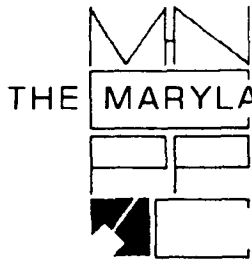


37/3-95V 102 Elm Avenue
Takoma Park Historic District

Ogilvy/Howell
102 Elm Avenue
Takoma Park District District

JPC # 373-95V
7/12/95



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: July 12, 1995

MEMORANDUM

TO: Robert Hubbard, Chief
Division of Development Services and Regulation
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

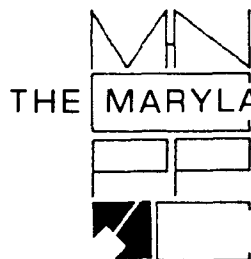
Approved Denied
 Approved with Conditions: _____

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: James P. Ogilvy & Louise A. Howells

Address: 102 Elm Avenue, Takoma Park, Md. 20912

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: July 12, 1995

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



Montgomery County
 Historic Preservation Commission
 8787 Georgia Avenue,
 Silver Spring, MD. 20910
 (301) 495-4570

ision
 0850

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 0507108
 NAME OF PROPERTY OWNER James P Ogilby, Louise A Howls TELEPHONE NO. (301) 270 4522
 (Contract/Purchaser) (Include Area Code)
 ADDRESS 102 Elm Ave. Historic Park Md 20912
 CITY STATE ZIP
 CONTRACTOR In no document TELEPHONE NO. _____
 CONTRACTOR REGISTRATION NUMBER _____
 PLANS PREPARED BY Glenn F. Fisher TELEPHONE NO. (301) 270-4559
Fisher's Building Firm (Include Area Code)
 REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 102 Street Elm Avenue
 Town/City Historic Park Election District 13-06
 Nearest Cross Street Elm Ave
 Lot 27 Block 17 Subdivision P.L. Gilman's Addition
 Liber 8011 Folio 255 Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one) Circle One: A/C Slab Room Addition
 Construct Extend/Add Alter/Renovate Repair Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Move Install Revocable Revision Fence/Wall (complete Section 4) Other _____
 1B. CONSTRUCTION COSTS ESTIMATE \$ 89,000 (mostly masonry work)
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____
 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PG&E
 1E. IS THIS PROPERTY A HISTORICAL SITE? Yes (see map #100)

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 2B. TYPE OF WATER SUPPLY
 01 () WSSC 02 () Septic 01 () WSSC 02 () Well
 03 () Other _____ 03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches
 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 1. On party line/Property line _____
 2. Entirely on land of owner _____
 3. On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Louise Howells Signature of owner or authorized agent (agent must have signature notarized on back) June 2, 1995 Date

APPROVED X For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature _____ Date July 12, 1995

APPLICATION/PERMIT NO: 74-2-1117 FILING FEE: \$ _____
 DATE FILED: _____ PERMIT FEE: \$ _____
 DATE ISSUED: _____ BALANCE \$ _____
 OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



PHOTO A-1: Exterior South Elevation



PHOTO A-2: Exterior North Elevation

102 Elm Avenue Takoma Park Maryland



PHOTO A-3: Exterior East Elevation



PHOTO A-4: Exterior West Elevation

102 Elm Avenue Takoma Park Maryland

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 102 Elm Avenue Meeting Date: 7/12/95
Resource: Takoma Park Historic District HAWP: Alterations
Case Number: 37/3-95V Tax Credit: No
Public Notice: 6/28/95 Report Date: 7/05/95
Applicant: James Ogilvy & Louise Howells Staff: Patricia Parker
PROPOSAL: Replace 4 basement windows RECOMMEND: Approve

BACKGROUND

The applicant proposes to remove four (4) windows at the basement level, enlarge the openings and within the new openings install wood casement windows. The property is an outstanding resource in the Takoma Park Historic District. Window openings on the west elevation are not visible due to growth of dense bamboo. Windows on the elevation elevation are partially visible from the public right-of-way.

STAFF DISCUSSION

Staff feels that this proposal could be approved by the HPC because change to the openings is minimal. Further, the applicant proposes to use wood casement windows with true divided light as replacement in the minimally enlarged openings with wood trim. This change is proposed so that the basement space could be considered habitable by code definition.

The house is an outstanding resource in the Takoma Park Historic District and is surrounded by a mixture of outstanding and contributing resources. But the openings are not significantly enlarged so that change to the streetscape is minimal.

Therefore, because change to the openings would be minimal and the materials and configuration proposed would be compatible with the historicity of the property and the character of the Takoma Park Historic District as a whole, staff feels that this change would be appropriate.

STAFF RECOMMENDATION

The staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with Standard #1:

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment; and with the Guidelines for the Takoma Park Historic District.



Montgomery County
Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, MD. 20910
(301) 495-4570

ion
1850

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1080768
 NAME OF PROPERTY OWNER James P. Ogilvy, Louise A. Howells TELEPHONE NO. (301) 270-4522
 (Contract/Purchaser) (Include Area Code)
 ADDRESS 102 Elm Ave. Takoma Park Md- 20912
 CITY STATE ZIP
 CONTRACTOR to be determined TELEPHONE NO. _____
 PLANS PREPARED BY Gloria Fischer CONTRACTOR REGISTRATION NUMBER _____
Fischer Tseng Fischer TELEPHONE NO. (301) 270-4559
 (Include Area Code)
 REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE
 House Number 102 Street Elm Avenue
 Town/City Takoma Park Election District 13-06
 Nearest Cross Street Pine Ave
 Lot 27 Block 17 Subdivision B.F. Gilbert's Addition to Takoma Park
 Liber 8071 Folio 255 Parcel _____

- 1A. TYPE OF PERMIT ACTION: (circle one)
 Construct Extend/Add Alter/Renovate Repair Circle One: A/C Slab Room Addition
 Wreck/Raze Move Install Revocable Revision Porch Deck Fireplace Shed Solar Woodburning Stove
 Fence/Wall (complete Section 4) Other Windows
- 1B. CONSTRUCTION COSTS ESTIMATE \$ 34,000 (mostly interior work)
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____
- 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY Pepeco
- 1E. IS THIS PROPERTY A HISTORICAL SITE? Yes (category #1 architectural resource)

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/AODITIONS

- 2A. TYPE OF SEWAGE DISPOSAL
 01 () WSSC 02 () Septic
 03 () Other _____
- 2B. TYPE OF WATER SUPPLY
 01 () WSSC 02 () Well
 03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 4A. HEIGHT _____ feet _____ inches
- 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 1. On party line/Property line _____
 2. Entirely on land of owner _____
 3. On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Louise A. Howells Signature of owner or authorized agent (agent must have signature notarized on back)
June 20, 1995 Date

APPROVED _____ For Chairperson, Historic Preservation Commission

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1 story frame bungalow with basement built @ 1930,
located in residential area. The structure is categorized
as a No. 1 resource.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Project will replace four basement windows with slightly larger and more energy efficient models. Replacement windows will be high quality - Anderson or equivalent - and appropriate style. [see drawings] The replacement windows will have minimal visual impact on the house and will enhance the safety of occupants by improving emergency egress from the basement. All windows are on the sides of the house. The windows on the west side are not visible from the street.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

2 34" (w) X 20" (D) windows on the east side of the basement will be replaced with windows that are longer in length, ^{double} front ~~width~~ and 41" long rear 25" long. 64" (w) X 29" (D) window will be replaced with a window of similar width, ^{of similar width, but} 48 5/16" long. 32" (w) X 29" (D) window will be replaced with a window of similar width, ^{double} 48 5/16" long. Lengths are approximate.
on the west side

- b. the relationship of this design to the existing resource(s):

Design has minimal impact to the appearance. The proportions of the replacement windows are consistent with the original windows, and will maintain broken light appearance. The design calls for removal of modern storm windows, which should enhance the appearance and is more in keeping with the original styles.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

The proposed work will not substantially alter the exterior, and is compatible with the existing structure. The proposed work will remedy unsafe conditions by providing windows large enough for egress. The proposed work is necessary to meet building code requirements.

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name Carol Reisen, Patrick Flannigan 270-1162
Address 105 Elm Avenue across the street
City/Zip Takoma Park Md 20912
2. Name Rani Parker, J. Patrick Meagher 270-5737
Address 104 Elm Avenue adjacent
City/Zip Takoma Park Md 20912

3. Name Scott Williams, Kerry Traylor 891-3017
Address 30 Pine Avenue adjacent
City/Zip Takoma Park, md 20912
4. Name Abigail Alcott, Kent Smith 270-1162
Address 28 Pine Avenue adjacent
City/Zip Takoma Park, md. 20912
5. Name John Hall 270-4184
Address 26 Pine Avenue adjacent
City/Zip Takoma Park, md. 20912
6. Name Mickey & Natalie Sprecher 270-6255
Address 24 Pine Avenue adjacent
City/Zip Takoma Park, md 20912
7. Name _____
Address _____
City/Zip _____
8. Name _____
Address _____
City/Zip _____

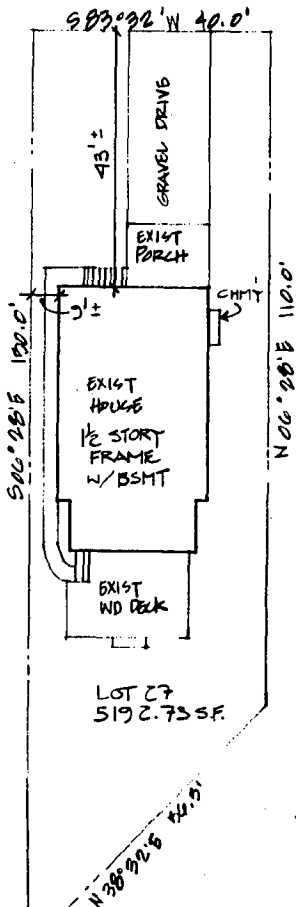
1757E

GENERAL NOTES

1. CIG HT 19'-7 1/2" AFF UNLESS NOTED OTHERWISE
2. REMOVE ALL HOT/COLD WATER, GPH, & FURNACE FORCED WATER PIPING TO ABOVE CIG.
3. ALL EXT. PARTITIONS ARE TO BE 1/2" GYP BD ON G MIL POUT ON 2X4 WD STUDS @ 16" O.C. W/ R12 INSUL PURFED OVER EXIST. CMU FOUNDATION WALLS, PTD
4. ALL INT. PARTITIONS ARE TO BE 2X4 WD STUDS @ 16" O.C. W/ 1/2" GYP BD ON BOTH SIDES. PTD
5. ALL SILL PLATES ARE TO BE 2X PRESSURE TREATED WD.
6. ALL REPLACEMENT/NEW WDH(S) ARE TO BE MANUFACTURED BY "ANDERSEN"
7. PAINTING: (1) COAT OF PRIMER PLWG
(2) COATS OF PAINT
8. FUR'S ALLOWANCE: #20/SER TO
9. LIG FIXT. ALLOWANCE: #35/FIXT.
10. ALL GYP BD PARTITIONS ARE TO HAVE 4 1/4" H WD BASE. PTD
11. ALL WDW(S) & DR(S) ARE TO HAVE 3 1/4" H WD CASING
12. PROVIDE NEW FURNACE
13. REMOVE EXIST CONC BASEMENT JIBS & SUE BASE. PROVIDE NEW CONC SLAB, VAPOR BARRIER, & GRAVEL SUB-BASE FOR 2'-7 1/2" OR CIG HT.

2114 1114
PARKING
20 JUN 95
HMT. PERS. COM.

ELM AVENUE

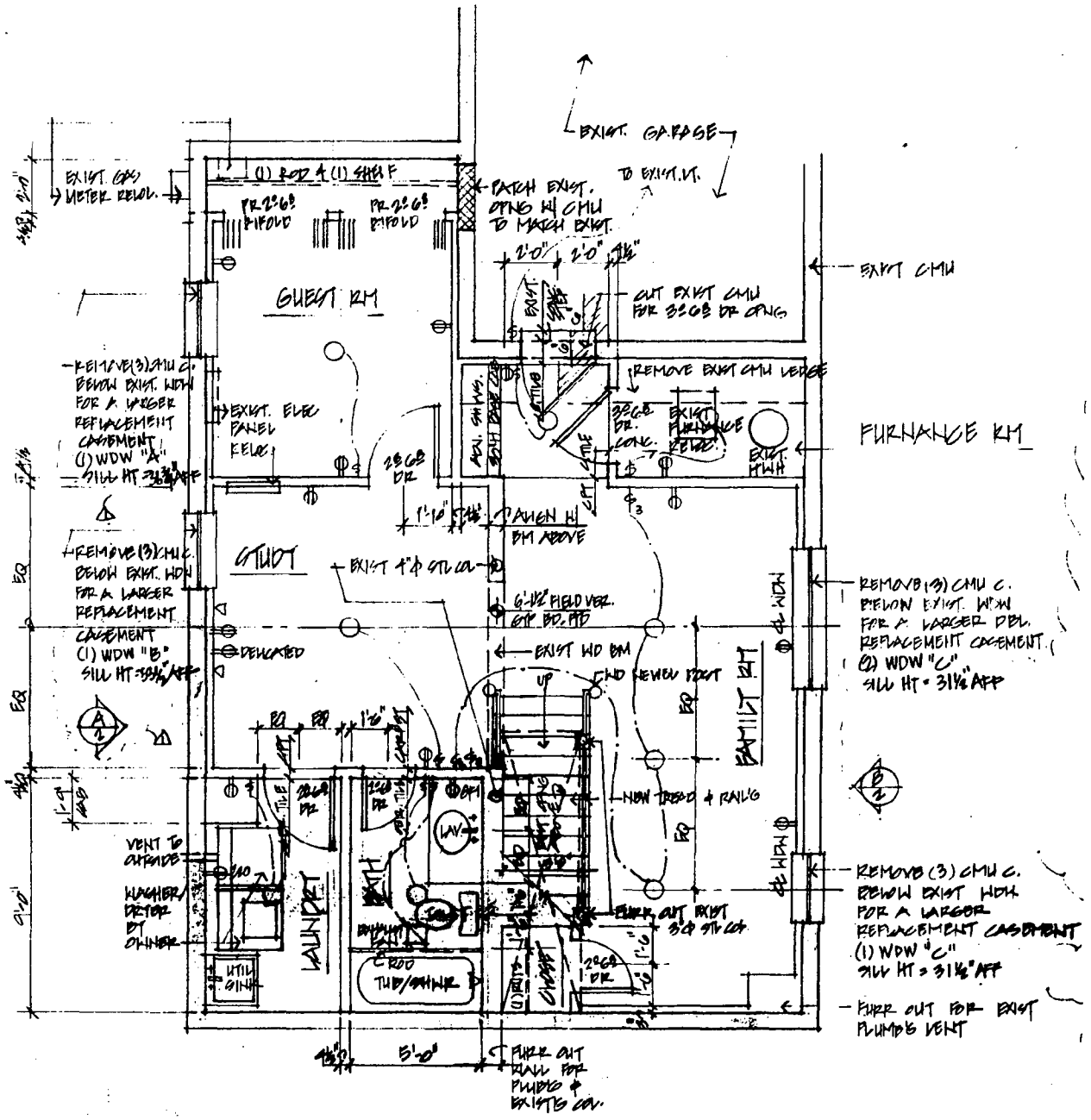


LOT 27 BLOCK 17
B.F. GILBERT'S ADDITION
TO TAKOMA PARK
BEING PART OF THE
CARROLL FARM
MONTGOMERY COUNTY, MD.

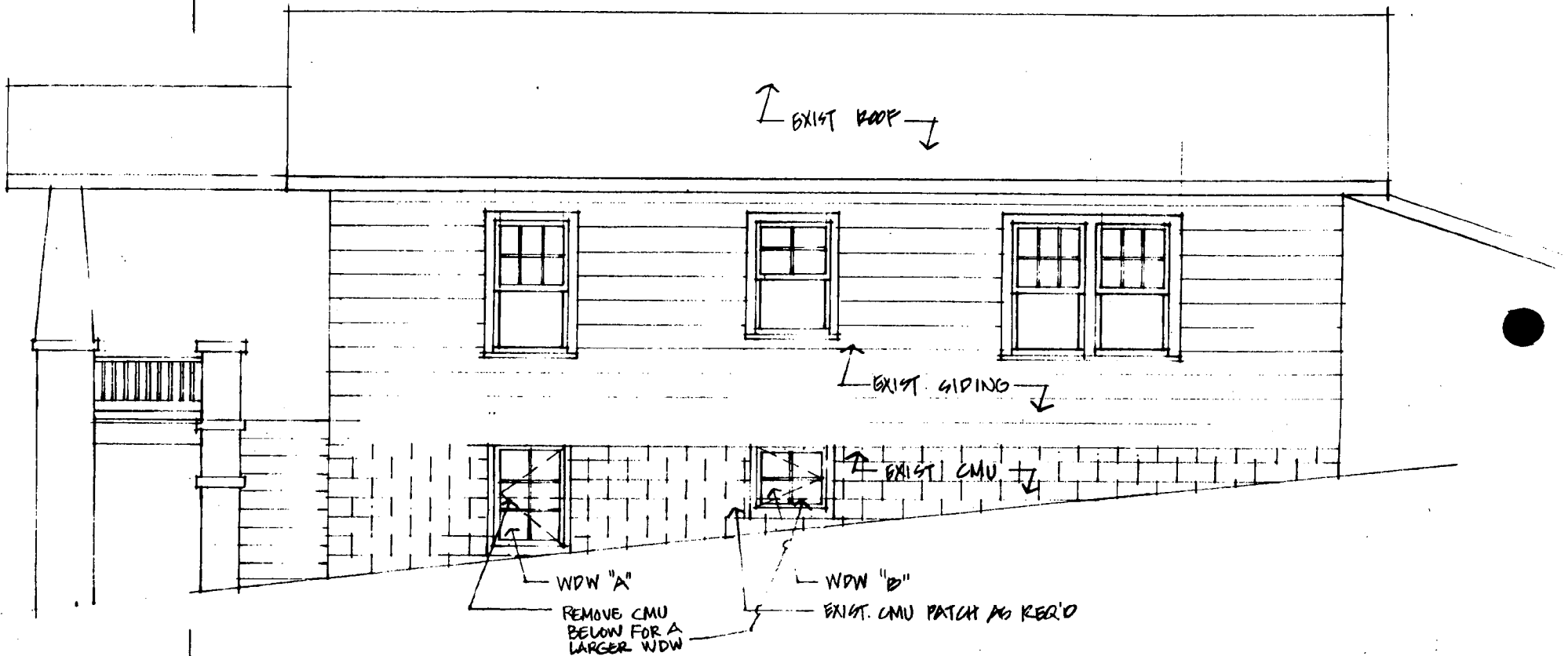
B SITE PLAN
1" = 20'-0"

BASEMENT RENOVATION

102 ELM AVE
TAKOMA PARK, MD 20901



A BASEMENT PLAN
1 1/4" = 1'-0"



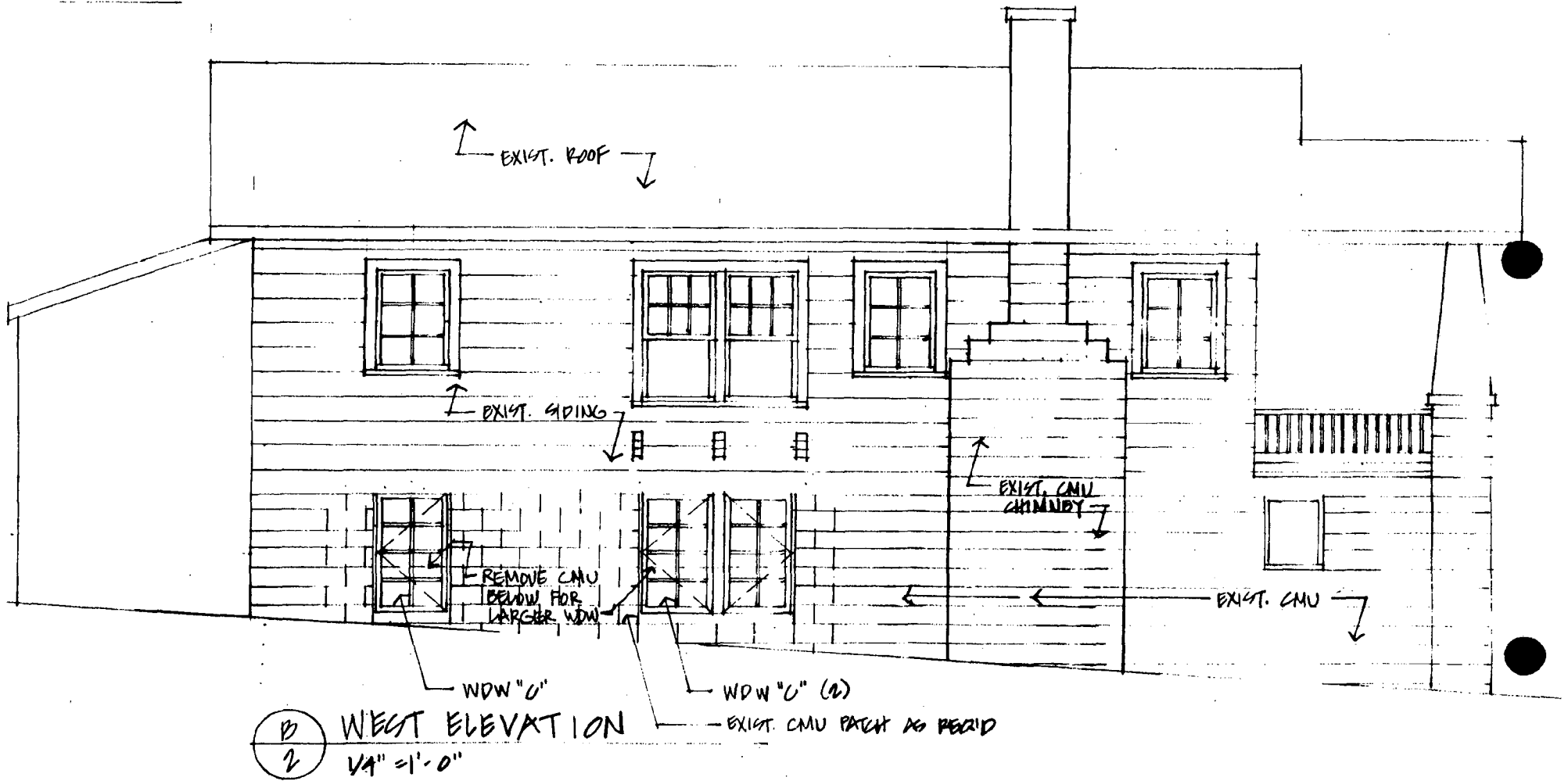
A
1

EAST ELEVATION
1/4" = 1'-0"

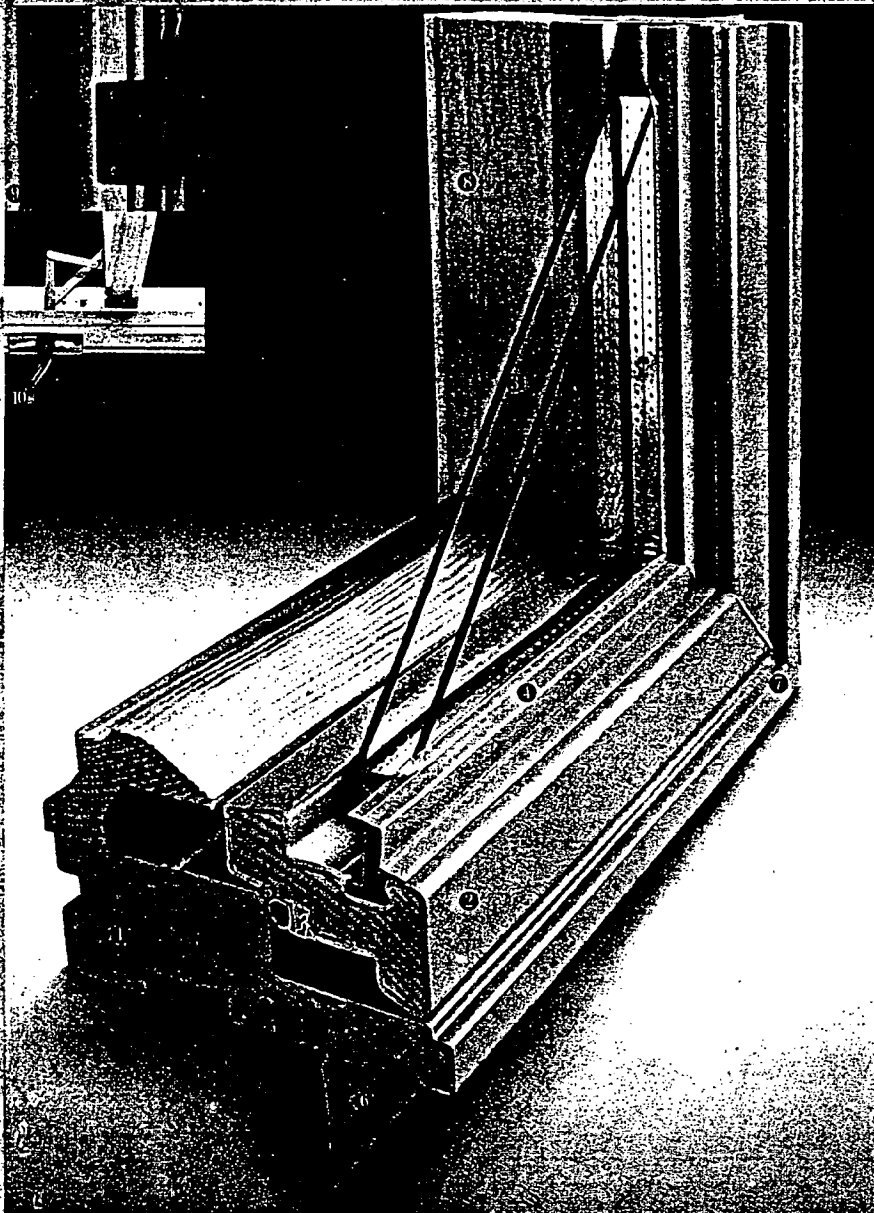
EXIST. ROOF

11

WDW "B"
EXIST. CMU PATCH AS REQ'D



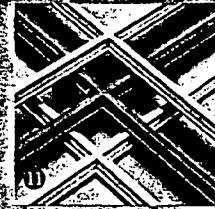
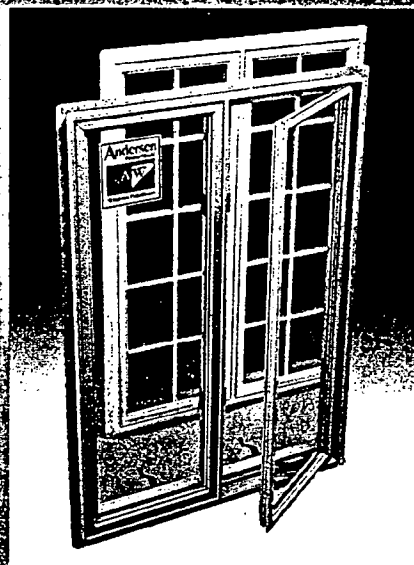
CASEMENT WINDOWS



Andersen® casements combine contemporary beauty with convenient low maintenance. They swing outward for smooth controlled top-to-bottom ventilation and easy washing. They can be arranged in bow, angle bay, and box bay windows.

BASE UNIT FEATURES:

1. **FRAME:** Wood members treated with water repellent preservative and covered with a Perma-Shield® pre-formed rigid vinyl (PVC) sheath in white, Sandtone or Terratone® color.
2. **SASH:** Solid wood core is treated with a water repellent preservative and completely covered with a rigid vinyl (PVC) sheath in white, Sandtone or Terratone color.
3. **GLAZING:** For the ultimate in comfort and quality, choose *High-Performance™*, *High-Performance Sun™* solar control with a soft gray tint, or *High-Performance™ Tempered*



insulating glass. For high altitude glass and other special glazings, contact your local Andersen supplier.

4. **GLAZING BEAD:** Made of rigid vinyl. Bead snaps in place with flexible vinyl tip against glass.
5. **WEATHERSTRIPPING:** Flexible bulb and spring tension type vinyl is factory applied on all four sides for tight seal between sash and frame.
6. **FLASHING:** Continuation of the pre-formed rigid vinyl sheath on frame forms a full perimeter flashing and anchoring fin.
7. **CORNER SEAL:** Pre-formed vinyl frame sheath eliminates corner joints. Sash corner joints are welded to form durable waterproof joint.
8. **INSIDE STOPS:** Made of western clear pine, natural wood stops can be finished to match interior décor.
9. **SASH LOCK:** Lock pulls sash firmly closed or ejects for opening. Reach-out action eliminates binding of locks and relieves stress on operator. Stone-color or white decorator finish.
10. **CASEMENT ROTO OPERATOR:** Under-screen operator arm attaches to sash. Sash disengages from operator without tools. Operator moves sash away from frame to provide for easy exterior washing. Stone-color or white finish.

PICTURE WINDOW UNIT: Non-operating picture windows are made with the same materials as ventilating units.

RECOMMENDED OPTIONAL ACCESSORIES:

For more information see pages 150-155.

PINE EXTENSION JAMBS: Sizes available from Andersen for 4¹/₁₆" 5¹/₁₆" 6¹/₁₆" or 7¹/₁₆" wall thickness. Pre-drilled for easy application (except for 7¹/₁₆" size). See your local Andersen supplier for other wall thicknesses.

11. PERMA-FIT® DIVIDED LIGHT GRILLES: Available in interior, exterior, picture window, and custom grilles. See page 150.

PERMA-CLEAN® INSECT SCREEN: Interior-mounted removable aluminum screen is available in white or stone-color decorator finish.

WINDOW BLINDS: Specially designed for Perma-Shield® casement windows. Easily installed and fully adjustable. White, Sandtone or Terratone color. Order special casement head stop for operating units with blinds.

CORROSION-RESISTANT HARDWARE: Hinge and operator kits are available for Perma-Shield casement windows.

BASIC UNIT SIZES

INTERIOR AND EXTERIOR GRILLE PATTERNS

UNIT DIM.	1-5"	1-8 $\frac{1}{2}$ "	2-0 $\frac{1}{2}$ "	2-4 $\frac{1}{2}$ "	2-9 $\frac{1}{2}$ "	3-4 $\frac{1}{2}$ "	4-0"	4-8 $\frac{1}{2}$ "	5-11 $\frac{1}{8}$ "
RGH. DPG.	1-5 $\frac{1}{2}$ "	1-9"	2-0 $\frac{1}{2}$ "	2-4 $\frac{1}{2}$ "	2-10 $\frac{1}{4}$ "	3-5 $\frac{1}{2}$ "	4-0 $\frac{1}{2}$ "	4-9"	6-0 $\frac{1}{8}$ "
UNOBS. GLASS	12 $\frac{1}{8}$ "	16 $\frac{1}{8}$ "	19 $\frac{1}{2}$ "	24"	12 $\frac{1}{2}$ "	16 $\frac{1}{2}$ "	19 $\frac{1}{2}$ "	24"	19 $\frac{1}{2}$ "

VENT LAYOUT



NOTE: Hinging of sash that is shown is standard. Single sash indicates hinging left, right or stationary. Specify left or right, as viewed from the outside. For other hinging of multiple units contact your local Andersen supplier.

*See Opening Specifications on page 88.

When ordering be sure to specify color desired.

CASEMENT OPENING SPECIFICATIONS

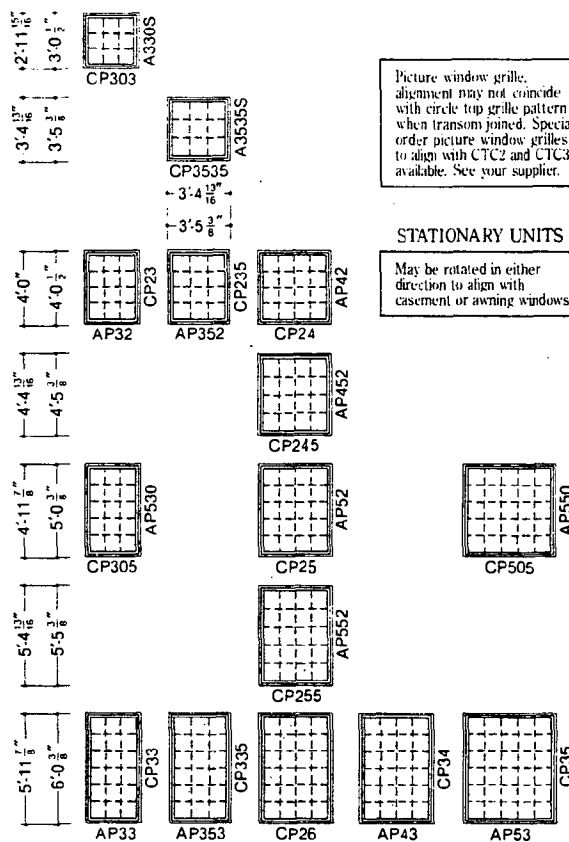
Unit No.	Sq. Ft. Clear Opg. Str. Arm	Sq. Ft. Clear Opg. Split Arm	Max. Clear Opg. in Full Open Position			Sq. Ft. Glass	Crack Opg. Lin. Ft. Vent Sash Only	Sq. Ft. Vent.	Top of Subfloor to Top of Inside Sill Stop	Sq. Ft. Overall Unit Area
			Str. Arm Width	Split Arm Width	Height					
CR12	-	.9	-	7"	19 ¹ / ₁₆ "	1.7	6'4 ³ / ₁₆ "	1.5	60 ⁹ / ₁₆ "	3.0
CR13	-	1.5	-	7"	31 ¹ / ₄ "	2.7	8'4 ¹ / ₄ "	2.5	48 ¹³ / ₁₆ "	4.2
CR135	-	1.8	-	7"	36 ³ / ₃₂ "	3.1	9'1 ¹ / ₁₆ "	2.9	43 ¹ / ₃₂ "	4.8
CR14	-	2.1	-	7"	43 ¹ / ₁₆ "	3.8	10'4 ¹ / ₈ "	3.5	36 ¹ / ₄ "	5.7
CR15	-	2.7	-	7"	55 ³ / ₁₆ "	4.8	12'4 ³ / ₄ "	4.4	24 ⁷ / ₈ "	7.1
CR16	-	3.3	-	7"	67 ¹ / ₁₆ "	5.9	14'4 ¹ / ₁₆ "	5.4	12 ¹ / ₂ "	8.5
CN12	-	1.4	-	10 ¹ / ₄ "	19 ¹ / ₁₆ "	2.2	6'11 ¹ / ₁₆ "	2.3	60 ⁹ / ₁₆ "	3.4
CN13	-	2.2	-	10 ¹ / ₄ "	31 ¹ / ₄ "	3.5	8'11 ¹ / ₁₆ "	3.2	48 ¹³ / ₁₆ "	5.1
CN135	-	2.6	-	10 ¹ / ₄ "	36 ³ / ₃₂ "	4.0	9'9 ¹ / ₁₆ "	3.1	43 ¹ / ₃₂ "	5.8
CN14	-	3.1	-	10 ¹ / ₄ "	43 ¹ / ₁₆ "	4.8	10'11"	4.4	36 ¹ / ₄ "	6.8
CN145	-	3.4	-	10 ¹ / ₄ "	48 ¹ / ₈ "	5.4	11'9 ¹ / ₁₆ "	4.9	31 ¹ / ₁₆ "	7.5
CN15	-	3.9	-	10 ¹ / ₄ "	55 ³ / ₁₆ "	6.2	12'11 ¹ / ₁₆ "	5.6	24 ¹ / ₂ "	8.5
CN155	-	4.3	-	10 ¹ / ₄ "	60 ¹ / ₈ "	6.7	13'9 ¹ / ₁₆ "	6.1	19 ¹ / ₁₆ "	9.2
CN16	-	4.8	-	10 ¹ / ₄ "	67 ¹ / ₁₆ "	7.5	14'11 ¹ / ₁₆ "	6.9	12 ¹ / ₂ "	10.2
C12	-	1.9	-	14"	19 ¹ / ₁₆ "	2.6	7'6 ¹ / ₈ "	2.4	60 ⁹ / ₁₆ "	4.0
C13	-	3.0	-	14"	31 ¹ / ₄ "	4.3	9'6 ¹ / ₁₆ "	4.0	48 ¹³ / ₁₆ "	6.0
C135	-	3.5	-	14"	36 ³ / ₃₂ "	4.9	10'4 ¹ / ₁₆ "	4.6	43 ¹ / ₃₂ "	6.8
C14	-	4.2	-	14"	43 ¹ / ₁₆ "	5.9	11'6 ¹ / ₁₆ "	5.6	36 ¹ / ₄ "	8.0
C145	-	4.7	-	14"	48 ¹ / ₈ "	6.6	12'4 ¹ / ₁₆ "	6.2	31 ¹ / ₁₆ "	8.8
C15	-	5.4	-	14"	55 ³ / ₁₆ "	7.6	13'6 ¹ / ₁₆ "	7.1	24 ¹ / ₂ "	10.0
C155	-	5.9	-	14"	60 ¹ / ₈ "	8.2	14'4 ¹ / ₁₆ "	7.7	19 ¹ / ₁₆ "	10.8
C16	-	6.5	-	14"	67 ¹ / ₁₆ "	9.2	15'6 ¹ / ₁₆ "	8.6	12 ¹ / ₂ "	12.0
CW12*	3.0	2.5	22"	18 ¹ / ₄ "	19 ¹ / ₁₆ "	3.2	8'3 ¹ / ₁₆ "	3.1	60 ⁹ / ₁₆ "	4.7
CW13*	4.8	4.0	22"	18 ¹ / ₄ "	31 ¹ / ₄ "	5.2	10'3 ¹ / ₁₆ "	4.9	48 ¹³ / ₁₆ "	7.1
CW135*	5.7	5.0	22 ³ / ₄ "	20"	36 ³ / ₃₂ "	6.0	11'0 ¹ / ₁₆ "	5.7	43 ¹ / ₃₂ "	8.0
CW14*	6.6	6.0	22"	20"	43 ¹ / ₁₆ "	7.2	12'3 ¹ / ₁₆ "	6.8	36 ¹ / ₄ "	9.5
CW145*	7.4	6.7	22"	20"	48 ¹ / ₈ "	8.0	13'0 ¹ / ₁₆ "	7.5	31 ¹ / ₁₆ "	10.4
CW15*	8.4	7.7	22"	20"	55 ³ / ₁₆ "	9.2	14'3 ¹ / ₁₆ "	8.7	24 ¹ / ₂ "	11.8
CW155*	9.2	8.4	22"	20"	60 ¹ / ₈ "	10.0	15'0 ¹ / ₁₆ "	9.5	19 ¹ / ₁₆ "	12.7
CW16*	10.3	9.3	22"	20"	67 ¹ / ₁₆ "	10.8	16'3 ¹ / ₁₆ "	10.6	12 ¹ / ₂ "	14.2
CR23	-	1.5	-	7"	31 ¹ / ₄ "	5.4	16'9 ¹ / ₂ "	5.0	48 ¹³ / ₁₆ "	8.4
CR235	-	1.8	-	7"	36 ³ / ₃₂ "	6.2	18'3 ³ / ₈ "	5.8	43 ¹ / ₃₂ "	9.5
CR24	-	2.1	-	7"	43 ¹ / ₁₆ "	7.6	20'8 ¹ / ₄ "	7.0	36 ¹ / ₄ "	11.3
CN23	-	2.2	-	10 ¹ / ₄ "	31 ¹ / ₄ "	7.0	17'10 ¹ / ₈ "	6.4	48 ¹³ / ₁₆ "	10.2
CN235	-	2.6	-	10 ¹ / ₄ "	36 ³ / ₃₂ "	8.0	19'6 ¹ / ₈ "	7.4	43 ¹ / ₃₂ "	11.5
CN24	-	3.1	-	10 ¹ / ₄ "	43 ¹ / ₁₆ "	9.6	21'9"	8.8	36 ¹ / ₄ "	13.6
CN25	-	3.9	-	10 ¹ / ₄ "	55 ³ / ₁₆ "	12.4	25'10 ¹ / ₈ "	11.2	24 ⁷ / ₈ "	16.9
CN26	-	4.8	-	10 ¹ / ₄ "	67 ¹ / ₁₆ "	15.0	29'10 ¹ / ₈ "	13.8	12 ¹ / ₂ "	20.3
C23	-	3.0	-	14"	31 ¹ / ₄ "	8.5	19'1 ³ / ₈ "	8.0	48 ¹³ / ₁₆ "	12.0
C235	-	3.5	-	14"	36 ³ / ₃₂ "	9.9	20'8 ⁷ / ₈ "	9.2	43 ¹ / ₃₂ "	13.6
C24	-	4.2	-	14"	43 ¹ / ₁₆ "	11.8	23'1 ¹ / ₈ "	11.2	36 ¹ / ₄ "	16.0
C245	-	4.7	-	14"	48 ¹ / ₈ "	13.2	24'8 ⁷ / ₈ "	12.4	31 ¹ / ₁₆ "	17.6
C25	-	5.4	-	14"	55 ³ / ₁₆ "	15.1	27'1 ¹ / ₈ "	14.2	24 ⁷ / ₈ "	20.0
C255	-	5.9	-	14"	60 ¹ / ₈ "	16.4	28'8 ⁷ / ₈ "	15.4	19 ¹ / ₁₆ "	21.6
C26	-	6.5	-	14"	67 ¹ / ₁₆ "	18.4	31'1 ¹ / ₈ "	17.2	12 ¹ / ₂ "	23.9
CW23*	4.8	4.0	22"	18 ¹ / ₄ "	31 ¹ / ₄ "	10.4	20'6 ¹ / ₈ "	9.8	48 ¹³ / ₁₆ "	14.1
CW235*	5.7	5.0	22 ³ / ₄ "	20"	36 ³ / ₃₂ "	12.0	22'1 ¹ / ₈ "	11.4	43 ¹ / ₃₂ "	16.0
CW24*	6.6	6.0	22"	20"	43 ¹ / ₁₆ "	14.4	24'6 ¹ / ₈ "	13.6	36 ¹ / ₄ "	18.8
CW25*	8.4	7.7	22"	20"	55 ³ / ₁₆ "	18.4	28'6 ¹ / ₈ "	17.4	24 ⁷ / ₈ "	23.5
CW26*	10.3	9.3	22"	20"	67 ¹ / ₁₆ "	21.6	32'6 ¹ / ₈ "	21.2	12 ¹ / ₂ "	28.2
C33	-	3.0	-	14"	31 ¹ / ₄ "	12.9	19'1 ³ / ₈ "	8.0	48 ¹³ / ₁₆ "	17.9
C335	-	3.5	-	14"	36 ³ / ₃₂ "	14.7	20'8 ⁷ / ₈ "	9.2	43 ¹ / ₃₂ "	20.3
C34	-	4.2	-	14"	43 ¹ / ₁₆ "	17.7	23'1 ¹ / ₈ "	11.2	36 ¹ / ₄ "	24.0
C35	-	5.4	-	14"	55 ³ / ₁₆ "	22.8	27'1 ¹ / ₈ "	14.2	24 ⁷ / ₈ "	30.0

Unit No.	Sq. Ft. Clear Opg. Str. Arm	Sq. Ft. Clear Opg. Split Arm	Max. Clear Opg. in Full Open Position			Sq. Ft. Glass	Crack Opg. Lin. Ft. Vent Sash Only	Sq. Ft. Vent.	Top of Subfloor to Top of Inside Sill Stop	Sq. Ft. Overall Unit Area
			Str. Arm Width	Split Arm Width	Height					
CASEMENT PICTURE UNITS - including unobstructed glass sizes shown.										
			Width	Height						
CP303	31 ¹ / ₁₆ "	31 ¹ / ₁₆ "	-	-	-	6.8	-	-	-	9.0
CP305	31 ¹ / ₁₆ "	55 ¹ / ₁₆ "	-	-	-	12.2	-	-	-	14.9
CP3535	36 ¹ / ₈ "	36"	-	-	-	9.0	-	-	-	11.5
CP23	43 ¹ / ₈ "	31 ¹ / ₈ "	-	-	-	9.4	-	-	-	12.0
CP235	43 ¹ / ₈ "	36"	-	-	-	10.9	-	-	-	13.6
CP24	43 ¹ / ₈ "	43 ¹ / ₁₆ "	-	-	-	13.1	-	-	-	16.0
CP245	43 ¹ / ₈ "	48"	-	-	-	15.5	-	-	-	14.5
CP25	43 ¹ / ₈ "	55 ¹ / ₁₆ "	-	-	-	16.7	-	-	-	20.0
CP255	43 ¹ / ₈ "	60"	-	-	-	19.3	-	-	-	18.2
CP26	43 ¹ / ₈ "	67 ¹ / ₁₆ "	-	-	-	20.3	-	-	-	24.0
CP505	55 ¹ / ₂ "	55 ¹ / ₁₆ "	-	-	-	21.1	-	-	-	25.0
CP33	67 ¹ / ₂ "	31 ¹ / ₈ "	-	-	-	14.6	-	-	-	17.9
CP335	67 ¹ / ₂ "	36"	-	-	-	16.9	-	-	-	20.4
CP34	67 ¹ / ₂ "	43 ¹ / ₁₆ "	-	-	-	20.2	-	-	-	24.0
CP35	67 ¹ / ₂ "	55 ¹ / ₁₆ "	-	-	-	24.1	-	-	-	30.0

Note: Floor to sill heights are calculated based upon a structural header height of 6'10¹/₂".

CASEMENT AND AWNING PICTURE WINDOW BASIC UNIT SIZES

UNIT DIM. • 2'-11¹/₈" • 3'-4¹/₂" • 4'-0" • 4'-0" • 4'-11¹/₈"
 RGH. OPG. • 3'-0¹/₂" • 3'-5¹/₂" • 4'-0¹/₂" • 4'-0¹/₂" • 5'-0¹/₂"



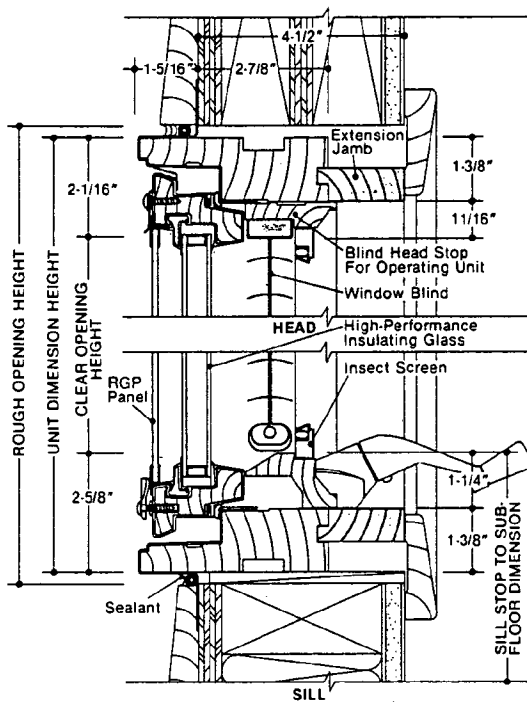
Picture window grille alignment may not coincide with circle top grille pattern when transom joined. Special order picture window grilles to align with CTC2 and CTC3 available. See your supplier.

STATIONARY UNITS
 May be rotated in either direction to align with casement or awning windows.

*CW series units are also available with a 22" clear opening width with straight arm operator. CW135 straight arm operator has 22³/₄" clear opening. Please contact distributor for availability. Maximum Clear Opening Width With Split Arm Operator: CR Series 9¹/₄"; CN Series 12¹/₄"; C Series 15¹/₄"; CW Series 20" (except CW13 and CW12-19¹/₁₆").

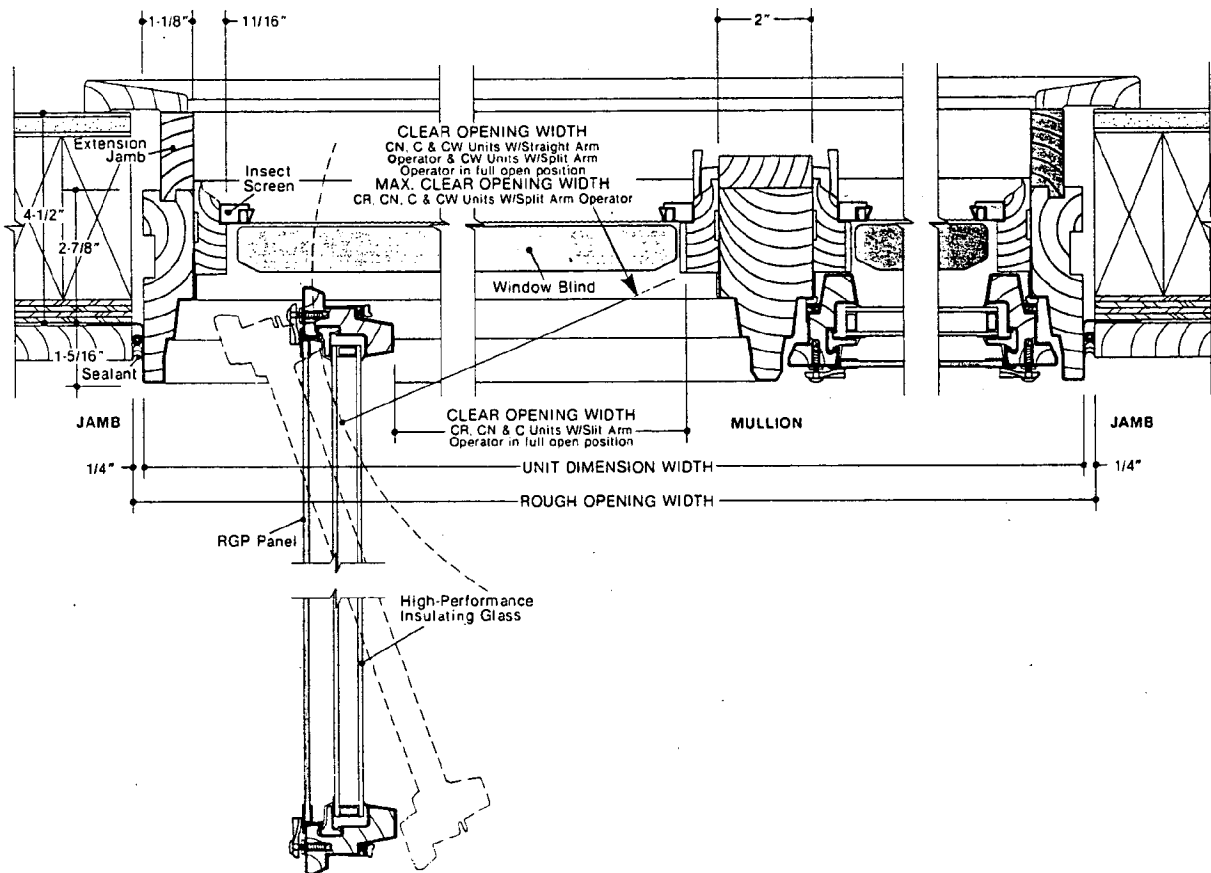
VERTICAL DETAIL

Scale 3" = 1'0"



HORIZONTAL DETAIL

Scale 3" = 1'0"



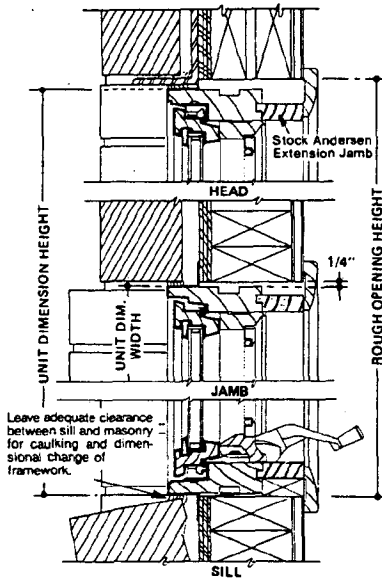
TYPICAL INSTALLATION DETAILS

Casement details shown. Perma-Shield® awning installation is similar.

Scale 1/2" = 1'0"

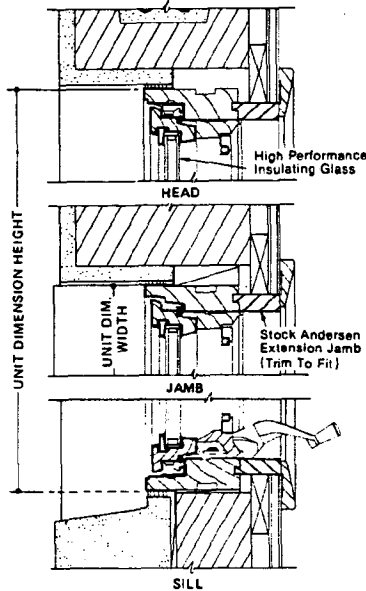
FRAME/BRICK VENEER

Casement unit installed in brick veneer wall construction with 1/2" sheathing and interior wall. Unit secured to wall by nailing through vinyl flanges into sheathing.



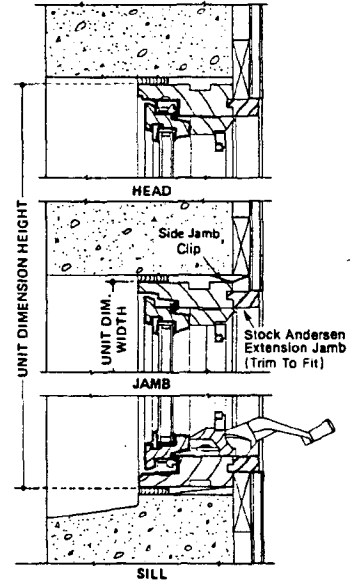
SOLID MASONRY/STUCCO

Casement unit installed in solid 8" masonry wall with 1/2" dry wall on furring strips and stucco exterior.



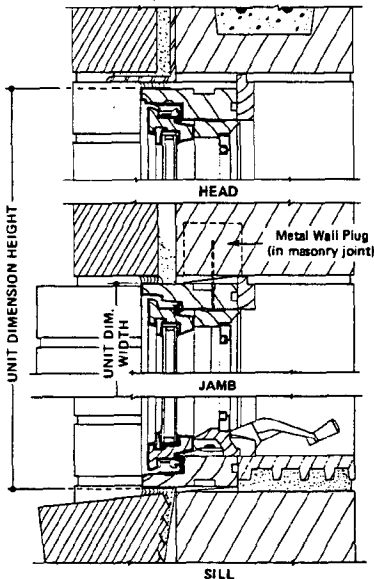
PRE-CAST MASONRY

Casement unit installed in a pre-cast masonry wall with interior wall on furring strips. Metal trim and extension jambs used on interior. Unit secured in opening with side jamb clips nailed to furring strips.



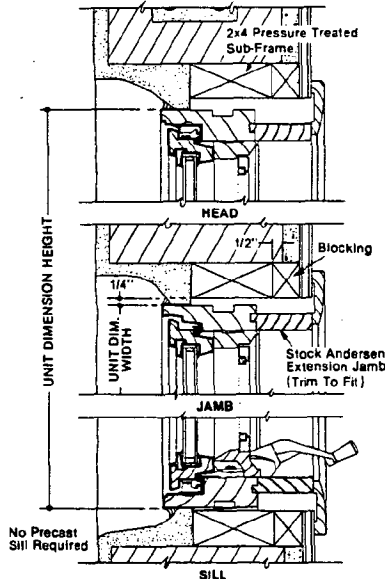
12" MASONRY WALL

Casement unit installed in 12" masonry wall. Unit secured through side jambs into metal wall plugs located in masonry joints.



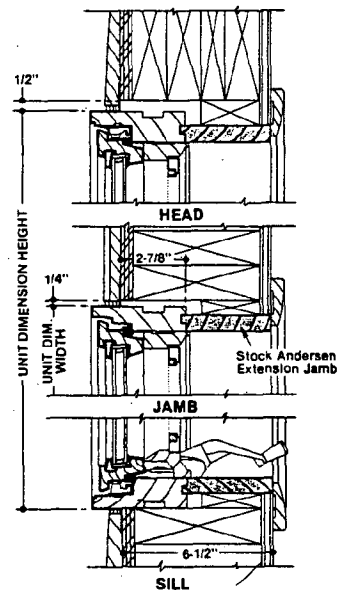
SOLID MASONRY TREATED SUB FRAME

Detail showing casement unit installed in solid masonry with stucco on exterior.



2" x 6" WALL

Detail showing casement unit installed in 2 x 6 stud wall.



CAUTION: In masonry wall construction leave adequate clearance between sill and masonry for caulking and dimensional change of framework.

For more complete installation details refer to Andersen Architectural Detail File or write Andersen Corporation.



PHOTO A-1: Exterior South Elevation



PHOTO A-2: Exterior North Elevation

102 Elm Avenue Takoma Park Maryland



PHOTO A-3: Exterior East Elevation



PHOTO A-4: Exterior West Elevation

102 Elm Avenue Takoma Park Maryland



PHOTO A-1: Exterior South Elevation



PHOTO A-2: Exterior North Elevation

102 Elm Avenue Takoma Park Maryland



PHOTO A-3: Exterior East Elevation



PHOTO A-4: Exterior West Elevation

102 Elm Avenue Takoma Park Maryland