

37/3-94I 513 New York Avenue  
Takoma Park Historic District

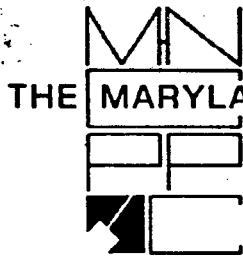
THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION  
8787 GEORGIA AVENUE  
SILVER SPRING, MARYLAND 20907

Allen  
513 New York Avenue  
Takoma Park Historic District  
Case # 3713-94I  
04/27/94









THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of  
Application/ Release of Other Required Permits

DATE: April 27, 1994

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Thank you very much for your patience and good luck with your project!

**THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION**  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

**TO:** Robert Hubbard, Acting Chief  
Division of Development Services and Regulation  
Department of Environmental Protection

**FROM:** Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

**SUBJECT:** Historic Area Work Permit

**DATE:** April 27, 1994

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The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved  Denied  
 Approved with Conditions: \_\_\_\_\_

1. Adequate tree protection measures should be taken during construction to assure that the oak tree is not damaged or killed.
2. The 18' x 18' main block of the addition should be pulled approximately 2 1/2 feet ± further away from the northern property line.

The Building Permit for this project should be issued conditional upon adherence to the approved Historic Area Work Permit.

Applicant: Debra & Henry Allen

Address: 513 New York Avenue  
Takoma Park, Maryland 20912



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # \_\_\_\_\_

NAME OF PROPERTY OWNER DEBIA HENRY ALLEN TELEPHONE NO. 585-4559  
(Contract/Purchaser) (Include Area Code)

ADDRESS 513 NEW YORK AVENUE, TAKOMA PARK, MD. 20912  
CITY STATE ZIP

CONTRACTOR 11/7/94 Collected TELEPHONE NO. \_\_\_\_\_

PLANS PREPARED BY PAUL TREEDOLL, AIA CONTRACTOR REGISTRATION NUMBER (201) 311-2911 TELEPHONE NO. 311-2911  
(Include Area Code)

REGISTRATION NUMBER 0232-R

LOCATION OF BUILDING/PREMISE

House Number 513 Street NEW YORK AVENUE

Town/City TAKOMA PARK Election District \_\_\_\_\_

Nearest Cross Street BUFFALO AVENUE

Lot 113 Block 73 Subdivision 730 21/2 805

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	<u>Extend/Add</u>	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
				Other	Woodburning Stove	

1B. CONSTRUCTION COSTS ESTIMATE \$ 90,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 ( ) Septic	2B. TYPE OF WATER SUPPLY
03 ( ) Other		01 <input checked="" type="checkbox"/> WSSC
		02 ( ) Well
		03 ( ) Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Paul K... Signature of owner or authorized agent (agent must have signature notarized on back) April 6 1994 Date

APPROVED X - with conditions For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature Albert B Randall Date April 27, 1994

APPLICATION/PERMIT NO: 9404060082 FILING FEE: \$ \_\_\_\_\_

DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_

OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS



THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

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(If more space is needed, attach additional sheets on plain or lined paper to this application)

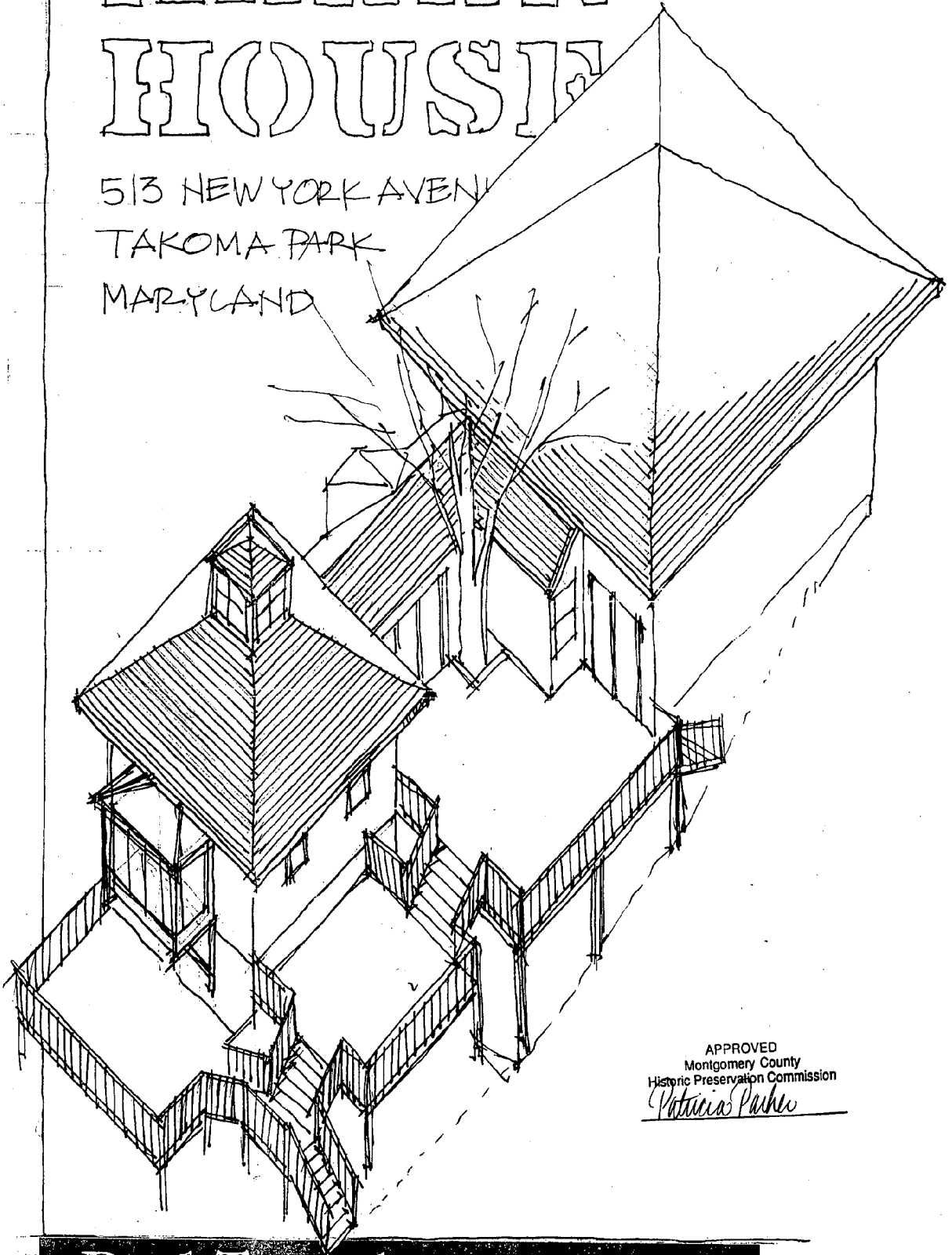
ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:  
HISTORIC PRESERVATION COMMISSION  
51 MONROE STREET, SUITE 1001  
ROCKVILLE, MARYLAND 20850

• Additions to the •

# ALLEN HOUSE

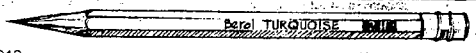
513 NEW YORK AVENUE  
TAKOMA PARK  
MARYLAND



APPROVED  
Montgomery County  
Historic Preservation Commission  
*Patricia Parker*

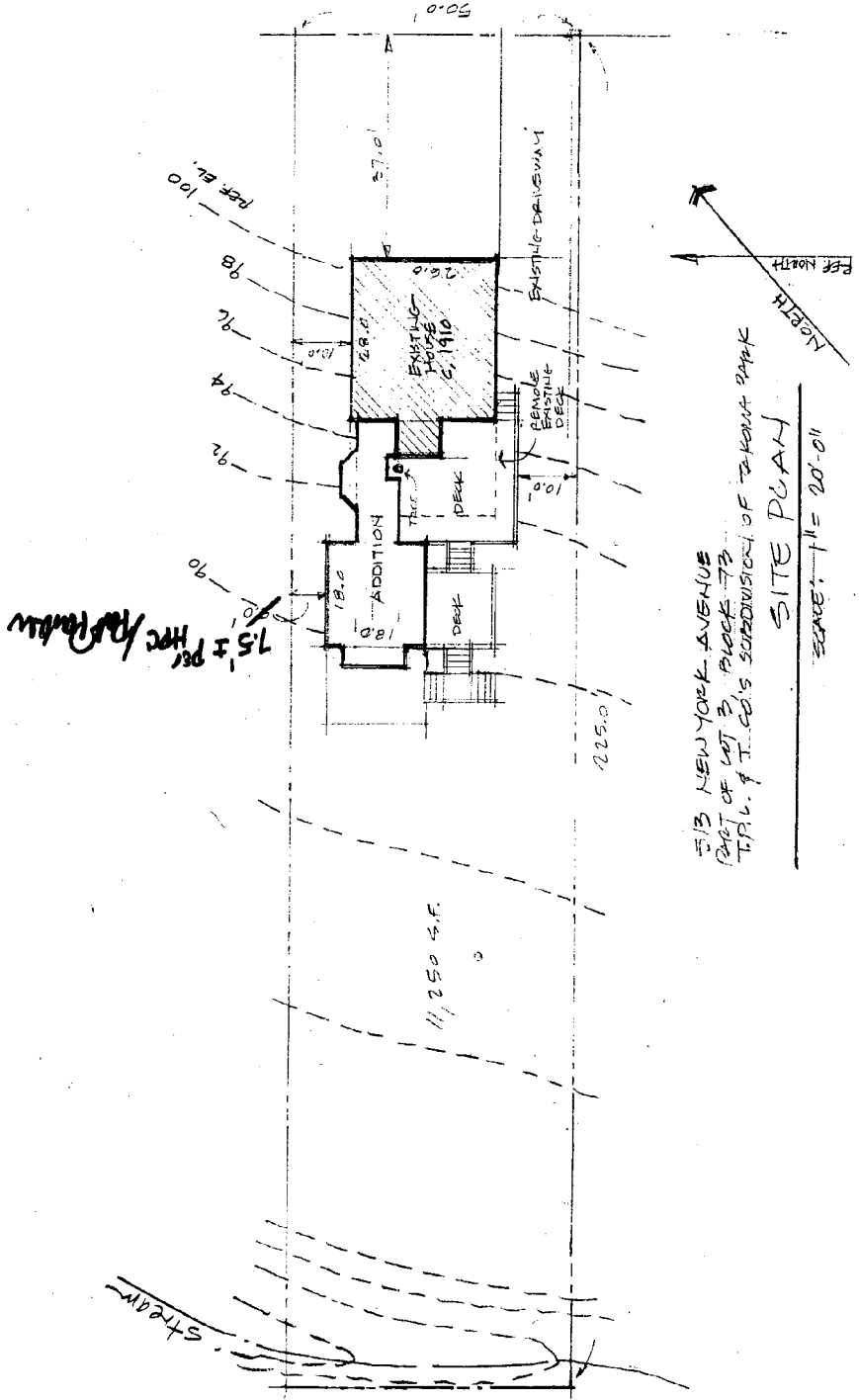
**Paul Treseder**

ARCHITECT AIA  
6 Montgomery Avenue, Takoma Park, MD 20912



(204) 834-3344

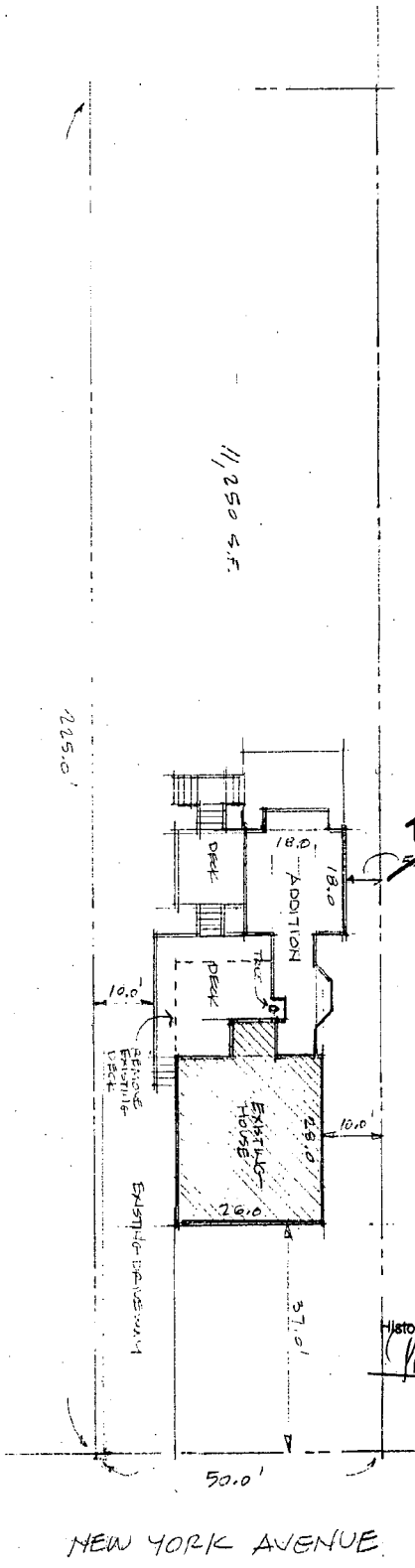
NEW YORK AVENUE

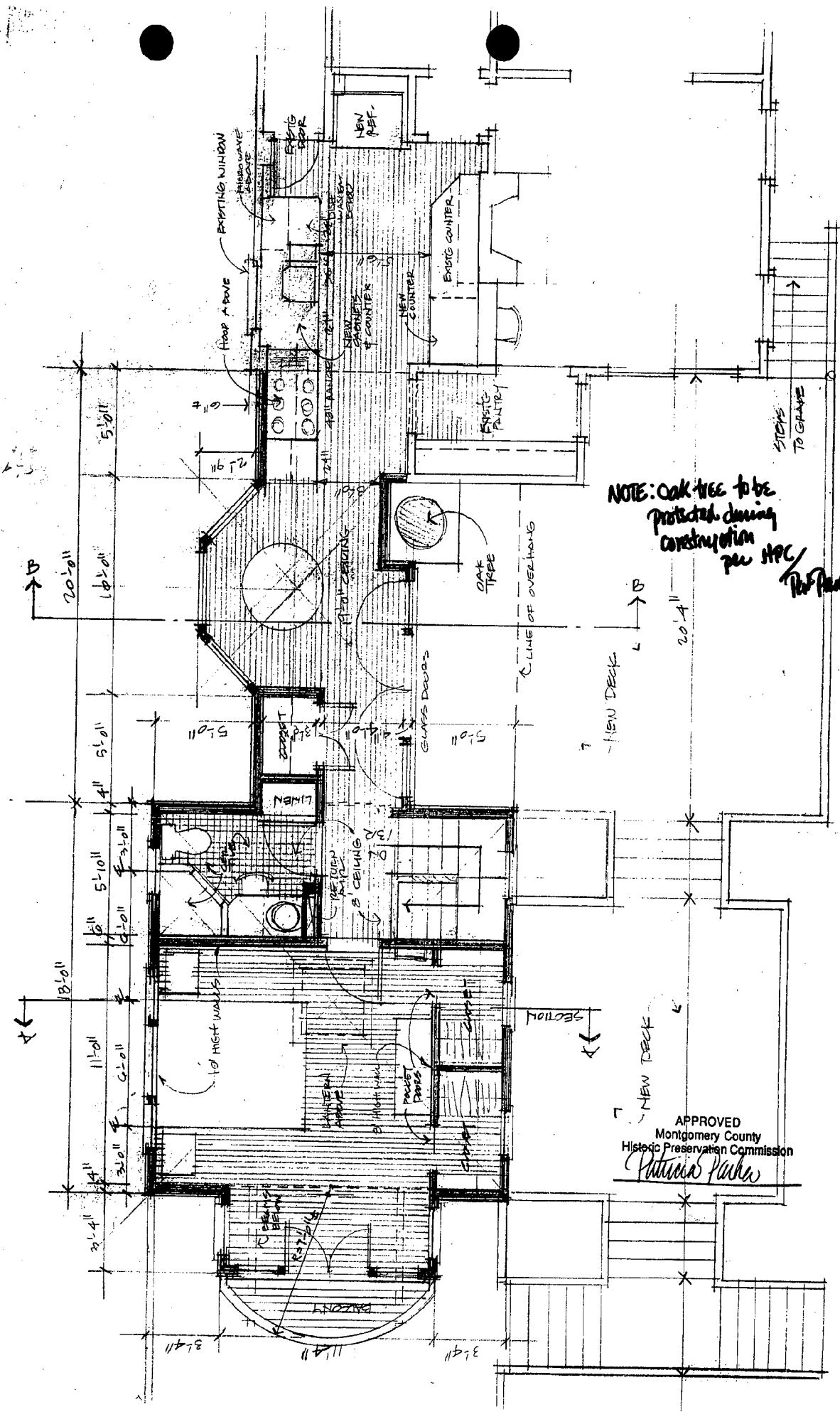


513 NEW YORK AVENUE  
 PART OF LOT 3, BLOCK 73  
 T.P.L. of I. CO'S SUBDIVISION OF TAKONT PARK  
 SITE PLAN  
 SCALE: 1" = 20'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Victoria Parker*

513 NEW YORK AVENUE  
 PART OF LOT 3, BLOCK 73,  
 TRACT 9 T. 61 S. SUBDIVISION OF TRACT 2942  
 SITE PLAN  
 SCALE: 1" = 20'-0"





EXISTING WINDOW  
 HINGED ABOVE  
 HINGED ABOVE

EXISTING REAR

NEW REF.

EXISTING COUNTER

NEW COUNTER

EXISTING COUNTER

EXISTING PARTIAL

STAIRS TO GARAGE

NOTE: Oak tree to be protected during construction per HPC/Patricia Parker

OAK TREE

C LINE OF OVERHANG

NEW DECK

20'-4"

GLASS DOORS

5'-0"

RESTORED PART

8' CEILING

10' HIGH WALLS

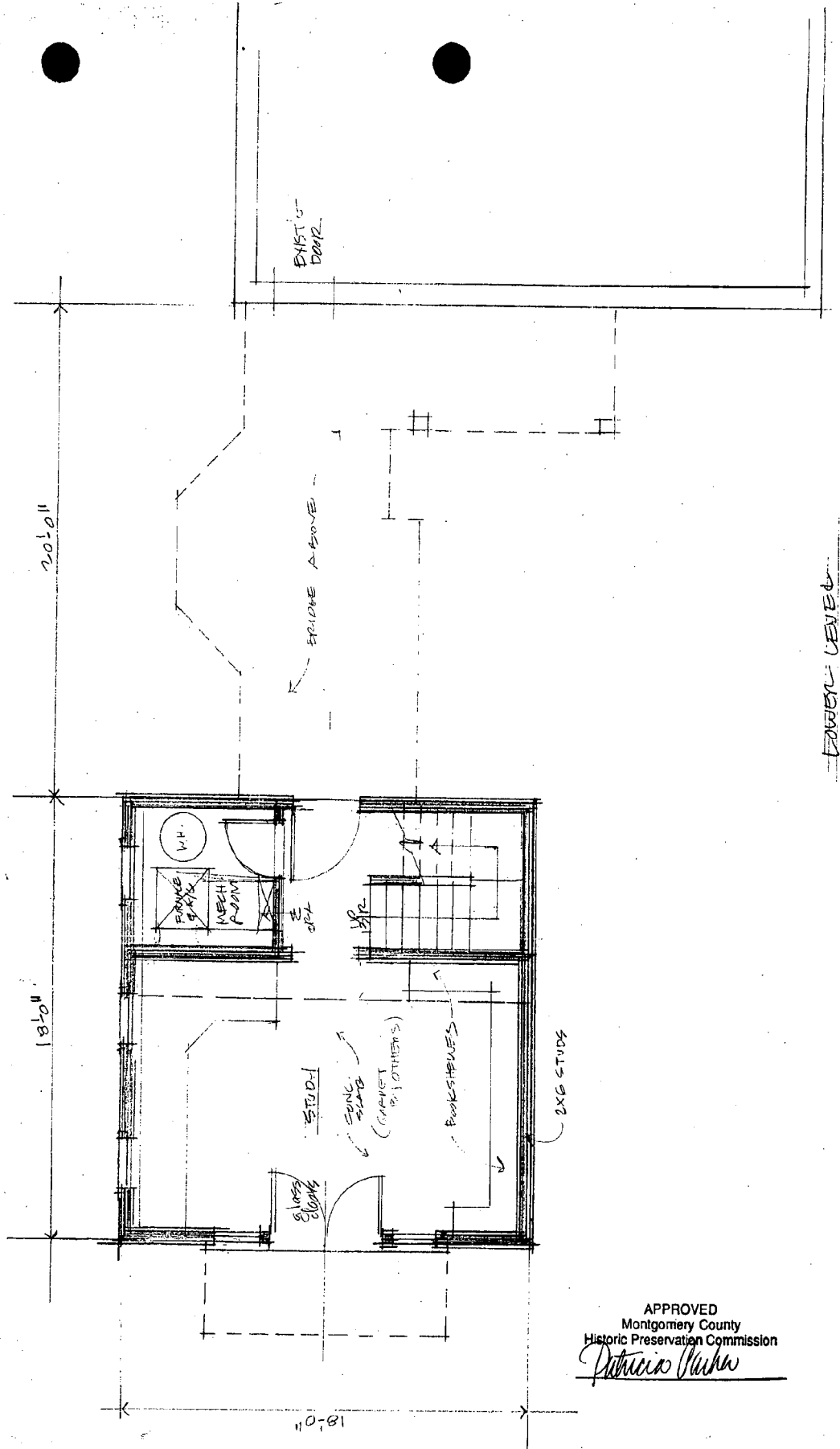
RESTORED PART

8' HIGH WALL

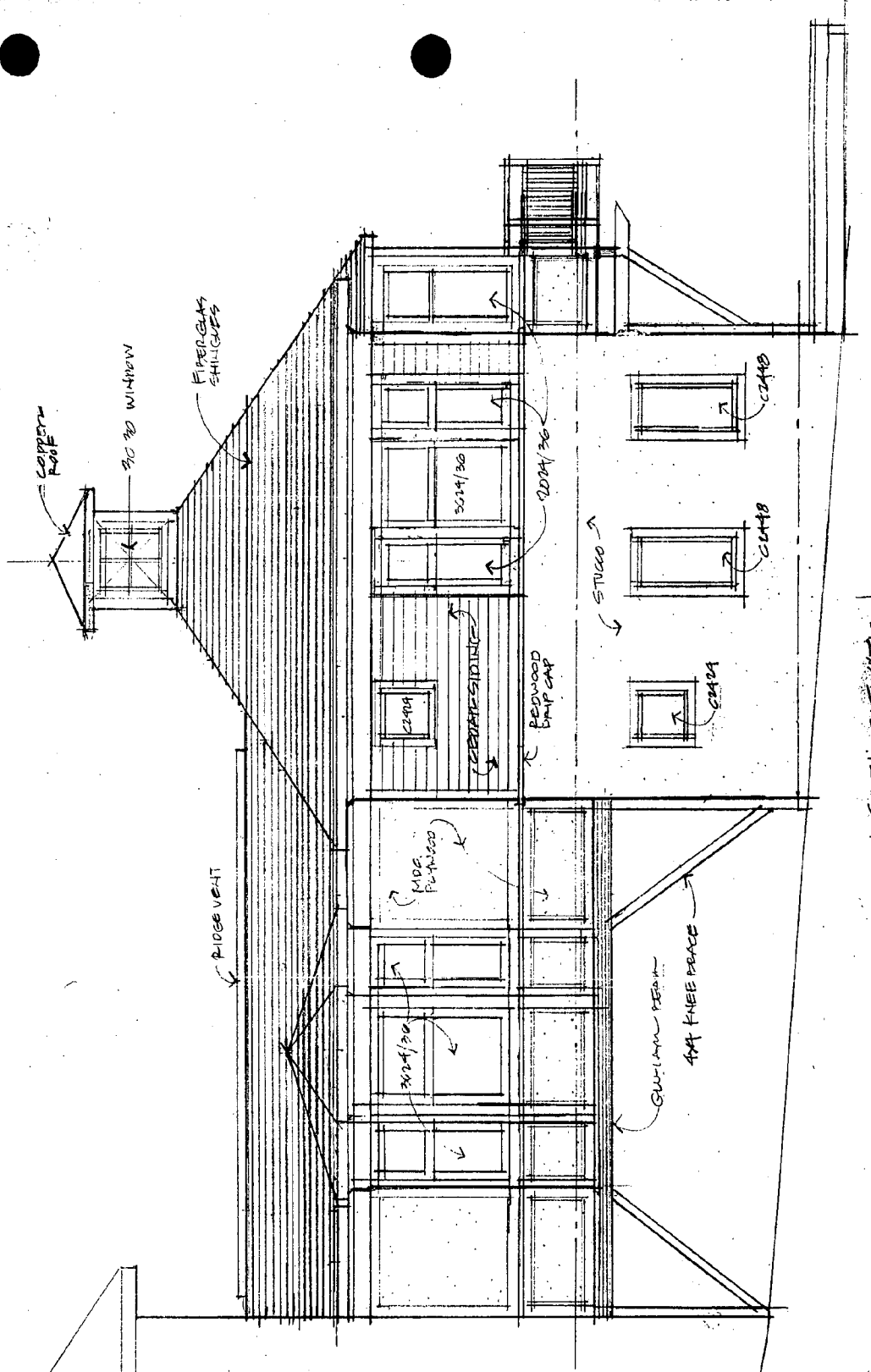
RESTORED PART

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Patricia Parker*

1st Floor - Partial

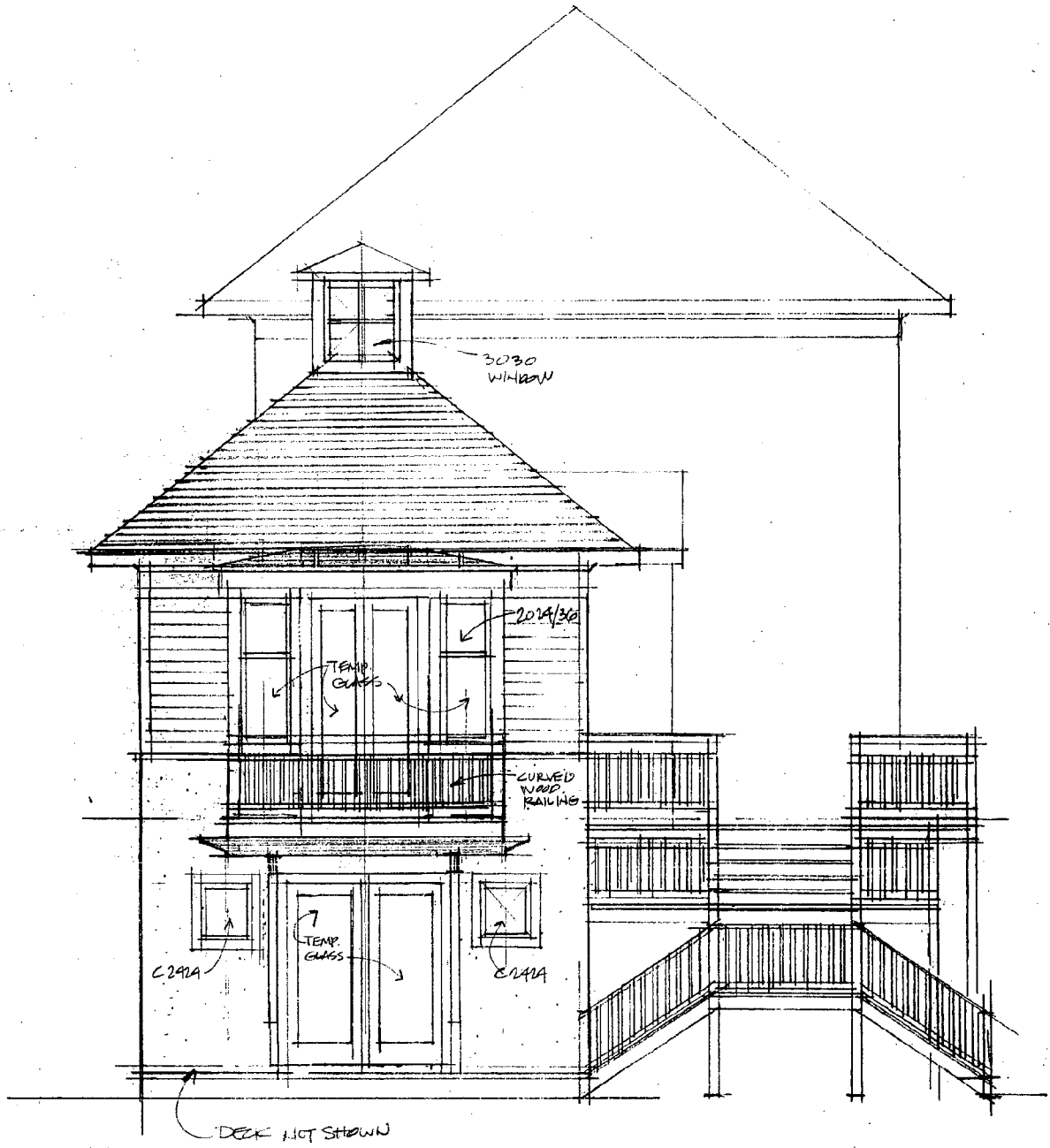


APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Patricia Parker*



SOUTH ELEVATION

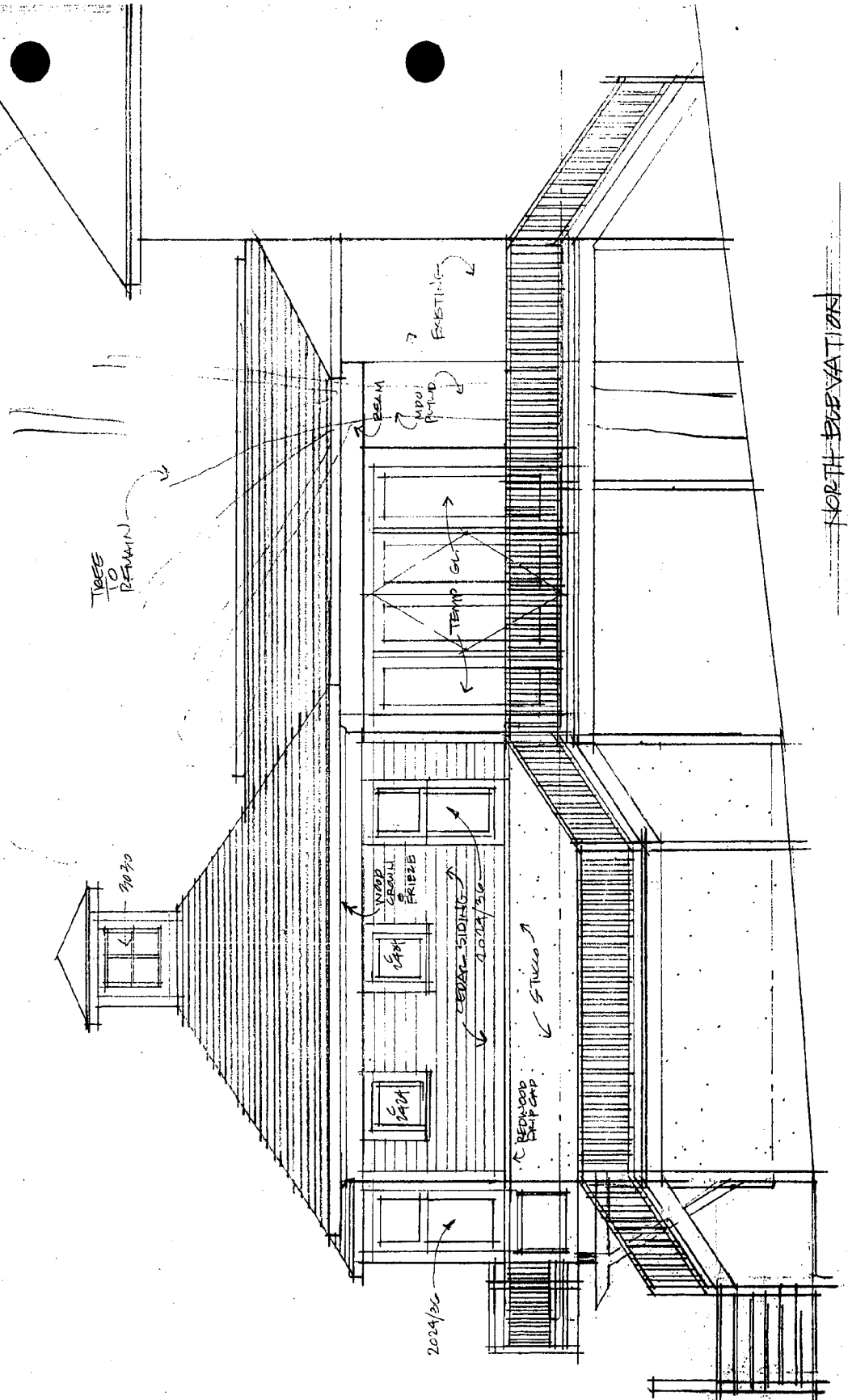
APPROVED  
Montgomery County  
Historic Preservation Commission  
*Patricia Parker*



EAST ELEVATION  
V416 | L011

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Patricia Parker*





NORTH ELEVATION

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Patricia Packer*

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 513 New York Avenue Meeting Date: 04/27/94  
Resource: Takoma Park Historic District HAWP: New addition  
Case Number: 37/3-94I Tax Credit: No  
Public Notice: 04/13/94 Report Date: 04/20/94  
Applicant: Debra & Henry Allen Staff: Gwen Marcus  
PROPOSAL: Rear Addition RECOMMEND: Approval w/  
conditions

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BACKGROUND

This application involves a contributing resource in the Takoma Park Historic District. The house is a Foursquare style building, and has had the front porch removed at some time in the past. It is covered with asbestos shingles.

The proposal includes removal of an existing deck, and construction of a rear, two-level addition. The main portion of the addition is 18' X 18' and is connected to the existing house by an "enclosed" bridge and a deck. The exterior materials for the addition would be wood clapboard and stucco.

No trees will be removed for this project. One Oak tree just behind the existing house will be retained, but surrounded by the addition and decking.

STAFF DISCUSSION

As this property is designated as a contributing resource in the Takoma Park Historic District, it should receive a more lenient level of design review than those structures that have been classified as outstanding. The review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns.

The proposed addition substantially conforms with the Takoma Park historic preservation review guidelines: it is located entirely to the rear of and will not be higher than the existing structure, very little of the addition will be visible from the street, and it is architecturally compatible with the existing structure in terms of form and material.

The scheme of holding the main section of the addition off of the existing house, and connecting it by an "enclosed" bridge is a bit different than many of the Takoma Park cases which the HPC has reviewed. Staff feels this is an appropriate approach in

this case as it allows preservation of the existing Oak tree, and maintains the clarity of the original Foursquare block. Adequate tree protection measures should be taken during construction to assure that the Oak tree is not damaged or killed.

The proposed addition with its decks will extend a bit farther back on the lot than the houses on either side of the existing house. Staff does not feel, however, that the addition encroaches inappropriately into the back yard and recognizes that substantial open space is still retained to the rear of the house.

There are 2 suggestions which staff would ask that the owner consider on this proposal:

- o First, the cupola on the addition should be removed. Although it will not be visible from the street, it is a more fanciful architectural element that draws additional emphasis onto the addition.
- o Secondly, the 18' X 18' main block of the addition should be pulled approximately three feet farther away from the northern property line. This will accomplish two objectives: it will move the addition farther behind the existing house so that even less of the addition will be visible from the public right-of-way, and it will move the addition farther away from the next-door neighborhood thereby lessening potential impacts on them. The relocation of the main block of the addition, as described, would align the north wall of the block with the bay in the "enclosed" bridge.

#### STAFF RECOMMENDATION

With the following conditions, staff recommends that the Commission find the proposal **consistent** with the purposes of Chapter 24A-8(b)2 and recommends approval of the HAWP under the following criteria:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the Secretary of the Interior's Standards for Rehabilitation #9 and #10:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment; and

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired;

and with the following conditions:

1. Adequate tree protection measures should be taken during construction to assure that the Oak tree is not damaged or killed.
2. The cupola on the addition should be removed.
3. The 18' X 18' main block of the addition should be pulled approximately three feet farther away from the northern property line.



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # \_\_\_\_\_

NAME OF PROPERTY OWNER DEBRA & HENRY ALLEN TELEPHONE NO. 585-4359  
 (Contract/Purchaser) (Include Area Code)

ADDRESS 513 NEW YORK AVENUE, TAKOMA PARK, MD. 20912  
 CITY STATE ZIP

CONTRACTOR Not Yet Selected TELEPHONE NO. \_\_\_\_\_

PLANS PREPARED BY PAUL TRESIEDER, AIA CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_ TELEPHONE NO. (301) 891-2911  
 (Include Area Code)

REGISTRATION NUMBER 6283-R

LOCATION OF BUILDING/PREMISE

House Number 513 Street NEW YORK AVENUE

Town/City TAKOMA PARK Election District \_\_\_\_\_

Nearest Cross Street BUFFALO AVENUE

Lot Pt. 3 Block 73 Subdivision T.P.L. & T Co's. Subdivision of Takoma Park

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	<u>Extend/Add</u>	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch Deck	Fireplace	Shed
			Revision	Fence/Wall (complete Section 4)	Solar	Woodburning Stove
					Other	

1B. CONSTRUCTION COSTS ESTIMATE \$ 90,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PENNS

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 ( ) Septic	2B. TYPE OF WATER SUPPLY
03 ( ) Other		01 <input checked="" type="checkbox"/> WSSC
		02 ( ) Well
		03 ( ) Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line \_\_\_\_\_
- Entirely on land of owner \_\_\_\_\_
- On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Paul Tresieder Signature of owner or authorized agent (agent must have signature notarized on back) April 6 1994 Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

APPLICATION/PERMIT NO: 9404060082 FILING FEE: \$ \_\_\_\_\_

DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_

OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_



SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT  
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The Existing Structure is a 2 1/2 Story Frame "Foursquare" House, Circa 1910, on a narrow (50' wide) lot which slopes away from the street. The House had its porch removed some time ago, and had been covered with cement asbestos shingles. A deck had been added in the back.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed project is an addition entirely to the rear of the existing house. Because of the relative closeness of the adjacent houses, the addition will not have much visibility from the street, thus its impact on the street scene will be minimal. No trees will be removed for this project, nor is excavation required other than for footings. The addition design is intended to minimize its impact on the existing house (see paragraph 2a).

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

*see attached description*

- b. the relationship of this design to the existing resource(s):

*see attached description*

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

*see attached description*

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. **Design Features:** Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. **Facades:** Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. **Materials Specifications:** General description of materials and manufactured items proposed for incorporation in the work of the project.
8. **Photos of Resources:** Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. **Photos of Context:** Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. **Addresses of Adjacent Property Owners.** For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name Carde A. Crandon  
 Address 515 New York Avenue  
 City/zip Takoma Park, Md. 20912

2. Name Eugene H. & E.C. Herman  
 Address 511 New York Avenue  
 City/zip Takoma Park, Md. 20912



3. Name Franchise Pollner  
Address 510 Philadelphia Ave  
City/Zip Takoma Park, Md. 20912

4. Name Pamela Sheffield  
Address 508 New York Avenue  
City/Zip Takoma Park, Md. 20912

5. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

6. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

7. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

8. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

1757E

2. a) - The Proposed Addition sits entirely in the rear yard. To protect an existing tree, and also to maintain architectural clarity, the addition has been held 20' off the rear of the existing house and is connected by means of an enclosed "bridge" and decks.

- The massing of the addition is square, echoing the existing house, with a hipped roof of similar slope and proportions.

- Exterior finish materials will be wood clapboards and stucco; however, we will ~~be~~ confirm the original cladding of the house when we demolish the section of wall where the addition joins the house, and attempt to match what we find.

(The owner hopes to restore the original house at a future date, and would like the siding to blend)

b) - The addition responds to the square, symmetrical massing of the existing house.  
(see 2a above)

c) - The proposed work conforms to the Takoma Park Historic District Amendment to the Master Plan for Historic Preservation as follows:

- The addition is sympathetic to the existing massing, height, & material. (6)

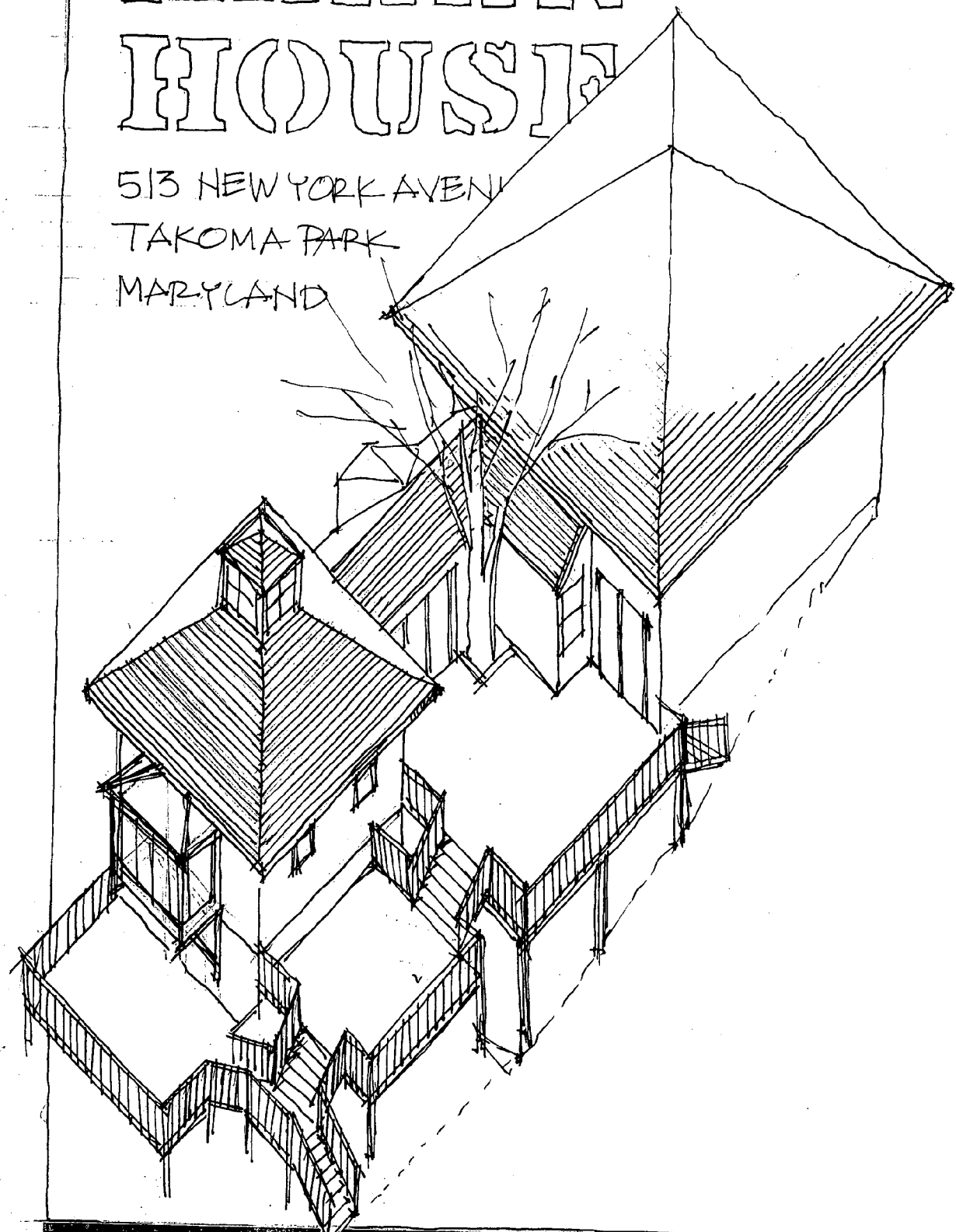
2 c) (continued)

- The addition has been placed to the rear of the existing structure.
- The existing structure has not been altered in any way visible from the street.
- The detailing of the addition is generally consistent with the existing house.
- The existing landscape is not substantially altered.



• Additions to the •  
**ALLEN  
HOUSE**

513 NEW YORK AVENUE  
TAKOMA PARK  
MARYLAND

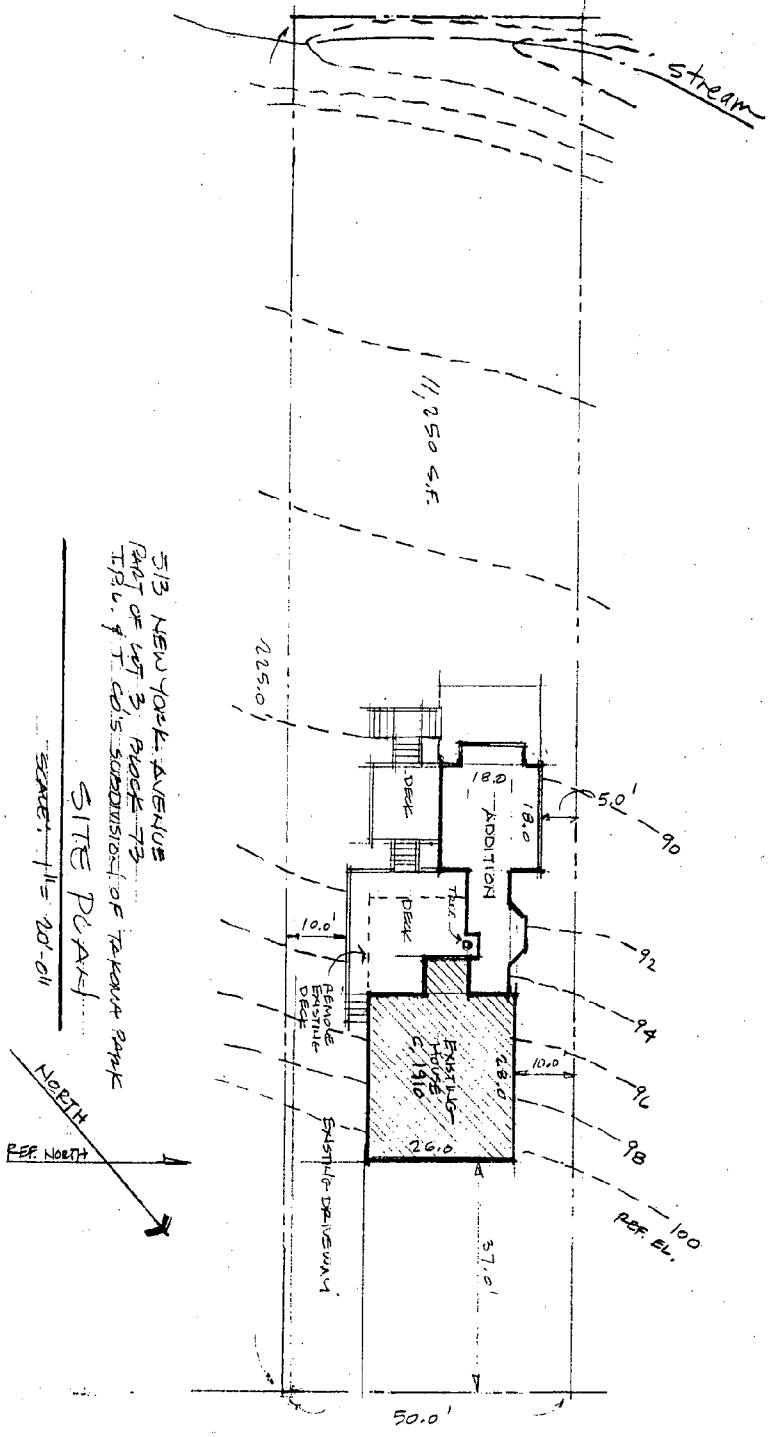


**Paul Treseder**

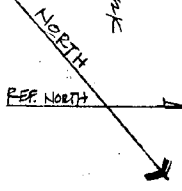
ARCHITECT AIA  
6 Montgomery Avenue, Takoma Park, MD 20912



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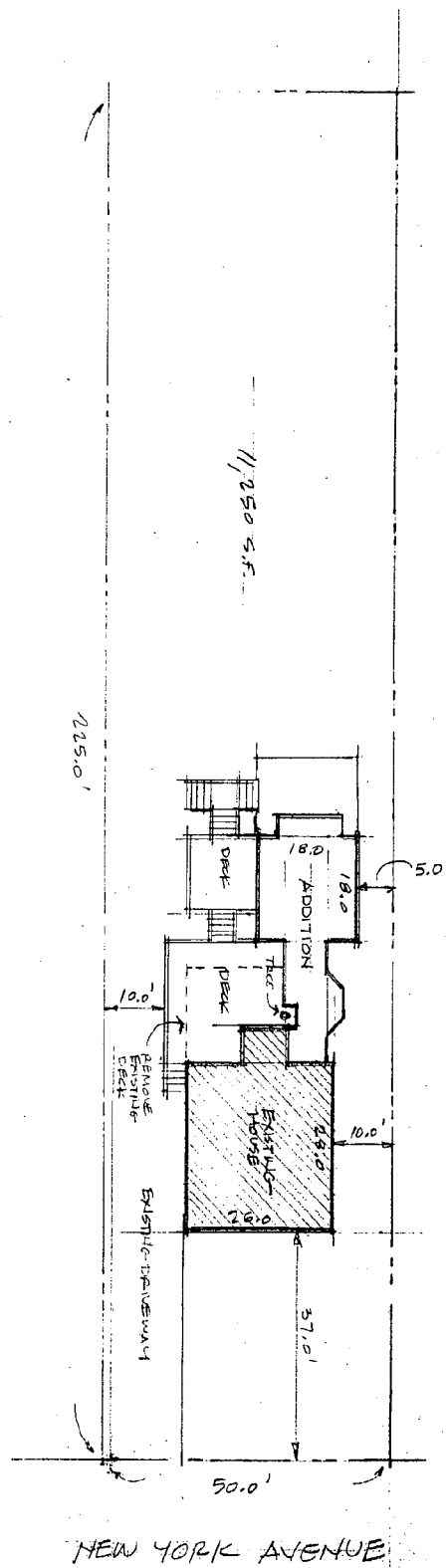


513 NEW YORK AVENUE  
 PART OF LOT 3, BLOCK 73  
 TOWN OF TOWN'S SUBDIVISION OF TAKAWA PARK  
 SITE PLAN  
 SCALE: 1" = 20'-0"

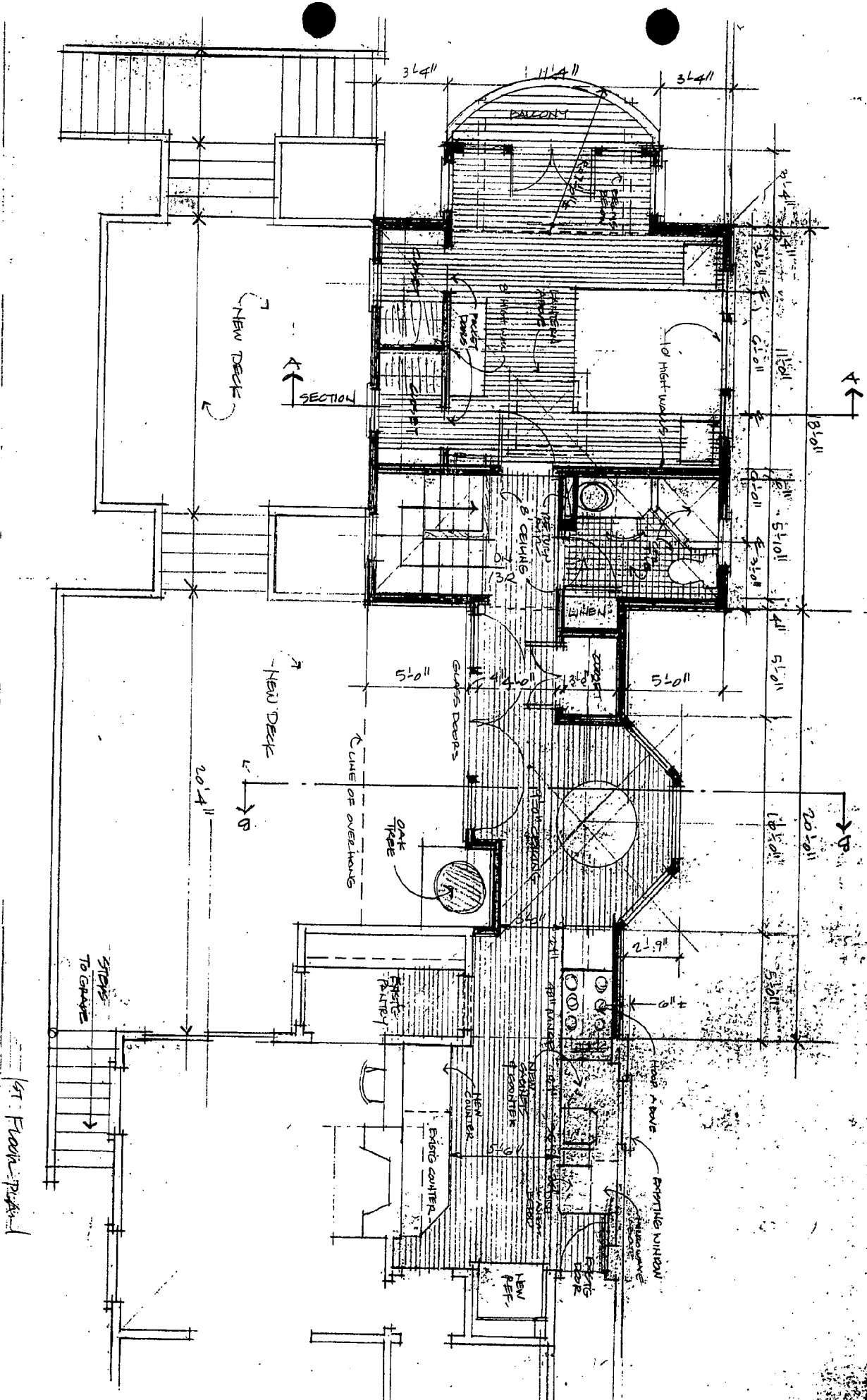


NEW YORK AVENUE

513 NEW YORK AVENUE  
 PART OF LOT 3, BLOCK 73  
 TR. 0.7 I.C.'S SUBDIVISION OF TOWN OF PHR  
 SITE PLAN  
 SCALE: 1" = 20'-0"

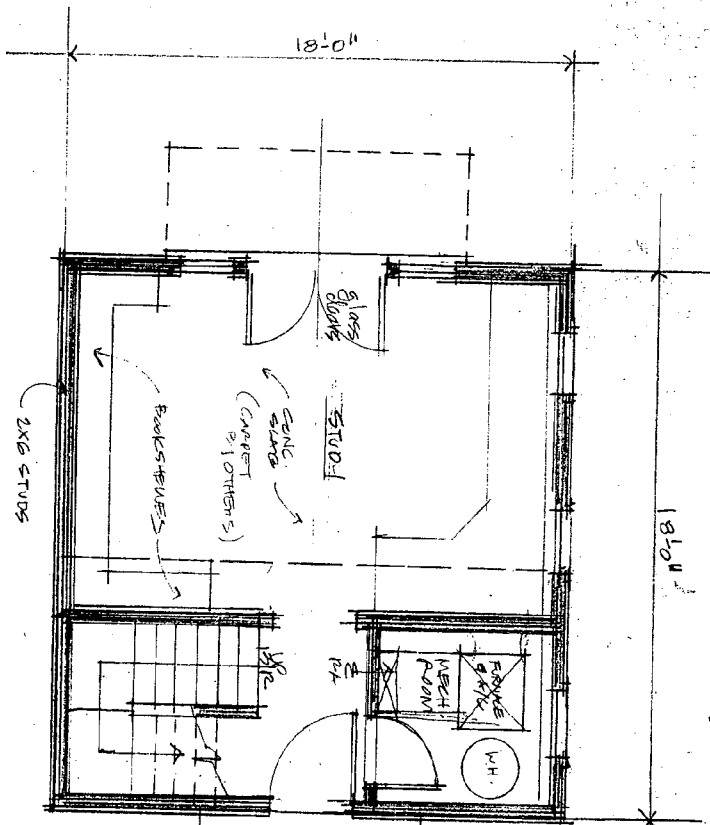


11



1st Floor Plan





18'-0"

10'-0"

20'-0"

EXIST'G DOOR

SPLORE ABOVE

2x6 STUDS

GLASS DOORS

STUD

CONC. SLAB (CARPET & OTHERS)

BRICKS/HUES

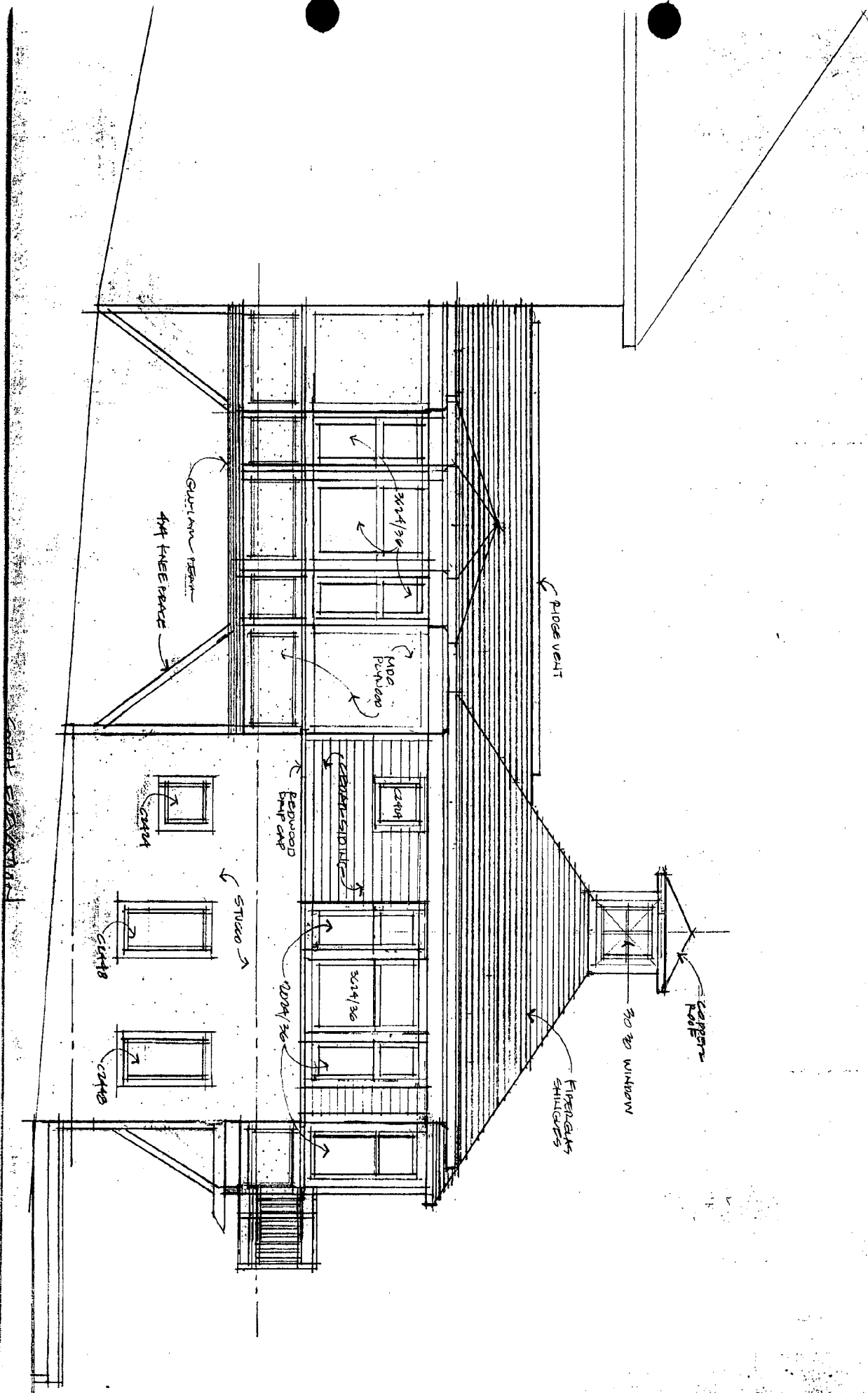
WH.

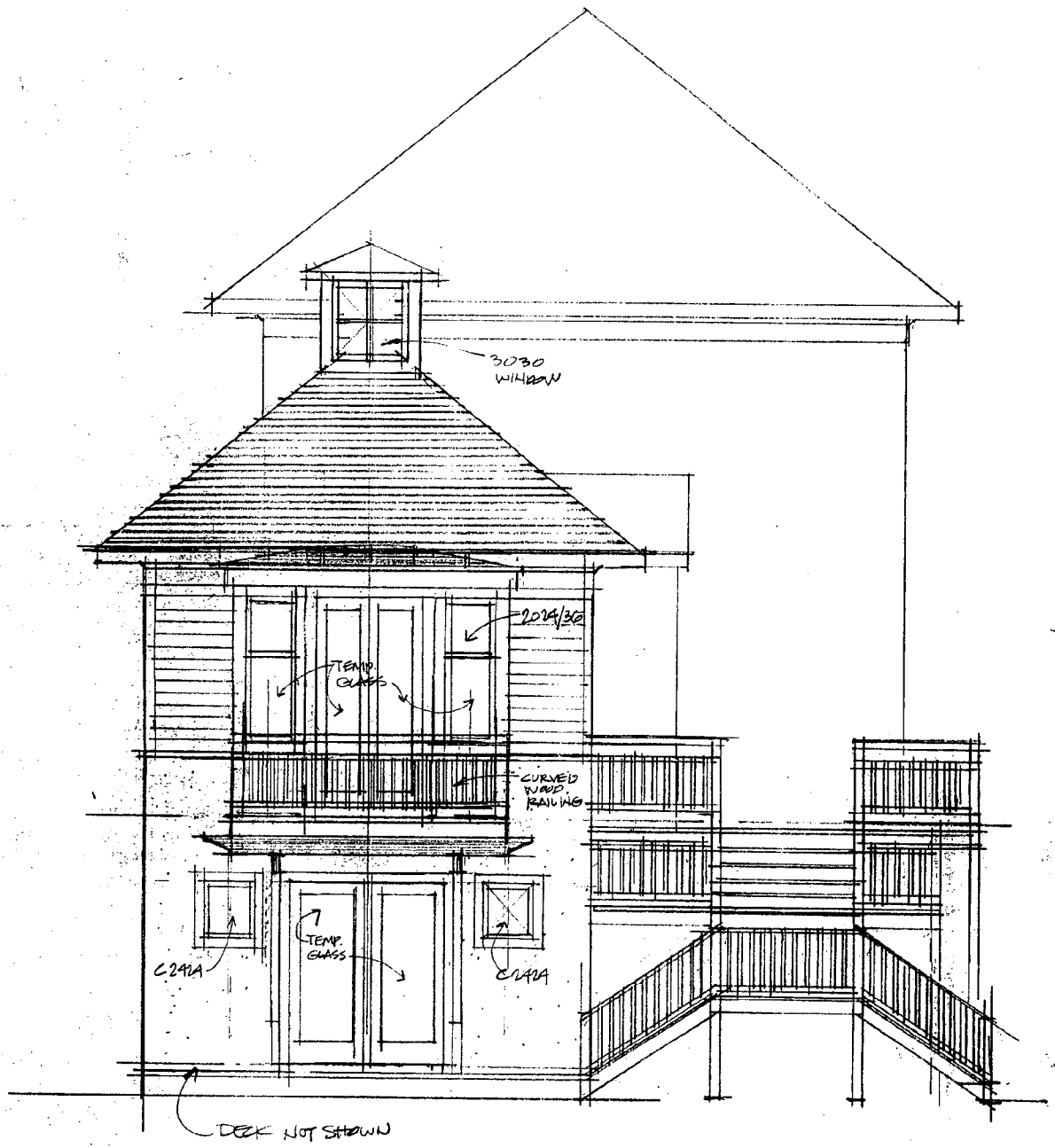
NECH PLANN

2x4

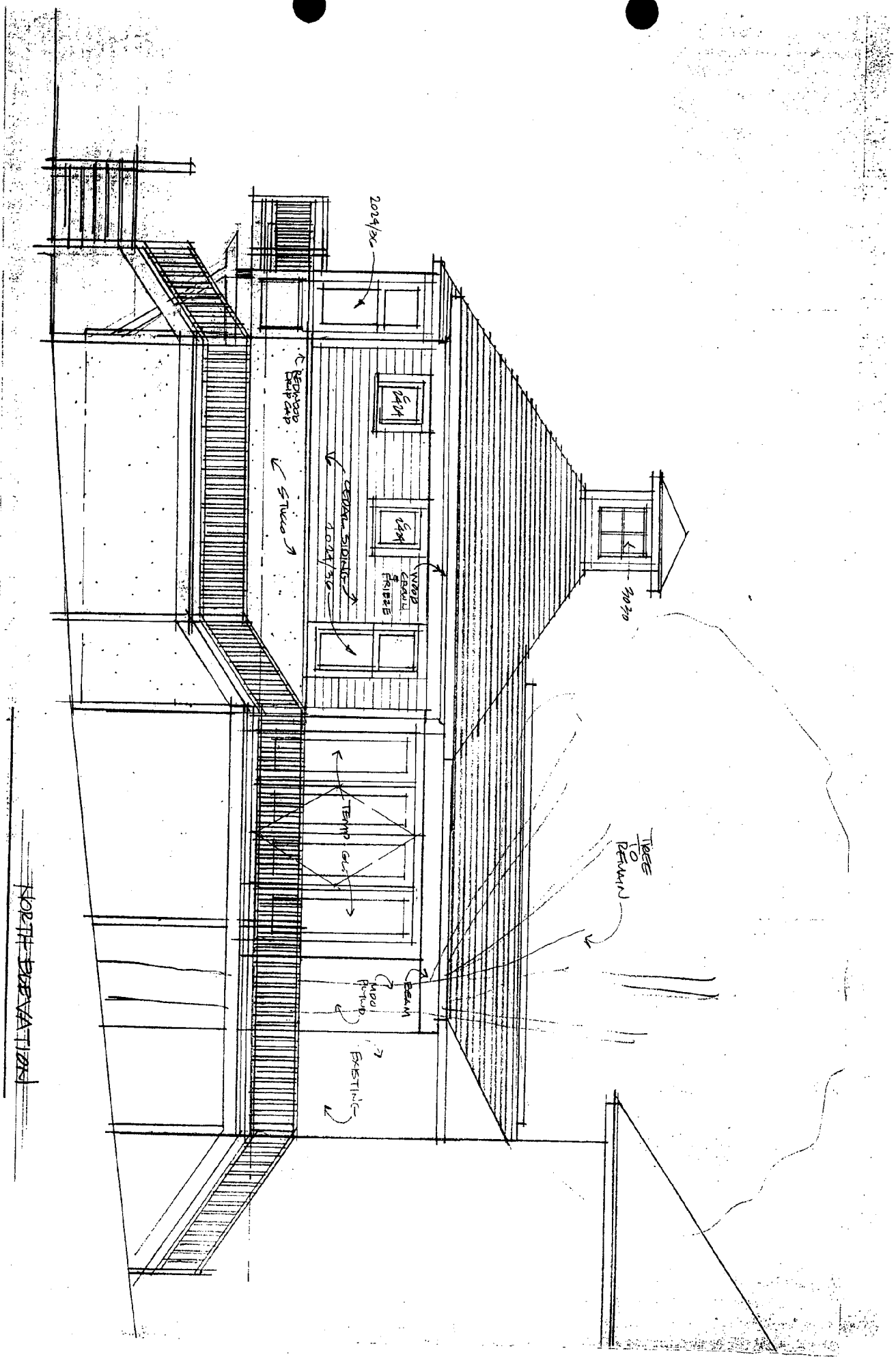
2x6

EXIST'G LEVEL





EAST ELEVATION  
1/4" = 1'-0"



NO. 11 BREVATIN