

#1-87207, B.F. Gilberts Subdv of Tak Park
Takoma Park Hist. Dist., M.P.#37/3

Approved

Post-it™ Fax Note 7671

To Ted Landphair	Date 4/26/95	# of pages 4
Co./Dept.	From Pat Parker	
Phone # (202) 619-3515	Co. M.N.C.P.P.C.	
Fax # (202) 619-2326	Phone # (301) 495-4730	
	Fax # (301) 495-1307	

TO: Robin URGENT
DATE 4/26 TIME 4:35

WHILE YOU WERE OUT

M Jed Landphair
OF 202 619-7355
PHONE 202/619-3515
AREA CODE NUMBER EXTENSION

- | | |
|--|---|
| <input checked="" type="checkbox"/> TELEPHONED | <input checked="" type="checkbox"/> PLEASE CALL |
| <input type="checkbox"/> CAME TO SEE YOU | <input type="checkbox"/> WILL CALL AGAIN |
| <input type="checkbox"/> WANTS TO SEE YOU | <input type="checkbox"/> RETURNED YOUR CALL |

MESSAGE re: item III 17 on
Timothy's agenda (BF Gilbert's
subdivision of In-Lane Park

will be at approx # until
6:30 p.m. - would like to

SIGNED discuss

MasterBrand

Reorder No. BTM00029

min

6,000 Φ F/SFD detached -
lot width 60 @ front bldg. line.

25' setback line

25' set back from street

15' if corner lot

8' side yard

18' sum of both sides

20' rear yard

accessory bldgs. \leq

25% of rear yard

6' from lot line

2' from rear yard

5' from alley

2' from setback line

35% lot coverage -

LINCOLN AVENUE
+
CARROLL

Sub-

#12/92

Please send original to:

1. Owner: Ernie Sipes ^{pk}
1101 Pines Ridge Road
Spencerville, Md.

2. copy to: Engineer -
Wallace K. Amos & Assoc., Ltd.
9525 Georgia Avenue
Silver Spring, Md. 20910

3. copy to: me
File

Thanks.
Pat.

4:30pm. 4/24/95 -

Lisa Schwartz, TK. Pk. -

1. would not review unless covered by facade ordinance
2. will review May 9th for subdivision

Subdivision #1 - 87207

D.F. Gilbert's Subdiv. of Tr. PK.

involves - located within M.P. Site # 3713

GENERAL NOTES

These plans were designed to conform to the latest edition of Uniform Building Code issued by the International Conference of Building Officials (UBC), the Basic Building Code issued by the Building Officials and Code Administrators International, Inc. (BOCA), and the One and Two Family Dwelling Code issued by the Council of American Building Officials (CABO), adhering in the most stringent code requirements in each case at the time the plans were drawn (exclusive of seismic and high wind regulations). Due to continuous changes in both local and national building codes, accommodating all building restrictions is impossible. Therefore, these plans are subject to local requirements and interpretations. It becomes the responsibility of the user to make certain these plans comply to local code requirements. In the event of a conflict between specifications contained in this set of plans and applicable codes or regulations in your area, the more stringent provision shall apply and be followed during construction. Variations required by local building officials shall not be binding on the designer or the Garlinghouse Co., Inc. The Garlinghouse Co., Inc. is not responsible for the availability of any suggested manufactured products specified on these plans or materials lists.

BUILDER QUALIFICATIONS & CONSTRUCTION STANDARDS

These plans are intended for use only by persons knowledgeable in and familiar with generally accepted methods, techniques and industry standards for construction, and who are familiar with all applicable codes and other regulations that govern the construction of this type of structure. All construction is to be performed in accordance with these regulations and standards. If no building code ordinance has been locally adopted, then the national CABO code should be used. The Garlinghouse Company Inc. cannot be responsible for any construction methods or procedures followed that are not specified or called out specifically in these plans and specifications.

DIMENSIONS

Written dimensions shall take precedence over scale dimensions. (DO NOT SCALE DRAWINGS).

ERRORS AND OMISSIONS

Every effort has been made to insure that these plans are accurate and comply to reflect all current national standards for safe and proper building practices. Any errors or omissions found should be reported to the Technical Services Department of the Garlinghouse Company Inc. at P.O. Box 1717, Middletown, CT 06457. (203) 632-1054. In addition to insuring that errors will be corrected for future purchasers, replacement copies of the plans will be provided to you free of charge once corrections are made.

DESIGN LOADS

These plans were designed to meet the external load conditions noted below. However, design load specifications (especially for roofs) vary from region to region due to local codes and geographic conditions. User must consult with local building code officials to determine if these design load specifications are adequate. If the design loads do not meet local requirements, it becomes the user's responsibility to have these plans altered to conform to such requirements.

	Dead Loads	Live Loads
Roof, with Shakes or Composition Shingles	10 psf	20 psf
First Floor	10 psf	40 psf
Second Floor	10 psf	30 psf
Decks and Balconies	10 psf	60 psf
Ceiling	10 psf	20 psf

(Space above ceilings where limited storage is possible, but additional room construction is not)

INSULATION & WEATHER SEALING

It may be necessary to alter the width of framing members or the size and style of wall sheathing on exterior walls to something other than shown on these plans in order to accommodate alternate insulation materials as may be required by local codes or conventions. Caulking or gasketing is to be applied in all exterior sills and plates and all exterior envelope penetrations (between window or door frames and rough openings). Unless inconsistent with local code requirements, insulation with the following "R" values is to be installed with vapor barrier facing towards the heated space.

Ceiling Insulation (attic space above)	R-30 Min.
Ceiling Insulation (combination rafter-joints)	R-30

Exterior Walls	R-11 Min.
2x4 construction	R-14
2x6 construction	R-14

Floors Over Unheated Crawl Spaces or Unheated Basements	R-10
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Ducts in Unheated Spaces	R-4.2
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Carlserved Floors & Floors Over Garages	R-30
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FOUNDATIONS

1. Footings shall bear on firm, undisturbed soil a minimum of 24" below the final finished grade line for one and two story structures. However, should the final line be locally deeper than 24", then the bottom of footings shall extend below this local frost line. Where sloping grades are involved, footing depths must always be measured from the point at the final finished grade line that is closest to the footing.

2. To insure proper support for the footings and foundation walls, footings must always be poured with a flat bottom surface. Footings may be stepped where necessary to allow footing to remain below frostline on a sloping grade, but the structure may not be built on a site where the finished grade line exceeds thirty degrees down from level. Sloping sites require special engineering for extended foundation walls and stepped footings.

3. A minimum 2500 psi soil bearing is required.

4. Drains shall be provided around all usable spaces located below ground. Drain tiles, perforated pipe, or other methods approved by local codes should be installed at or below the area to be protected, and must discharge by gravity or mechanical means to a drainage system.

5. Apply homogeneous foundation coating on all exterior walls below grade, and damp proofing on all exposed surfaces of masonry walls above grade and on all slabs not covered by finish materials. It is the responsibility of the foundation contractor to waterproof the foundation walls with the appropriate materials for local conditions.

CONCRETE

- All concrete for walls, footings, and basement slabs shall develop and maintain a minimum compressive strength of 2500 psi at 28 day strength.
- All concrete for garage slabs and porches shall develop and maintain a minimum compressive strength of 3000 psi at 28 day strength.
- Concrete forms, shoring and pouring methods shall conform to all current practices endorsed by the American Concrete Institution.
- Reckitt shall not be placed against basement retaining walls until:
 - Concrete or masonry grout has reached its 28-day strength, and
 - Structural floor framing (including sub-floor) required to stabilize walls is complete, fully set and anchored, and
 - Walls have been properly shored.

FRAMING NOTES

The following is a list of procedures to accompany standard building practices and should be followed during the framing of the structure:

- All frame walls shall have stud framing placed at 16" o.c. except where noted otherwise.
- Top plates shall be doubled on all walls except where noted otherwise.
- Jack studs under all headers shall be continuous to sole plate.
- Double joists under all walls parallel to joists except where noted otherwise, also under kitchen cabinets and bath tubs parallel to joists.
- Block all stud walls as required for sheathing.
- Solid blocking between all joists and rafters at supporting walls and beams except at rim joists.
- Double rim joists at all walls parallel to joists.
- Beams, girders, and joists supporting bearing walls or concentrated loads shall not be notched or drilled with holes larger than 1" in diameter.
- All rafters shall be notched to provide full bearing at supports.
- The ends of all joists shall bear on not less than 1 1/2" on wood or metal and not less than 3" on masonry. The ends of all beams or girders shall bear on not less than 3".
- Lap all joists 3" minimum (24" maximum) at all interior bearing supports.
- Mix sills and ledger boards at concrete walls shall have anchor bolts of the size and spacing shown on the drawings. Each board shall be secured with at least two bolts and each board shall have a bolt within 12" of each end.
- Provide double framing at all roof and floor diaphragm penetrations, unless noted otherwise on plans.
- Contractor shall provide adequate bracing or otherwise support all portions of the structure until all members have been permanently joined together.
- All roof trusses shall be designed by a registered engineer for the truss manufacturer. Submit sealed truss engineering drawings to the local Building Department indicating bracing, etc., that may be required.
- All wood in permanent contact with concrete shall be pressure treated with a water borne preservative.
- All mechanical holes through any structural member shall be at the center line of the member in compliance with the latest edition of the Wood Structural Design Data specifications.
- All slabs on grade shall be reinforced with #5, 10/10 welded wire mesh.

WOOD FRAMING

All solid sawn lumber shall be a minimum #2 grade or better with a Fiber Stress in Bending factor (Fb) of 875 psi BASE VALUE and a Modulus of Elasticity (E) of 1,400,000 psi unless otherwise specified. Solid sawn lumber at visually exposed locations shall be of a "select grade" #1 select. All lumber shall have a moisture content of no more than 19%. Lumber shall be graded in accordance with the Western Wood Products Association and/or the Canadian Wood Council.

- Post, Beams, & Headers #2 or Better
- Floor, Ceiling Joists, & Rafters #2
- Plates & Blocking #2
- Sill, Exterior Deck, & Balcony Components Pressure Treated
- Studs Stud Grade
- Roof Sheathing 1/2" C-D Plywood (20/16) with interior/exterior glue
- Sub-Floor over Joists 3/4" T&G Plywood
- Glue-Lam Beams-A I T C Industrial Grade with dry use adhesive (wet use for exterior use)
- Laminated Veneer Lumber (LVL) Fb 2800 psi, E-2, 1,000,000

WINDOW & DOOR REQUIREMENTS

- All windows are noted by window schedule in plan and elevation, with specific manufacturer selection by owner and/or contractor. Contractor must verify all required rough framing openings.
- Bedrooms and sleeping areas must have at least one window with a sill height of no more than 44" above the floor which will meet local code egress requirements.
- All windows, patio doors, and doors with glass shall be double glazed, insulated units with wood or aluminum frame and sash.
- Exterior doors are to be foam-core insulated steel doors unless otherwise noted.
- All doors between garage and living areas shall be one hour fire rated assemblies with 1 3/4" solid wood core (or code approved equivalent) with self-closing mechanism.

MISCELLANEOUS

- Plumbing diagrams or drawings shall be provided by the Plumbing Contractor. Heating/Cooling duct diagrams or drawings shall be provided by the Heating, Ventilation and Air Conditioning contractor.
- Heat loss or energy use calculations shall be provided by the heating/cooling contractor or other professional as required by regulations.
- All fireplaces will be U.L. approved zero-clearance fireplaces with triple-wall metal flue, U.L. approved spark arrester chimney cap with galvanized rain cap. All fireplace openings shall be provided with tempered glass doors. Provide outside combustion air for fireplaces, wood stoves, and liquid fuel heating appliances (U.B.C. 3707.11).
- Smoke detectors shall be connected to house power (with battery back-up) if required by local code and all smoke detectors shall be interconnected.
- Tub and shower enclosures are to have 1/2" water resistant gypsum board and a hard, moisture resistant surface up to 6'-0" (min) above the floor.
- All exhaust fans, range hoods, and dryers shall vent to the outside through sheet metal ducts. Caulk around all penetrations through exterior envelope.
- Provide 5/8" type "X" fire rated, gypsum board between garage and living areas including garage ceilings and under all stairs where storage space is available.



- Owner is responsible for site location of all foundation and slab penetrations (i.e. sewer, water, underground power conduit stub-up).
- Stair treads and risers shall not exceed the code required maximum and/or minimum dimensions.
- All stairs with 3 or more risers must have code compliant handrail.
- A vapor-permeable air infiltration barrier is to be installed between the wall sheathing and siding.
- Prior to starting construction, the user of these plans must verify the availability of all manufactured products suggested or specified, herein.
- All manufactured articles, materials, and equipment shall be applied, installed, connected, erected, used, cleaned, etc. in accordance with the manufacturer's representatives in writing.
- Structure is designed to carry the load of composition roof shingles or shakes. Should substantially heavier roof materials be contemplated, then the structure will need to be redesigned accordingly.
- All glass within 12" of a door and/or 18" of the floor or a walkway shall have tempered glazing.
- The contractor is responsible for providing adequate bracing or to otherwise support all portions of the structure until all members have been permanently fastened together.

STRUCTURAL & MISCELLANEOUS METAL

Structural steels, bars, and plates shall be steel meeting American Society for Testing & Materials (ASTM) standard A36. Pipe columns, where shown on plans, shall be standard weight meeting ASTM A53, type S, Grade B. Design and fabrication shall conform to the latest edition of American Institute of Steel Construction (AISC) specifications. Exposed welds shall be ground smooth and flush. Reinforcement shall be bent cold and shall not be welded. All items except those to be attached with cast-in-place concrete shall be shop primed with rust primer. Erection shall conform to AISC specifications.

CONNECTORS & FASTENERS

- All nailing and fastening shall comply with the applicable code's Nail Fastening Schedule (UBC Table [25-C], BOCA Appendix E).
- All flush beams and girders shall use joist hangers to support abutting joists and rafters.

FLASHING

Install flashing and counter-flashing of 28-gauge galvanized metal or aluminum wherever dissimilar building materials join or intersect at the outside of the structure. This includes all intersections of the roof with vertical walls, chimneys, and dormers, and as otherwise shown on the drawings. Flashing must also be installed above windows and doors, and at all horizontal joints in sheet siding.

GUTTERS

All gutters shall be made of aluminum or as otherwise shown on drawings. Gutters should be secured a minimum of every 4'-0" with approved fasteners.

ABBREVIATIONS

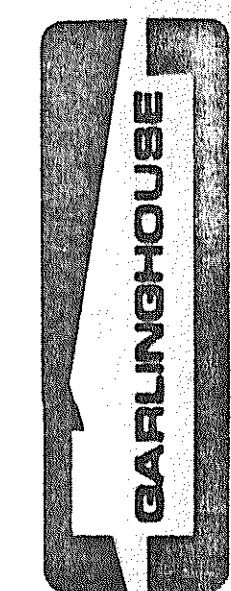
AFF	above finish floor	JST	joist
ARCH	architect (url)	LAM	laminated (if)
BSMNT	basement	LL	Live Load
BRG	bearing	LVL	Laminated Veneer Lumber
BD	board	MFG	manufacturer
BLDG	building	MAX	maximum
BM	beam	MECH	mechanical
		MIN	minimum
CAB	cabinets	NO	number
CLG	ceiling	o.c.	on center
CTR	center, centered	OPT	optional
CC	center to center		
CLR	clear (ence)		
CONC	concrete	PEN	plywood and nail
CONSTR	construction	psf	pounds per square inch
CONT	continuous	psf	pounds per square foot
d	penny (nail size)	QTY	quantity
DL	Dead Load	REQD	required
DIAM	diameter	R.O.	rough opening
DRWG	drawing	S.C	solid core
EW	each way	SO	sloped
ELEC	electric (nl)	STD	standard
ELEV	elevation	STOR	storage
EXT	exterior	T&G	tongue & groove
FIN	finished	TYP	typical
FLR	floor	UNO	unless noted otherwise
FD	floor drain	VERT	vertical
FTG	footing	WC	water closet
FDN	foundation	W	(steel section i.e. W12x5)
GA	gauge	W/W	with
GWB	gypsum wall board	W/W	welded wire mesh
		WD	wood

Architectural Drawing Index	
A-1	Cover Sheet/General Notes
A-2	Basement Foundation Plan/Details
A-3	Main Level Floor Plan/Kitchen Cabinet Plan/Window Schedule/Room Finish Schedule
A-4	Upper Level Floor Plan/Bath Vanity Elevations/Plumbing Riser Diagram
A-5	Elevations
A-6	Cross Section/Details
A-7	Cross Section/Stair Section/Detail
E-1	Electrical Plans
S-1	Alternate Block Foundation Details
S-2	Framing Plans

Owner: _____
 Address: _____
 Lot No: _____
 Drawn By: _____
 Approved By: _____
 Date: _____

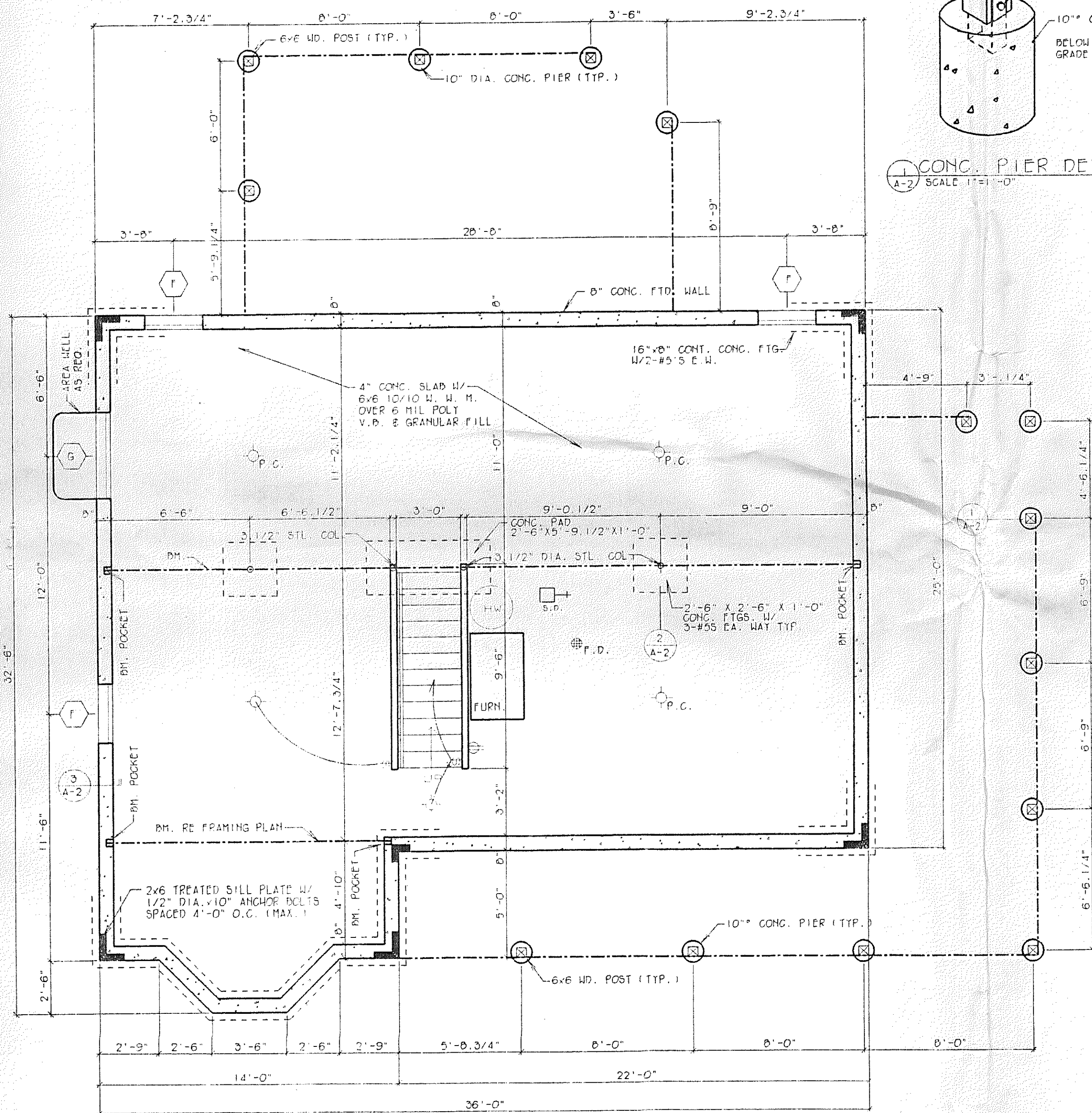
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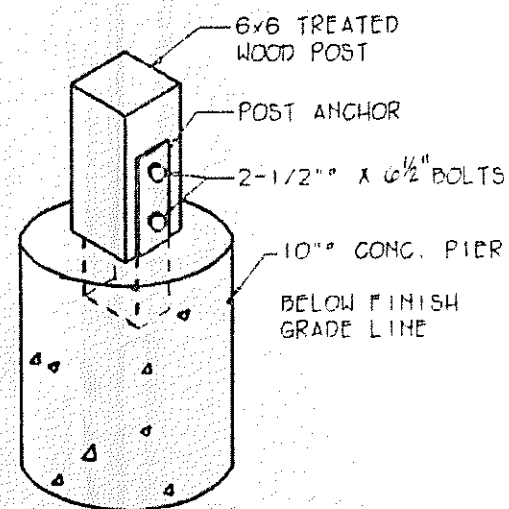
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24301
 SHEET
A-1



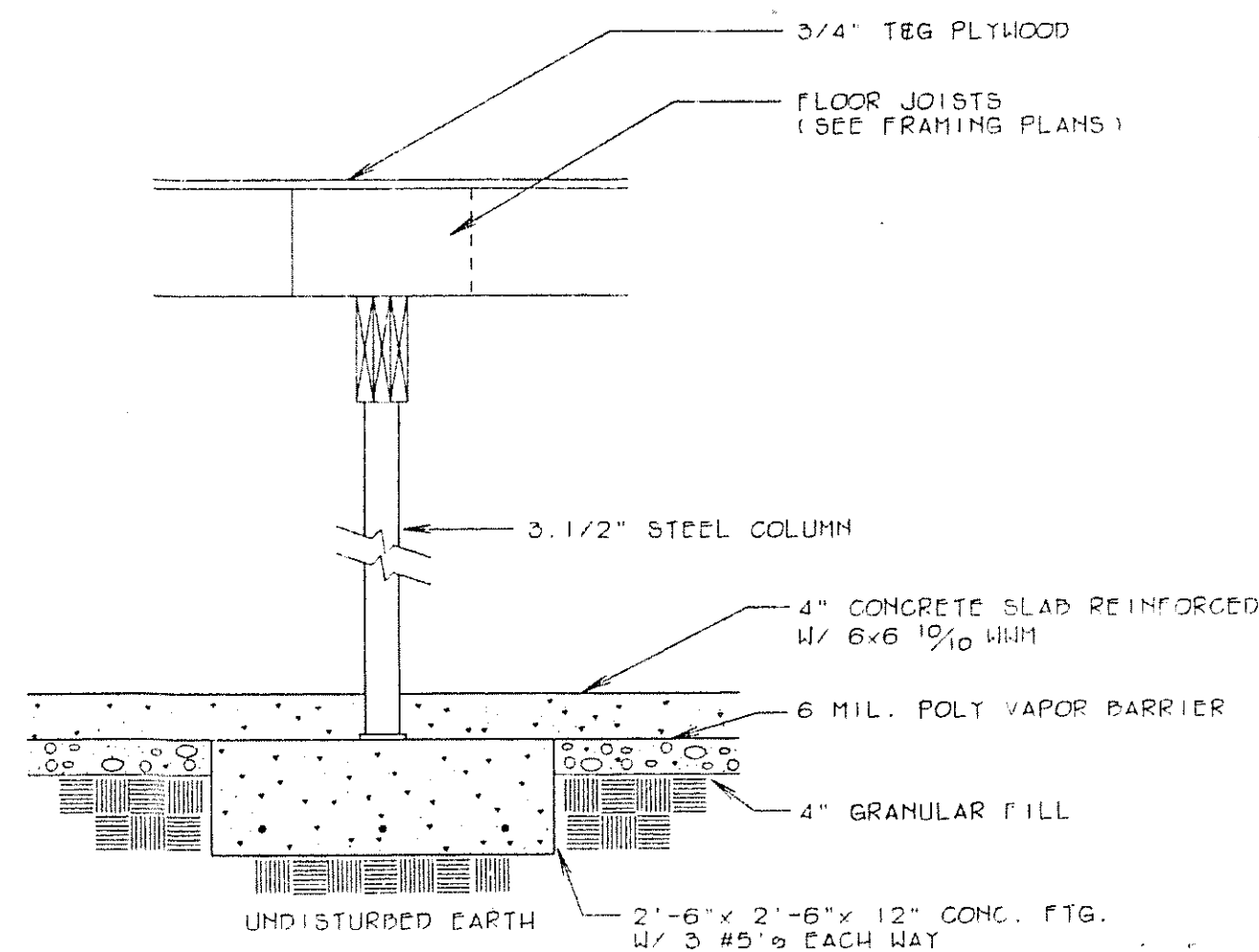
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

NOTE:
ALL WINDOWS AND PATIO DOORS SHOWN ON THIS PLAN ARE ANDERSEN NARROW LINE WOOD CASED PRODUCTS. CHECK LOCAL BUILDING CODES FOR LIGHT, VENTILATION, AND EGRESS REQUIREMENTS.

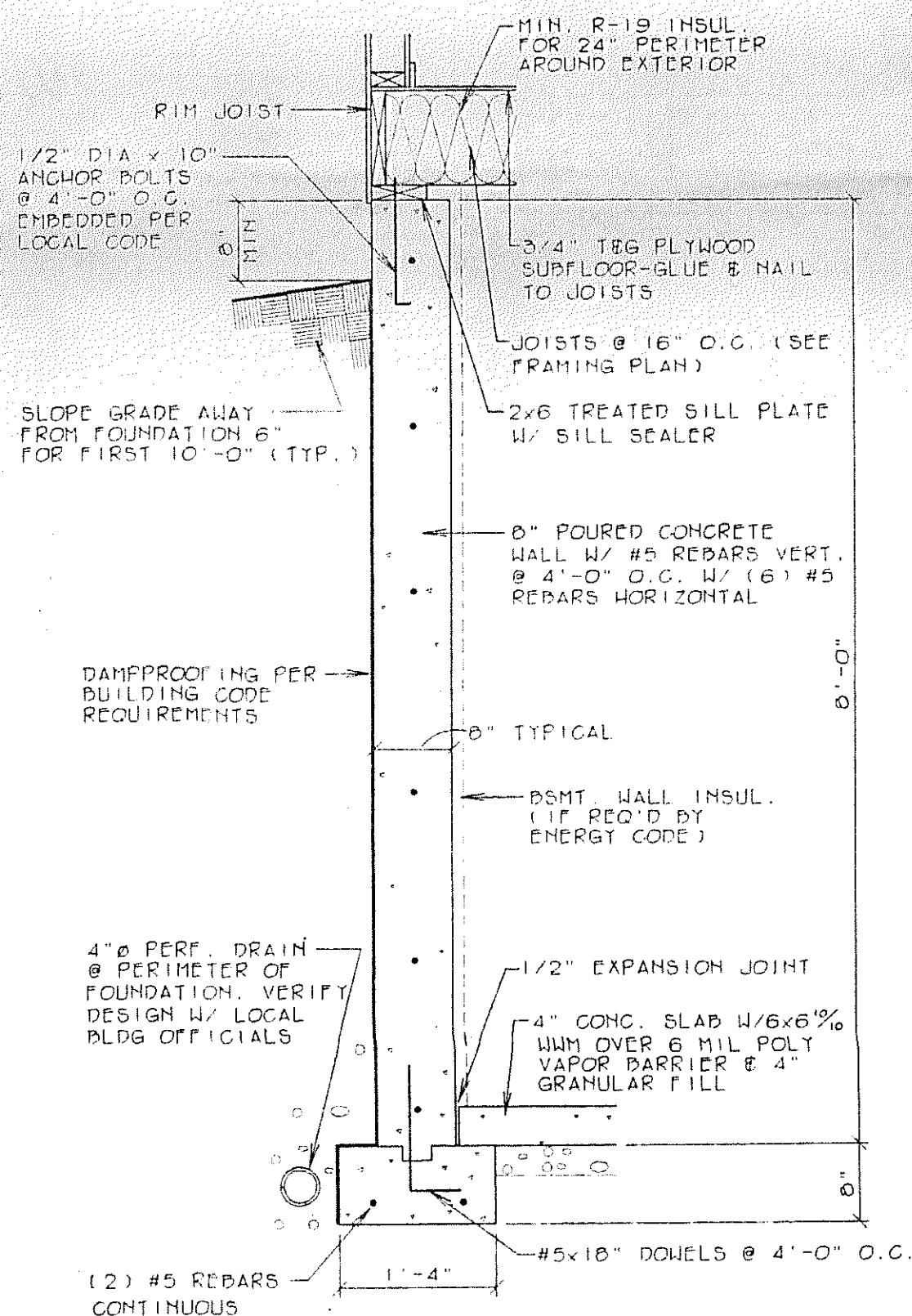
IMPORTANT NOTE ABOUT EGRESS REQUIREMENTS FOR BASEMENTS:
SOME BUILDING CODES REQUIRE A SECOND MEANS OF EGRESS FROM A BASEMENT. BEFORE BEGINNING CONSTRUCTION, THE OWNER MUST:
1) DETERMINE IF SUCH A CODE HAS BEEN ADOPTED LOCALLY.
2) DETERMINE WHAT METHOD OF EGRESS WILL SATISFY SUCH CODE REQUIREMENTS, AND,
3) PROVIDE AN ADDENDUM TO THESE PLANS INDICATING WHAT METHOD OF EGRESS OPENING TO INSTALL AND WHERE TO INSTALL IT.



1 CONC. PIER DETAIL
SCALE: 1" = 1'-0"



2 COLUMN FOOTING
SCALE: 3/4" = 1'-0"

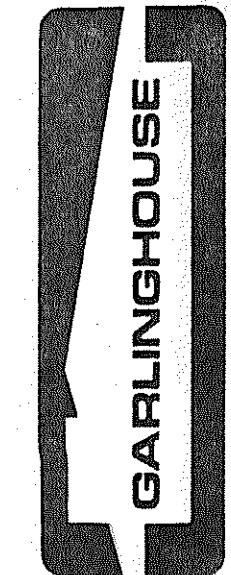


3 FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"

Owner:	Lot No:
Address:	Revisions:
Designed By:	Approved By:
Drawn By:	

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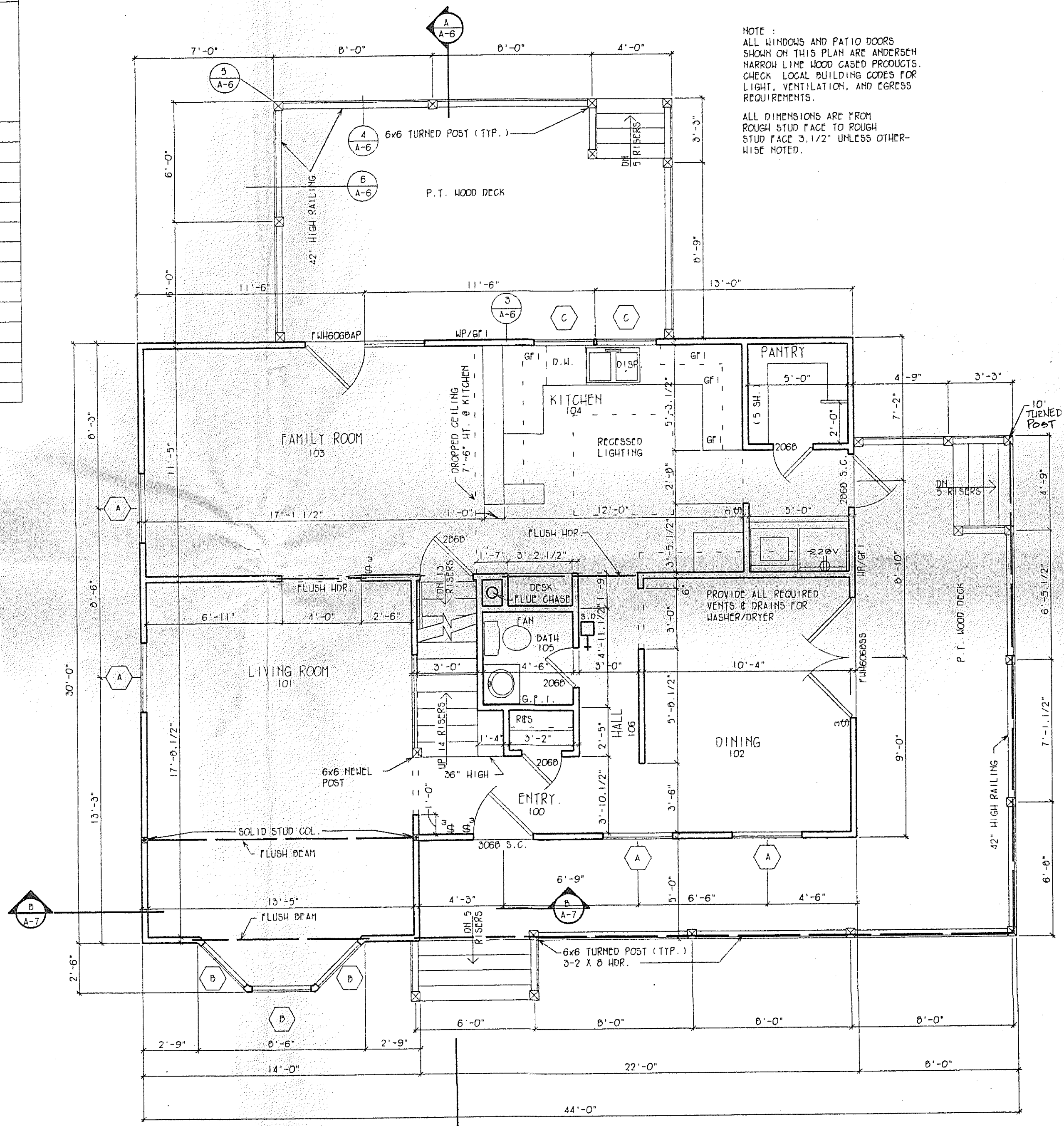
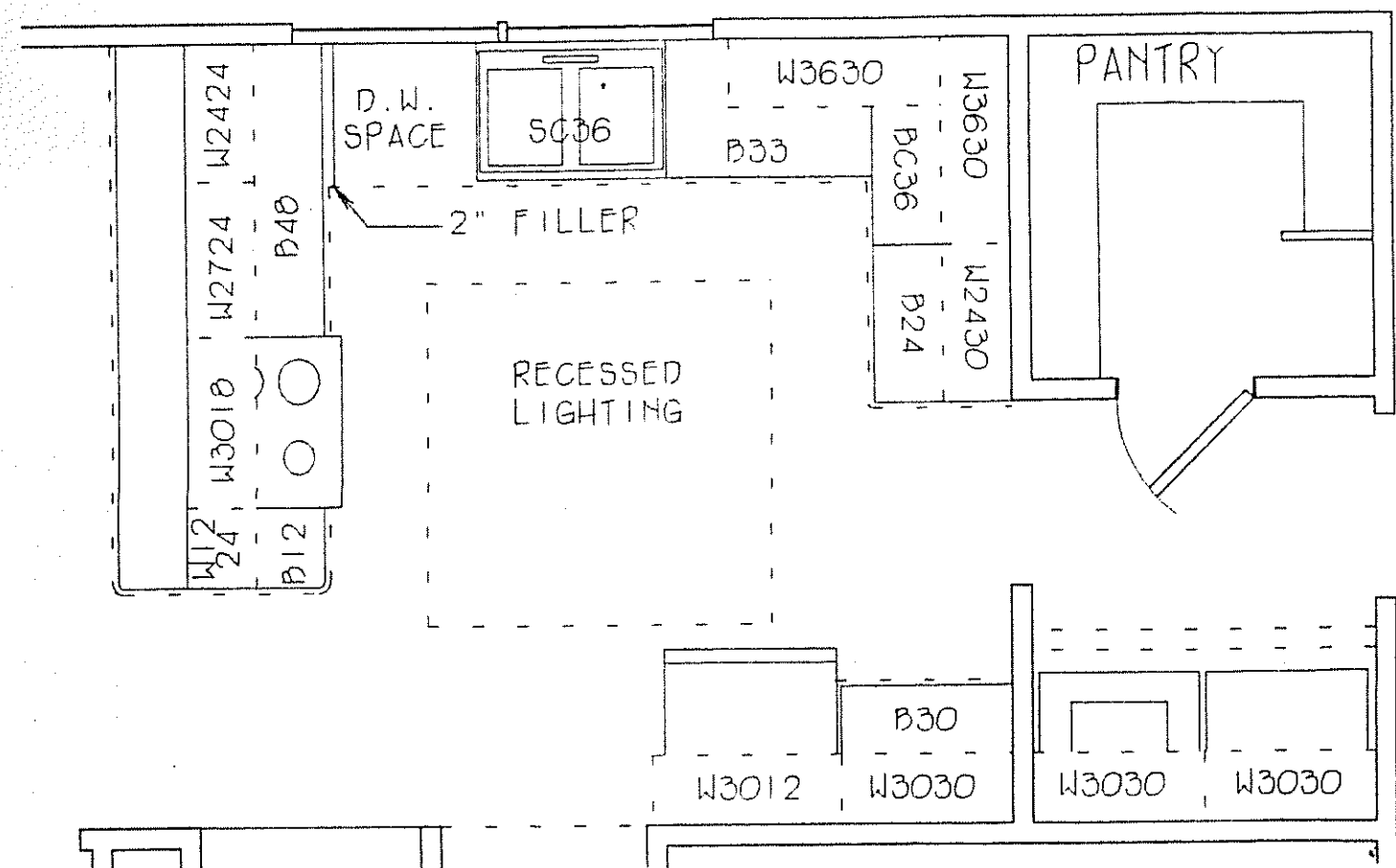
PLAN NO.
24301
SHEET
A-2

ROOM FINISH SCHEDULE								
NO.	ROOM NAME	FLOOR	BASE		WALLS		CLG.	REMARKS
			WOOD	OTHER	WOOD PANELING	OTHER		
			QUARRY TILE					
			VINYL TILE					
			WOOD DECKING					
			CARPET					
			OTHER					
			WOOD	VINYL COVE				
			OTHER					
			WOOD PANELING					
			CERAMIC TILE					
			1/2" GIP. BD.					
			V. WALL COVERING					
			OTHER					
			WOOD DECKING					
			1/2" GIP. BD.					
100	ENTRY							
101	LIVING ROOM							
102	DINING							
103	FAMILY ROOM							
104	KITCHEN							
105	BATH							
106	HALL							
200	HALL							
201	M. BEDRM. #1							
202	BEDRM. #2							
203	BEDRM. #3							
204	BEDRM. #4							
205	M. BATH							
206	BATH							

FINISH ON ALL WALLS

FINISH ON WALL SHOWN ONLY

WINDOW SCHEDULE					
SYMBOL	MANUFACTURER	MODEL #	UNIT DIMENSION	ROUGH OPENING SIZE	REMARKS
(A)	ANDERSEN	3456	3'-5.5/8" x 5'-9.1/4"	3'-6.1/8" x 5'-9.1/4"	
(B)		2852	2'-9.5/8" x 5'-5.1/4"	2'-10.1/8" x 5'-5.1/4"	
(C)		30210-2	6'-5.1/4" x 3'-1.1/4"	6'-5.3/4" x 3'-1.1/4"	
(D)		3446	3'-5.5/8" x 4'-9.1/4"	3'-6.1/8" x 4'-9.1/4"	
(E)		3046	3'-1.5/8" x 4'-9.1/4"	3'-2.1/8" x 4'-9.1/4"	
(F)		2820	2'-8.1/8" x 1'-11.3/8"	2'-8.5/8" x 1'-11.1/4"	
(G)		654	4'-11.1/4" x 3'-11.1/4"	5'-0" x 4'-0"	

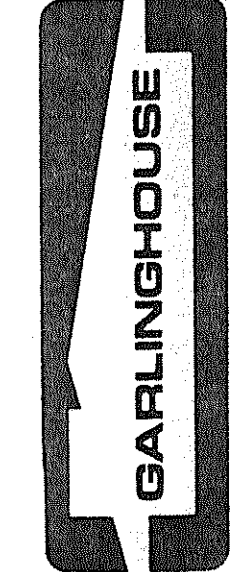


NOTE:
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ALL DIMENSIONS ARE FROM ROUGH STUD FACE TO ROUGH STUD FACE 3/12" UNLESS OTHERWISE NOTED.

Owner: _____
Address: _____
Designed By: _____
Drawn By: _____
Approved By: _____
Lot No: _____
Revisions: _____

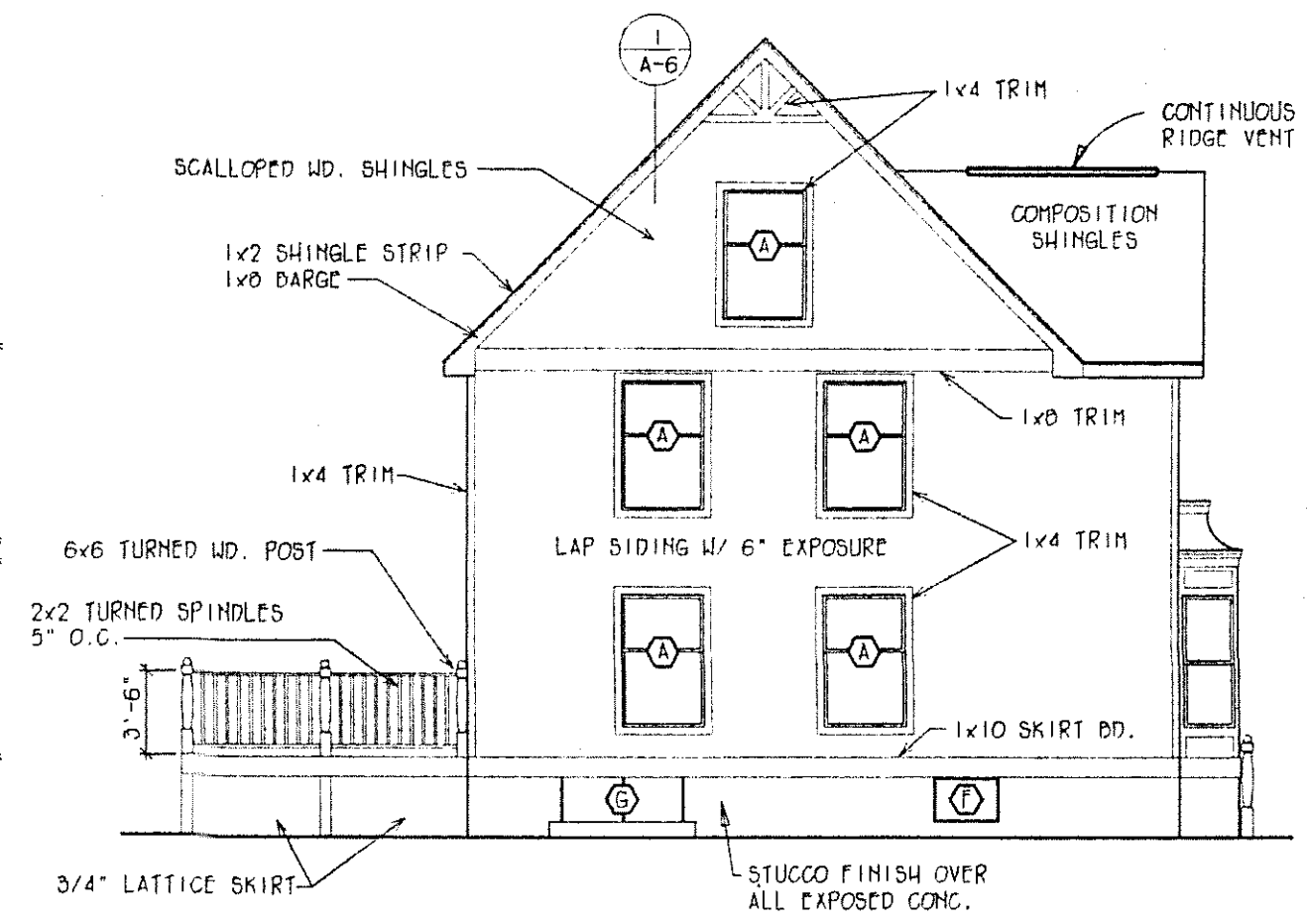
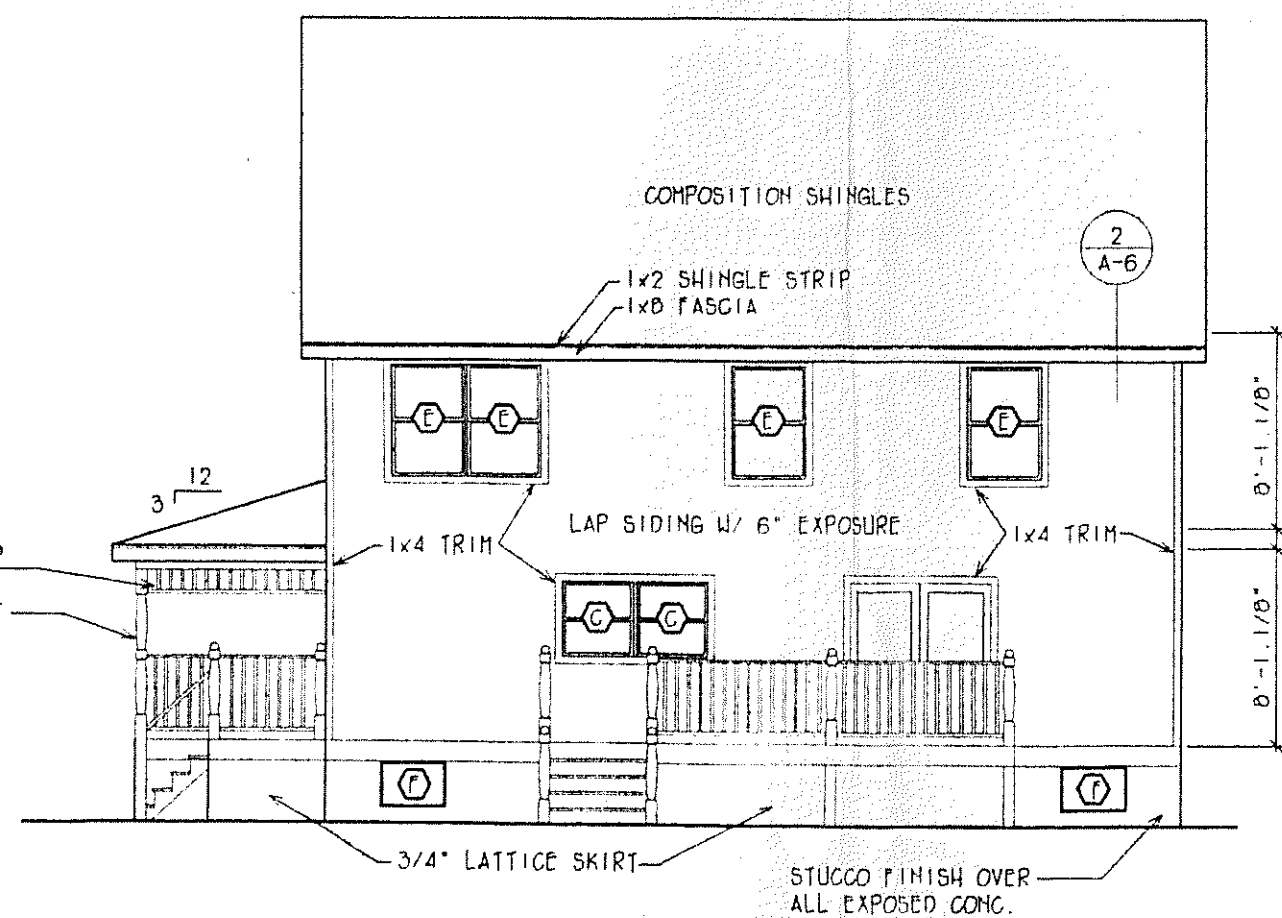
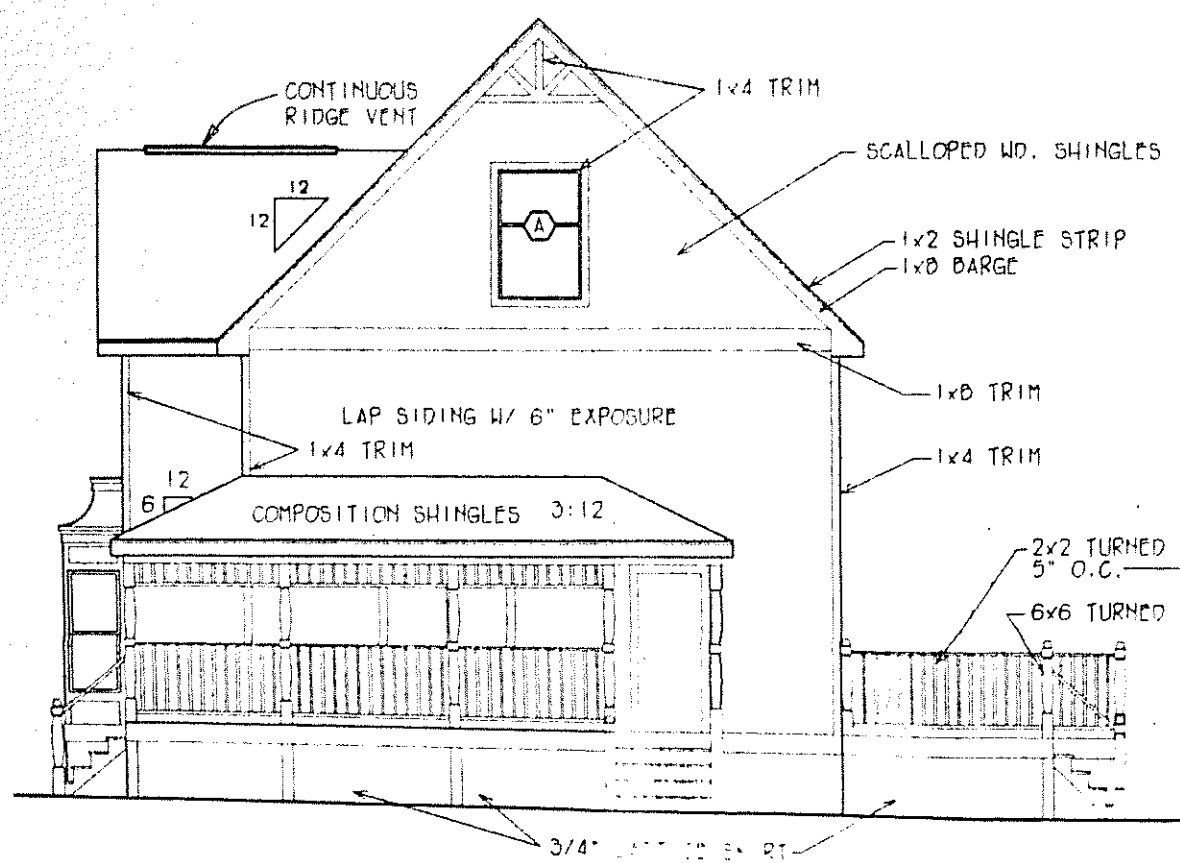
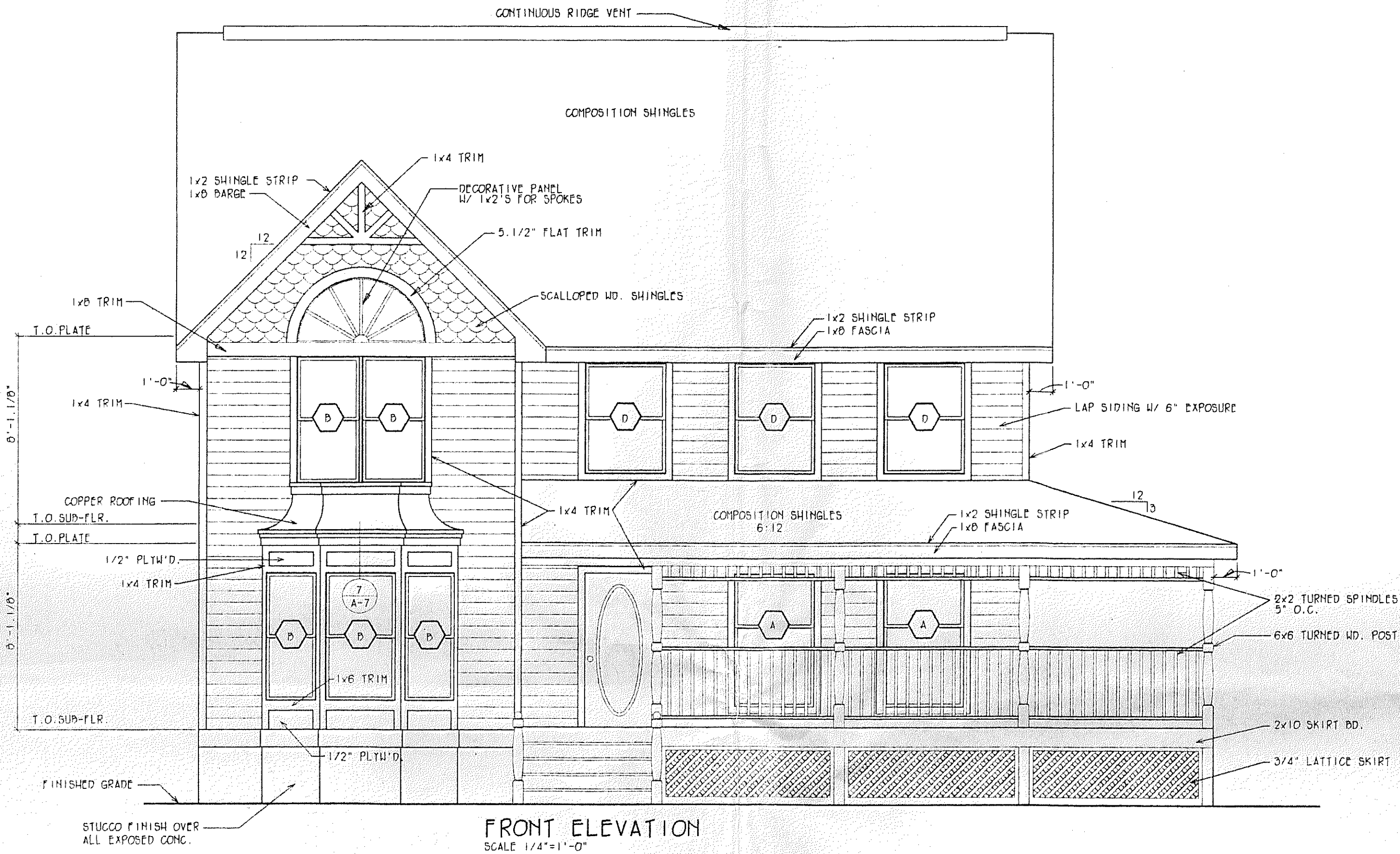
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MIDDLETOWN, CT
TOPEKA, KS

PLAN NO. 24301
SHEET A-3



Owner:	Lot No.:
Address:	Revisions:
Designed By:	Approved By:
Drawn By:	

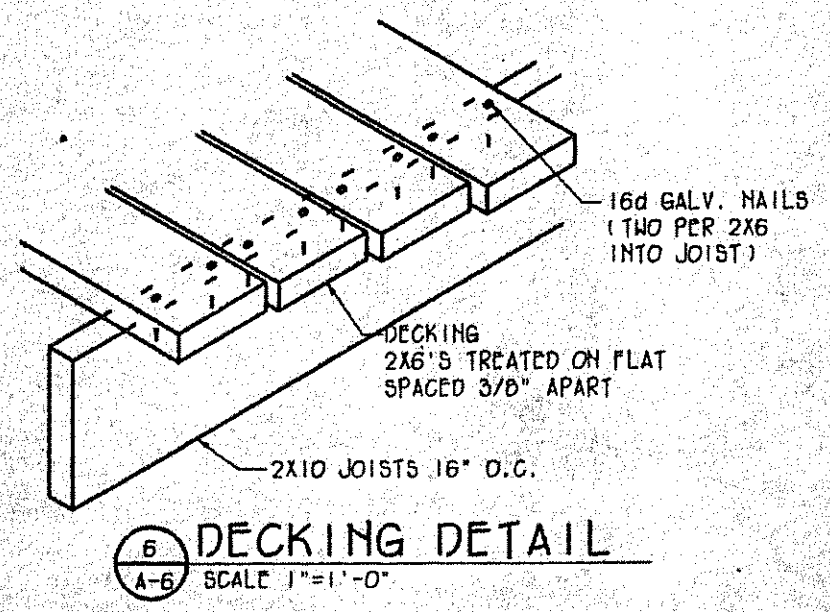
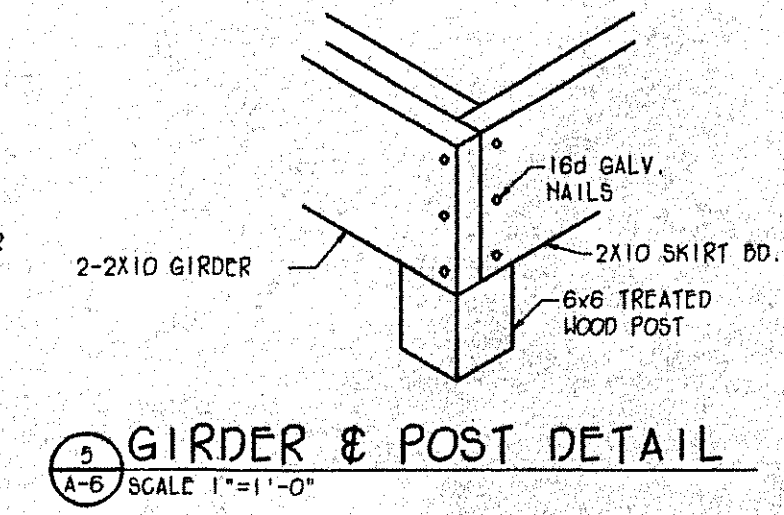
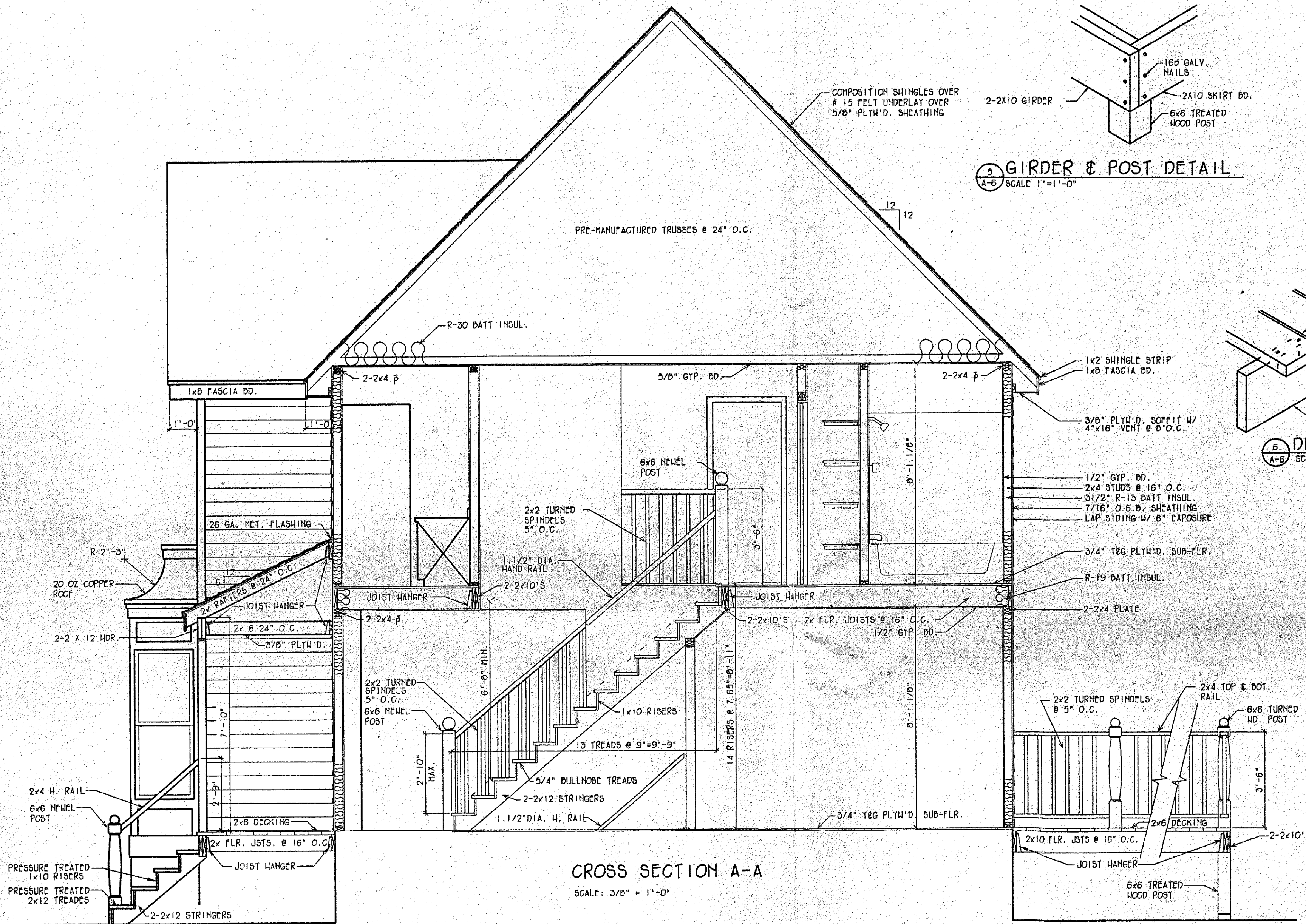
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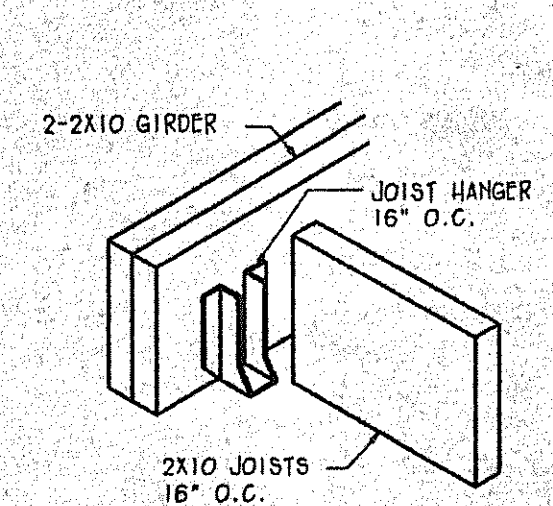
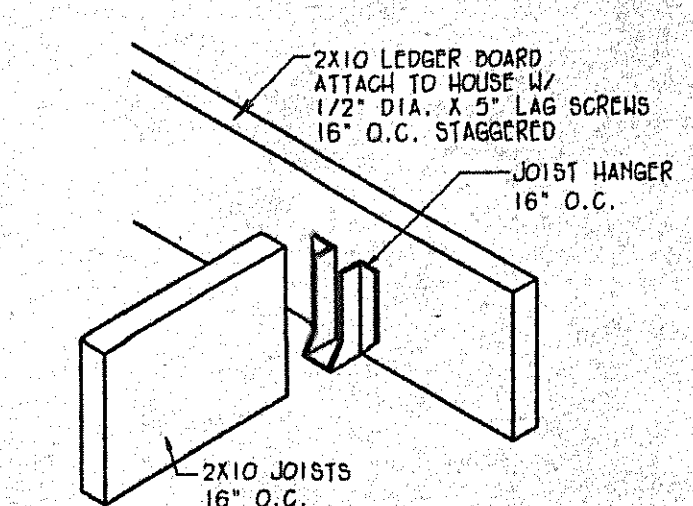
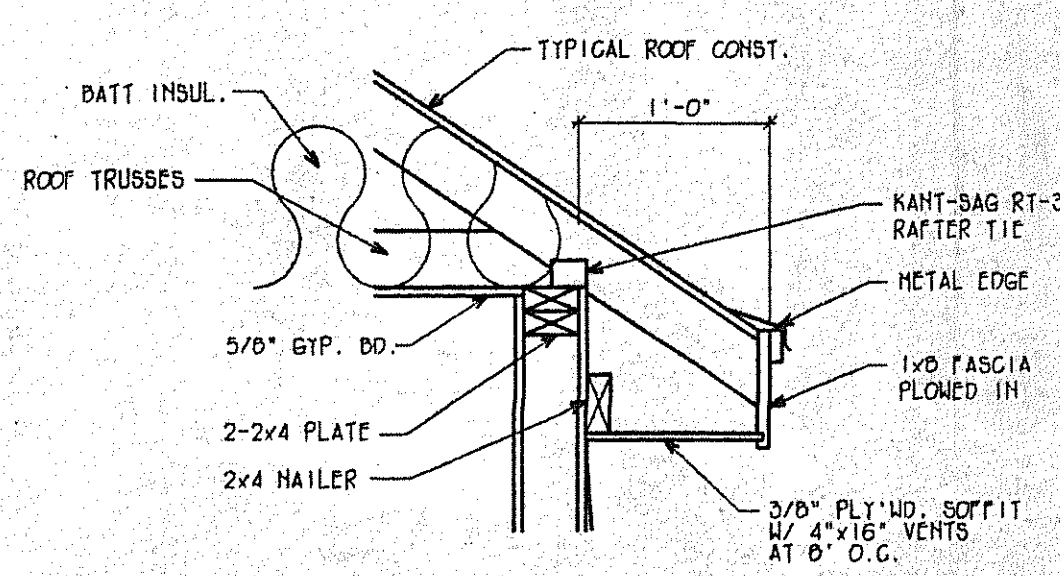
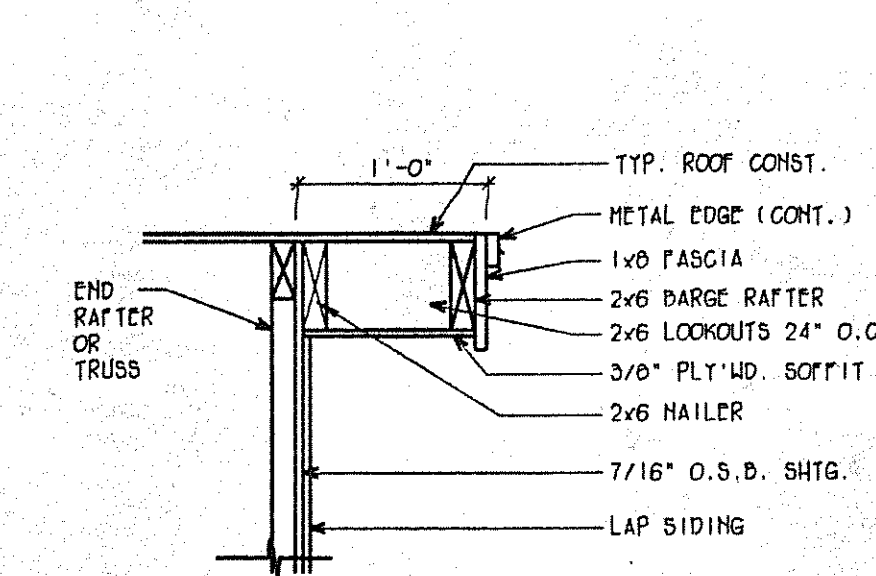


THE L.F. GARLINGHOUSE COMPANY, INC.
MIDDLETOWN, CT
TOPEKA, KS

PLAN NO.
24301
SHEET
A-5



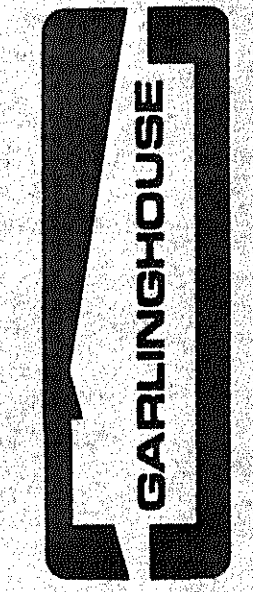
CROSS SECTION A-A
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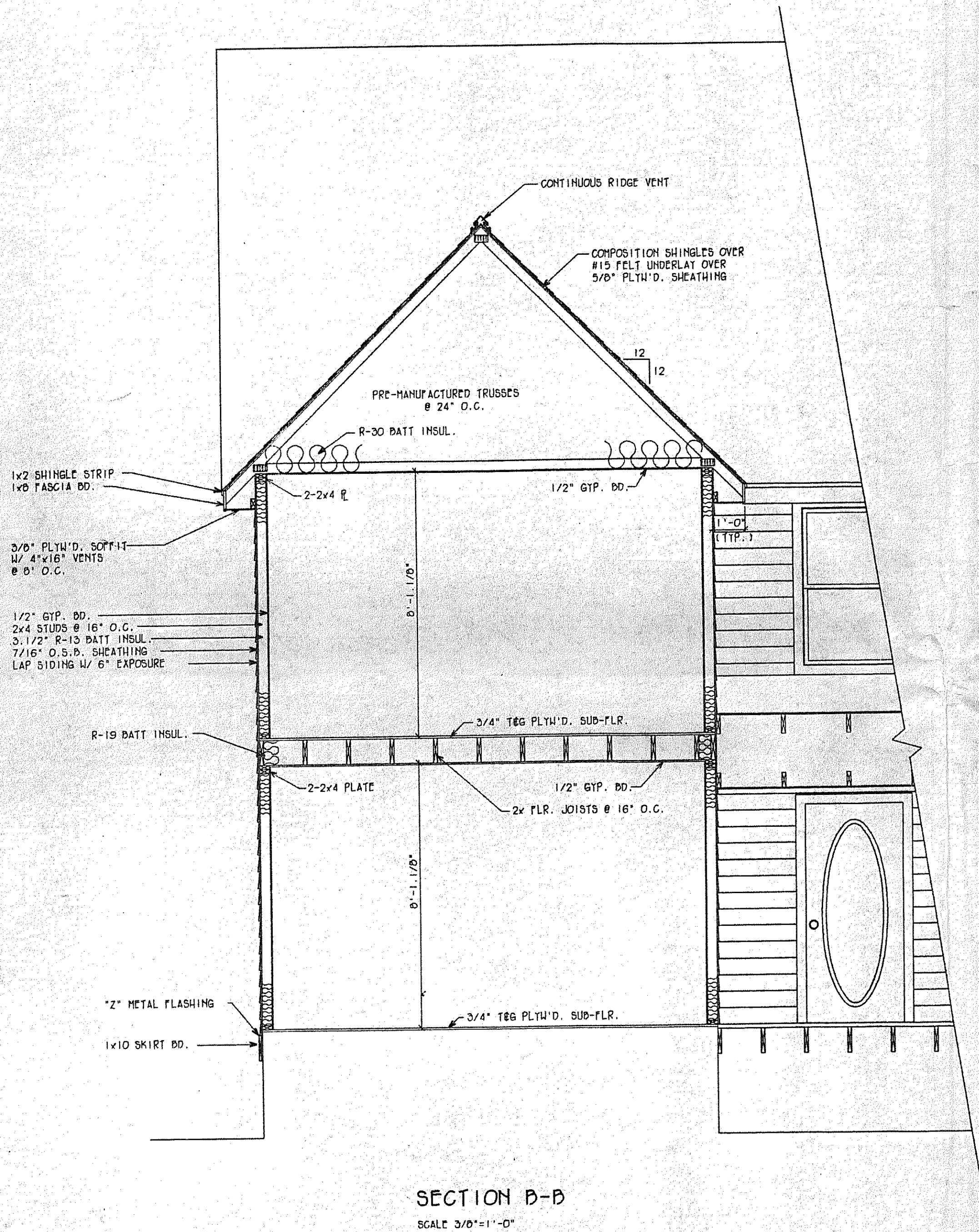
Owner:	Lot No.:
Address:	Approved By:
Designed By:	Drawn By:
1993	

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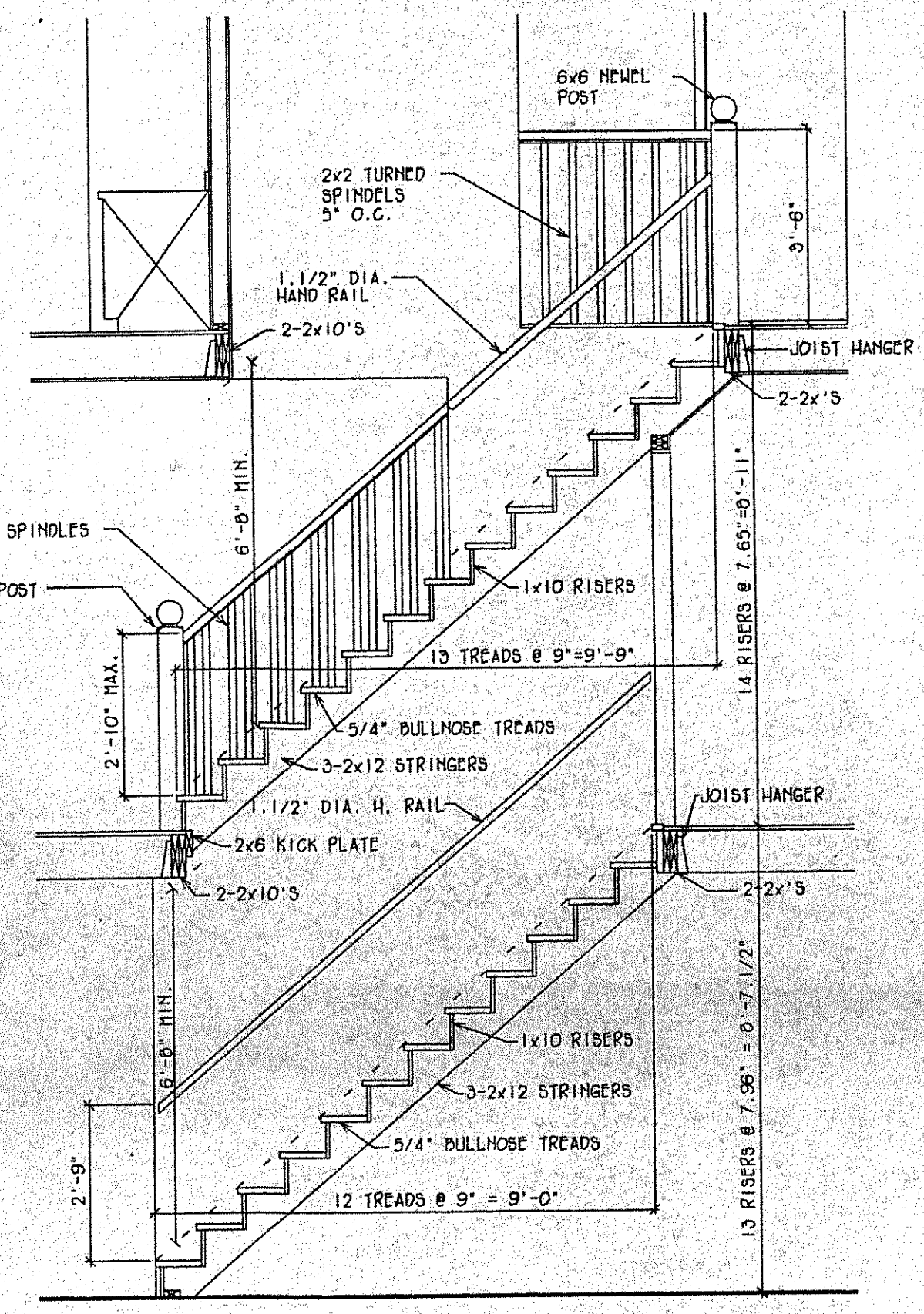
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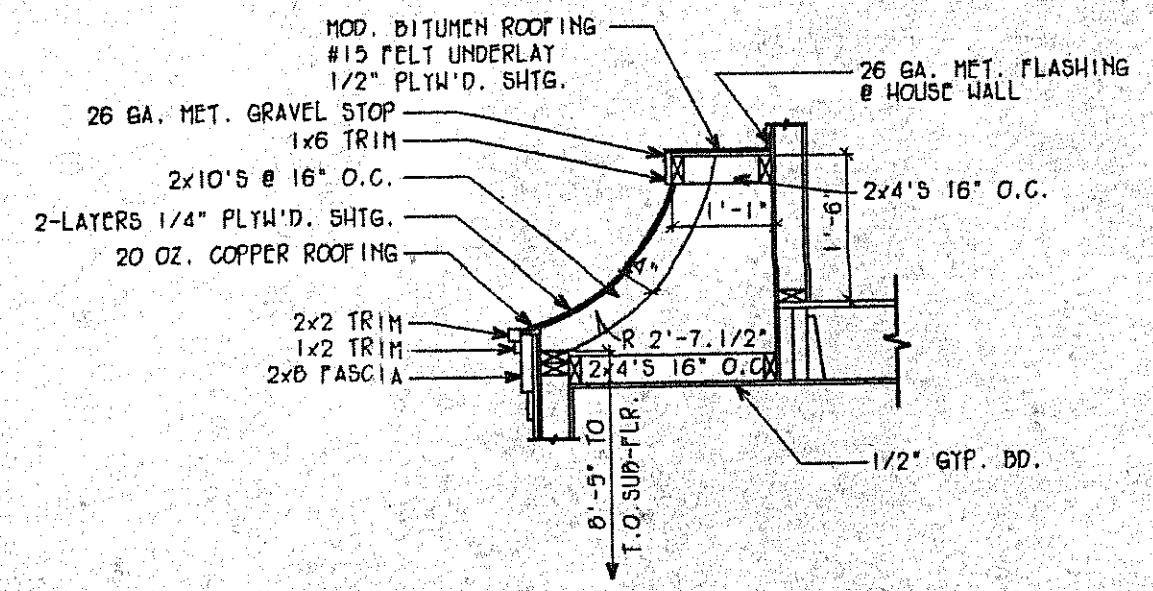
THE L.F. GARLINGHOUSE COMPANY, INC.
 MIDDLETOWN, CT
 TOPEKA, KS



SECTION B-B
SCALE 3/8"=1'-0"



STAIR SECTION C-C
SCALE 1"=1'-0"



7 COPPER ROOF DETAIL
A-7 SCALE 1/2"=1'-0"

Owner:	Lot No.:
Address:	Revisions:
Designed By:	Approved By:
Drawn By:	

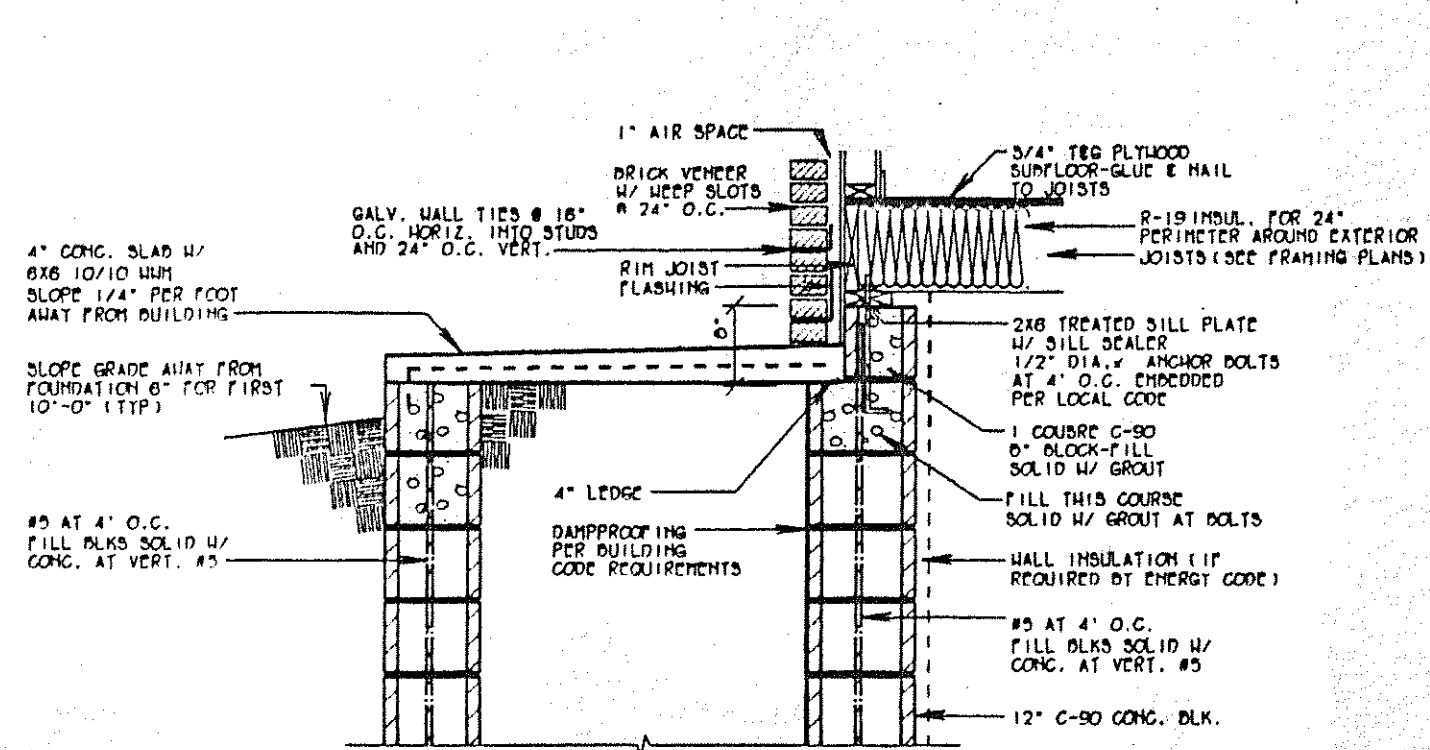
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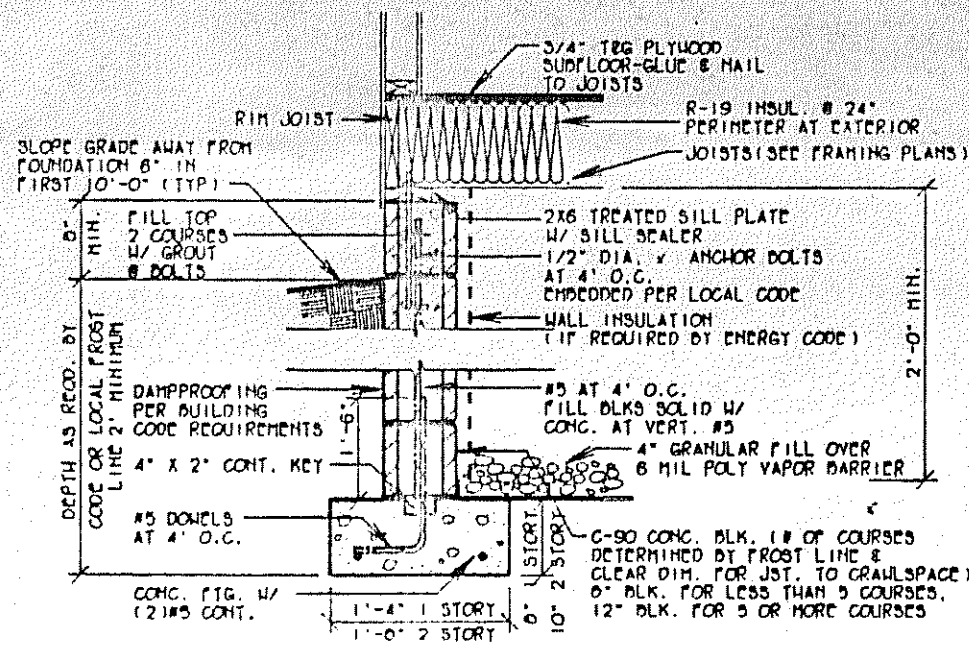


THE L.F. GARLINGHOUSE COMPANY, INC.
 MIDDLETOWN, CT
 TOPEKA, KS

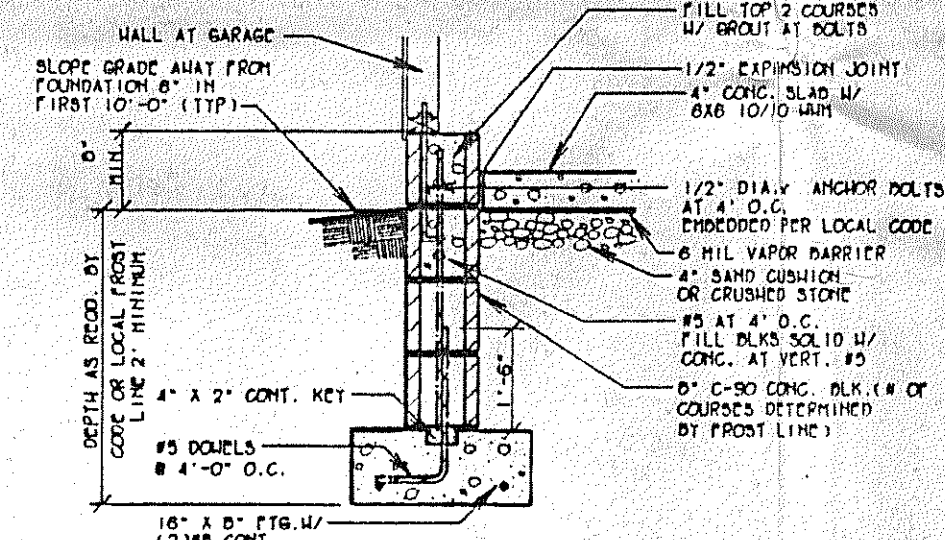
PLAN NO.
24301
 SHEET
A-7



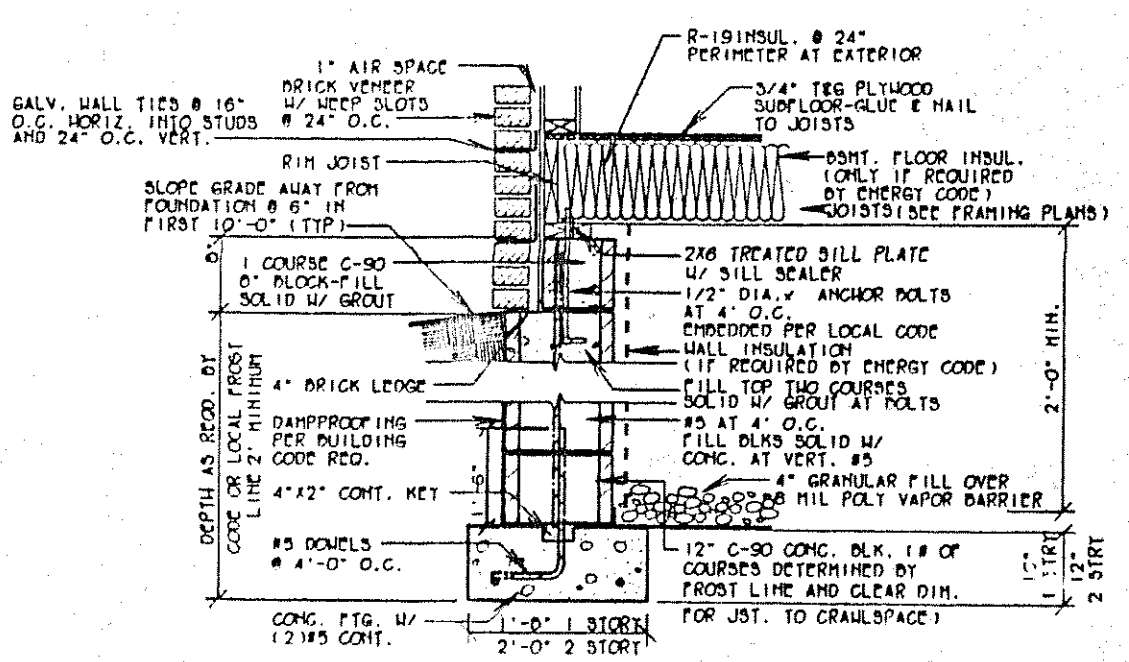
⊙ BLOCK FOUNDATION AT PORCH W/ BRICKLEDGE
SCALE: 3/4" = 1'-0"



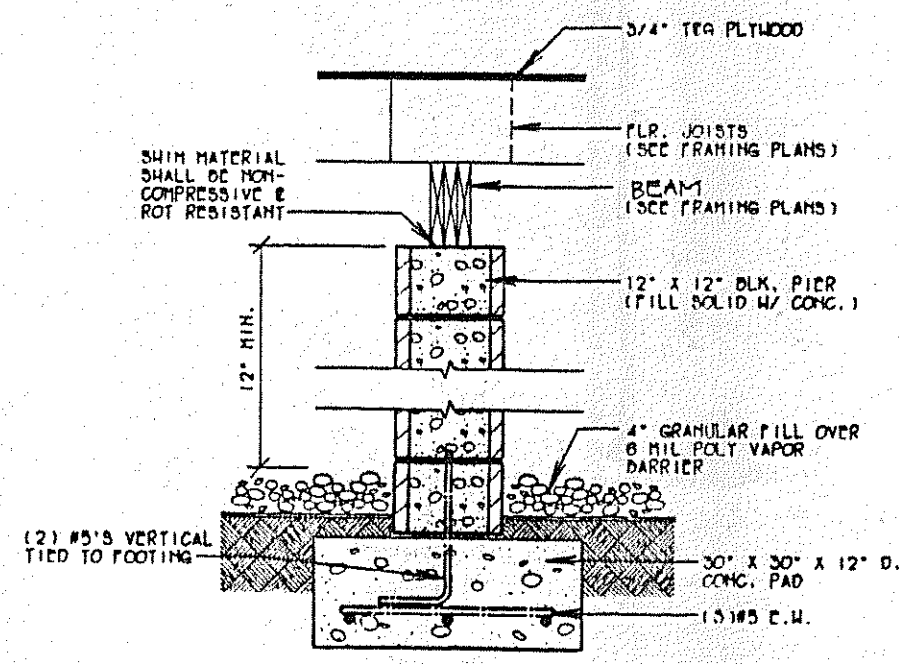
⊙ BLOCK CRAWLSPACE
SCALE: 3/4" = 1'-0"



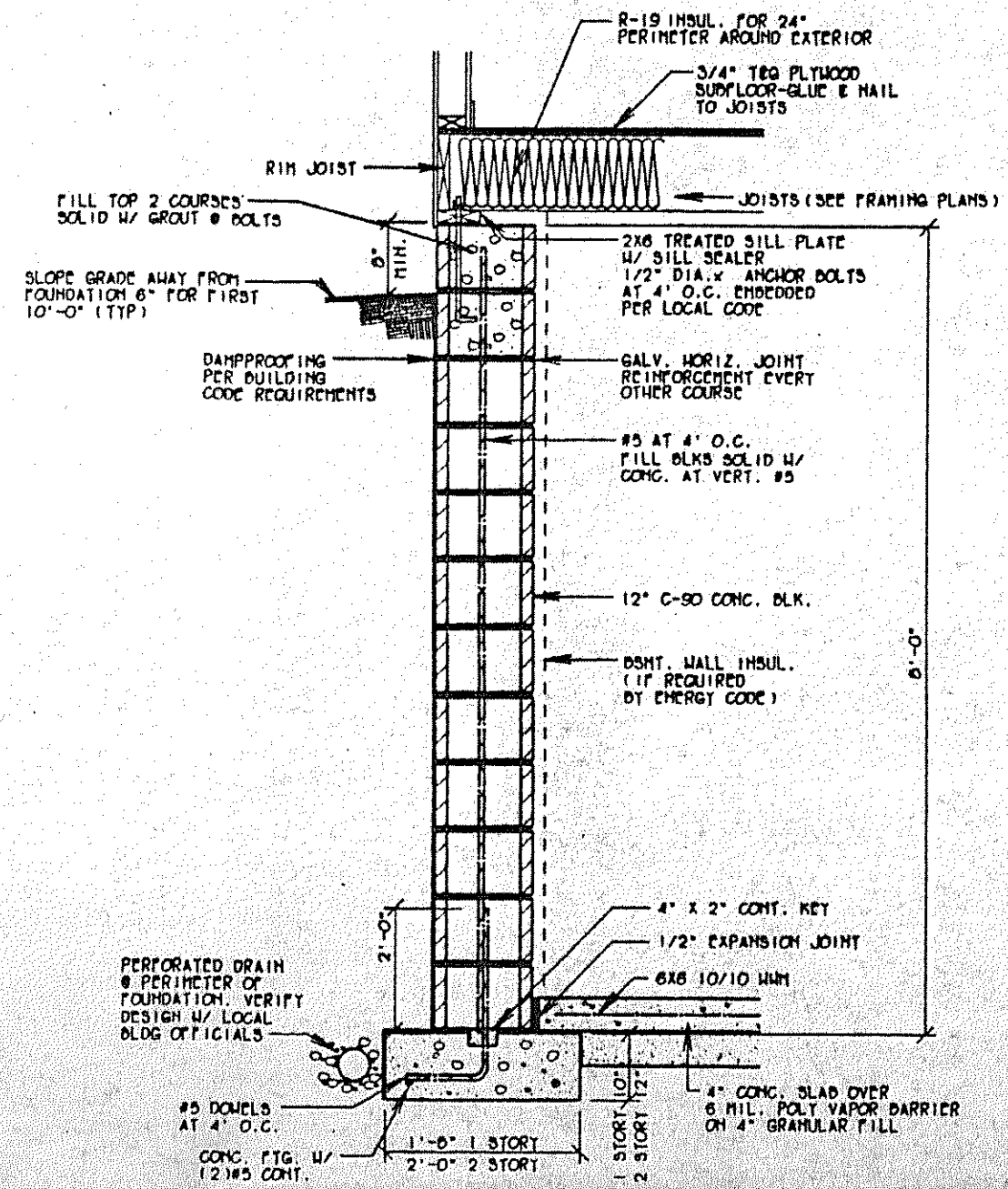
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SCALE: 3/4" = 1'-0"



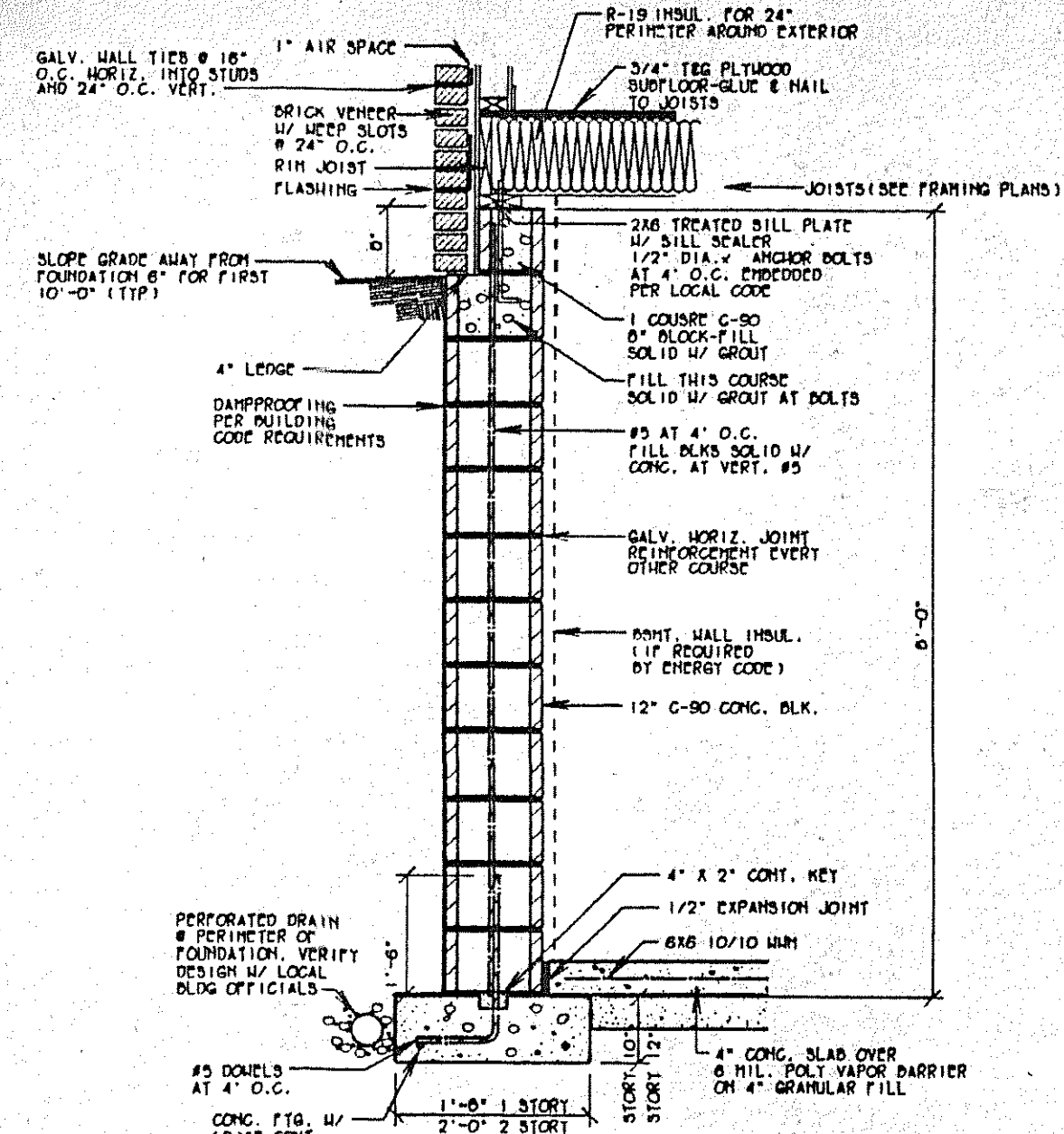
⊙ BLOCK CRAWLSPACE WITH BRICKLEDGE
SCALE: 3/4" = 1'-0"



⊙ BLOCK PIER
SCALE: 3/4" = 1'-0"



⊙ BLOCK FOUNDATION
SCALE: 3/4" = 1'-0"



⊙ BLOCK FOUNDATION W/ BRICKLEDGE
SCALE: 3/4" = 1'-0"

Owner:	Lot No:
Address:	Revisions:
Designed By:	Approved By:
Drawn By:	

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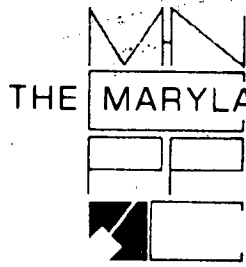


THE L.F. GARLINGHOUSE COMPANY, INC.
MIDDLETOWN, CT
TOPEKA, KS

PLAN NO.
24301
SHEET
S-1

Post-it™ Fax Note 7671

Date	5/3/95	# of pages	3
To	Lisa Schwartz	From	Pat Parker
Co./Dept	City of Takoma Park	Co.	M-N/CPPC
Phone #	(301) 270-5900	Phone #	(301) 495-4730
Fax #	(301) 270-8794	Fax #	(301) 495-1307



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring Maryland 20910-3760

April 27, 1995

MEMORANDUM

TO: Joe Davis
Malcolm Shaneman
Development Review Division

FROM: Gwen Marcus, Historic Preservation Coordinator
Patricia Parker, Historic Preservation Planner *PP*
Design, Zoning and Preservation

SUBJECT: Preliminary Plan #1-87207, B.F. Gilberts Subdv of Tk Pk

On April 26, 1995, the Historic Preservation Commission (HPC) met and reviewed a subdivision plan, Preliminary Plan #1-87207, B.F. Gilberts Subdv of Tk Pk. The proposed subdivision is located within Master Plan Site #37/3, the Takoma Park Historic District at the intersection of Carroll and Lincoln Avenues. The subdivision proposes the creation of two lots.

The HPC recommended Preliminary Plan #1-87207 for approval with the following conditions:

1. Any new construction on Lot 54 must be located so as to preserve existing setbacks and street patterns.
2. Any new access drive/approach to proposed new construction on Lot 54 should be indicated and located so as to be sensitive to patterns within the historic district.
3. Adequate landscape buffering between the existing house property and new construction along the south property line of Lots 53 and 54 will be provided.
4. A tree survey/save plan for the property will be provided.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

CASE: B.F. Gilberts Subdv of Tak Pk. DATE: April 19, 1995
 (located within Master Plan
 Site #37/3, Takoma Historic
 District)

CASE NUMBER: #1-87207

TYPE OF REVIEW: Subdivision

PREPARED BY: Patricia Parker

ADDRESS: intersection of
 Carroll and Lincoln Avenues

BACKGROUND:

This subdivision plan proposes the creation of three lots, varying in size from 6,545 square feet to 7,582 square feet. At present, a house is situated on the northwest corner of the property at the intersection of Lincoln and Carroll Avenues in the Takoma Park Historic District (Master Plan Site #37/3). The entire property is approximately 20,895 square feet.

This proposal includes subdivision of the property from one lot to three. The lots fronting on Carroll Avenue were surveyed and purchased by one owner. A 1907 Queen Anne structure with Colonial Revival features, an outstanding resource, is situated on one of these lots, close to the intersection of two streets. The other lot is unimproved and forms the sideyard and rear yard of this resource.

A third lot, comprised of 7,582 square feet, would be under different ownership. This lot would be situated behind the lot which contains the house. The property is zoned R-60 and this subdivision, with respect to zoning, could proceed as a matter of right.

Staff has requested comments from the City of Takoma Park and will provide them to the Commission at its meeting.

DISCUSSION:

The review of this subdivision proposal requests the HPC to:

- 1) comment on the appropriateness of the proposal and its impact on the historic district;

The existing zoning is R-60 zoning. This proposal is consistent with these purposes; therefore, the density as shown on the proposal is permitted.

Staff is concerned about the proposed increase in density (although it is permitted by zoning) and the intrusion which will take place because of proposed new development. The proposal would decrease and alter the existing pattern of open space immediate to the resource.

As such, detailed HAWP review, subsequent to this proposal, if the HPC recommends approval, will be of critical importance.

The Takoma Park Guidelines for Historic Preservation address this concern in its discussion of streetscape and building patterns. The Guidelines state that issues of rhythm, height, massing, side and front setbacks and roof pitch should meet review. Further that patterns of open space, building orientation, outbuildings and preservation of mature tree specimens should ne maintained. Staff recommends that trees at the rear of Lot 54 should be protected and that a tree save plan be submitted.

A new driveway will also be constructed to provide access for the third lot. This will further exacerbate the intrusion experienced by the historic district. Staff recommends that the new driveway be of minimal width to provide access to any proposed improvements.

A mixed hedgerow of deciduous and evergreen trees should be planted along the south lproperty line, from east to west, beginning at Lincoln Avenue. The same treatment should be provided along the property line to the south to screen proposed construction on Lot 54.

STAFF RECOMMENDATIONS:

The Secretary of the Interior's Standards address the issue of altering a site:

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Based on the issues discussed above, staff recommends approval of this subdivision plan with the following conditions:

- o Any new construction on Lot 54 must be located so as to preserve existing setbacks and street patterns.
- o Indicate the new approach/drive for proposed new construction on Lot 54, sensitive to patterns within the historic district.
- o Provide adequate buffering between the existing house property and new construction along south property line of Lots 53 and 54.
- o Provide a tree survey/save plan for the property.

Carol and Ted Landphair
7501 Carroll Avenue
Takoma Park, MD 20912-5715

March 31, 1995

Ms. Gwen Marcus
Staff Director
Montgomery County Historic Preservation Commission
8787 Georgia Avenue
Silver Spring, MD 20910

Ernest R. Sines
16001 New Hamp Ave
S.S., No. 20905

Dear Ms. Marcus:

I am writing to make you aware that a contractor, Sines Construction Company, owned by Ernest R. Sines, has posted a "Will Build to Suit" sign in the empty lot that he owns behind us.

The lot is within the newest portion of the Takoma Park Historic District, so he is not free to "build to suit."

The lot lies between our house, at 7501 Carroll Avenue (corner of Lincoln on the east side of Lincoln), and the historic first Takoma Park Library building at 308 Lincoln, which is now a private residence and also included within the historic district.

I am not good at reading platt books, but I believe you will see the lot in question in Platt Book A, Platt #50 in the B. F. Gilbert Subdivision of Takoma Park. I believe the lot is part of Lot #1, Block 37. Mr. Sines subdivided this lot into three parcels -- two fronting on Carroll Avenue, which we bought from him -- and one fronting on Lincoln Avenue, which he still owns and is now planning to develop. This is the lot in question.

Our neighbors and we have no objection to Mr. Sines's building an appropriate single-family house on the property that he owns, but we want to be sure that he follows all county and historic district procedures and meets all codes. We want the house to be compatible with the historic district. "Will Build to Suit" could give buyers of the property the wrong impression -- that they are free to put up any type of house -- or townhouses. In fact, is this small lot zoned for townhouses?

Mr. Sines has already cut down a large pine tree on the property without getting the appropriate Takoma Park permit, so we are not convinced that he is willing to meet all applicable regulations -- even though, as a builder/developer in the county who often develops in Takoma Park, he ought to be.


If possible, please keep an eye on that Lincoln Avenue property between 7501 Carroll and and 308 Lincoln to be sure Mr. Sines is aware it's within the Takoma Park Historic District, and that he gets all appropriate permits before he begins to build. We will, too!

If it's part of your procedure to notify a potential builder that a property lies within a Historic District, we would appreciate your doing that relative to Mr. Sines and this property.

The telephone number posted on Mr. Sines's "Will Build to Suit" sign is 301-384-6618.

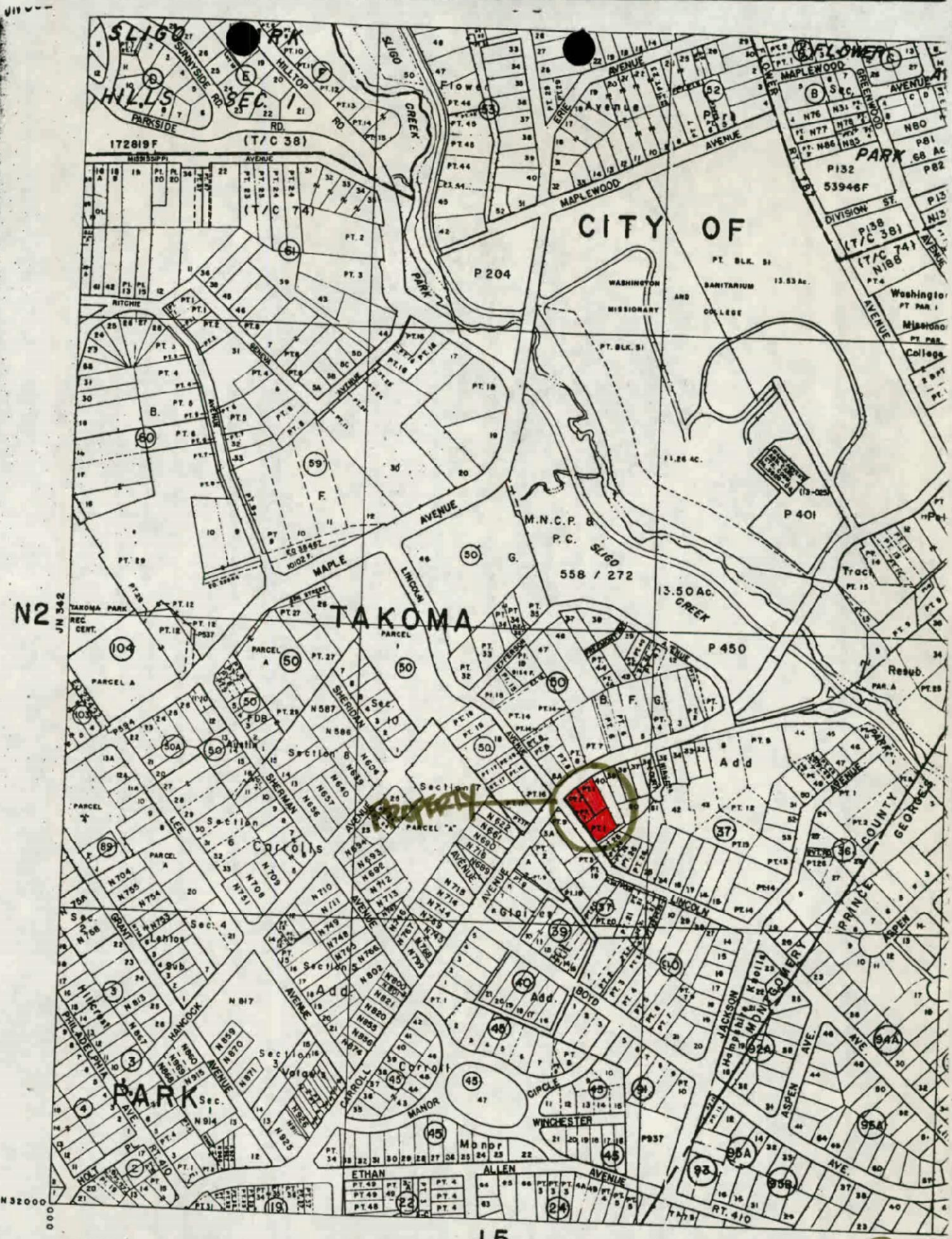
Thank you.

Sincerely,



Ted Landphair
h- 301-270-6674
o- 202-619-2515

cc: Mr. Saul Schniderman 306 Lincoln Avenue, Takoma Park 20912-5715
Ms. Joyce Chido 7429 Carroll Avenue, Takoma Park 20912-5715
Mr. Tom Warfield, 309 Niagara Place, Takoma Park 20912-5715
Mr. Ted Kowaluk, City of Takoma Park Housing Department



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LEGEND
 - - - - - ELECTION DISTRICT BOUNDARY
 - - - - - CORPORATE BOUNDARY
 P-766 OR N-766 PARCEL NO. IS USED FOR OWNERSHIP IDENTIFICATION AND MUST BE PRECEDED BY GRID REFERENCE READING FIRST BY COLUMN AND THEN BY ROW

THESE MAPS ARE PROTECTED BY NOT BE COPIED OR REPRODUCED IN ELECTRONIC MEANS SUCH AS DIGIT IMAGE PROCESSING, OR BY ANY BY TO BE INVENTED WITHOUT PENALTY FROM THE PROPERTY MAP DIVI



JN 561

1-95078 COLESVILLE HEIGHTS LOT 37
EBL Management, Inc - Applicant
Frey, Sheehan, Stoker & Assoc. - Engineer

Committee Comments:

1. DRD: concerned with house being same distance back from street as neighboring houses;
2. EPD: shown tree save plan, small lot exemption from forest conservation;
3. DEP: standard SWM waiver under review;
4. DOT: need sight distance prior to record plat for access, reference PIE as a PUE instead;
5. PEPCO: PUE is sufficient as shown;
6. WSSC: water and sewer connection required;
7. Tentative Planning Board date scheduled for May 18, 1995;
8. Complete queue and application 3/24/95.

1-87207 B.F. GILBERTS SUBDIVISION OF TAKOMA PARK
Earnest R. Sines - Applicant
Wallace R. Amos & Associates - Engineer

Committee Comments:

1. DRD: applicant to submit new adjacent property owner list, re-notify APO's of application submission with plans and contact Lisa Schwartz of the City of Takoma Park;
2. Put area on Carroll Ave into an easement and dedicate along Lincoln Ave;
3. EPD: three trees on back end of Lot 54 to be protected, recommend a certified arborist verify tree save measures are adequate and plan is exempt from forest conservation (small lot exemption);
4. Historic Preservation: going to HPC April 26, 1995, comments will be forwarded to DRD;
5. PEPCO: need 10' PUE;
6. WSSC: water and sewer connections required and must have easement from Lot 53 to Lot 54 along Carroll Ave;
7. DOT: storm drain study may be required, will notify applicant if one is needed;
8. Tentative Planning Board date is scheduled for May 25, 1995;
9. Complete for queue and application 3/28/95.

WALLACE R. AMOS AND ASSOCIATES
LAND SURVEYORS
9525 GEORGIA AVENUE
SILVER SPRING, MARYLAND

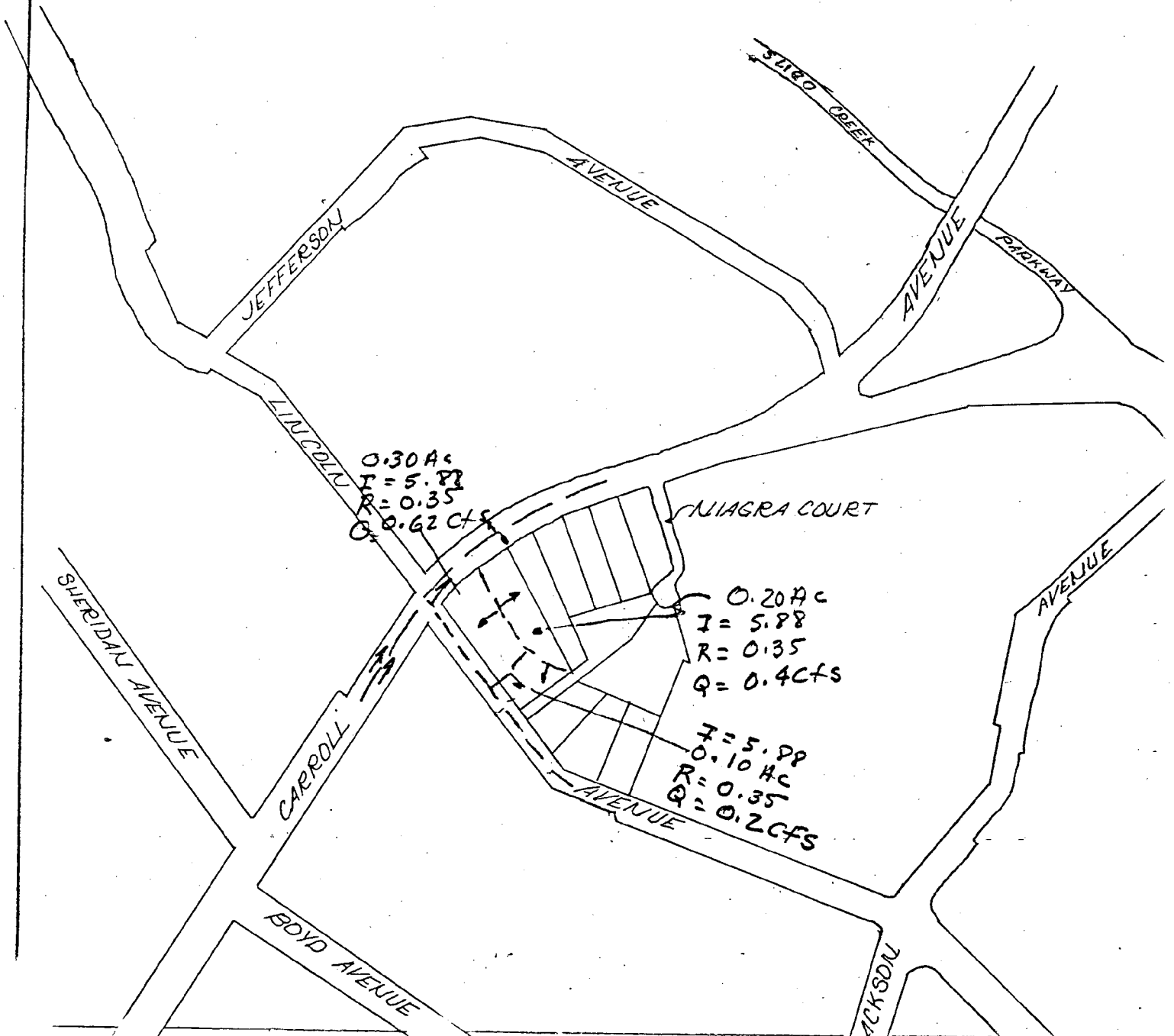
STORM WATER STUDY

LOT 1

BLOCK 37

B.F. GILBERTS ADDITION TO TAKOMA PARK

SCALE: 1"=200' AUGUST, 1987



Subdivision Review Committee
Minutes of October 13, 1987
Page Two

1-87027
87207

B.F. GILBERTS - 3 Lots - R-60 Zone
Earnest R. Sines - Applicant

Committee Action:

1. Resubdivision.
2. Show new driveway to existing house.
3. Dedication 40' off center line Carroll Avenue and 5 additional feet on Lincoln.
4. No driveways to Carroll Avenue.
5. P.U.E.
6. Need SWM waiver request and drainage study.
7. Application incomplete (#6).

1-87208

KENSINGTON HEIGHTS - 2 Lots - R-60 Zone
Carol R. Duane - Applicant

Committee Action:

1. Resubdivision.
2. Possible 10' additional dedication.
3. Show situation at end of street.
4. Provide more information for DOT.
5. Show existing electric poles - possibly P.U.E.
6. Need SWM waiver request.
7. Application incomplete (#6).

1-87205

BANNOCKBURN - 2 Lots - R-200 Zone
Barry Zuckerman - Applicant

Committee Action:

1. Resubdivision.
2. Need more information on storm drainage system per DOT.
3. Need storm drainage study.
4. P.U.E.
5. Need more information for SWM waiver request.
6. Application incomplete (#3 & 5).

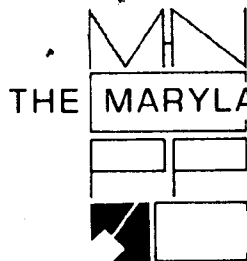
7-87029

HOMEWOOD - 2 Lots - R-60 Zone
Joan McQueeney Mitrie - Applicant

Committee Action:

1. Resubdivision - problem with panhandles.
2. Need to rebuild Edgewood.
3. Show existing paving and storm drainage at preliminary plan.
4. Need SWM waiver request at preliminary plan.

Pat



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

April 12, 1995

Dear Property Owner:

Please be notified that the Montgomery County Historic Preservation Commission will be holding a public meeting and worksession on Wednesday, April 26, 1995, in order to evaluate the proposed subdivision of B.F. Gilberts Subdv of Tk Park, #1-87207, located at the intersection of Carroll and Lincoln Avenues in Takoma Park, Md. It is located within Master Plan Site #37/3, the Takoma Park Historic District. The meeting will begin at 7:30 p.m. and will be held in the Maryland-National Capital Park and Planning Commission auditorium at 8787 Georgia Avenue in Silver Spring.

This evaluation is taking place pursuant to your request for subdivision of the property. The Historic Preservation Commission will review the proposal as it impacts the historic site, and make recommendations to the Planning Board regarding its environmental setting.

As the Property Owner, you are encouraged to either attend the meeting or submit written comments to the HPC at 8787 Georgia Avenue, Silver Spring, MD 20910.

This item may not be first on the agenda, so please be prepared for a short delay. Enclosed please find a copy of the meeting agenda (subject to change). If you have any questions, please feel free to contact me at 495-4570.

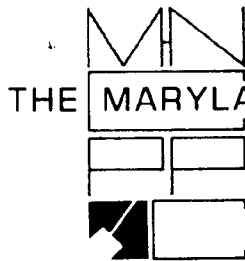
Sincerely,

Patricia Parker
Historic Preservation
Planner

Enclosure

cc: Wallace R. Amos & Assocs., Engineer

file



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8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

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Sincerely,

Patricia Parker
Historic Preservation
Planner

Enclosure

cc: Wallace R. Amos & Assocs., Engineer

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
495-4570

WEDNESDAY
APRIL 26, 1995

MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
MRO AUDITORIUM
8787 GEORGIA AVENUE
SILVER SPRING, MARYLAND 20910

PLEASE NOTE: THE HPC AGENDA IS SUBJECT TO CHANGE ANYTIME AFTER PRINTING OR DURING THE COMMISSION MEETING. PLEASE CONTACT THE HISTORIC PRESERVATION COMMISSION AT THE NUMBER ABOVE TO OBTAIN CURRENT INFORMATION. IF YOUR APPLICATION IS INCLUDED ON THIS AGENDA, YOU OR YOUR REPRESENTATIVE ARE EXPECTED TO ATTEND.

- I. HPC WORKSESSION - 7:00 p.m. in Third Floor Conference Room
- II. HISTORIC AREA WORK PERMITS - 7:30 p.m. in the Auditorium
 - A. Mary Louise Muldoon, for an in-ground pool at 18515 Beallsville Road, Poolesville (HPC Case No. 17/20-95A) (Wallace Poole House Site)
 - B. Coleen & Neal Wilson, for alterations at 3710 Washington Street, Kensington (HPC Case No. 31/6-95E) (Kensington Historic District)
 - C. Francis Phipps, for demolition/construction at 7210 Holly Avenue, Takoma Park (HPC Case No. 37/3-95M) (Takoma Park Historic District)
 - D. Mammet/Jaralyn Hough, for addition/alteration at 20320 Buck Lodge Road, Boyds (HPC Case No. 18/40-95A) (Darby Miller House & Mill Site)
 - E. Kenneth Schaner and Julia Wright, for demolition & new construction at 14 West Lenox Street, Chevy Chase (HPC Case No. 35/13-95A) (Chevy Chase Village Historic District - Phase One)

(OVER)

III. SUBDIVISION - 9:00 p.m.

- A. #1-87207, **B.F. Gilberts Subdv of Tk Pk** - is located within Master Plan Site #37/3, the Takoma Park Historic District.

IV. REDUCTION OF ENVIRONMENTAL SETTING - 9:30 p.m.

- A. Request by owner - Nancy Albrecht - to reduce the environmental setting for Master Plan Site #28/32, the Hopkins-Frey House, at 204 Heil Road, Silver Spring.

V. MINUTES

- A. March 22, 1995

VI. OTHER BUSINESS

- A. Commission Items
B. Staff Items

VII. ADJOURNMENT

Ernie Sines
1011 Parrs Ridge Road
Spencerville, MD 20868

Wallace R. Amos & Assoc., Ltd.
9525 Georgia Avenue
Silver Spring, MD 20910



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

March 25, 1995

MEMORANDUM

TO: Joe Davis
Malcolm Shaneman
Development Review Division

FROM: Gwen Marcus, Historic Preservation Coordinator *GM*
Patricia Parker, Historic Preservation Planner *PP*
Design, Zoning, and Preservation Division

SUBJECT: Review of Subdivision Plans

We have reviewed the following subdivision plans and found them not to involve any identified historic resources:

- #1-89173X Seneca Crossing Extension - This property is directly across from Master Plan Site # 19/5, Neelsville Presbyterian Church. A 50' deep screening and noise attenuation area, indicated on the plans, will provide necessary buffering for the historic property.
- #1-90017R Kingsview Village - No impact.
- #1-95046 Bradley Woods - No impact.
- #1-95070 Triangle Park Lot 32 - No impact.
- #1-95076 Glenbrook Village - No impact.
- #1-95078 Colesville Heights Lot 37 - No impact.
- #1-95079 Sanger Joint Venture - No impact.

* #1-87207 B.F. Gilberts Subdv of Tk Park - is located within Master Plan Site #37/3, the Takoma Park Historic District. The preliminary plan ~~will be~~ scheduled for review by the HPC, with written comments forwarded to M-NCPPC.

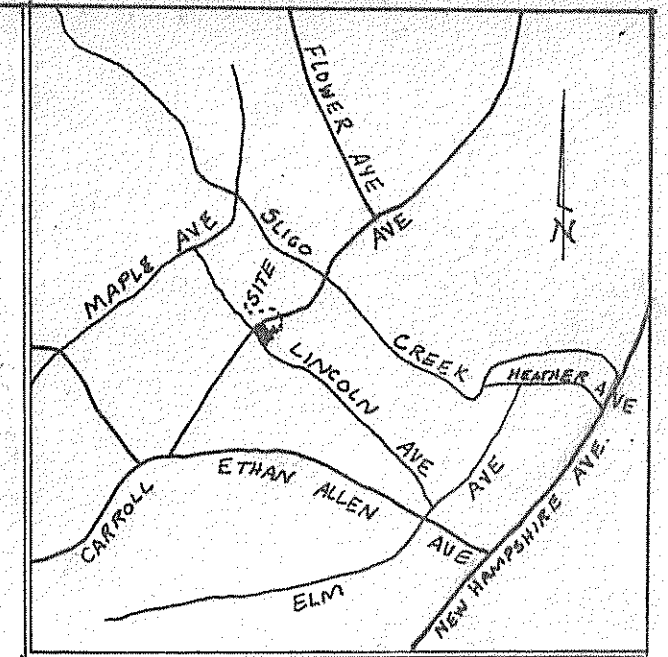
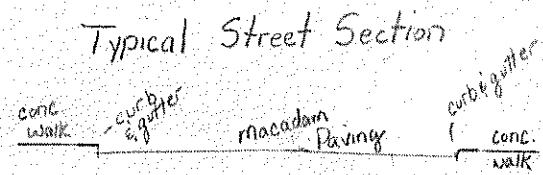
#7-95044 Chevy Chase Lot 12/D - No impact.

cc: E. Davison, OPI

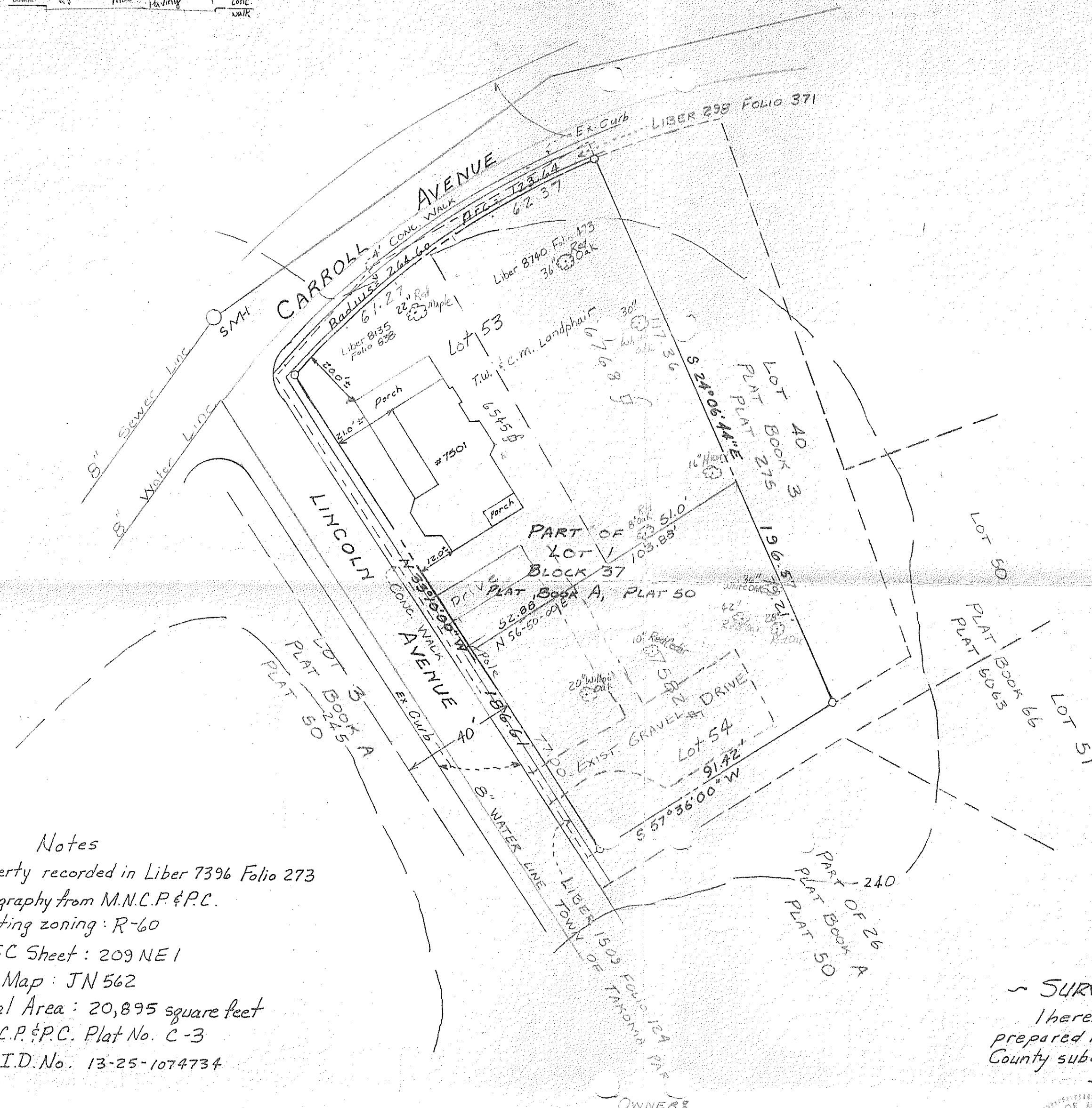
May 25th Planning Board Agenda

Pat - They are cleaning up the titlework, prop. divisions, etc - goes back to original selling off of 2 lots on Carroll Ave. I have the drawings for the proposed house - come look! K

April 26th



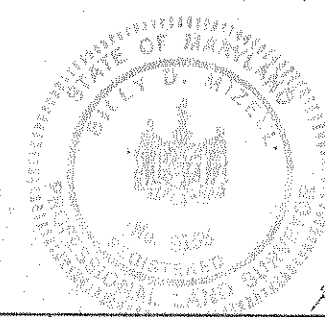
VICINITY MAP
1" = 2000'



Notes

- 1) Property recorded in Liber 7396 Folio 273
- 2) Topography from M.N.C.P. & P.C.
- 3) Existing zoning: R-60
- 4) WSSC Sheet: 209 NE 1
- 5) Tax Map: JN 562
- 6) Total Area: 20,895 square feet
- 7) M.N.C.P. & P.C. Plat No. C-3
- 8) Tax I.D. No. 13-25-1074734

~ SURVEYOR'S CERTIFICATE ~
 I hereby certify that this plan was prepared in accordance with Montgomery County subdivision regulations
 June, 1987



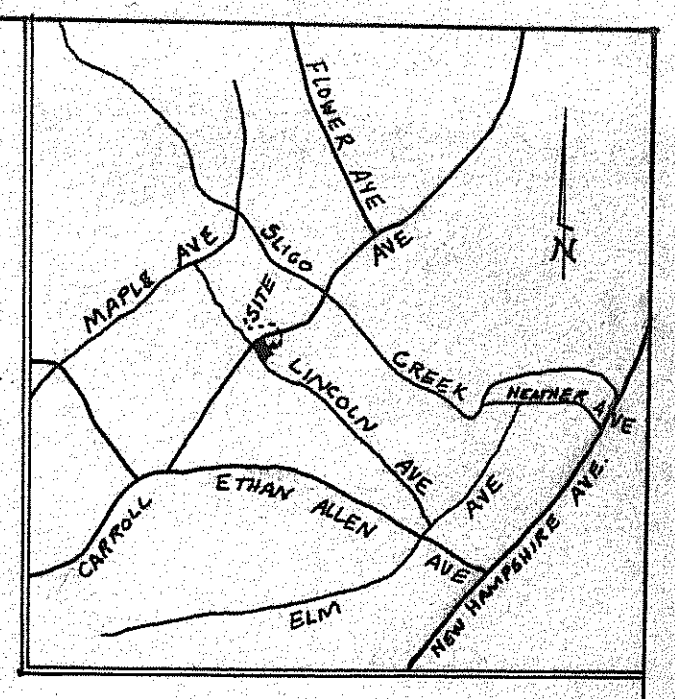
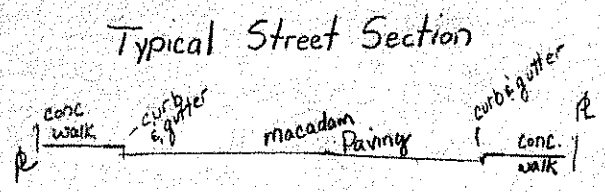
Billy D. Mizell
 BILLY D. MIZELL
 Registered Land Surveyor
 Md. No. 9155

Revised Feb. 1995
 Revised Nov. 1991

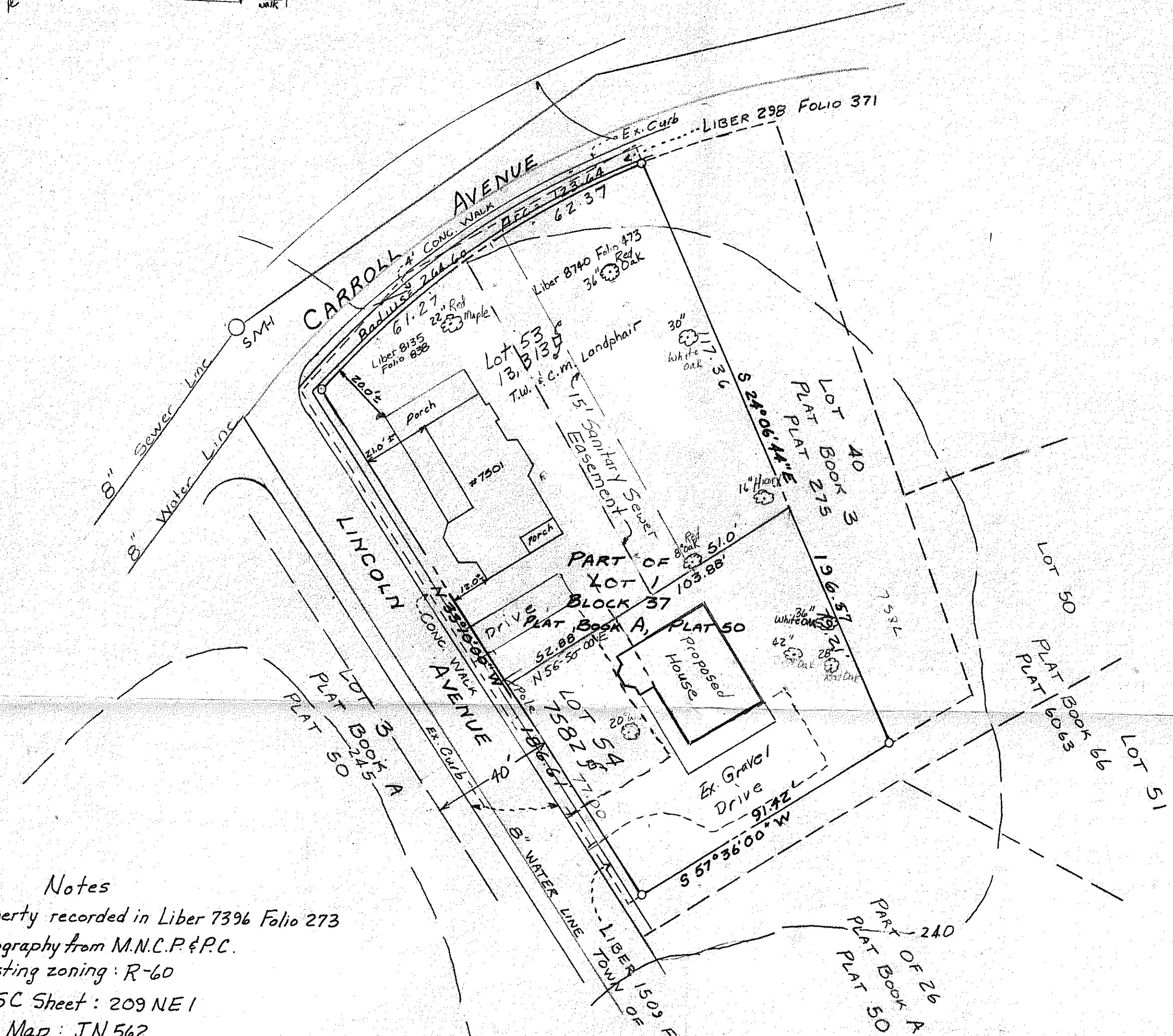
Wallace R. Amos and Associates, Ltd.
 Land Surveyors
 9525 Georgia Avenue
 Silver Spring, Maryland 20910
 565-3727

PRELIMINARY PLAN
 LOTS 53 & 54
 B.F. GILBERT'S SUBDIVISION OF TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND
 SCALE 1"=30'
 JAN. 1987 (Revised Nov. 1991; Feb. 1995)

Job No. 86-3609
 PLAT NO. 87-043
 FILE NO. A-4



VICINITY MAP
1" = 2000'



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Md. No. 9155



Revised Feb. 1995
Revised Nov. 1991

OWNERS
ERNIE SINES
1101 PARRS RIDGE ROAD
SPENCERVILLE, MD.
(301)-384-6618

Wallace R. Amos and Associates, Ltd.
Land Surveyors
9525 Georgia Avenue
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1-87207 Takoma Park