

37/3 7207 Holly Ave.
SA 17

#37/3



Historic Preservation Commission
100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # N/A

NAME OF PROPERTY OWNER DENNIS & LYNN VAUGHAN TELEPHONE NO. 301 589-3374
(Contract/Purchaser) (Include Area Code)

ADDRESS 7207 HOLLY AV. TAKOMA PARK STATE MD ZIP # 20912

CONTRACTOR NOT YET DETERMINED TELEPHONE NO. N/A

PLANS PREPARED BY N/A CONTRACTOR REGISTRATION NUMBER N/A TELEPHONE NO. N/A
(Include Area Code)

REGISTRATION NUMBER N/A

LOCATION OF BUILDING/PREMISE

House Number 7207 Street (Back)

Town/City TAKOMA PARK Election District _____

Nearest Cross Street PHOENIX

Lot 5 Block 6 Subdivision B. F. GILBERT ADDITION

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend/Add	<input type="checkbox"/> Alter/Renovate	<input type="checkbox"/> Repair	Circle One: <input checked="" type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition
<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Move	<input type="checkbox"/> Install	<input type="checkbox"/> Revocable	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Fireplace
			<input type="checkbox"/> Revision	<input checked="" type="checkbox"/> Fence/Wall (complete Section 4)	<input type="checkbox"/> Shed	<input type="checkbox"/> Solar
					<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Other

1B. CONSTRUCTION COSTS ESTIMATE \$ NOT AVAILABLE YET

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 () WSSC	02 () Septic
03 () Other	

2B. TYPE OF WATER SUPPLY

01 () WSSC	02 () Well
03 () Other	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A #2 HEIGHT 4 feet 0 inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line:
- Entirely on land of owner:
- On public right of way/easement: _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Date 9/26/88

Signature of owner or authorized agent (agent must have signature notarized on back)

APPROVED [Signature] For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature Christina Miller Date 10-11-88

APPLICATION/PERMIT NO: SA-17 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

* tree removal contingent upon approval
City of Takoma Park

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION:

DESCRIPTION OF PROPOSED WORK (including composition, color and texture of materials to be used):

Handwritten description of proposed work, including details about materials and site conditions.

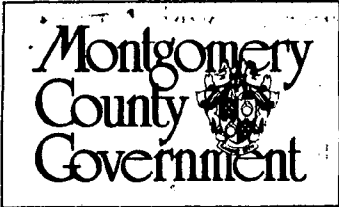
(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

SEE MEMBER ZONE FOR INSTRUCTIONS

#3713



Historic Preservation Commission

100 Maryland Avenue, Rockville, Maryland 20850
279-1327

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # N/A

NAME OF PROPERTY OWNER DENNIS & LYNN VAUGHAN TELEPHONE NO. 301 589-3374
(Contract/Purchaser) (Include Area Code)

ADDRESS 7207 HOLLY AV, TAKOMA PARK CITY MD STATE 20912 ZIP

CONTRACTOR NOT YET CHOSEN TELEPHONE NO. N/A

PLANS PREPARED BY N/A CONTRACTOR REGISTRATION NUMBER N/A

REGISTRATION NUMBER N/A

LOCATION OF BUILDING/PREMISE

House Number 7207 Street HOLLY AV

Town/City TAKOMA PARK Election District _____

Nearest Cross Street TULIP AV

Lot 5 Block 6 Subdivision B. F. GILBERT ADDITION

Liber _____ Folio _____ Parcel _____

- 1A. TYPE OF PERMIT ACTION: (circle one)
- | | | | | | | |
|---|-------------------------------------|---|------------------------------------|---|-------------------------------|--|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend/Add | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> Repair | Circle One: A/C | Slab | Room Addition |
| <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Revocable | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Fireplace |
| | | | <input type="checkbox"/> Revision | <input checked="" type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Shed | <input type="checkbox"/> Solar Woodburning Stove |
- 1B. CONSTRUCTION COSTS ESTIMATE \$ NOT AVAILABLE YET
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A
- 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO
- 1E. IS THIS PROPERTY A HISTORICAL SITE? NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL
- | | |
|--------------------|---------------|
| 01 () WSSC | 02 () Septic |
| 03 () Other _____ | |
- 2B. TYPE OF WATER SUPPLY
- | | |
|--------------------|-------------|
| 01 () WSSC | 02 () Well |
| 03 () Other _____ | |

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 4A. HEIGHT 4 feet 0 inches
- 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/Property line
 - Entirely on land of owner
 - On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent (agent must have signature notarized on back)

9/26/88 Date

APPROVED For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature Christina [Signature] Date 10-11-88

APPLICATION/PERMIT NO: SA-17 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

* tree removal contingent upon approval by City of Takoma Park

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

#1 - ASPHALT EXISTING DIRT/GRAVEL DRIVEWAY

#2 - BUILD BLOCK RETAINING WALL - MAXIMUM OF 20' LONG,
4' HIGH TAPERING TO 2' HIGH ALONG PROPERTY LINE
IN BACKYARD

~~#3 - BUILD 18" RED BRICK WALL TO SEPARATE FRONT
OF YARD FROM SIDEWALK AND PROVIDE ALTERNATE
TARGET TO AZALEAS FOR PASSING DOGS.~~

#4 - REMOVE TREES IN YARD (LOWER BACK)

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ADDITIONAL INFORMATION AND PHOTOS ATTACHED

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:
HISTORIC PRESERVATION COMMISSION
100 MARYLAND AVENUE
ROCKVILLE, MARYLAND 20850

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

LOCAL ADVISORY COMMITTEE REVIEW FORM

EXTERIOR ALTERATIONS

I. Location of property

- a. Located within the Takoma Park historic district.
b. This is a Master Plan/Atlas historic district (circle one).

c. Address of Property: 7207 Holly
Takoma Park

d. Property owner's name, address and phone number:

Dennis + Lynn VAUGHN
7207 Holly
Takoma Park

(h) 589-3374 (w)

e. Is this property a contributing resource within the historic district? Yes No .

f. On a map of the district locate this property and any adjacent historic resources. Will this work impact other contributing historic resources? Yes No .

II. Description of work proposed.

a. Briefly describe proposed work:

1. Asphalt pave driveway (presently dirt & gravel)
2. Build block retaining wall on north property line in back yard
20' long 2-4' high - not visible from street.
3. 18" high red brick wall to separate front yard from sidewalk
4. Thin trees in lower end of back yard.
5. Add Lattice to base of rear addition, paint to match.

b. Is this work on the front, rear, or side of the structure?

Front & rear

c. Is the work visible from the street?

yes

d. What are the materials to be used?

As described in a.

e. Are these materials compatible with existing materials? How? If not, why?

Asphalt - yes brick - in cases
Block in rear - yes

III. Recommendations of the Local Advisory Committee

a. Approval of Work

1. Which criteria found in the Ordinance for Historic Preservation (Sec. 24A-8-b of the Montgomery County Code) does this work meet?

Criteria 2 Compatible with house + neighborhood

2. What conditions, if any, must be met in order for the proposed work to meet the above criteria? (example: the proposed windows should be double hung to conform with existing windows)

Remove project # 3 from application. Brick wall not compatible. Takoma City inspector will rule on #4 - tree thinning. LAC does not object if city approves.

b. Disapproval of Work

1. On what grounds is disapproval recommended? Refer to Sec. 24A-8.

2. How could this proposal be altered so as to be approved?

IV. Additional comments

Cost + compatibility of brick wall caused applicant to remove brick wall from application.

Date on which application received: 9/27/88

Date of LAC meeting at which application was reviewed: 9-27-88

Form completed by: Douglas A. Duan Title: Member LAC

Member of: Takoma Park LAC

Date: 9/27/88

Building Location Plat
 Part of Lot 5 Block 6
 P.F. Gilbert's Addition
 TAKOMA PARK
 Montgomery County, Maryland

Scale: ~~1" = 30'~~
 Surveyor's Certificate

enlarged from 8 1/2 x 11

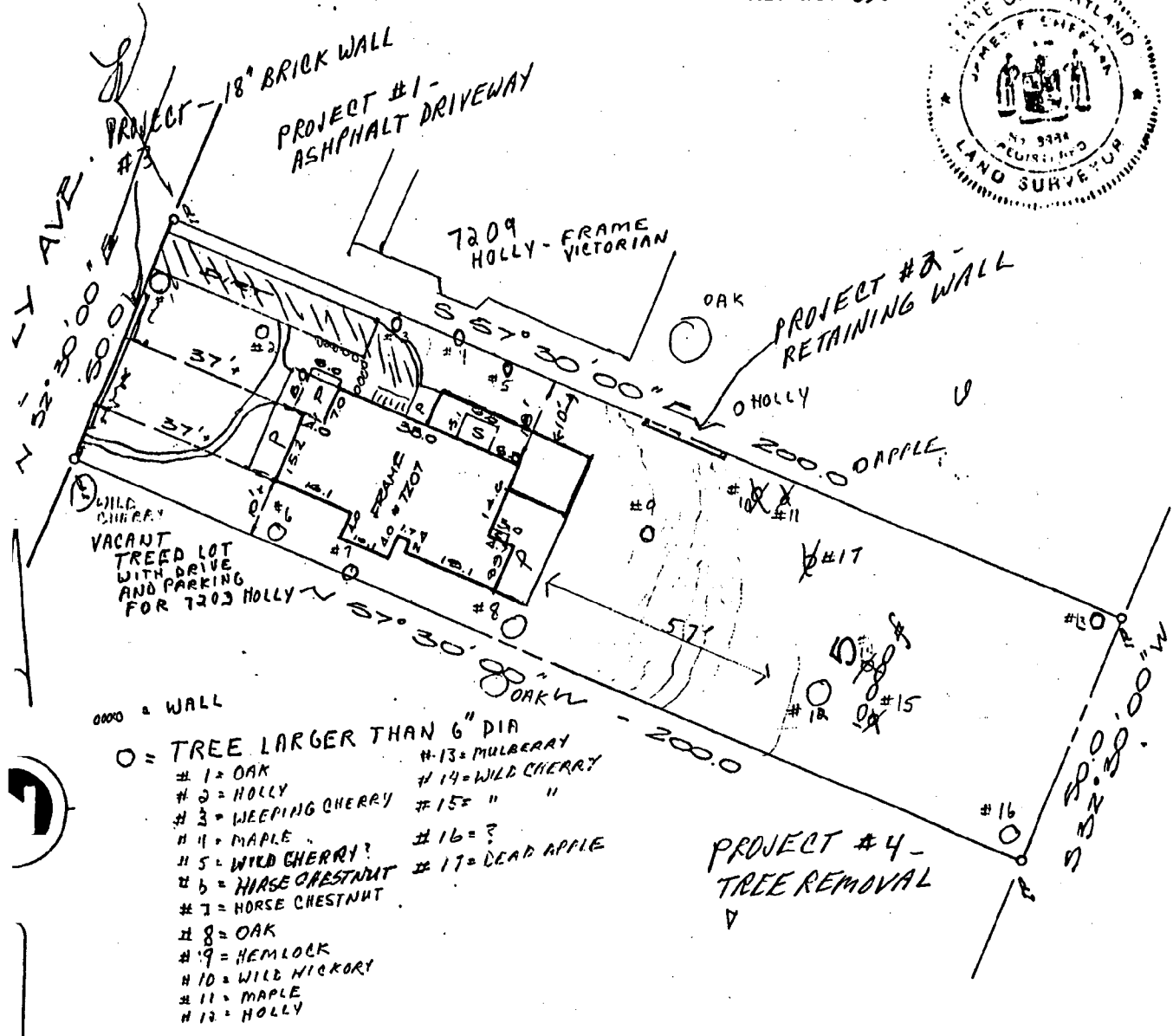
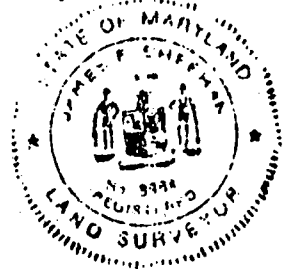
We hereby certify that we have carefully examined the property shown hereon in accordance with record description; that all of the existing buildings have been located by a transit-tape survey; that lot corners have not been set by this survey unless otherwise shown:

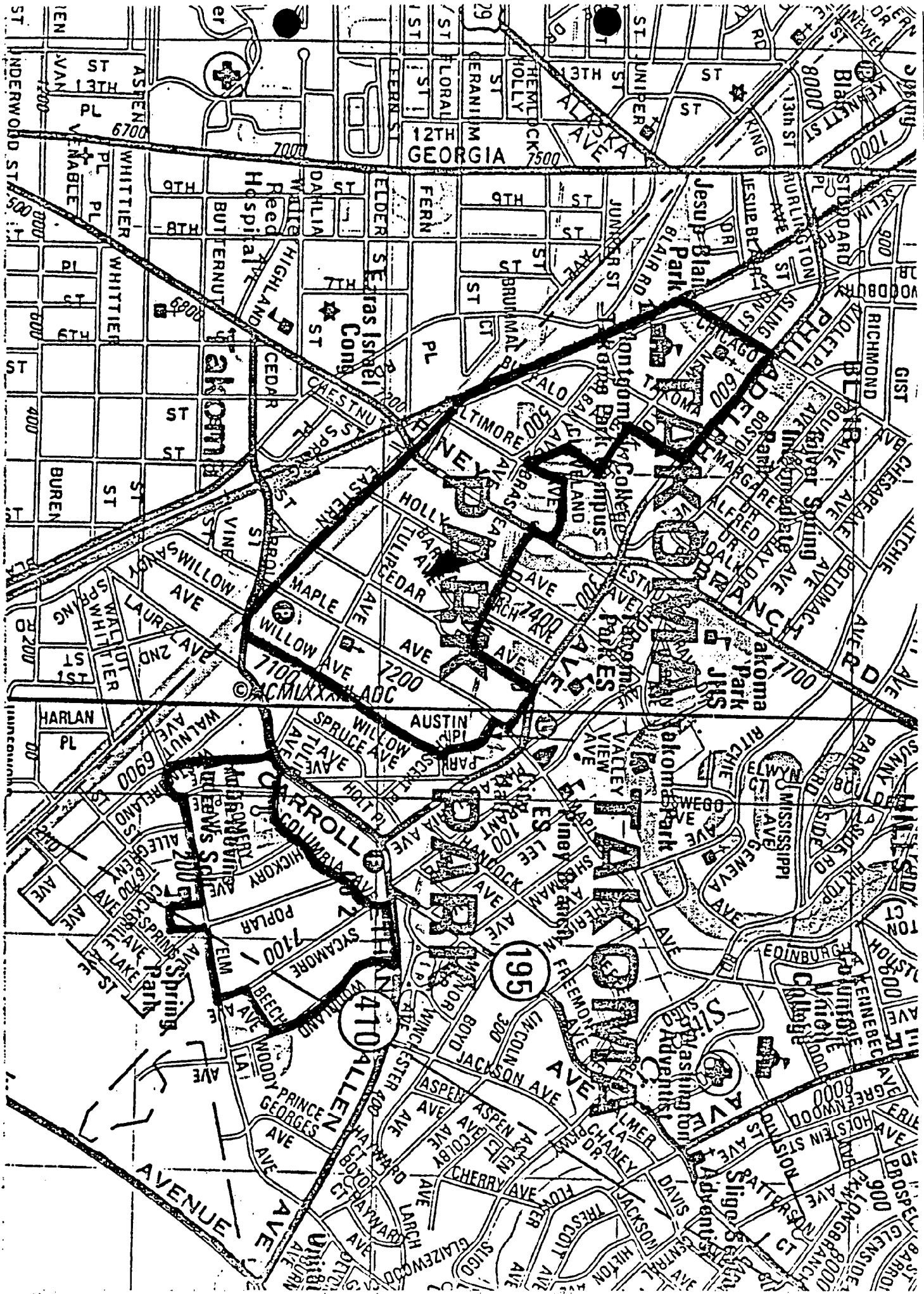
Date: May 29, 1986

Frey, Sheehan, Stoker & Assoc., Inc.
 Land Planning Consultants
 Phone 588-3110

Plat Book A
 Plat No. 3

By: *James F. Sheehan*
 James F. Sheehan
 Professional Land Surveyor
 Md. No. 3984





12TH
GEORGIA

St. Francis
Hospital

St. Joseph's
Hospital

410

195

St. Francis
Congregational
Church

St. Joseph's
Hospital

St. Francis
Congregational
Church

St. Joseph's
Hospital

St. Francis
Congregational
Church

St. Joseph's
Hospital

St. Francis
Congregational
Church

Staff Review Form

HISTORIC PRESERVATION COMMISSION

Applicant: Dennis & Lynn Vaughan

Applicant's Address: 7207 Holly Avenue, Takoma Park

Type of Review:

HAWP _____	Substantial Alteration <u>X</u>
Maintenance _____	Demolition _____
Subdivision _____	Other _____

Site No. (Atlas): 37/3 - Takoma Park Historic District

Site Address: _____
(if different from applicant)

Advertised: Yes _____ No X

Proposed: (describe action to be taken)
Pave existing driveway (asphalt), add lattice to cover posts holding addition, build a block retaining wall in back yard to control erosion, build 18" high red brick wall across front yard and remove 4 trees in rear yard. LAC approves paving driveway, retaining wall in back yard and tree removal, if Takoma Park approves tree removal.

Staff recommendations and comments:

In-house review indicates work is not substantial alteration. Recommend approval with LAC conditions.

Date: 10/5/88

Staff: _____

HPC Action: _____

Signature: _____

Date: _____

AGVH/rm
0680i

Minor Alteration

Staff Review Form

HISTORIC PRESERVATION COMMISSION

Applicant: D. & C. Vaughan

Applicant's Address: 7207 Holly Ave, Takoma Park

Type of Review:

HAWP _____
Maintenance _____
Subdivision _____

Substantial Alteration
Demolition _____
Other _____

Site No. (Atlas): 37/3 Takoma Park Historic Dist. ✓

Site Address: _____
(if different from applicant)

Advertised: Yes _____ No

Proposed: (describe action to be taken)
Place existing driveway (asphalt) → add lattice to cover post holes
build a block retaining wall in back yard to control erosion, build 18" high red brick
wall across front yard & remove 4 trees in rear yard. CAC
approves paving driveway, retaining wall in back yard
& tree removal, if Takoma Park approves tree removal

Staff recommendations and comments:
in house review indicates work is not substantial alteration.
Recommend approval w/ CAC conditions.

Date: 10/5/00

Staff: _____

HPC Action: _____

Signature: [Signature]

Date: _____

~~PROJECT 3 - LOW BRICK WALL BETWEEN HOUSE AND STREET~~

~~Although we don't plan to begin this until next spring, we would like to build a low red brick wall to protect the azaleas we've planted from passing dogs. It would begin on the yard side of the large oak and run across the front yard, break for the sidewalk, then to the property line. It would be approximately 35 feet long by 18 inches high and match the front walk and foundation.~~



PROJECT 4 - TREE REMOVAL

Our house was a rental unit for 20 years. During this time a number of trees sprouted in the yard which are tangled together and/or blocking light from older trees. Of special concern are trees labelled #14 and #15 on the Plat. Tree #12 is a holly 66 inches in circumference which was measured during the Takoma Park Bicentennial and found to be the largest holly in Maryland west of the eastern shore. We want to remove these two wild cherries crowding it. I was unable to get a picture of this because of the general tangle in that part of the yard. We also want to remove the combination of trees shown in the picture. This will allow the healthy maple sapling in the lower left growing room, and allow us to start a weeping cherry sapling where the wild grape hanging off of the dead tree.

PROJECT #2 - CONCRETE BLOCK RETAINING WALL

Existing shaded slope of subsoil cannot be successfully planted without working in sufficient topsoil, which will steepen an already steep slope. To improve soil and slope, we wish to construct a stepped block retaining wall which will prevent erosion and allow a more workable garden area along the property line. The wall will follow the slope which runs across the yard and taper from 3 1/2 to 4 feet to approximately 2 feet further in the back yard. None of it will be visible from the street.



Views of slope facing up from yard toward street.

ATTACHMENT
DENNIS & LYNN VAUGHAN
APPLICATION FOR HISTORIC AREA WORK PERMIT
7207 HOLLY AVENUE
TAKOMA PARK, MD
9/26/88

PROJECT #1 - ASPHALT DRIVEWAY

Asphalt will extend to kitchen porch footing. Slight slope toward existing stone wall will be incorporated to prevent drainage into neighbor's yard.

Add lattice panels to previous rear addition. Paint to match.



DRIVEWAY FROM STREET



DRIVEWAY FACING STREET

#10, wild hickory; #11, maple; wild cherry sapling; #17, dead



Building Location Plat
 Part of Lot 5 Block 6
 P.F. Gilbert's Addition
 TAKOMA PARK
 Montgomery County, Maryland

Scale: ~~1" = 30'~~ *enlarged from 8 1/2 x 11*

Surveyor's Certificate

We hereby certify that we have carefully examined the property shown hereon in accordance with record description; that all of the existing buildings have been located by a transit-tape survey; that lot corners have not been set by this survey unless otherwise shown:

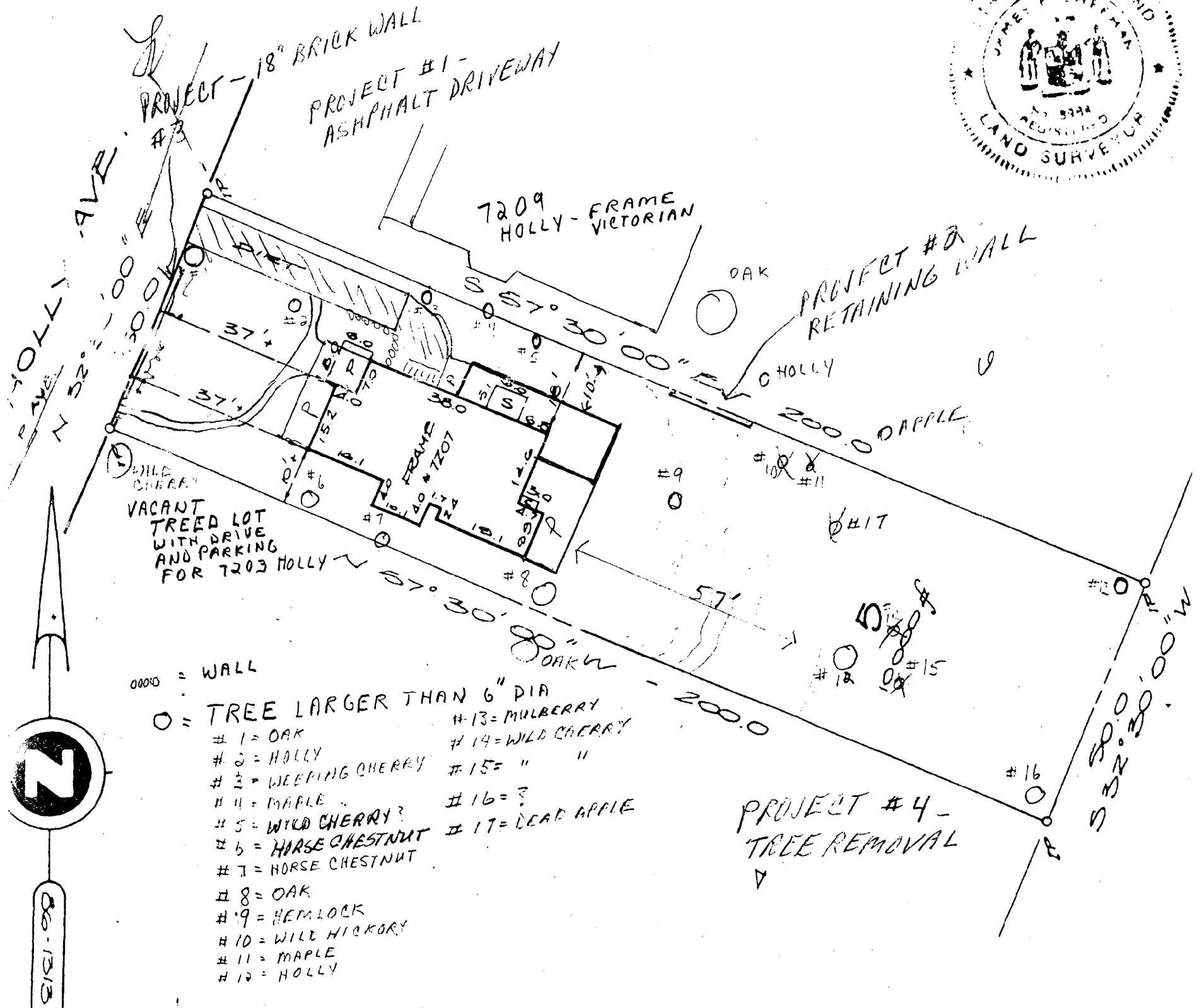
Date: May 29, 1986

Frey, Sheehan, Stoker & Assoc., Inc.
 Land Planning Consultants
 Phone 588-3110

Plat Book A
 Plat No. 3

By: *James F. Sheehan*

James F. Sheehan
 Professional Land Surveyor
 Md. No. 3984



Building Location Plat
 Part of Lot 5 Block 6
 P.F. Gilbert's Addition
 TAKOMA PARK
 Montgomery County, Maryland

Scale: ~~1" = 30'~~ *enlarged from 8 1/2 x 11*

Surveyor's Certificate

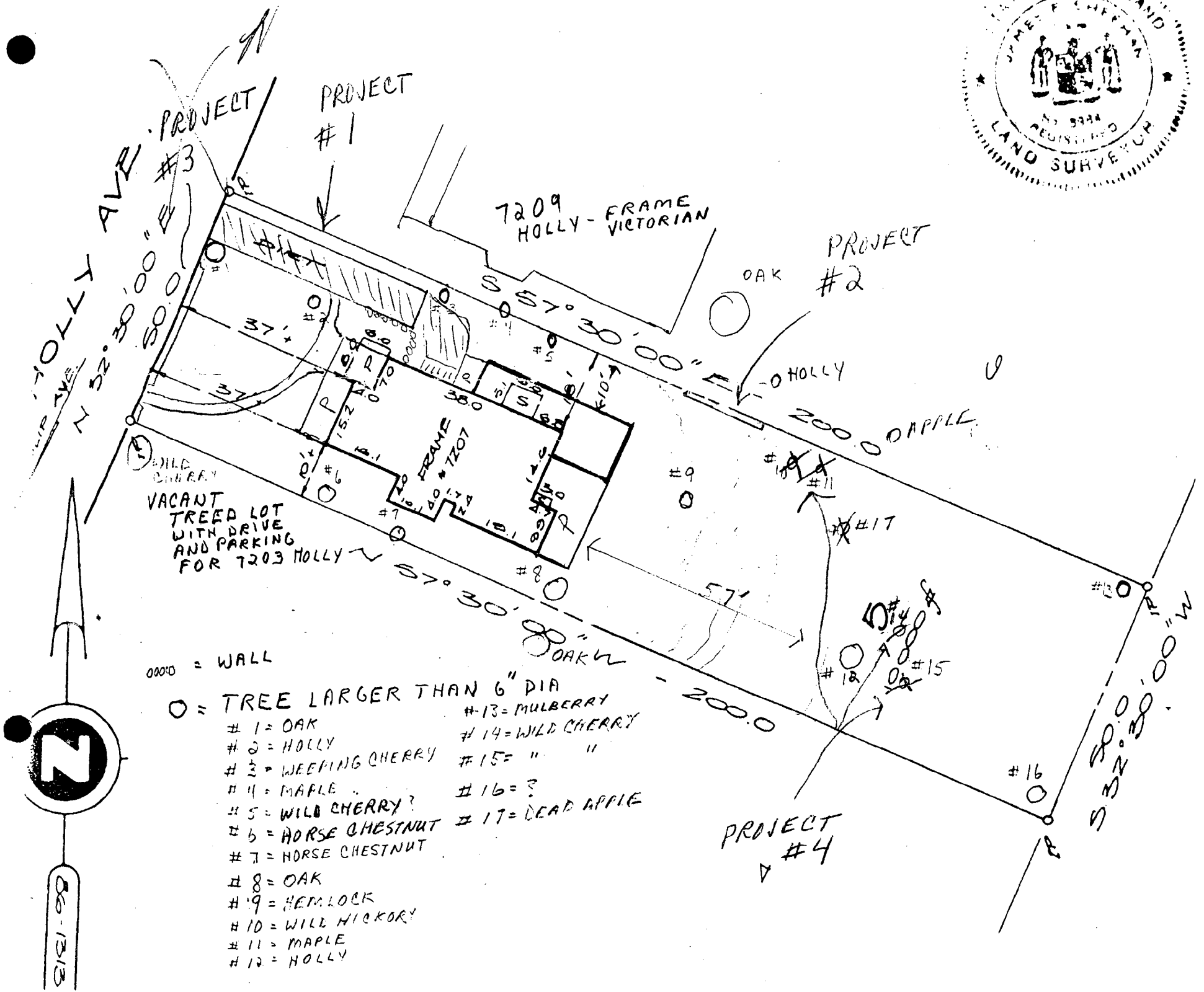
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Date: May 29, 1986

Frey, Sheehan, Stoker & Assoc., Inc.
 Land Planning Consultants
 Phone 588-3110

Plat Book A
 Plat No. 3

By: James F. Sheehan
 James F. Sheehan
 Professional Land Surveyor
 Md. No. 3984



- 0000 = WALL
- O = TREE LARGER THAN 6" DIA
- # 1 = OAK
 - # 2 = HOLLY
 - # 3 = WEeping CHERRY
 - # 4 = MAPLE
 - # 5 = WILD CHERRY?
 - # 6 = HORSE CHESTNUT
 - # 7 = HORSE CHESTNUT
 - # 8 = OAK
 - # 9 = HEMLOCK
 - # 10 = WILD HICKORY
 - # 11 = MAPLE
 - # 12 = HOLLY
 - # 13 = MULBERRY
 - # 14 = WILD CHERRY
 - # 15 = " "
 - # 16 = ?
 - # 17 = DEAD APPLE