

37/3 7425 Buffalo Ave.
OM 37-87



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER _____ TELEPHONE NO. _____
(Contract/Purchaser) (Include Area Code)

ADDRESS _____ CITY _____ STATE _____ ZIP _____

CONTRACTOR _____ TELEPHONE NO. _____
CONTRACTOR REGISTRATION NUMBER _____

PLANS PREPARED BY _____ TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number _____ Street _____

Town/City _____ Election District _____

Nearest Cross Street _____

Lot _____ Block _____ Subdivision _____

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revision	Porch	Oeck	Fireplace
		Revocable		Fence/Wall (complete Section 4)	Shed	Solar
					Woodburning Stove	Other

1B. CONSTRUCTION COSTS ESTIMATE \$ _____

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY _____

1E. IS THIS PROPERTY A HISTORICAL SITE? _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENO/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 () WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 () WSSC	02 () Well
03 () Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date _____

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: _____ FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

LOCAL ADVISORY COMMITTEE REVIEW FORM

EXTERIOR ALTERATIONS

I. Location of property

a. Located within the Takoma Park historic district.

b. This is a Master Plan/Atlas historic district (circle one).

c. Address of Property: 7425 Buffalo Avenue
Takoma Park, MD 20912

d. Property owner's name, address and phone number:

Charles Pilzer

7425 Buffalo Avenue, Takoma Park, MD 20912

(h) 565-8818 (w) _____

e. Is this property a contributing resource within the historic district? Yes No _____

f. On a map of the district locate this property and any adjacent historic resources. Will this work impact other contributing historic resources? Yes No _____

II. Description of work proposed

a. Briefly describe proposed work:

Restore altered portions of front facade: replace deteriorated brick steps and iron railing with wood steps, wood railing, and Tuscan wood column

b. Is this work on the front, rear, or side of the structure?

front

c. Is the work visible from the street?

yes

d. What are the materials to be used?

wood

e. Are these materials compatible with existing materials? How? If not, why?

very compatible-this is a nice restoration which will certainly improve the appearance of the historic streetscape

III. Recommendation of the Local Advisory Committee

a. Approval of Work

1. Which criteria found in the Ordinance for Historic Preservation (Sec. 24A-8-b of the Montgomery County Code) does this work meet?

2

2. What conditions, if any, must be met in order for the proposed work to meet the above criteria? (example: the proposed windows should be double hung to conform with existing windows)

New work should be painted.

b. Disapproval of Work

1. On what grounds is disapproval recommended? - Refer to Sec. 24A-8.

2. How could this proposal be altered so as to be approved?

IV. Additional comments.

Date on which application received: August 2, 1987

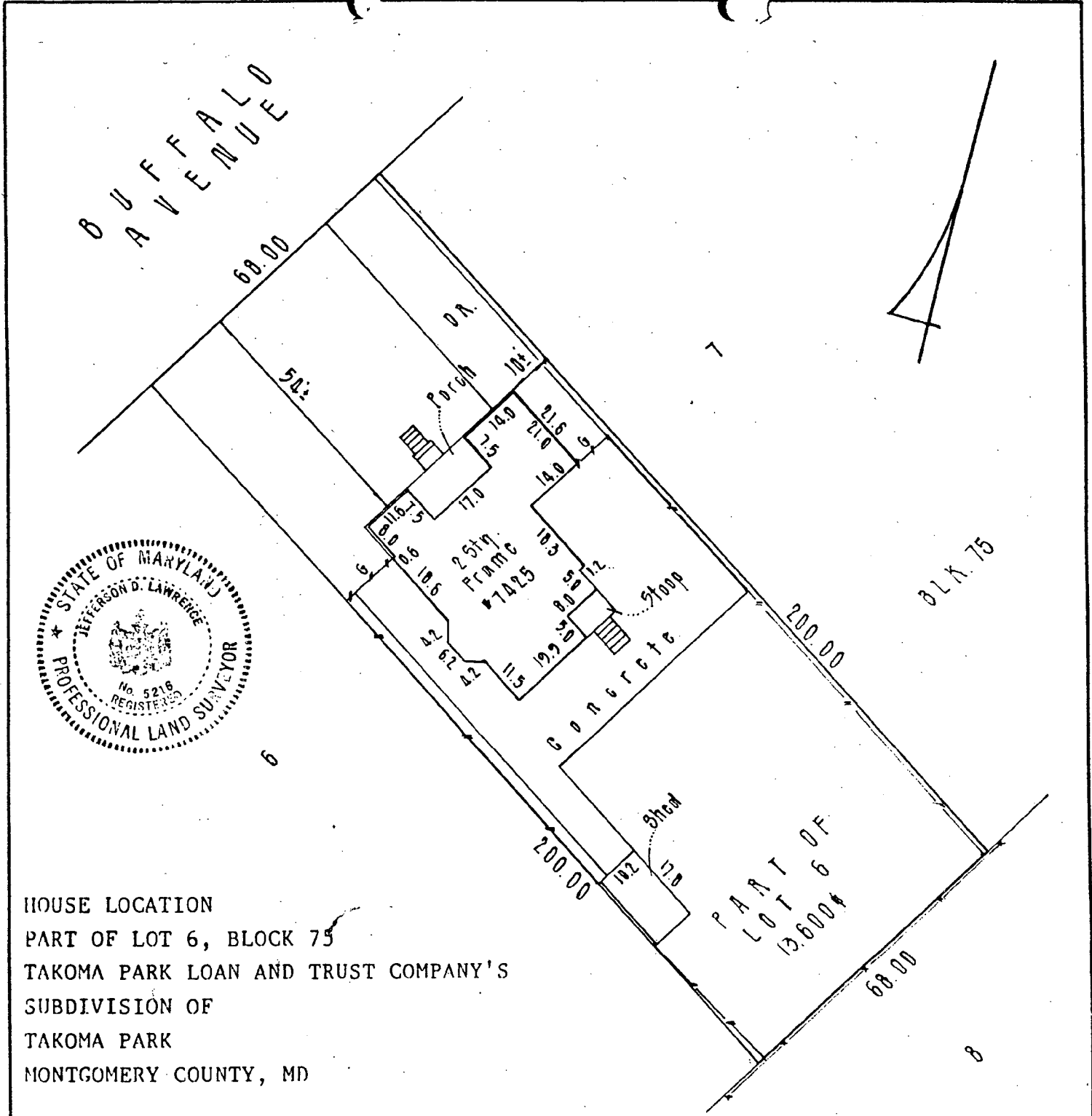
Date of LAC meeting at which application was reviewed: 8/11/87

Form completed by: Caroline Alderson Title: Chairman


Member of: Takoma Park LAC

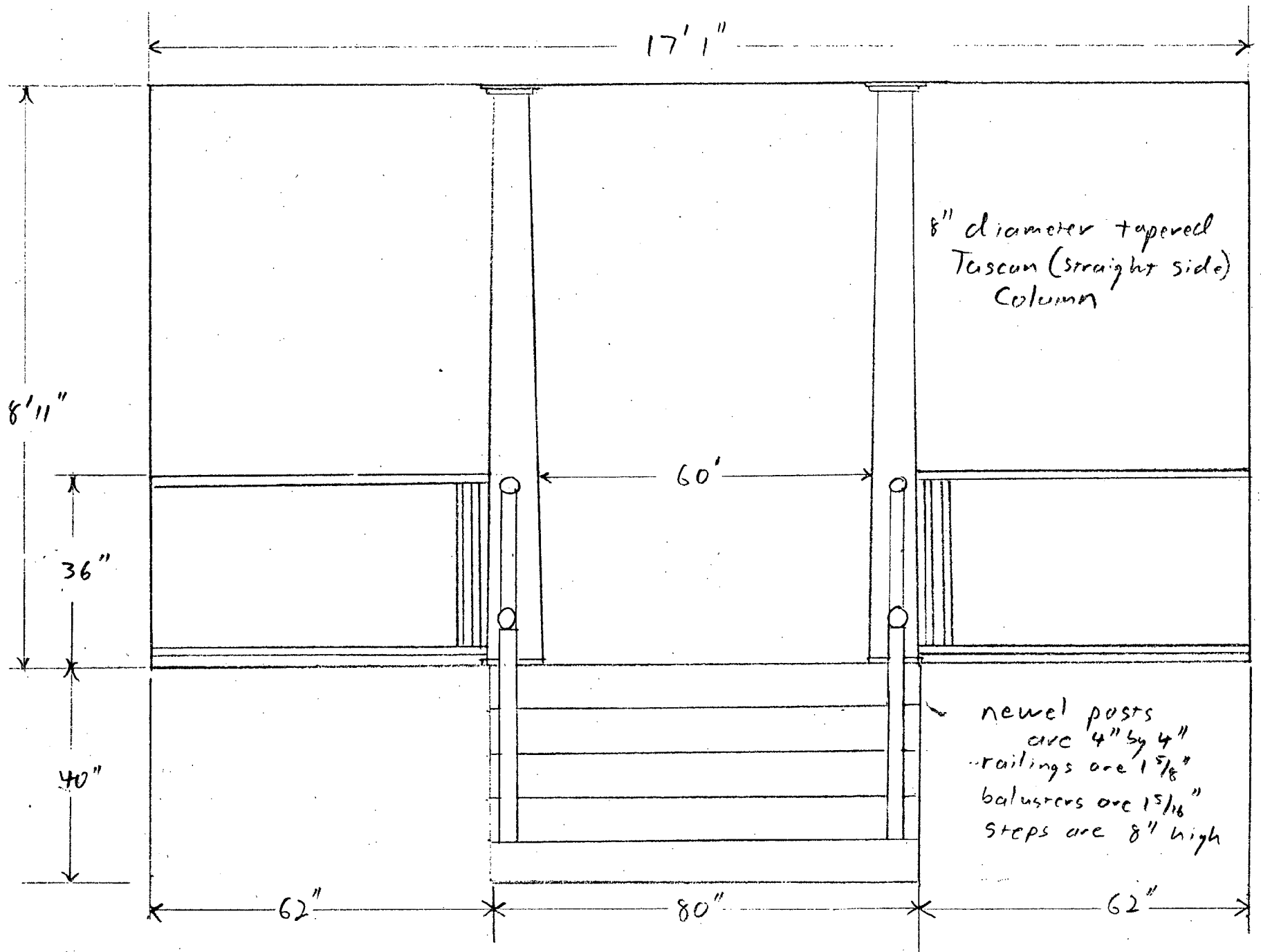
Date: 8/12/87

Caroline Alderson



HOUSE LOCATION
 PART OF LOT 6, BLOCK 75
 TAKOMA PARK LOAN AND TRUST COMPANY'S
 SUBDIVISION OF
 TAKOMA PARK
 MONTGOMERY COUNTY, MD

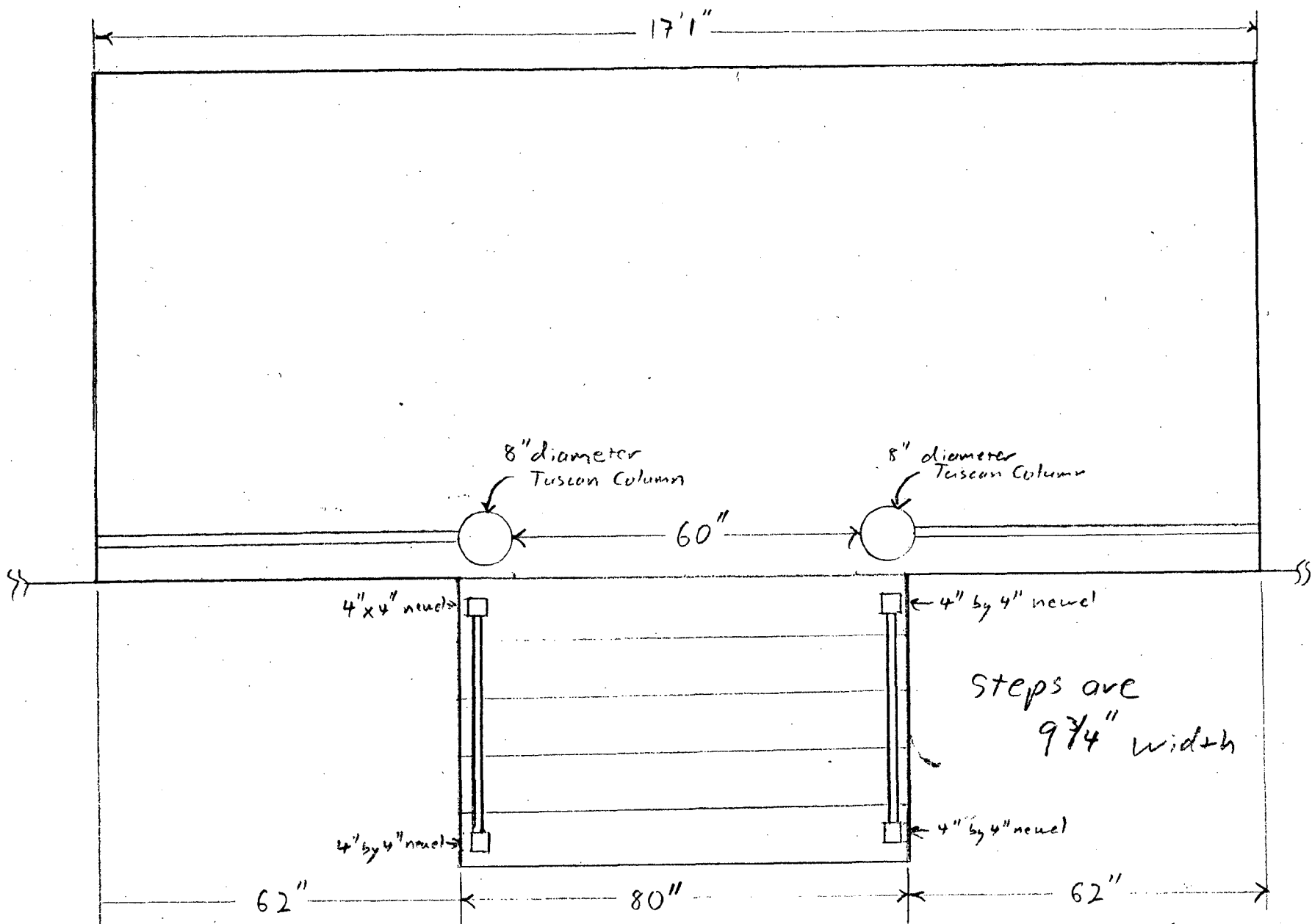
SURVEYOR'S CERTIFICATE I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY.  JEFFERSON D. LAWRENCE REGISTERED LAND SURVEYOR MARYLAND # 5216	REFERENCES PLAT BK. 8 PLAT NO. 32	ANDJON ASSOCIATES 7 Brookes Avenue Gaithersburg, Maryland 20877 (301) 840-9010	
	LIBER FOLIO		



7425 Buffalo Ave

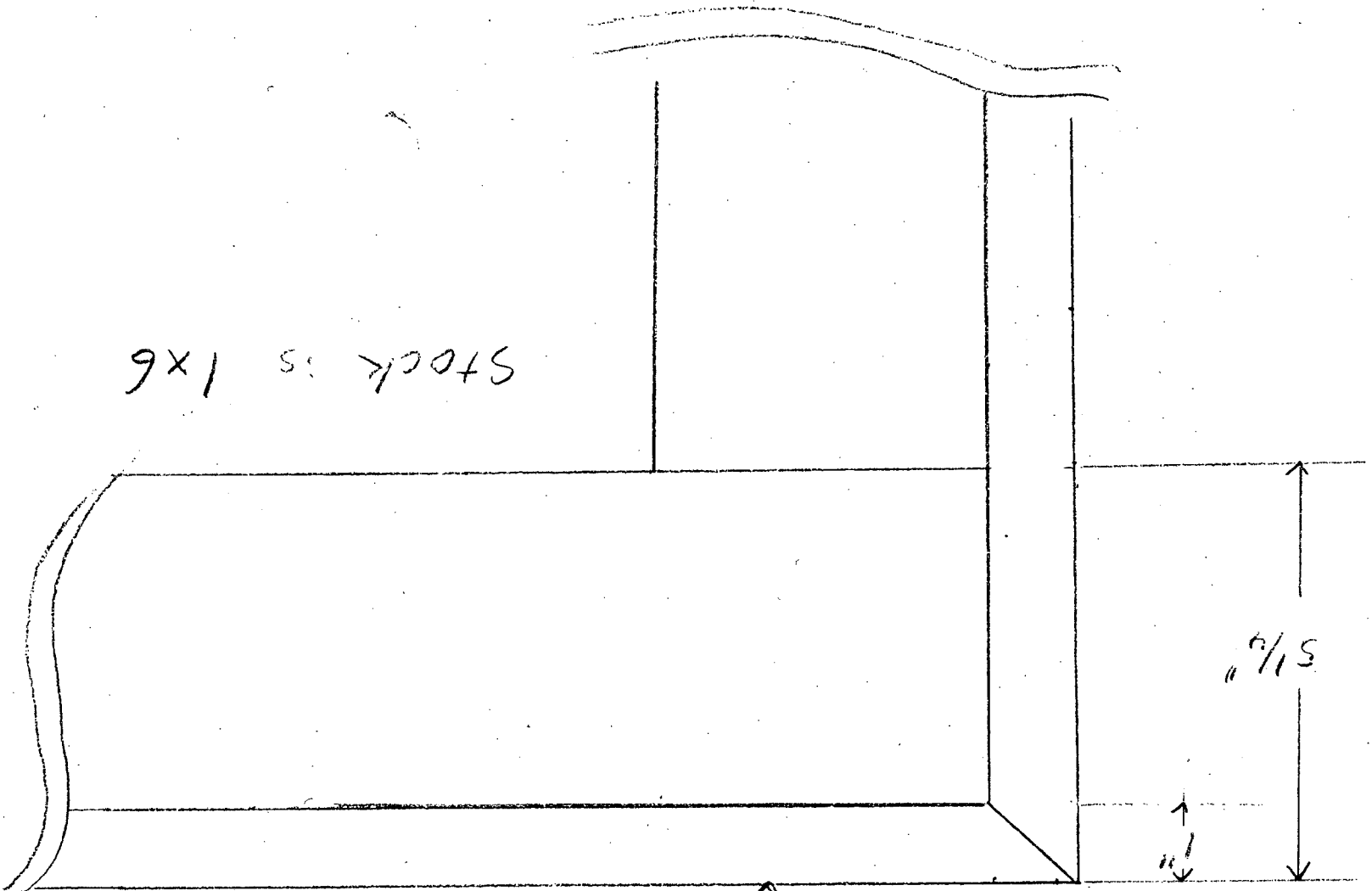
Front Steps Elevation

scale 1/2" = 1'



7425 Buffalo Ave Front Steps Plan scale 1/2" = 1'

7425 Buffalo Ave
Window Frame Detail Scale 1/2" = 1"

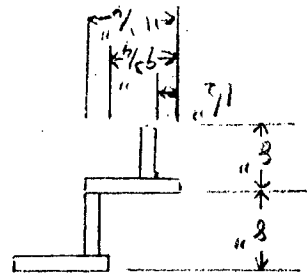


molding to match existing molding on 2nd floor windows

Steps Detail

Scale 1/2" = 1'

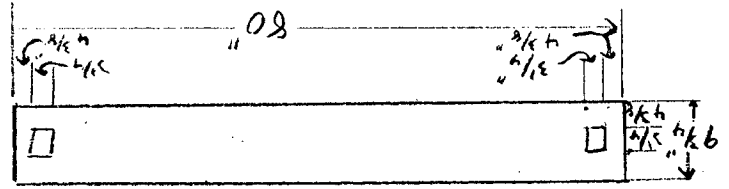
Steps Detail



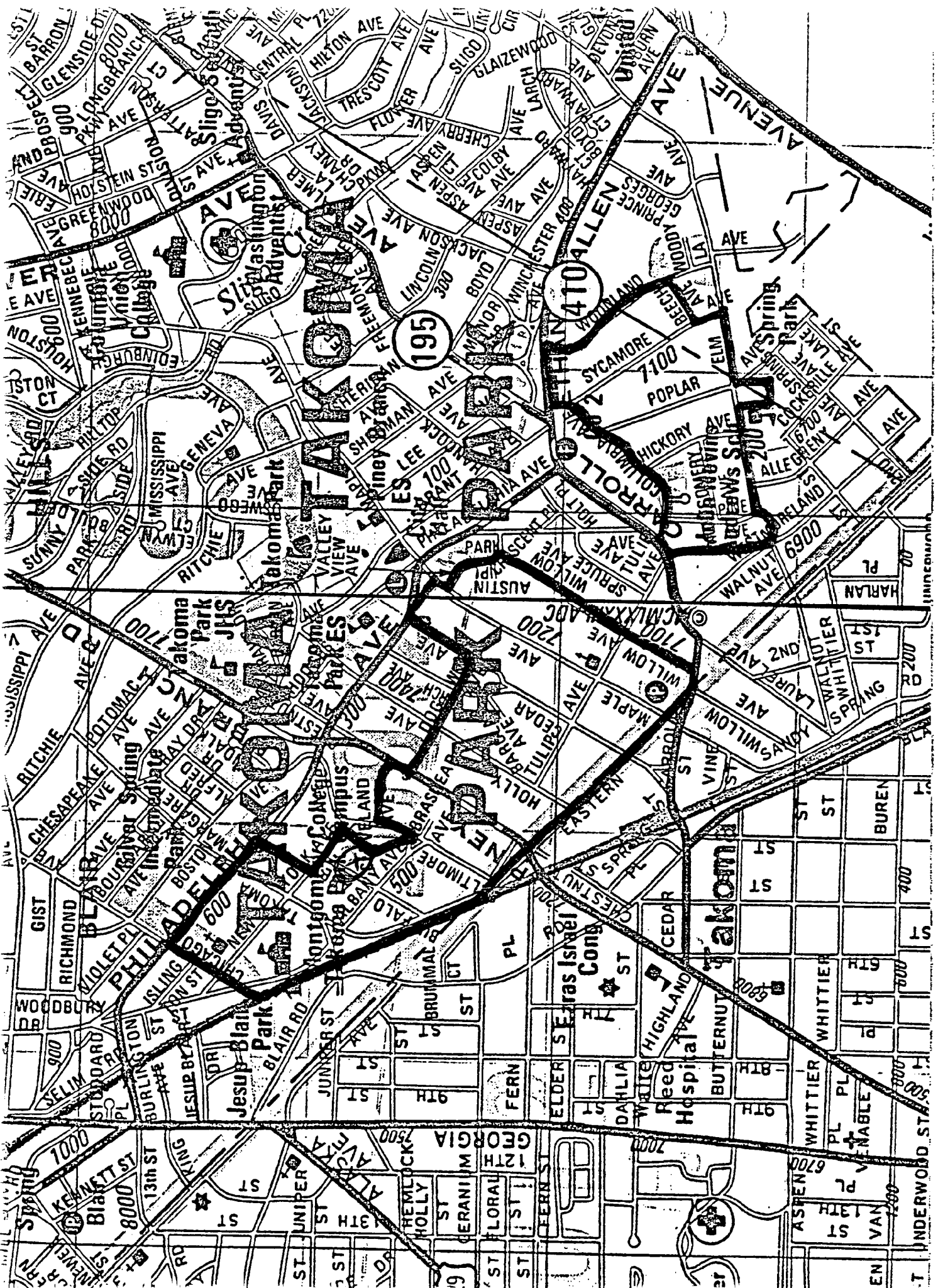
Treads are 2x12
Risers are 1x8
Cavirage are 2x12

Sides are to be filled with
Lattice

Bottom & Top Step Detail



4" by 4" Metal Posts
Ball on Top



TAKOMA PARK

195

410

Silas Spring
St. Lawrence

White Reed
Hospital

Takoma Park
Jesup Blair
Park

Takoma

Whittier
Park

Whittier
Park

Whittier
Park

Whittier
Park

Whittier
Park

Whittier
Park

White Reed
Hospital

White Reed
Hospital

White Reed
Hospital

Saras Isidoro
Park

Saras Isidoro
Park

Saras Isidoro
Park

Saras Isidoro
Park

195

195

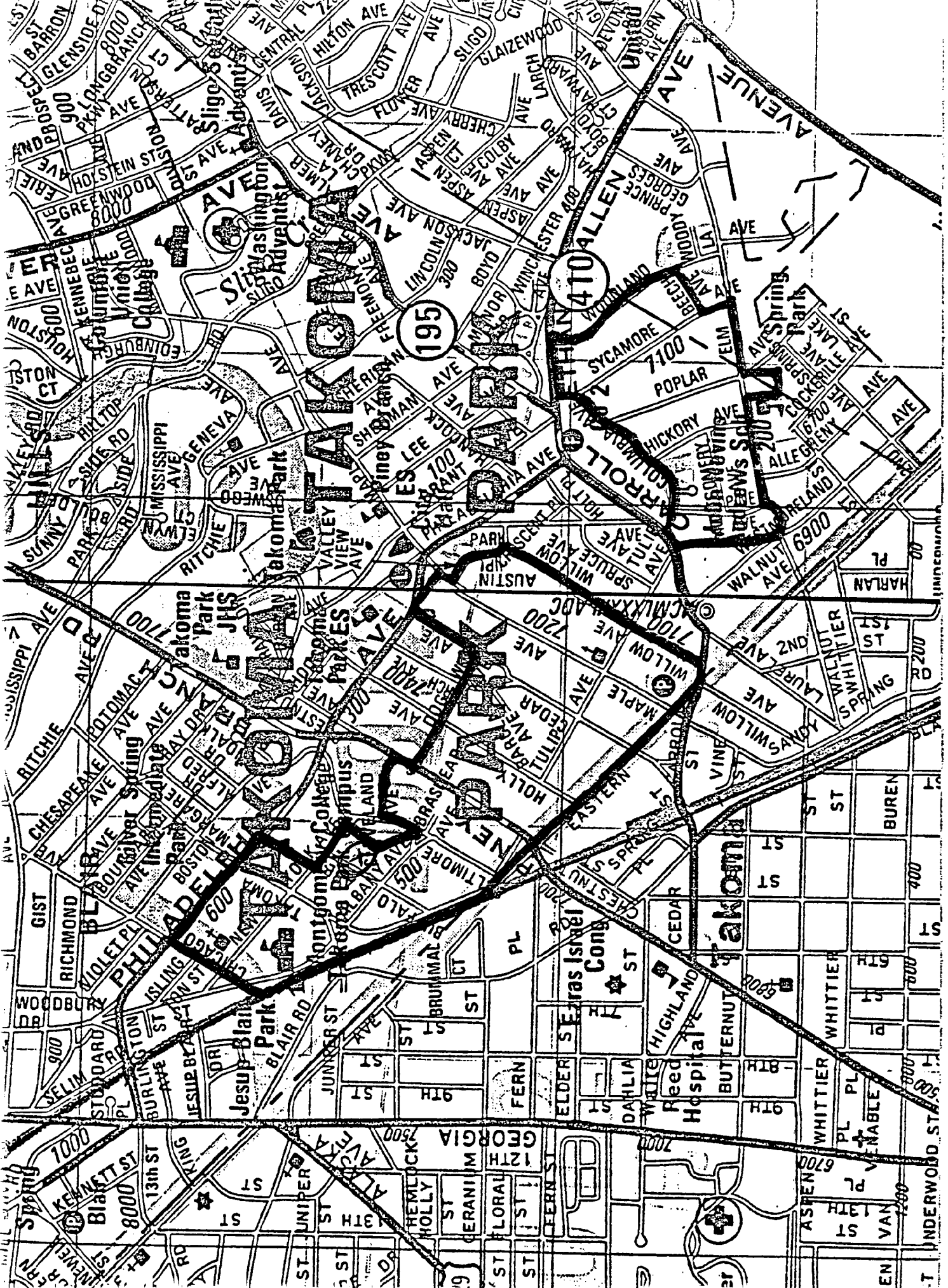
195

195

195

195

195



Application for Historic Area Work Permit

Description of Proposed Work

1) Replace front steps of house. Specifically, existing brick front steps to be removed and existing wrought iron railings to be removed. Install a 5 riser wood steps. Install two 8" wood columns (non load bearing). Install wood porch railing and step railing with wood balusters.

2) Alter trim of five first floor windows (narrow trim) to match trim of windows on upper story.



7425 Buffalo Ave
Existing Steps



7425 Buffalo



7425 Buffalo



7427 Buffalo
(also my daughter)



7423 Buffalo



7428 Buffalo



7424 Buffalo