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Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850 279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # NA	이탈레그램, 이호 레스웨스 함께 시작하다 그 얼마나 다른
NAME OF PROPERTY OWNER DENNIS & LYNN VAUGHAN	TELEPHONE NO. 301 589-3374
(Contract/Purchaser)	(Include Area Code)
ADDRESS 7207 HOLLY AV. TAKOMA PARK CONTRACTOR NOT VET CHOSEN	STATE ON SER OLIVE
CONTRACTOR NOT VET CHOSEN	TELEPHONE NO.
PLANS PREPARED BY THE TOTAL STREET STRATION NUM	TELEPHONE NO.
REGISTRATION NUMBER 2065.	Strictude Area Gode) 07 730917
LOCATION OF BUILDING/PREMISE	
House Number 7207(X) Street Howel ARRIVE	#4-REMOVE TREES IN Y
Town/City TAKOMA PARK Election Dis	
Nearest Cross Street Washes Spanish Wall Walter	ાર્ક કો કો સ્ત્રોલકો કા કો કહ્યું કહ્યું કે માના કરવા છે. જો માના કોઈ કો
Lot 5 Block b Subdivision B. F. 614.	BERT ADULTION
Liber Folio Parcel	
	Circle One: A/C Slab Room Addition Porch Deck Fireplace Shed Solar Woodburning Stove Fence/Wall (complete Section 4) Other DRIVEWIRY
18. CONSTRUCTION COSTS ESTIMATE \$ NOT AVAILABLE	YET
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PERCO 1E. ISTHIS PROPERTY A HISTORICAL SITE? NO	
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS 2A. TYPE OF SEWAGE DISPOSAL 2B. 01 () WSSC 02 () Septic 03 () Other	TYPE OF WATER SUPPLY 01 () WSSC 02 () Well 03 () Other
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL 4A # A HEIGHT # feet	following locations: ocable Letter Required).
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Signature of owner or authorized agent (agent must have signature notarized on back)	Date
***************************************	**********
APPROVED For Chairperson, Historic Preservation (
DISAPPROVED Signature Christia S	Miller Date 10-11-88
APPLICATION/PERMIT NO: 5A-17 FILI	NG FEE:\$
	MIT FEE:\$
	ANCE \$
OWNERSHIP CODE: REC	FEE WAIVED:
SEE REVERSE SIDE FOR I	NSTRUCTIONS OF CLOSE CONSTRUCTIONS

& tree removae contingent upon approved City of Takoma Rik

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION OF THE SECOND OF

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drives, walks, fences, patios; etc. proposed or existing) and/or ARCHITECTURAL DR	AWINGS (floor plans, elevations, etc.),
PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the propo	
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ROCKVILLE, MARYLAND-20850	Water to prove the constraint of
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Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850

APPLICATION FOR HISTORIC AREA WORK PERMIT

City of Takoma

NAME OF PROPERTY OWNER DENNIS & LYNN VAUGE	TELEPHONE NO. 301 589-	3374
(Contract/Purchaser)	(Include Area Code)	2001-
(Contract/Purchaser) ADDRESS 1207 HOLLY AV, TAKOMA PARIS	MA) STATE	21P
LUNIHACIUH _NDI_JEI_CIIDSEIU	ILLLINONLINO,	
CONTRACTOR REGIST		
PLANS PREPARED BY	TELEPHONE NO	<u></u>
REGISTRATION NUMB		
LOCATION OF BUILDING/PREMISE	<u>.</u>	
House Number 7207 Street HOLLY		
Town/City TAKOMA PARK	Election District	
Vearest Cross Street TULIP AV		<u>, , , , , , , , , , , , , , , , , , , </u>
Lot 5 Block b Subdivision B, A	GILBERT ADDITION	The state of the s
Liber Folio Parcel	200 (100 m) (100 m)	
1A. TYPE OF PERMIT ACTION: (circle one)	Circle One: A/C Slab	Room Addition
Construct Extend/Add Alter/Renovate Repa		Solar Woodburning Stov
18. CONSTRUCTION COSTS ESTIMATE \$ NOT AVAI	LABLE YET	
IC. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACID. INDICATE NAME OF ELECTRIC UTILITY COMPANY	TIVE PERMIT SEE PERMIT #	
1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY		
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PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/		
2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () Septic	2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () Well	
03 () Other	03 () Other	
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL		
4A.#2 HEIGHT 4 feet 0 inches		
4B. Indicate whether the fence or retaining wall is to be constructed		
1 On perty line/Property line Y		
On party line/Property line		
On party line/Property line	(Revocable Letter Required).	
3. On public right of way/easement	(Revocable Letter Required).	construction will comply wi
On public right of way/easement I hereby certify that I have the authority to make the foregoing appli	(Revocable Letter Required).	
3. On public right of way/easement	ication, that the application is correct, and that the out this to be a condition for the issuance of this permit.	
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THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS.

APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

/ - ASPHALT EXISTING DIRT/BRAVEL DRIVEWAY

J - BUILD BLOCK RETAINING WALL - MAXIMUM OF 30' LONG,

4' HIGH TAPERING TO 3' HIGH ALONG PROPERTYLINE

IN BACKYARD

#4- REMOVE TREES IN VARD (LOWER BACK)

TO AZALEAS FOR PASSING DOGS.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ADDITIONAL INFORMATION AND PHOTOS ATTACHED

18" RED BRICK WALL TO SEPARATE FRONT

YARD FROM SIDEWALK AND PROVIDE ALTERNATE

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

LOCAL ADVISORY COMMITTEE REVIEW FORM

EXTERIOR ALTERATIONS

I.	Location of property			
•	a. Located within the <u>Takoma Park</u> historic district.			
	b. This is a Master Plan/Atlas historic district (circle one).			
	c. Address of Property: 7207 Holly Takoma Park			
	d. Property owner's name, address and phone number: Dennis + Lynn VAUShn 1207 Holly Takoma Park			
	(h) 589-3374 (w)			
	e. Is this property a contributing resource within the historic district? Yes No			
	f. On a map of the district locate this property and any adjacent historic resources. Will this work impact other contributing historic resources? Yes No			
II.	Description of work proposed.			
	a. Briefly describe proposed work: 1. Asphalt pave driveway (presently dirt & gravel) 2. Build block retaining wall on north property line in back yard 20'long 2-4' high - not visible from street.			
	3. 18" high red brick wall to separate from yard from sidewalk			
	4. Thin trees in lower end of back jard. 5. Add Lattice to base of rear Addition, paint to match b. Is this work on the front, rear, or side of the structure? Front & rear			
	c. Is the work visible from the street?			
	yes			
	d. What are the materials to be used?			
	As described in a.			
	e. Are these materials compatible with existing materials? How? If not, why?			
	Asphalt-yes brick-in cases			
	Block in rear-yes			
4				

III.Recommendations of the Local Advisory Committee

- a. Approval of Work
 - 1. Which criteria found in the Ordinance for Historic Preservation (Sec. 24A-8-b of the Montgomery County Code) does this work meet?

 Criteria 2 Compatible with house + neighborhood
 - 2. What conditions, if any, must be met in order for the proposed work to meet the above criteria? (example: the proposed windows should be double hung to conform with existing windows)

Remove project # 3 from application. Brich wall Not compatible. Takoma City inspector will rule on #4-tree thinning.

LAC does not object if city approves.

b. Disapproval of Work

- 1. On what grounds is disapproval recommended? Refer to Sec. 24A-8.
- 2. How could this proposal be altered so as to be approved?

IV. Additional comments

Cost + compatibility of brick wall caused applicant to remove brick wall from application.

Date on which application received: 9/27/88

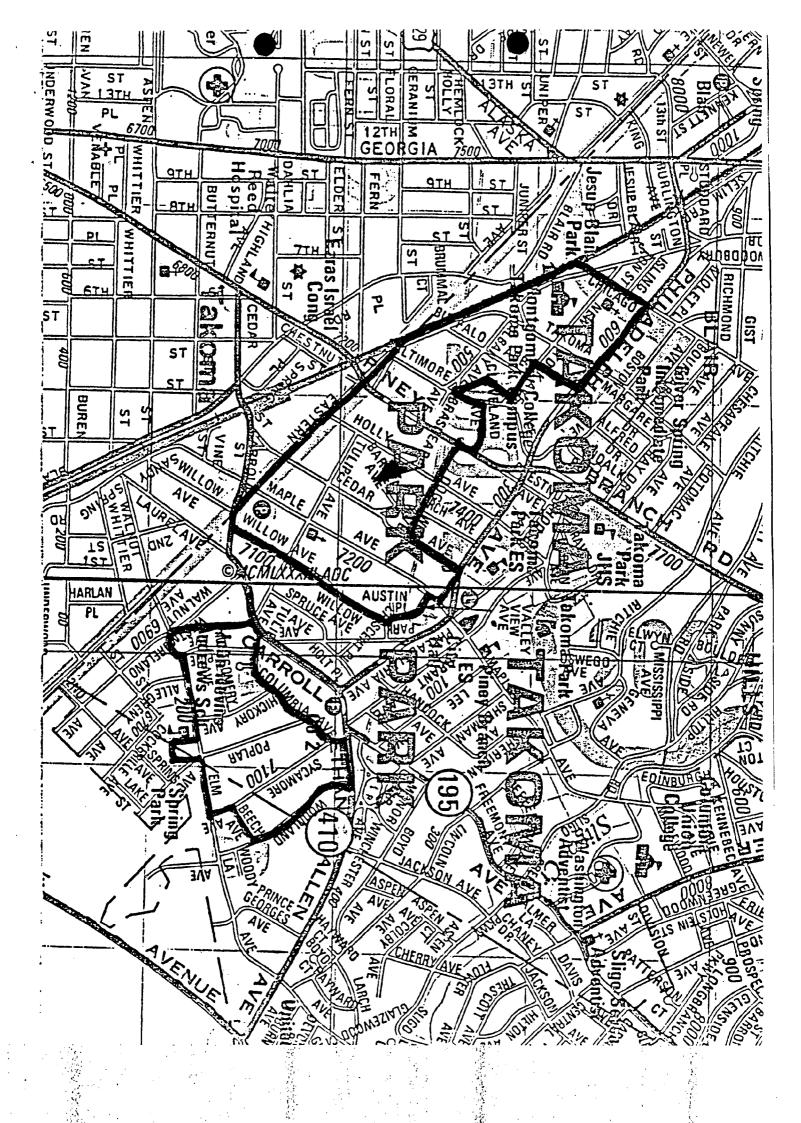
Date of LAC meeting at which application was reviewed: 9-27-88

Form completed by: Douglas A. Dunn Title: Member LAC

Member of: Takoma Pork LAC

Date: 9/27/88

ling Location Plat Part of Lot 5 Block 6 P.F. Gilbert's Addition TAKOMA PARK Scale: 1" 30" enlarged from 8/2 x // Montgomery County, Maryland Surveyor's Certificate We hereby certify that we have carefully examined the property shown hereon in accordance with record description; that all of the existing buildings have been located by a transit-tape survey; that lot corners have not been set by this survey unless otherwise shown: Frey, Sheehan, Stoker & Assoc., Inc. Date: May 29, 1986 Land Planning Consultants Phone 588-3110) Plat Book Plat No. A COULER James F. Sheehan Professional Land Surveyor Md. No. 3984 ,18° BRICK WALL ASHPHALT DRIVEWAY PROJECT #1project - FRAME I KUTE WALL PROJECT #A V OHOLLY O.O OAPPLE DUILL CANT VACANT LOT TREED LOT DITH DRIVE AND PARKING AND PARKING FOR 1202 HOLLY BH17 . WALL O = TREE LARGER THAN 6" DIA , G 4-13 : MULBERRY # 14 = WILD CHERRY # 1 = OAK # 3 = WEEPING CHERRY #16= ? HI . MAPLE . PROJECT #4-# 5 = HIRSE ORESTANT # 17 = DEAD APPLE H S . WILD CHERRY ! TREE REMOVAL # 7 = HORSE CHESTNUT # 9 = HEMLOCK H 10 = WILL WICKORY # 11 - MAPLE H 12 - HOLLY



HISTORIC PRESERVATION COMMISSION

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Applicant:	Dennis & Lynn Vaughan
Applicant's Address:	7207 Holly Avenue, Takoma Park
Type of Revi	ew:
HAWP Maintena Subdivis	nce Substantial AlterationX Demolition ion Other
Site No. (At	las): 37/3 - Takoma Park HIstoric District
Site Adress:	from applicant)
Advertise	ed: YesNo X
addition, erosion, b	escribe action to be taken) ing driveway (asphalt), add lattice to cover posts holding build a block retaining wall in back yard to control uild 18" high red brick wall across front yard and re- es in rear yard. LAC approves paving driveway, retaining ck yard and tree removal, if Takoma Park approves tree
Staff recommon	
In-house re	eview indicates work is not substantial alteration. approval with LAC conditions.
Date: 10/5	/88 Staff:
HPC Action:	Signature:
	.*
Date:	•
AGVH/rm D68Ui	

Min Alteration

HISTORIC PRESERVATION COMMISSION Staff Review Form Applicant: Applicant's Address: Type of Review: HAWP Substantial Alteration Maintenance Demolition Subdivision Other_ Site No. (Atlas): Takone Park Historic Dish & Site Adress: (if different from applicant) Advertised: Yes (describe action to be taken) Proposed: lattice to cover por Staff recommendations and comment 88 Staff: HPC Action: Signature: Date: AGVH/rm 0680i

PROJECT 3 - LOW BRICK WALL BETWEEN HOUSE AND STREET

Although we don't plan to begin this until next spring, we would like to build a low red brick wall to protect the azaleas we've planted from passing dogs. It would begin on the yard side of the large oak and run across the front yard, break for the sidewalk, then to the property line. It would be approximately 35 feet long by 18 inches high and match the front walk and foundation.



PROJECT 4 - TREE REMOVAL

Our house was a rental unit for 20 years. During this time a number of trees sprouted in the yard which are tangled together and/or blocking light from older trees. Of special concern are trees labelled #14 and #15 on the Plat. Tree #12 is a holly 66 inches in circumference which was measured during the Takoma Park Bicentennial and found to be the largest holly in Maryland west of the eastern shore. We want to remove these two wild cherrys crowding it. I was unable to get a picture of this because of the general tangle in that part of the yard. We also want to remove the combination of trees shown in the picture. This will allow the healthy maple sapling in the lower left growing room, and allow us to start a weeping cherry sapling where the wild grape hanging off of the dead tree.

PROJECT #2 - CONCRETE BLOCK RETAINING WALL

Existing shaded slope of subsoil cannot be successfully planted without working in sufficient topsoil, which will steepen an already steep slope. To improve soil and slope, we wish to construct a stepped block retaining wall which will prevent erosion and allow a more workable garden area along the property line. The wall will follow the slope which runs across the yard and taper from 3 1/2 to 4 feet to approximately 2 feet further in the back yard. None of it will be visible from the street.



Views of slope facing up from yard toward street.

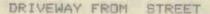
ATTACHMENT
DENNIS & LYNN VAUGHAN
APPLICATION FOR HISTORIC AREA WORK PERMIT
7207 HOLLY AVENUE
TAKOMA PARK, MD
9/26/88

PROJECT #1 - ASPHALT DRIVEWAY

Asphalt will extend to kitchen porch footing. Slight slope toward existing stone wall will be incorporated to prevent drainage into neighbor's yard.

addition. Paint to mater.

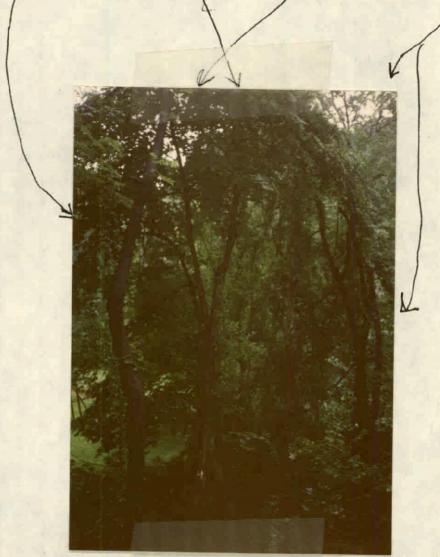






DRIVEWAY FACING STREET

#10, wild hickory; #11, maple; wild cherry sapling; #17, dead



Building Location Plat

Part of Lot 5 Block 6 P.F. Gilbert's Addition TAKOLA PARK

Montcomery County, Maryland Scale: 1" 30 entarged from 8/2 x/1

Surveyor's Certificate

We hereby certify that we have carefully examined the property shown hereon in accordance with record description; that all of the existing buildings have been located by a transit-tape survey; that lot corners have not been set by this survey unless otherwise shown:

Frey, Sheehan, Stoker & Assoc., Inc. Date: May 29, 1986 Land Planning Consultants Phone 588-3110 Plat Book A Plat No. James F. Sheehan Professional Land Surveyor Md. No. 3984 VECT-118" BRICK WALL ASHPHALT DRIVEWAY PROJECT #1-PROJECT # DIALL 207 - FRAME HOLLY - VICTORIAN CHOLLY 200 O APPLE SHEERE! #9 0 VACANT TREED LOT BHIT FOR 7203 HOLLY ODO = WALL O = TREE LARGER THAN 6" PIA #- 13 = MULBERRY # 14 = WILD CHERRY # 1= OAK # 3 = WEEPING CHERRY # 15= " PROJECT #4-# b = HIRSE OHESTNUT I 17 = DEAD APPLE TREE REMOVAL # 7 = HORSE CHESTNUT # 8 = OAK # · 9 = HEMLOCK HID = WILE HICKORY # 11 = MAPLE # 13 = HOLLY

Building Location Plat

Part of Lot 5 Block 6 P.F. Gilbert's Addition TAKOMA PARK

Montcomery County, Marvland

Scale: 1"= 30 enlarged from 8/2 XII

Surveyor's Certificate

We hereby certify that we have carefully examined the property shown hereon in accordance with record description; that all of the existing buildings have been located by a transit-tape survey; that lot corners have not been set by this survey unless otherwise shown:

