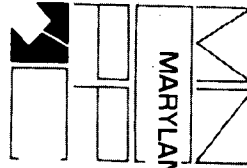


37/3-92D

7200 HOLLY Avenue
Takoma Park H.D.

8787 Georgia Avenue • Silver Spring, Maryland 20910 3760



THE
MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING
COMMISSION
URBAN DESIGN DIVISION

10/14/92

7200 Holly Ave;
be PE

37/3-92D



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 01064303

NAME OF PROPERTY OWNER ANNE KELLEHER RAY TELEPHONE NO. 301-585-8386
(Contract/Purchaser) BOEDELKER (Include Area Code)

ADDRESS 7200 HOLLY AVE TAKOMA PARK, MD 20912
CITY STATE ZIP

CONTRACTOR BERRY CONSTRUCTION TELEPHONE NO. 301-330-9362
CONTRACTOR REGISTRATION NUMBER 18509

PLANS PREPARED BY JEFF LUCK TELEPHONE NO. 202-882-7237
(Include Area Code)

REGISTRATION NUMBER 9100

LOCATION OF BUILDING/PREMISE

House Number 7200 Street HOLLY AVENUE

Town/City TAKOMA PARK, MD Election District 13-04

Nearest Cross Street TULIP AVENUE

Lot 819 Block 12 Subdivision _____

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct Extend/Add Alter/Renovate Repair Wreck/Raze Move Install Revocable Revision

Circle One: A/C Slab Room Addition Porch Deck Fireplace Shed Solar Woodburning Stove
Fence/Wall (complete Section 4) Other

1B. CONSTRUCTION COSTS ESTIMATE \$ 25,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 WSSC 02 Septic
03 Other _____

2B. TYPE OF WATER SUPPLY

01 WSSC 02 Well
03 Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

1. On party line/Property line _____
2. Entirely on land of owner _____
3. On public right of way/easement _____ (Revocable Letter Required)

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Anne Kelleher 9/21/92
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED [Signature] For Chairperson, Historic Preservation Commission

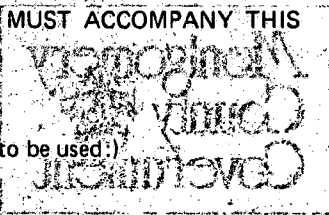
DISAPPROVED _____ Signature [Signature] Date 10-14-92

APPLICATION/PERMIT NO: 9209220061 FILING FEE \$ _____
DATE FILED: _____ PERMIT FEE \$ _____
DATE ISSUED: _____ BALANCE \$ _____
OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used)



HISTORIC AREA WORK PERMIT APPLICATION FOR

NAME OF PROPERTY OWNER, ADDRESS, CONTRACTOR, PLANNED BY, PERMIT NUMBER, LOCATION OF BUILDING PERMITS

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.) PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

TYPE OF PERMIT, MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE HISTORIC PRESERVATION COMMISSION, 51 MONROE STREET, SUITE 1001, ROCKVILLE, MARYLAND 20850

CONSTRUCTION COSTS ESTIMATE, INDICATE NAME OF ELECTRIC UTILITY COMPANY, IS THIS PROPERTY A HISTORIC SITE?, TYPE OF SEWER DISPOSAL, TYPE OF NEW CONSTRUCTION AND EXTENSIONS, PART THREE COMPLETE ONLY FOR FENCE/RETAINING WALL

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with all applicable laws and regulations and account for the interests of the public.

APPROVED, DISAPPROVED, APPLICATION PERMIT NO., DATE FILED, DATE ISSUED, OWNERSHIP CODE, RECEIPT NO., BALANCE, PERMIT FEE, FILING FEE

SEE REVERSE SIDE FOR INSTRUCTIONS

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7200 Holly Avenue Meeting Date: 10/14/92
Resource: Takoma Park Hist. Dist. Review: HAWP/Alt.
Case Number: 37/3-92D Tax Credit: No
Public Notice: 9/30/92 Report Date: 10/7/92
Applicants: A. Kelleher/R. Boedecker Staff: Nancy Witherell

The applicants propose the construction of a one-story-with-clerestory addition at the rear of a bungalow-style house listed as a category 2 resource in the Takoma Park Historic District.

The proposed addition would measure 18'6" x 18'6" and would be clad with wood siding to match the existing siding. The addition would be located directly behind the house. A proposed wooden deck would lead to the rear door in the addition. Andersen (vinyl-clad wood) sash windows would be used in the addition, which is designed to fit under the existing overhanging eave at the rear.

An existing mud room porch would be removed in order to construct the addition.

STAFF RECOMMENDATION

The staff recommends that the Commission find the addition consistent with the design guidelines included in the Master Plan designation of the historic district.

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way;

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

In addition, the staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be

detrimental thereto or to the achievement of the purposes of this chapter;

and with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.



Historic Preservation Commission
51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 01064303
NAME OF PROPERTY OWNER ANNE KELLEHER RAY
(Contract/Purchaser) BOEDECKER
ADDRESS 7200 HOLLY AVE TAKOMA PARK, MD 20912
CONTRACTOR BERRY CONSTRUCTION
PLANS PREPARED BY JEFF LUKER
REGISTRATION NUMBER 9100

LOCATION OF BUILDING/PREMISE
House Number 7200 Street HOLLY AVENUE
Town/City TAKOMA PARK, MD Election District 13-04
Nearest Cross Street TULIP AVENUE
Lot 8/9 Block 12 Subdivision
Liber Folio Parcel

1A. TYPE OF PERMIT ACTION: (circle one)
Construct Extend/Add Alter/Renovate Repair
Wreck/Raze Move Install Revocable Revision
Circle One: A/C Slab Room Addition
Porch Deck Fireplace Shed Solar Woodburning Stove
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1B. CONSTRUCTION COSTS ESTIMATE \$ 25,000
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT #
1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO
1E. IS THIS PROPERTY A HISTORICAL SITE? NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS
2A. TYPE OF SEWAGE DISPOSAL
01 [X] WSSC 02 () Septic
03 () Other
2B. TYPE OF WATER SUPPLY
01 [X] WSSC 02 () Well
03 () Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL
4A. HEIGHT feet inches
4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
1. On party line/Property line
2. Entirely on land of owner
3. On public right of way/easement (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Anne Kelleher 9/21/92 (3)

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

2-story, frame house circa 1929 on residential street where homes are mostly of same or earlier period.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Family room addition to rear of home, not visible from the street; rectilinear shape, siding, trim + color designed to match existing structure.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

18'6" x 18'6" room addition to rear of house, wood siding to match existing, window style and grouping consistent with existing

- b. the relationship of this design to the existing resource(s):

attached to rear of house at kitchen wall - not visible from the street

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

design of new addition is compatible in size, scale and detail with the existing structure

3. Project Plan: N/A

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

N/A

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name PETER HARDIN & KAREN MACPHERSON ✓
 Address 7202 HOLLY AVE
 City/Zip TACOMA PARK, MD 20912
2. Name Peter Kovar + PAULA KOWALCZUK
 Address 7112 HOLLY AVE
 City/Zip TACOMA PARK, MD 20912

3. Name ELIZABETH CURTZ
Address 7309 PINEY BRANCH RD
City/Zip TAKOMA PARK, MD 20912

4. Name LOUISE JUNG & HOWIS MORRIS
Address 7201 HOLLY AVE
City/Zip TAKOMA PARK, MD 20912

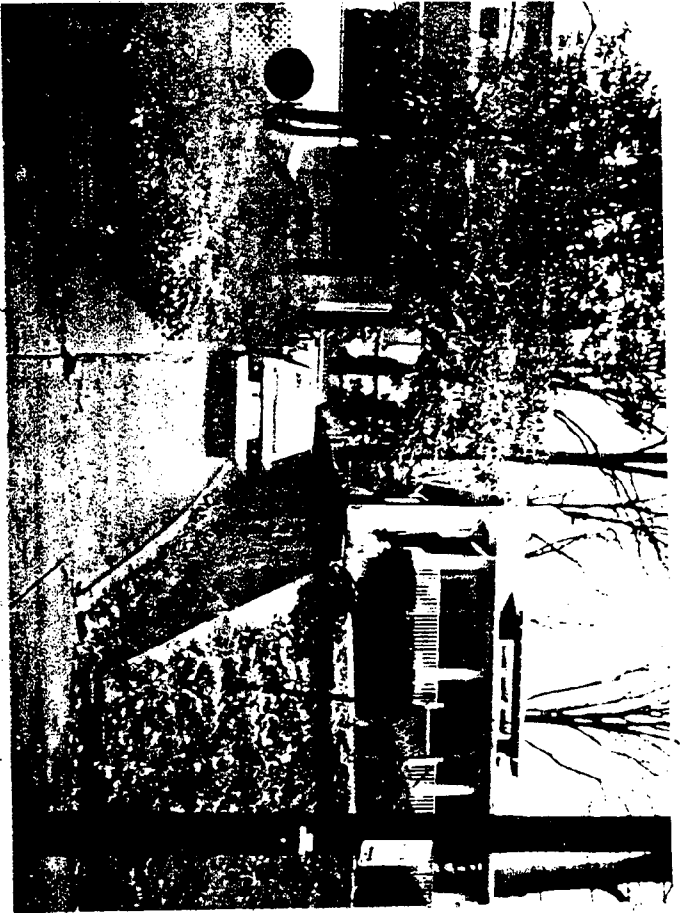
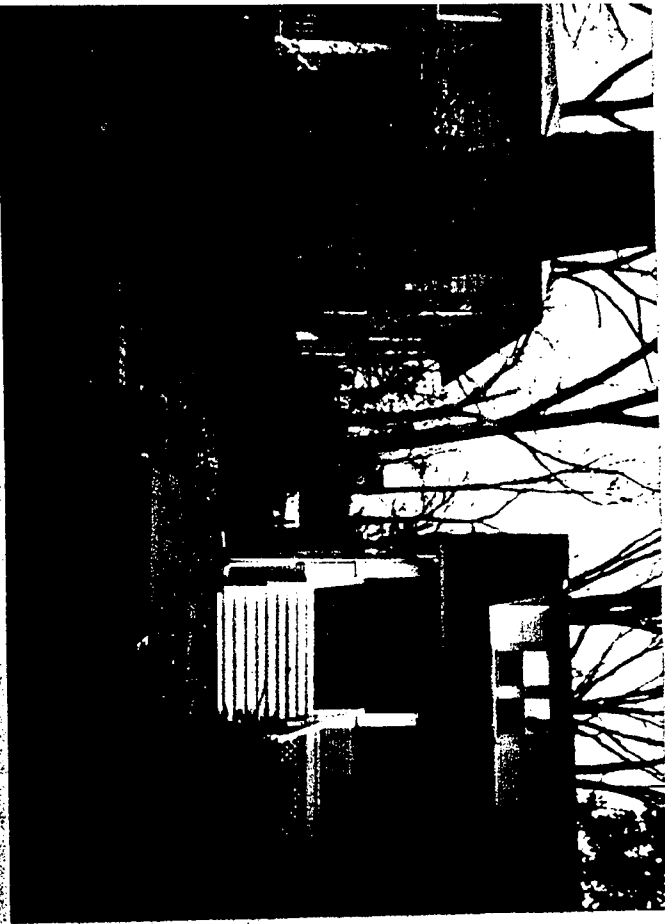
5. Name _____
Address _____
City/Zip _____

6. Name _____
Address _____
City/Zip _____

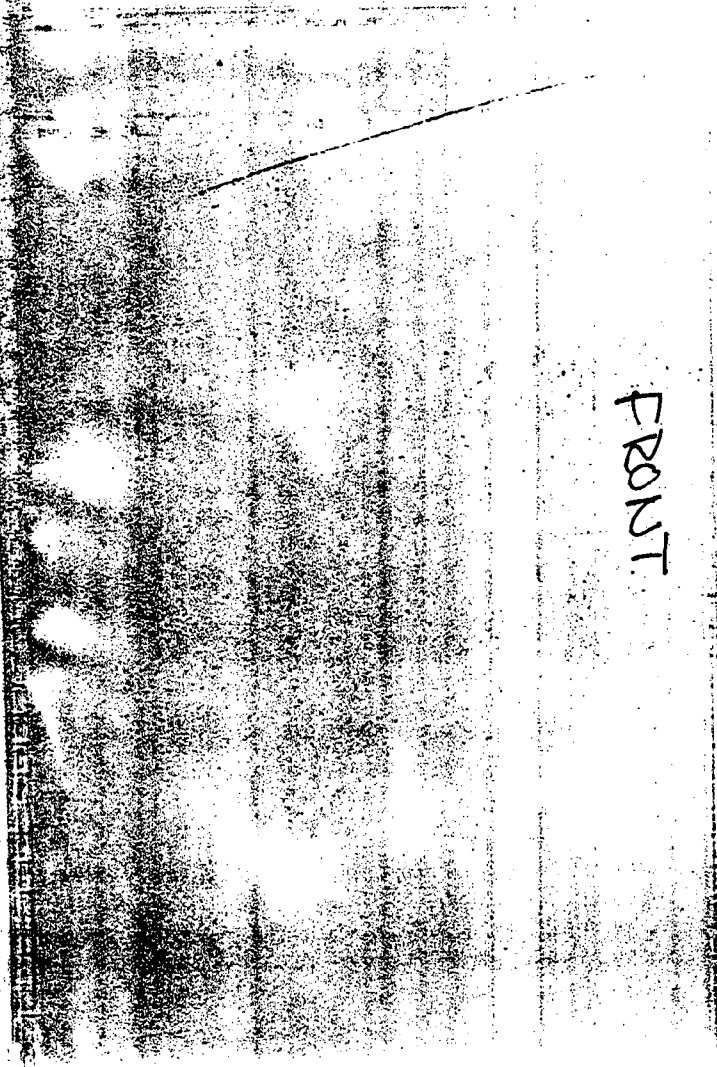
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Address _____
City/Zip _____

8. Name _____
Address _____
City/Zip _____

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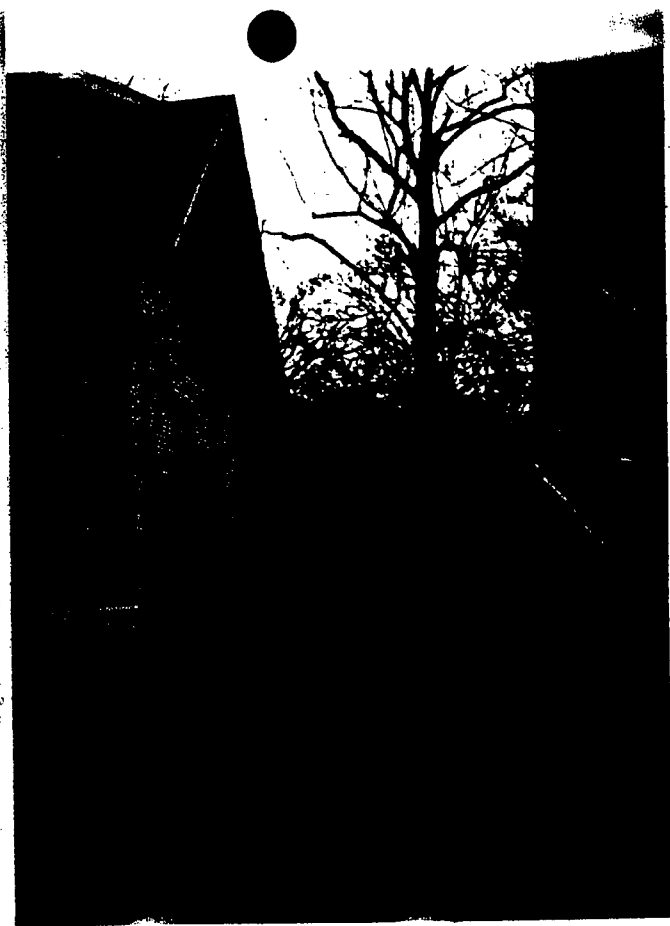
CLIN 75258
25 MAR 1967



FRONT



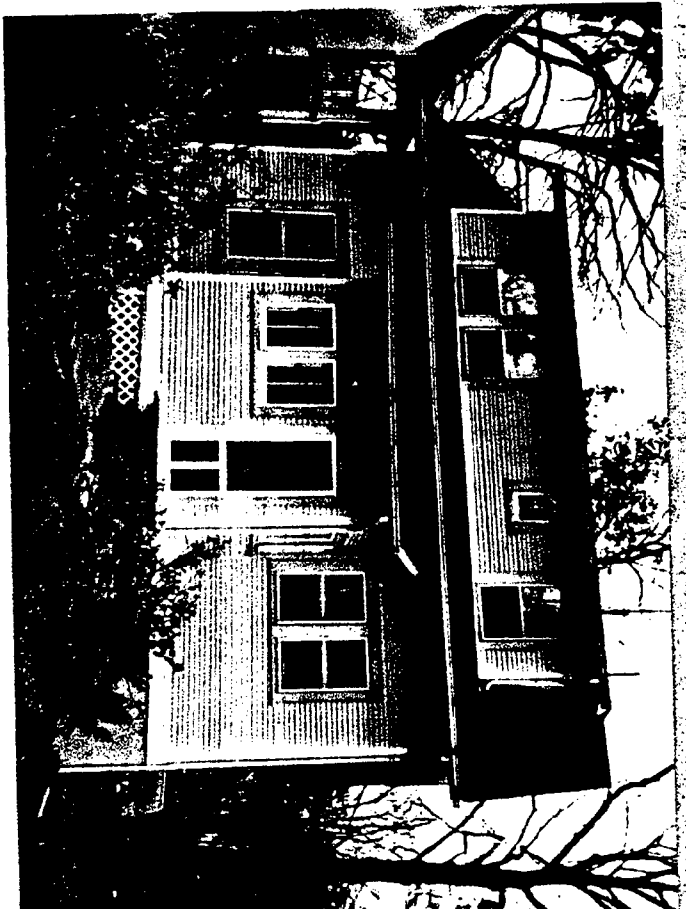
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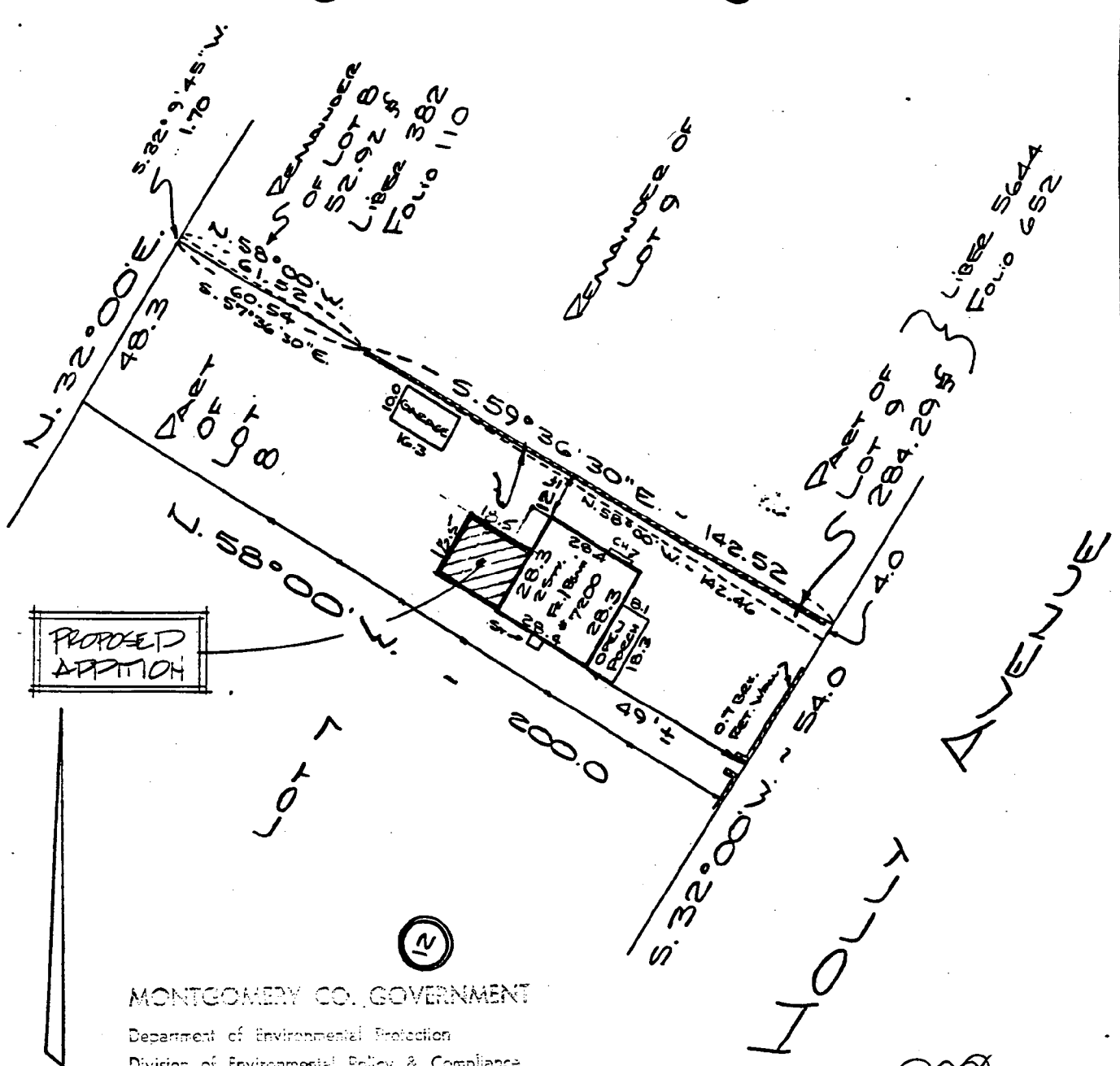


CALLINE 06-22-80
30000 MEALING

PAIR ELEVATION



12



PROPOSED
ADDITION



MONTGOMERY CO. GOVERNMENT

Department of Environmental Protection
Division of Environmental Policy & Compliance

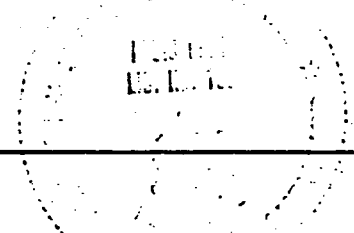
Approved C. McLean Date 9-9-92

Zoning Class R-60 Page 209NW1

Board of Appeals Case _____

1 STM ADDN

[Handwritten signature]



CAPITOL SURVEYS

NOTE: This drawing is not intended to establish property lines nor is the existence of corner markers guaranteed. All information shown hereon taken from the land records of the county or city in which the property is located.

HOUSE LOCATION
PART OF LOTS 8 & 9 BLOCK 12
B.F. GILBERT'S
ADDITION TO TAKOMA PARK
MONTGOMERY COUNTY, MARYLAND
Recorded in Plat Book **A** Plat **3** Scale 1" = 40'

I hereby certify that the position of all of the existing improvements on the above described property have been established by a transit tape measurement and that unless otherwise shown there are no visible encroachments.

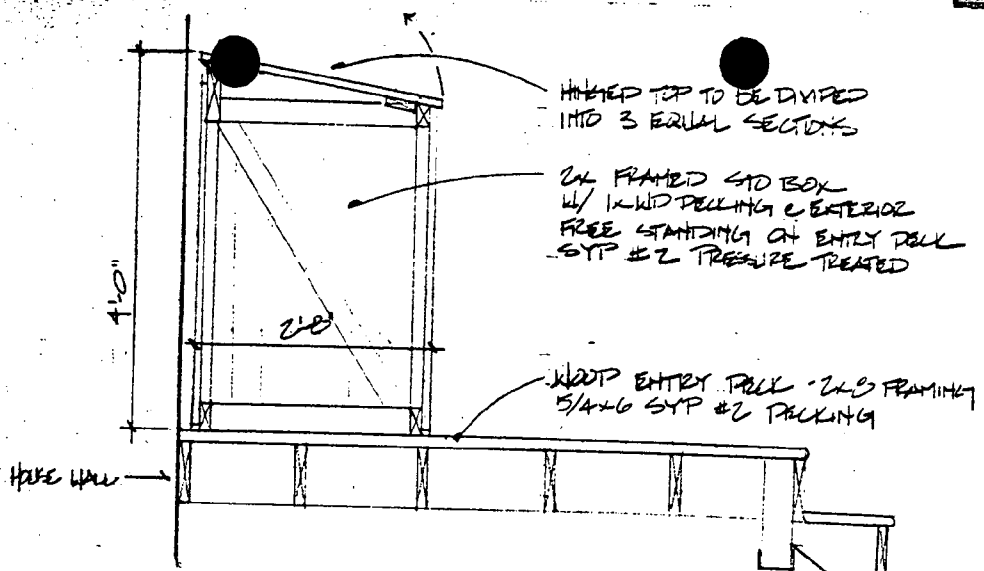
[Handwritten signature]
LOUIS COHEN
Registered Land Surveyor
Maryland No. 1961

DATE: **FEB. 9, 1983**

CASE: **11W-1020**

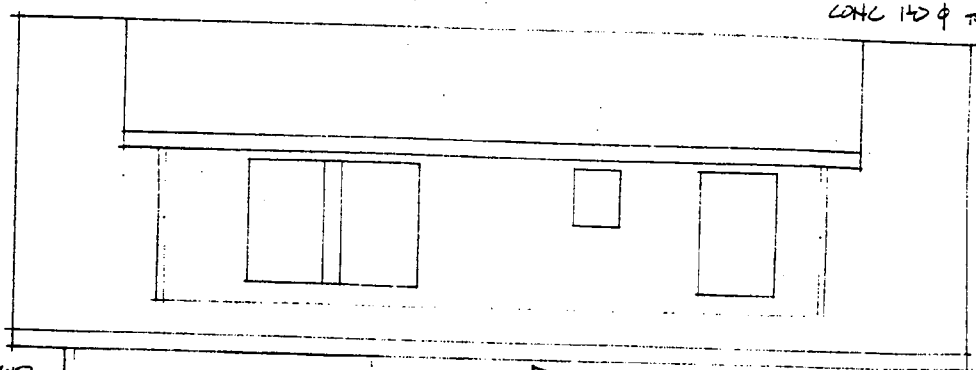
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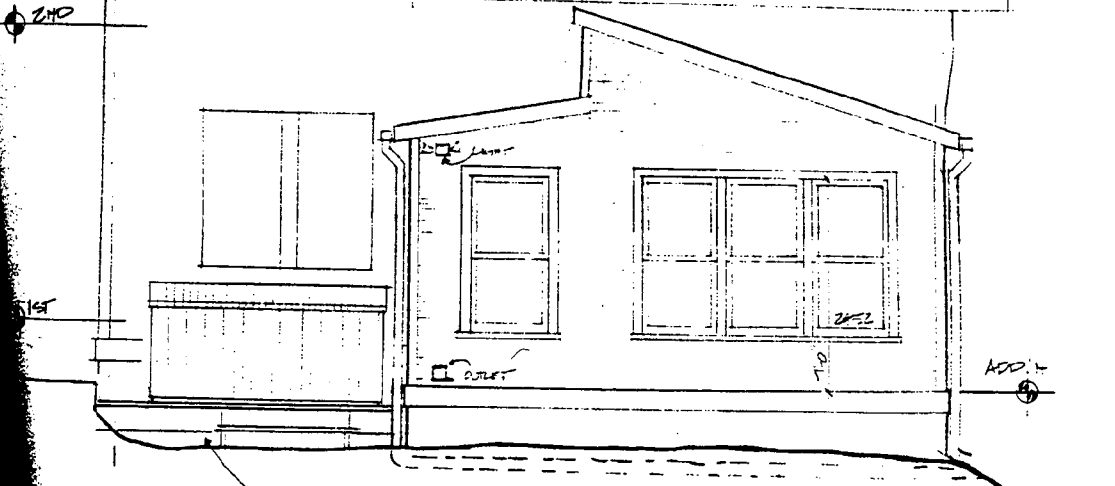


1
3
DETAIL (C) STD BOX & ENTRY DECK
3/4" = 1'-0"

PROVIDE POST FOOTINGS
CONC 14" Ø TO 2x6 BELOW GRADE



NOT
1/4"



PROVIDE PLANT PROOF
FIBER MESH 2' x 4' GRABBER
BELOW DECK

WEST ELEVATION
1/4" = 1'-0"

13

ONS

and which
You must arrange for
se call 738-3040
f you have any

se that the inspection
uests must include
ests are made after
cheduled within 48
that the inspection
se and be visible
e house or structure,
isplayed in large
tions, a set of plans

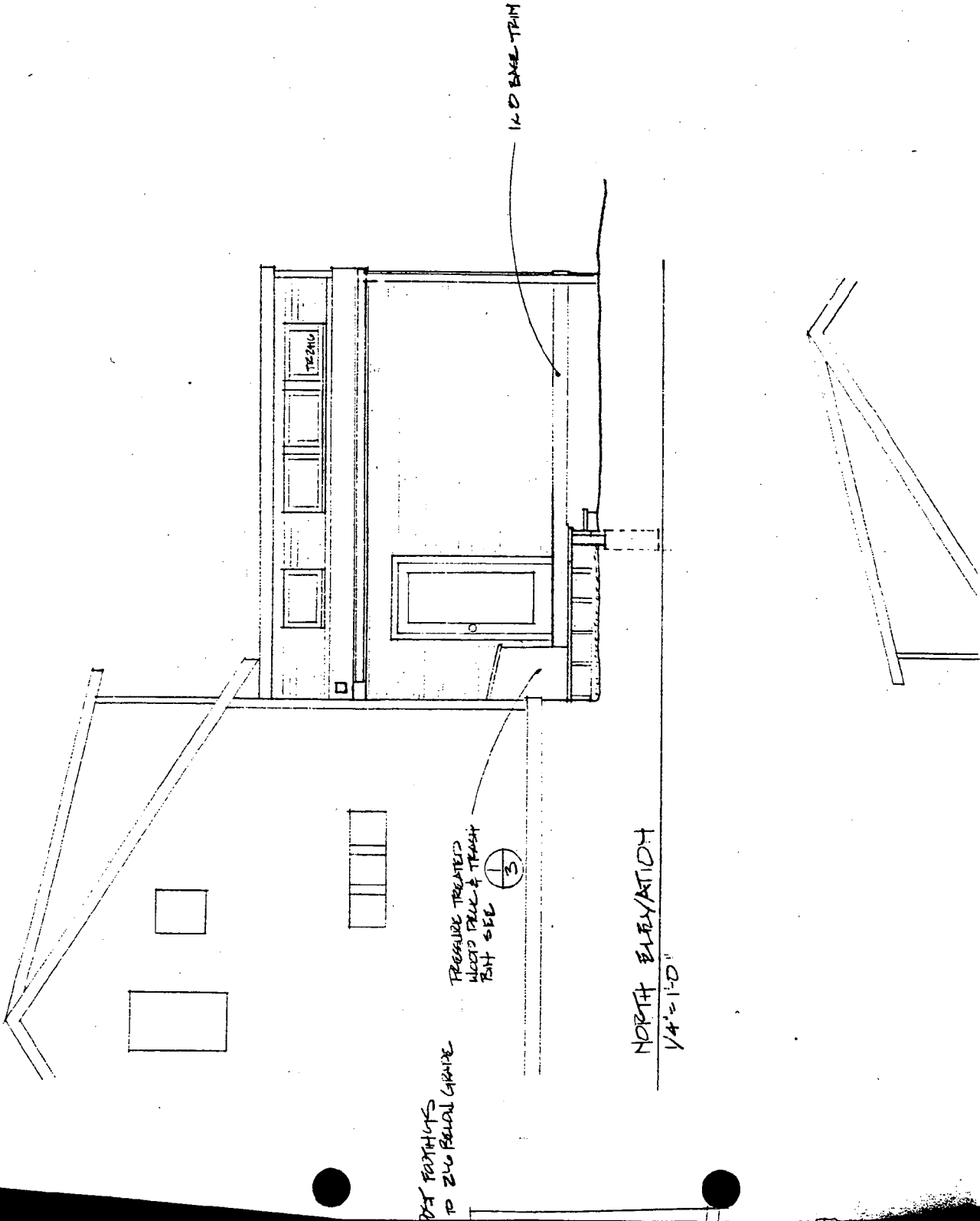
2209110314
e law)

umn/pier footings,
einforcing steel, and
, are installed but

Is have been
for drain tiles
be installed. A
drainage system.

the vapor
inserted 1/2 inch into
k is to be used
of the slab

ction. Owner must
veyor and must
raming
ed by a permit



K-D EXCEL TRIM

PRESSURE TREATED
WOOD PILL & TRIM
BUT SEE 3

NOT FOOTINGS
TO 2x4 BOUND CHAIR

NORTH ELEVATION
1/4" = 1'-0"

ction. Owner must
veyor and must
framing
ed by a permit

14

ment

- 1 - PLANS
- 2 - SECTIONS/DETAILS
- 3 - ELEVATIONS/DETAILS
- 4 - DETAIL SECTION

4. Drawings (4 sheets 18" x 24")

WINDOWS
Air Conditioning Unit
Micro-Lam Beams

MONTGOMERY COUNTY
APPROVED
AS NOTED
PLAN REVIEW SECTION

PROJECT

~~BOBBY KELLER~~

ADDITION

TRONA TRAIL HP

TITLE(S)

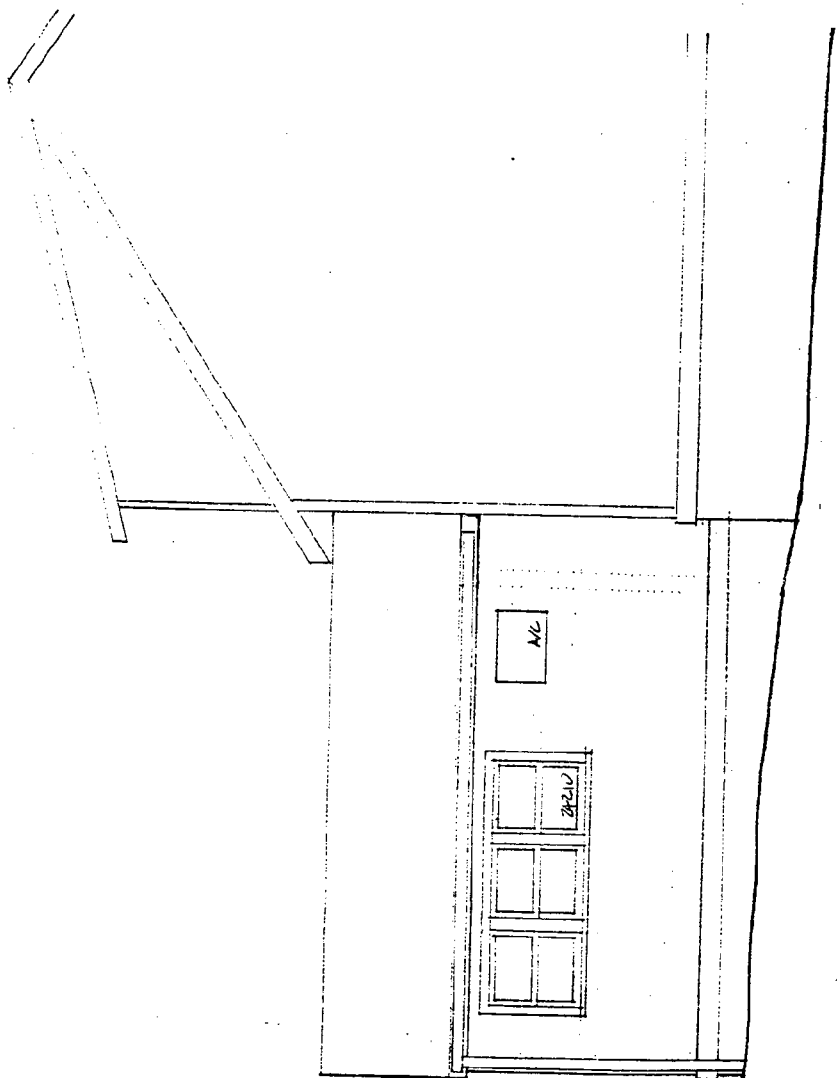
ELEVATIONS

01/19/2011

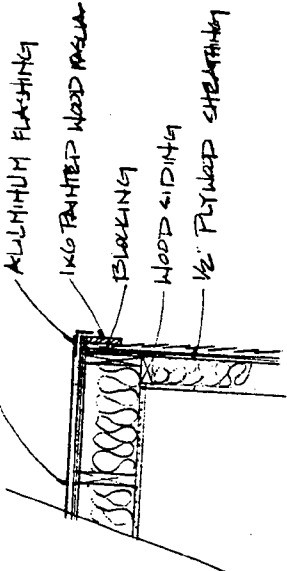
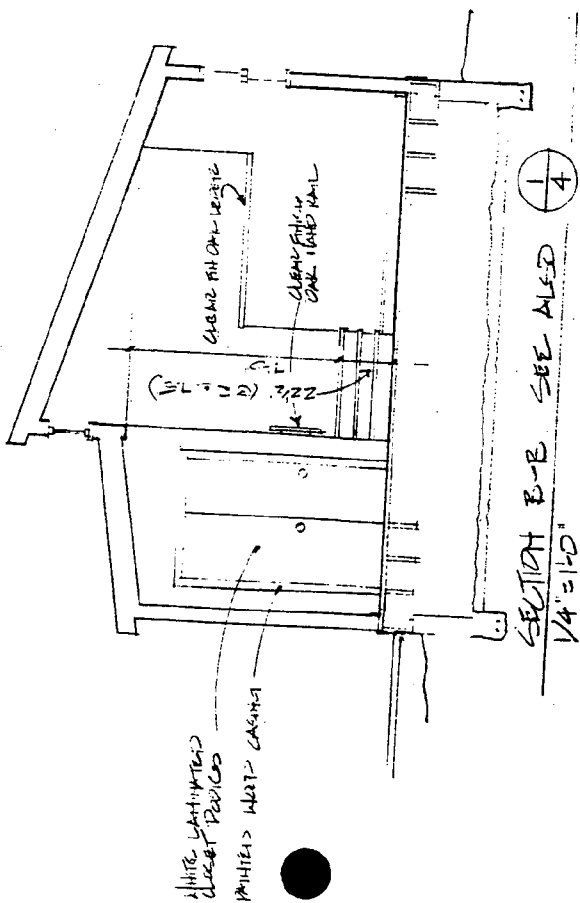
SHEET # 3 OF 4

Jeffrey C. Lisher - Architect
8718 2nd Street NW, Washington, DC, 20012
(202) 882-2237

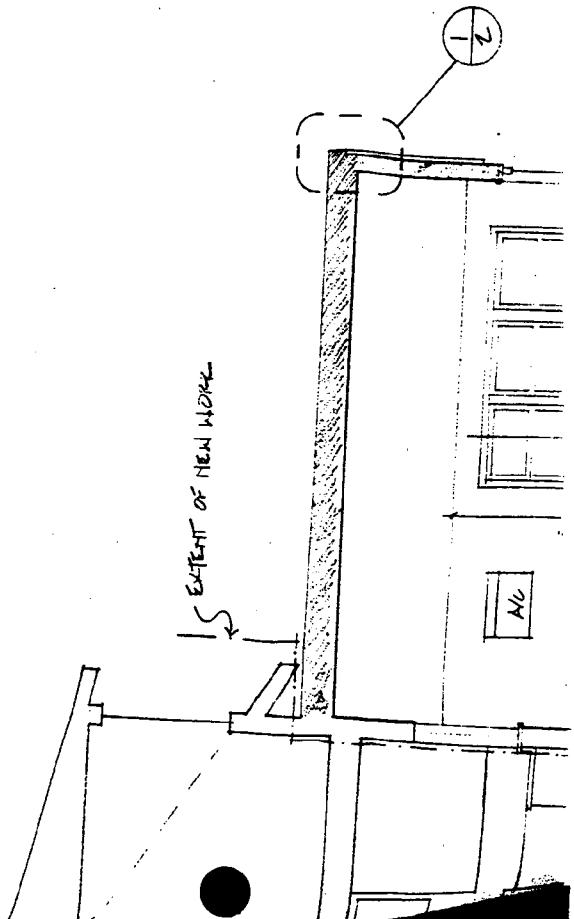
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"



1
2
DETAIL C RAKE
3/4" = 1'-0"



WHITE PAINTED
CLUBSET DEVICES
PAINTED WOOD CASING

SHINGLES ROOFING
ALUMINUM FLASHING
1x6 RAFTER WOOD PANEL
BLOCKING
WOOD SIDING
1/2" PLYWOOD SHEATHING

SECTION B-B SEE ALSO
1/4" = 1'-0"

EXTENT OF NEW WORK

1
2

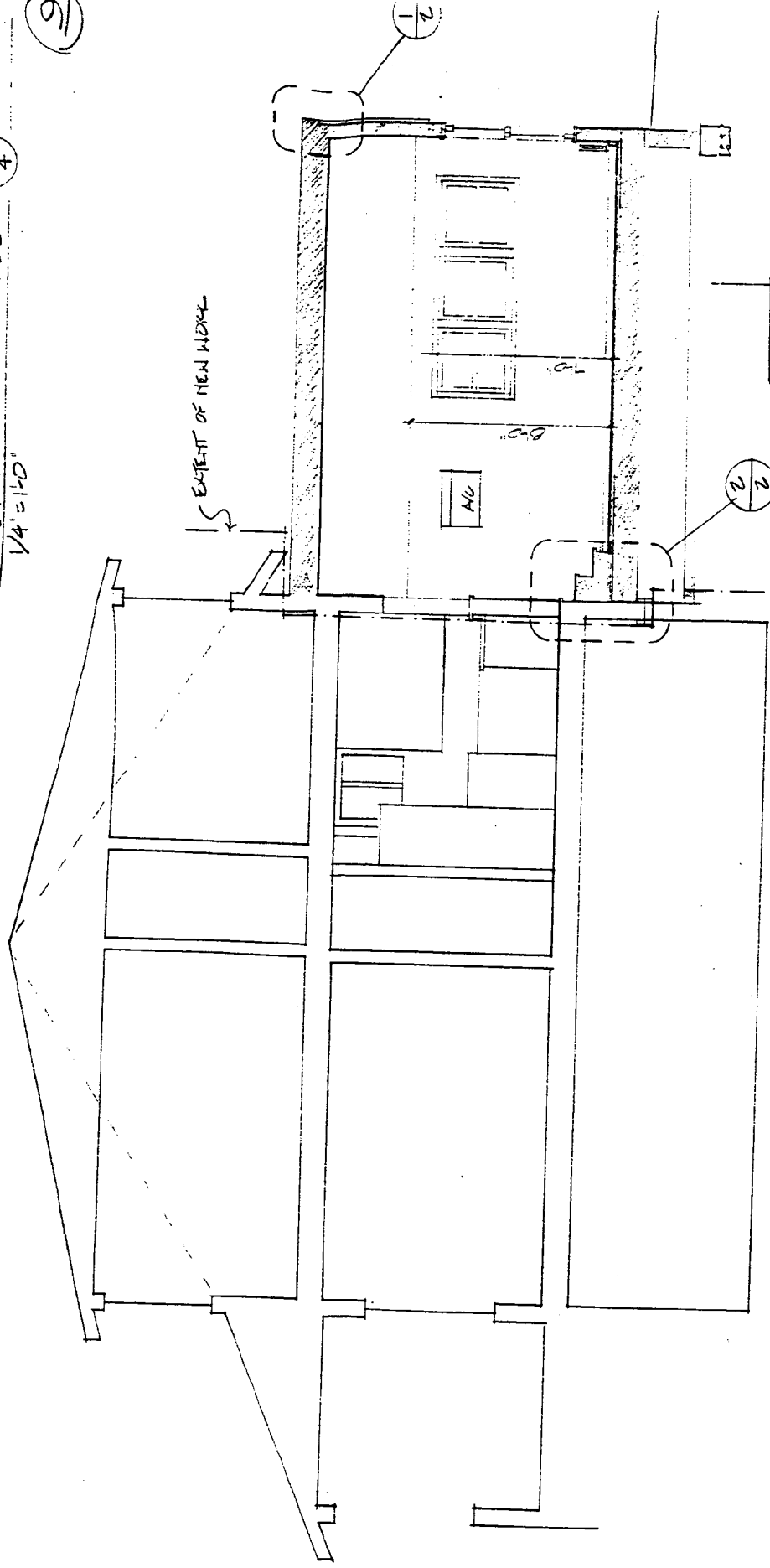
1
2

ALL

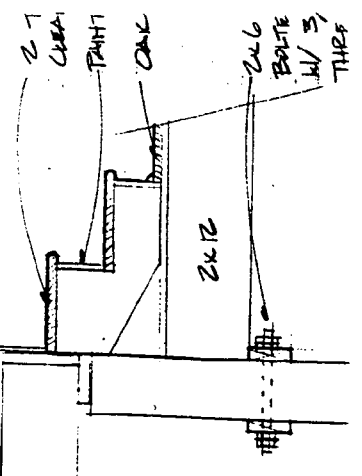
SECTION B-B SEE ALSO
1/4" = 1'-0" (1/4)

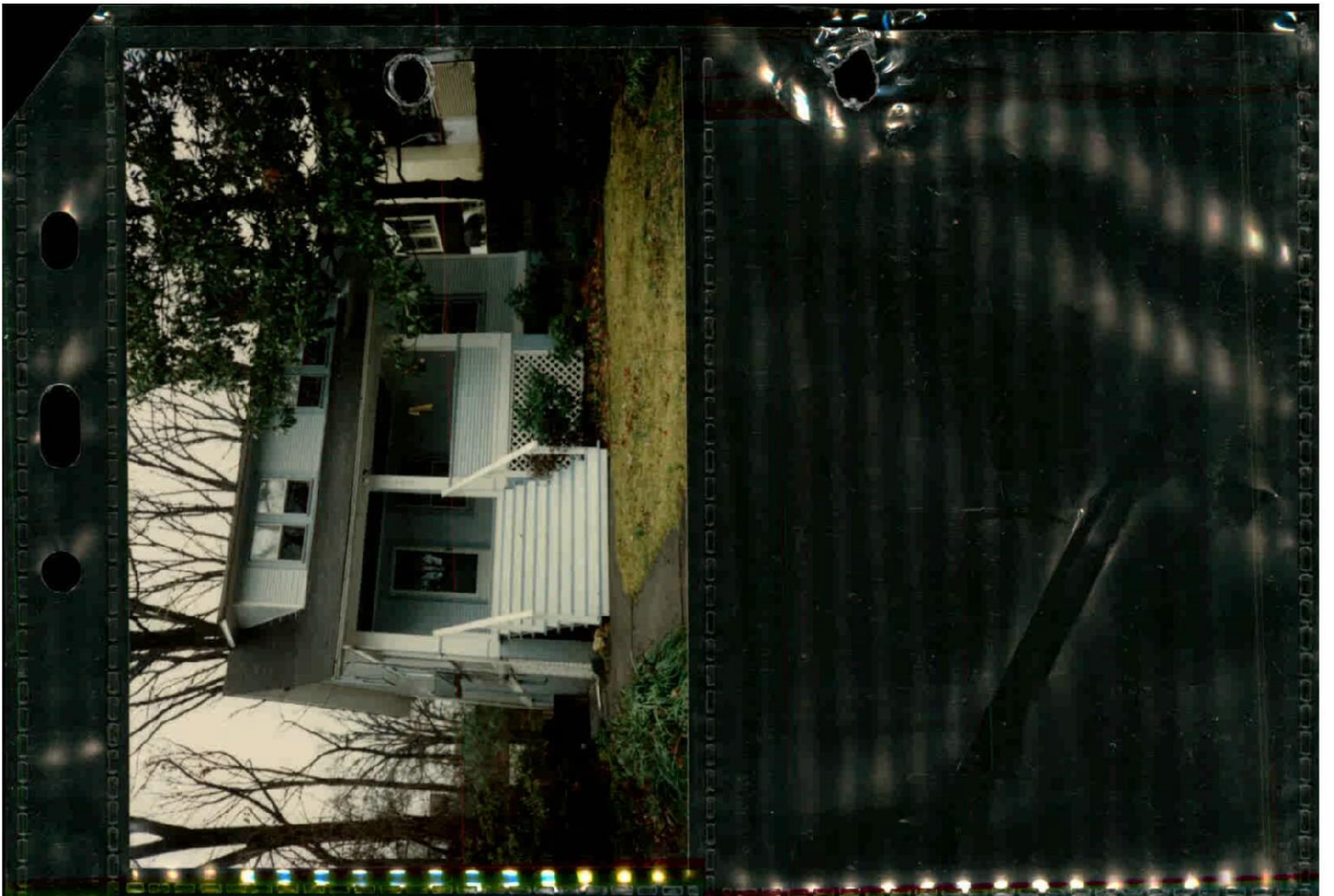
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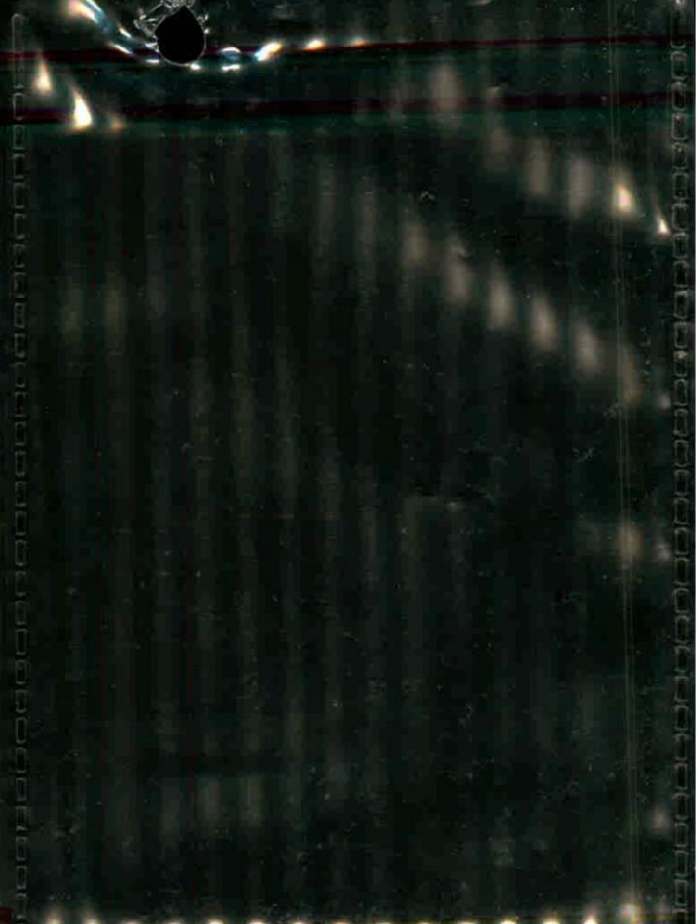
EXTENT OF NEW WORK

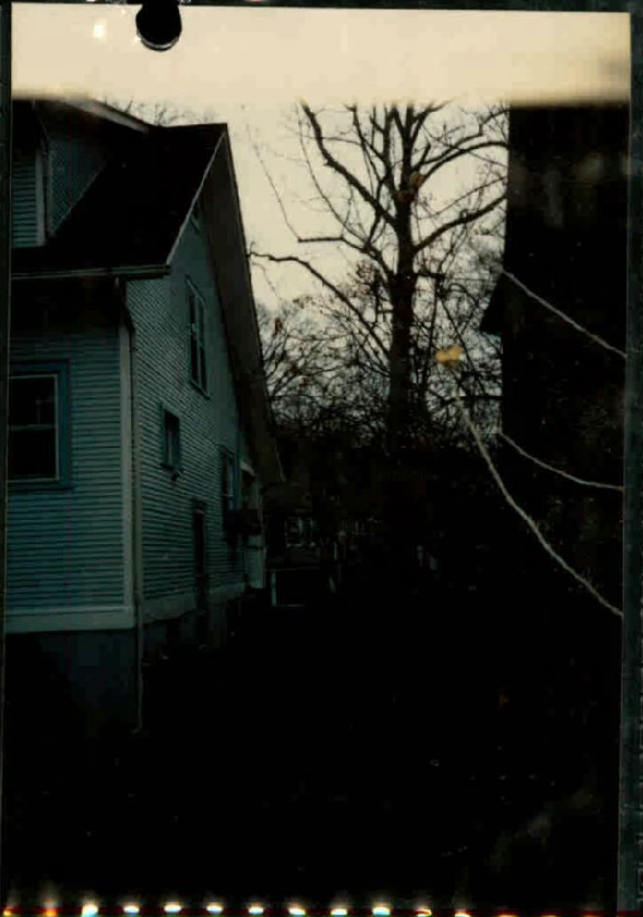


SECTION A-A
1/4" = 1'-0"









1934
SAM PLANTS