

37/3 7310 Baltimore Ave.  
OM 24-88



**Historic Preservation Commission**  
 100 Maryland Avenue, Rockville, Maryland 20850  
 279-1327

# APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # \_\_\_\_\_

NAME OF PROPERTY OWNER William Brown TELEPHONE NO. 301-452-1111  
 (Contract/Purchaser) \_\_\_\_\_ (Include Area Code) \_\_\_\_\_

ADDRESS \_\_\_\_\_ CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP \_\_\_\_\_

CONTRACTOR \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_  
 CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_

PLANS PREPARED BY \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_  
 (Include Area Code) \_\_\_\_\_

REGISTRATION NUMBER \_\_\_\_\_

LOCATION OF BUILDING/PREMISE

House Number 7910 Street Baltimore Ave

Town/City Volunta Park Election District \_\_\_\_\_

Nearest Cross Street Volunta Ave

Lot 8 Block 7638 Subdivision Volunta Park

Liber 121 Folio 93 Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	Repair <u>Repair</u>	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
				Other	Woodburning Stove	

1B. CONSTRUCTION COSTS ESTIMATE \$ 6250

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # None

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY Power

1E. IS THIS PROPERTY A HISTORICAL SITE? Yes built in 1917

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 ( ) WSSC	02 ( ) Septic
03 ( ) Other _____	

2B. TYPE OF WATER SUPPLY

01 ( ) WSSC	02 ( ) Well
03 ( ) Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) \_\_\_\_\_ Date 7/14/83

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

APPLICATION/PERMIT NO: 209 24-88 FILING FEE: \$ \_\_\_\_\_

DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_

OWNERSHIP CDDE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

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(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:  
HISTORIC PRESERVATION COMMISSION  
100 MARYLAND AVENUE  
ROCKVILLE, MARYLAND 20850

*Handwritten scribbles or marks at the bottom of the page.*

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

Remove and replace old front porch.

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

Construct new porch to resemble old porch as close as possible. To be width of house (20') and porch floor to be approximately 7' out from house. To be supported by all new concrete footers and 4" x 4" posts. Roof material 3/4" plywood w/ 2 x 6's on 2 foot center line. Shingles to match those on house as close as possible. Porch deck to be 2" to 3 1/2" tongue & groove planks or treated lumber (depending on availability). Deck framing material to be treated. Porch deck to be enclosed w/ treated lattice. Porch rail to be pickets on 6" center line w/ upper & lower rails. Existing gutter and asbestos siding to be reused if possible.

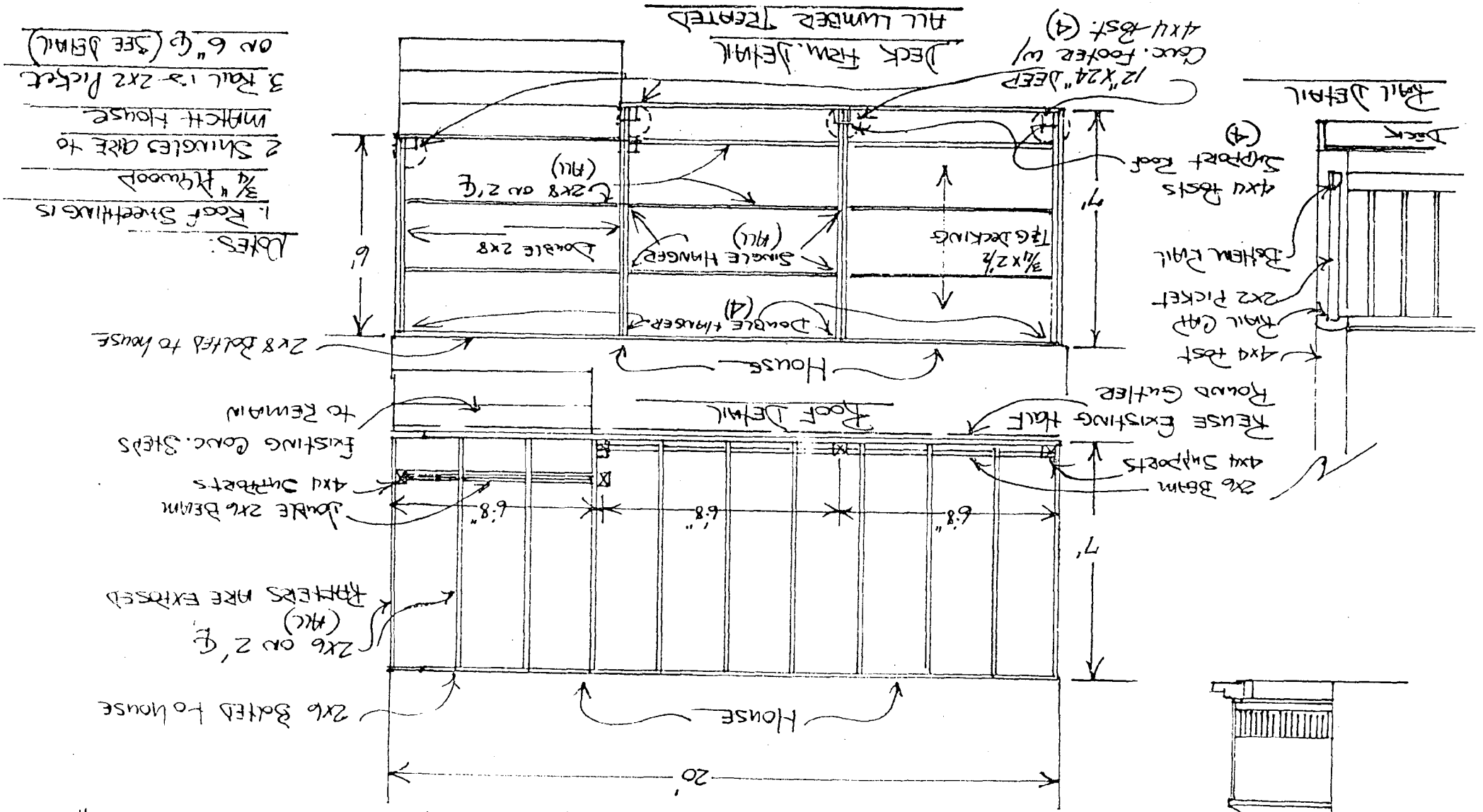
(If more space is needed, attach additional sheets on plain or lined paper to this application)

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100 MARYLAND AVENUE  
ROCKVILLE, MARYLAND 20850

1, 510 Baltimore Ave.  
Takoma Park, MD 20912  
Brown Res.  
Curt. Johnson LTD.  
SCALE 1/4" = 1 FOOT  
4/6/88

RECONSTRUCTION OF  
EXISTING PORCH & ROOF



Notes:  
1. Roof Sheathing is 3/4" Plywood  
2. Shingles are to MATCH House  
3. Rail is 2x2 Picket on 6" (SEE DETAIL)

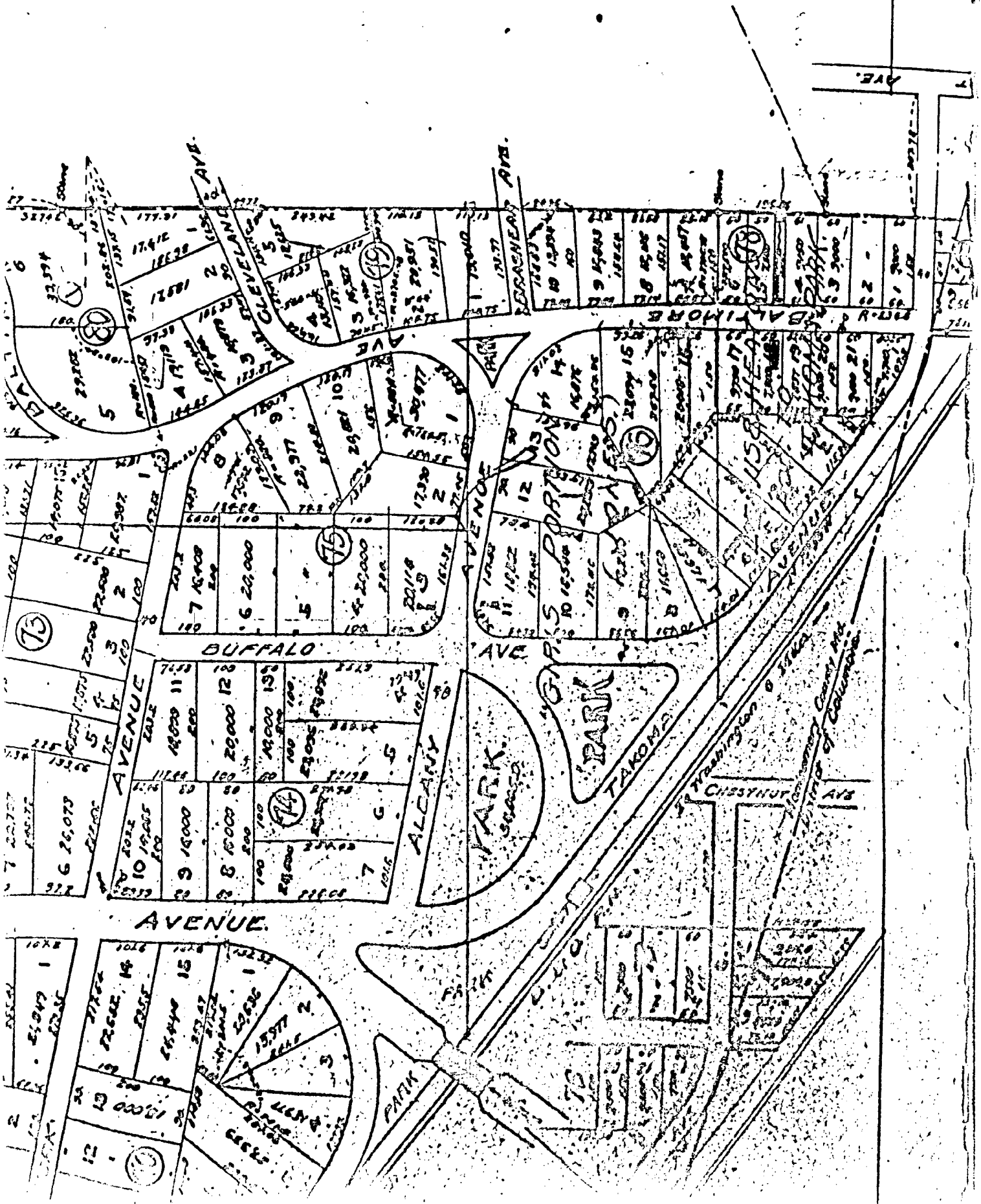
SPECIAL NOTE New Siding to Resemble Old Siding

EXPOSED GABLE END  
SHED FROM OLD ROOF  
Roof Pitch to match  
OLD ROOF PITCH

No. 193. ✓

Acts of the General Assembly of Maryland, Session of 1914,  
true and accurate copy of the original, recorded in Liber  
1 Records of Montg Co., Md., of which it purports to be

W. Ernest Offutt,  
County Surveyor for Montgomery County.

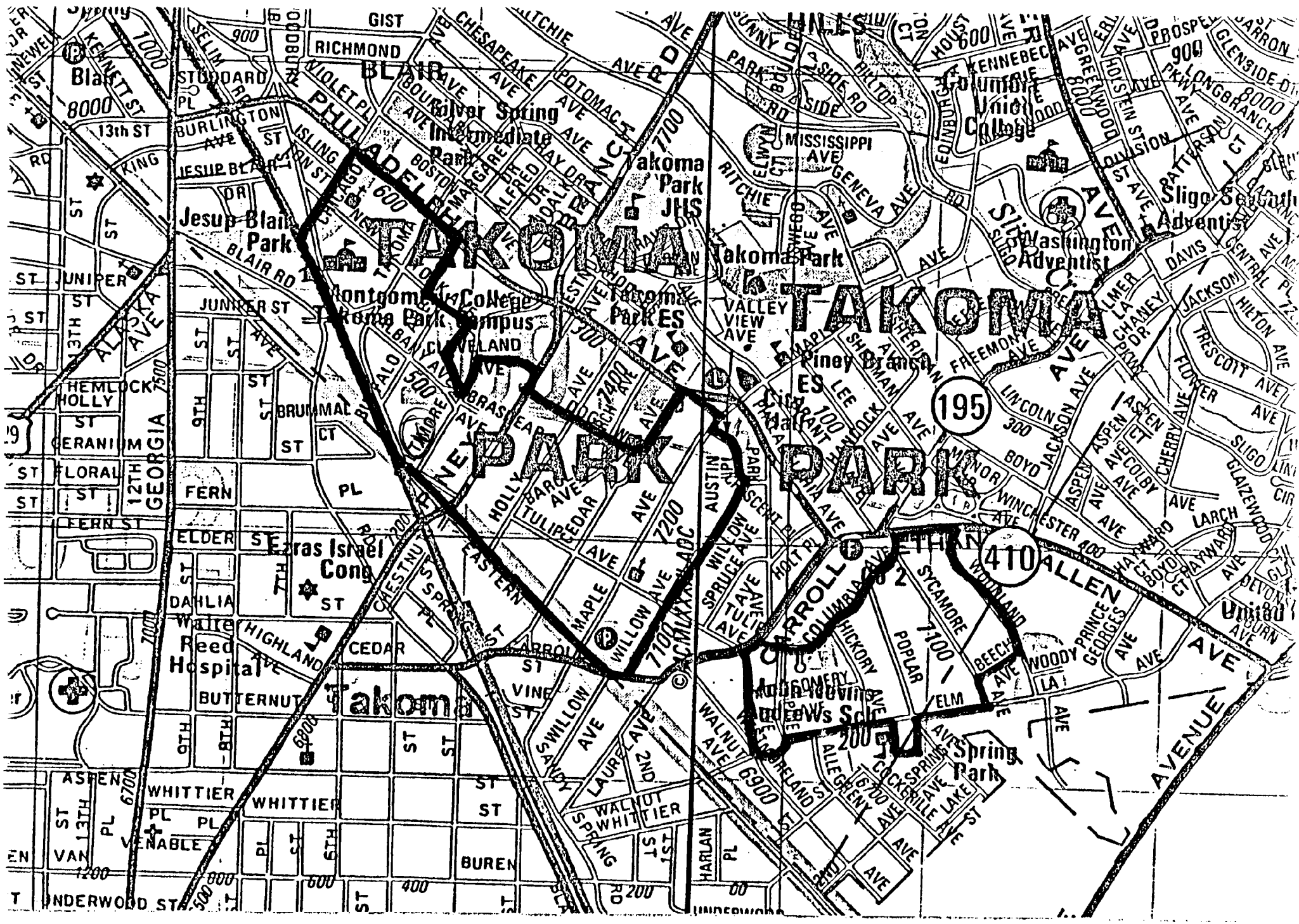


## Railing Info.

E. Brown  
7310 Baltimore Ave  
Takoma Pk., Md.

- When I purchased the house in Jan. 1978, there was no porch rail. (See photos.)
- In Sept. 1980, a new "Chippendale" rail was installed, copying the rail at 7312 Baltimore. (See photo.)
- \* (No ~~code~~<sup>code</sup> waiver was obtained.)
- ~~Because~~ The "Chippendale" style rail appears <sup>to be</sup> too ornate for the narrow, vertical, straight lines of the <sup>7310</sup> house <sup>(photo)</sup> and ~~because~~ the railing as seen at 7308 Baltimore (photo) would appear to be more appropriate and historically correct for 7310 and its style.
- There appears to be no justification to request a waiver to replace the 7½ year old, but inappropriate, "Chippendale" style rail.
- Also there is no historical evidence that "Chippendale" rail is appropriate for 7310.

I request a vertical style railing as has been installed at 7308 Baltimore. (See detailed drawing and photo.)



# TAKOMA PARK

# TAKOMA PARK

# NEW PARK

# PARK

## Takoma

195

410



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

LOCAL ADVISORY COMMITTEE REVIEW FORM

EXTERIOR ALTERATIONS

I. Location of property

- a. Located within the Takoma Park historic district.
- b. This is a Master Plan / Atlas historic district (circle one).
- c. Address of Property: 7310 Baltimore Ave.
- d. Owner of property and address: Ellen Brown, 7310 Baltimore, Takoma Park, MD 20910
- e. Is this property a contributing resource within the historic district? Yes
- f. On a map of the district locate this property and any adjacent historic resources. Will this work impact other contributing historic resources?  
Yes

II. Description of work proposed Front porch: rebuild; replace railing

- a. Is this work on the front, rear, or side of the structure?  
Front
- b. Is the work visible from the street? Yes
- c. What are the materials to be used? Wood
- d. Are these materials compatible with existing materials? How? Yes, all

If not, why? features to be replaced in kind, except for non-historic chippendale ~~railing~~ railing installed previously by same owner (copies neighbor's, has no historic basis) to be replaced with simpler square balusters

III. Recommendation of the Local Advisory Committee

a. Approval of Work

1. Which criteria found in the Ordinance for Historic Preservation (Sec. 24A-8-b of the Montgomery County Code) does this work meet?

2

2. What conditions, if any, must be met in order for the proposed work to meet the above criteria? (example: the proposed windows should be double hung to conform with existing windows)

b. Disapproval of Work

1. On what grounds is disapproval recommended? Refer to Sec. 24A-8.

2. How could this proposal be altered so as to be approved?

IV. Additional comments

While the present ~~new~~ railing is an exact duplicate of an ~~origin~~ original railing elsewhere in the district, it has no historical basis at this house (see Photo).

The plain posts and rails ~~are proposed~~ proposed are probably closer to what was

Date on which applicant was notified of LAC meeting 4/11/88 originally there

Form completed by Caroline Alderson *Caroline Alderson*

Member of Takoma Park LAC

Date 4/13/88