many layers of paint, broken sash cords and inadequate, worn-out weatherstripping. The staff member found that the frame could be stripped of paint and the sash removed quite easily. Paint, putty and glass removal required about one hour for each sash, and the reglazing of both sash was accomplished in about one hour. Weatherstripping of the sash and frame, replacement of the sash cords and reinstallation of the sash, parting bead, and stop required an hour and a half. These times refer only to individual operations; the entire proc-

ess took several days due to the drying and curing times for putty, primer, and paint, however, work on other window units could have been in progress during these lag times.

## Repair Class II: Stabilization

The preceding description of a window repair job focused on a unit which was operationally sound. Many windows will show some additional degree of physical deterioration, especially in the vulnerable areas mentioned earlier, but even badly damaged windows can be repaired using simple processes. Partially decayed wood can be water-proofed, patched, built-up, or consolidated and then painted to achieve a sound condition, good appearance, and greatly extended life. Three techniques for repairing partially decayed or weathered wood are discussed in this section, and all three can be accomplished using products available at most hardware stores.

One established technique for repairing wood which is split, checked or shows signs of rot, is to: 1) dry the wood, 2) treat decayed areas with a fungicide, 3) water-proof with two or three applications of boiled linseed oil (applications every 24 hours), 4) fill cracks and holes with putty, and 5) after a "skin" forms on the putty, paint the surface. Care should be taken with the use of fungicide which is toxic. Follow the manufacturers' directions and use only on areas which will be painted. When using any technique of building up or patching a flat surface, the finished surface should be sloped slightly to carry water away from the window and not allow it to puddle. Caulking of the joints between the sill and the jamb will help reduce further water penetration.

When sills or other members exhibit surface weathering they may also be built-up using wood putties or home-made mixtures such as sawdust and resorcinol glue, or whitening and varnish. These mixtures can be built up in successive layers, then sanded, primed, and painted. The same caution about proper slope for flat surfaces applies to this technique.

Wood may also be strengthened and stabilized by consolidation, using semi-rigid epoxies which saturate the porous decayed wood and then harden. The surface of the consolidated wood can then be filled with a semi-rigid epoxy patching compound, sanded and painted (see figure 5). Epoxy patching compounds can be used to build up



Figure 5. This illustrates a two-part epoxy patching compound used to fill the surface of a weathered sill and rebuild the missing edge. When the epoxy cures, it can be sanded smooth and painted to achieve a durable and waterproof repair. Photo: John H. Myers

missing sections or decayed ends of members. Profiles can be duplicated using hand molds, which are created by pressing a ball of patching compound over a sound section of the profile which has been rubbed with butcher's wax. This can be a very efficient technique where there are many typical repairs to be done. Technical Preservation Services has published *Epoxies for Wood Repairs in Historic Buildings* (see Additional Reading section at end), which discusses the theory and techniques of epoxy repairs. The process has been widely used and proven in marine applications; and proprietary products are available at hardware and marine supply stores. Although epoxy materials may be comparatively expensive, they hold the promise of being among the most durable and long lasting materials available for wood repair.

Any of the three techniques discussed can stabilize and restore the appearance of the window unit. There are times, however, when the degree of deterioration is so advanced that stabilization is impractical, and the only way to retain some of the original fabric is to replace damaged parts.

### Repair Class III: Splices and Parts Replacement

When parts of the frame or sash are so badly deteriorated that they cannot be stabilized there are methods which permit the retention of some of the existing or original fabric. These methods involve replacing the deteriorated parts with new matching pieces, or splicing new wood into existing members. The techniques require more skill and are more expensive than any of the previously discussed alternatives. It is necessary to remove the sash and/or the affected parts of the frame and have a carpenter or woodworking mill reproduce the damaged or missing parts. Most millwork firms can duplicate parts, such as muntins, bottom rails, or sills, which can then be incorporated into the existing window, but it may be necessary to shop around because there are several factors controlling the practicality of this approach. Some woodworking mills do not like to repair old sash because nails or other foreign objects in the sash can damage expensive knives (which cost far more than their profits on small repair jobs); others do not have cutting knives to duplicate muntin profiles. Some firms prefer to concentrate on larger jobs with more profit potential, and some may not have a craftsman who can duplicate the parts. A little searching should locate a firm which will do the job, and at a reasonable price. If such a firm does not exist locally, there are firms which undertake this kind of repair and ship nationwide. It is possible, however, for the advanced do-it-yourselfer or craftsman with a table saw to duplicate moulding profiles using techniques discussed by Gordie Whittington in "Simplified Methods for Reproducing Wood Mouldings," *Bulletin of the Association for Preservation Technology*, Vol. III, No. 4, 1971, or illustrated more recently in *The Old House*, Time-Life Books, Alexandria, Virginia, 1979.

The repairs discussed in this section involve window frames which may be in very deteriorated condition, possibly requiring removal; therefore, caution is in order. The actual construction of wooden window frames and sash is not complicated. Pegged mortise and tenon units can be disassembled easily, if the units are out of the building. The installation or connection of some frames to the surrounding structure, especially masonry walls, can complicate the work immeasurably, and may even require

dismantling of the wall. It may be useful, therefore, to take the following approach to frame repair: 1) conduct regular maintenance of sound frames to achieve the longest life possible; 2) make necessary repairs in place wherever possible, using stabilization and splicing techniques, and 3) if removal is necessary, thoroughly investigate the structural detailing and seek appropriate professional consultation.

Another alternative may be considered if parts replacement is required, and that is sash replacement. If extensive replacement of parts is necessary and the job becomes prohibitively expensive it may be more practical to purchase new sash which can be installed into the existing frames. Such sash are available as exact custom reproductions, reasonable facsimiles (custom windows with similar profiles), and contemporary wooden sash which are similar in appearance. There are companies which still manufacture high quality wooden sash which would duplicate most historic sash. A few calls to local building suppliers may provide a source of appropriate replacement sash, but if not, check with local historical associations, the state historic preservation office, or preservation related magazines and supply catalogs for information.

If a rehabilitation project has a large number of windows such as a commercial building or an industrial complex, there may be less of a problem arriving at a solution. Once the evaluation of the windows is completed and the scope of the work is known, there may be a potential economy of scale. Woodworking mills may be interested in the work from a large project; new sash in volume may be considerably less expensive per unit; crews can be assembled and trained on site to perform all of the window repairs; and a few extensive repairs can be absorbed (without undue burden) into the total budget for a large number of sound windows. While it may be expensive for the average historic home owner to pay seventy dollars or more for a mill to grind a custom knife to duplicate four or five bad muntins, that cost becomes negligible on large commercial projects which may have several hundred windows.

Most windows should not require the extensive repairs discussed in this section. The ones which do are usually in buildings which have been abandoned for long periods or have totally lacked maintenance for years. It is necessary to thoroughly investigate the alternatives for windows which do require extensive repairs to arrive at a solution which retains historic significance and is also economically feasible. Even for projects requiring repairs identified in this section, if the percentage of parts replacement per window is low, or the number of windows requiring repair is small, repair can still be a cost effective solution.

### Weatherization

A window which is repaired should be made as energy efficient as possible by the use of appropriate weatherstripping to reduce air infiltration. A wide variety of products are available to assist in this task. Felt may be fastened to the top, bottom, and meeting rails, but may have the disadvantage of absorbing and holding moisture, particularly at the bottom rail. Rolled vinyl strips may also be tacked into place in appropriate locations to reduce infiltration. Metal strips or new plastic spring strips may be used on the rails and, if space permits, in

the channels between the sash and jamb. Weatherstripping is a historic treatment, but old weatherstripping (felt) is not likely to perform very satisfactorily. Appropriate contemporary weatherstripping should be considered an integral part of the repair process for windows. The use of sash locks installed on the meeting rail will insure that the sash are kept tightly closed so that the weatherstripping will function more effectively to reduce infiltration.

Although such locks will not always be historically accurate, they will usually be viewed as an acceptable contemporary modification in the interest of improved thermal performance.

Many styles of storm windows are available to improve the thermal performance of existing windows. The use of exterior storm windows should be investigated whenever feasible because they are thermally efficient, cost-effective, reversible, and allow the retention of original windows (see "Preservation Briefs: 3"). Storm window frames may be made of wood, aluminum, vinyl, or plastic; however, the use of unfinished aluminum storms should be avoided. The visual impact of storms may be minimized by selecting colors which match existing trim color. Arched top storms are available for windows with special shapes. Although interior storm windows appear to offer an attractive option for achieving double glazing with minimal visual impact, the potential for damaging condensation problems must be addressed. Moisture which becomes trapped between the layers of glazing can condense on the colder, outer prime window, potentially leading to deterioration. The correct approach to using interior storms is to create a seal on the interior storm while allowing some ventilation around the prime window. In actual practice, the creation of such a durable, airtight seal is difficult.

## Window Replacement

Although the retention of original or existing windows is always desirable and this Brief is intended to encourage that goal, there is a point when the condition of a window may clearly indicate replacement. The decision process for selecting replacement windows should *not* begin with a survey of contemporary window products which are available as replacements, but should begin with a look at the windows which are being replaced. Attempt to understand the contribution of the window(s) to the appearance of the facade including: 1) the pattern of the openings and their size; 2) proportions of the frame and sash; 3) configuration of window panes; 4) muntin profiles; 5) type of wood; 6) paint color; 7) characteristics of the glass; and 8) associated details such as arched tops, hoods, or other decorative elements. Develop an understanding of how the window reflects the period, style, or regional characteristics of the building, or represents technological development.

Armed with an awareness of the significance of the existing window, begin to search for a replacement which retains as much of the character of the historic window as possible. There are many sources of suitable new windows. Continue looking until an acceptable replacement can be found. Check building supply firms, local woodworking mills, carpenters, preservation oriented magazines, or catalogs or suppliers of old building materials, for product information. Local historical associations and state historic preservation offices may be good sources of

information on products which have been used successfully in preservation projects.

Consider energy efficiency as one of the factors for replacements, but do not let it dominate the issue. Energy conservation is no excuse for the wholesale destruction of historic windows which can be made thermally efficient by historically and aesthetically acceptable means. In fact, a historic wooden window with a high quality storm window added should thermally outperform a new double-glazed metal window which does not have thermal breaks (insulation between the inner and outer frames intended to break the path of heat flow). This occurs because the wood has far better insulating value than the metal, and in addition many historic windows have high ratios of wood to glass, thus reducing the area of highest heat transfer. One measure of heat transfer is the U-value, the number of Btu's per hour transferred through a square foot of material. When comparing thermal performance, the lower the U-value the better the performance. According to *ASHRAE 1977 Fundamentals*, the U-values for single glazed wooden windows range from 0.88 to 0.99. The addition of a storm window should reduce these figures to a range of 0.44 to 0.49. A non-thermal break, double-glazed metal window has a U-value of about 0.6.

## Conclusion

Technical Preservation Services recommends the retention and repair of original windows whenever possible. We believe that the repair and weatherization of existing wooden windows is more practical than most people realize, and that many windows are unfortunately replaced because of a lack of awareness of techniques for evaluation, repair, and weatherization. Wooden windows which are repaired and properly maintained will have greatly extended service lives while contributing to the historic character of the building. Thus, an important element of a building's significance will have been preserved for the future.

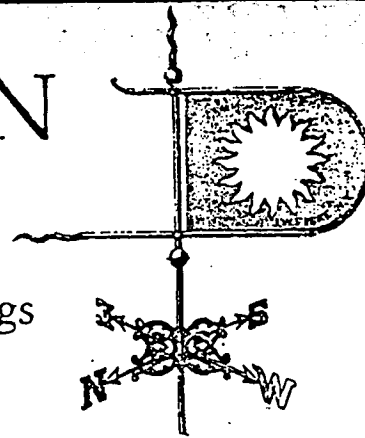
## Additional Reading

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# 3 PRESERVATION BRIEFS

## Conserving Energy in Historic Buildings

Baird M. Smith, AIA



### Technical Preservation Services Division

Office of Archeology and Historic Preservation/Heritage Conservation and Recreation Service

With the dwindling supply of energy resources and new efficiency demands placed on the existing building stock, many owners of historic buildings and their architects are assessing the ability of these buildings to conserve energy with an eye to improving thermal performance. This brief has been developed to assist those persons attempting energy conservation measures and weatherization improvements such as adding insulation and storm windows or caulking of exterior building joints. In historic buildings, many measures can result in the inappropriate alteration of important architectural features, or, perhaps even worse, cause serious damage to the historic building materials through unwanted chemical reactions or moisture-caused deterioration. This brief recommends measures that will achieve the greatest energy savings with the least alteration to the historic buildings, while using materials that do not cause damage and that represent sound economic investments.

#### Inherent Energy Saving Characteristics of Historic Buildings

Many historic buildings have energy-saving physical features and devices that contribute to good thermal performance. Studies by the Energy Research and Development Adminis-

tration (see bibliography) show that the buildings with the poorest energy efficiency are actually those built between 1940-

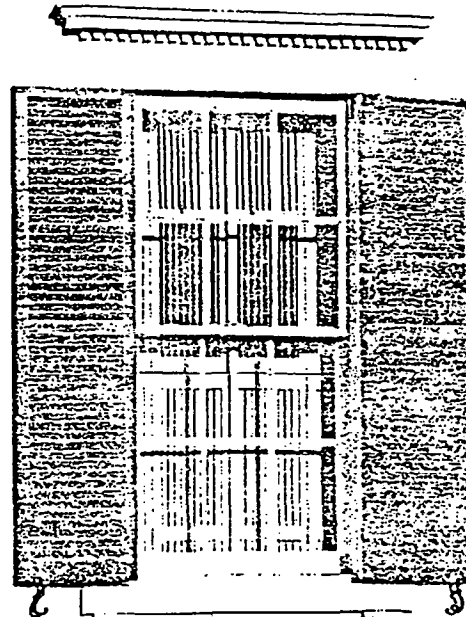


Figure 2. Shutters can be used to minimize the problem of summer heat gain by shading the windows. If operable shutters are in place, their use will help reduce the summer cooling load. (Photo: Baird Smith)

and 1975. Older buildings were found to use less energy for heating and cooling and hence probably require fewer weatherization improvements. They use less energy because they were built with a well-developed sense of physical comfort and because they maximized the natural sources of heating, lighting and ventilation. The historic building owner should understand these inherent energy-saving qualities.

The most obvious (and almost universal) inherent energy saving characteristic was the use of operable windows to provide natural ventilation and light. In addition, historic commercial and public buildings often include interior light-ventilation courts, roof-top ventilators, clerestories or skylights (see figure 1). These features provide energy efficient fresh air and light, assuring that energy consuming mechanical devices may be needed only to supplement the natural energy sources. Any time the mechanical heating and air conditioning equipment can be turned off and the windows opened, energy will be saved.

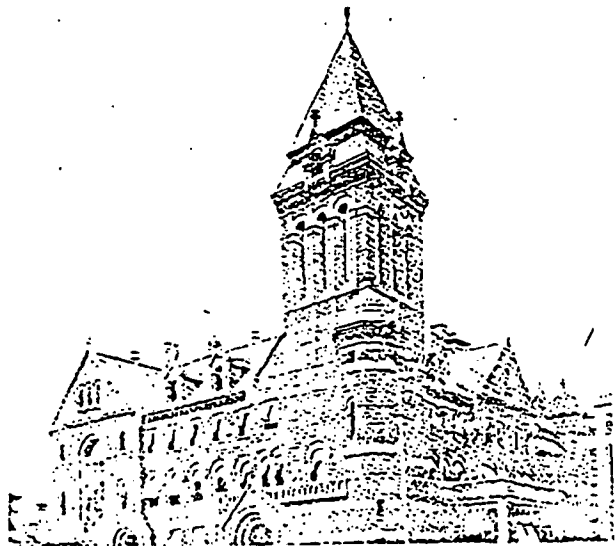


Figure 1. This 1891 Courthouse and Post Office in Rochester, New York, has built-in energy conserving features such as, heavy masonry walls, operable windows, an interior skylighted atrium which provides light and ventilation, and roof-top ventilators which keep the building cool in the summer. Also note the presence of awnings in this old photograph.



Figure 3. Southern mansions typify climate conscious design. The wide roof overhangs, exterior porches, shade trees, heavy masonry walls (painted white), and living quarters on the second floor (to catch evening breezes and escape the radiant heat from the earth's surface) all are energy saving characteristics which provide reasonably comfortable living spaces without mechanical air conditioning. (Photo: Marcia Axtmann Smith)

Early builders and architects dealt with the poor thermal properties of windows in two ways. First, the number of windows in a building was kept to only those necessary to provide adequate light and ventilation. This differs from the approach in many modern buildings where the percentage of windows in a wall can be nearly 100%. Historic buildings, where the ratio of glass to wall is often less than 20%, are better energy conservers than most new buildings. Secondly, to minimize the heat gain or loss from windows, historic buildings often include interior or exterior shutters, interior venetian blinds, curtains and drapes, or exterior awnings (see figure 2). Thus, a historic window could remain an energy efficient component of a building.

There are other physical characteristics that enable historic buildings to be energy efficient. For instance, in the warmer climates of the United States, buildings were often built to minimize the heat gain from the summer sun. This was accomplished by introducing exterior balconies, porches, wide roof overhangs, awnings and shade trees. In addition, many of these buildings were designed with the living spaces on the second floor to catch breezes and to escape the radiant heat from the earth's surface. Also, exterior walls were often painted light colors to reflect the hot summer sun, resulting in cooler interior living spaces (see figure 3).

Winter heat loss from buildings in the northern climates was reduced by using heavy masonry walls, minimizing the number and size of windows, and often using dark paint colors for the exterior walls. The heavy masonry walls used so typically in the late 19th century and early 20th century, exhibit characteristics that improve their thermal performance beyond that formerly recognized (see figure 4). It has been determined that walls of large mass and weight (thick brick or stone) have the advantage of *high thermal inertia*, also known as the "M factor." This inertia modifies the thermal resistance (R factor)\* of the wall by lengthening the time scale of heat transmission. For instance, a wall with high thermal inertia, subjected to solar radiation for an hour, will absorb the heat at its outside surface, but transfer it to the interior over a period as long as 6 hours. Conversely, a wall having the same R factor, but low thermal inertia, will transfer the heat in perhaps 2 hours. High thermal inertia is the reason many older public and commercial buildings, without modern air conditioning, still feel cool on the inside throughout the summer. The heat from the midday sun does not penetrate the buildings until late afternoon and evening, when it is unoccupied.

Although these characteristics may not typify all historic buildings, the point is that historic buildings often have thermal properties that need little improvement. One must understand the inherent energy-saving qualities of a building, and assure, by re-opening the windows for instance, that the building functions as it was intended.

To reduce heating and cooling expenditures there are two broad courses of action that may be taken. First, begin passive measures to assure that a building and its existing components function as efficiently as possible without the necessity of making alterations or adding new materials. The second course of action is preservation retrofitting, which includes altering the building by making appropriate weatherization measures to improve thermal performance. Undertaking the passive measures and the preservation retrofitting recommended here could result in a 50% decrease in energy expenditures in historic buildings.

#### Passive Measures

The first passive measures to utilize are operational controls; that is, controlling *how* and *when* a building is used. These controls incorporate programmatic planning and scheduling efforts by the owner to minimize usage of energy-consuming equipment. A building owner should survey and quantify all aspects of energy usage, by evaluating the monies expended for electricity, gas, and fuel oil for a year, and by surveying how and when each room is used. This will identify ways of conserving energy by initiating operational controls such as:

- lowering the thermostat in the winter, raising it in the summer
- controlling the temperature in those rooms actually used
- reducing the level of illumination and number of lights (maximize natural light)
- using operable windows, shutters, awnings and vents as originally intended to control interior environment (maximize fresh air)
- having mechanical equipment serviced regularly to ensure maximum efficiency
- cleaning radiators and forced air registers to ensure proper operation

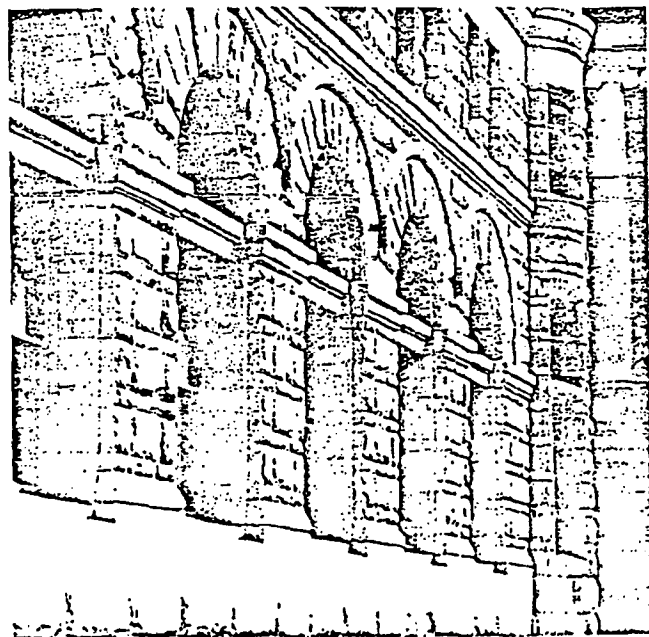
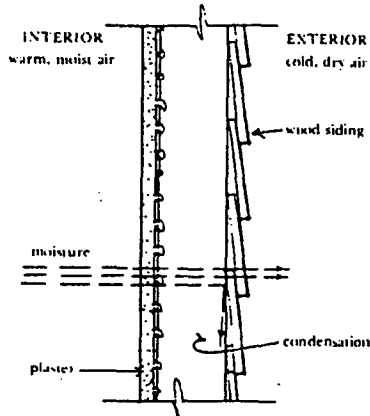


Figure 4. Heavy masonry walls in office buildings dramatically reduce the need for summer cooling because the thermal inertia (M factor) of the masonry wall increases its thermal resistance (R factor), thus delaying the heat transfer into the building until late afternoon when the office workers have gone home. (Photo: Baird Smith)

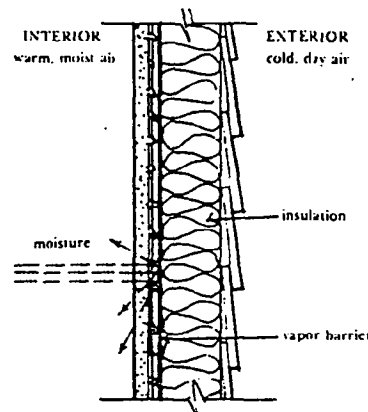
\*R factor is the measure of the ability of insulation to decrease heat flow. The higher the factor, the better the thermal performance of the material.

Figure 5. Moisture migration through walls and roofing occurs as a matter of course in northern winter climates. Problems occur if there is no vapor barrier because the moisture may saturate the insulation and greatly reduce its thermal performance, as well as creating the potential for deterioration of the adjacent materials.

a. Typical wood frame wall where moist inside air freely migrates to the outside. Moisture may condense in the wall cavity and be absorbed into the adjacent materials and evaporate as the wall is heated by the sun.



b. Typical wall condition with insulation and a vapor barrier facing in (toward the heated side of the wall). The vapor barrier prevents moisture migration, thus keeping the insulation dry.



The passive measures outlined above can save as much as 30% of the energy used in a building. They should be the first undertakings to save energy in any existing building and are particularly appropriate for historic buildings because they do not necessitate building alterations or the introduction of new materials that may cause damage. Passive measures make energy sense, common sense, and preservation sense!

#### Preservation Retrofitting

In addition to passive measures, building owners may undertake certain retrofitting measures that will not jeopardize the historic character of the building and can be accomplished at a reasonable cost. Preservation retrofitting improves the thermal performance of the building, resulting in another 20%-30% reduction in energy.

When considering retrofitting measures, historic building owners should keep in mind that there are no permanent

solutions. One can only meet the standards being applied today with today's materials and techniques. In the future, it is likely that the standards and the technologies will change and a whole new retrofitting plan may be necessary. Thus, owners of historic buildings should limit retrofitting measures to those that achieve reasonable energy savings, at reasonable costs, with the least intrusion or impact on the character of the building. Overzealous retrofitting, which introduces the risk of damage to historic building materials, should not be undertaken.

The preservation retrofitting measures presented here, were developed to address the three most common problems in historic structures caused by some retrofitting actions. The first problem concerns retrofitting actions that necessitated inappropriate building alterations, such as the wholesale removal of historic windows, or the addition of insulating

#### The Secretary of the Interior's Standards for Historic Preservation Projects

The Standards for Historic Preservation were developed for the Historic Preservation Fund Grants-in-Aid Program and authorized by the National Historic Preservation Act of 1966. The standards are also used for determining whether a rehabilitation project qualifies as a "certified rehabilitation" pursuant to Section 2124 of the Tax Reform Act of 1976. There are eight "General Standards" (listed below), and additional specific standards and guidelines for the various categories of historic preservation projects. Building owners and architects may obtain a copy of the entire document by writing the Technical Preservation Services Division, Heritage Conservation and Recreation Service, Washington, DC 20240.

#### General Standards

(Those shown in bold print are most applicable to preservation retrofitting.)

1. Every reasonable effort shall be made to provide a compatible use for a property that requires minimal alteration of the building structure, or site and its environment, or to use a property for its originally intended purpose.
2. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations, which have no

historical basis and which seek to create an earlier appearance, shall be discouraged.

4. Changes, which may have taken place in the course of time, are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features or examples of skilled craftsmanship, which characterize a building, structure, or site, shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
8. Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to any acquisition, protection, stabilization, preservation, rehabilitation, restoration, or reconstruction project.

aluminum siding, or installing dropped ceilings in significant interior spaces. To avoid such alterations, refer to the Secretary of the Interior's "Standards for Historic Preservation Projects" which provide the philosophical and practical basis for all preservation retrofitting measures.

The second problem area is to assure that retrofitting measures do not create moisture-related deterioration problems. One must recognize that large quantities of moisture are present on the interior of buildings.

In northern climates, the moisture may be a problem during the winter when it condenses on cold surfaces such as windows. As the moisture passes through the walls and roof it may condense within these materials, creating the potential for deterioration. The problem is avoided if a vapor barrier is added *facing in* (see figure 5).

In southern climates, insulation and vapor barriers are handled quite differently because moisture problems occur in the summer when the moist outside air is migrating to the interior of the building. In these cases, the insulation is installed with the vapor barrier *facing out* (opposite the treatment of northern climates). Expert advice should be sought to avoid moisture-related problems to insulation and building materials in southern climates.

The third problem area involves the avoidance of those materials that are chemically or physically incompatible with existing materials, or that are improperly installed. A serious problem exists with certain cellulose insulations that use ammonium or aluminum sulfate as a fire retardant, rather than boric acid which causes no problems. The sulfates react with moisture in the air forming sulfuric acid which can cause damage to most metals (including plumbing and wiring), building stones, brick and wood. In one instance, a metal building insulated with cellulose of this type collapsed when the sulfuric acid weakened the structural connections! To avoid problems such as these, refer to the recommendations provided here, and consult with local officials, such as a building inspector, the better business bureau, or a consumer protection agency.

Before a building owner or architect can plan retrofitting measures, some of the existing physical conditions of the building should be investigated. The basic building components (attic, roof, walls and basement) should be checked to determine the methods of construction used and the presence of insulation. Check the insulation for full coverage and whether there is a vapor barrier. This inspection will aid in determining the need for additional insulation, what type of insulation to use (batt, blown-in, or poured), and where to install it. In addition, sources of air infiltration should be checked at doors, windows, or where floor and ceiling systems meet the walls. Lastly, it is important to check the condition of the exterior wall materials, such as painted wooden siding or brick, and the condition of the roof, to determine the weather tightness of the building. A building owner must assure that rain and snow are kept out of the building before expending money for weatherization improvements.

#### Retrofitting Measures

The following listing includes the most common retrofitting measures: some measures are highly recommended for a preservation retrofitting plan, but, as will be explained, others are less beneficial or even harmful to the historic building:

- Air Infiltration
- Attic Insulation
- Storm Windows
- Basement and Crawl Space Insulation
- Duct and Pipe Insulation
- Awnings and Shading Devices
- Doors and Storm Doors
- Vestibules
- Replacement Windows
- Wall Insulation—Wood Frame

- Wall Insulation—Masonry Cavity Walls
- Wall Insulation—Installed on the Inside
- Wall Insulation—Installed on the Outside
- Waterproof Coatings for Masonry

The recommended measures to preservation retrofitting begin with those at the top of the list. The first ones are the simplest, least expensive, and offer the highest potential for saving energy. The remaining measures are not recommended for general use either because of potential technical and preservation problems, or because of the costs outweighing the anticipated energy savings. Specific solutions must be determined based on the facts and circumstances of the particular problem; therefore, advice from professionals experienced in historic preservation, such as, architects, engineers and mechanical contractors should be solicited.

**Air Infiltration:** Substantial heat loss occurs because cold outside air infiltrates the building through loose windows, doors, and cracks in the outside shell of the building. Adding weatherstripping to doors and windows, and caulking of open cracks and joints will substantially reduce this infiltration. Care should be taken not to reduce infiltration to the point where the building is completely sealed and moisture migration is prevented. Without some infiltration, condensation problems could occur throughout the building. Avoid caulking and weatherstripping materials that, when applied, introduce inappropriate colors or otherwise visually impair the architectural character of the building. Reducing air infiltration should be the first priority of a preservation retrofitting plan. The cost is low, little skill is required, and the benefits are substantial.

**Attic Insulation:** Heat rising through the attic and roof is a major source of heat loss, and reducing this heat loss should be one of the highest priorities in preservation retrofitting. Adding insulation in accessible attic spaces is very effective in saving energy and is generally accomplished at a reasonable cost, requiring little skill to install. The most common attic insulations include blankets of fiberglass and mineral wool, blown-in cellulose (treated with boric acid only), blowing wool, vermiculite, and blown fiberglass. If the attic is unheated (not used for habitation), then the insulation is placed between the floor joists with the vapor barrier facing down. If flooring is present, or if the attic is heated, the insulation is generally placed between the roof rafters with the vapor barrier facing in. All should be installed according to the manufacturer's recommendations. A weatherization manual entitled, "In the Bank . . . or Up the Chimney" (see the bibliography) provides detailed descriptions about a variety of installation methods used for attic insulation. The manual also recommends the amount of attic insulation used in various parts of the country. If the attic has some insulation, add more (but *without* a vapor barrier) to reach the total depth recommended.

Problems occur if the attic space is not properly ventilated. This lack of ventilation will cause the insulation to become saturated and lose its thermal effectiveness. The attic is adequately ventilated when the net area of ventilation (free area of a louver or vent) equals approximately 1/300 of the attic floor area. With adequate attic ventilation, the addition of attic insulation should be one of the highest priorities of a preservation retrofitting plan.

If the attic floor is inaccessible, or if it is impossible to add insulation along the roof rafters, consider attaching insulation to the ceilings of the rooms immediately below the attic. Some insulations are manufactured specifically for these cases and include a durable surface which becomes the new ceiling. This option should not be considered if it causes irreparable damage to historic or architectural spaces or features; however, in other cases, it could be a recommended measure of a preservation retrofitting plan.



**Storm Windows:** Windows are a primary source of heat loss because they are both a poor thermal barrier (R factor of only 0.89) and often a source of air infiltration. Adding storm windows greatly improves these poor characteristics. If a building has existing storm windows (either wood or metal framed), they should be retained. Assure they are tight fitting and in good working condition. If they are not in place, it is a recommended measure of a preservation retrofitting plan to add new metal framed windows on the exterior. This will result in a window assembly (historic window plus storm window) with an R factor of 1.79 which outperforms a double paned window assembly (with an air space up to 1/4") that only has an R factor of 1.72. When installing the storm windows, be careful not to damage the historic window frame. If the metal frames visually impair the appearance of the building, it may be necessary to paint them to match the color of the historic frame (see figure 6).

Triple-track metal storm windows are recommended because they are readily available, in numerous sizes, and at a reasonable cost. If a pre-assembled storm window is not available for a particular window size, and a custom-made storm window is required, the cost can be very high. In this case, compare the cost of manufacture and installation with the expected cost savings resulting from the increased thermal efficiency. Generally, custom-made storm windows, of either wood or metal frames, are not cost effective, and would not be recommended in a preservation retrofitting plan.

Interior storm window installations can be as thermally effective as exterior storm windows; however, there is high potential for damage to the historic window and sill from condensation. With storm windows on the interior, the outer sash (in this case the historic sash) will be cold in the winter, and hence moisture may condense there. This condensation often collects on the flat surface of the sash or window sill causing paint to blister and the wood to begin to deteriorate. Rigid plastic sheets are used as interior storm windows by attaching them directly to the historic sash. They are not quite as effective as the storm windows described previously because of the possibility of air infiltration around the historic sash. If the rigid plastic sheets are used, assure that they are installed with minimum damage to the historic sash, removed periodically to allow the historic sash to dry, and that the historic frame and sash are completely caulked and weather-stripped.

In most cases, interior storm windows of either metal frames or of plastic sheets are not recommended for preservation retrofitting because of the potential for damage to the historic window. If interior storm windows are in place, the potential for moisture deterioration can be lessened by opening (or removing, depending on the type) the storm windows during the mild months allowing the historic window to dry thoroughly.

**Basement and Crawl Space Insulation:** Substantial heat is lost through cold basements and crawl spaces. Adding insulation in these locations is an effective preservation retrofitting measure and should be a high priority action. It is complicated, however, because of the excessive moisture that is often present. One must be aware of this and assure that insulation is properly installed for the specific location. For instance, in crawl spaces and certain unheated basements, the insulation is generally placed between the first floor joists (the ceiling of the basement) with the vapor barrier facing up. Do not staple the insulation in place, because the staples often rust away. Use special anchors developed for insulation in moist areas such as these.

In heated basements, or where the basement contains the heating plant chimney, or where there are exposed water and sewer pipes, insulation should be installed against foundation walls. Begin the insulation within the first floor joists, and proceed down the wall to a point at least 3 feet below the



*Figure 6. The addition of triple track storm windows, as shown here, greatly improves the thermal performance of existing window assemblies, with a minimal impact on the appearance of the building. (Photo: Baird Smith)*

exterior ground level if possible, with the vapor barrier facing in. Use either batt or rigid insulation.

Installing insulation in the basement or crawl space should be a high priority of a preservation retrofitting plan, as long as adequate provision is made to ventilate the unheated space, perhaps even by installing an exhaust fan.

**Duct and Pipe Insulation:** Wrapping insulation around heating and cooling ducts and hot water pipes, is a recommended preservation retrofitting measure. Use insulation which is intended for this use and install it according to manufacturer's recommendations. Note that air conditioning ducts will be cold in the summer, and hence moisture will condense there. Use insulation with the vapor barrier facing out, away from the duct. These measures are inexpensive and have little potential for damage to the historic building.

**Awnings and Shading Devices:** In the past, awnings and trees were used extensively to provide shade to keep buildings cooler in the summer. If awnings or trees are in place, keep them in good condition, and take advantage of their energy-saving contribution. Building owners may consider adding awnings or trees if the summer cooling load is substantial. If awnings are added, assure that they are installed without damaging the building or visually impairing its architectural character (see figure 7). If trees are added, select deciduous trees that provide shade in the summer but, after dropping their leaves, would allow the sun to warm the building in the winter. When planting trees, assure that they are no closer than 10 feet to the building to avoid damage to the foundations. Adding either awnings or shade trees may be expensive, but in hot climates, the benefits can justify the costs.

**Doors and Storm Doors:** Most historic wooden doors, if they are solid wood or paneled, have fairly good thermal properties and should not be replaced, especially if they are important architectural features. Assure that the frames and doors have proper maintenance, regular painting, and that caulking and weatherstripping is applied as necessary.

A storm door would improve the thermal performance of the historic door; however, recent studies indicate that installing a storm door is not normally cost effective in residential settings. The costs are high compared to the anticipated savings. Therefore, storm doors should only be added to

buildings in cold climates, and added in such a way to minimize the visual impact on the building's appearance. The storm door design should be compatible with the architectural character of the building and may be painted to match the colors of the historic door.

**Vestibules:** Vestibules create a secondary air space at a doorway to reduce air infiltration occurring while the primary door is open. If a vestibule is in place, retain it. If not, adding a vestibule, either on the exterior or interior, should be carefully considered to determine the possible visual impact on the character of the building. The energy savings would be comparatively small compared to construction costs. Adding a vestibule should be considered in very cold climates, or where door use is very high, but in either case, the additional question of visual intrusion must be resolved before it is added. For most cases with historic buildings, adding a vestibule is not recommended.

**Replacement Windows:** Unfortunately, a common weatherization measure, especially in larger buildings, has been the replacement of historic windows with modern double paned windows. The intention was to improve the thermal performance of the existing windows and to reduce long-term maintenance costs. The evidence is clear that adding exterior storm windows is a viable alternative to replacing the historic windows and it is the recommended approach in preservation retrofitting. However, if the historic windows are severely deteriorated and their repair would be impractical, or economically infeasible, then replacement windows may be warranted. The new windows, of either wood or metal, should closely match the historic windows in size, number of panes, muntin shape, frame, color and reflective qualities of the glass.

**Wall Insulation—Wood Frame:** The addition of wall insulation in a wood frame building is generally not recommended as a preservation retrofitting measure because the costs are high, and the potential for damage to historic building materials is even higher. Also, wall insulation is not particularly effective for small frame buildings (one story) because the heat loss from the uninsulated walls is a relatively small percentage of the total, and part of that can be attributed to infiltration. If, however, the historic building is two or more stories, and is located in a cold climate, wall insulation may be considered if extreme care (as explained later) is exercised with its installation.

The installation of wall insulation in historic frame buildings can result in serious technical and preservation problems. As discussed before, insulation must be kept dry to function properly, and requires a vapor barrier and some provision for air movement. Introducing insulation in wall cavities, without a vapor barrier and some ventilation can be disastrous. The insulation would become saturated, losing its thermal properties, and in fact, actually increasing the heat loss through the wall. Additionally, the moisture (in vapor form) may condense into water droplets and begin serious deterioration of adjacent building materials such as sills, window frames, framing and bracing. The situation is greatly complicated, because correcting such problems could necessitate the complete (and costly) dismantling of the exterior or interior wall surfaces. It should be clear that adding wall insulation has the potential for causing serious damage to historic building materials.

If adding wall insulation to frame buildings is determined to be absolutely necessary, the first approach should be to consider the careful removal of the exterior siding so that it may later be reinstalled. Then introduce batt insulation with the vapor barrier facing in into the now accessible wall cavity. The first step in this approach is an investigation to determine if the siding can be removed without causing serious damage.

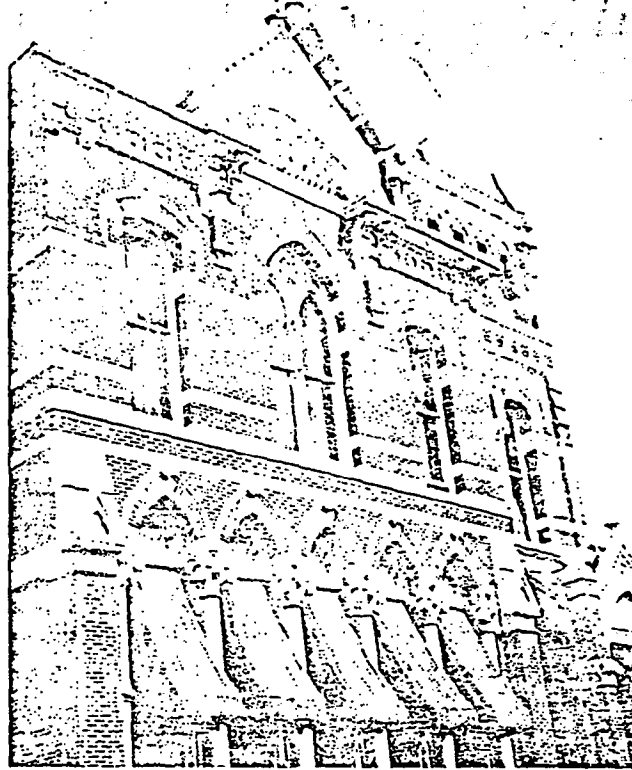


Figure 7. The awnings on the Willard Library in Evansville, Indiana, reduce heat gain in the summer and, when they are raised in the winter, radiant heat from the sun provides free supplementary heat. (Photo: Lee H. Nelson)

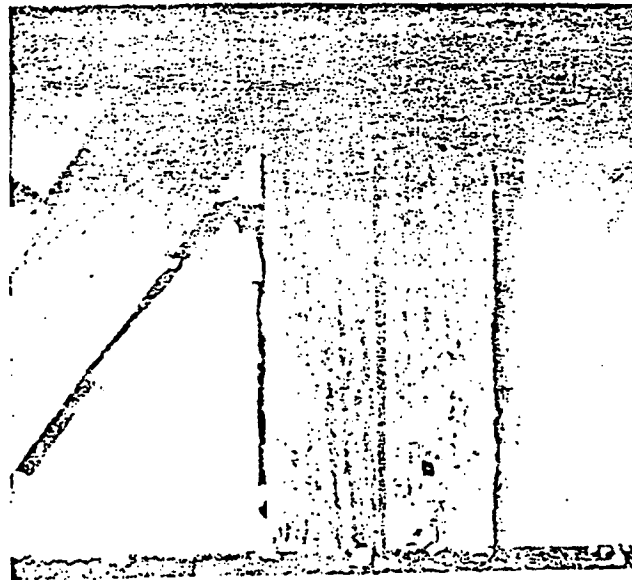


Figure 8. The white material seen between the wooden wall studs is urethane foam. It is injected into the wall cavity wet, and as it cures, large quantities of moisture are given off creating the potential for serious deterioration of adjacent material and may cause paint to blister on interior and exterior wall surfaces. Additionally, foam can shrink as much as that which has cured about 7% by volume, thus reducing the predicted insulating performance. Until some of the technical problems are corrected, foam is not recommended in historic structures. (Photo: Bated Smith)

If it is feasible, introducing insulation in this fashion provides the best possible solution to insulating a wall, and provides an excellent opportunity to view most of the structural system for possible hidden structural problems or insect infestations. A building owner should not consider this approach if it would result in substantial damage to or loss of historic wooden siding. Most siding, however, would probably withstand this method if reasonable care is exercised.

The second possible approach for wall insulation involves injecting or blowing insulation into the wall cavity. The common insulations are the loose fill types that can be blown into the cavity, the poured types, or the injected types such as foam. Obviously a vapor barrier cannot be simultaneously blown into the space. However, an equivalent vapor barrier can be created by assuring that the interior wall surfaces are covered with an impermeable paint layer. Two layers of oil base paint or one layer of impermeable latex paint constitute an acceptable vapor barrier. Naturally, for this to work, the paint layer must cover all interior surfaces adjacent to the newly installed wall insulation. Special attention should be given to rooms that are major sources of interior moisture—the laundry room, the bathrooms and the kitchen.

In addition to providing a vapor barrier, make provisions for some air to circulate in the wall cavity to help ventilate the insulation and the wall materials. This can be accomplished in several ways. One method is to install small screened vents (about 2 inches in diameter) at the base of each stud cavity. If this option is taken, the vents should be as inconspicuous as possible. A second venting method can be used where the exterior siding is horizontally lapped. Assure that each piece of siding is separated from the other, allowing some air to pass between them. Successive exterior paint layers often seal the joint between each piece of siding. Break the paint seal (carefully insert a chisel and twist) between the sections of exterior siding to provide the necessary ventilation for the insulation and wall materials.

With provisions for a vapor barrier (interior paint layer) and wall ventilation (exterior vents) satisfied, the appropriate type of wall insulation may then be selected. There are three recommended types to consider: blown cellulose (with boric acid as the fire retardant), vermiculite, or perlite. Cellulose is the preferred wall insulation because of its higher R factor and its capability to flow well into the various spaces within a wall cavity.

There are two insulation types that are not recommended for wall insulation: urea-formaldehyde foams, and cellulose which uses aluminum or ammonium sulfate instead of boric acid as a fire retardant. The cellulose treated with the sulfates reacts with moisture in the air and forms sulfuric acid which corrodes many metals and causes building stones to slowly disintegrate. This insulation is not appropriate for use in historic buildings.

Although urea-formaldehyde foams appear to have potential as retrofit materials (they flow into any wall cavity space and have a high R factor) their use is not recommended for preservation retrofitting until some serious problems are corrected. The major problem is that the injected material carries large quantities of moisture into the wall system. As the foam cures, this moisture must be absorbed into the adjacent materials. This process has caused interior and exterior paint to blister, and caused water to actually puddle at the base of a wall, creating the likelihood of serious deterioration to the historic building materials. There are other problems that affect both historic buildings and other existing buildings. Foams are a two-part chemical installed by franchised contractors. To obtain the exact proportion of the two parts, the foam must be mixed and installed under controlled conditions of temperature and humidity. There are cases where the controls were not followed and the foam either cured improperly, not attaining the desired R factor, or the

foam continued to emit a formaldehyde smell. In addition, the advertised maximum shrinkage after curing (3%) has been tested and found to be twice as high (see figure 8). Until this material is further developed and the risks eliminated, it is clearly not an appropriate material for preservation retrofitting.

**Wall Insulation—Masonry Cavity Walls:** Some owners of historic buildings with masonry cavity wall construction have attempted to introduce insulation into the cavity. This is not good practice because it ignores the fact that masonry cavity walls normally have acceptable thermal performance, needing no improvement. Additionally, introducing insulation into the cavity will most likely result in condensation problems and alter the intended function of the cavity. The air cavity acts as a vapor barrier in that moist air passing through the inner wythe of masonry meets the cold face of the outer wythe and condenses. Water droplets form and fall to the bottom of the wall cavity where they are channeled to the outside through weep holes. The air cavity also improves the thermal performance of the wall because it slows the transfer of heat or cold between the two wythes, causing the two wall masses to function independently with a thermal cushion between them.

Adding insulation to this cavity alters the vapor barrier and thermal cushion functions of the air space and will likely clog the weep holes, causing the moisture to puddle at the base of the wall. Also, the addition of insulation creates a situation where the moisture dew point (where moisture condenses) moves from the inner face of the outer wythe, into the outer wythe itself. Thus, during a freeze this condensation will freeze, causing spalling and severe deterioration. The evidence is clear that introducing insulation, of any type, into a masonry cavity wall is not recommended in a preservation retrofitting plan.

**Wall Insulation—Installed on the Inside:** Insulation could be added to a wall whether it be wooden or masonry, by attaching the insulation to furring strips mounted on the interior wall faces. Both rigid insulation, usually 1 or 2 inches thick, and batt insulation, generally 3½ inches thick, can be added in this fashion, with the vapor barrier facing in. Extra caution must be exercised if rigid plastic foam insulation is used because it can give off dense smoke and rapidly spreading flame when burned. Therefore, it must be installed with a fireproof covering, usually ½ inch gypsum wallboard. Insulation should not be installed on the inside if it necessitates relocation or destruction of important architectural decoration, such as cornices, chair rails, or window trims, or causes the destruction of historic plaster or other wall finishes. Insulation installed in this fashion would be expensive and could only be a recommended preservation retrofitting measure if it is a large building, located in a cold climate, and if the interior spaces and features have little or no architectural significance.

**Wall Insulation—Installed on the Outside:** There is a growing use of aluminum or vinyl siding installed directly over historic wooden sidings, supposedly to reduce long-term maintenance and to improve the thermal performance of the wall. From a preservation viewpoint, this is a poor practice for several reasons. New siding covers from view existing or potential deterioration problems or insect infestations. Additionally, installation often results in damage or alteration to existing decorative features such as beaded weatherboarding, window and door trim, corner boards, cornices, or roof trim. The cost of installing the artificial sidings, compared with the modest increase, if any, in the thermal performance of the wall does not add up to an effective energy-saving measure. The use of artificial siding is not recommended in a preservation retrofitting plan.

Good preservation practice would assure regular mainte-

Meeting 3-87  
Approved 3-19-87

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

March 5, 1987

M I N U T E S

Commissioners

Philip Cantelon, Chairman  
Adoria Brock  
Nina Clarke  
Steve Karr  
Eileen McGuckian  
Paul Mok

Guests

Robert Reinhardt-Garrett Pk.

Absent

Jack Holl  
Jeff Miskin  
Cyril O'Brien

Staff

Bobbi Hahn

Chairman Philip Cantelon called the meeting to order at 7:30 p.m.

I. Evaluation for Master Plan Recommendations

The first site to be evaluated by the Commission of the Samuel Williams House (#19/23) Route 118, Germantown. Mrs. Hahn, giving the staff presentation, reported that William Williams received a patent for the land on which the subject house stands in 1747. The current house was built by Zachariah Williams for his son, Samuel between 1858 and 1865. It remained in the Williams family until 1937. Its primary importance is for its association with the Williams family which were early settlers in the Germantown area. The house has been vacant for some time and has been greatly altered by its continued deterioration. Although at one time access to the house and barn were from Route 118, presently it is more accessible off Clopper Road.

MOTION: Ms. McGuckian moved that the Williams house not be recommended to the Planning Board for placement on the Master Plan for Historic Preservation because it is too altered. Mrs. Clarke seconded the motion which passed unanimously.

The second site to be evaluated was the Old Culver Farm (#31/1) at 1851 Middlebridge Drive, Layhill. The house was built between 1879 and 1894 by Catherine Whelan. Most of the numerous alterations to the house including the brick and stone facing, the enlargement of the windows on the front facade, and the addition portico with columns were done following purchase of the property by Helen Saul in 1946. The large frame barn, a picture of which is included in the research form, appears to be have been demolished.

MOTION: Mr. Karr moved that the old Culver Farm not be recommended to the Planning Board for placement on the Historic Preservation Master Plan because it is too altered. Ms. McGuckian seconded the motion which passed unanimously.

Mrs. Hahn told the Commission that pursuant to their instructions, she had secured additional information on the Richter barn located at 15000 Hoyle's Mill Road, Boyds, on the property of the Richter Farmhouse (19/15). She showed pictures of the board and batten barn plus the frame wagon shed. Mrs. Westfall, the owner of the property, indicated that the barn and other outbuildings appeared to predate the house which was constructed in 1910. It is believed that the barn was constructed by the same person who built the Leamen barn in old Germantown. That barn retains its 19th century foundation but was substantially rebuilt in the 1970s following a fire. Mrs. Westfall indicated that her family had not used the barn or other outbuildings since the early 1960s and did not have any intention of using them. Mrs. Hahn said that as a policy it was her opinion that the Commission should designate single outbuildings only when the building itself has some extraordinary merit which these did not seem to her to have. Following the Commission discussion of the barn, it was decided that Mrs. Hahn should contact Mrs. Westfall about photographically documenting the details of the barn before it deteriorated any further.

MOTION: Ms. McGuckian moved to remove from the table the consideration of the Richter Farm for Master Plan placement. The motion carried unanimously.

MOTION: Ms. McGuckian moved that the Richter Farm not be recommended for placement on the Master Plan as it does not meet any of the criteria of the ordinance. Mr. Karr seconded the motion which passed unanimously.

## II. Determinations of Substantial Alteration

1. The first application to be considered was that of Robert Reinhardt and Karen Anderson for alterations to 10706 Kenilworth Avenue Garrett Park Atlas historic district. Mr. Reinhardt said

that following the February 19, 1987, meeting with the HPC at which the Commission determined that his proposed alterations would substantially alter his house, it was his understanding that his plans could go in one of two directions: either keep the main block of the house intact and build his additions to the rear, or design his additions so that the roofline of the main block of the house was straight across and reduce the size of the front gable dormer. He then presented to the Commission a new plan no. 4 which in his opinion as an architect was a plan to keep the whole house of a piece where the addition did not appear a clear and separate addition. This was a separate plan from the plan no. 3 dated 2/28/87 which had accompanied his present application.

Mr. Cantelon stated that he preferred plan no. 3 with the addition to the rear because the alterations did not intrude on the original house. Mrs. Brock echoed that statement saying that she felt that plan no. 3 clearly followed the Secretary of the Interior's Standards and Guidelines for Rehabilitation. Ms. McGuckian was in agreement with these statements. Mr. Reinhardt said that he had some problems with plan no. 3 because the addition towered over the main block of the house although it would be recessed somewhat on the lot. Mr. Karr said that he thought some of the problems that Mr. Reinhardt might be having with the plan involved the banks of windows shown on the elevation drawings. he suggested that some modification be made to those windows. Mr. Mok stated that as a architect plan no. 4 looked better but he supported plan no. 3 from the perspective of the Historic Preservation Commission because it retained the architectural integrity of the historic house.

MOTION: Ms. McGuckian moved that plan No.3 dated 2/28/87 for alterations to the house at 10706 Kennilworth Avenue, Garrett Park Atlas historic district not be considered substantial alteration because it was in keeping with the Secretary of the Interior's Guideline no. 2 and that in every elevation the original building is evident and separate from the additions. There was no requirement to change the materials on the original section of the house, however, if those materials are changed the siding should be wood. The siding on the additions is left to the discretion of the owner. The owner also has the discretion to modify the new addition and the garage after consultation with the staff. Finally, the Commission recommends that the north chimney be faced with brick. Mr. Karr seconded the motion which passed unanimously. The Commission thanked Mr. Reinhardt for his patience and his willingness to work with the Commission in finding an agreeable design for his addition.

2. The second application to be considered was that Diane and Mark Svendsen for alterations to 512 New York Avenue, Takoma Park Atlas historic district. The application was to steepen the roof pitch, revise the front dormer, add a rear dormer, extend the side bay extension, and replace one double-hung window on the north elevation with a casement window. The roof shingles are to fiberglass to match those existing on the house; roof overhangs, brackets, detailing, cedar sidewall shingles, and double-hung windows and trimmings are to match existing. Mr. Karr said that this addition was typical of the bungalow style.

MOTION: Mr. Karr moved that the application of Diane and Mark Svendsen not be considered substantial alteration to this resource in the Takoma Park historic district because it is compatible with the bungalow style. Ms. McGuckian seconded the motion which passed unanimously.

### III. The Secretary of the Interior's Standards for Rehabilitation

The Commission discussed adopting the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings as the Historic Preservation Commission's standards. Ms. McGuckian stated that she thought this was a good place for applicants, the HPC, and LACs to start when considering alterations and additions to historic resources. Mrs. Brock suggested that some indication should be made that these were for resources within the historic districts as well as for individual sites. The Commission had previously refrained from adopting these or any other standards because it had felt that the Commission would write its own standards. As this has not yet taken place, the Secretary of the Interior's Standards were good general standards to use. Mrs. Hahn reported that it was her understanding that the Commission may receive CLG money in the upcoming fiscal year to hire someone to compile existing design guidelines and standards.

MOTION: Ms. McGuckian moved that the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings be adopted for use by applicants, LACs, and HPC. Mrs. Brock seconded the motion which passed unanimously.

### IV. Approval of the February 19, 1987, HPC minutes

MOTION: Ms. McGuckian moved that the February 19 minutes be approved as corrected. Mr. Mok seconded the motion. Those voting for the motion were Mr. Cantelon, Mr. Mok, and Ms. McGuckian. Those abstaining were Mrs. Brock, Mrs. Clarke, and Mr. Karr. The motion carried.

V. Commission Staff Items

1. The Commission embarked on a discussion of Silver Spring as a development and preservation project. Mr. Cantelon introduced the subject with a chronology of action to date and Mrs. Hahn outlined the issues to be considered. Lloyd Moore, a developer who proposes to construct a major development which would include the Silver Spring theatre and shopping center, has been invited to make a presentation to the March 19 HPC meeting. In the discussion which followed several Commissioners voiced the opinion that the Commission should take a responsible road between the conflicting views of the development and preservation communities. Richard Striner of the Art Deco Society will be asked to address the Commission at the subsequent meeting. Mrs. Hahn stressed that the March 19th appearance by Mr. Moore was at the Commission's invitation and no action is being sought or should be taken by the Commission at that time. Mr. Moore has invited the Commissioners to take a tour of the Silver Theatre on Wednesday, March 18th. After some discussion the Commission decided that 6:30 p.m. on March 17th would be more convenient as it would be just prior to an 8:00 p.m. lecture by Richard Longstreth at Grace Church, on shopping center architecture.

The Commission then discussed the possibility of hiring someone to do a National Register nomination form for the theatre and shopping center and for the proposed historic district. There was some discussions about the NR eligibility of the entire block in addition to the shopping center and theatre.

MOTION: Ms. McGuckian moved that a maximum of \$500 be spent to hire someone to produce the National Register nomination for the Silver Theatre and Shopping Center. Mr. Mok seconded the motion which passed unanimously.

MOTION: Ms. McGuckian moved that if at all possible the Commission should proceed to consolidate existing research on the rest of the proposed historic district and produce a more comprehensive Maryland Historical Trust inventory form. Mr. Mok seconded the motion which passed unanimously.

2. Mrs. Hahn showed the Commission the site plan for a nursing home which was proposed adjacent to Master Plan Historic site # 34/8, the Julius Marlow house on Musgrove Road off Route 29. After carefully studying the proposal the Commission recommended that the developer be required to install adequate mature evergreen and tree buffering between the new building and the historic site.

3. Mrs. Hahn asked the Commission to consider adopting a redefinition of substantial alteration more in line with the



criteria for the historic area work permit. The Commission agreed that this would be acceptable and asked Mrs. Hahn to draft such a definition.

4. Mrs. Hahn reminded the Commission that they should be careful to avoid representing the Commission independently. She asked them to coordinate any presentations on behalf of the Commission with her office.

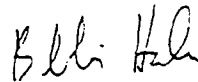
5. Dr. & Mrs. Bullard, owners of Master Plan Historic Site Clifton, 17107 New Hampshire Avenue, Ashton, have invited the Commission to tour the house on Sunday, March 15, at 4:00 p.m. This property is close to a proposed rezoning application for a 700 acre tract from R-2 zone to C-1 zone. Several commissioners indicated their interest in touring Clifton.

6. Mrs. Hahn asked if the Commission wished to support a proposal by the Montgomery County Planning Board to alter legislation covering permit requirements for removal of trees. The amendment to the existing law was to prohibit stripping areas and clearing them of all foliage prior to the approval of a plan of subdivision or site plan. The Commission supported this legislation.

7. Mrs. Hahn stated that she had received calls from several residents of Spencerville concerning road improvements to Spencerville Road which they felt would affect the Atlas historic district. Mrs. Hahn asked if the Commission would like to evaluate the Spencerville Historic district at this time and comment on the proposed widening. The Commission indicated that it would.

8. Mr. Cantelon asked staff to submit an update on the attendance record to the Commissioners. There being no further business, the meeting was adjourned at 10:00 p.m.

Respectfully submitted,



Bobbi Hahn

Chapter 24A.

**HISTORIC RESOURCES PRESERVATION.\***

- § 24A-1. Purpose.
- § 24A-2. Definitions.
- § 24A-3. Master plan for historic preservation; criteria for designation of historic sites or districts.
- § 24A-4. Historic preservation commission.
- § 24A-5. Same—Powers and duties.
- § 24A-6. Historic area work permits—Generally.
- § 24A-7. Same—Application procedures; appeals.
- § 24A-8. Same—Criteria for issuance.
- § 24A-9. Demolition by neglect.
- § 24A-10. Moratorium on alteration or demolition.
- § 24A-11. Violations and penalties.
- § 24A-12. Severability.
- § 24A-13. Historic preservation easement program.

**Sec. 24A-1. Purpose.**

It is the purpose of this chapter to provide for the identification, designation and regulation, for purposes of protection, preservation and continued use and enhancement, of those sites, structures with their appurtenances and environmental settings, and districts of historical, archeological, architectural or cultural value in that portion of the county which is within the Maryland-Washington Regional District. Its further purpose is to preserve and enhance the quality of life in the county, safeguard the historical and cultural heritage of the county, strengthen the local economy, stabilize and improve property values in and around such historical areas, foster civic beauty and to preserve continued utilization and pleasure of the citizens of the county, the state, and the United States of America. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**Sec. 24A-2. Definitions.**

For the purposes of this chapter, the following words and phrases shall have the meanings set forth in this section:

*Appurtenances and environmental setting:* The entire parcel, as of the date on which the historic resource is designated on the

\*Cross reference—Historic preservation tax credit, § 52-41 et seq.

master plan, and structures thereon, on which is located an historic resource, unless reduced by the District Council or the commission, and to which it relates physically and/or visually. Appurtenances and environmental settings shall include, but not be limited to, walkways and driveways (whether paved or not), vegetation (including trees, gardens, lawns), rocks, pasture, cropland and waterways.

*Board:* The county board of appeals of Montgomery County.

*Commission:* The historic preservation commission of Montgomery County as described hereinafter.

*Demolition by neglect:* The failure to provide ordinary and necessary maintenance and repair to an historic site or an historic resource within an historic district, whether by negligence or willful neglect, purpose or design, by the owner or any party in possession of such a site, which results in any of the following conditions:

(a) The deterioration of exterior features so as to create or permit a hazardous or unsafe condition to exist.

(b) The deterioration of exterior walls, roofs, chimneys, windows, the lack of adequate waterproofing or deterioration of interior features or foundations which will or could result in permanent damage, injury or loss of or to the exterior features.

*Director:* The director of the department of environmental protection of Montgomery County, or his designee.

*Exterior features:* The architectural style, design and general arrangement of the exterior of an historic resource, including the color, nature and texture of building materials, and the type of style of all windows, doors, light fixtures, signs or other similar items found on or related to the exterior of an historic resource.

*Historic district:* A group of historic resources which are significant as a cohesive unit and contribute to the historical, architectural, archeological or cultural values within the Maryland-Washington Regional District and which has been so designated in the master plan for historic preservation.

*Historic resource:* A district, site, building, structure or object, including its appurtenances and environmental setting, which is significant in national, state or local history, architecture, archeology or culture. This includes, but is not limited to, all properties on the "Locational Atlas and Index of Historic Sites in Montgomery County".

*Historic site:* Any individual historic resource that is significant and contributes to the historical, architectural, archeological or cultural values within the Maryland-Washington Regional District and which has been so designated in the master plan for historic preservation.

*Permit:* An historic area work permit issued by the director authorizing work on an historic site or an historic resource located within an historic district.

*Planning board:* The Montgomery County Planning Board of the Maryland-National Capital Park and Planning Commission.

*Preservation easement* means an easement held by the county to protect, maintain, or otherwise conserve an historic resource. (Ord. No. 9-4, § 1; 1989 L.M.C., ch. 4, § 1; Ord. No. 11-59.)

**Sec. 24A-3. Master plan for historic preservation; criteria for designation of historic sites or districts.**

(a) As part of the general plan for the physical development of that portion of the county within the Maryland-Washington Regional District, there shall be prepared, adopted and approved a master plan for historic preservation which shall constitute an amendment to the general plan for the Maryland-Washington Regional District. Such plan shall designate historic sites and historic districts and describe their boundaries; it shall propose means for the integration of historic preservation into the planning process; and it shall suggest other measures to advance the goals of historic preservation.

(b) In considering historic resources for designation as historic sites or historic districts, the planning board shall apply the following criteria:

(1) *Historical and cultural significance.* The historic resource:

- a. Has character, interest or value as part of the development, heritage or cultural characteristics of the county, state or nation;
- b. Is the site of a significant historic event;
- c. Is identified with a person or a group of persons who influenced society; or
- d. Exemplifies the cultural economic, social, political or historic heritage of the county and its communities.

(2) *Architectural and design significance.* The historic resource:

- a. Embodies the distinctive characteristics of a type, period or method of construction;
- b. Represents the work of a master;
- c. Possesses high artistic values;
- d. Represents a significant and distinguishable entity whose components may lack individual distinction; or
- e. Represents an established and familiar visual feature of the neighborhood, community or county due to its singular physical characteristic or landscape. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**Sec. 24A-4. Historic preservation commission.**

(a) *Created.* There is hereby created a commission to be known as the "historic preservation commission of Montgomery County, Maryland."

(b) *Membership.* The commission shall consist of 9 members appointed by the county executive with the confirmation of the county council. Each member must be a resident of the county. The 4 fields of history, architecture, preservation and urban design shall be represented by a minimum of 1 member qualified by special interest, knowledge or training. The remaining members of the commission shall, to the extent possible, be selected to represent the geographical, social, economic and cultural concerns of the residents of the county.

(c) *Officers.* The county executive shall appoint the chairman and vice-chairman of the commission, who shall serve at his pleasure, but such appointments occurring after the commission's first year of operation shall be made after due consideration has been given to the recommendation of the commission.

(d) *Term.* The terms of the members of the commission shall be for a three-year period and members shall continue to serve until their successors are appointed and qualified.

(e) *Vacancy.* Any vacancy in the membership of the commission caused by the expiration of a term, by resignation or death, by a superseding incapacity to discharge duties, by a removal for cause, or by any other cause creating such vacancy, shall be filled for a new term, or for the remainder of the term for which there

is a vacancy as the case may be, in the same manner as provided herein for the nomination and appointment of the initial members of the commission.

(f) *Removal for cause.* A member may be removed for cause from the commission by the county executive.

(g) *Compensation.* The members of the commission serve without compensation.

(h) *Regulations.* The commission must adopt, under method (2) of Section 2A-15 of this Code, rules, guidelines and regulations that are necessary for the proper transaction of the business of the commission. This includes provisions governing contested cases before the commission.

(1) *Meetings.* The commission shall hold such regular meetings which, in its discretion, are necessary to discharge its duties. Such meetings shall be open to the public.

(2) *Staff.* There may be appointed and assigned to the commission such employees, and the chief administrative officer shall make available to the commission such services and facilities of the county, as are necessary or appropriate for the proper performance of its duties, and the county attorney shall serve as counsel to the commission. (Ord. No. 9-4, § 1; 1984 L.M.C., ch. 24, § 26; Ord. No. 11-59; FY 1991 L.M.C., ch. 9, § 1.)

Cross reference—Boards and commissions generally, § 2-141 et seq.

#### **Sec. 24A-5. Same—Powers and duties.**

The commission has the following powers and duties:

(a) To research historic resources and to recommend to the planning board that certain of them be designated as historic sites or historic districts on the master plan for historic preservation and, hence, be subject to the provisions of this chapter.

(b) To recommend to the planning board, as needed, any update to the inventory of historic resources which is contained in the "Locational Atlas and Index of Historic Sites in Montgomery County".

(c) To act upon applications for historic area work permits and other matters referred to it for action pursuant to the provisions of this chapter.

(d) To appoint members to local advisory panels to assist and advise the commission on the performance of its functions.

(e) To recommend programs and legislation to the council and the planning board to encourage historic preservation in the Maryland-Washington Regional District.

(f) To review any legislation and proposals affecting historic preservation, including preparation of master plans, and to make recommendations on such legislation and proposals to appropriate authorities.

(g) To serve as a clearinghouse for information on historic preservation for county government, individuals, citizens' associations, historic societies and local advisory committees; to provide information and educational materials for the public; and to undertake activities to advance the goals of historic preservation in the county.

(h) To employ or hire consultants or other temporary personnel, consistent with county contract provisions, as deemed necessary to assist the commission in the accomplishment of its functions; such consultants or other personnel shall be compensated as may be provided for in the county budget.

(i) To administer an historic preservation easement program and any revolving funds or grant programs to assist in historic preservation.

(j) To advise the planning board, in the event of subdivision of land containing an historic resource, on the appurtenances and environmental setting necessary to preserve it.

(k) To delineate the extent of appurtenances and environmental setting associated with an historic site or resource. (Ord. No. 9-4, § 1; 1989 L.M.C., ch. 4, § 1; Ord. No. 11-59.)

#### Sec. 24A-6. Historic area work permits--Generally.

(a) *Required.* An historic area work permit for work on public or private property containing an historic resource must be issued pursuant to the provisions of this chapter before:

(1) Constructing, reconstructing, moving, relocating, demolishing or in any manner modifying, changing or altering the exterior features of any historic site or any historic resource located within any historic district.

(2) Performing any grading, excavating, construction or substantially modifying, changing or altering the environmental setting of an historic site or an historic resource located within an historic district;

(3) Erecting or causing to be erected any sign or advertisement (with the exception of those signs which temporarily advertise for sale an historic site or an historic resource located within an historic district, or which for a temporary period advertise a political viewpoint) on the exterior or on the environmental setting of any historic site or any historic resource located within any historic district.

(b) *Exceptions.* Nothing in this section shall be construed to require the issuance of an historic area work permit for any ordinary maintenance, repair of exterior features, any customary farming operations or any landscaping, which will have no material effect on historic resource located within an historic district, of which such features are a part. For the purposes of clarification of this section, the commission shall develop and publish guidelines regarding what activities constitute ordinary maintenance and shall send a copy of these guidelines by registered mail to all owners of historic resources designated on the master plan.

(c) *Disclosure requirements.*

(1) Applicants for permits to demolish or substantially alter the exterior features of any historic site or historic resource located within an historic district are required to disclose its identification as such in writing on any application therefor.

(2) Any person who shall undertake any work as stated in subsection (a) of this section without first obtaining an historic area work permit shall be subject to the penalties established in section 24A-11.

(d) *Advice of commission prior to application.* The commission shall adopt procedures to encourage owners of historic resources to seek the advice of the commission prior to filing an application for an historic area work permit, on the appurtenances and environmental setting appropriate to the resource, construction methods and materials, financial information concerning historic preservation or any other matter under this chapter affecting the issuance of a permit. (Ord. No. 9-4, § 1; Ord. No. 11-59.)



**Sec. 24A-7. Same—Application procedures; appeals.**

(a) *Applications.* Applications for issuance of an historic area work permit shall be filed with the director. The application shall be in such form and contain such information as may be required to provide information as shall be necessary for the commission to evaluate an act upon such applications in accordance with the provisions of this chapter.

(b) *Referral of application.* Upon the filing of a completed application, within 3 days the director shall forward the application and all attachments to the commission for its review.

(c) *Public appearance.* Upon receipt of the application, the commission shall schedule a public appearance at a commission meeting at which time it will consider the application.

(d) *Notice.* After scheduling of a public appearance, the commission shall forward notice of the public appearance to those citizens or organizations which the commission feels may have an interest in the proceedings.

Upon being advised by the commission of the scheduling of a public appearance, the director shall forward the application and all attachments to the planning board for its review and comments which, if any, are to be made to the commission prior to the public appearance.

(e) *Conduct of commission meeting.* At the public appearance, the procedure will be informal and formal rules of evidence will not be applicable. Interested persons will be encouraged to comment and minutes of the proceedings will be kept.

(f) *Action by the commission.*

(1) Within 45 days after the filing of an application or, in the event the record is left open by the commission, within 15 days after the close of the record, the commission shall make its decision public.

(2) The commission may instruct the director to:

- a. Issue the permit; or
- b. Issue the permit subject to such conditions as are necessary to insure conformity with the provisions and purposes of this chapter; or
- c. Deny the permit.

(3) In the event of a denial of a permit, the applicant shall receive a written notification of the reasons for such denial.

(4) If, after a public appearance, the commission finds that denial of the permit applied for will result in the denial of reasonable use of the property or impose undue hardship on the owner, and within a period of 120 days after such finding no economically feasible plan for the preservation of the structure has been demonstrated by those seeking preservation, the commission must then instruct the director to issue a permit with, if applicable, such reasonable conditions which will further the intent and purposes of this chapter.

(5) Failure of the commission to act on an application within the time periods provided in the provisions of this subsection shall require that the application be deemed granted. By his written consent, the applicant may extend the time period for commission action.

(g) *Miscellaneous provisions.*

(1) The applicant for a permit shall have the responsibility of providing information sufficient to support the application and the burden of persuasion on all questions of fact which are to be determined by the commission. Properties subject to deeds of easement held by other historic preservation organizations shall submit proof of approval of exterior architectural review by the organization holding the easement.

(2) Any permit issued by the director may be subject to such conditions imposed by the commission as are reasonably necessary to assure that work in accordance with the permit shall proceed and be performed in a manner not injurious to those characteristics and qualities of the historic resource which are of historical, architectural, archeological or cultural value.

(3) In the event that there is a conflict between the permit and the requirements of the building code, the permit would control provided that all health and safety requirements are met.

(4) The director is responsible for the enforcement of this chapter.

(h) *Appeal.*

(1) In the event that any party is aggrieved by a decision of the commission, within 30 days from the date on which the commission's decision is made public, such party aggrieved may appeal to the board of appeals which will review the commission's decision *de novo*. The board of appeals has full and exclusive authority to hear and decide all appeals taken from decisions of

the commission in the administration of this chapter. The board of appeals has the authority to affirm, modify or reverse the order or decision of the commission.

(2) Appeals from decision of the county board of appeals shall be in accordance with section 2-114 of this Code. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**Sec. 24A-8. Same—Criteria for issuance.**

(a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

(4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

(5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

(6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

#### Sec. 24A-9. Demolition by neglect.

In the event of a case of demolition by neglect of an historic resource on public or private property, the following provisions shall apply:

(a) If the historic resource has been designated on the master plan as an historic site or an historic resource within an historic district, the director shall issue a written notice to all persons of record with any right, title or interest in the subject property, or the person occupying such premises, of the conditions of deterioration and shall specify the minimum items of repair or maintenance necessary to correct or prevent further deterioration. The notice shall provide that corrective action shall commence within 30 days of the receipt of such notice and be completed within a reasonable time thereafter. The notice shall state that the owner of record of the subject property, or any person of record with any right, title or interest therein, may, within 10 days after the receipt of the notice, request a hearing on the necessity of the items and conditions contained in such notice. In the event a public hearing is requested, it shall be held by the commission upon 30 days' written notice mailed to all persons of record with any right, title or interest in the subject property and

to all citizens and organizations which the director feels may have an interest in the proceedings.

(1) After a public hearing on the issue of necessity of improvements to prevent demolition by neglect, if the commission finds that such improvements are necessary, it shall instruct the director to issue a final notice to be mailed to the record owners and all parties of record with any right, title or interest in the subject property advising of the items of repair and maintenance necessary to correct or prevent further deterioration. The owners shall institute corrective action to comply with the final notice within 30 days of receipt of the revised notice.

(2) In the event the corrective action specified in the final notice is not instituted within the time allotted, the director may institute, perform and complete the necessary remedial work to prevent deterioration by neglect and the expenses incurred by the director for such work, labor and materials shall be a lien against the property, and draw interest at the highest legal rate, the amount to be amortized over a period of 10 years subject to a public sale if there is a default in payment.

(3) Failure to comply with the original or final notice shall constitute a violation of this chapter for each day that such violation continues and shall be punishable as set forth in section 24A-11.

(4) In the event that the commission finds that, notwithstanding the necessity for such improvements, action provided in paragraphs (1) and (2) of this subsection would impose a substantial hardship on any or all persons with any right, title or interest in the subject property, then the commission shall seek alternative methods to preserve the historic site or historic resource located within an historic district. If none are confirmed within a reasonable time, the director shall not proceed in accordance with paragraphs (1) and (2).

(b) If the historic resource is listed in the "Locational Atlas and Index of Historic Sites in Montgomery County, Maryland," or the microfilmed addenda to such atlas, published by the Maryland-National Capital Park and Planning Commission, the director shall advise the planning board which, after receiving the recommendation of the commission, shall conduct a public hearing to determine whether the historic resource will be designated as an

historic site or historic district in the master plan for historic preservation.

(1) Where the planning board determines that the historic resource will not be included in the master plan for historic preservation, no further action will be taken.

(2) Where the planning board determines that the historic resource in all likelihood will be included in the master plan for historic preservation, the planning board shall initiate an amendment to the master plan for historic preservation pursuant to the provisions of article 28 of the Annotated Code of Maryland.

a. In the event that such amendment is adopted and the historic resource is placed on the master plan for historic preservation as an historic site or an historic resource within an historic district, the director shall give written notice to all persons with any right, title, or interest in the subject property of the conditions of deterioration and shall specify the items of repair or maintenance necessary to stabilize the condition of the historic resource and prevent further deterioration.

b. Such notice shall provide that such stabilization work shall commence within 30 days of receipt of the notice and shall be completed within a reasonable time thereafter.

c. In the event that stabilization action is not instituted within the time allotted, or not completed within a reasonable time thereafter, the director may institute, perform and complete the necessary stabilization work and the expenses incurred by the director for such work, labor or materials shall be a lien against the property, and draw interest at the highest legal rate, the amount to be amortized over a period of 10 years subject to a public sale if there is a default in payment. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

#### Sec. 24A-10. Moratorium on alteration or demolition.

(a) *Application for permits for historic resources on locational atlas.* Any applicant for a permit to demolish or substantially alter the exterior features of any historic resource which is listed in the "Locational Atlas and Index of Historic Sites in Montgomery County, Maryland," or the microfilmed addenda to such atlas, published by the Maryland-National Capital Park and Planning Commission, but which is not designated as an historic site

or historic district on the master plan for historic preservation, shall be required to disclose such fact on the application.

(b) *Referral to the planning board.* Upon receipt of such application, the director shall promptly forward the same to the planning board to make a finding, after a public hearing, as to the significance of the historic resource and to determine whether in its opinion, after due consideration has been given to the recommendations of the commission, it will be designated as an historic site or an historic resource within an historic district, listed in the master plan for historic preservation. The planning board's public hearing on an application to demolish or substantially alter any historic resource listed in the locational atlas satisfies the requirements of section 33A-6 of the Code for a public hearing on a preliminary draft amendment to the historic preservation master plan if all notice requirements of that section are met.

(c) *Determination by the planning board.*

(1) Where the planning board determines that the historic resource will not be included in the master plan for historic preservation, the director shall forthwith issue the permit.

(2) Where the planning board determines that the historic resource in all likelihood will be included in the master plan for historic preservation, the director shall withhold issuance of the permit once for a maximum period of 195 days from the date the application for demolition is filed. If, as a result of the master plan process, the property is designated an historic site or an historic resource within an historic district, the application shall be governed by the procedures established in section 24A-7.

If, after a public appearance as provided for in section 24A-7, the commission determines that failure to grant the permit applied for will have the effect of denying the property owner of all reasonable use of his property or causing him to suffer under hardship, then the commission must instruct the director to issue the permit subject to such conditions, if any, as are found to be necessary to insure conformity with the purposes and requirements of this chapter.

(d) *Time limits for planning board action.*

(1) Within 60 days after the filing of an application, or within 15 days after the closing of the record following a public hearing, whichever occurs later, the planning board shall render its findings and determinations with respect to an application.

(2) Failure to adhere to the limits specified in section 24A-10 shall cause the permit to issue by operation of law, except in the event of a finding and further proceedings as provided in subsection (c)(2) of this section. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**Sec. 24A-11. Violations and penalties.**

Any person who violates a provision of this chapter, or fails to comply with any of the requirements thereof, or disobeys or disregards a decision of the commission, or fails to abide by the conditions of a permit, shall be subject to punishment for a class A violation as set forth in section 1-19 of chapter 1 of the County Code. Each day a violation continues to exist shall constitute a separate offense. (Ord. No. 9-4, § 1; 1983 L.M.C., ch. 22, § 28; Ord. No. 11-59.)

**Sec. 24A-12. Severability.**

The provisions of this chapter are severable and if any provisions, clause, sentence, section, word or part thereof is held illegal, invalid or unconstitutional, or inapplicable to any person or circumstances, such illegality, invalidity or unconstitutionality, or inapplicability shall not affect or impair any of the remaining provisions, clauses, sentences, sections, words or parts of the chapter or their applications to other persons or circumstances. It is hereby declared to be the legislative intent that this chapter would have been adopted if such illegal, invalid or unconstitutional provision, clause, sentence, section, word or part had not been included therein, and if the person or circumstance to which the chapter or part thereof is inapplicable had been specifically exempted therefrom. (Ord. No. 9-4, § 1; Ord. 1159.)

**Sec. 24A-13. Historic preservation easement program.**

(a) There is a county easement program to preserve historic resources in Montgomery County. The commission must administer the program in accordance with this section.



(b) (1) An owner of an historic resource may offer the county a preservation easement to protect or conserve interior or exterior features of the historic resource and its environmental setting or appurtenances by making application to the commission.

(2) Upon receipt of an application, the commission must immediately forward the application for review and comment to:

(A) the planning board if the historic resource is located within the Maryland-Washington Regional District; and

(B) the appropriate agency of a municipality if the historic resource is located within a municipality.

Review and comment under this paragraph must be made within 45 days and should include an evaluation of the proposal using the criteria specified in this section as well as identification of competing or supporting land use priorities or other relevant factors or issues. Recommendations may include proposed easement terms and conditions.

(3) The commission must review the application to determine if acceptance of the preservation easement would further the county's historic preservation goals. In making its determination, the commission should consider, among other relevant factors:

(A) the relative significance of the historic resource;

(B) the structural condition;

(C) the owner's planned or completed preservation efforts;

(D) the existing zoning and nature of the surrounding neighborhood; and

(E) whether an easement will promote long-term survival of the historic resource.

(c) If the historic resource is designated as an historic site in the county master plan for historic preservation, either as an individual site or located within an historic district, the county may acquire an easement upon positive recommendation of the commission and approval of the county executive. If the historic resource is not designated as an historic site in the master plan, the additional approval of the county council is required prior to any acceptance by the county. The commission must forward any comments received under subsection (b)(2) to the county executive and the county council, as appropriate.

(d) A preservation easement under this section should be granted in perpetuity and include appropriate terms and conditions that:

- (1) restrict changes and alterations;
- (2) require maintenance, repairs, and administration;
- (3) authorize public access;
- (4) provide a right of governmental inspection;
- (5) provide for a right of assignment to the Maryland Historical Trust or other appropriate agency or entity; and
- (6) establish enforcement remedies.

(e) The county may hold a preservation easement jointly with the Maryland Historical Trust.

(f) A preservation easement must be recorded by the grantor among the land records of the county at the grantor's cost. The grantor must notify the supervisor of assessments and the Office of the Public Tax Advocate of the recordation of the preservation easement.

(g) Reserved.\*

(h) A preservation easement may be extinguished by judicial proceeding of an unexpected change in the conditions applicable to the property, such as casualty, make it impossible or impractical to continue to use it for preservation purposes. The terms of an easement related to extinguishment should identify appropriate changes in condition, provide that the county share in any proceeds from a subsequent sale or exchange of the property after the easement is extinguished, and be in accordance with any applicable executive regulations. The sharing in proceeds may include the recapture of property taxes saved by the grantor or its successor in interest, either in part or in full, as a result of the easement.

(i) The commission may enter into a cooperative agreement with the Maryland Historical Trust or other appropriate agencies or entities for technical assistance in administering the historic easement program. This may include assistance in property evaluation, negotiation, and inspection.

(j) (1) The easement program authorized under this section is in addition to, and does not supersede or otherwise affect, any other county or municipal program or policy requiring the dona-

\*Editor's note—As originally enacted, 1989 L.M.C., ch. 4, contained no subsection (g).

tion of a preservation easement as a condition of financial assistance. It must operate in conjunction with other county or municipal easement programs.

(2) The grant of an easement under this section does not eliminate or otherwise alter any county or municipal regulatory requirement applicable to the historic resource, including any requirement to obtain an historic area work permit.

(k) The county executive, with the advice of the commission, may adopt regulations under method (2) to administer the historic preservation easement. (1989 L.M.C., ch. 4, § 1; Ord. No. 11-59.)

*Editor's note*—Section 24A-13, relating to the applicability of this chapter within incorporated municipalities, derived from Ord. No. 9-4, § 1, was repealed by § 15 of 1985 L.M.C., ch. 31. See § 2-96.

Subsequently, § 1, of 1989 L.M.C., ch. 4, added a new § 24A-13. Section 2 of that act reads as follows:

*Sec. 2.*

To assist the County in its administration of the historic preservation easement program, the supervisor of assessments is requested to maintain records of both the assessment of the property as restricted under this program by easement and the assessment that would apply if the property was not subject to an easement.

receipt of the complete application describing the rehabilitation. The Secretary shall determine if the project is consistent with the Standards for Rehabilitation. If the project does not meet the Standards for Rehabilitation, the owner shall be notified of that fact in writing and, if necessary, will be advised of necessary actions to meet such Standards. Additional procedures for rehabilitation projects determined to meet the Standards for Rehabilitation, see § 67.6(f).

If a proposed or ongoing project has been approved, substantive changes to the work as described in the application must be brought to the attention of the Secretary in a written statement through the Secretary to ensure continued conformance with the Standards; such changes could be made using a Historic Preservation Certification Application/Continuation/Amendment (Form 10-168b). The Secretary shall notify the owner and the applicant in writing whether the revised application continues to meet the Standards. Approvals of revisions are final and valid.

Completed projects may be inspected by an authorized representative of the Secretary to determine if they meet the Standards for Rehabilitation. The Secretary reserves the right to make inspections at any time within five years after completion of rehabilitation and to revoke a certification, after giving the owner 30 days' notice on the matter, if it is determined that the rehabilitation was not undertaken as represented by the owner in his or her application and supporting documentation, or if the owner, upon obtaining certification, undertook further unauthorized work inconsistent with the Standards for Rehabilitation. The tax consequences of a denial of certification will be determined by the Secretary of the

Secretary. If a proposed, ongoing, or completed project does not meet the Standards for Rehabilitation, a written advisory letter will be sent to the owner with a copy to the Secretary of the

Secretary. If a proposed, ongoing, or completed project does not meet the Standards for Rehabilitation and which is determined to have lost those qualities which caused it to be nominated to the National Register, it will be removed from the National Register in accordance with Department of the Interior regulations 36 CFR part 60. Similarly, if a property has lost those qualities which caused it to be designated a certified historic structure, it will be certified as noncontributing (see § 67.4 and § 67.5). In either case, the delisting or certification of nonsignificance is considered effective as of the date of issue and is not considered to be retroactive. In these situations, the Internal Revenue Service will be notified of the substantial alterations. The tax consequences of a denial of certification will be determined by the Secretary of the Treasury.

#### § 67.7 Standards for Rehabilitation.

(a) The following Standards for Rehabilitation are the criteria used to determine if a rehabilitation project qualifies as a certified rehabilitation. The intent of the Standards is to assist the long-term preservation of a property's significance through the preservation of historic materials and features. The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior of historic buildings. The Standards also encompass related landscape features and the building's site and environment, as well as attached, adjacent, or related new construction. To be certified, a rehabilitation project must be determined by the Secretary to be consistent with the historic character of the structure(s) and, where applicable, the district in which it is located.

(b) The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility. (The application of these Standards to rehabilitation projects is to be the same as under the previous version so that a project previously acceptable would continue to be acceptable under these Standards.)

(1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

(2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

(3) Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

(4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

(5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

(6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

(7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

(8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic

integrity of the property and its environment.

(10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

(c) The quality of materials and craftsmanship used in a rehabilitation project must be commensurate with the quality of materials and craftsmanship of the historic building in question. Certain treatments, if improperly applied, or certain materials by their physical properties, may cause or accelerate physical deterioration of historic buildings. Inappropriate physical treatments include, but are not limited to: improper repointing techniques; improper exterior masonry cleaning methods; or improper introduction of insulation where damage to historic fabric would result. In almost all situations, use of these materials and treatments will result in denial of certification. Similarly, exterior additions that duplicate the form, material, and detailing of the structure to the extent that they compromise the historic character of the structure will result in denial of certification. For further information on appropriate and inappropriate rehabilitation treatments, owners are to consult the Guidelines for Rehabilitating Historic Buildings published by the NPS. "Preservation Briefs" and additional technical information to help property owners formulate plans for the rehabilitation, preservation, and continued use of historic properties consistent with the intent of the Secretary's Standards for Rehabilitation are available from the SHPOs and NPS regional offices. Owners are responsible for procuring this material as part of property planning for a certified rehabilitation.

(d) In certain limited cases, it may be necessary to dismantle and rebuild portions of a certified historic structure to stabilize and repair weakened structural members and systems. In such cases, the Secretary will consider such extreme intervention as part of a certified rehabilitation if:

(1) The necessity for dismantling is justified in supporting documentation;

(2) Significant architectural features and overall design are retained; and

(3) Adequate historic materials are retained to maintain the architectural and historic integrity of the overall structure.

Section 48(g) of the Internal Revenue Code of 1986 exempts certified historic structures from meeting the physical test for retention of external walls and internal structural framework specified therein for other rehabilitated buildings. Nevertheless, owners are cautioned that the Standards for Rehabilitation require retention of distinguishing historic materials of external and internal walls as well as structural systems. In limited instances, rehabilitations involving removal of existing external walls, i.e., external walls that detract from the historic character of the structure such as in the case of a nonsignificant later addition or walls that have lost their structural integrity due to deterioration, may be certified as meeting the Standards for Rehabilitation.

(e) Prior approval of a project by Federal, State, and local agencies and organizations does not ensure certification by the Secretary for Federal tax purposes. The Secretary's Standards for Rehabilitation take precedence over other regulations and codes in determining whether the rehabilitation project is consistent with the historic character of the property and, where applicable, the district in which it is located.

(f) The qualities of a property and its environment which qualify it as a certified historic structure are determined taking into account all available information, including information derived from the physical and architectural attributes of the building; such determinations are not limited to information contained in National Register or related documentation.

§ 67.8 Certifications of statutes.

(a) State or local statutes which will be certified by the Secretary. For the purpose of this regulation, a State or local statute is a law of the State or local government designating, or pro-

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MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus<sup>202</sup>, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of  
Application/ Release of Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

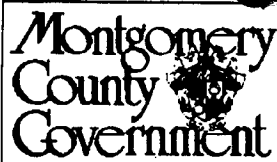
When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!





RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

**Historic Preservation Commission**  
 (301) 495-4570

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON John Fleming  
 DAYTIME TELEPHONE NO. (301) 891-2880  
 TAX ACCOUNT # 1057450  
 NAME OF PROPERTY OWNER Carol Marks <sup>270-3047</sup>  
 DAYTIME TELEPHONE NO. (301) 891-2880  
 ADDRESS 7336 Carroll Ave, Takoma Park MD 20912  
 CITY STATE ZIP CODE  
 CONTRACTOR Constructive Alternatives TELEPHONE NO. (301) 891-2820  
 CONTRACTOR REGISTRATION NUMBER 2236  
 AGENT FOR OWNER John Fleming DAYTIME TELEPHONE NO. (301) 891-2880

**LOCATION OF BUILDING/PREMISE**

HOUSE NUMBER 7336 STREET Carroll Ave  
 TOWN/CITY Takoma Park NEAREST CROSS STREET Lee Ave  
 LOT 1 BLOCK 5 SUBDIVISION B.F. Gilhearts App. from Takoma Park  
 LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition  
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove  
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other ADD Windows  
 1B. CONSTRUCTION COST ESTIMATE \$ 400.00  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # None

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. TYPE OF SEWAGE DISPOSAL 01  WSSC 02 ( ) SEPTIC 03 ( ) OTHER \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY 01  WSSC 02 ( ) WELL 03 ( ) OTHER \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Signature of owner or authorized agent \_\_\_\_\_ Date 3/21/95

APPROVED w/conditions  For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date 4/17/95

APPLICATION/PERMIT NO: 9503220100 DATE FILED: \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*The property is a James Bevelton circa 1930, originally  
built in a Craftsman style. An existing porch has apparently  
been added in some years ago and the new siding, corner brackets  
were blended to match.*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*The proposed plan is to simply add a <sup>REAR</sup> window to the  
existing porch. The window in the new space will match  
the size, shape and restoration pattern of the existing house  
windows.*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.

HISTORIC PRESERVATION COMMISSION

of

MONTGOMERY COUNTY

8787 Georgia Avenue  
Silver Spring, Maryland 20910

301-495-4570

Case no.: 37/3-95K

Received: March 22, 1995

Public Appearance: April 12, 1995

Before the Montgomery County Historic Preservation Commission

Application of Carol Marks  
7336 Carroll Avenue, Takoma Park

DECISION AND OPINION OF THE COMMISSION

Decision of the Commission: APPROVE the applicant's proposal to install a new window on rear elevation; DENY the applicant's proposal to replace original windows on side elevation and throughout the rest of the house.

Commission Motion: At the April 12, 1995, meeting of the Historic Preservation Commission, Commissioner Randall presented a motion to approve the installation of a new window on the rear elevation, but to deny the replacement of original windows on the side elevation and throughout the rest of the house at 7336 Carroll Avenue. Commissioner Lanigan seconded the motion. Commissioners Brenneman, Clemmer, Lanigan, Randall, and Trumble voted in favor of the motion. Commissioner Booth abstained. The motion was passed 5-0, with one abstention. Commissioners Bienenfeld and Kousoulas were absent.

SUMMARY OF APPLICATION AND BACKGROUND OF 7336 CARROLL AVENUE

The following terms are defined in Section 24A-2 of the Montgomery County Code:

Exterior features: The architectural style, design and general arrangement of the exterior of an historic resource, including the color, nature and texture of building materials, and the type or style of all windows, doors,

light fixtures, signs or other similar items found on or related to the exterior of an historic resource.

Historic District: A group of historic resources which are significant as a cohesive unit and contribute to the historical, architectural, archeological or cultural values within the Maryland-Washington Regional District and which has been so designated in the master plan for historic preservation.

On March 22, 1995, Carol Marks (applicant) applied for a Historic Area Work Permit (HAWP) to install a new window on the rear elevation and to replace two original windows on the side elevation of the house at 7336 Carroll Avenue. The applicant's stated intention was to eventually replace all the original windows throughout the rest of the house. The house is a Craftsman-style bungalow, which was designated as a contributing resource in the Takoma Park Historic District.

A statement of historic and architectural significance of the Takoma Park Historic District, as incorporated in the Master Plan amendment adopted August 1, 1992, is as follows:

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was one of the earliest railroad suburbs of Washington - second after Linden was established in 1873. The community was given new lifeblood in the early-20th century with the opening of streetcar lines, which led to the development of new subdivisions in Takoma Park.

Before 1883, the area that became Takoma Park was used for farming and vacation homes for Washingtonians. A few houses from this period still exist...In 1883, Benjamin Franklin Gilbert, a Washington real estate promoter, purchased a 90-acre farm for the establishment of Takoma Park. Gilbert promoted the healthy quality of Takoma Park's natural environment -- fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. These natural features continue to define and enhance the community today...

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement which emphasized the inherent nature of the building materials and structural elements for ornamentation. Similarly, they reflect a social trend towards a more informal, unpreten-

tious style of living. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established - detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Park, Philadelphia, Sycamore, Westmoreland, and Willow Avenues.

#### **EVIDENCE IN THE RECORD**

Copies of the applicant's Historic Area Work Permit application and a written report from the Historic Preservation Commission staff were distributed to Commissioners on April 5, 1995.

HPC staffperson Robin Ziek presented 35mm slides of the property and described the nature of the application. 7336 Carroll Avenue is on a corner lot and, therefore, three elevations are visible from the public right-of-way. The applicant proposed to add a new one-over-one window on the rear elevation of the house and to replace two of the existing, original six-over-one, true-divided light windows. The replacement windows would be one-over-one, double-pane windows with snap-in muntins on the upper pane. The applicant stated that it was her intention to eventually replace all of the windows in the house.

The staff recommended that the installation of the new window on the rear elevation was consistent with the Historic Preservation Ordinance and the Takoma Park Historic Preservation Review Guidelines. However, staff recommended denial of the replacement of original windows. Staff specifically cited a section of the Takoma Park Guidelines for Contributing Resources:

Preservation of original building materials and use of appropriate, compatible new materials is encouraged.

John Fleming, the applicant's contractor, stated that the existing windows in the house were deteriorated and were not airtight. They would need to be extensively repaired and existing storm windows would need to be repaired to make the house energy efficient. The applicant, Carol Marks, restated her desire to eventually replace all the original windows in the house, as her budget allowed.

Mr. Fleming stated that it would be less expensive to replace the original windows than to repair them. He also stated that it was his opinion that, even after the windows were repaired, they would not be as energy efficient as new windows.

Commissioner Randall stated that the replacement of original windows is not something that the Historic Preservation Commis-

sion has ever encouraged and that repair is much better. He acknowledged that old houses are not as airtight as new ones, but that was the nature of historic properties.

Commissioners Brenneman and Lanigan agreed with Commissioner Randall and cited examples of other cases when the Commission had required repair of original windows rather than replacement. They stated that they Commission has not generally approved the use of snap-in muntins, even in the case of entirely new construction projects.

Gwen Marcus, Historic Preservation Coordinator, reminded the Commission of two recent cases where the Commission had required repair rather than replacement of original windows: Fertile Meadows and the Waters House in Germantown. She stated that the developers who were renovating the Waters House had actually found repair to be more economical than replacement.

Commissioner Randall reiterated that the Commission is very concerned about the replacement of original building fabric and that windows are a very important original feature of a historic building.

Ms. Marcus noted that the Commission has approved some window replacement, on a case-by-case basis, where original windows were so damaged and rotted that they could not be repaired. However, total windows replacement without careful evaluation of each window was not recommended.

#### CRITERIA FOR APPROVAL AND FINDINGS OF THE COMMISSION

The criteria which the Commission must evaluate in determining whether to deny a Historic Area Work Permit application are found in Section 24a-8(a) of the Montgomery County Code, 1984, as amended.

Section 24a-8(a) provides that:

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate or inconsistent with, or detrimental to the preservation, enhancement or ultimate protection of the historic site, or historic resource within an historic district, and to the purposes of this chapter.

In analyzing whether the criteria for issuance of a Historic Area Work Permit have been met, the Commission also evaluates the evidence in the record in light of generally accepted principles of historic preservation, including the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabil-

itating Historic Buildings, adopted by the Commission on February 5, 1987. In particular, Standard #2 and Standard #6 are applicable in this case:

Standard 2: The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Standard 6: Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities, and where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Additionally, specific historic preservation review guidelines were included in the Approved and Adopted Amendment to the Master Plan for Historic Preservation which created the Takoma Park Historic District. The purpose of these guidelines is to "...provide the Historic Preservation Commission and other applicable agencies...with guidance regarding the intent of the historic designation. In addition, the purpose of these guidelines is to provide the Historic Preservation Commission with specific direction in reviewing applications for Historic Area Work Permits (HAWPs)..."

The Takoma Park guidelines for contributing residential resources within the historic district state:

Preservation of original building materials and use of appropriate, compatible new materials is encouraged.

Based on this, the Commission finds that:

1. As proposed in the HAWP application, the replacement of original windows with one-over-one, double pane windows using snap-in muntins is not consistent with the preservation and enhancement of the architectural and historic character of this contributing resource, a Craftsman-style Bungalow, located in the Takoma Park Historic District.

2. Approval of the proposed Historic Area Work Permit application would substantially change the appearance of the historic structure and would cause the loss of the historic integrity in terms of exterior architectural features. Specifically, the proposed replacement windows would look substantially different from and have a different character than the original windows.

3. No evidence was presented which demonstrated that the existing windows at 7336 Carroll Avenue were in such an extreme state of deterioration that they are beyond reasonable repair.

#### CONCLUSION

The Commission was guided in its decision by Chapter 24A of the Montgomery County Code, by the Secretary of the Interior's Standards for Rehabilitation, and by the design guidelines for contributing structures found in the Approved and Adopted Amendment to the Master Plan for Historic Preservation which designated the Takoma Park Historic District.

Having heard and carefully considered all of the testimony and exhibits contained in the record, and based on this evidence and on the Commission's findings, as required by Section 24A-8(a) of the Montgomery County Code, 1984, as amended, it is the decision of the Montgomery County Historic Preservation Commission that the application of Carol Marks to replace original windows on the side elevation and throughout the rest of the house at 7336 Carroll Avenue in the Takoma Park Historic District be DENIED.

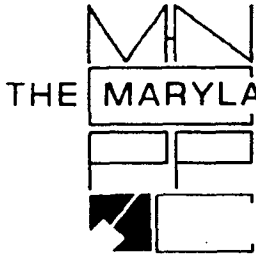
If any party is aggrieved by the decision of the Commission, pursuant to Section 24A-7(h) of the Montgomery County Code, an appeal may be filed within thirty (30) days with the Board of Appeals, which will review the Commission's decision de novo. The Board of Appeals has full and exclusive authority to hear and decide all appeals taken from decisions of the Commission. The Board of Appeals has the authority to affirm, modify, or reverse the order or decision of the Commission.



---

Walter Booth, Chairperson  
Montgomery County Historic  
Preservation Commission

April 17, 1995  
Date



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

## FAX TRANSMITTAL SHEET

Design, Zoning, and Preservation Division  
(301) 495-4570 (Telephone)

(301) 495-1307 (Fax Number)

TO: Walter Booth FAX NUMBER: 961-6429

FROM: Robin Zrek PHONE NUMBER: 495-4570

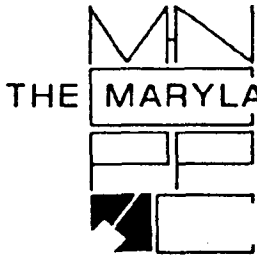
DATE: April 17, 1995

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 7

### NOTE:

Walter - Please review. This will go out under  
your signature/stamp. Thanks -  
Owen wrote it up -  
Robin





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

## FAX TRANSMITTAL SHEET

Design, Zoning, and Preservation Division  
(301) 495-4570 (Telephone)

(301) 495-1307 (Fax Number)

TO: Loretta Shapiro FAX NUMBER: 217-2662

FROM: Robin Zerk PHONE NUMBER: \_\_\_\_\_

DATE: 4/17/95

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 7

NOTE:

F Y I . Hope this is as far  
as we goes! Robin

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standard 10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**Staff recommends that the Commission deny approval of the installation of the new window sashes on the side elevation, as proposed, consistent with the purposes of Chapter 24A-8(a):**

The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate or inconsistent with, or detrimental to the preservation, enhancement or ultimate protection of the historic site, or historic resource within an historic district, and to the purposes of this chapter.

Should the Owner provide information detailing the deteriorated condition of the original windows, and propose replacement in kind with true-divided light window units, the Commission could find that new proposal consistent with the purposes of Chapter 24A-8.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

*Put this in writing to the applicant.*

*Date: Appeals 30 days within meeting - ~~PR~~*

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON John Fleming  
 DAYTIME TELEPHONE NO. (301) 891-2880

TAX ACCOUNT # 1057450

NAME OF PROPERTY OWNER Carol Marks DAYTIME TELEPHONE NO. (301) 891-2880

ADDRESS 7336 Carroll Ave, Takoma Park MD 20912  
CITY STATE ZIP CODE

CONTRACTOR Constructive Alternatives TELEPHONE NO. (301) 891-2880

CONTRACTOR REGISTRATION NUMBER 2236

AGENT FOR OWNER John Fleming DAYTIME TELEPHONE NO. (301) 891-2880

## LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 7336 STREET Carroll Ave

TOWN/CITY Takoma Park NEAREST CROSS STREET Lee Ave

LOT 1 BLOCK 5 SUBDIVISION B.P. Gilberts Addition to Takoma Park

LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL \_\_\_\_\_

## PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE:      CIRCLE ALL APPLICABLE:      A/C      Slab      Room Addition  
 Construct   Extend   Alter/Renovate   Repair   Move   Porch   Deck   Fireplace   Shed   Solar   Woodburning Stove  
 Wreck/Raze   Install   Revocable   Revision   Fence/Wall (complete Section 4)   Single Family   Other   ADD Windows

1B. CONSTRUCTION COST ESTIMATE \$ 400.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # No

## PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL   01  WSSC      02 ( ) SEPTIC      03 ( ) OTHER \_\_\_\_\_

2B. TYPE OF WATER SUPPLY      01  WSSC      02 ( ) WELL      03 ( ) OTHER \_\_\_\_\_

## PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:

On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

[Signature]  
 Signature of owner or authorized agent

3/21/85  
 Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

**4**

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7336 Carroll Avenue

Meeting Date: 4/12/95

Resource: Takoma Park Historic District

Review: HAWP

Case Number: 37/3-95K

Tax Credit: No

Public Notice: 3/29/95

Report Date: 4/5/95

Applicant: Carol Marks

Staff: Robin D. Ziek

**PROPOSAL:** New window installation  
Sash replacement in existing  
windows

**RECOMMEND:** APPROVAL IN  
PART/ DENIAL OF SASH  
REPLACEMENT

---

BACKGROUND

RESOURCE: Takoma Park Historic District

STYLE: Bungalow

DATE: 1920s

SIGNIFICANCE: Contributing Resource

PROJECT DESCRIPTION: Install new window opening in rear elevation; replace deteriorated window sash in windows on side elevation.

STAFF DISCUSSION

Owner proposes to install a new window on the rear elevation, which will match the existing rear windows. The proposed new window will be wood, double hung, 1/1 light, with thermal glazing. The existing rear windows are 1/1.

The Owner would also like to replace, over time, all of the existing double hung windows. The original windows are 6/1 light of varying sizes. Due to cost restraints, the Owner proposes to replace only the sashes on the windows in the kitchen, because she is presently renovating this room. As more funds become available, the Owner proposes to replace each original window, perhaps one at a time. All of the new windows are proposed to be wood, 1/1, with thermal glazing, and installed within the existing window frame. The information provided by Marvin windows indicates that the original window sashes would be removed, the parting bead would be removed, and a new track would be installed on the jamb into which the new window sashes would slide. The original opening will remain the same. The new sashes would be wood, although the jamb liner or track is vinyl.

①

The Owner's contractor, John Fleming, has provided the following notes to provide more detailed information on the project: "Please find attached the revised sketches for the Marks Residence. The rear kitchen window (30-1/2" x 37-1/2") is a wood window, 1-over-1 to match the two existing rear twin windows. Casing will match the existing. The side replacement sashes are also 1-over-1 to match the new prime windows which is the owner's intent, over time, in replacing the balance of her windows. Grilles will be installed temporarily to match the existing." (see FAX attached)

### GENERAL STAFF COMMENTS

The subject property is on a corner lot, and therefore three elevations are visible from the public right-of-way. Staff recommends approval of the new window opening on the rear elevation, as this window will match the existing.

The second proposal, to replace all of the windows in the house with new 1/1 light sash installations is not recommended for approval. While the existing windows apparently need a lot of work, such as new putty, perhaps reglazing if any windows are broken, and new storm windows, the Owner has not demonstrated that the wood has deteriorated to the point where wholesale replacement is required. In addition, should the HPC agree to sash replacement, the Owner is not proposing to match the existing windows in design. Instead of the 6/1 window design, the Owner proposes 1/1 with snap-in grills.

Replacement of deteriorated window sash is problematic if the sash can be restored. Retention of original fabric is a goal of the HPC, and wholesale replacement of old sash is not automatically approvable. When window sashes are severely deteriorated, the HPC has approved replacement **in kind** only. In this case, the Owner proposes something different, which would not maintain the original design of the house. In addition, the HPC has consistently disapproved the use of snap-in muntin, even in entirely new construction projects.

The proposal for the new window opening on the rear elevation does meet the Takoma Park Guidelines for Contributing Resources that state:

all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required;

The proposal for sash replacement of original window sashes does not meet the Takoma Park Guidelines for Contributing Resources that state:

preservation of original building materials and use of appropriate, compatible new materials is encouraged.

### STAFF RECOMMENDATION

Staff recommends that the Commission approve of the installation of the new window on the rear elevation, and find that proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standard 10:

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**Staff recommends that the Commission deny approval of the installation of the new window sashes on the side elevation, as proposed, consistent with the purposes of Chapter 24A-8(a):**

The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate or inconsistent with, or detrimental to the preservation, enhancement or ultimate protection of the historic site, or historic resource within an historic district, and to the purposes of this chapter.

Should the Owner provide information detailing the deteriorated condition of the original windows, and propose replacement in kind with **true-divided light window units**, the Commission could find that new proposal consistent with the purposes of Chapter 24A-8.

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*The property is a frame structure circa 1930, originally clad in asbestos shingles. An existing porch has apparently been closed in some years ago and the new siding, cedar shake, were blended to match.*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*The proposed plan is to simply add a REAL window to the enclosed porch. The window in the new space will match the size, shape and penetration pattern of the existing house windows.*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

5



# J.B. Fleming Co.

BUILDERS AND DEVELOPERS

## FACSIMILE TRANSMITTAL SHEET

Date: 4-5-95 Number of Pages (including this one): 3

To: HPC

Attn: ROBIN ZIEK

From: JOHN FLEMING

Re: MARK'S RESIDENCE - 7336 CARROLL AVE.

Notes: PLEASE FIND ATTACHED THE REVISED

SKETCHES FOR THE MARK'S RESIDENCE

THE REAR KITCHEN WINDOW (30 1/2" x 37 1/2")

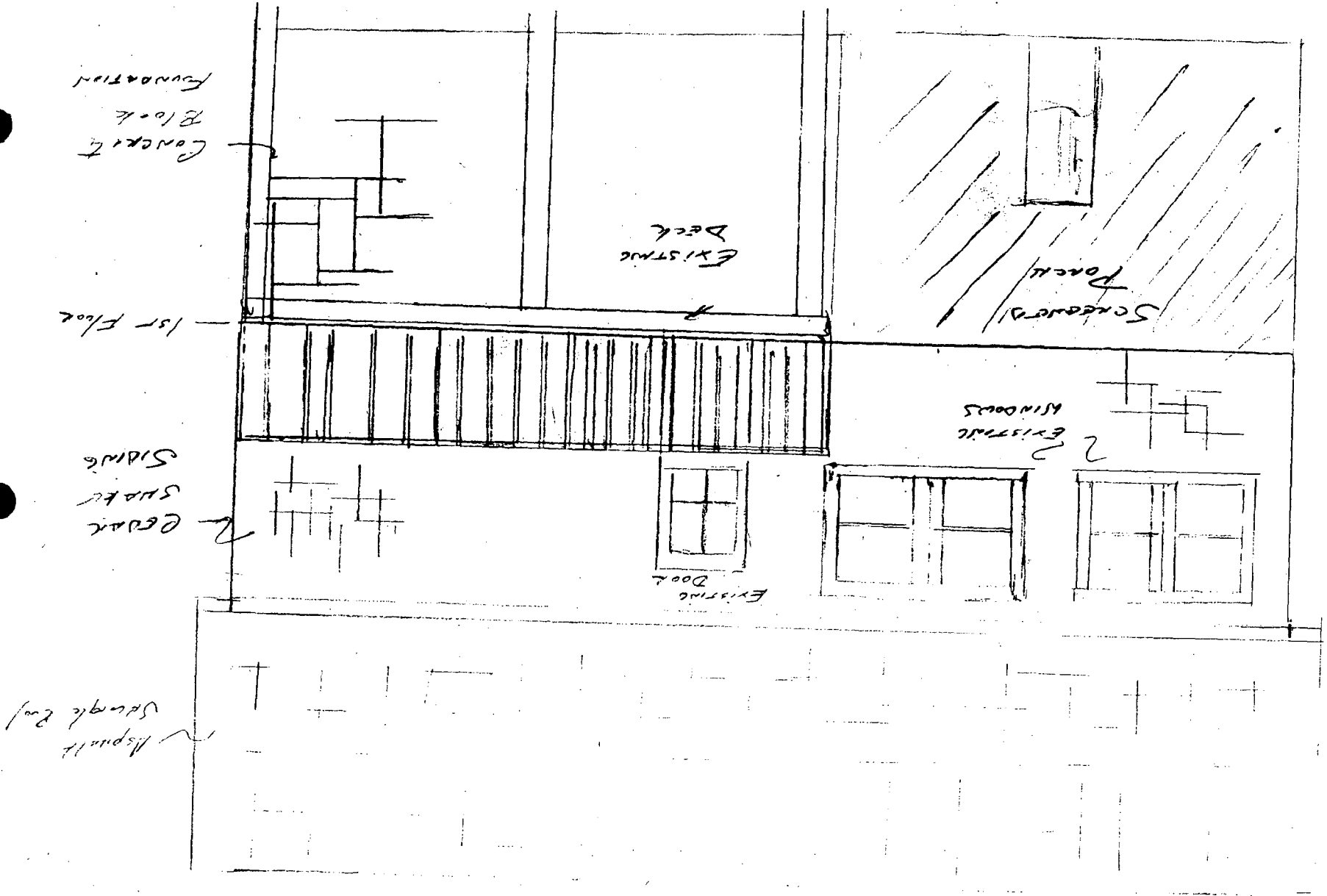
IS A WOOD WINDOW, 1-OVER-1 TO MATCH  
THE TWO EXISTING REAR TWIN WINDOWS.  
CASING WILL MATCH THE EXISTING.

THE SIDE REPLACEMENT SASHES ARE  
ALSO 1-OVER-1 TO MATCH THE NEW  
FRONT WINDOWS, WHICH IS THE OWNER'S  
INTENT, OVER TIME, IN REPLACING THE  
BALANCE OF HER WINDOWS. GRILLERS WILL  
BE INSTALLED TEMPORARILY TO MATCH THE  
EXISTING.

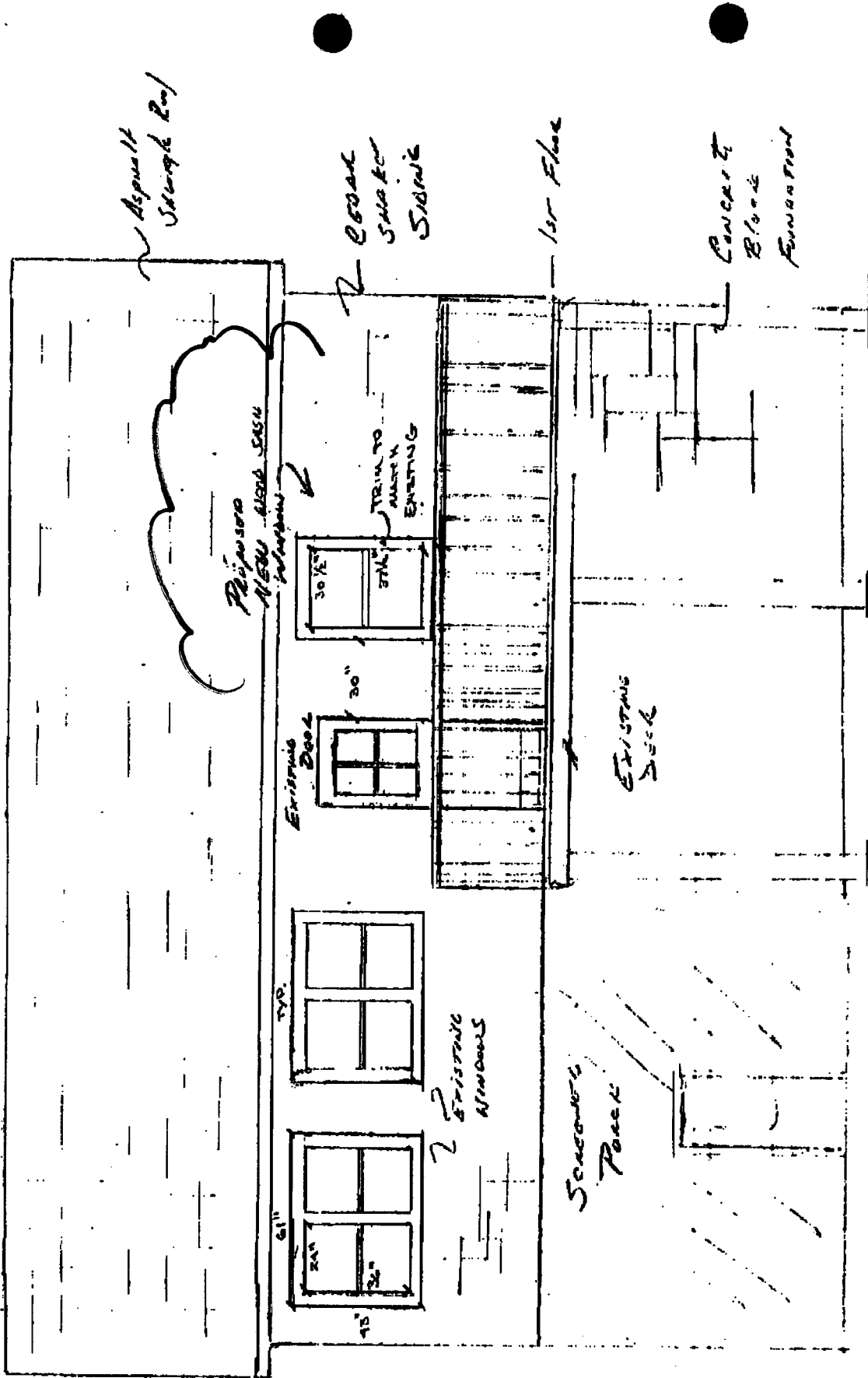
7334 Carroll Avenue, Takoma Park, MD 20912 (301) 891-2880 FAX: (301) 891-2548

(E)

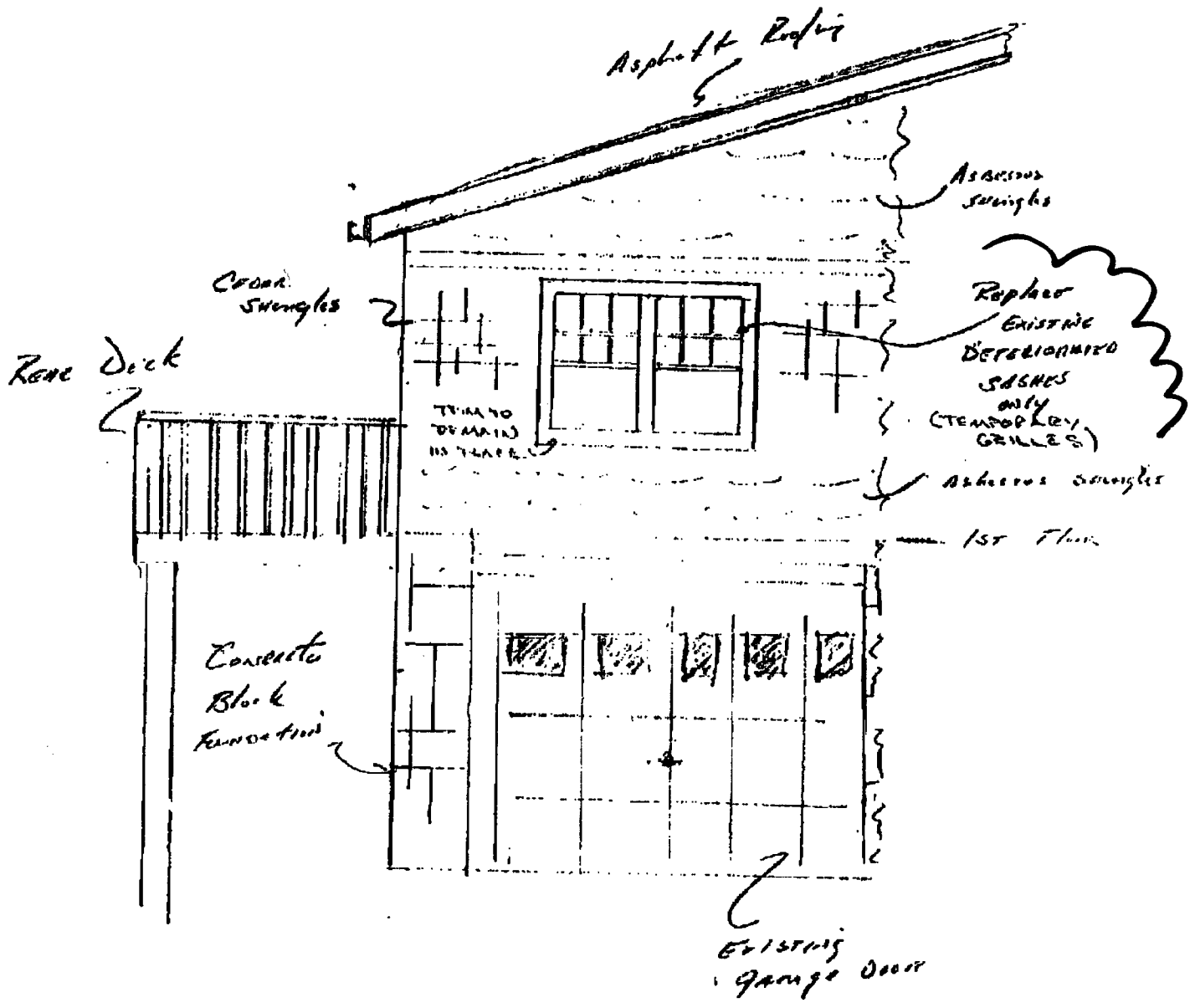
EXISTING REAR ELEVATION



8



PROPOSED REAR ELEVATION





## **TILT PAC**

*A Double Hung Sash Replacement System  
That Saves Time and Money*



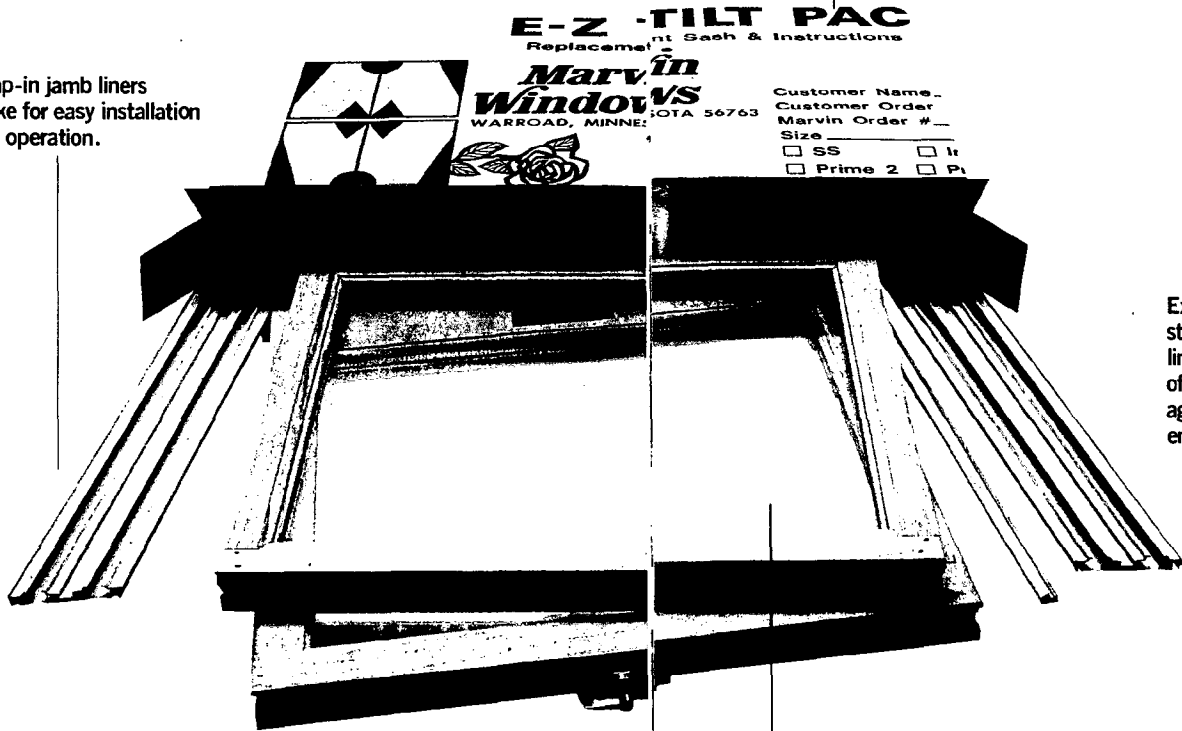
10

# WHAT'S IN THE PAC?

The contents of your E-Z Tilt Pac package

All parts packaged in one box and coded for each specific location. Comes complete with instructions for easy installation.

Snap-in jamb liners make for easy installation and operation.

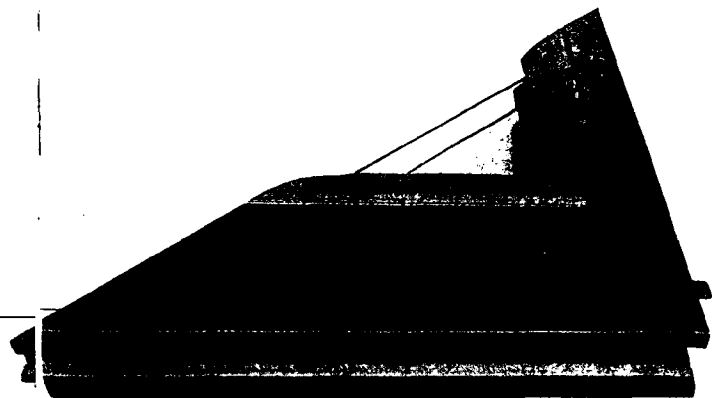


Excellent weatherstripping on jamb liners and sash offers protection against drafts and energy loss.

Factory-applied exterior finish is available in four standard colors and 50 optional colors to match virtually any home.

Insulating glass provides energy efficiency.

Maintenance-free extruded aluminum cladding is available in four colors for an attractive, durable exterior.



# INSTALLING YOUR NEW E-Z TILT WINDOW.

*It's As E-Z As This*

## **Step 1:**

### *Remove the old sash.*

Carefully remove the inside casing from your window. If your old window has a weight-and-pulley system, cut the cords. Lift out the bottom sash. Then, slide the top sash down, cut the cords (if any) and remove the stops. Now take out the top sash.



## **Step 2:**

### *Prepare the frame.*

Nail the metal brackets evenly down both sides of the window. Start about 4" from the top and finish about 4" from the bottom.



## **Step 3:**

### *Install the jamb liners.*

Put in the new stops and foam gaskets. Now, simply snap the vinyl jamb liners onto the brackets. With small finishing nails, install the new stop at the top with weatherstripping facing outward.



## **Step 4:**

### *Install the new sash.*

Pull down and lock the metal clutches in the jamb liners with a screwdriver. Place the top sash into the exterior track and ease it into place, lowering it onto the clutches. Install the lower sash on the interior track the same way. Replace the original casing.



*You're finished!* Old, drafty double hungs are new and energy efficient again. Both sash will slide up and down effortlessly. They'll also tilt into the room for easy cleaning. Or, they can be removed altogether.

Lot 1, Section 5  
General S.S. Carroll's Addition  
To Takoma Park

Montgomery County, Maryland

Scale: 1" = 20'

Surveyor's Certificate

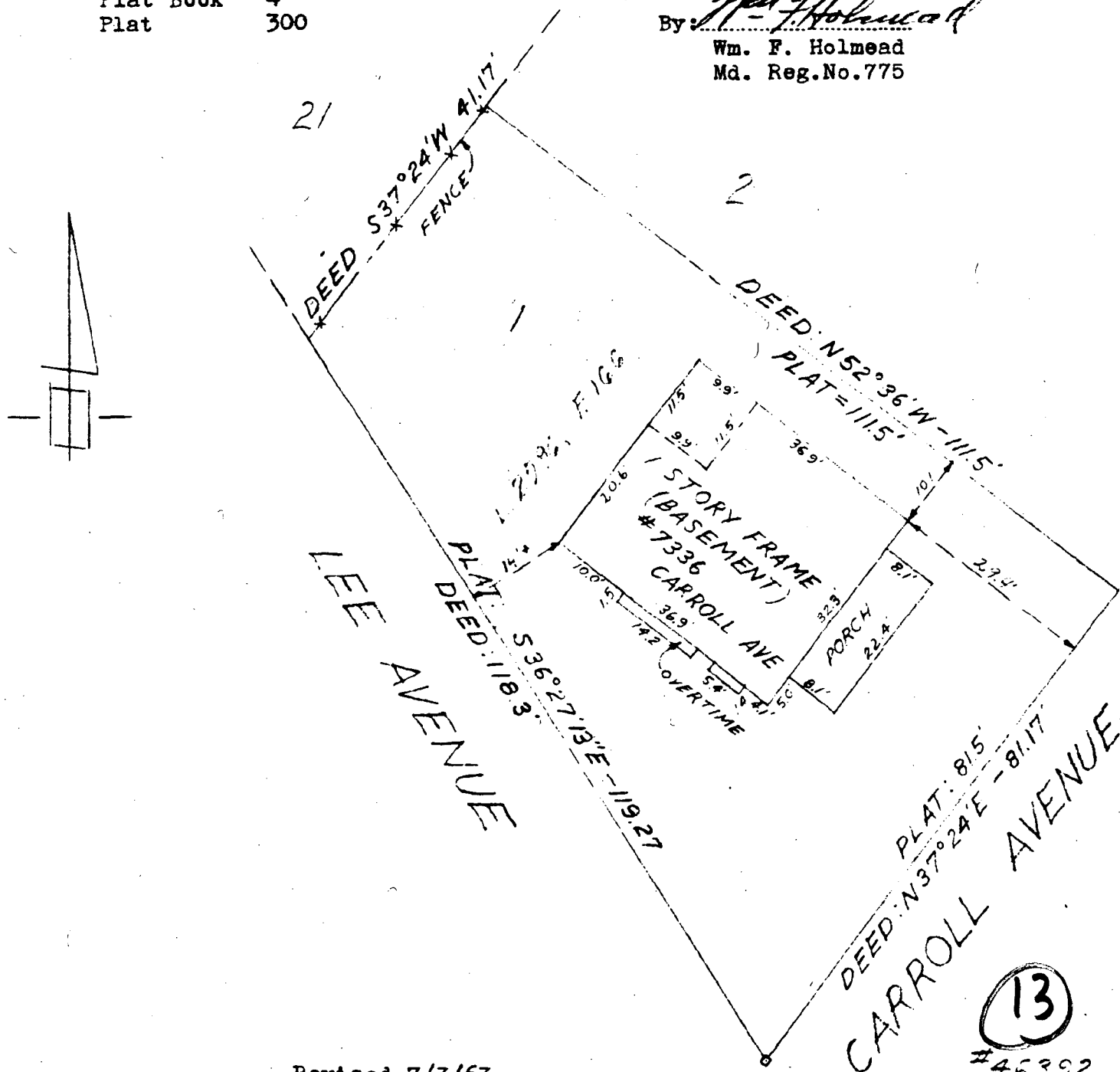
We hereby certify that we have carefully surveyed the property shown hereon in accordance with record description; that all of the existing improvements have been located by a transit-tape survey; that corner markers have been found ~~where indicated~~ where indicated, and that unless otherwise shown, there are no encroachments on either side of property lines.

Date: June 28, 1963

Plat Book 4  
Plat 300

Holmead & Frey  
Land Surveyors

By: *Wm. F. Holmead*  
Wm. F. Holmead  
Md. Reg. No. 775



Revised 7/3/63

13  
#46392



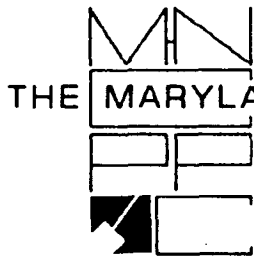
HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

7334 Carroll Ave  
John & Suzanne Fleming  
6907 Westmoreland Ave  
Takoma Park, MD  
20912

7338 Carroll Ave  
A. Douglas Cicciello  
Takoma Park MD  
20912

5 Lee Ave  
Nancy J. Ricks  
Takoma Park MD  
20912

7327 Carroll Ave  
Helen K. Wanning  
Takoma Park MD  
20912



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

## FAX TRANSMITTAL SHEET

Design, Zoning, and Preservation Division  
(301) 495-4570 (Telephone)

(301) 495-1307 (Fax Number)

TO: Carol Marks FAX NUMBER: 202-786-7400

FROM: Robin Zerk PHONE NUMBER: \_\_\_\_\_

DATE: 4-14-95

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 2

### NOTE:

Call me at any questions  
fland copy coming in the mail -  
(Sec of Int. Standards)

- approve with either 1/1 or true divided light 6/1

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

7334 Carroll Ave  
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Takoma Park MD  
20912

7327 Carroll Ave  
Helen K. Wannine  
Takoma Park MD  
20912

Energy Efficiency -

4/1/85

~~Handwritten scribble~~

Huttig window

word double-hung

$2^4$  x  $2^{10}$  tall  
wide

prosin proposing 1 window

[Jask pack cost \$215 wholesale  
locks, screen, ...]

On Columbia to rebuild a window

not making

\$205 + Storm \$100

lower such quantity -

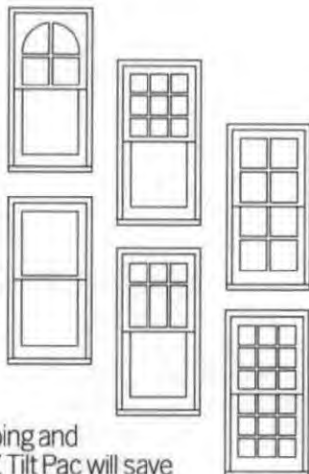
## GET A TILT PAC MADE TO ORDER FOR YOU.

Whether it's large, small or narrow, we'll build an E-Z Tilt Pac to fit. And we'll build just the options you want into each one, including removable wood grilles or authentic divided lites in almost any pattern.

Each sash is made of fine-grained solid pine, chosen for its excellent insulating properties and the way it accepts a stain-and-varnish or paint finish.

High quality weatherstripping and insulating glass mean the E-Z Tilt Pac will save energy. And glazing options, including Northern or Southern Low E with Argon gas, minimize drafts and further reduce energy costs in all climates.

Marvin's Clad E-Z Tilt Pac features our exclusive extruded aluminum cladding for a durable, maintenance-free exterior. Cladding is available in four standard colors. Or, order Marvin's tough Flexacron exterior wood coating in four standard or fifty optional colors.



For more information, see your nearest Marvin Windows dealer. Or call 1-800-346-5128. In Canada, call 1-800-263-6161.

PRINTED IN USA. TP#4-93. SPECIFICATIONS SUBJECT TO CHANGE WITHOUT NOTICE.  
©1993 MARVIN WINDOWS AND DOORS.  
PART #1997-0230

## TILT PAC

*A Double Hung Sash Replacement System  
That Saves Time and Money*



**MADE TO ORDER FROM MARVIN**



## **E-Z TILT PAC.**

Marvin's E-Z Tilt Pac sash replacement system can do wonders for a room full of old, drafty double hungs. You can make a dull, chilly breakfast nook cozy and inviting again. Add a traditional style with authentic divided lites. Or, use Tilt Pacs to preserve and upgrade unusual sizes and designs from years past. From simple to exotic, from Victorian to Colonial, you can get an E-Z Tilt Pac for virtually any double hung window. And no matter what you choose, the Marvin E-Z Tilt Pac easily lets you recapture the comfort, beauty and value originally built into your home.



## A SYSTEM THAT TURNS OLD WINDOWS INTO NEW ONES.

Many old double hung windows are drafty and inefficient, but the frames and trim are still in good condition. Marvin's E-Z Tilt Pac system lets you replace only the sash. So you can make your old windows like new, with a minimum of time, labor and expense.



- 1 Snap-in jamb liners allow the sash to tilt in for easy cleaning.
- 2 Energy-efficient wood sash are made to fit into your home. Just give us the sizes and options you want, and we'll build them.

Each E-Z Tilt Pac includes two energy efficient wood sash and all the hardware you need to install them. So you pay for the sash, not the whole window. It installs quickly with simple, easy to follow instructions. So you save on installation costs, too. All the work is done from inside the room, without removing plaster, siding or outside trim. And, like the Marvin E-Z Tilt Double Hung, both sash of the E-Z Tilt Pac will tilt into the room for easy cleaning.



# WHAT'S IN THE PAC?

The contents of your E-Z Tilt Pac package

All parts packaged in one box and coded for each specific location. Comes complete with instructions for easy installation.

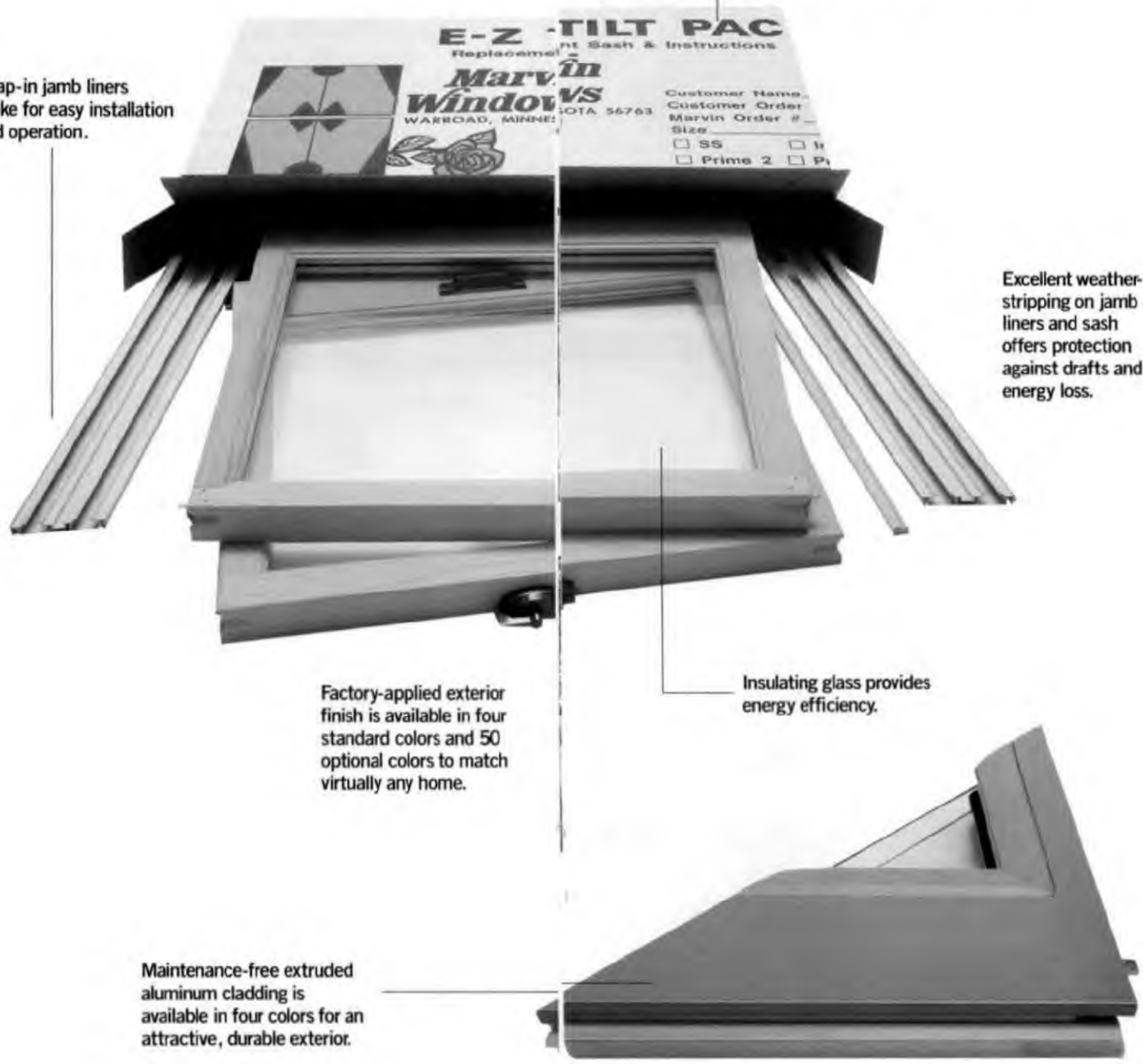
Snap-in jamb liners make for easy installation and operation.

Excellent weatherstripping on jamb liners and sash offers protection against drafts and energy loss.

Factory-applied exterior finish is available in four standard colors and 50 optional colors to match virtually any home.

Insulating glass provides energy efficiency.

Maintenance-free extruded aluminum cladding is available in four colors for an attractive, durable exterior.





# INSTALLING YOUR NEW E-Z TILT WINDOW.

*It's As E-Z As This*

## **Step 1:**

**Remove the old sash.**  
Carefully remove the inside casing from your window. If your old window has a weight-and-pulley system, cut the cords. Lift out the bottom sash. Then, slide the top sash down, cut the cords (if any) and remove the stops. Now take out the top sash.



## **Step 2:**

**Prepare the frame.**  
Nail the metal brackets evenly down both sides of the window. Start about 4" from the top and finish about 4" from the bottom.



## **Step 3:**

**Install the jamb liners.**  
Put in the new stops and foam gaskets. Now, simply snap the vinyl jamb liners onto the brackets. With small finishing nails, install the new stop at the top with weatherstripping facing outward.



## **Step 4:**

**Install the new sash.**  
Pull down and lock the metal clutches in the jamb liners with a screwdriver. Place the top sash into the exterior track and ease it into place, lowering it onto the clutches. Install the lower sash on the interior track the same way. Replace the original casing.



**You're finished!** Old, drafty double hungs are new and energy efficient again. Both sash will slide up and down effortlessly. They'll also tilt into the room for easy cleaning. Or, they can be removed altogether.

# HOW DO I ORDER?

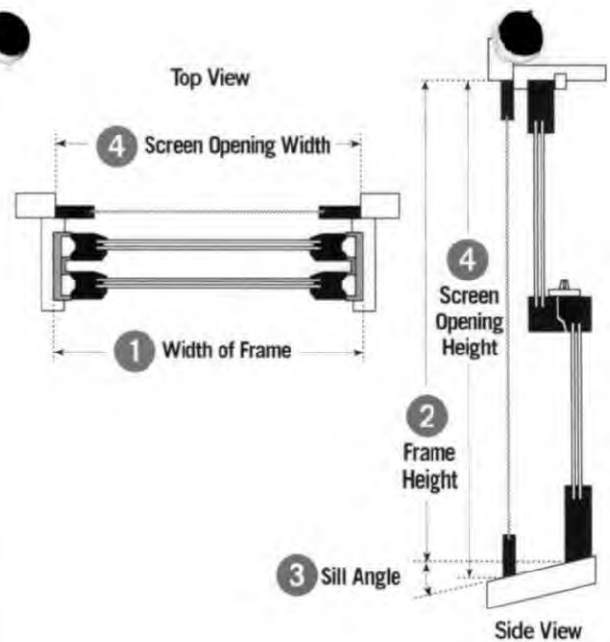
Important! Accurate Measurements  
For Accurate Ordering

Since all Marvin windows are made to order, it's extremely important to obtain the proper measurements before ordering an E-Z Tilt Pac. Consult a Marvin dealer or professional window installer.

- 1 Your first measurement should be the width of the frame. Place your tape measure against the inside of the jamb and measure across to the inside of the opposite jamb (see drawing and photo).



- 2 Lower the top sash a few inches, and measure from the spot where the top sash touches the header to where the bottom sash touches the sill when closed. This is the frame height. If your window has wooden blocks holding the top sash in place, remove them.



- 3 Measure the angle of the sill. A standard sill angle for Marvin's E-Z Tilt Pac is 14 degrees. On wood tilt pacs, nearly any angle is available, but you must tell us which angle you need. You can get a convenient, palm-sized sill angle finder at most stores where tools are sold.



- 4 If you would like a screen with your E-Z Tilt Pac, two screen measurements are needed. **Important: make these measurements separately, after you are certain all other measurements are correct!** First, measure the distance across your exterior casing, from inside edge to inside edge. This is your total screen opening width. Now measure from the lower edge of the top casing down to where the screen will rest on the sill. This is your total screen opening height.

# E-Z TILT PAC OPTIONS.

## Options:

- Sash lift in statuary bronze, white or brass
- White or brass sash lock
- Combination storm and screen
- Rectangular grilles
- Standard bevel is 14°, custom bevel available\*\*
- (Beige jamb liner standard)
- White or brown jamb liner optional
- Screen, aluminum surround in white, bronze, brown or gray

## Glazing Options:

- (½" insulating glass is standard for wood unit)
- (¾" insulating glass is standard for clad unit)
- Single glazing
- Single glazing with removable energy panel\*\*
- Rectangular and diamond authentic divided lites, single glazing with or without removable energy panel\*\*
- Rectangular authentic divided lites, insulating glass\*\*
- Simulated divided lite ⅞" or 1½" muntin bars
- Northern or Southern Low E glass with or without Argon gas\*
- Solar gray or solar bronze glass
- Tempered glass

## Finish Options:

- (Bare wood is standard)
- Interior prime and/or exterior prime
- Exterior finish in: white, bahama brown, pebble gray or medium bronze
- Exterior finish in fifty standard optional colors
- Aluminum clad exterior in: white, bahama brown, medium bronze or pebble gray

\* All standard one lite Northern and Southern Low E glass units automatically include Argon gas.

\*\* Available in wood tilt pac only.

2 Lt. Glass Size	Sash Opening Size	2 Lt. Glass Size	Sash Opening Size
16" x 12"	1-8 x 2-6	30" x 12"	2-10 x 2-6
16" x 14"	1-8 x 2-10	30" x 14"	2-10 x 2-10
16" x 16"	1-8 x 3-2	30" x 16"	2-10 x 3-2
16" x 18"	1-8 x 3-6	30" x 18"	2-10 x 3-6
16" x 20"	1-8 x 3-10	30" x 20"	2-10 x 3-10
16" x 22"	1-8 x 4-2	30" x 22"	2-10 x 4-2
16" x 24"	1-8 x 4-6	30" x 24"	2-10 x 4-6
16" x 26"	1-8 x 4-10	30" x 26"	2-10 x 4-10
16" x 28"	1-8 x 5-2	30" x 28"	2-10 x 5-2
16" x 30"	1-8 x 5-6	30" x 30"	2-10 x 5-6
16" x 32"	1-8 x 5-10	30" x 32"	2-10 x 5-10
16" x 34"	1-8 x 6-2	30" x 34"	2-10 x 6-2
16" x 36"	1-8 x 6-6	30" x 36"	2-10 x 6-6
20" x 12"	2-0 x 2-6	32" x 12"	3-0 x 2-6
20" x 14"	2-0 x 2-10	32" x 14"	3-0 x 2-10
20" x 16"	2-0 x 3-2	32" x 16"	3-0 x 3-2
20" x 18"	2-0 x 3-6	32" x 18"	3-0 x 3-6
20" x 20"	2-0 x 3-10	32" x 20"	3-0 x 3-10
20" x 22"	2-0 x 4-2	32" x 22"	3-0 x 4-2
20" x 24"	2-0 x 4-6	32" x 24"	3-0 x 4-6
20" x 26"	2-0 x 4-10	32" x 26"	3-0 x 4-10
20" x 28"	2-0 x 5-2	32" x 28"	3-0 x 5-2
20" x 30"	2-0 x 5-6	32" x 30"	3-0 x 5-6
20" x 32"	2-0 x 5-10	32" x 32"	3-0 x 5-10
20" x 34"	2-0 x 6-2	32" x 34"	3-0 x 6-2
20" x 36"	2-0 x 6-6	32" x 36"	3-0 x 6-6
24" x 12"	2-4 x 2-6	36" x 12"	3-4 x 2-6
24" x 14"	2-4 x 2-10	36" x 14"	3-4 x 2-10
24" x 16"	2-4 x 3-2	36" x 16"	3-4 x 3-2
24" x 18"	2-4 x 3-6	36" x 18"	3-4 x 3-6
24" x 20"	2-4 x 3-10	36" x 20"	3-4 x 3-10
24" x 22"	2-4 x 4-2	36" x 22"	3-4 x 4-2
24" x 24"	2-4 x 4-6	36" x 24"	3-4 x 4-6
24" x 26"	2-4 x 4-10	36" x 26"	3-4 x 4-10
24" x 28"	2-4 x 5-2	36" x 28"	3-4 x 5-2
24" x 30"	2-4 x 5-6	36" x 30"	3-4 x 5-6
24" x 32"	2-4 x 5-10	36" x 32"	3-4 x 5-10
24" x 34"	2-4 x 6-2	36" x 34"	3-4 x 6-2
24" x 36"	2-4 x 6-6	36" x 36"	3-4 x 6-6
26" x 12"	2-6 x 2-6	40" x 12"	3-8 x 2-6
26" x 14"	2-6 x 2-10	40" x 14"	3-8 x 2-10
26" x 16"	2-6 x 3-2	40" x 16"	3-8 x 3-2
26" x 18"	2-6 x 3-6	40" x 18"	3-8 x 3-6
26" x 20"	2-6 x 3-10	40" x 20"	3-8 x 3-10
26" x 22"	2-6 x 4-2	40" x 22"	3-8 x 4-2
26" x 24"	2-6 x 4-6	40" x 24"	3-8 x 4-6
26" x 26"	2-6 x 4-10	40" x 26"	3-8 x 4-10
26" x 28"	2-6 x 5-2	40" x 28"	3-8 x 5-2
26" x 30"	2-6 x 5-6	40" x 30"	3-8 x 5-6
26" x 32"	2-6 x 5-10	40" x 32"	3-8 x 5-10
26" x 34"	2-6 x 6-2	40" x 34"	3-8 x 6-2
26" x 36"	2-6 x 6-6	40" x 36"	3-8 x 6-6
28" x 12"	2-8 x 2-6		
28" x 14"	2-8 x 2-10		
28" x 16"	2-8 x 3-2		
28" x 18"	2-8 x 3-6		
28" x 20"	2-8 x 3-10		
28" x 22"	2-8 x 4-2		
28" x 24"	2-8 x 4-6		
28" x 26"	2-8 x 4-10		
28" x 28"	2-8 x 5-2		
28" x 30"	2-8 x 5-6		
28" x 32"	2-8 x 5-10		
28" x 34"	2-8 x 6-2		
28" x 36"	2-8 x 6-6		

Custom sizes are available.



# MAGNUM TILT PAC.

*Added Strength for Large Sizes*

Like our E-Z Tilt Pac, the Magnum Tilt Pac saves you time and money by letting you replace only the sash and hardware. All from the inside of the building. And, like the name implies, it's engineered for high performance. Sash are a full 1 1/4" thick, with slot and tenoned corners for exceptional strength. Jamb liners have four double-coil springs on block-and-tackle balances. So the sash will operate smoothly, even in very large sizes.

Magnum Tilt Pac sash feature standard 3/4" insulating glass for energy efficiency. You can order them with any of the options available with our E-Z Tilt Pacs, including Low E glass with Argon gas. And we'll also build historically accurate Magnum Tilt Pacs to help you preserve the past. For very large sizes, or for applications where you need superior strength in a window, look to Marvin. We'll build a Magnum Tilt Pac just for you.

### Clad Magnum Tilt Pac Standard Sizes

2 Lt. Glass Sizes	Sash Opening Sizes
32 1/4" x 32 1/2"	38" x 70"
32 1/4" x 36 1/2"	38" x 78"
32 1/4" x 40 1/2"	38" x 86"
32 1/4" x 44 1/2"	38" x 94"
32 1/4" x 48 1/2"	38" x 102"
32 1/4" x 52 1/2"	38" x 110"
36 1/4" x 32 1/2"	42" x 70"
36 1/4" x 36 1/2"	42" x 78"
36 1/4" x 40 1/2"	42" x 86"
36 1/4" x 44 1/2"	42" x 94"
36 1/4" x 48 1/2"	42" x 102"
36 1/4" x 52 1/2"	42" x 110"
40 1/4" x 32 1/2"	46" x 70"
40 1/4" x 36 1/2"	46" x 78"
40 1/4" x 40 1/2"	46" x 86"
40 1/4" x 44 1/2"	46" x 94"
40 1/4" x 48 1/2"	46" x 102"
40 1/4" x 52 1/2"	46" x 110"
42 1/4" x 32 1/2"	48" x 70"
42 1/4" x 36 1/2"	48" x 78"
42 1/4" x 40 1/2"	48" x 86"
42 1/4" x 44 1/2"	48" x 94"
42 1/4" x 48 1/2"	48" x 102"
42 1/4" x 52 1/2"	48" x 110"
44 1/4" x 32 1/2"	50" x 70"
44 1/4" x 36 1/2"	50" x 78"
44 1/4" x 40 1/2"	50" x 86"
44 1/4" x 44 1/2"	50" x 94"
44 1/4" x 48 1/2"	50" x 102"
44 1/4" x 52 1/2"	50" x 110"
48 1/4" x 32 1/2"	54" x 70"
48 1/4" x 36 1/2"	54" x 78"
48 1/4" x 40 1/2"	54" x 86"
48 1/4" x 44 1/2"	54" x 94"
48 1/4" x 48 1/2"	54" x 102"
48 1/4" x 52 1/2"	54" x 110"

### Wood Magnum Tilt Pac Sizes

Wood Magnum Tilt Pac sizes are manufactured to your specifications. For additional information contact your Marvin dealer.