

37/3-990 7318 Baltimore Avenue  
(Takoma Park Historic District)

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: June 24, 1999

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved  Denied  
 Approved with Conditions: \_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Walt Penny + Cheryl Brand

Address: 7318 Baltimore Ave, Takoma Park MD. 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date:

June 24, 1999

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

---

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



R. J. TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850  
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Cheryl Brand

Daytime Phone No.: 301 585-4237

Tax Account No.: \_\_\_\_\_

Name of Property Owner: Walt Penney Daytime Phone No.: 202 452-4520

Address: 7318 Baltimore Ave Takoma Park MD 20912  
Street Number City Street Zip Code

Contractor: P+H Construction Phone No.: 301 270-0736

Contractor Registration No.: 23162

Agent for Owner: na Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 7318 Street: Baltimore Avenue

Town/City: Takoma Park Nearest Cross Street: Takoma Avenue

Lot: s 15 + 16 Block: 76 Subdivision: Takoma Park Loan + Trust

Liber: 4269 Folio: 589 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Cheryl Brand (wife) 6/8/99  
Signature of owner or authorized agent Date

Approved: [Signature] Chairman, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 6/23/99  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1980's house on site of an earlier structure (1930s)  
set on pipestem lot, barely visible from street or  
neighboring properties

(Non contributing)

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Enlarging existing attic to create master  
bedroom suite, w/ cross gable roof.  
Raising existing roof in that section only (1/4 of house)  
by ~ 2'  
Match existing exterior materials - wood lap siding  
+ vinyl clad windows

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

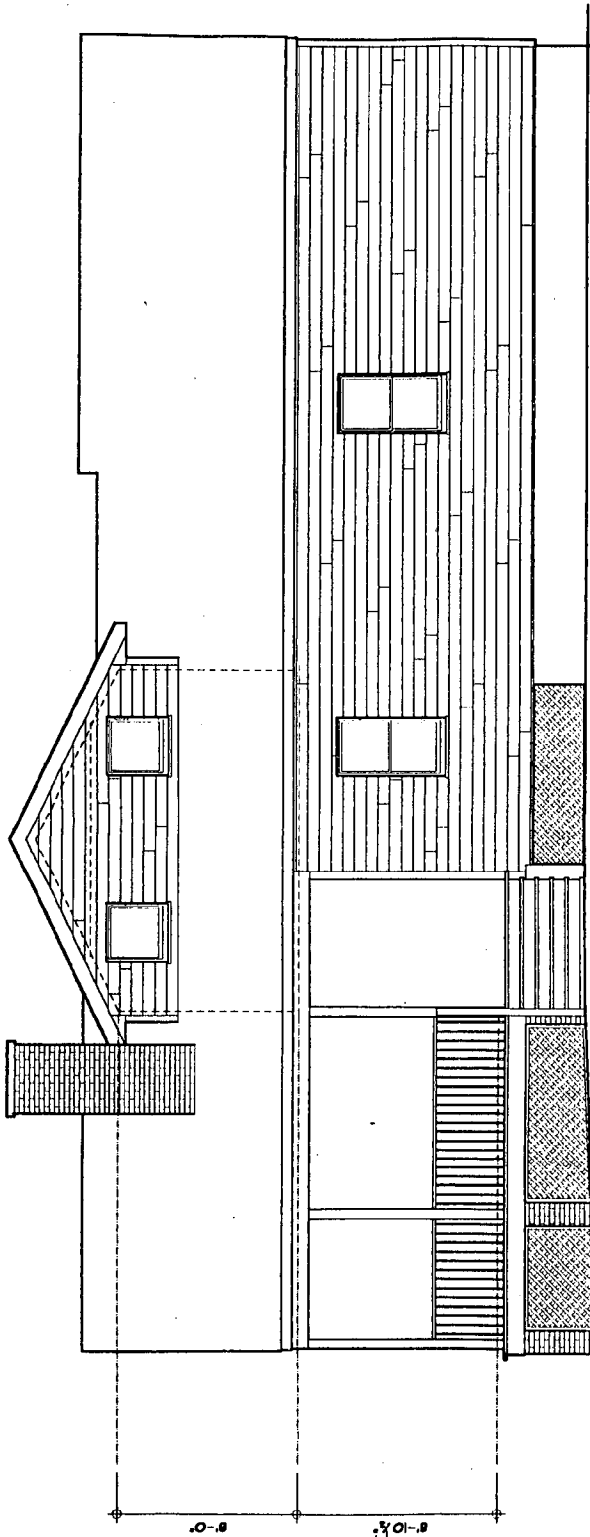
**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



**A05**

NORTH  
ELEVATION

DATE: 10 APR 98  
SCALE: 3/16" = 1'-0"

**PENNEY Residence**

7316 Baltimore Avenue  
Takoma Park, MD 20912

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*  
1006/23/99

**KENT  
RICHARD  
ABRAHAM,  
ARCHITECT**  
P.O. BOX 11346  
BETHESDA, MD 20814  
CELL: 301.271.1234

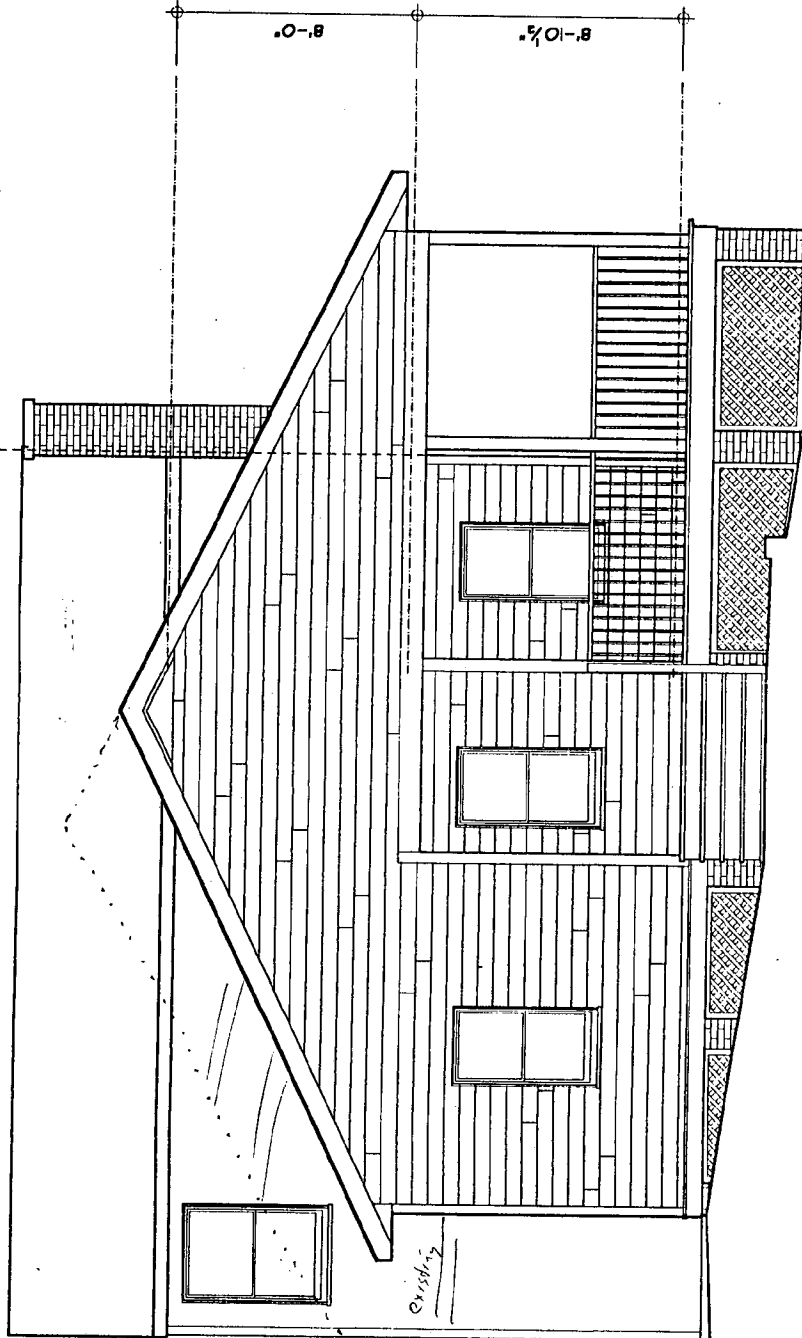
A04

EAST  
ELEVATION

Date: 10 APR 94  
Scale: 3/16" = 1'-0"

# PENNEY Residence

7318 Baldrace Avenue  
Takoma Park, MD 20912



APPROVED  
 Montgomery County  
 Historic Preservation Commission

202 6/23/99

KENT  
 RICHARD  
 ABRAMSON  
 ARCHITECT  
 P.O. BOX 11346  
 WASHINGTON, D.C. 20011  
 (202) 337-7777 FAX (202) 337-7777

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]*  
 102 6/23/99



3/2 x 5/2

**KENT  
 RICHARD  
 ABRAHAM  
 ARCHITECT**

P.O. BOX 11246  
 GARDEN PARK, MD 20912  
 (301) 890-7797 FAX (301) 890-6008

**PENNEY Residence**  
 7318 Baltimore Avenue  
 Takoma Park, MD 20912

SOUTH  
 ELEVATION

Date: 10 APR 99  
 Scale: 3/16" = 1'-0"

**A06**

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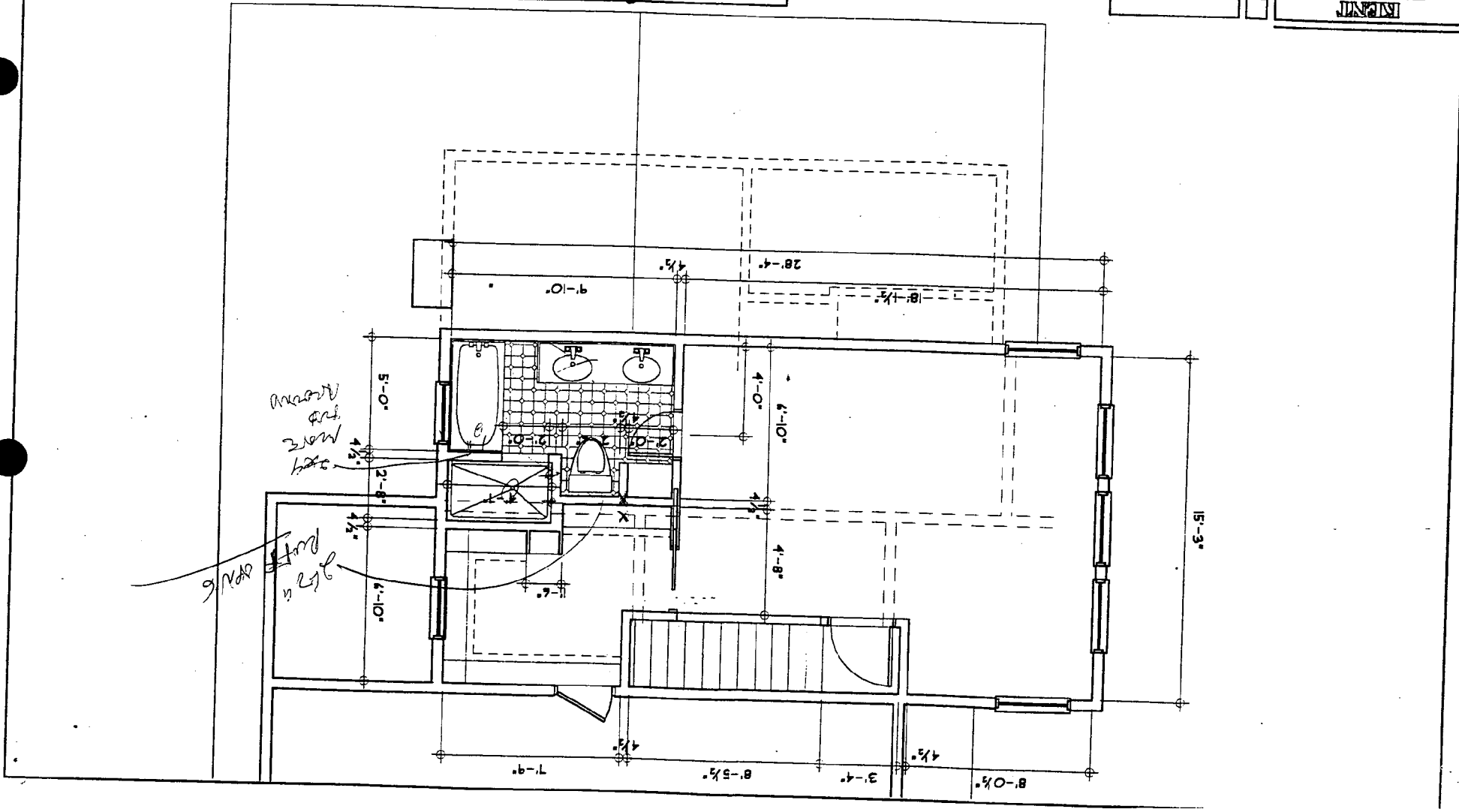
A03

SECOND FLOOR  
PLAN

Date: 25 MAR 99  
Scale: 1/4" = 1'-0"

PENNEY Residence  
7318 Baltimore Avenue  
Takoma Park, MD 20912

RICHARD  
ALBERTSON  
ARCHITECT  
P.O. BOX 11348  
27002A WASH. DC 20011  
(202) 837-7778



## HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7318 Baltimore Avenue Meeting Date: 6/23/99  
Resource: Takoma Park Historic District Review: HAWP  
Case Number: 37/3-990 Tax Credit: No  
Public Notice: 6/9/99 Report Date: 6/16/99  
Applicant: Walt Penny & Cheryl Brand Staff: Robin D. Ziek  
PROPOSAL: Second-Story Addition RECOMMEND: Approval

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Resource: Non-Contributing Resource in the Takoma Park Historic District  
Style: Ranch  
Date: ca. 1980

This 1-1/2 story frame house sits on a flag lot far back from the street, and is not readily seen. The original structure was enlarged with a rear addition at some time in the past.

### PROJECT DESCRIPTION

The applicant proposes to raise the walls and roof in the center portion of the house, establishing a cross-gable element. This section will be a true 2-story, although the roof will be only 3.5' higher than the existing roof. The existing chimney will be also raised approximately the same amount to comply with the building code. All of the new materials will match the existing.

### STAFF DISCUSSION

The proposed alterations are modest. Changes to a Non-Contributing resource are evaluated in terms of their effect on the overall historic district, as noted in the *Takoma Park Guidelines* (p. 17). This proposal is small scale in terms of massing, and compatible with the style of the house in terms of design and in terms of the overall district.

### STAFF RECOMMENDATION

Staff recommends, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



RE TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850  
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

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Daytime Phone No.: 301 585-4237

Tax Account No.: + Cheryl Brand

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Street Number City Street Zip Code

Contractor: P+H Construction Phone No.: 301 270-0736

Contractor Registration No.: 23162

Agent for Owner: na Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 7318 Street: Baltimore Avenue

Town/City: Takoma Park Nearest Cross Street: Takoma Avenue

Lot: 15+16 Block: 76 Subdivision: Takoma Park Loan Trust

Liber: 4269 Folio: 589 Parcel:

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Cheryl Brand (wife) Signature of owner or authorized agent  
6/8/99 Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

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Properties That Border on  
7318 Baltimore Ave.  
Takoma Park, MD 20912:

7316, 7320, 7322 Baltimore Ave.  
504, 506, 508 Albany Ave.  
7323, 7325, 7327 Takoma Ave.

Directly across street:  
7319 Baltimore Ave.

# PROJECT LOCATION

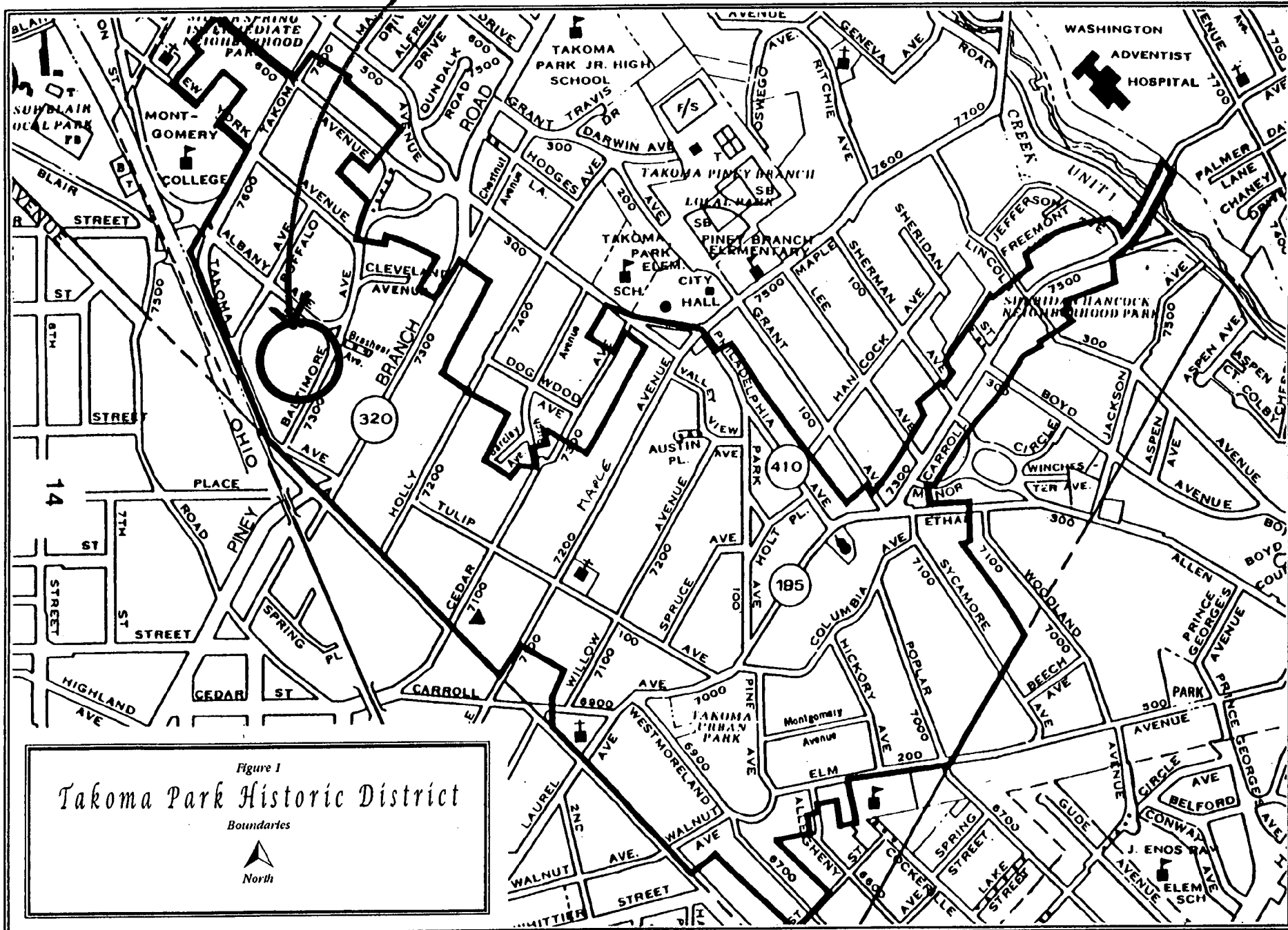
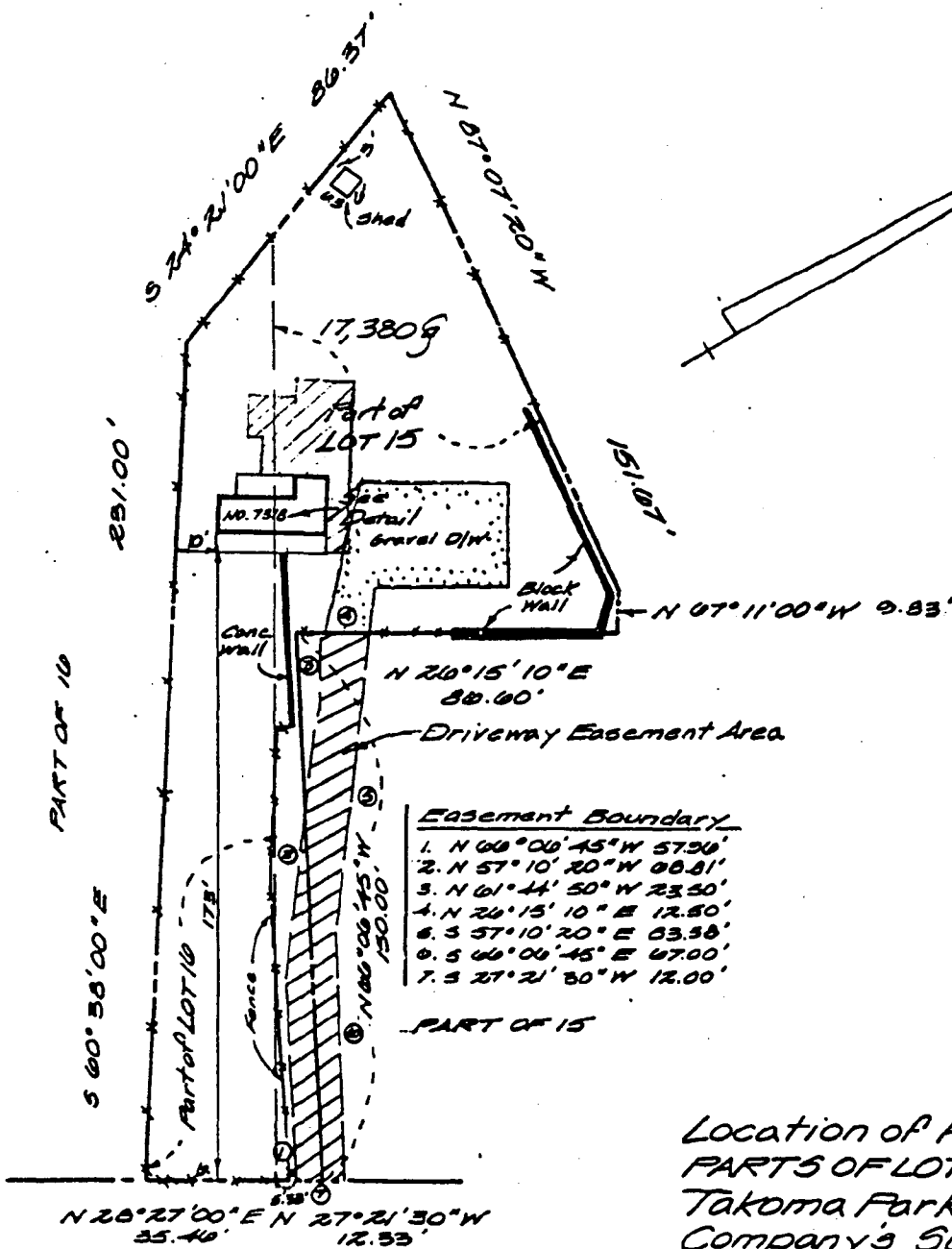


Figure 1  
 Takoma Park Historic District  
 Boundaries

North

5



BALTIMORE AVENUE

Location of House  
PARTS OF LOTS 15 & 16, BLOCK 76  
Takoma Park Loan and Trust  
Company's Subdivision  
TAKOMA PARK  
Montgomery County, Md.

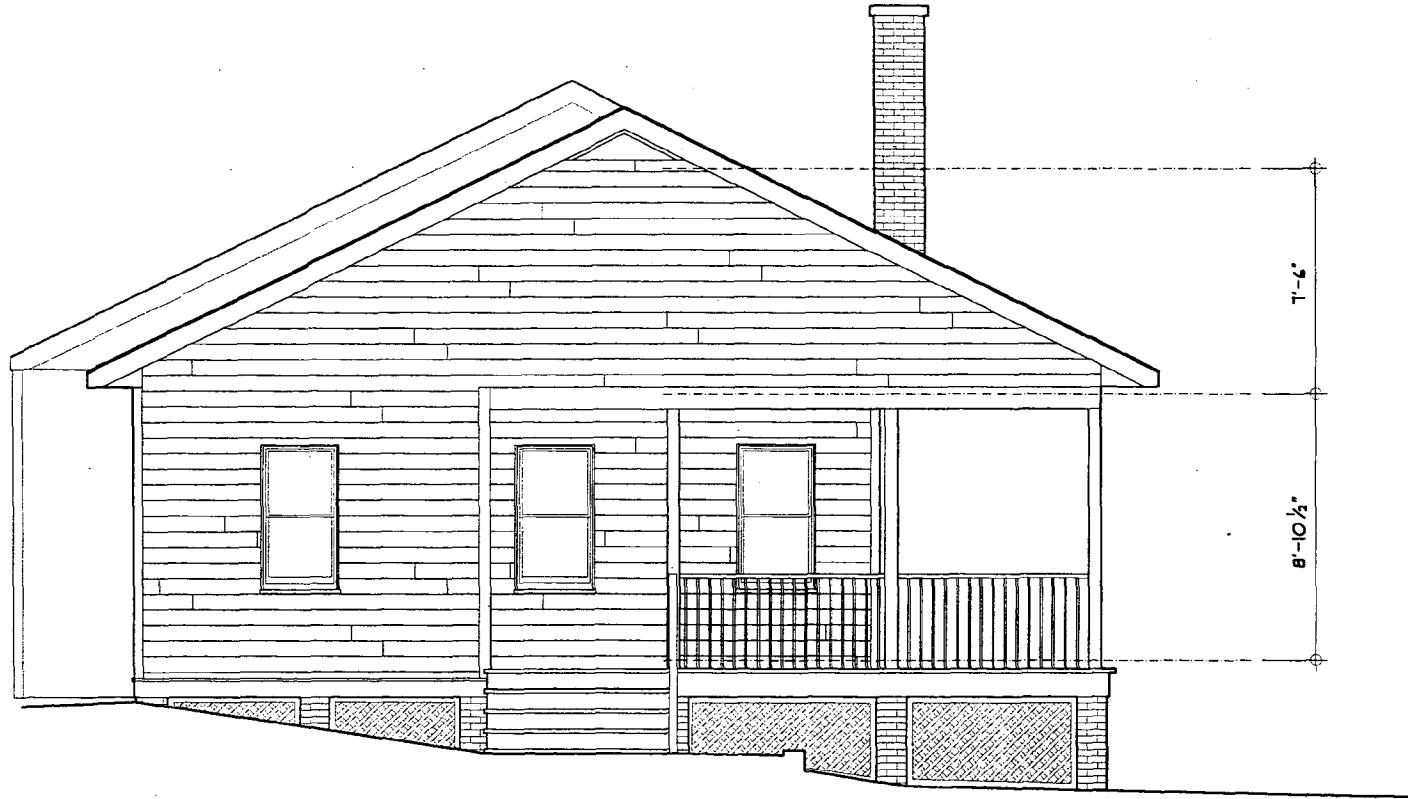
**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS.

*Harry G. Blanchard*  
REGISTERED LAND SURVEYOR MD. 7180

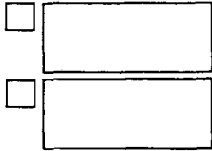
REFERENCES		SNIDER, BLANCHARD, LAUGHLAND & TACIK, INC. SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS	
PLAT BK.	B	10 EAST CHURCH ST. FREDERICK, MD 21701 (301) 662-4500	2 PROFESSIONAL DR. SUITE 211 GAITHERSBURG, MD 20760 948-5100
PLAT NO.	23	DATE OF SURVEYS	SCALE: 1" = 50'
LIBER	1709	WALL CHECK:	DRAWN BY: RB
FOLIO	589	HSE. LOC.: 6-24-80	JOB NO.: 80-4640
		BOUNDARY:	

EXISTING FRONT ELEVATION



**KENT  
RICHARD  
ABRAHAM  
ARCHITECT**

F.O. BOX 11246  
TAKOMA PARK, MD 20912  
(301) 290-8770 FAX (301) 290-8008



**PENNEY Residence**  
7318 Baltimore Avenue  
Takoma Park, MD 20912

EAST  
ELEVATION

Date: 10 APR 99  
Scale: 3/16" = 1'-0"

**A04**

Copyright 1999, Kent Richard Abraham.  
Design and drawing for the exterior and  
interior of the house. All rights reserved.  
All materials and workmanship subject  
to change without notice.

(7)

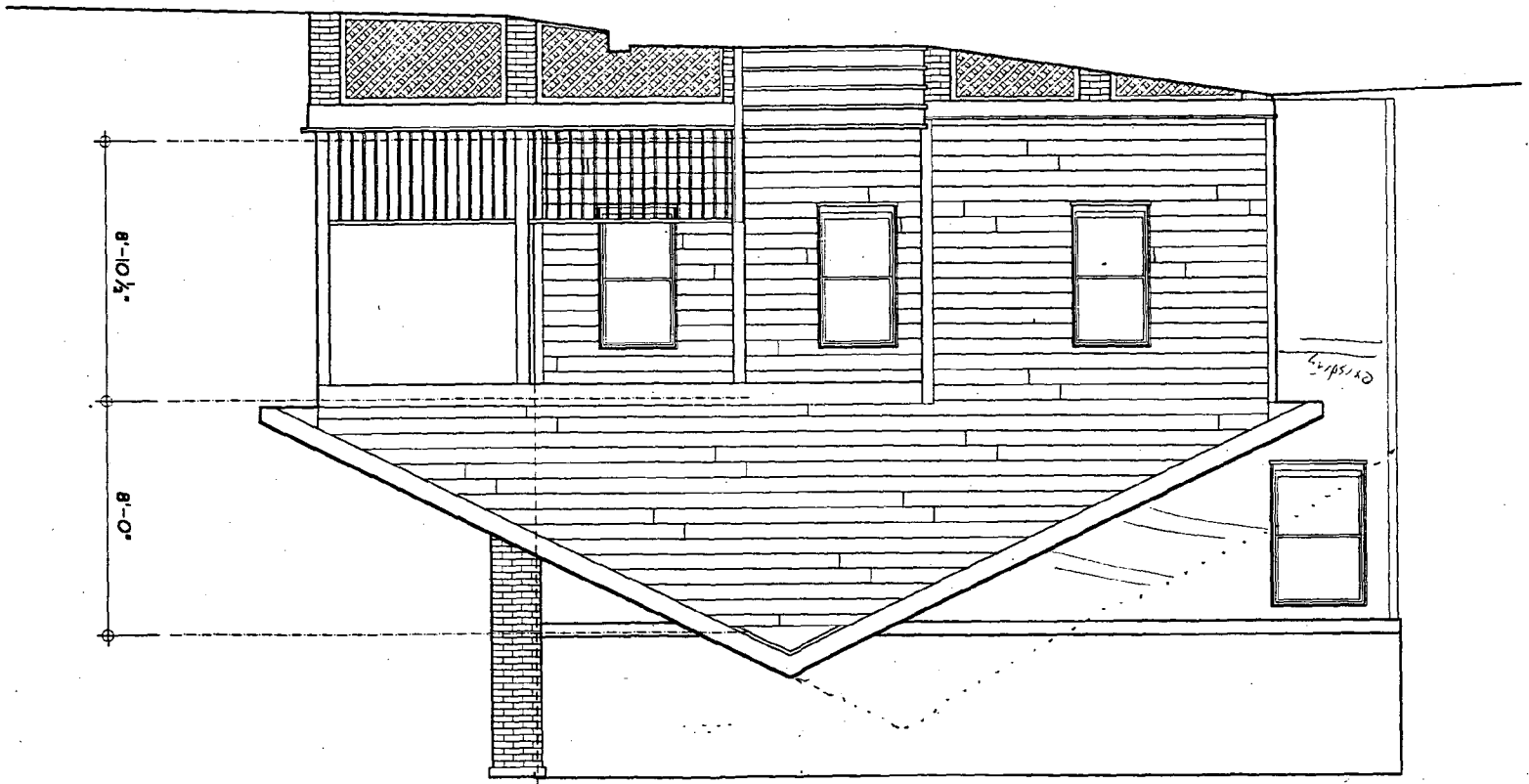


INTERNET  
RICHARD  
ALBRECHT  
ARCHITECT  
10 BOX 1124  
TAKOMA PARK, MD 20912  
(301) 291-7775 FAX (301) 291-0005

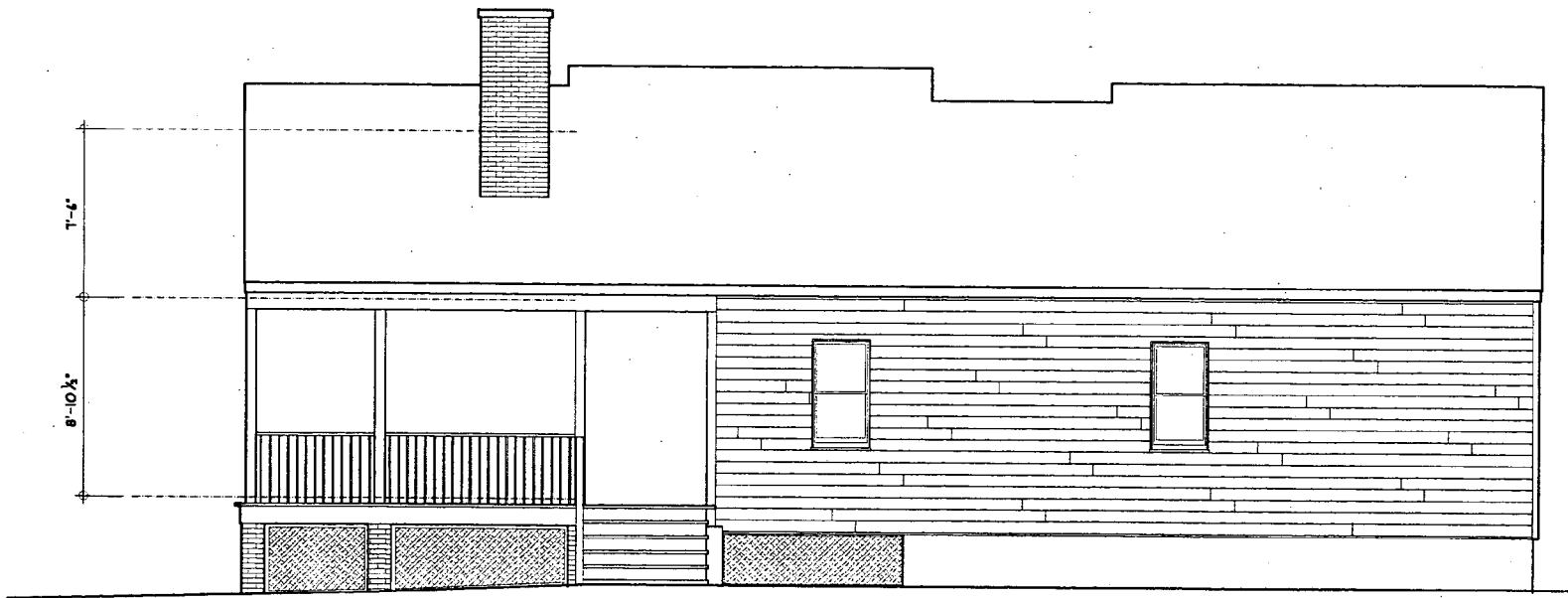
PENNEY Residence  
7318 Baltimore Avenue  
Takoma Park, MD 20912

EAST  
ELEVATION  
Date: 10 APR 94  
Scale: 3/16" = 1'-0"

A04

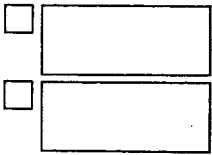


PROPOSED FRONT ELEVATION



**KENT  
RICHARD  
ABRAHAM  
ARCHITECT**

P.O. BOX 11346  
TAKOMA PARK, MD 20913  
(301) 690-2775 FAX (301) 690-8008



**PENNEY Residence**  
7318 Baltimore Avenue  
Takoma Park, MD 20912

*EXISTING*

NORTH  
ELEVATION

Date: 10 APR 99  
Scale: 3/16" = 1'-0"

**A05**

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6

RICHARD  
 RICHARD  
 ALBERTSON  
 ARCHITECTS  
 70 BOX 11348  
 TAKOMA PARK, MD 20912  
 (301) 880-7778 FAX (301) 880-0008

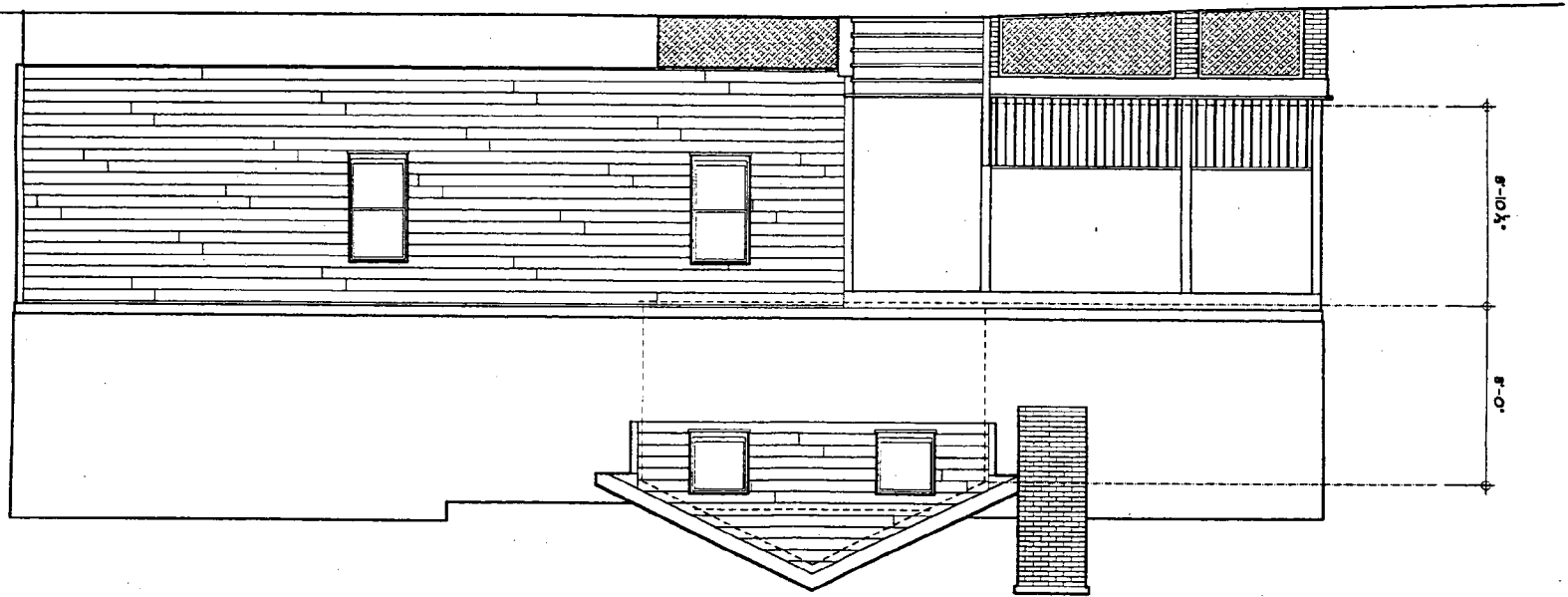
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PENNEY Residence  
 7319 Baltimore Avenue  
 Takoma Park, MD 20912

NORTH  
 ELEVATION  
 Date: 10 APR 99  
 Scale: 3/16" = 1'-0"

A05

Proposed



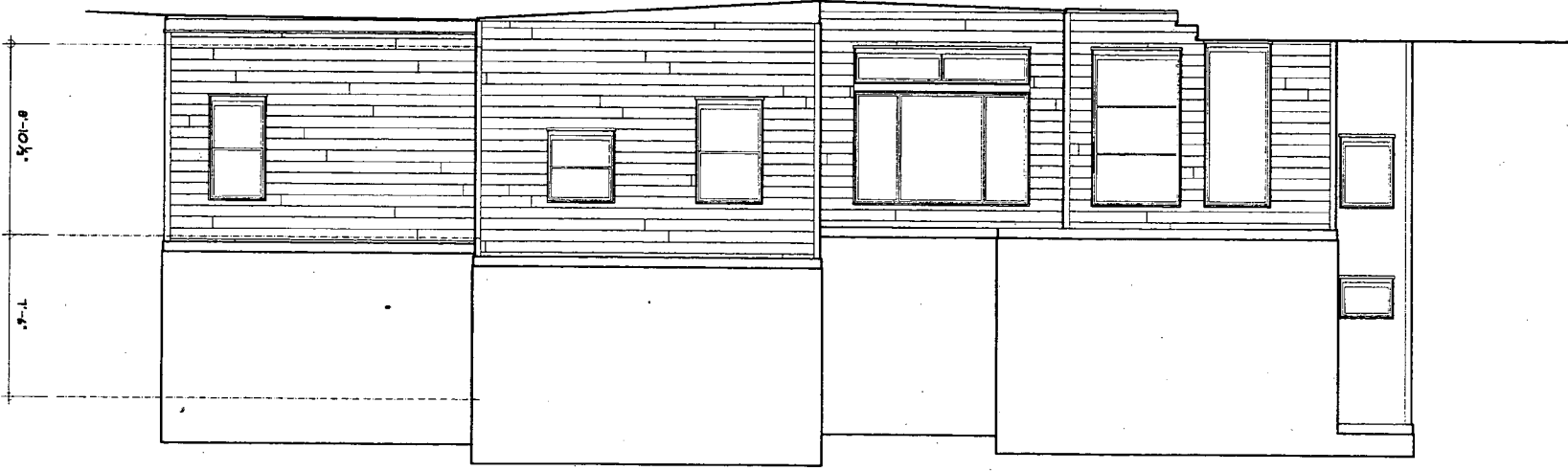
RICHARD  
 RICHARD  
 ARCHITECT  
 710 WEST 116th  
 TAKOMA PARK, MD 20913  
 (301) 894-7776 FAX (301) 890-0098

PENNNEY Residence  
 7318 Baltimore Avenue  
 Takoma Park, MD 20912

SOUTH  
 ELEVATION  
 Date: 10 APR 94  
 Scale: 3/16" = 1'-0"

A06  
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EXISTING

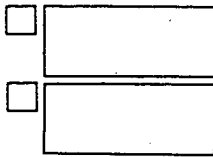




3/2 x 5/2

PROPOSED

**KENT  
RICHARD  
ABRAHAM,  
ARCHITECT**  
P.O. BOX 11246  
TAKOMA PARK, MD 20913  
(301) 890-2770 FAX (301) 890-8008

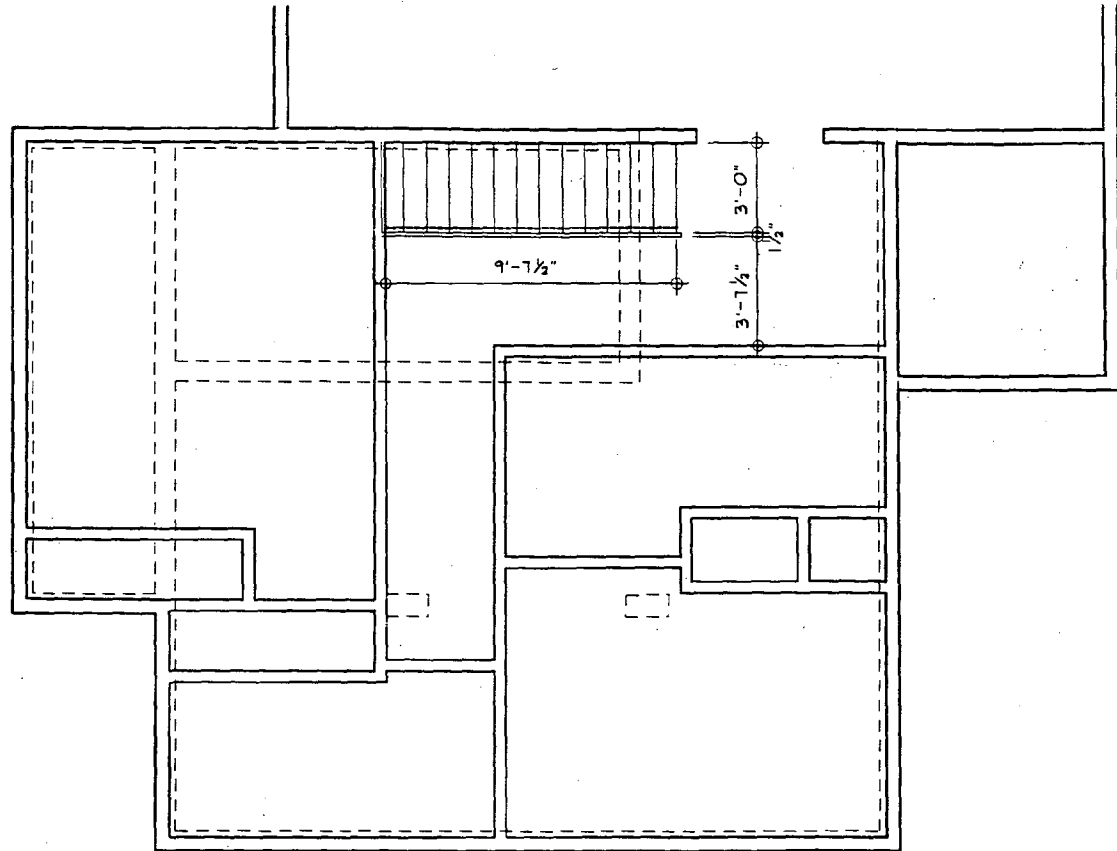


**PENNEY Residence**  
7318 Baltimore Avenue  
Takoma Park, MD 20912

SOUTH  
ELEVATION  
  
Date: 10 APR 99  
Scale: 3/16" = 1'-0"

**A06**  
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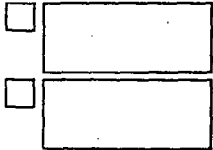
(12)



PROPOSED

**KENT  
RICHARD  
ABRAHAM,  
ARCHITECT**

P.O. BOX 11349  
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**PENNEY Residence**  
 7318 Baltimore Avenue  
 Takoma Park, MD 20912

FIRST FLOOR  
 PLAN

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Date: 25 MAR 99  
 Scale: 1/4" = 1'-0"

**A02**

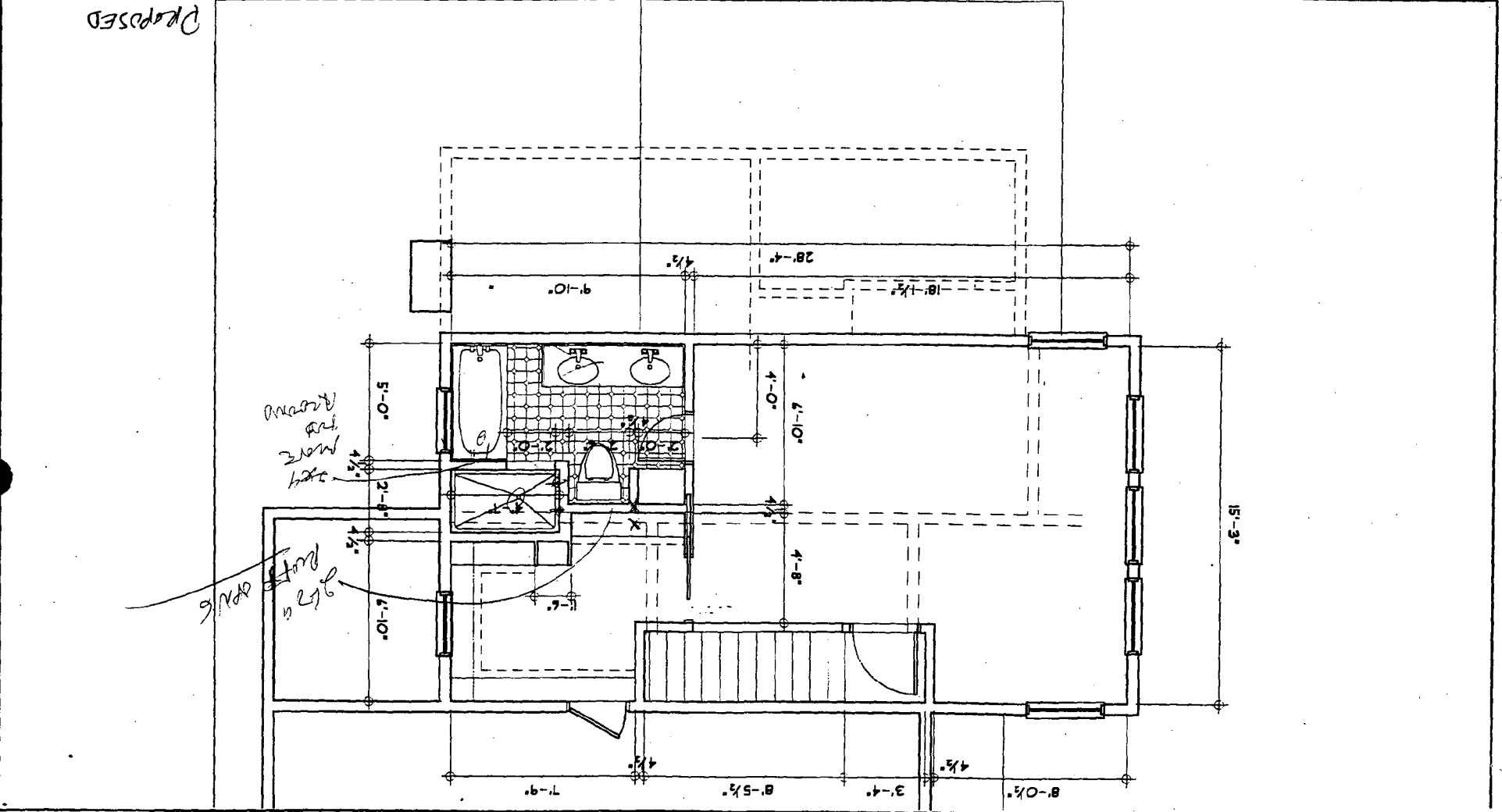
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**PENNEY Residence**  
7318 Baltimore Avenue  
Takoma Park, MD 20912

SECOND FLOOR  
PLAN  
DATE 25 MAR 88  
SCALE 1/4" = 1'-0"

**A03**



# STRUCTURAL NOTES

## Live Loads

- Roof (Ground Snow Load).....30 psf
- Habitable Rooms.....40 psf
- Stairs.....100 psf
- Balconies.....60 psf
- Handrails.....100 pif, or 300 lbs point load  
In any direction
- Wind.....21 psf

## CARPENTRY AND LUMBER

### Wood and Lumber Materials, Generally

All wood shall be supplied with 19% max moisture content. Manufacture to comply with PS20 of "American Softwood Lumber Standards". All lumber shall bear the grade mark of an ALSC Board of Review approved agency. All materials, unless otherwise specifically approved in advance by the Architect, will be S4S, and shall meet or exceed the following:

### Framing Lumber

Douglas Fir South #2 or better, construction grade. See notes on Drawings for sizes of lumber members. Materials shall be:

- Light Framing:.....Standard or "Stud"
- Plates, Blocking and Nailers:.....Utility or No. 3
- Studs, Load-Bearing:.....Standard or No. 3
- Studs, Non-Load-Bearing:....."Stud"
- Structural Joists and Planks:.....Meeting stresses below

### Paste

Hem-Fir #2 or equivalent, per national lumber grades authority. See notes on Drawings for sizes of post members.

### Allowable Wood Stresses

All wood members shall meet the following standards:

- a) FLEXURE..... $F_b = 1350$  psi for repetitive members, and 1200 psi for single members.
- b) SHEAR..... $F_v = 90$  psi.
- c) MODULUS OF ELASTICITY..... $E = 1.3 \times 10^6$  psi for joists & beams, and  $1.4 \times 10^6$  psi for posts.
- d) COMPRESSION PARALLEL..... $F_c = 875$  psi.

### Wall Framing

All wall studs shall be 2x4s, spaced at 16" o.c. Place double studs at ends of walls, and triple studs at intersections and corners. Install blocking in all stud walls at floor and ceiling levels. All lintels shall be 2-2x8, unless noted otherwise, and supported on double studs. All double studs shall be fastened with 12d nails at 6" o.c.

### Framing, Generally

On all framing members to receive a finished wall or ceiling, align the finish subsurface to vary not more than 1/8" from the plane of adjacent framing members. All miscellaneous wood connections shall be fastened per CABO table R-402.3.2, unless otherwise noted.

Provide solid blocking between joists at all bearing points. Double joists shall be located beneath all partitions when the length of the partition exceeds 1/2 of the span of the joist. Multiple joists and rafters shall be fastened together with minimum 12d nails at 6" o.c.

All miscellaneous wood connections shall be fastened per CABO table No. R-402.3.2, unless otherwise noted.

### Microlams and Laminated Members

Microlams shall be installed and fastened per the manufacturer's recommendations. Double microlams are to be fastened together with 16d nails at 12" o.c.; provide 2 rows of fasteners for beams 4" to 12" deep, and 3 rows of fasteners for beams 14" to 18" deep, installed staggered.

Member properties shall be as follows:

- a) FLEXURE..... $F_b = 2800$  psi
- b) SHEAR..... $F_v = 285$  psi
- c) MODULUS OF ELASTICITY..... $E = 2.0 \times 10^6$  psi

### Bearing

Provide minimum of 3" bearing for all microlam beams, and 2" bearing for standard lumber beams.

### Plywood

Standard Underlayment Grade Int. A.P.A. 5 ply with exterior glued, tongue and groove edges, or blocked at all edges, 3/8" thick.

## CONCRETE AND MASONRY

### Masonry and Concrete Construction, Generally

The contractor shall be responsible for providing temporary bracing and shoring as required to ensure vertical & lateral stability of the entire structure or any portion thereof during construction. The design procedures shall conform with all governing codes and safety requirements. Temporary bracing and shoring shall conform to OSHA regulations.

### Footings and Foundations

Assumed bearing capacity for all shallow footings is 2000 psf. Assumed bearing capacity shall be verified by the contractor's geotechnical engineer. Should unsuitable material be encountered, footings shall be over-excavated and replaced with lean concrete,  $F_c=2500$  psi.

### Cast-in-Place Concrete

All concrete work shall be in accordance with ACI 301-84, ACI 318-84 and ACI 302-80. Reinforcing steel shall be deformed billet steel conforming to ASTM A615 Grade 60. Reinforcement splices shall be lap splices with a minimum lap of 40 bar diameters unless noted otherwise.

Cast-in-place concrete shall be ready-mix per ASTM C94. Min. 28-day compressive strength shall be  $F_c=3500$  psi, with a slump of 4" ± 1" at the point of discharge into forms. The mix shall be proportioned with:

- a) Portland Cement, ASTM C150
- b) Aggregates, ASTM C33 with 3/4" max diameter
- c) No calcium chloride shall be permitted
- d) Air entrainment, ASTM C260
- e) Water-Reducing Admixture, ASTM C494
- f) Fly Ash, ASTM C618-78 class F, 20% max by weight
- g) Water, clean and potable

All Welded Wire Fabric (WWEF) shall conform to ASTM A185. All mesh edges shall lap min 2 squares.

Moisture barrier shall be min. 6-mil polyethylene.

All concrete exposed to weather shall have min air entrainment of 6% + 1.2% per ACI 318 4.11.

Provide corner bars at all wall, beam & footing intersections.

### Concrete Masonry Units (CMU)

Hollow load-bearing units shall meet ASTM C90, normal weight, Type I, with a minimum net compressive unit strength of 1900 psi. (Net area compressive masonry strength  $F_m=1500$  psi).

Mortar shall be Type M or S, and meet ASTM C270.

Filled cells shall be filled with coarse grout, conforming to ASTM C476. Properties shall meet 2500 psi at 28 days, 3/8" maximum aggregate and 8"-11" slump.

Minimum reinforcement splice shall be 48 bar diameters. Wire tie lap splices. Horizontal wall reinforcing shall be 9 ga. galvanized ladder-type Dur-O-Wall (or equivalent), spaced 16" o/c maximum vertically. Lap splices minimum 12". Provide horizontal joint reinforcement at masonry openings such as doors and windows. Continue joint reinforcement for the first and second block course above and below opening. Extend reinforcement minimum 24" beyond opening.

Masonry control joints shall be installed as indicated. Additionally, provide masonry control joints spaced at 26'-0" o/c for exterior walls and 32'-0" for interior walls.

Provide 8" X 8" precast reinforced concrete lintels over all masonry openings not shown to have a structural beam. Minimum end bearing shall be 8".

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**PENNEY Residence**

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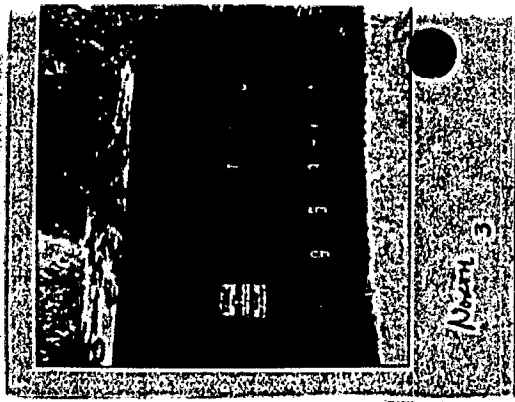
STRUCTURAL  
NOTES

Date: 25 MAR 99  
Scale: 1/4" = 1'-0"

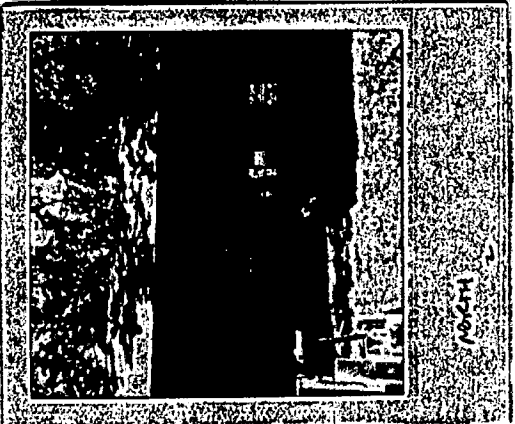
**S05**

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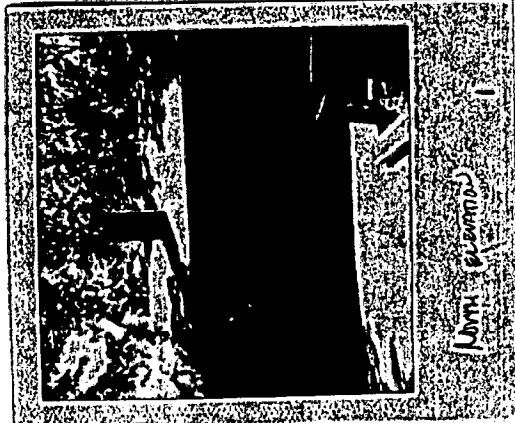




North 3



North



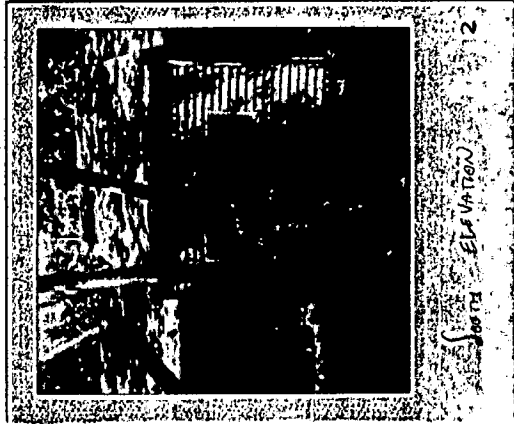
North Elevation 1



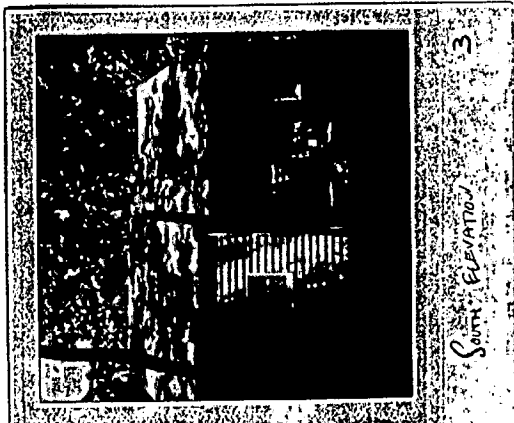
East (North) Elevation



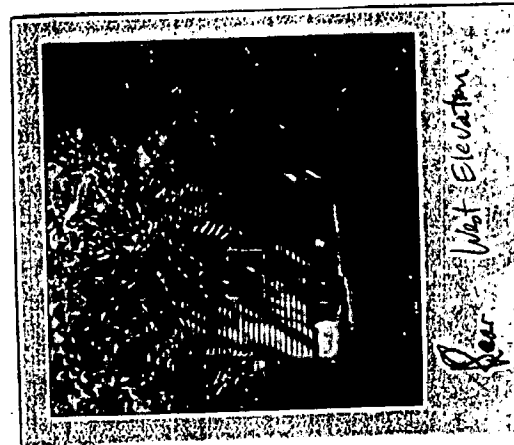
South Elevation 1



South Elevation 2



South Elevation 3



West Elevation 4

~~4807 Cumberland Ave~~  
~~Summit~~



SOUTH ELEVATION

3



SOUTH ELEVATION

2



SOUTH ELEVATION

L



NORTH

2



North 3



North elevation

1





Rear - West Elevation



EAST (FRONT) ELEVATION