

37/3-92A

7215 Cedar Avenue
Takoma Park H.D.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER _____ TELEPHONE NO. _____
(Contract/Purchaser) _____ (Include Area Code) _____

ADDRESS _____ CITY _____ STATE _____ ZIP _____

CONTRACTOR _____ TELEPHONE NO. _____

CONTRACTOR REGISTRATION NUMBER _____

PLANS PREPARED BY _____ TELEPHONE NO. _____
_____ (Include Area Code) _____

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 7415 Street CORNE AVE.

Town/City ARMA Election District B

Nearest Cross Street TULIP ST.

Lot 1 Block 3 Subdivision ...

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	<u>Alter/Renovate</u>	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
					Woodburning Stove	Other

1B. CONSTRUCTION COSTS ESTIMATE \$ 3,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY _____

1E. IS THIS PROPERTY A HISTORICAL SITE? NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 () WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 () WSSC	02 () Well
03 () Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date 9/23/92

APPROVED L For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature Albert S. Randall Date 9.23.92

APPLICATION/PERMIT NO: _____ FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

REMODEL KITCHEN AND ENCLOSE PORCH
AT REAR OF HOUSE. NEW REAR DOOR -
PAINTED WOOD. NEW WINDOWS IN PORCH -
WOOD, PAINT TO MATCH EXIST. SIDING TO BE
PAINTED SHINGLES TO MATCH EXISTING. NEW
WOOD REAR STOOP W/ PAINTED MILLWORK
RAILING.

NO TREES WILL BE REMOVED. - NO CHANGE
TO FOOTPRINT OF EXISTING STRUCTURE.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
51 MONROE STREET, SUITE 1001
ROCKVILLE, MARYLAND 20850

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7215 Cedar Avenue Meeting Date: 9/23/92
Resource: Takoma Park Historic District Review: HAWP/Alt.
Case Number: 37/3-92A Tax Credit: No
Public Notice: 9/10/92 Report Date: 9/16/92
Applicant: P. Blizzard/D. Brown Staff: Nancy Witherell

The applicants propose alterations to the side and rear elevation of a Bungalow-style house built in the 1910s and subsequently altered. It is listed in the amendment to the Master Plan for Historic Preservation as a non-contributing resource due to its subsequent alterations.

The applicants would like to enclose a rear porch as part of a kitchen expansion; the footprint of the house would not be altered. The applicants propose raising the sill of a sash window on the side elevation and replacing the existing sash with a 6/1, single-glazed sash. Window alterations on the existing rear porch include the installation of casement windows with four-light transoms above. Of the two existing four-light windows extant on the side elevation, one will be moved and the other opening will be closed. On the rear, a window opening will be lowered to accommodate a new wooden door with a nine-light, single-glazed opening. Rear concrete steps and a metal railing will be replaced with wooden steps and a wooden top porch railing above square balusters. The millwork will be painted. Throughout, the patching of wall surfaces will be achieved with painted asbestos wall shingles to match the existing.

STAFF RECOMMENDATION

The staff commends the applicants and architect for selecting new multi-paned sash with single glazing, and for continuing the use of the four-light transoms, also single-glazed.

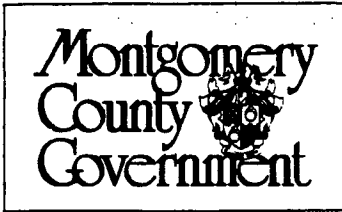
The staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in

which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER DAVID BROWN & PAULA BLIZZARD
(Contractor/Purchaser)

TELEPHONE NO. 202-479-5272
(Include Area Code)

ADDRESS _____

CONTRACTOR NOT YET SELECTED CITY _____ STATE _____ ZIP _____
TELEPHONE NO. _____

PLANS PREPARED BY JEFF RUBIN CONTRACTOR REGISTRATION NUMBER _____
TELEPHONE NO. 301-659-8886
(Include Area Code)

REGISTRATION NUMBER 6014-R

LOCATION OF BUILDING/PREMISE

House Number 7215 Street CEDAR AVE

Town/City TAKOMA PARK Election District 13

Nearest Cross Street TULIP ST.

Lot 9 Block 5 Subdivision TAKOMA PARK

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)
Construct Extend/Add Alter/Renovate Repair Wreck/Raze Move Install Revocable Revision
Circle One: A/C Slab Room Addition
Porch Deck Fireplace Shed Solar Woodburning Stove
Fence/Wall (complete Section 4) Other REMODEL KITCHEN/PORCH

1B. CONSTRUCTION COSTS ESTIMATE \$ 13,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? MASTER PLAN SITE

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () Septic 03 () Other _____
2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () Well 03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches
4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
1. On party line/Property line _____
2. Entirely on land of owner _____
3. On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

JSR JEFFREY S. RUBIN 9/8/92

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

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REMODEL KITCHEN AND ENCLOSE PORCH
AT REAR OF HOUSE. NEW REAR DOOR -
PAINTED WOOD. NEW WINDOWS IN PORCH -
WOOD, PAINT TO MATCH EXIST. SIDING TO BE
PAINTED SHINGLES TO MATCH EXISTING. NEW
WOOD REAR STOOP W/ PAINTED MILLWORK
RAILING.

NO TREES WILL BE REMOVED. - NO CHANCE
TO FOOTPRINT OF EXISTING STRUCTURE.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

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MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
51 MONROE STREET, SUITE 1001
ROCKVILLE, MARYLAND 20850

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING HOUSE IS CIRCA 1923 BUNGALOW,
w/ ASPHALT SHINGLE ROOF AND PAINTED SHINGLE
SIDING

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REMODEL KITCHEN INTERIOR. ENCLOSE EXISTING
PORCH AT REAR OF STRUCTURE. NO
SIGNIFICANT IMPACT ON HISTORIC RESOURCE.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

NEW WORK TO MATCH EXISTING. NO CHANGE
TO FOOTPRINT OF STRUCTURE.

- b. the relationship of this design to the existing resource(s):

TO MATCH EXISTING.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

PROPOSED WORK IS CONSISTENT IN MATERIALS +
FINISHES w/ EXISTING STRUCTURE.

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

NOT APPLICABLE.

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name PAUL G. + E.P. LAMBIDAKIS
 Address 7213 CEDAR AVE
 City/Zip TAKOMA PARK, MD 20912
2. Name ^{J.R.} ~~W. LEE + M. H. KOETZU~~ W. LEE + M. H. KOETZU
 Address 7217 CEDAR AVE
 City/Zip TAKOMA PARK, MD 20912

3. Name DALE A. PETERS
Address 7214 MAPLE AVE
City/Zip TAKOMA PARK MD 20912

4. Name EDWARD A. FAINE
Address 7214 CEDAR AVE
City/Zip TAKOMA PARK, MD

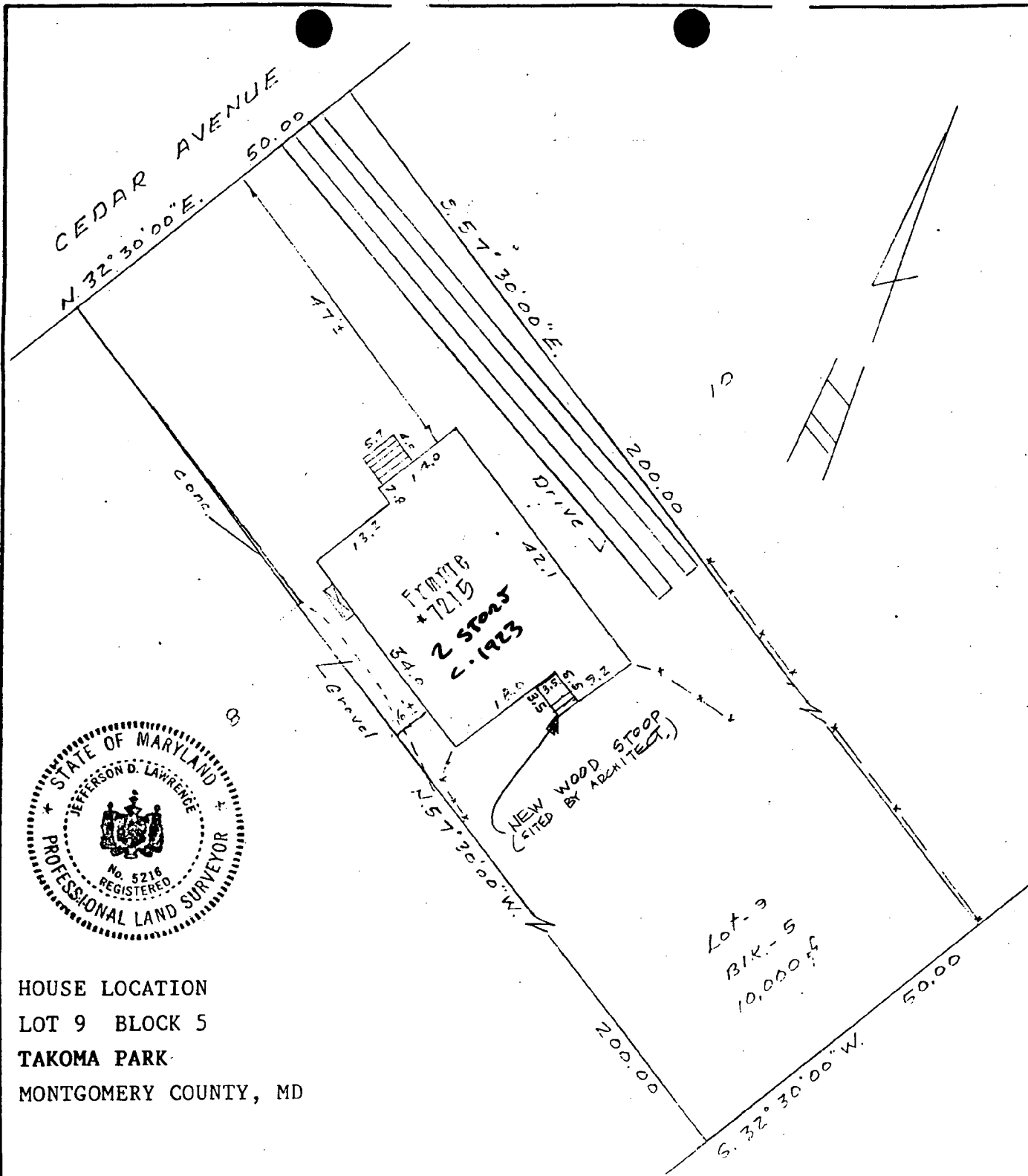
5. Name _____
Address _____
City/Zip _____

6. Name _____
Address _____
City/Zip _____


7. Name _____
Address _____
City/Zip _____

8. Name _____
Address _____
City/Zip _____

1757E

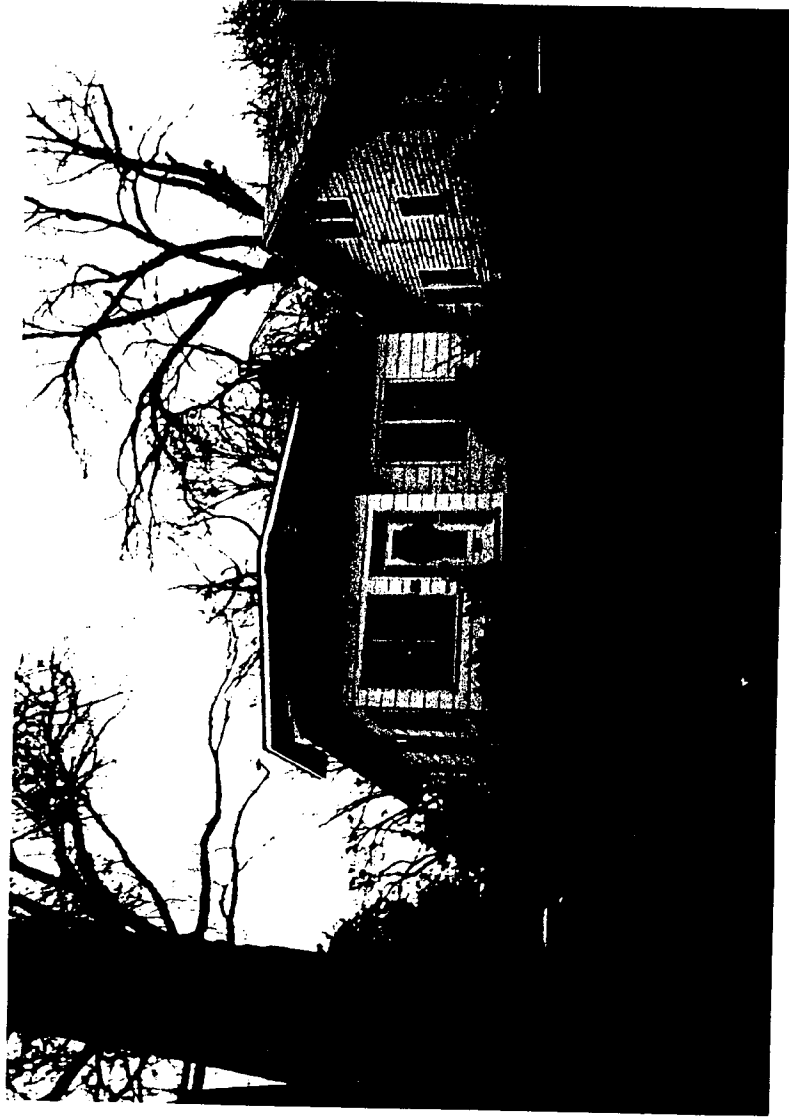


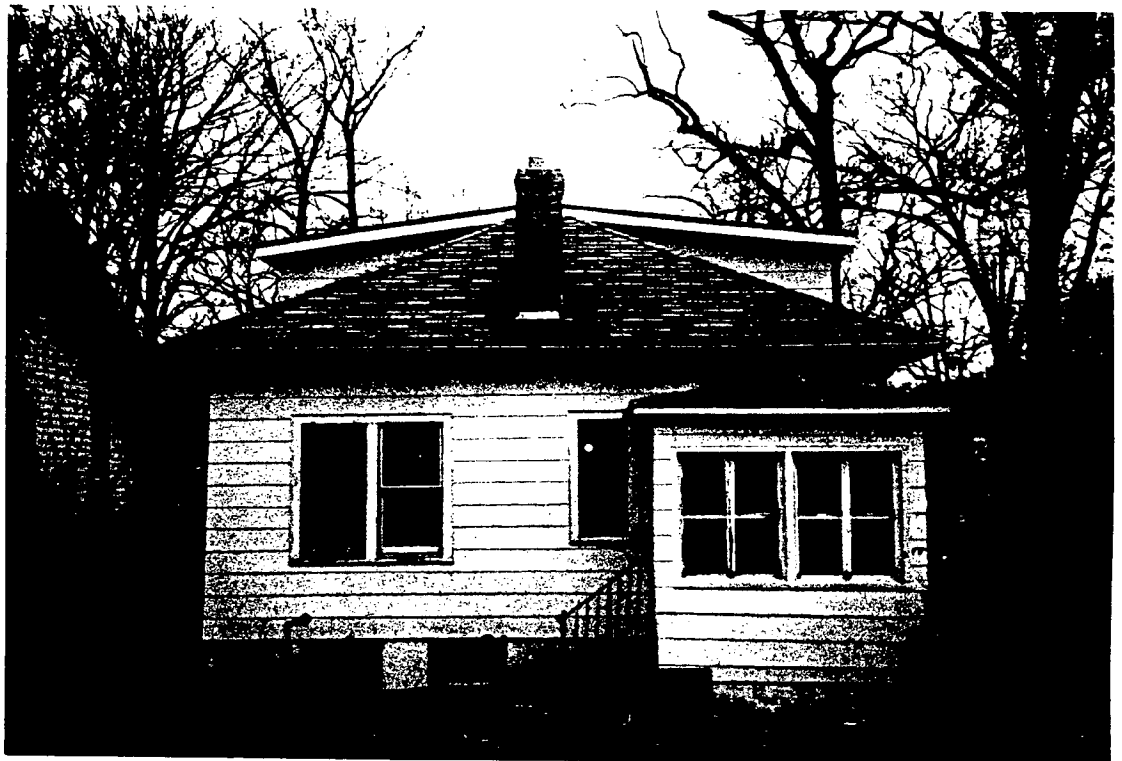
HOUSE LOCATION
 LOT 9 BLOCK 5
 TAKOMA PARK
 MONTGOMERY COUNTY, MD

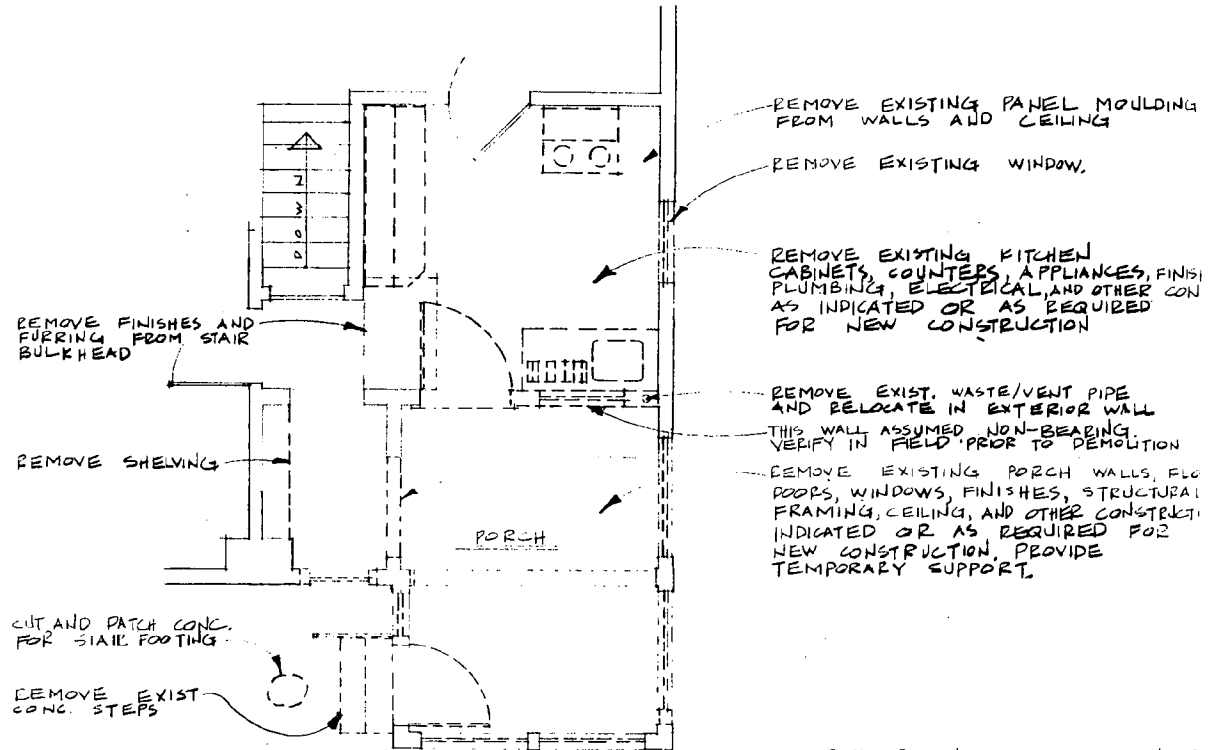
SURVEYOR'S CERTIFICATE I HEREBY CERTIFY THAT THE POSITION OF THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY ACCEPTED FIELD PRACTICES TO THE BEST OF MY KNOWLEDGE AND BELIEF.  JEFFERSON D. LAWRENCE REGISTERED LAND SURVEYOR MARYLAND # 5216	REFERENCES PLAT BK. A PLAT NO. 3		ANDJON ASSOCIATES 7 Brookes Avenue Gaithersburg, Maryland 20877 (301) 840-9010	
	LIBER FOLIO	DATE OF SURVEYS	SCALE: 1" = 20'	
		WALL CHECK:	DRAWN BY:	
		HSE. LOC.: 7-3-91	JOB NO.: 83891	
BOUNDARY:				

Property shown hereon is not in a flood plain or exists! or recorded with a notice of flood insurance indicated.

9209080062







REMODELING OF RESIDENCE

PAULA BLIZZARD AND DAVID BROWN
 7215 CEDAR AVENUE
 TAKOMA PARK, M.D. 20912

Jeffrey S. Rubin, AIA
 ARCHITECT

4915 Hampden Lane, Bethesda, Maryland 20814
 301-654-8886

DATE: FEBRUARY 2-20-92

A-1

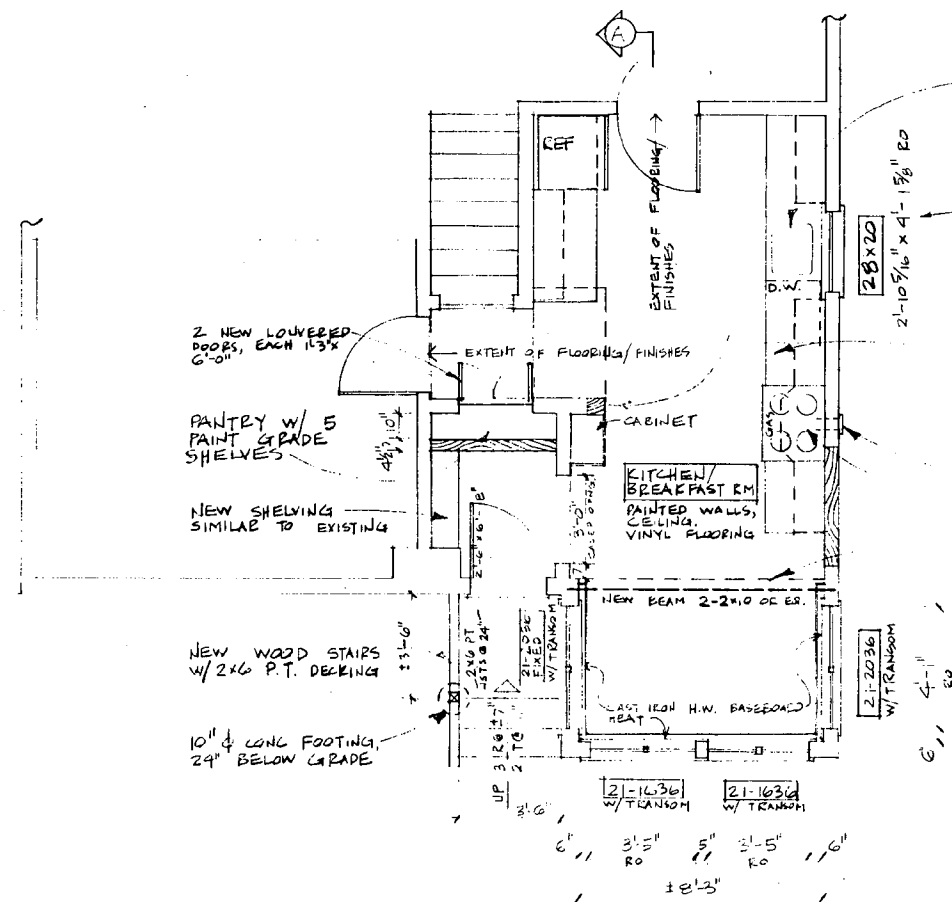
DEMOLITION PLAN - FIRST FLOOR

1/4" = 1'-0"

- SAVE TRIM AND CASINGS FOR REUSE
- SAVE DOORS + WINDOWS FOR OWNER, STORE IN BSMT

9209080062

STUB WALL TO SUPPORT STAIRS ABOVE. ALT- HANG STAIRS FROM 2-2x10 HEADED ABOVE USING MT STRAPPING OR EQ. OMIT STUB WALL, IF POSSIBLE.



TIE NEW SINK INTO EXISTING PLUMBING

NEW WINDOW, VERIFY ADEQUATE CLEARANCE ABOVE 30" COUNTER

KITCHEN CABINETS, APPLIANCES, AND COUNTERS TO BE PROVIDED BY OWNER FOR INSTALLATION BY CONTRACTOR. ACTUAL CABINET LAYOUT AND DIMENSIONS BY KITCHEN CABINET SUPPLIER. HOOD, DUCT TO EXTERIOR. EXTEND GAS PIPING TO NEW RANGE

NEW CEILING/SOFFIT ABOVE

REMODELING OF RESIDENCE
 PAULA BLIZZARD AND DAVID BROWN
 7215 CEDAR AVE
 TAKOMA PARK, MD 20912

PARTIAL FIRST FLOOR PLAN
 1/4" = 1'-0"

Jeffrey S. Rubin, AIA
 ARCHITECT
 4915 Hampden Lane, Bethesda, Maryland 20814
 301-654-8886
 BID/PERMIT 8-20-92

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REMOVE EXIST. SHINGLES, REPAIR/
REPLACE SHEATHING, RAFTERS, AND
FLASHING, NEW SHINGLES AS
SELECTED BY OWNER.

NEW GUTTER AND DOWNSPOUT,
SIMILAR TO EXISTING ON MAIN ROOF

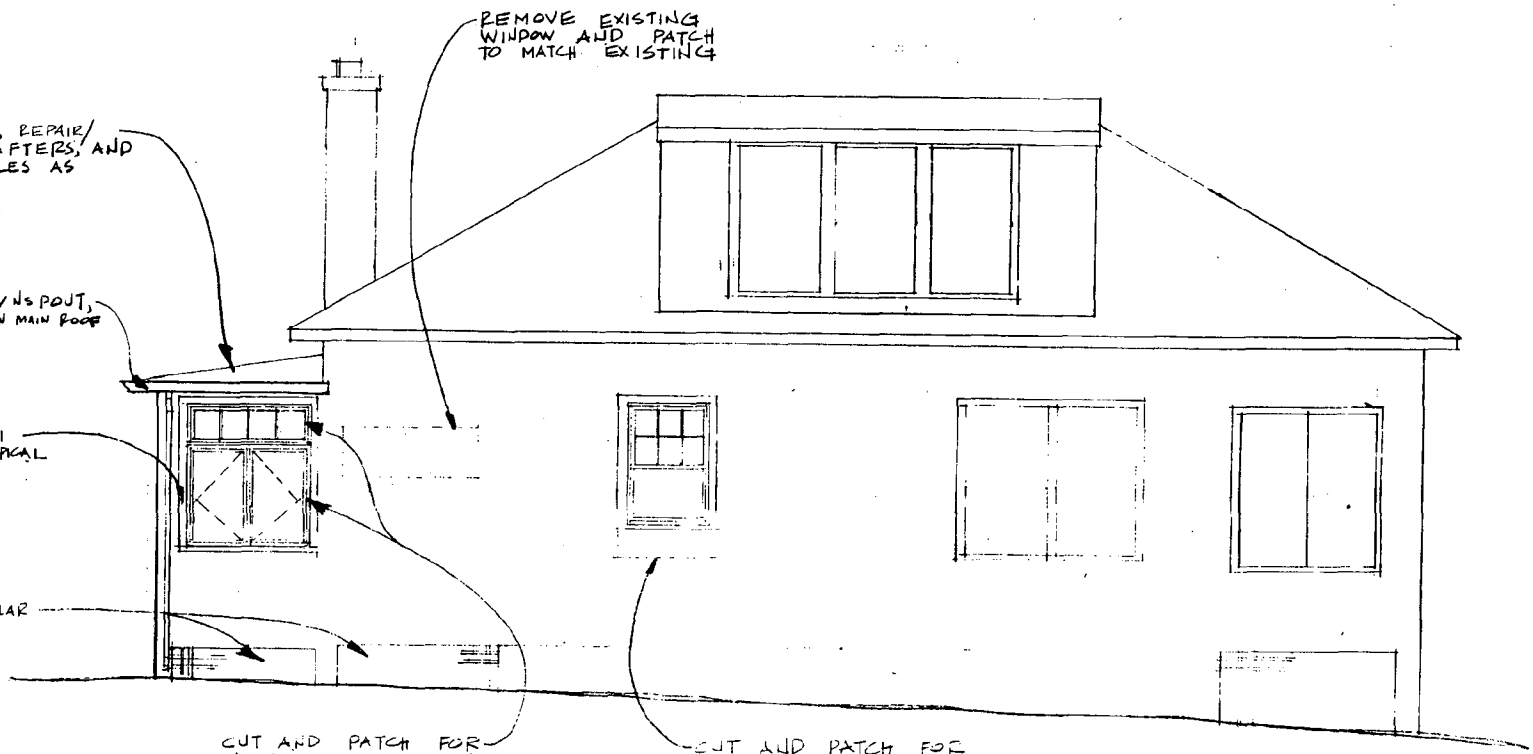
EXTERIOR WINDOW TRIM
TO MATCH EXISTING, TYPICAL

NEW PAINTED LATTICE SIMILAR
TO FRONT PORCH

REMOVE EXISTING
WINDOW AND PATCH
TO MATCH EXISTING

CUT AND PATCH FOR
NEW WOOD CASEMENT
WINDOW, INSULATED GLASS,
WITH 4 LITE SET SINGLE
GLAZED TRANSOM ABOVE,
TYPICAL.

CUT AND PATCH FOR
NEW WOOD DOUBLE
HUNG WINDOW, SINGLE
GLAZED, 6 LITE UPPER
SASH, STORM PANEL

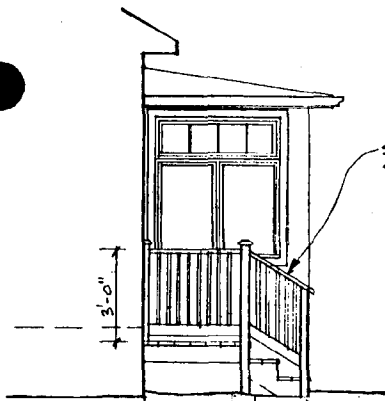


SIDE ELEVATION
1/4" = 1'-0"

REMODELING OF RESIDENCE
PAULA BLIZZARD AND DAVID BROWN
7215 CEDAR AVENUE
TAKOMA PARK, MD 20912

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301-654-8886
SID/PERMIT 8-20-92

A-3



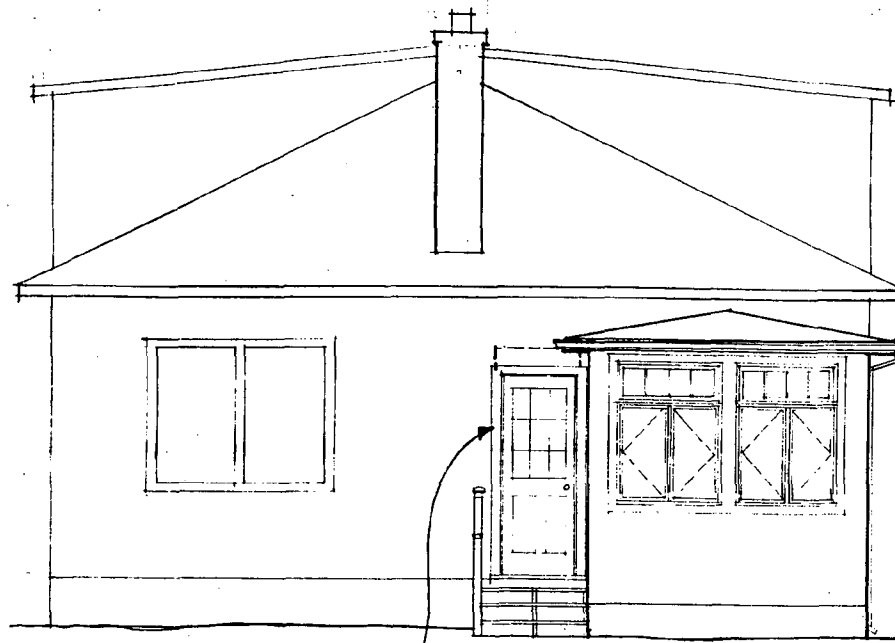
STAIR RAILING -
 1x4 TREATED POSTS W/
 BEVELED CAP, TOP PORCH
 RAIL MOULDING, 1/4" ϕ
 BALUSTERS @ 4" O.C.,
 BOTTOM PORCH RAIL
 MOULDING. PAINT ALL
 MILLWORK.

SET 4x4 POST IN CONCRETE

4x9 POST TO 10" ϕ x 24"
 DEEP CONCRETE FOOTING

SIDE ELEVATION

1/4" = 1'-0"



CUT AND PATCH FOR
 NEW WOOD DOOR, 9 LITE
 SINGLE GLAZED, AS SHOWN

REAR ELEVATION

1/4" = 1'-0"

REMODELING OF RESIDENCE
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 TAKOMA PARK, MD 20912

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 BID/PERMIT 8-20-92

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INTERIOR TRIM TO MATCH EXISTING,
SALVAGE OLD TRIM WHERE POSSIBLE.
CASINGS - SMOOT SM-B3 3/4" x 4 1/2" w/
WM-10B 1/2" x 1/2" 1/4 ROUND.

NEW BEAM, 2-2x10 OR EQ, SAME PLANE
AS OLD BEAM, RAISE BEARING TO
CLEAR NEW SOFFIT/CEILING

NEW HEADERS ABOVE WINDOWS, MIN
2-2x4

NEW SOFFIT VENT PLUGS
EACH RAFTER SPACE, R-30
W/ RETAINERS

NEW FINISHED CEILING IN AREA
OF FORMER PORCH - FLUSH W/ KITCHEN

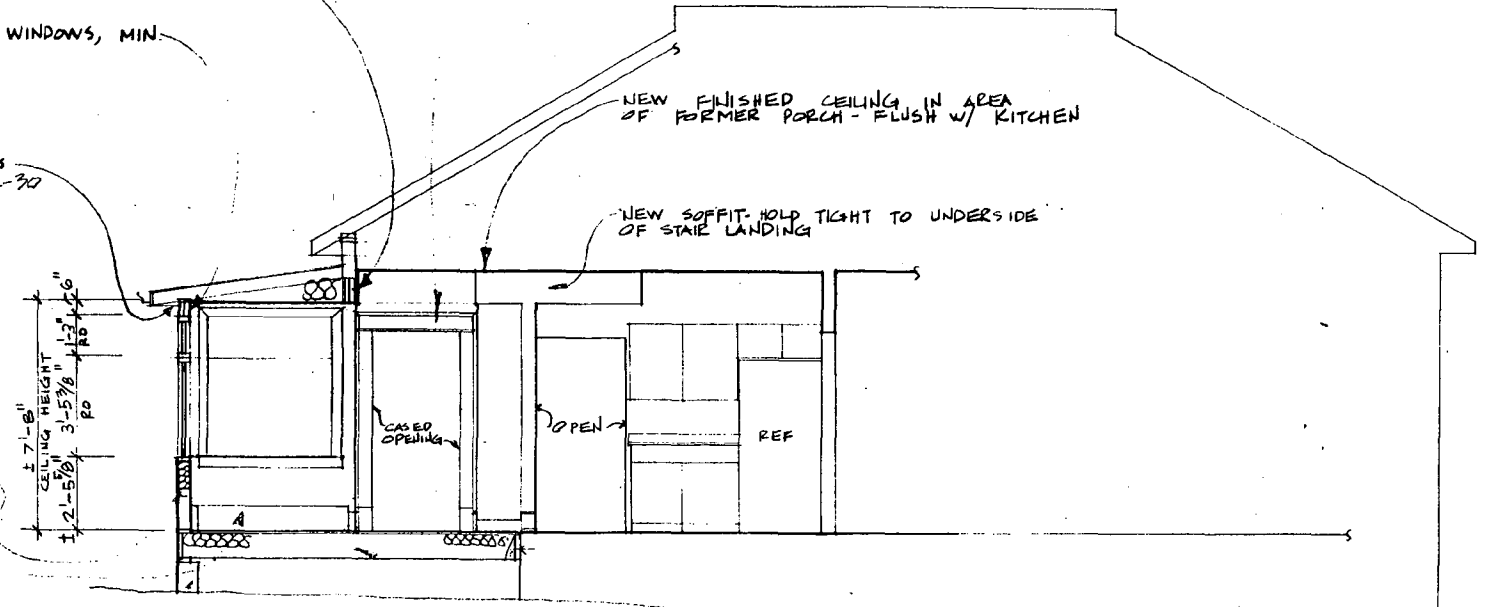
NEW SOFFIT. HOLD TIGHT TO UNDERSIDE
OF STAIR LANDING

REBUILD PORCH WALLS
TO MATCH EXIST. NEW
FINISHES TO MATCH
KITCHEN, R-11.

BASEBOARD HEAT

EXISTING FOUNDATION WALL
VERIFY STRUCTURAL SOUNDNESS,
EXPOSE FOOTING

NEW FLOOR ASSEMBLY, LEVEL W/ EXISTING FLOOR:-
2x10 PRESSURE TREATED JOISTS @ 16" O.C., 3/4" PLYWOOD
SUBFLOOR R-19, SECURE 2x10 TREATED LEDGER
TO EXISTING FOUNDATION WALL W/ 1/2" EXP BOLTS @ 16" O.C.,
MIN 3" EMBEDMENT. (ALT. LAG TO RIM JOIST.)
NEW 1/4" UNDERLAYMENT FOR TILED AREA.



SECTION AA
1/4" = 1'-0"

REMODELING OF RESIDENCE
PAULA BLIZZARD AND DAVID BROWN
7215 CEDAR AVENUE
TAKOMA PARK, MD 20912

Jeffrey S. Rubin, AIA
ARCHITECT
4915 Hampden Lane, Bethesda, Maryland 20814
301-654-8886

S/D/PERMIT 8-20-92

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Specifications - Brown/Blizzard Remodeling

Division One - General Requirements

1.1 Summary of Work

All work shown on the contract documents shall be included as part of the scope of the contract for construction.

Where ambiguities or discrepancies as to the intent, dimensions, or scope of the work occur on the contract documents, the Owner, Contractor, or Subcontractor shall verify such ambiguities or discrepancies with the Owner or Architect during the bidding phase and/or prior to ordering materials or installation of the work.

The Owner will obtain and pay for the building permit. The Contractor shall be responsible for obtaining and paying for any additional required permits.

All work shall be done in accordance with applicable provisions of the local building code, CABO 89 as amended by Montgomery County.

The Contractor shall coordinate work with the Owner to minimize inconveniences to the Owner during construction. The Contractor shall install adequate weather barriers, dust barriers, and protections, as required.

The Contractor shall verify all dimensions in the field. Do not scale the drawings.

1.2 Alternatives

Any alternatives proposed by the Contractor in material or methods must be submitted and attached with the bid form prior to awarding of the contract for construction. The Architect encourages cost saving alternatives which do not alter the quality or design of the project.

1.3 Allowances (Installation included in bid)

The Contractor shall make the following material allowances as part of his bid for selection by the Owner:

Vinyl Flooring \$2.00/ sq. ft.

1.4 Submittals

The Contractor shall submit product information and samples to the Owner for review and approval prior to the ordering of such products and materials. Specific requested submittals are underlined in this specification.

1.5 Quality Control

Shall be the responsibility of the Contractor.

1.6 Project Closeout

Work shall be left clean and ready for use by the Owner. Furnish to the Owner all guarantees, bonds, affidavits, operational data and maintenance information on equipment and the work.

Division Two - Site Work

2.1 Footings

Footings to rest on firm, undisturbed soil, minimum of 2'- 0" below grade. Contractor to minimize disturbing existing conditions on site, and to restore the site to a condition comparable to that existing prior to the start of construction.

2.2 Demolition

Demolition as indicated on the drawings. Contractor to protect existing construction from damage. Contractor to be responsible for all cutting and patching.

Division Three - Concrete

3.1 Strength

Concrete footings to have a minimum 28 day compressive strength of 2,500 psi.

Division Four - Masonry - N/A

Division Five - Metals - N/A

Division Six - Wood and Plastics

Rough Carpentry

6.1 Wood Framing

Dimensioned lumber used for structural wood framing such as floor/ceiling joists, rafters, and headers shall be minimum No. 2 Southern Pine or equal, Fb= 1,150 psi, E= 1,400,000 psi. All lumber in contact with concrete or masonry to be pressure treated.

Finish Carpentry

6.2 Wood trim - interior

Wood trim to be stained clear pine of profiles noted on the drawings, to match existing trim.

6.3 Wood trim - exterior

To match existing, painted.

Division Seven - Thermal and Moisture Protection

7.1 Insulation

Insulate former porch exterior stud walls with R-11 kraft paper faced fiberglass batts. Insulate former porch roof with R-30 kraft paper faced fiberglass batts. Insulate former porch crawl space floor joists with R-19 kraft paper faced fiberglass batts.

7.2 Asphalt Shingles

Asphalt shingles to be standard 25 year 235#, Certainteed or equal. Submit sample.

7.3 Wall shingles

New shingles for patching to be cementitious type, to match existing in appearance.

Division Eight - Doors and Windows

8.1 Wood doors

Morgan or equal as indicated on the drawings.

8.2 Wood windows

Weathershield as indicated on the drawings. Include screens with all operable windows. Windows to be primed wood

Division Nine - Finish Hardware

9.3 Finish Hardware

Schlage locksets and latches for all new doors. Stanley or equal builders hardware as required. Oak threshold with vinyl wiper and weatherstripping at new exterior door.

Division Nine - Finishes

9.1 Gypsum Wallboard/Plaster

Gypsum drywall: 1/2" (unless otherwise indicated) taped and finished.

Repair existing drywall or plaster where required due to new construction or cutting and patching operations. Patch with like materials.

9.2 Floor Finishes

Vinyl flooring as selected by Owner. Allowance item, see 1.3.

9.3 Interior Painting

Paint new surfaces as indicated one coat primer and two finish coats. Paint existing surfaces as indicated to cover. Submit color chart for selection of colors by Owner.

Interior trim, doors, and windows to be stained to match existing.

9.4 Exterior Finishes

Prime (including backprime) all new exterior wood surfaces to be painted with alkyd primer, then paint with two coats of an appropriate exterior house/trim paint, Benjamin Moore or equal. Paint cut and patch areas to match adjoining surfaces as best reasonably possible.

Division Ten - Specialties - N/A

Division Eleven - Equipment

11.1 Kitchen Appliances

To be provided by Owner for installation by Contractor:

Refrigerator w/ icemaker

Microwave (existing, countertop type.)

Gas Range w/ electronic ignition.

Range exhaust hood

Dishwasher

Disposal

Kitchen Sink and Faucet

Division Twelve - Furnishings

12.1 Kitchen Cabinets

To be provided by Owner for installation by Contractor.

12.2 Kitchen Countertops

To be provided by Owner for installation by Contractor.

Division Thirteen - Special Construction - N/A

Division Fourteen - Conveying Systems - N/A

Division Fifteen - Plumbing and Mechanical

15.1 Plumbing

New plumbing as required for new kitchen and as indicated on the plans. Plumbing to meet local code. PVC DWV and copper supply.

15.2 Plumbing Fixtures

Owner to provide kitchen sink and faucet.

15.3 Mechanical

Extend gas piping to new gas range.

Duct and wall cap for range hood.

Extend piping to new hydronic cast iron baseboard heating units as indicated on the plans. Insulate all piping running in unheated spaces. Architect has indicated preliminary layout on the drawings. Mechanical Subcontractor to review layout and revise as may be required to adequately heat the remodeled space.

Division Sixteen - Electrical

16.1 General

New electrical layout in remodeled space to meet code. Connections to appliances/equipment shown on floor plan, and as listed in 11.1.

Lighting as follows:

2 surface mount light fixtures (eating nook and rear entry area)

2 ceiling fans w/ lights in kitchen.

1 porch light at new exterior stairs

recessed exterior light in yard on pole. (does not work)

undercabinet fluorescent lighting for new kitchen wall cabinets, figure 4 36" fixtures with switch on fixture.

16.2 Light Fixtures

Undercabinet fluorescent fixtures to be provided and installed by Contractor. 3 surface mount fixtures and 2 ceiling fans/lights to be provided by Owner for installation by Contractor. (nook, entry, porch)

16.3 Wiring

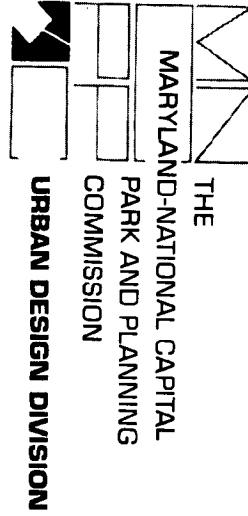
Provide all wiring as indicated on the drawings and as required for equipment. All electric wiring and materials shall have a UL label, and meet local codes. Contractor to verify adequacy of existing panel & service to allow remodeled space to be brought up to Code.

Disconnect/reconfigure existing circuits and devices as required for new construction.

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RID/PERMIT 8-20-92

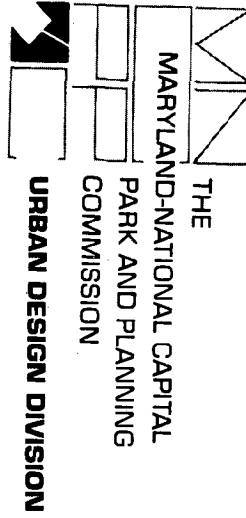
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7215 Cedar Avenue
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37/3-92A

8787 Georgia Avenue • Silver Spring, Maryland 20910 760



7215 Cedar Avenue
HAWP 9.23.92
37/3-52A



7215 CEDAR AVE
TAROMA PARK
REAR



7215 CEDAR AVE
TAKOMA PR

REAR

REAR



7215 CEDAR AVE
TAKOMA PK
FRONT



7215 CEDAR AVE
TAKOMA PH
SIDE