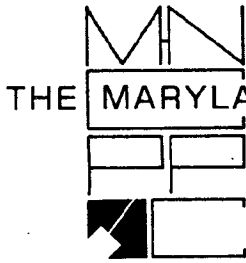


37/3-92C 7421 Carroll Avenue
Takona Park Historic District



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Mary Quattro
DCCE, DEP

FROM: Nancy Witherell
Historic Preservation Unit, M-NCPPC

SUBJECT: 7421 Carroll Avenue, Takoma Park Historic District

DATE: June 4, 1993

Frances Seghers, the owner of the above-referenced property, has submitted revised plans for the HPC-approved addition to the rear of the house.

As shown on the accompanying set of plans, which should now replace the set sent to your office following HPC approval of the project last autumn, a bay projection on the rear elevation has been built. It measures 3' x 9'. This bay projection was cantilevered over the existing foundation. Please see the accompanying letter from the project architect for further details.

Since this modification is a relatively minor one, I have determined that it does not change the overall character of the proposal approved by the HPC; therefore, I am approving it through this memorandum to you and the transferal of the revised set of plans.

The inspector caught the change while visiting the construction site and advised the owner to submit an application for revision to her county building permit. She plans to do that next week, perhaps as early as Monday, but realized that she would need to clear the revision through our office first. Thanks for your help with this matter.

Permit #s: 9210200201 - attached
9210210222 - deck

Bennett Frank McCarthy Architects, Inc.

115 Southwood Avenue, Silver Spring, Maryland 20901-1918

(301) 593-9585

4 June 1993

Montgomery County Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910
Attention: Nancy Witherell

Re: Seghers Residence, HPC Case No. 37/3-92C.

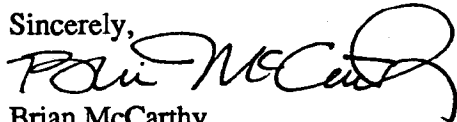
Dear Mrs. Witherell,

Per our conversation, I am writing you to summarize the modification made to the Seghers Residence at 7421 Carroll Avenue in Takoma Park, Maryland. Enclosed please find two copies of the revised plans and one copy of the original layout as reviewed and approved by HPC. Also enclosed are some photographs of the work in progress.

The revision is limited to the rear wall of the kitchen. To improve the sitting area in the kitchen, additional space (9 ft. wide by 3 ft. deep) was cantilevered out over the existing foundation, adding a second change in plane to the rear elevation. For clarity, the revisions have been bubbled in on sheets SP-1, A-1 & A-2.

Hopefully you will agree that the change is compatible with the bungalow's eclectic style. Thank you for your timely assistance with this matter; as always you have been most accommodating.

Sincerely,



Brian McCarthy
Architect

cc. Frances Seghers

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7421 Carroll Avenue Meeting Date: 10/14/92
Resource: Takoma Park Hist. Dist. Review: HAWP/Alt.
Case Number: 37/3-92C Tax Credit: No
Public Notice: 9/30/92 Report Date: 10/7/92
Applicant: Frances Seghers Staff: Nancy Witherell

The applicant proposes that a rear addition be built on the foundation of an existing non-original rear addition that would be removed. The house is a bungalow listed as a category 2 resource. Additional space for an upstairs room would be created by extending the existing second story dormer on the rear gable face. A smaller shed-roofed dormer extension would also be added at the rear.

Wood siding, cedar shingles, 1/1 wood sash windows, and asphalt roof shingles--all to match the existing--would be used.

The applicant also proposes the construction of a wooden deck at the rear of the house, extending the width of the house and 10 feet into the rear yard.

STAFF RECOMMENDATION

The staff recommends that the Commission find the proposal consistent with the design guidelines incorporated in the Master Plan designation of the historic district:

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way;

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

The staff further recommends that the Commission find the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER FRANCES SELTERS TELEPHONE NO. 301-270-9352
(Contract/Purchaser) (Include Area Code)

ADDRESS 7421 TAKOMA CARROLL AVENUE TAKOMA PARK, MD. 20912
CITY STATE ZIP

CONTRACTOR _____ TELEPHONE NO. _____

CONTRACTOR REGISTRATION NUMBER _____

PLANS PREPARED BY BRIAN MCCARTHY OF BENNETT FRANK MCCARTHY ARCHT., INC. TELEPHONE NO. 301-593-9585
REGISTRATION NUMBER _____ (Include Area Code)

LOCATION OF BUILDING/PREMISE

House Number 7421 Street CARROLL AVENUE

Town/City TAKOMA PARK Election District _____

Nearest Cross Street BOYD

Lot 9 Block 39 Subdivision FRED L. GLAIZE'S ADDITION TO T.P.

Liber _____ Folio _____ Parcel _____

- 1A. TYPE OF PERMIT ACTION: (circle one)
- | | | | | | | |
|------------|------------|----------------|----------|---------------------------------|-------------------|---------------|
| Construct | Extend/Add | Alter/Renovate | Repair | Circle One: A/C | Slab | Room Addition |
| Wreck/Raze | Move | Install | Revision | Porch | Deck | Fireplace |
| | | Revocable | | Fence/Wall (complete Section 4) | Shed | Solar |
| | | | | | Woodburning Stove | Other |
- 1B. CONSTRUCTION COSTS ESTIMATE \$ 40,000-
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____
- 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO
- 1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL
- | | |
|---|------------------------------------|
| 01 <input checked="" type="checkbox"/> WSSC | 02 <input type="checkbox"/> Septic |
| 03 <input type="checkbox"/> Other _____ | |
- 2B. TYPE OF WATER SUPPLY
- | | |
|---|----------------------------------|
| 01 <input checked="" type="checkbox"/> WSSC | 02 <input type="checkbox"/> Well |
| 03 <input type="checkbox"/> Other _____ | |

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 4A. HEIGHT _____ feet _____ inches
- 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/Property line _____
 - Entirely on land of owner _____
 - On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Brian McCarthy
Signature of owner or authorized agent

SEPT. 25, 1992

3

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING STRUCTURE IS A TWO STORY, WOOD FRAME BUNGALOW,
DATING FROM THE 1920'S. THE SETTING CONSISTS OF DETACHED,
SINGLE FAMILY HOMES ON LOTS OF APPROX. 7000 SQ. FT. THE
AREA IS WELL TREED. THE BUILDING EXT. IS ORIGINAL WOOD SIDING
& CEDAR SHAKES. AN EXISTING ONE STORY ADDITION IS ATTACHED
AT THE REAR OF THE HOUSE, BUT IS PRESENTLY IN POOR CONDITION
AND CLAD IN ASBESTOS SIDING.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROJECT INCLUDES REMOVAL OF THE PRESENT REAR ADDITION
& ITS REPLACEMENT USING THE EXISTING FOUNDATIONS. THE
MASSING & SCALE OF THE NEW ADDITION WILL BE NEARLY IDENTICAL
TO THAT OF THE ORIGINAL, EXCEPT FOR THE INCLUSION OF A
SECOND FLOOR DORMER TO EXTEND THE ORIGINAL DORMER.
ALL WORK PROPOSED WILL BE TO THE REAR OF THE HOUSE AND OF
LITTLE PUBLIC IMPACT.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

AS MENTIONED, THE SCALE & MASSING OF THE PROPOSED WORK IS
SIMILAR TO THE EXISTING 'ADDITION'. NEW SIDING & SHAKES WOULD BE
PROVIDED TO MATCH THE EXISTING MAIN HOUSE MATERIALS. EAVES & ROOFLINES
WOULD REPLICATE THE EXISTING.

- b. the relationship of this design to the existing resource(s):

AS NOTED, THE ADDITION WILL BE TO THE REAR OF THE STRUCTURE
AND MIRROR IT IN MATERIALS AND DETAIL.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name BRIAN & ROULA MCCARTHY ✓
 Address 7419 CARROLL AVENUE
 City/Zip TAKOMA PARK, MD. 20912

2. Name ROBERT & DE WILLIAMS
 Address 7423 CARROLL AVENUE
 City/Zip TAKOMA PARK, MD. 20912

} * SEE MAILING ADDRESS BELOW

* 5621 ALDER #2-10
 HOUSTON, TX 77081

3. Name CITRIS & ANGELA PHILLIPS
Address 7414 CARROLL AVENUE
City/Zip TAKOMA PARK, MD.

4. Name CARLTON A. IDDINGS & HALY CHILDS
Address 7416 CARROLL AVENUE
City/Zip TAKOMA PARK, MD. 20912

5. Name FLORENCE M. CIRASSO
Address 7418 CARROLL AVENUE
City/Zip TAKOMA PARK, MD. 20912 } **
SEE MAILING
ADDRESS BELOW

6. Name _____
Address _____
City/Zip _____

7. Name _____
Address _____
City/Zip _____

8. Name _____
Address _____
City/Zip _____

1757E

** 11605 LOCKWOOD DRIVE #104
SILVER SPRING, MD. 20904



7421 Casroul
Front View from
Casroul Ave.



7421 Casroul
Side View from
Casroul Ave.



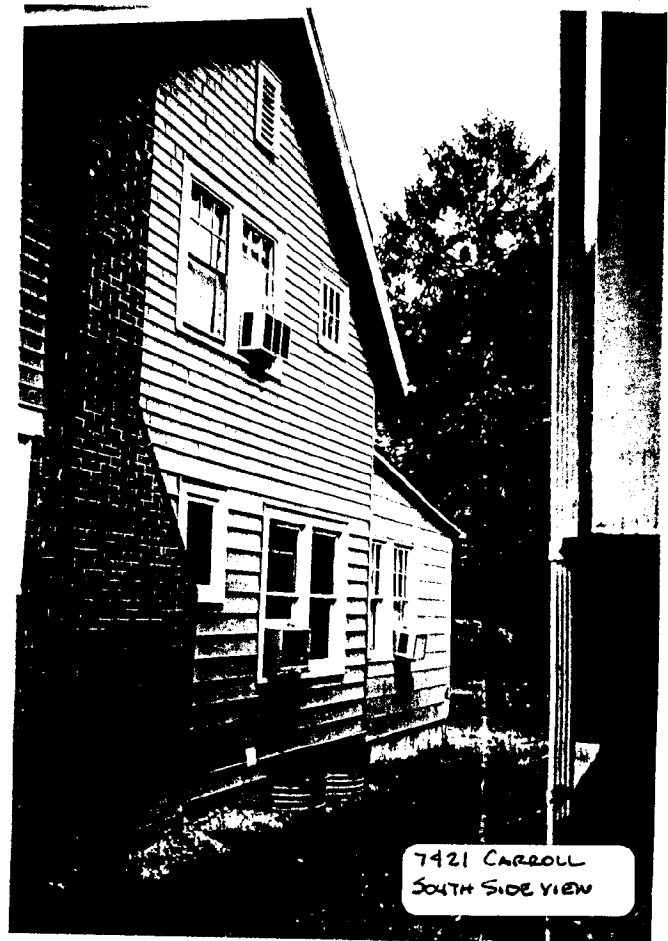
7421 Casroul
Side View from
Casroul Avenue



7421 CARROLL
REAR VIEW



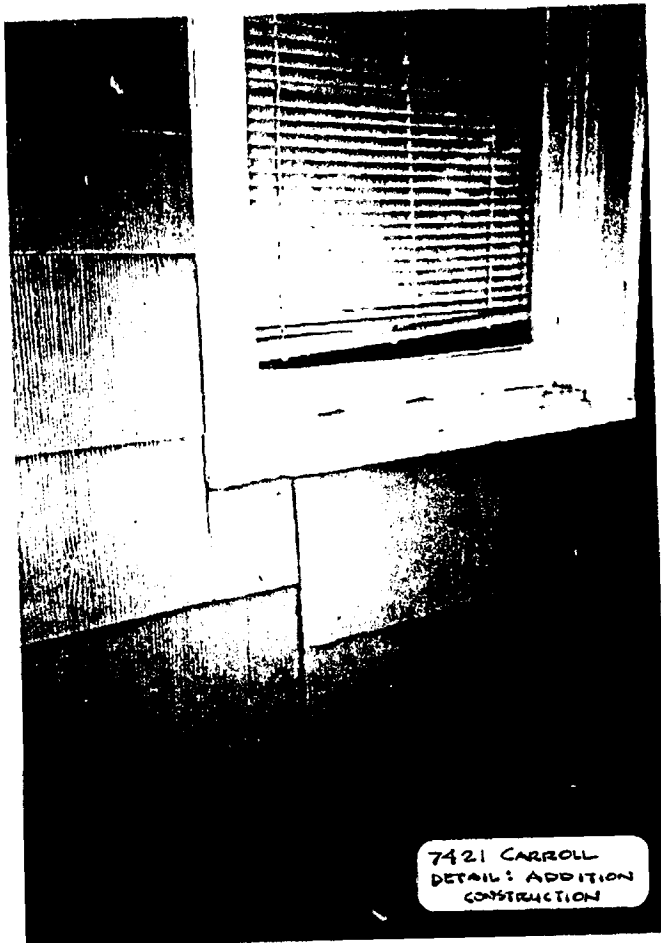
7421 CARROLL
NORTH SIDE VIEW



7421 CARROLL
SOUTH SIDE VIEW



7421 CARROLL
REAR/SIDE VIEW



7421 CARROLL
DETAIL: ADDITION
CONSTRUCTION



7421 CARROLL
DETAIL: ADD'T
SIDING

THIS SITE PLAN IS BASED ON INFORMATION DERIVED FROM THE HOUSE LOCATION SURVEY PREPARED BY LOUIS COHEN OF CAPITAL SURVEYS DATED JULY 9, 1987. BENNETT FRANK MCCARTHY ARCHITECTS INC. MAKES NO REPRESENTATION TO THE ACCURACY OF THIS INFORMATION

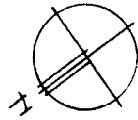
S 28° 45' W

39

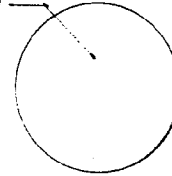
BLOCK 39
PART OF LOT 9
FRED L. GLAIZE'S ADDITION
TAKOMA PARK

S 51° 10' E 195.0'

N 51° 10' W 195.0'



EXISTING EVERGREEN TO REMAIN



PROPOSED WOOD DECK

NEW 1-STORY FRAME ADDITION ON EXIST'G FOUNDATION (REPLACING EXISTING ADDITION)

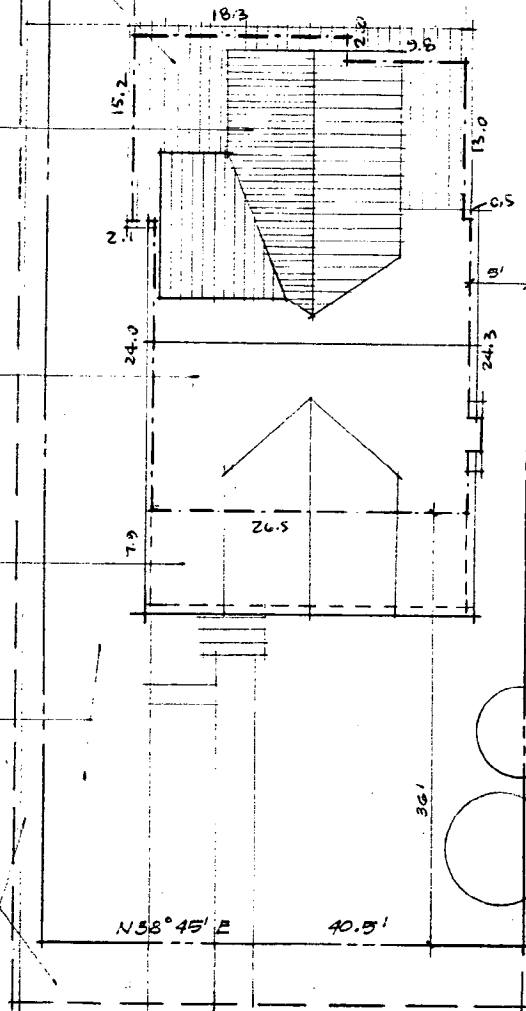
NEW SECOND FLOOR CORNER TO EXTEND EXISTING

EXISTING TWO STORY FRAME RESIDENCE

EXISTING FRONT PORCH

EXISTING ASPHALT DRIVEWAY

REMAINDER OF LOT 9



7421 CARROLL AVE

SITE PLAN

SCALE: 1" = 10'-0"

BFB

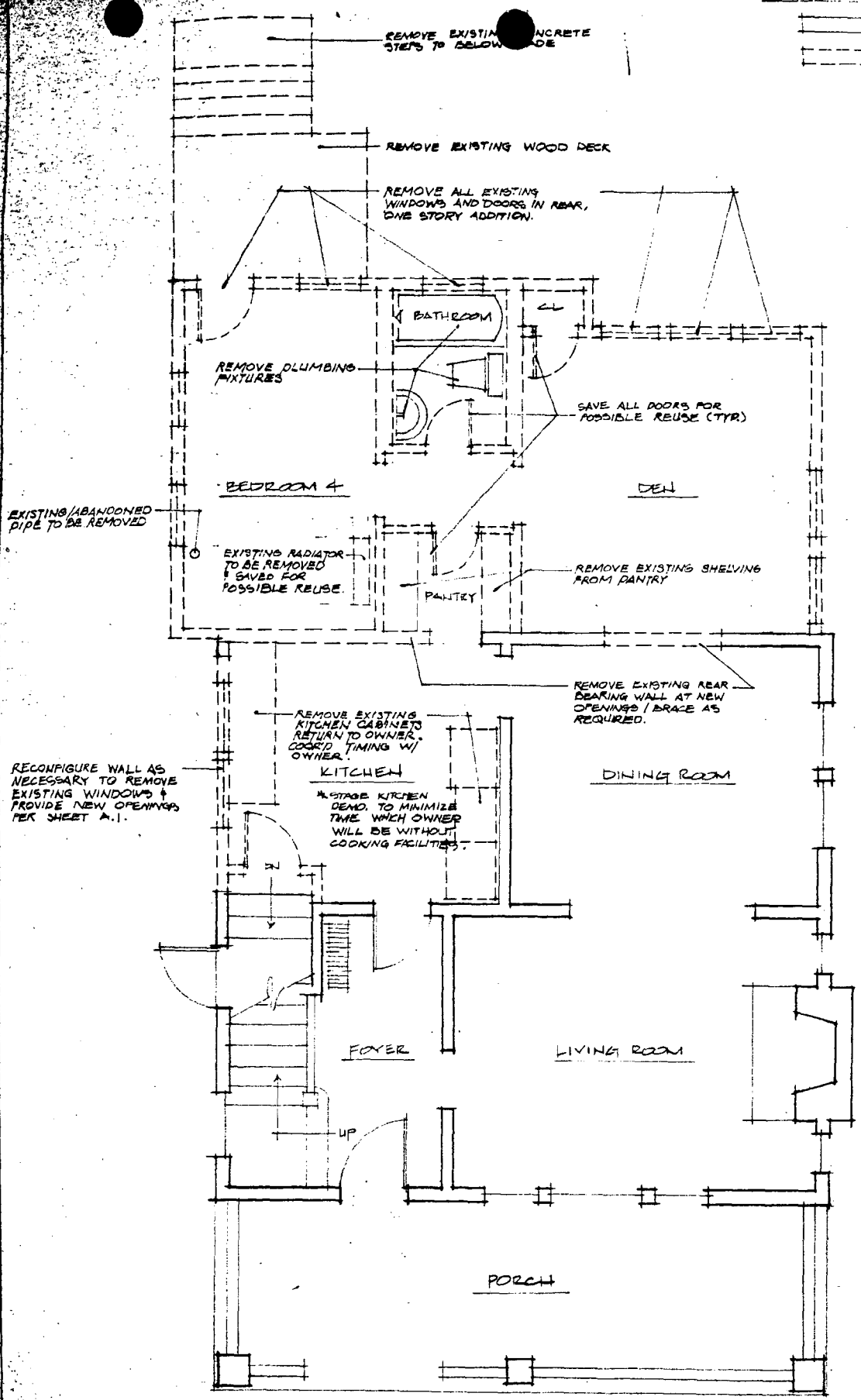
Bennett Frank McCarthy Architects Inc.
115 Southwood Avenue
Silver Spring, Maryland 20901-1918 (301) 993-9885

Seghers Renovation
7421 Carroll Avenue
Takoma Park, Maryland 20912

Project #9221

Drawing Title: SITE PLAN
Scale: 1" = 10'-0"
Date: 17 SEP 78 Revision:

SP-1



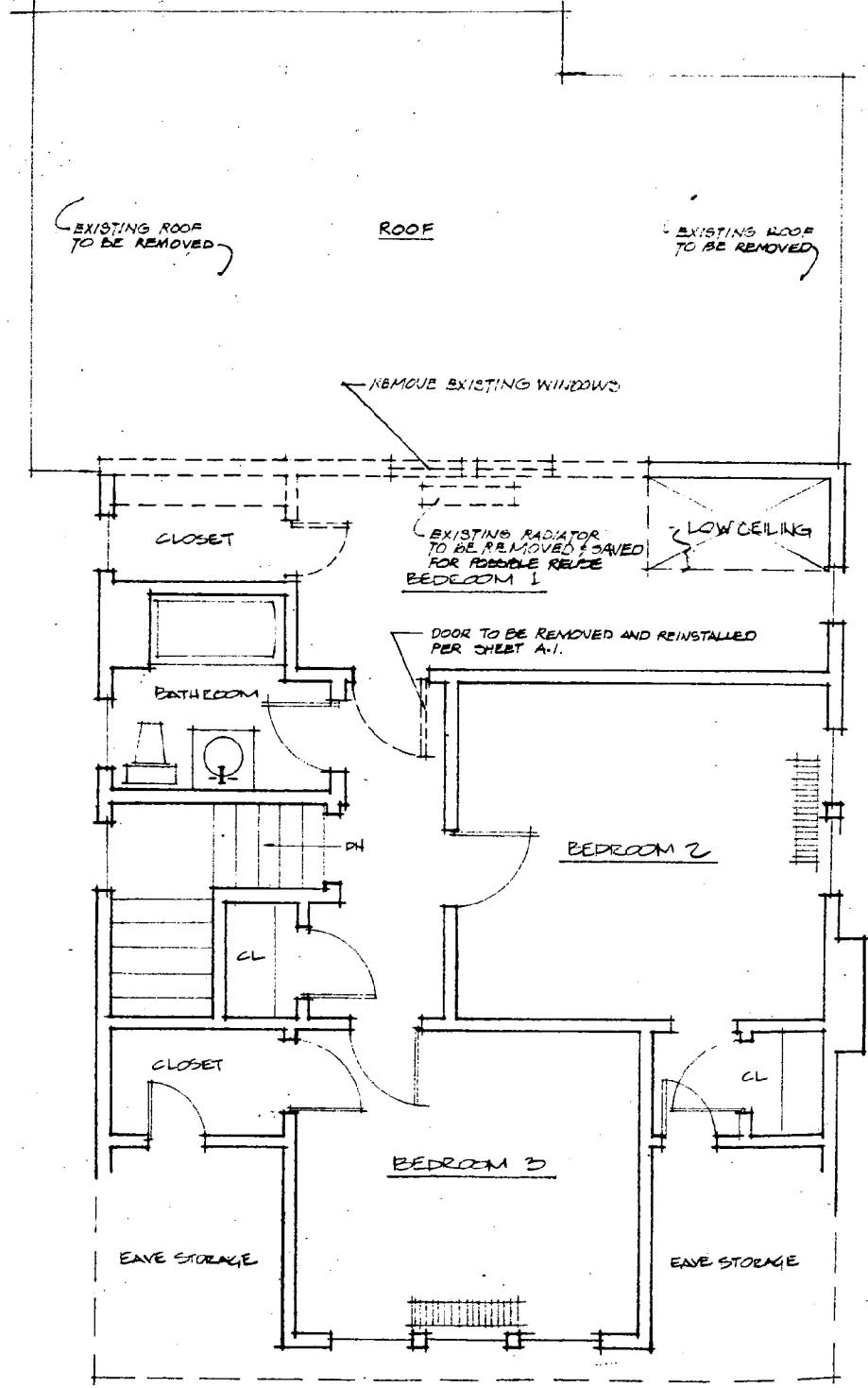
1 FIRST FLOOR PLAN: EXISTING
 SCALE: 1/4" = 1'-0"

4D

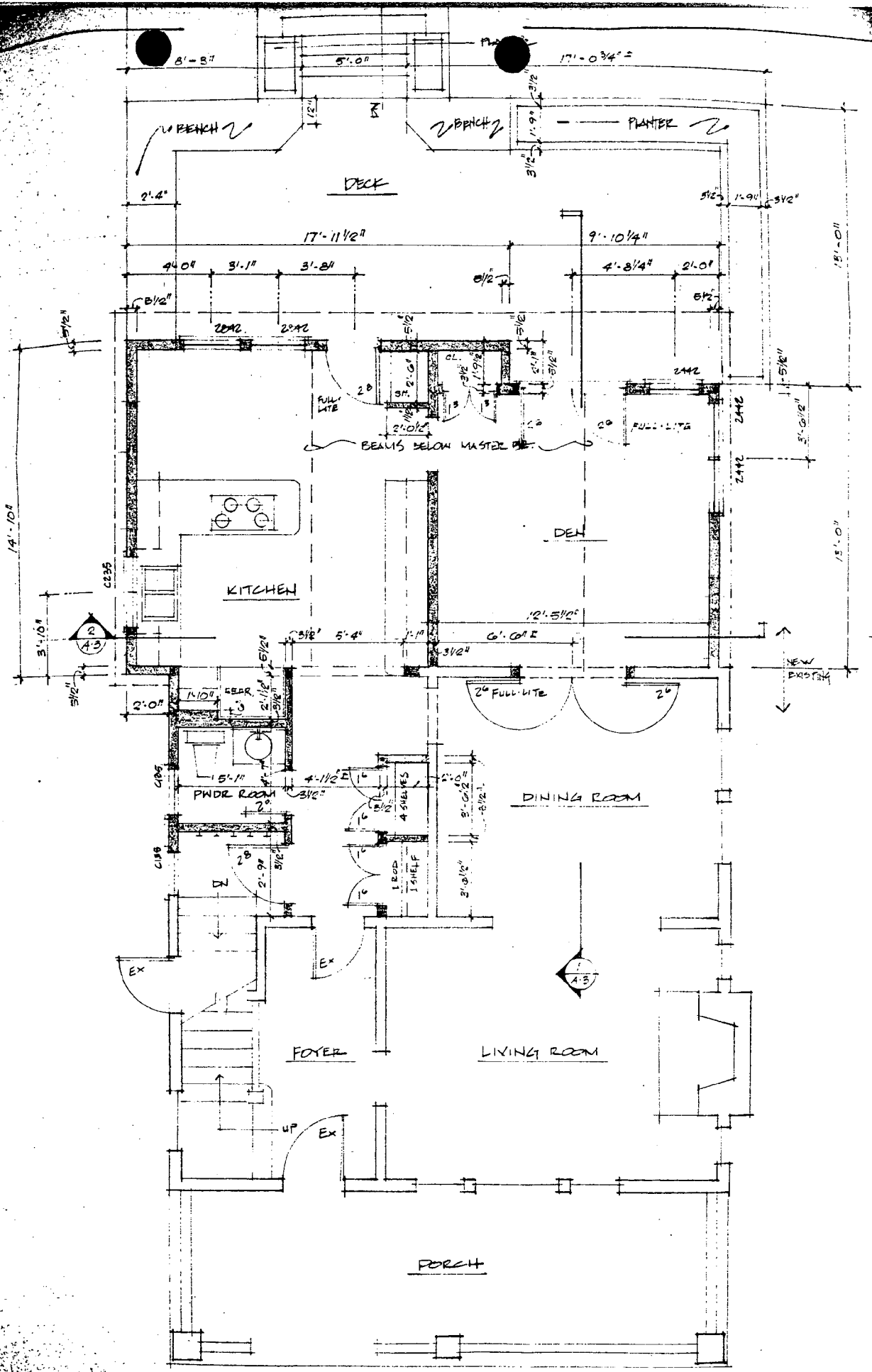
- - - EXISTING CONSTRUCTION TO REMAIN
- - - EXISTING TO BE REMOVED

GENERAL NOTES

- REAR, ONE STORY FRAME ADDITION IS TO BE REMOVED (ROOF, EXT. & INT. PARTITIONS, WINDOWS, DOORS, FIXTURES AND FLOORING JOISTS) DOWN TO EXISTING FOUNDATION WALLS
- MAIN HOUSE TO REMAIN SHOULD BE FULLY PROTECTED FROM THE ELEMENTS UNTIL THE NEW ADDITION IS UNDER ROOF AND ENCLOSED.

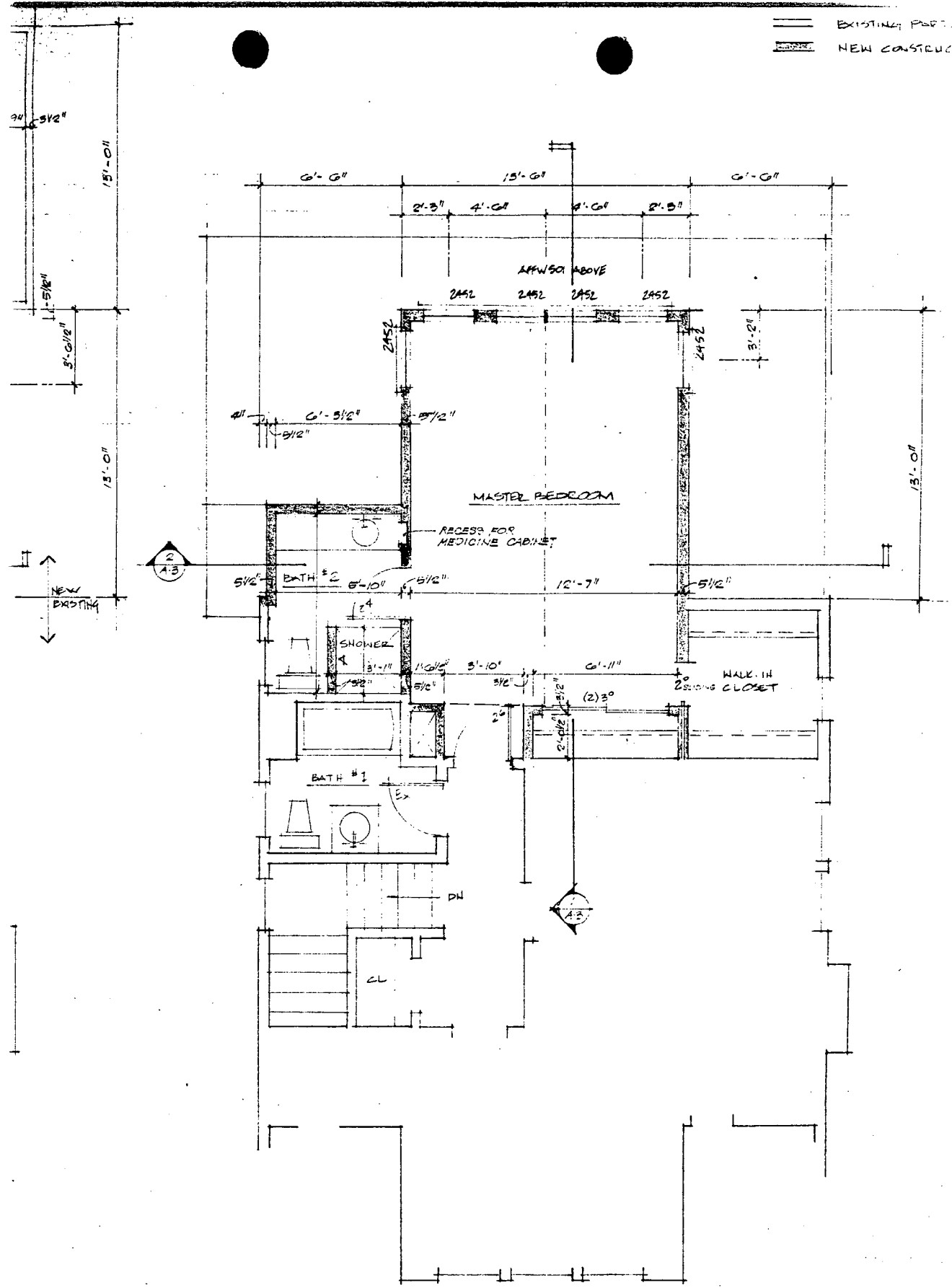


2 SECOND FLOOR PLAN; EXISTING
SCALE: 1/4" = 1'-0"



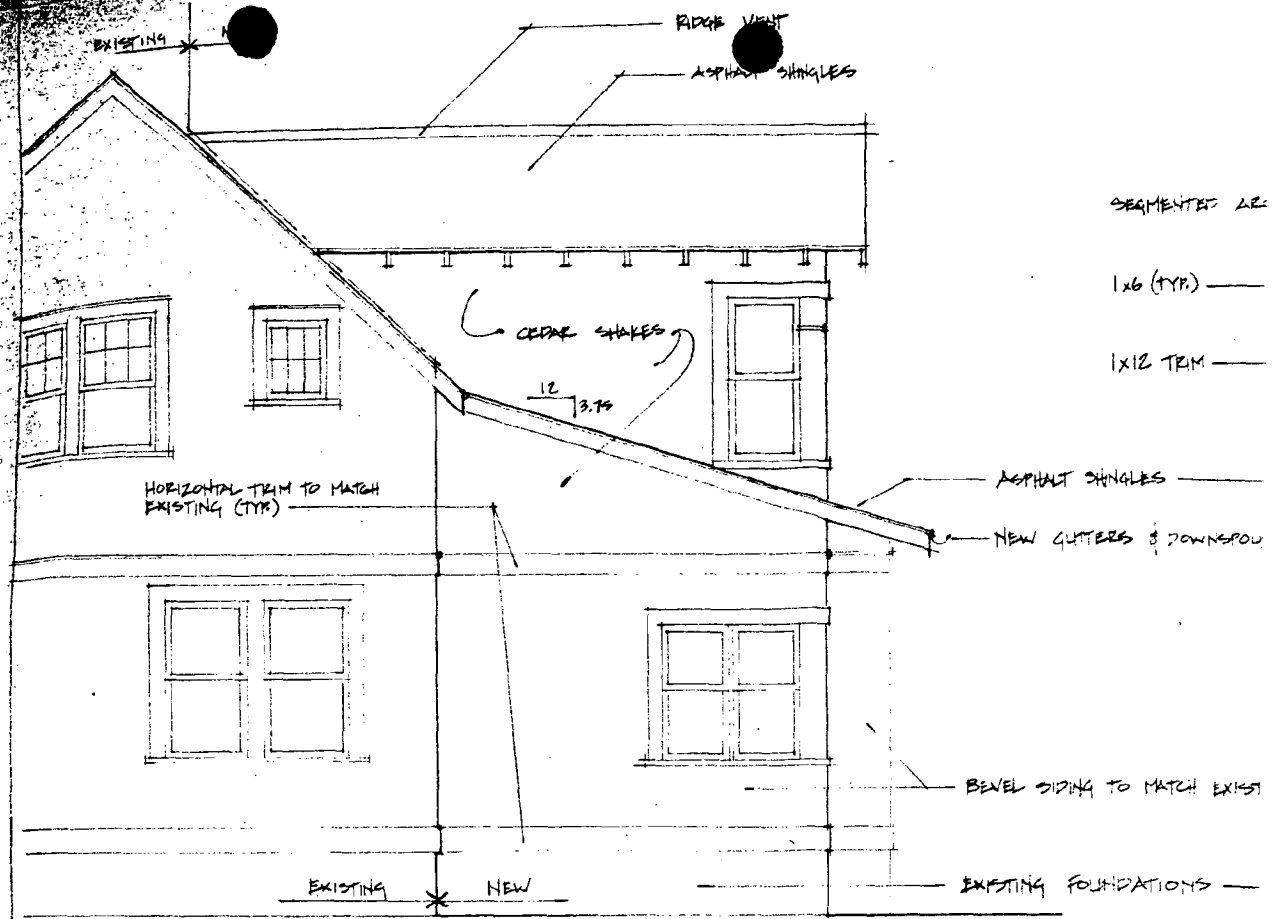
① FIRST FLOOR

EXISTING PARTITION
 NEW CONSTRUCTION



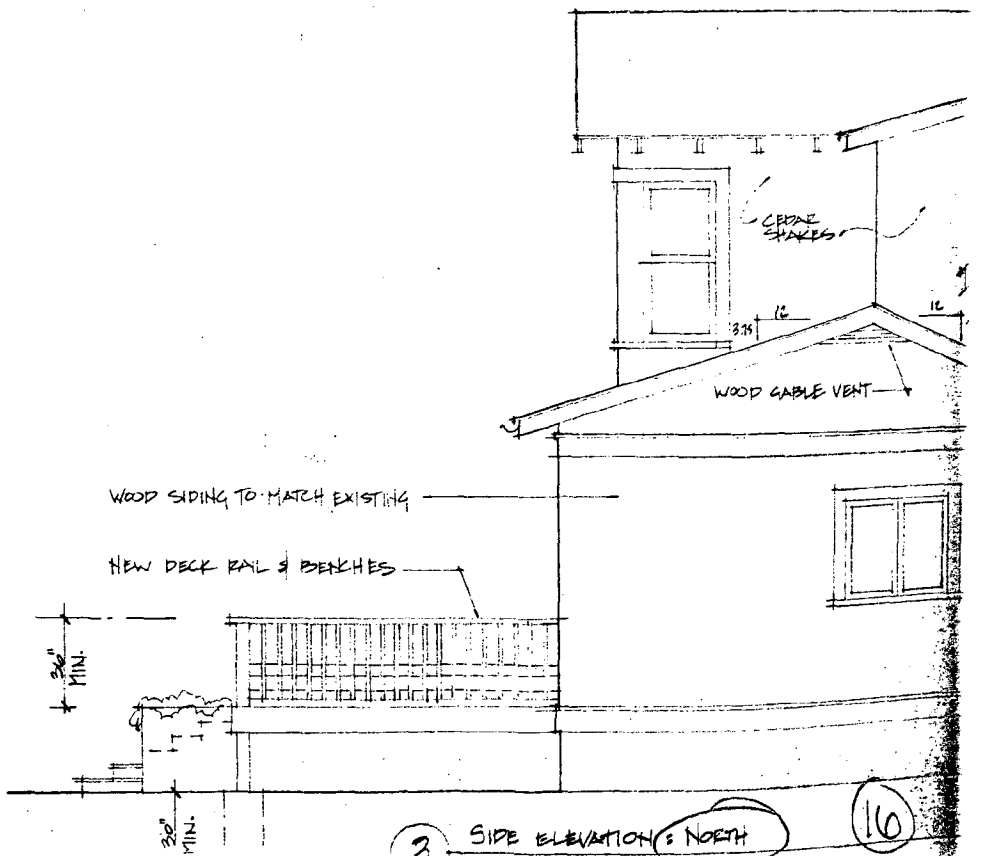
② SECOND FLOOR
 SCALE: 1/8" = 1'-0"

15



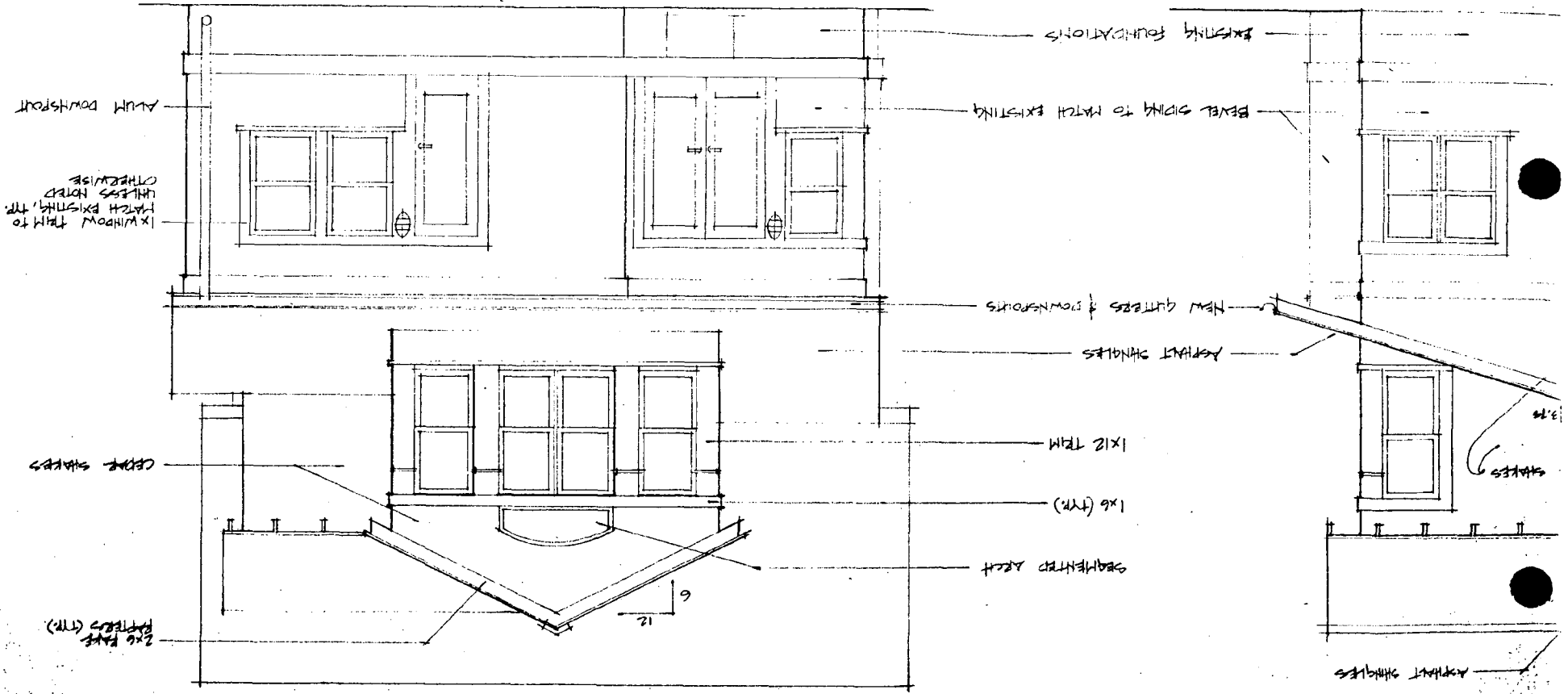
SEGMENTED AR
 1x6 (TYP)
 1x12 TRIM

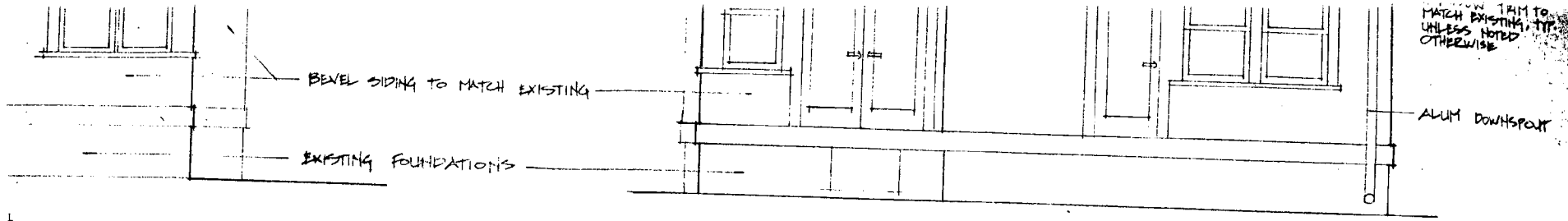
1 SOUTH ELEVATION: SOUTH
 SCALE: 1/4" = 1'-0"



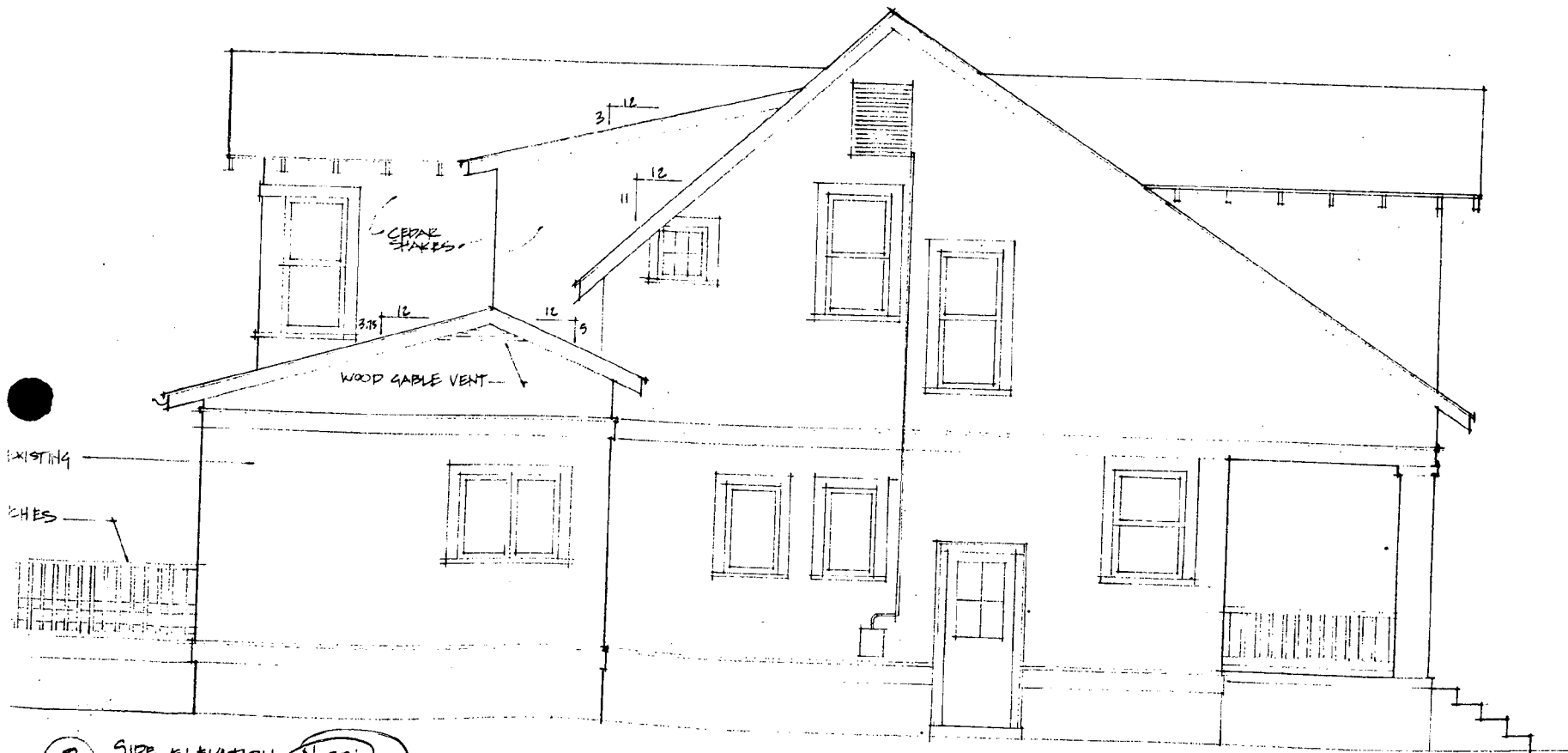
2 SIDE ELEVATION: NORTH 10

2 REAR ELEVATION: EAST
SCALE: 1/4" = 1'-0"

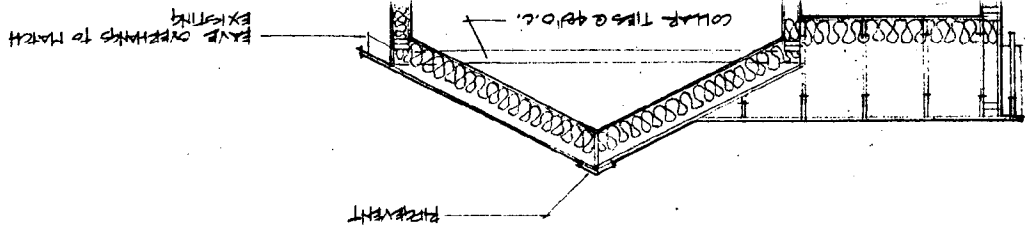




2 REAR ELEVATION: EAST
SCALE: 1/4" = 1'-0"

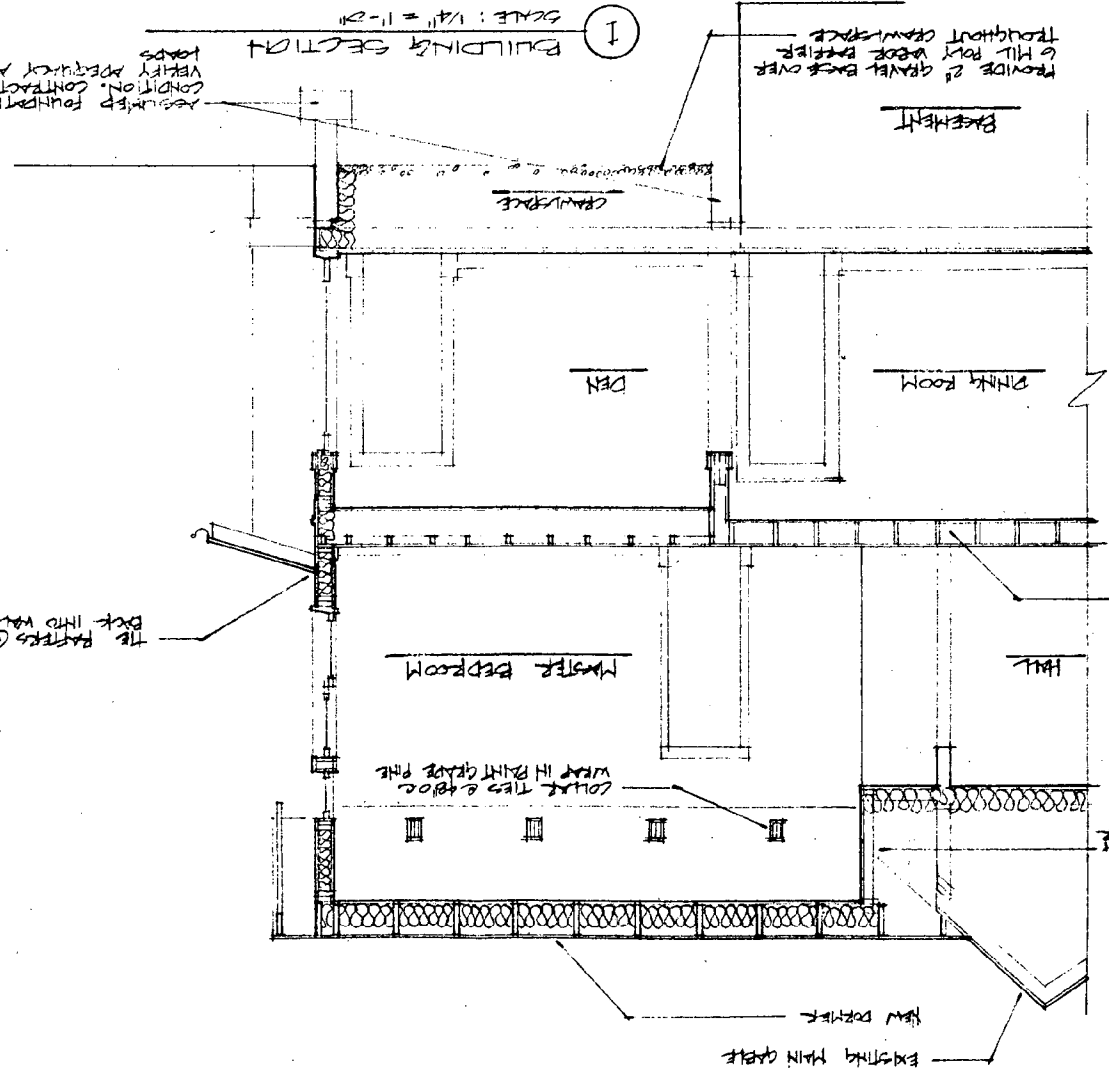


3 SIDE ELEVATION: NORTH
SCALE: 1/4" = 1'-0"



① BUILDING SECTION I
 SCALE: 1/4" = 1'-0"

RESURF. FOUNDATION/FOOTING CONDITION. CONTRACTOR TO VERIFY ADEQUACY AT CONCEALED



**THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
8787 GEORGIA AVENUE
SILVER SPRING, MARYLAND 20907**