

37/3-93C 118 Park Avenue  
Takoma Park Historic District



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

*Do Not Mail Call Tom Johnson 410-796-2773*

TAX ACCOUNT # 1079257

NAME OF PROPERTY OWNER RAYMOND F SCANNY MURIAM SCANNY TELEPHONE NO. (301)-270-8127  
(Contract/Purchaser) (Include Area Code)

ADDRESS 118 PARK AVE TAKOMA PARK CITY TAKOMA PARK STATE MD ZIP 20812

CONTRACTOR THOMAS E JOHNSON TELEPHONE NO. (410)-796-2773

PLANS PREPARED BY STUDIO PARTNERSHIP ARCHITECTS TELEPHONE NO. (301)-276-6990  
(Include Area Code)

REGISTRATION NUMBER 6869

LOCATION OF BUILDING/PREMISE

House Number 118 Street PARK AVE

Town/City TAKOMA PARK Election District 13

Nearest Cross Street \_\_\_\_\_

Lot 9 Block 1 Subdivision 25

Liber 7102 Folio 688 Parcel 000

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	<u>Alter/Renovate</u>	Repair	Circle One: A/C	Slab	Room Addition				
Wreck/Raze	Move	Install	Revocable	Revision	<u>Porch</u>	Deck	Fireplace	Shed	Solar	Woodburning Stove
						Fence/Wall (complete Section 4) Other _____				

1B. CONSTRUCTION COSTS ESTIMATE \$ \$6,500.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY: PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Septic
03 <input type="checkbox"/> Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Well
03 <input type="checkbox"/> Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) \_\_\_\_\_ Date \_\_\_\_\_

APPROVED X For Chairperson, Historic Preservation Commission  
DISAPPROVED \_\_\_\_\_ Signature Albert B Randall Date 4-14-93

APPLICATION/PERMIT NO: 9303230061 FILING FEE: \$ \_\_\_\_\_  
DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_  
DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_  
OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

Blank lines for describing the proposed work, including composition, color, and texture of materials to be used.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:  
HISTORIC PRESERVATION COMMISSION  
100 MARYLAND AVENUE  
ROCKVILLE, MARYLAND 20850

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 118 Park Avenue Meeting Date: 4/14/93  
Resource: Takoma Park Historic District Review: HAWP/Alteration  
Case Number: 37/3-93C Tax Credit: No  
Public Notice: 3/31/93 Report Date: 4/7/93  
Applicant: R. Scannell/M. Szapiro Staff: Nancy Witherell  
PROPOSAL: Replace front porch RECOMMEND: Approve

---

The applicants propose removing and replacing the front porch of a non-contributing structure built since World War II. The new porch would have a more steeply-pitched roof and more elaborate porch posts and ornament. The existing second story front windows would not be affected by the change in the porch roof pitch. The newly installed siding would be cedar clapboard.

STAFF RECOMMENDATION

The staff finds the proposed changes to be compatible with the house, which is not historic, and with the streetscape context.

The staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and with the Takoma Park amendment guidelines.



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

*Do Not Mail Call Tom Johnson 410-796-2773*

TAX ACCOUNT # 1079257

NAME OF PROPERTY OWNER RAYMOND F SLANE TELEPHONE NO. (301)-270-8127  
(Contract/Purchaser) (Include Area Code)

ADDRESS 118 PARK AVE TAKOMA PARK STATE MD ZIP 20912  
CITY

CONTRACTOR THOMAS E JOHNSON TELEPHONE NO. (410)-796-2773

CONTRACTOR REGISTRATION NUMBER 19713

PLANS PREPARED BY STUDIO PARTNERSHIP ARCHITECTS TELEPHONE NO. (301)-270-0990  
(Include Area Code)

REGISTRATION NUMBER 6869

### LOCATION OF BUILDING/PREMISE

House Number 118 Street PARK AVE

Town/City TAKOMA PARK Election District 13

Nearest Cross Street \_\_\_\_\_

Lot 9 Block 1 Subdivision 25

Liber 7102 Folio 688 Parcel 000

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	<u>Alter/Renovate</u>	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revision	<u>Porch</u>	Deck	Fireplace
		Revocable		Fence/Wall (complete Section 4)	Shed	Solar
						Woodburning Stove
						Other _____

1B. CONSTRUCTION COSTS ESTIMATE \$ \$6,500.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Septic
03 <input type="checkbox"/> Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 <input type="checkbox"/> Well
03 <input type="checkbox"/> Other _____	

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT  
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

2- STORY SINGLE FAMILY HOME  
IN HISTORICAL DISTRICT, WITHOUT HISTORICAL  
FEATURES

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

TOTAL REPLACEMENT OF DETERIORATED  
FRONT PORCH, NO HISTORIC IMPACT IN RESOURCE  
OR HISTORICAL DISTRICT

03-23-61

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

NEW MORE ATTRACTIVE FACADE ADDING  
TO THE APPEARANCE OF HIM  
MATERIAL LIST ENCLOSED

- b. the relationship of this design to the existing resource(s):

I IMPROVES THE APPEARANCE OF PROPERTY  
ADDING ARCHITECTURAL DETAILS CONSISTENT WITH  
THE HISTORICAL STRUCTURES OF TAKOMA PARK

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

THOUGH PROPERTY IS IN HISTORIC DISTRICT  
THE BUILDING IS OF NO HISTORIC VALUE. THE  
PORCH CONSTRUCTION IS TO REPLACE A BADLY DETERIORATED  
PORCH WITH A NEW ATTRACTIVELY DESIGNED PORCH

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. **Design Features:** Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. **Facades:** Elevation drawings, drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. **Materials Specifications:** General description of materials and manufactured items proposed for incorporation in the work of the project.
8. **Photos of Resources:** Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. **Photos of Context:** Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. **Addresses of Adjacent Property Owners.** For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name CHARLES A. BEATRICE MASON ✓  
 Address 120 PARK AVE  
 City/Zip TAKOMA PARK, MD. 20912
2. Name SAINOURI HENRI  
 Address 116 PARK AVE  
 City/Zip TAKOMA PARK, MD 20912



3. Name BILL & TRACY STRICKLAND  
Address 212 SPRUCE AVE  
City/Zip TAKOMA PARK MD 20712

4. Name STANLEY B. COE CONSULTOR  
Address 7215 PINE AVE  
City/Zip TAKOMA PARK MD 20712

5. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

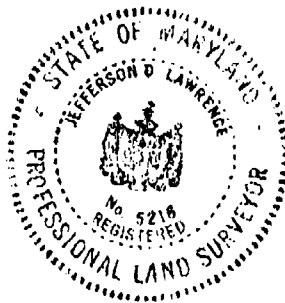
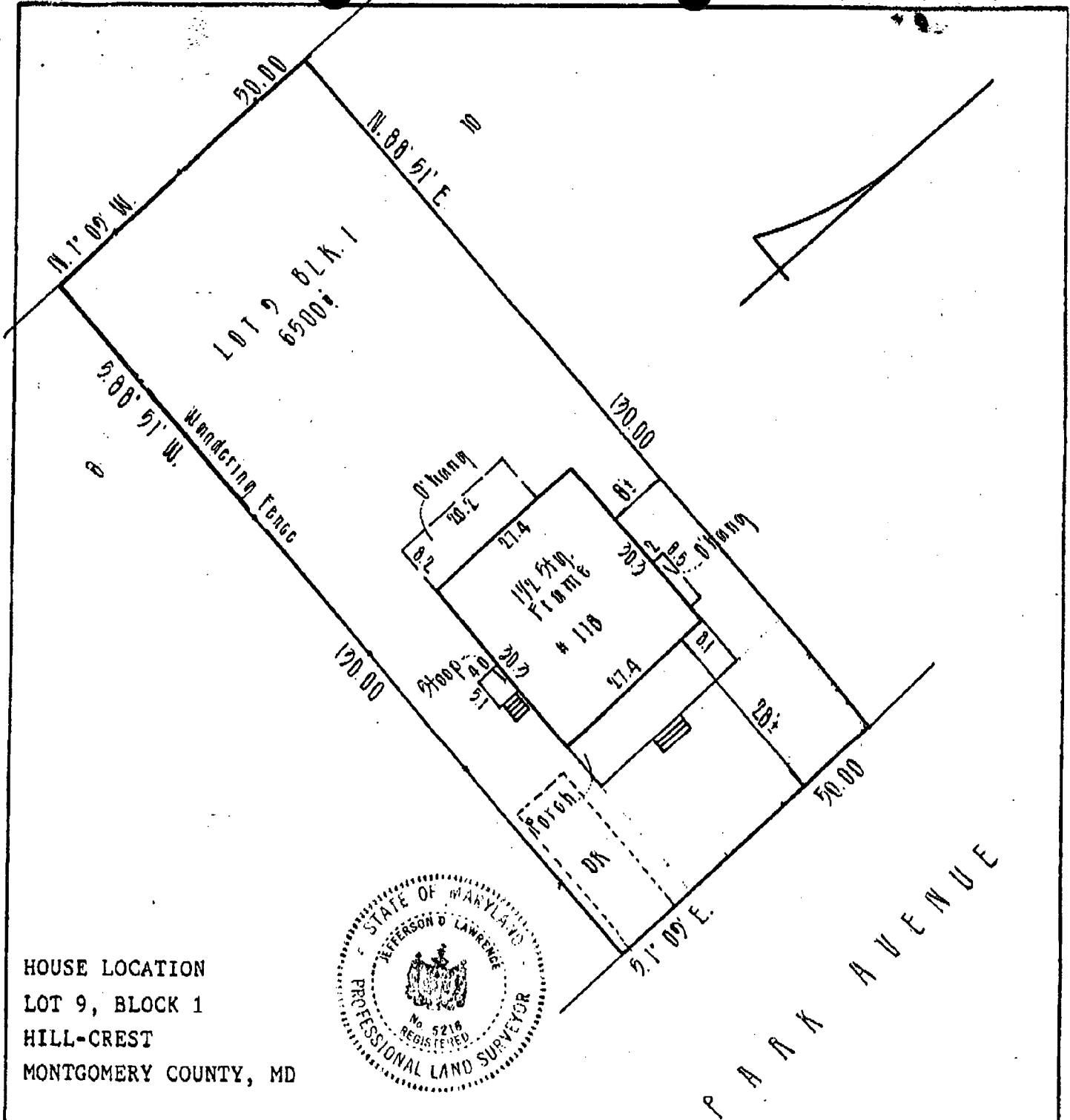
6. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

7. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

8. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

1757E

NOTE: This survey for title purposes not to be used for determining property lines. Property corner markers not guaranteed by this survey.



HOUSE LOCATION  
 LOT 9, BLOCK 1  
 HILL-CREST  
 MONTGOMERY COUNTY, MD

Note: Not in Flood Plain per Existing Records

<b>SURVEYOR'S CERTIFICATE</b> I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY.  <i>Jefferson D. Lawrence</i> JEFFERSON D. LAWRENCE REGISTERED LAND SURVEYOR MARYLAND # 5216	<b>REFERENCES</b> PLAT BK. 2 PLAT NO. 140	<b>ANDJON ASSOCIATES</b> 7 Brookes Avenue Gaithersburg, Maryland 20877 (301) 640-9010	
	<b>LIBER</b>  <b>FOLIO</b>	DATE OF SURVEYS WALL CHECK: HSE. LOC.: 11-14-92 BOUNDARY:	SCALE: 1" = 20' DRAWN BY: JOB NO.: 244592





# Montgomery County Government

## TIME LIMITS FOR BUILDING APPLICATIONS

Section 8-24(i) of the Montgomery Code entitled Time Limitation of Application states:

"An application for any proposed work shall be deemed to have been abandoned six (6) months after date of filing, unless such application has been diligently prosecuted or a permit shall have been issued; except, that for reasonable cause, the director may grant one (1) or more extensions of time for additional periods not exceeding ninety (90) days each."

It is the responsibility of the applicant to request an extension in a timely fashion. The extension request must be in writing. The fee is \$10.00.

If there is no activity (approval by one of the reviewing agencies or request for extension) within a six month period, the application will automatically become void.

A notice of cancellation will be mailed and the plans will be held for 30 calendar days from date of notice. Plans not picked up within the 30 days will be destroyed.

ACKNOWLEDGED: *Jim A. Clark*

Ref. No(s): 03-22-78 Date: March 22, 1993

*03-22-84*

TS/jh  
5506c

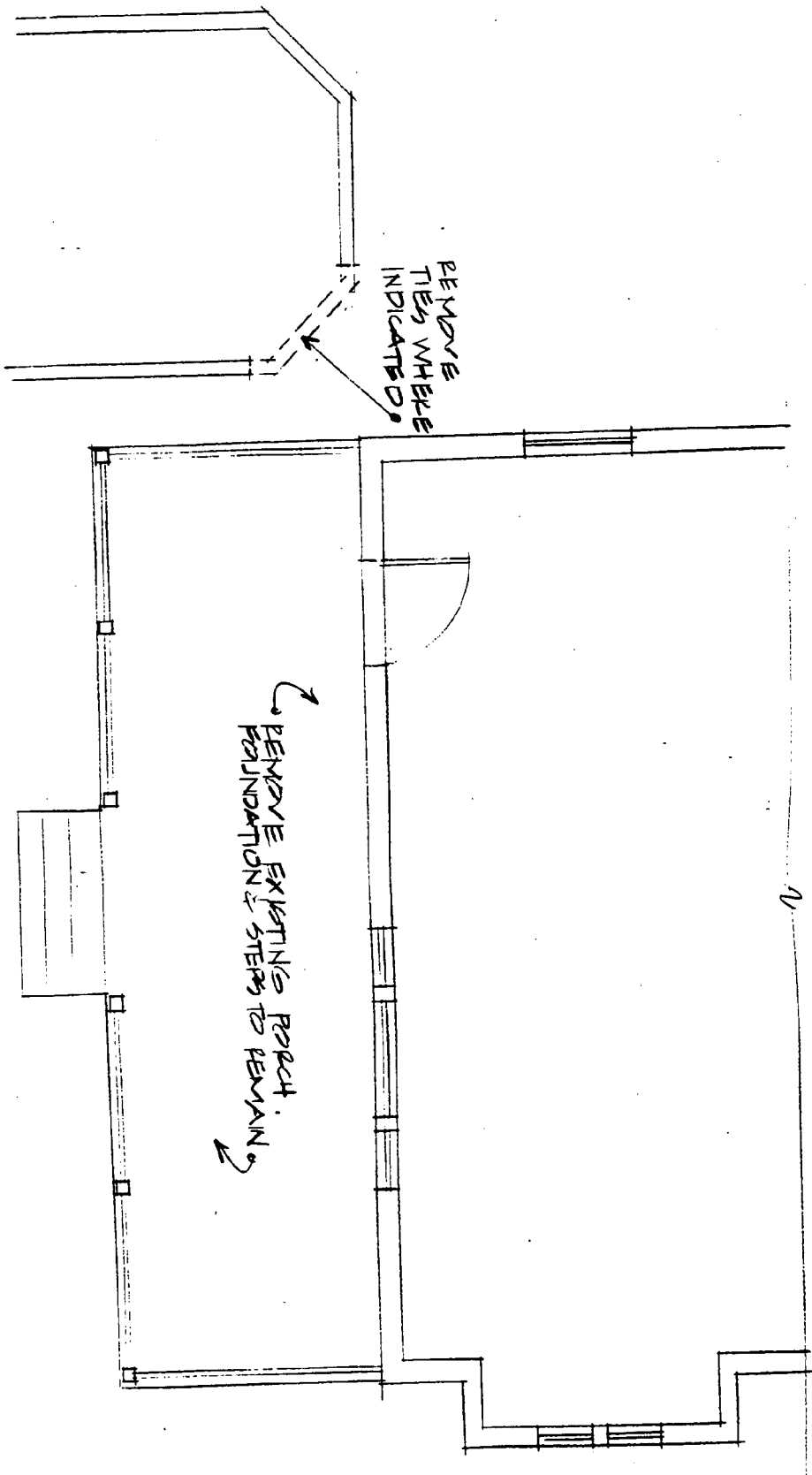
# SCANNELL / SZAPIRO

## MATERIAL SPECIFICATIONS

- ① NEW  $\frac{1}{2}$ " x 8" ANCHOR BOLTS INSTALLED IN EXISTING FOUNDATION 4'0" O.C.
- ② BANDS & JOISTS 2" x 8" PRESSURE TREATED
- ③ SILL PLATE 2" x 8" PRESSURE TREATED
- ④ 1 x 4 C & BETTER FIR T&G DECKING
- ⑤ POSTS CONSTRUCTED OF 3 - 2x6 WRAPPED IN CLEAR 1x MATERIAL GLUED & SCREWED
- ⑥ BEAM CONSTRUCTED OF TRIPLE 2x12 YELLOW PINE
- ⑦ CEILING JOIST 2x6 SPF
- ⑧ RAFTERS 2x8 SPF
- ⑨ ROOF SHEATHED  $\frac{1}{2}$ " CDX
- ⑩ 25 YR WARRANTY ASPHALT SHINGLES OVER 15 lb. FELT
- ⑪ ALL FASIAS & RAKES WRAPPED IN CLEAR WHITE PINE
- ⑫ CEILING COVERED IN C & BETTER FIR 1x4 V-GROOVE T&G (FRONT AREA)
- ⑬ VAULTED CEILING COVERED IN MDO BOARD
- ⑭ SIDING TO BE  $\frac{1}{2}$ " x 6" GRADE B BEVELED SIDING 4"  $\phi$
- ⑮ BALUSTERS  $1\frac{1}{2}$ " CLEAR FIR
- ⑯ TOP & BOTTOM RAILS 2x4 CLEAR FIR
- ⑰ ALL TRIM TO BE CLEAR WHITE PINE
- ⑱ LATTICE 1" FIR LATH 1" SPACING

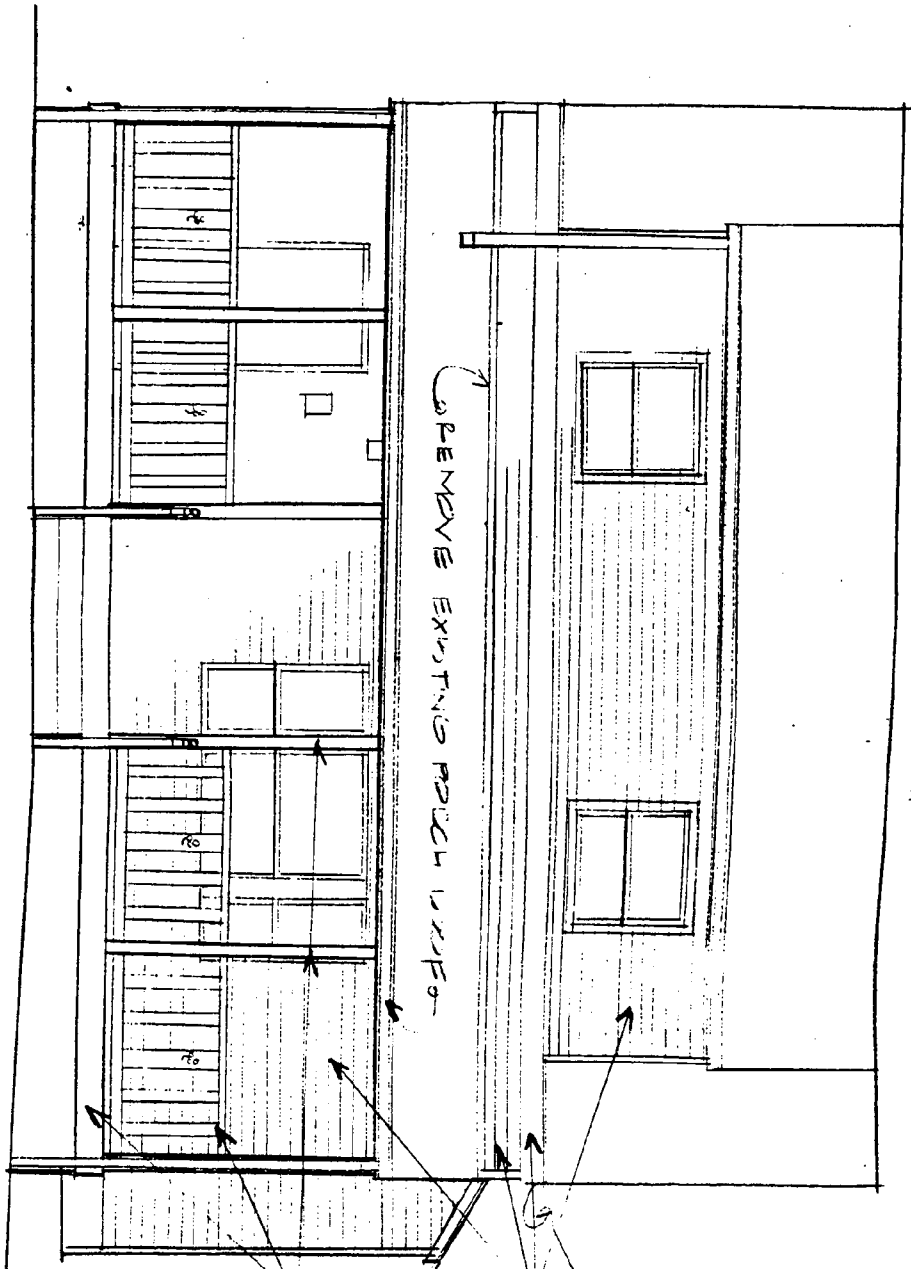
9303230061

⑩



PLAN

FOUNDATION PLAN

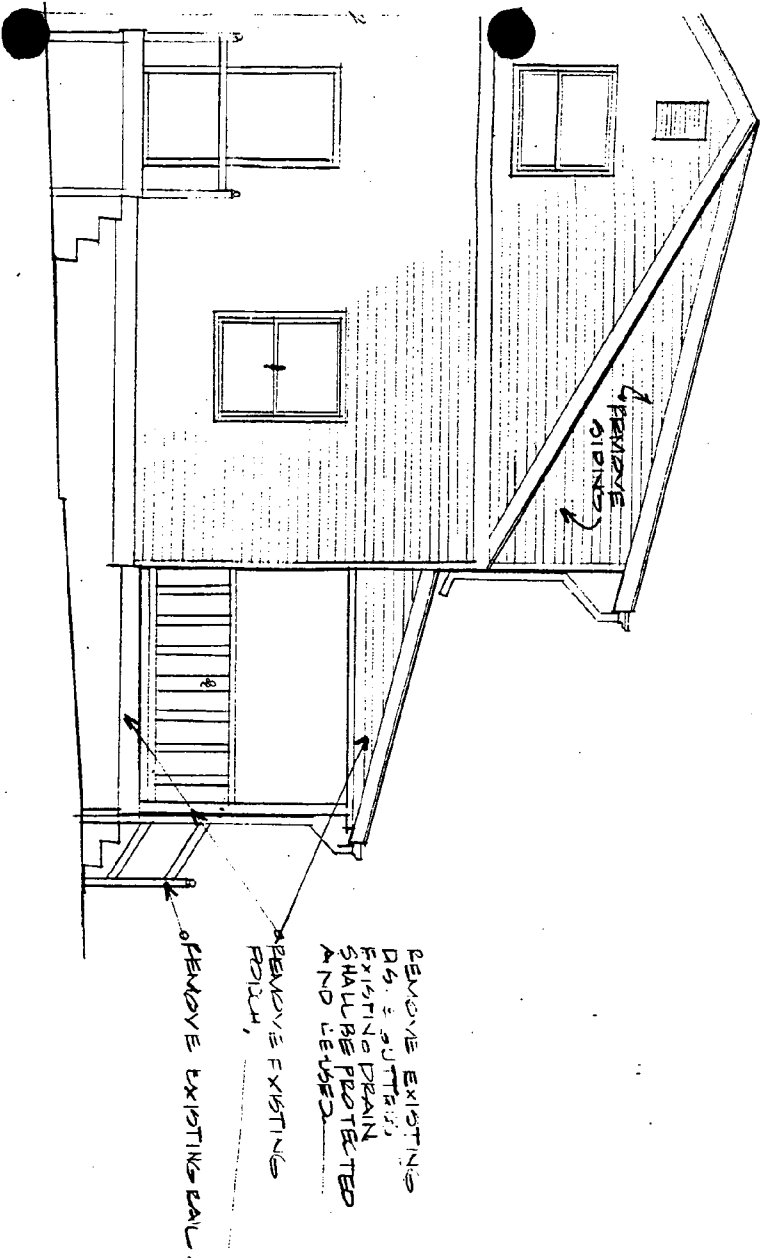


REMOVE EXISTING ROUGH WORK

REMOVE EXISTING SIDING & ROOFING, EXISTING WINDOWS TO REMAIN

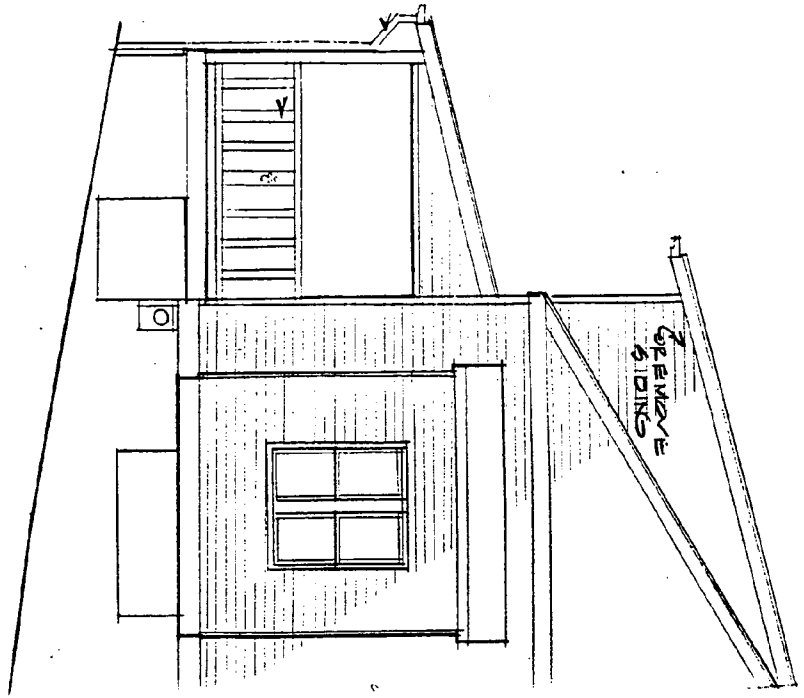
REMOVE EXISTING ROUGH WORK, DECK JOISTS, Etc.

NOTE: EXISTING FOUNDATION WALL SHALL REMAIN, STEPS SHALL BE MAINTAINED



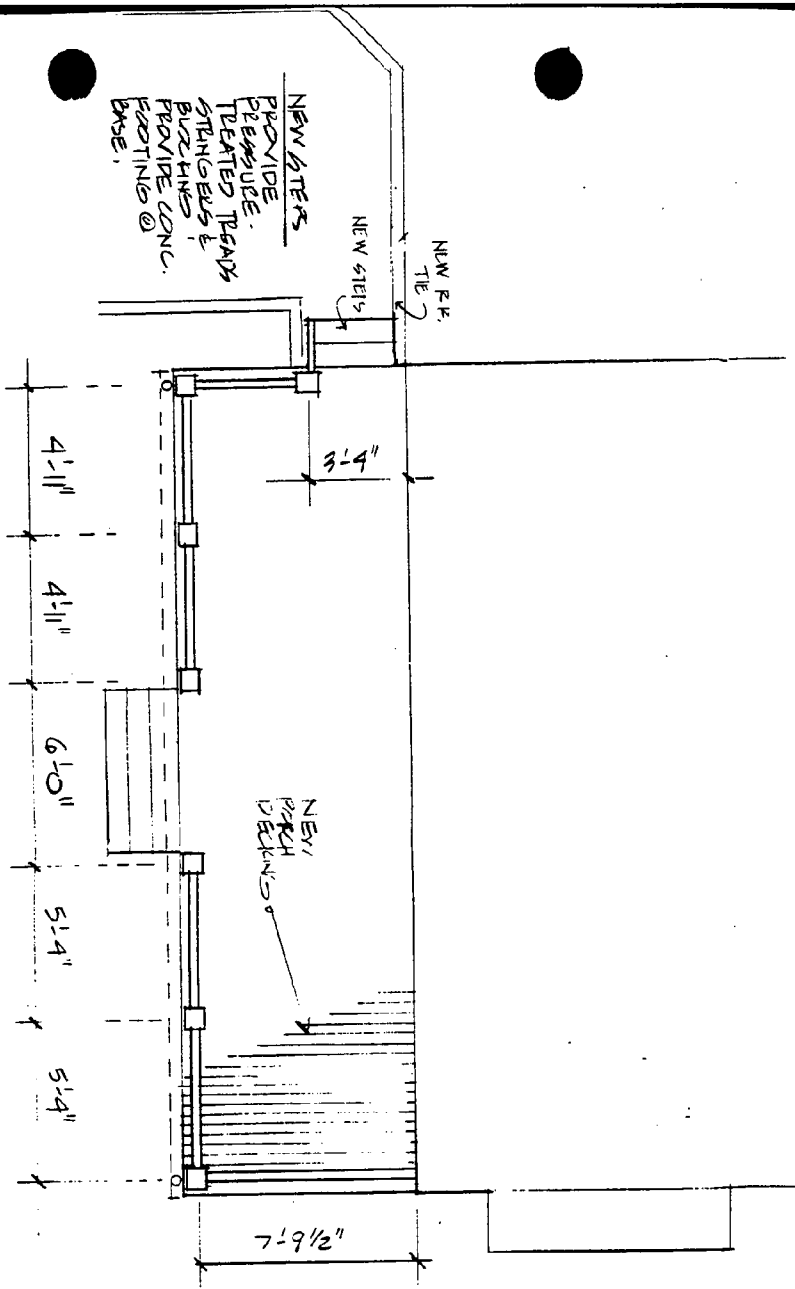
SIDE (SOUTH) ELEV

9303230061



SIDE (NORTH) ELEV



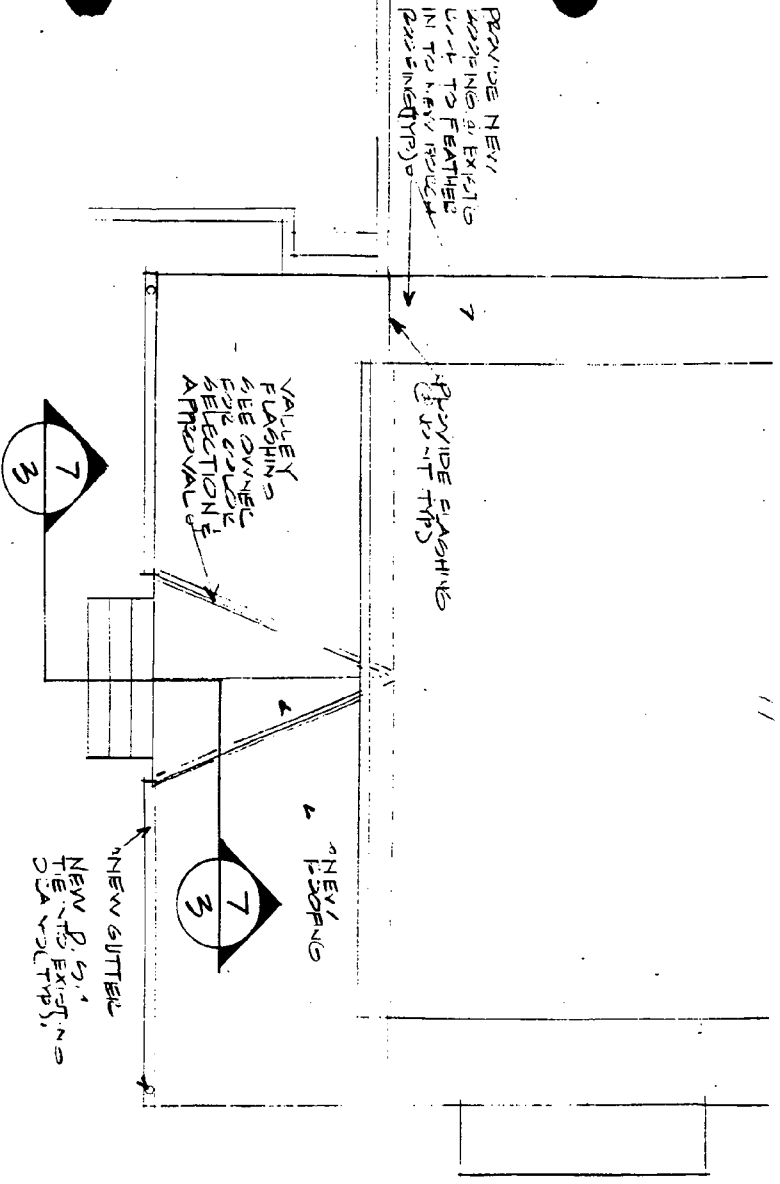


PORCH PLAN

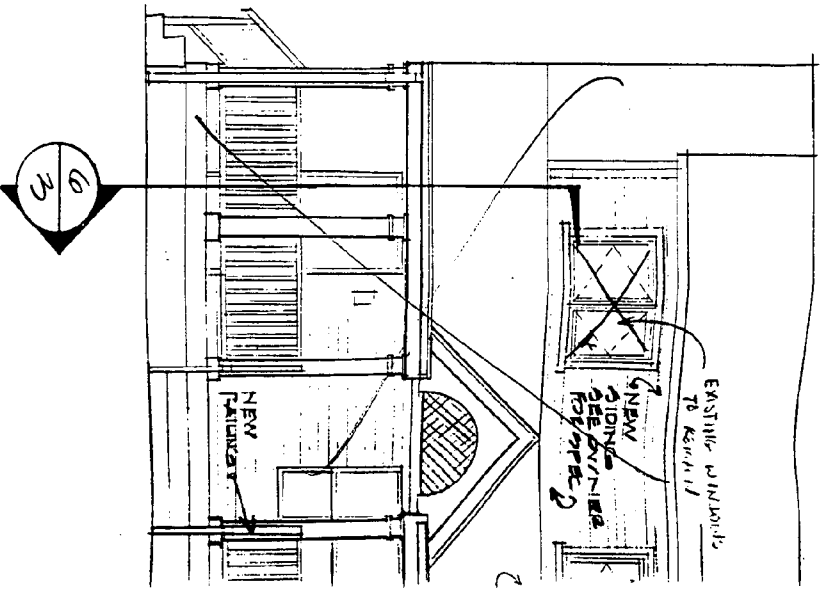


- SECTI
- This
- SECTI
- 1. A
- 2. B
- 3. C
- 4. D
- 5. E
- 6. F
- 7. G
- 8. H
- 9. I
- 10. J
- SECTI
- 1.
- 2.
- 3.

# PORCH PLAN



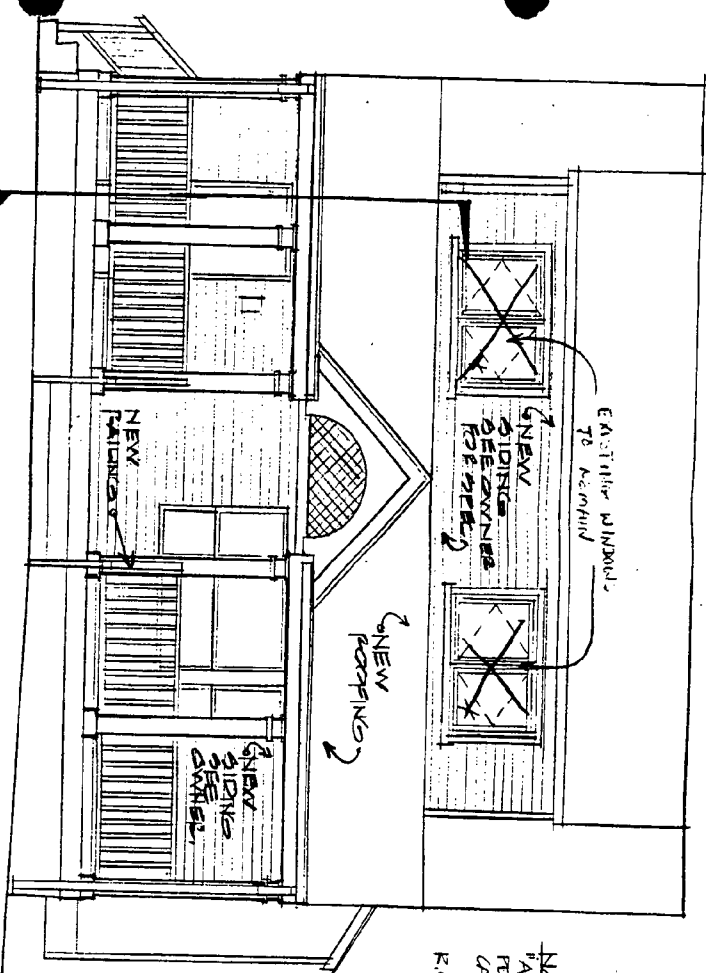
# ROOF/SITE PLAN



# FRONT ELEV

15  
3. Anc con 1" coll

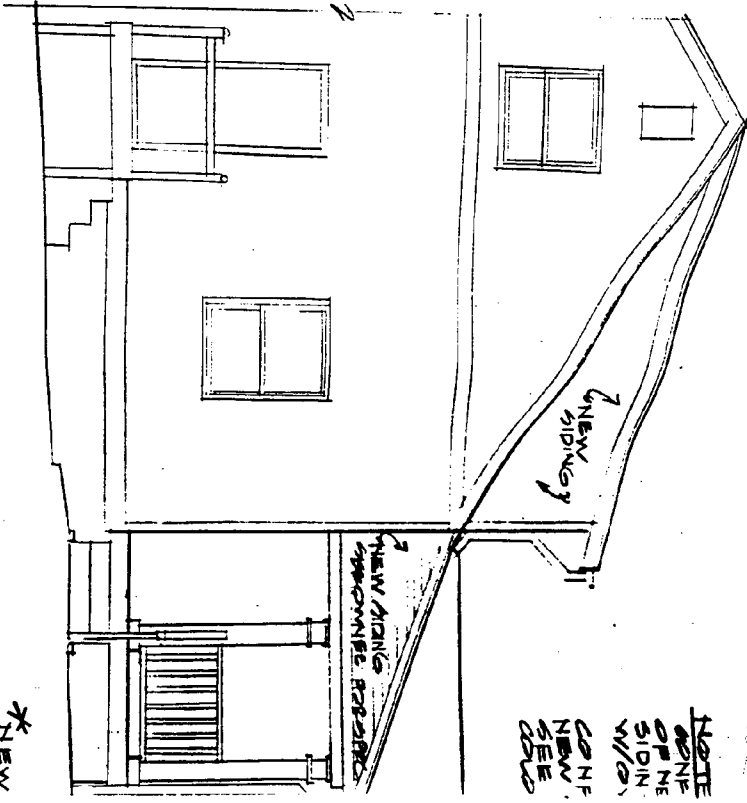
2. Provide for thermal expansion of running sheet metal work by overlaps and expansion joints in fabricated work. Where required for water-tight construction, provide hooked flanges filled with polysubethylene mastic for 1" embedment of flanges. Conceal expansion provisions where possible.
3. Anchor work in place with noncorrosive fasteners, adhesives, setting compounds, tapes and other materials and devices as recommended by



FRONT ELEV

NOTE \*  
 FABRICATE  
 FLASH SHIELDS  
 ANCHOR  
 DEVICES  
 R.O. 4' 9" x 3' 0"

2. Contractor shall verify window sill windows to be centered on opening. Contractor to provide new rough exterior trim and new sills and
3. Contractor shall provide screens and foam insulation at all windows.



SIDE ELEV

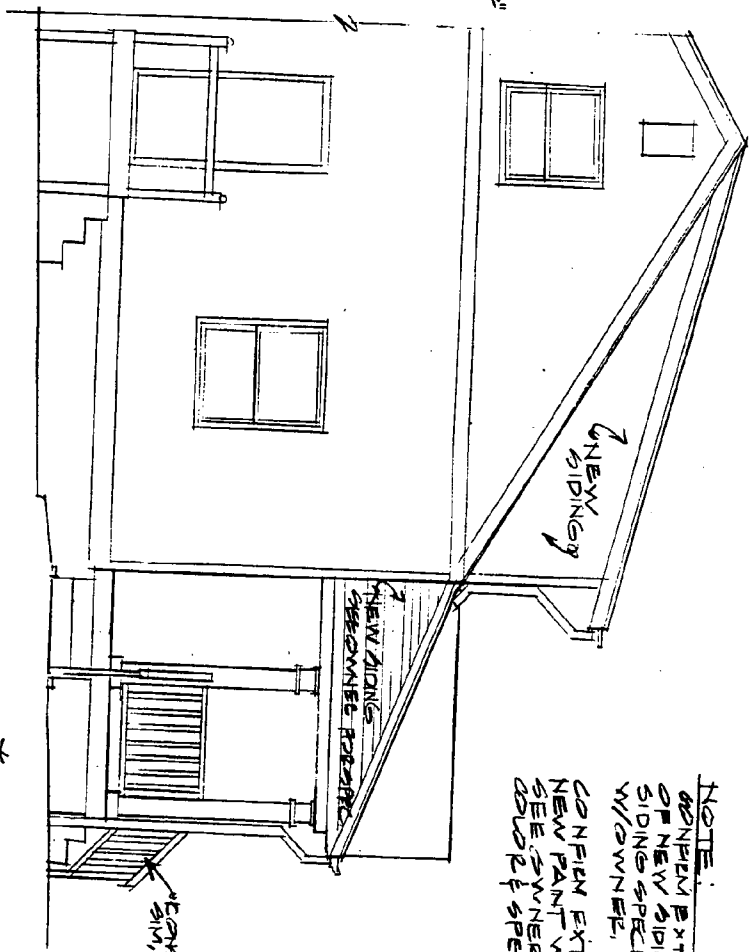
NOTE  
 ROOF  
 SIDE  
 W/O  
 NEW  
 SIDE  
 DECK

\*NEW  
 FROM  
 ATT  
 BUTE  
 FROM  
 LATTI  
 BACK  
 SPAC  
 ATT  
 POE

in divisions where possible.  
 fasteners, adhesives, setting  
 devices as recommended by

3. Contractor shall provide screens for all operable units, standard hardware and foam insulation at all windows.

\*  
 1/2" x 1/4"  
 A SHIELD  
 W/ 2"  
 4 1/2"



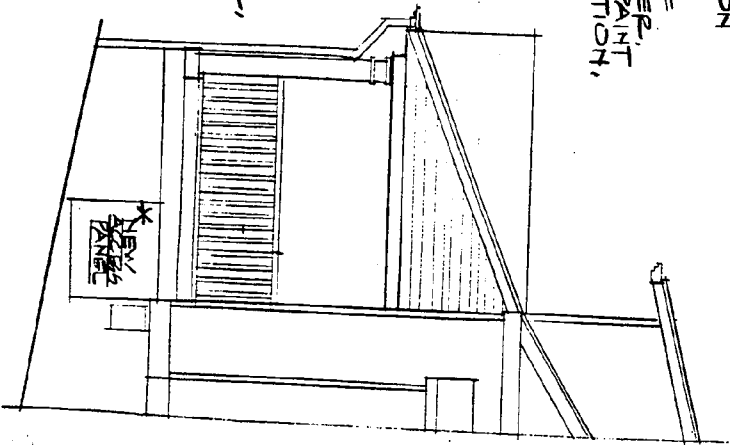
NOTE:  
 CONFINEMENT  
 OF NEW SIDING &  
 SIDING SPECIFICATION  
 W/ OWNER.

CONFINEMENT OF  
 NEW PAINT W/ OWNER.  
 SEE OWNER FOR PAINT  
 COLOR & SPECIFICATION.

\*RETRACT  
 SIM TO BAL

\*NEW ACCESS PANEL  
 PROVIDE 6x4 FRAME  
 ATTACHED W/ EXT,  
 NUTS TO EXIST'G CMU,  
 REMOVE REAR OF  
 LATTICE W/ SCREEN  
 BACK FOR CRAWL  
 SPACE VENTILATION,  
 ATTACH W/ WING NUTS  
 FOR EASY REMOVAL,

SIDE ELEV



SIDE ELEV

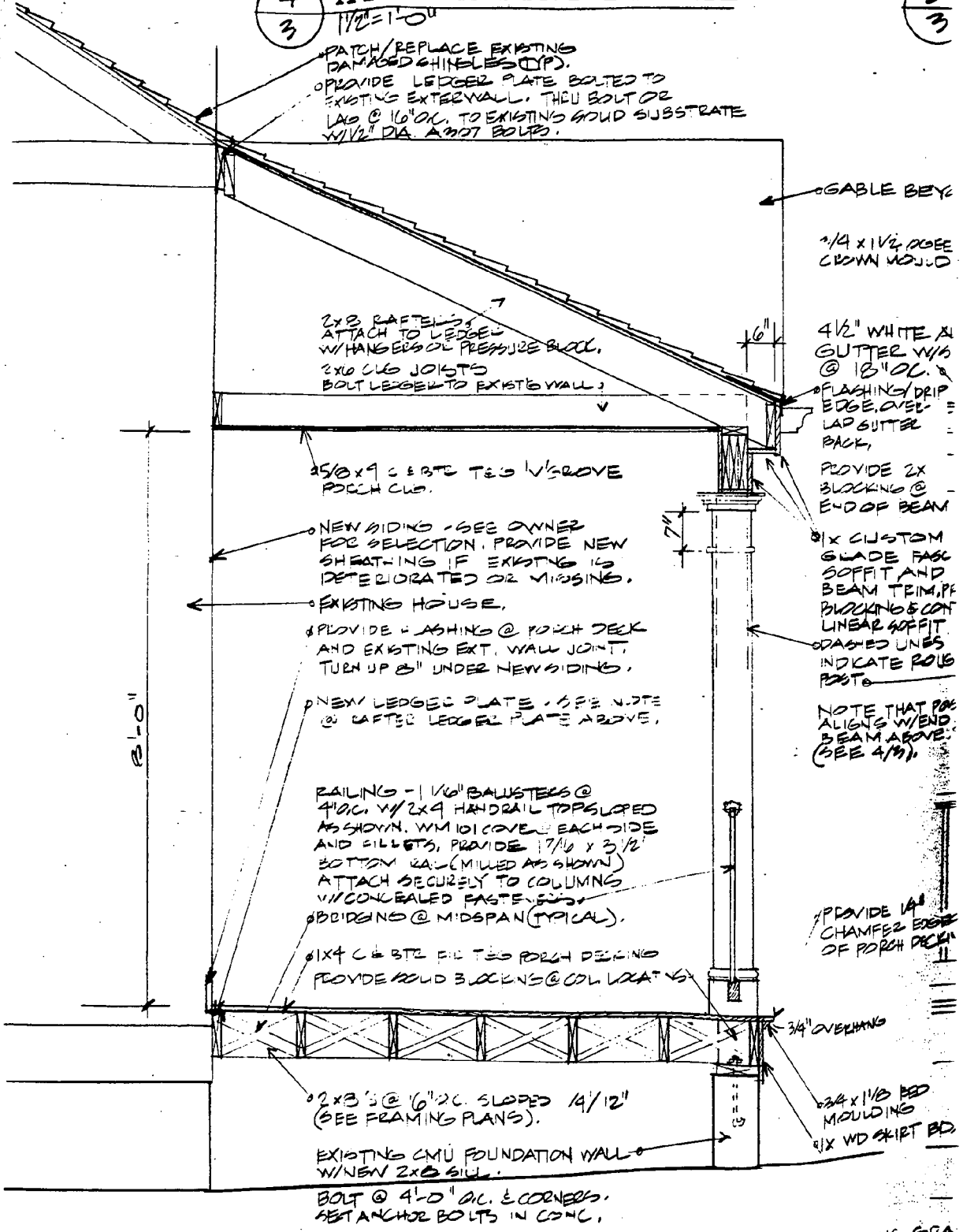
(5)

SEATS (P) ALIGN POST  
W/ END BEAM.

4  
3

# ATTACHMENT DETAIL

5  
3



6  
3

# SECTION THRU PORCH ROOF

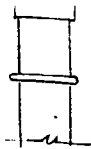
3/4" = 1'-0"

7  
3

18

IGN FACE W/FACE BEAM.

T W/ BEAM. WIDE POST AT (TYP.) ALIGN POST END OF BEAM.



END OF BEAM FINISHED W/ 1X CUSTOM GRADE.

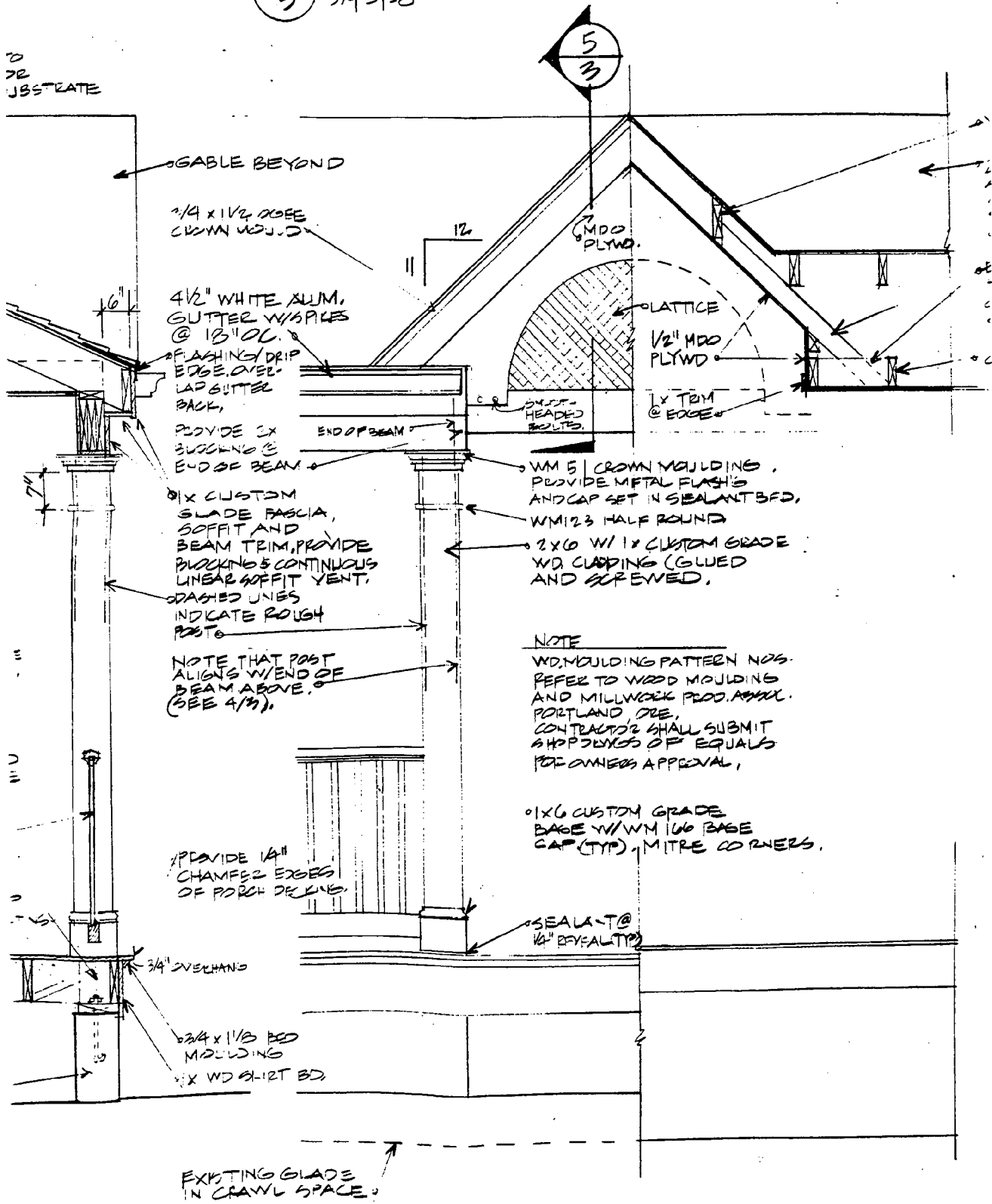
SEE 4/3 FOR ATTACHMENT OF 2X8 TO BEAM.

TAIL

# 5 SECTION THRU GABLE END

5/3 3/4" = 1'-0"

DB DB JB STEEL



GABLE BEYOND

3/4 x 1 1/2 DOSE CROWN MOULDING

4 1/2" WHITE ALUM. GUTTER W/ SPICES @ 13" O.C.

FLASHING/DRIP EDGE OVER LAP GUTTER BACK, PROVIDE 2X BLOCKING @ EDGE OF BEAM

1X CUSTOM SLATE FASCIA, SOFFIT AND BEAM TRIM, PROVIDE BLOCKING & CONTINUOUS LINEAR SOFFIT VENT. DASHED LINES INDICATE ROUGH POSTS

NOTE THAT POST ALIGNS W/ END OF BEAM ABOVE. (SEE 4/3).

PROVIDE 1/4" CHAMFER EDGES OF PORCH DECKING

3/4" OVERHANG

3/4 x 1 1/8 BO MULDING 1X WD 8-12 BO

EXISTING GLAZE IN CRAWL SPACE



7 MDO PLYWD

LATTICE

1/2" MDO PLYWD

1X TRM @ EDGE

5/8" HEADED BOLTS

WM 5 CROWN MULDING, PROVIDE METAL FLASHING AND CAP SET IN SEALANT BED.

WM 1/2 3 HALF ROUND

2X10 W/ 1X CUSTOM GRADE WD CLADDING (GLUED AND SCREWED).

### NOTE

WD MULDING PATTERN NOS. REFER TO WOOD MULDING AND MILLWORK PROD. APPROX. PORTLAND, ORE. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF EQUALS FOR OWNERS APPROVAL.

1X6 CUSTOM GRADE BASE W/ WM 100 BASE CAP (TYP.) MITRE CORNERS.

SEALANT @ 1/4" REVEAL (TYP)

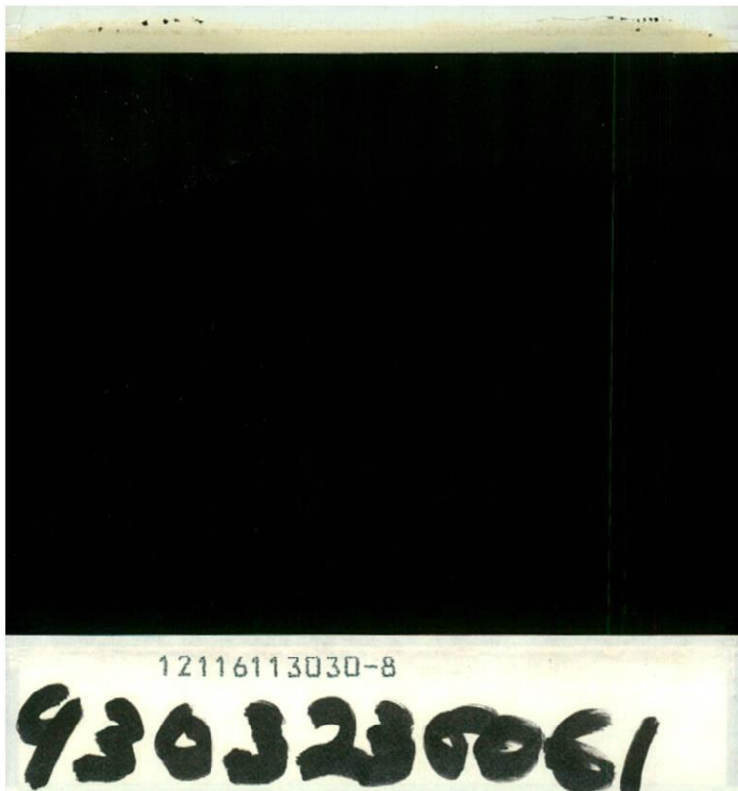
# 7 ELEV/SECTION THRU GABLE

(A)

**THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION  
8787 GEORGIA AVENUE  
SILVER SPRING, MARYLAND 20907**



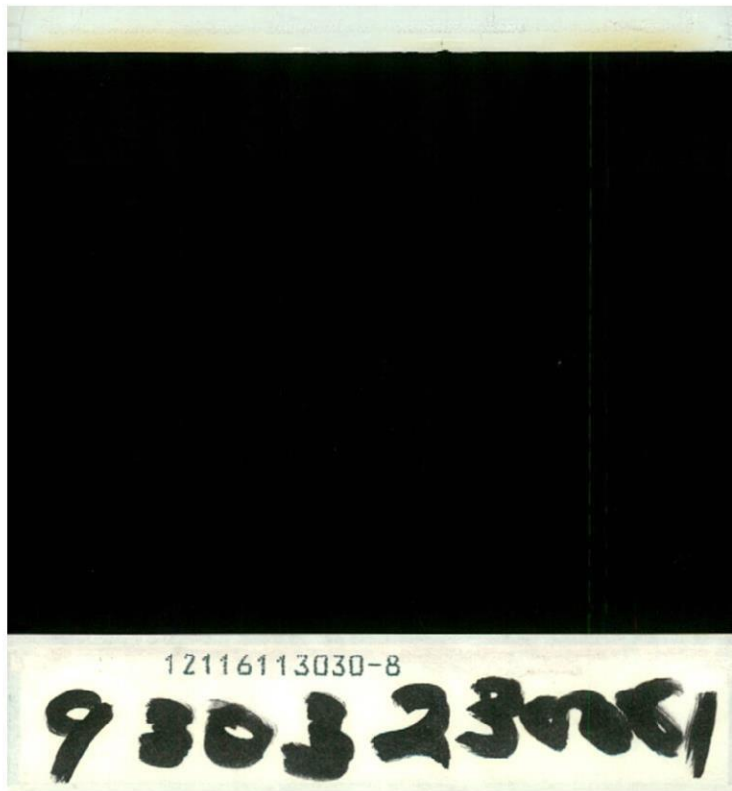




12116113030-8

9303230061





12116113030-8

9303230061