

37/3 7305 Baltimore Ave.
37/3-89A

Case #37/3-89A
7305 Baltimore Ave.

HISTORIC PRESERVATION COMMISSION

Staff Review Form

Applicant: Nancy L. Cohen

Applicant's Address: 7305 Baltimore Ave., Takoma Park

Type of Review:

HAWP _____
ORD. Maintenance _____
Subdivision _____

Substantial Alteration X
Demolition _____
Other _____

Site No. (Atlas): 37/3

Site Address: _____
(if different from applicant)

Advertised: Yes _____ No _____

Proposed: (describe action to be taken)

- 1. Construction of wood porch

Staff recommendations and comments:

Staff concurs with the decision of the LAC, and supports their efforts to steer the applicant away from "Victorianization" of this mid 20th century structure. Generally, this structure falls under the category of "non contributing", and should be reviewed with a lesser degree of scrutiny than more significant structures.

Date: 2/1/89

Staff: Jared Cooper

Signature: *J. Cooper*

HPC Action:

Does not constitute substantial alteration - Commission agrees with LAC that columns should be "Doric" rather than Victorian.

Date: 2/2/89



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 24-1388-10 (2002) 2002-87

NAME OF PROPERTY OWNER Thomas L. Goff TELEPHONE NO. 301-279-1327
(Contract/Purchaser) (Include Area Code)

ADDRESS 1000 Rockville Pike CITY Rockville STATE MD ZIP 20850

CONTRACTOR Thomas L. Goff TELEPHONE NO. 301-279-1327
CONTRACTOR REGISTRATION NUMBER 200287

PLANS PREPARED BY Thomas L. Goff TELEPHONE NO. 301-279-1327
(Include Area Code)
REGISTRATION NUMBER 200287

LOCATION OF BUILDING/PREMISE

House Number 1000 Street Rockville Pike

Town/City Rockville Election District _____

Nearest Cross Street _____

Lot 2 Block 1000 Subdivision Rockville Pike

Liber 415 Folio PK Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
				Other	Woodburning Stove	

1B. CONSTRUCTION COSTS ESTIMATE \$ 6000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # 411

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PG&E

1E. IS THIS PROPERTY A HISTORICAL SITE? NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 (x) WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 (x) WSSC	02 () Well
03 () Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas L. Goff Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date _____

APPROVED Thomas L. Goff For Chairperson, Historic Preservation Commission

OISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: SA-5-89 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used;)

CONSTRUCT A COVERED FRONT PORCH.

TURNED POST & HANDRAIL, T&G FLOOR.

ALL WOOD, PRESERVE TRIMMED AS NECESSARY.

FLOOR WOOD BE GRAY & HAND RAIL W/RTD.

ROOF COVERING ASPHALT SHINGLES. (COLOR OF EXISTING ROOF.)

FRAME & WOOD POSTS WILL BE SCRUBBED BY SCHRUBBER.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

LOCAL ADVISORY COMMITTEE REVIEW FORM

EXTERIOR ALTERATIONS

I. Location of property

a. Located within the Takoma Park historic district.

b. This is a Master Plan/Atlas historic district (circle one).

c. Address of Property: 7305 Baltimore Avenue
Takoma Park, MD 20912

d. Property owner's name, address and phone number:

~~XXXXX~~ NANCY L. COHEN

~~same as above~~ same as above

(h) 588-7047 (w) N/A

e. Is this property a contributing resource within the historic district? Yes No XXXXX.

f. On a map of the district locate this property and any adjacent historic resources. Will this work impact other contributing historic resources? Yes No .

II. Description of work proposed

a. Briefly describe proposed work:

Construct wood porch on front facade of 1940's, 2 story Colonial (brick & wood) house

b. Is this work on the front, rear, or side of the structure?

Front

c. Is the work visible from the street?

Yes

d. What are the materials to be used?

Wood

e. Are these materials compatible with existing materials? How? If not, why?

Yes House is brick-and-wood (brick 1st floor, clapboard 2nd floor)

III. Recommendation of the Local Advisory Committee

a. Approval of Work

1. Which criteria found in the Ordinance for Historic Preservation (Sec. 24A-8-b of the Montgomery County Code) does this work meet?

1

2. What conditions, if any, must be met in order for the proposed work to meet the above criteria? (example: the proposed windows should be double hung to conform with existing windows)

Owners have agreed to substitute round (Doric) columns for turned, Victorian columns illustrated in drawing.

b. Disapproval of Work

1. On what grounds is disapproval recommended? Refer to Sec. 24A-8.

2. How could this proposal be altered so as to be approved?

IV. Additional comments

Though the house is not a contributing resource (less than 50 years old), the proposed porch is sympathetic with the house and larger historic streetscape. 1 story, wood verandas are predominant elements in this railroad-trolley era suburban district.

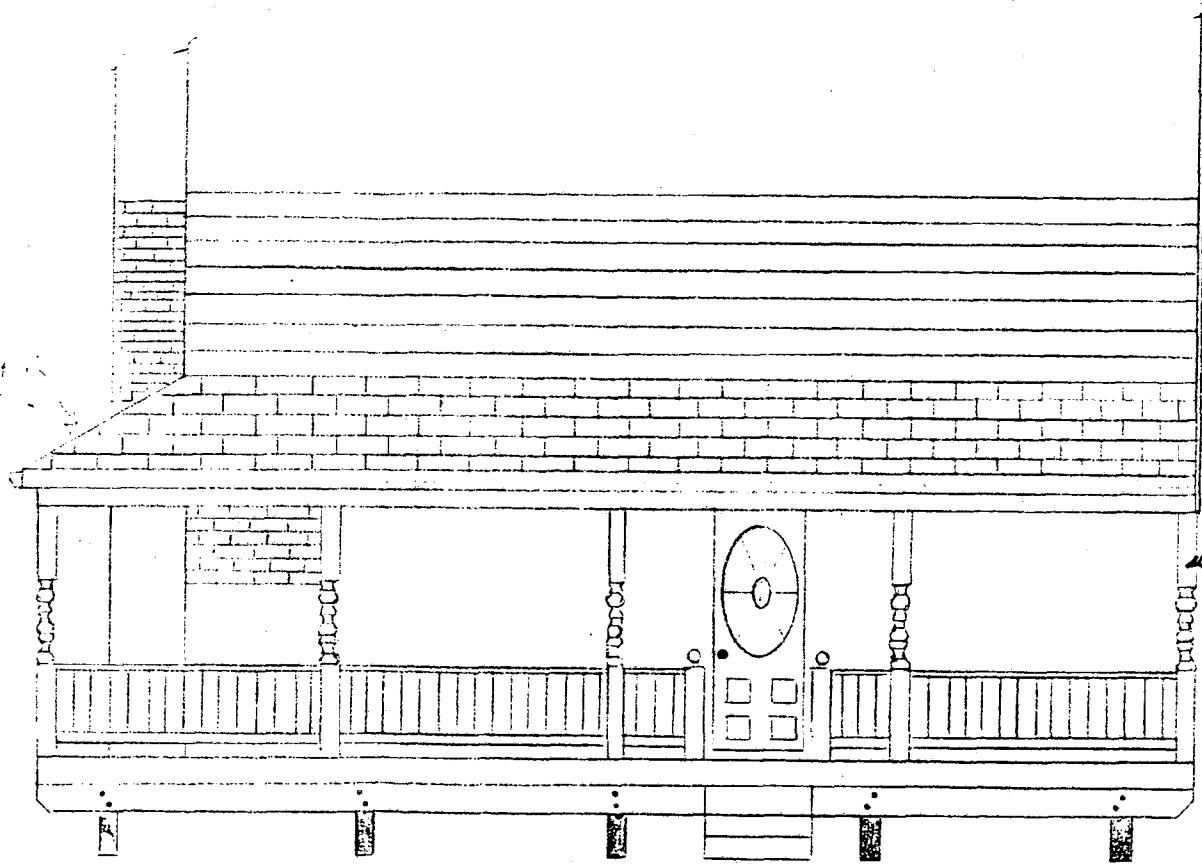
Date on which application received: 1/10/89

Date of LAC meeting at which application was reviewed: 1/10/89

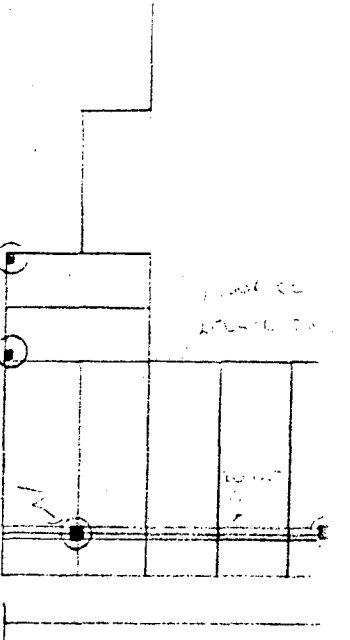
Form completed by: Caroline Alderson Title: Chairman

Member of: Takoma Park LAC

Date: 1/12/89



(Style of porch and columns
 will not be as presented here,
 but will be Classical (Ionic)
 in style. *J. B. Linn*
 2/2/09

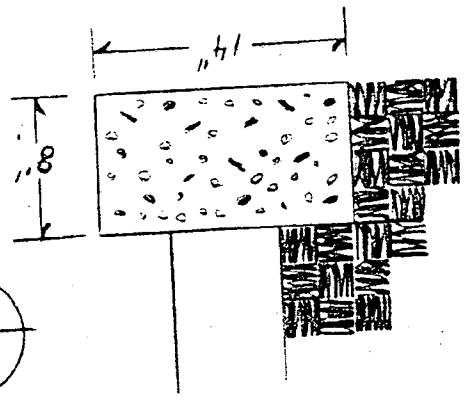
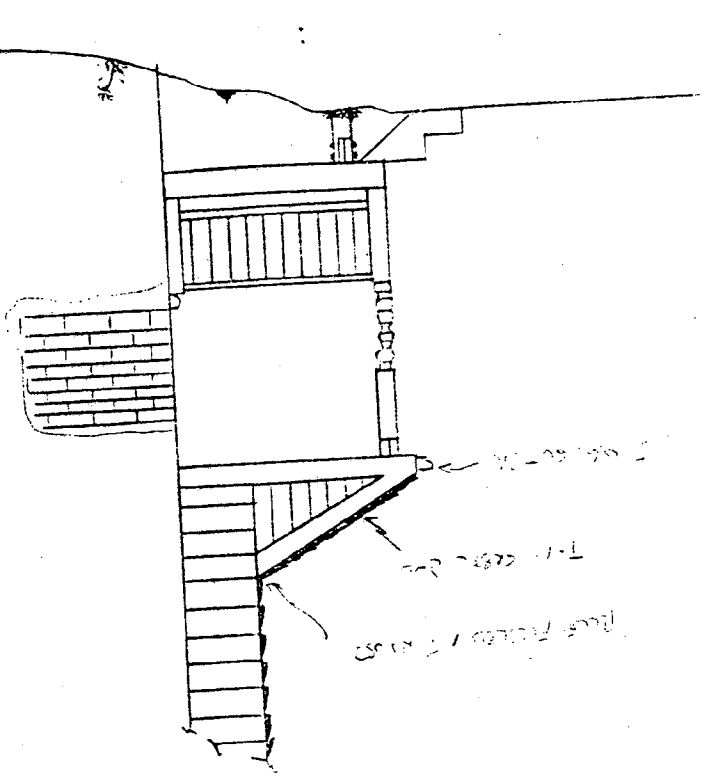


3
 5

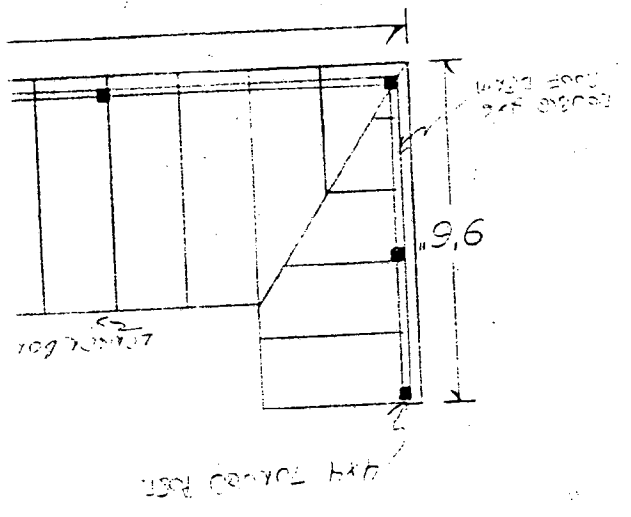
FRONT VIEW 1/4" = 1'

1
 5 FLS

4 5
SIDE VIEW 1/4"=1'

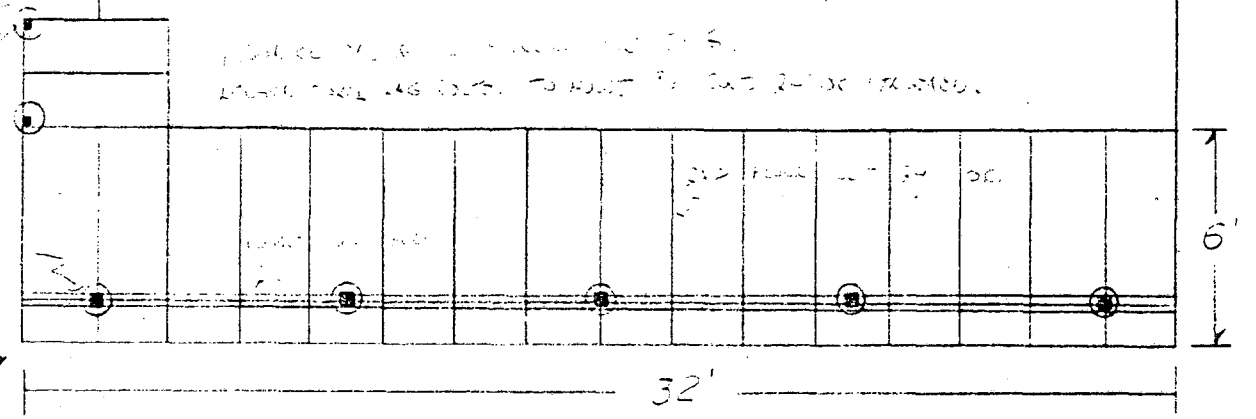


5 5
FOOTER 1/4"=2'



2 5
ROOF

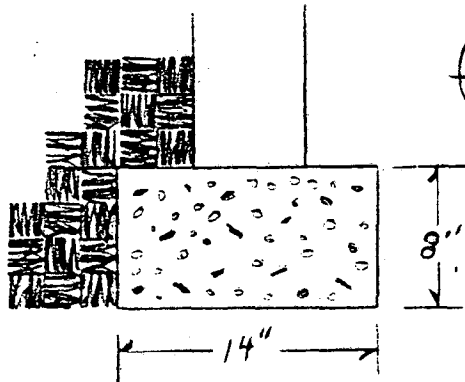
EXISTING HOUSE
TWO STORIES



style of porch and columns
will not be as presented here,
it will be Classical (Doric)
style. *Paul B. Cohen*
2/2/89

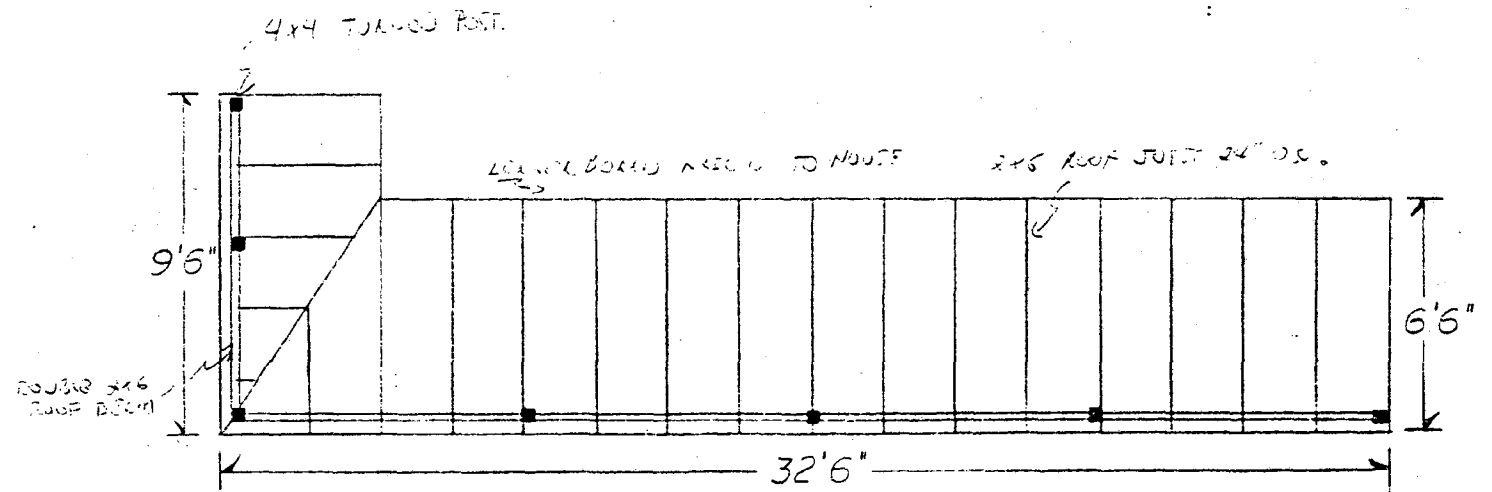
1
5 FLOOR FRAMING DIAGRAM $\frac{1}{4}''=1'$

COHEN / MCGARY RESIDENCE		
SCALE 1/4" = 1'	APPROVED BY	DRAWN BY <i>P. ROUSEY</i>
DATE 12-24-88		REVISED
7305 BALTIMORE AVE.		TAKOMA PARK, MD. 20912
1 1/2" x 12" WOOD JOIST		DRAWING NUMBER 8836



5
5

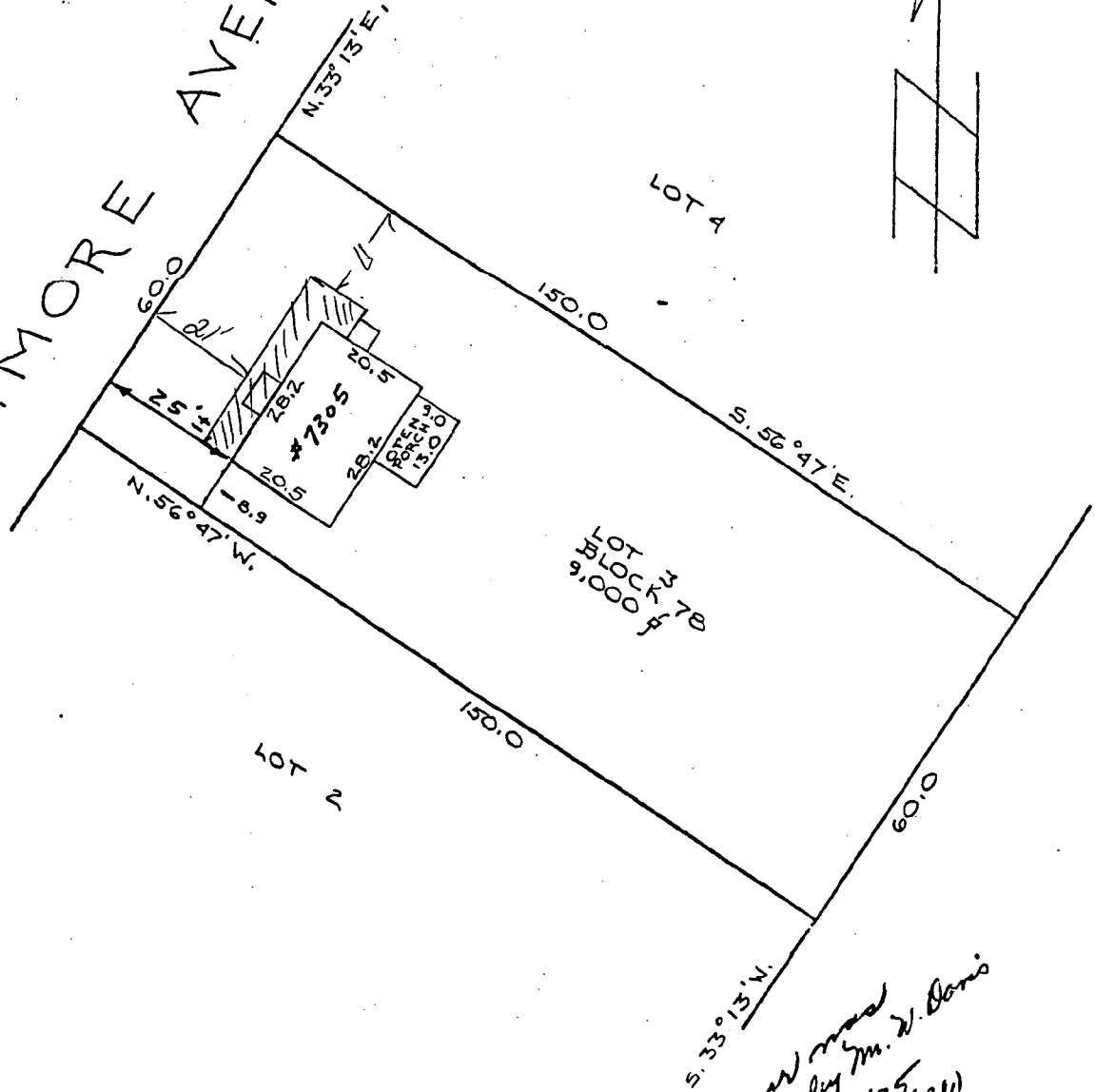
FOOTER $\frac{1}{4}'' = 2''$



2
5

ROOF FRAMING DIAGRAM $\frac{1}{4}'' = 1''$

BALTIMORE AVENUE



*Surveyor's map
Approved by M. W. Davis
on 5/17/75
JLBW
sc.*

HOUSE LOCATION
LOT 3 BLOCK 78
 THE T. P. L. + T. COMPANY'S
 SUBDIVISION
TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND
 RECORDED IN PLAT BOOK B, PLAT 23 SCALE 1" = 30'

NOTE: This drawing is not intended to establish property lines nor the existence of corner markers guaranteed. All information shown herein taken from the land records of the county in which the property is located.

I hereby certify that the position of all the existing improvements on the above described property has been established by a transit tape measurement and that unless otherwise shown there are no encroachments.

By Elwood L. Renn
 ELWOOD L. RENN
 Registered Land Surveyor
 Maryland No. 3383

Date: APRIL 25, 1975

64081

C-SE

37/3
7305 BALTIMORE AVE







