

37/3-94G 7021 Poplar Avenue  
Takoma Park Historic District



**MEMORANDUM**

**TO:** Robert Hubbard, Acting Chief  
Division of Development Services and Regulation  
Department of Environmental Protection

**FROM:** Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

**SUBJECT:** Historic Area Work Permit

**DATE:** 5-2-94

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The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

+ Approved \_\_\_\_\_ Denied

\_\_\_\_\_ Approved with Conditions: \_\_\_\_\_

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The Building Permit for this project should be issued conditional upon adherence to the approved Historic Area Work Permit.

Applicant: Margaret McGoldrick + Scott Nelson

Address: 7021 Pogon Avenue, Takoma Park



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1072278

NAME OF PROPERTY OWNER MARGARET M. GOLDRICK & TELEPHONE NO. (301) 270-3489  
 (Contract/Purchaser) SCOTT NELSON (Include Area Code)

ADDRESS 7071 POPLAR AVENUE, TAKOMA PARK MARYLAND 70912  
CITY STATE ZIP

CONTRACTOR TO BE SELECTED TELEPHONE NO. (

PLANS PREPARED BY INTEGRATED DESIGN & CONSTRUCTION, INC. TELEPHONE NO. \_\_\_\_\_  
(IDC) (Include Area Code)

REGISTRATION NUMBER 8234-C

### LOCATION OF BUILDING/PREMISE

House Number 7071 Street POPLAR AVENUE

Town/City TAKOMA PARK Election District 13

Nearest Cross Street COLUMBIA AVE. AND ELM AVE.

Lot 43 Block 21 Subdivision B.F. GILBERT'S ADDITION TO TAKOMA PARK

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	<u>Extend/Add</u>	Alter/Renovate	Repair	Circle One: A/C	Slab	<u>Room Addition</u>	
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace	
			Revision	<u>Fence/Wall</u> (complete Section 4)	Shed	Solar	Woodburning Stove

1B. CONSTRUCTION COSTS ESTIMATE \$ 80,000.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? MASTER PLAN

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 <input checked="" type="checkbox"/> WSSC	02 ( ) Septic
03 ( ) Other _____	

2B. TYPE OF WATER SUPPLY

01 <input checked="" type="checkbox"/> WSSC	02 ( ) Well
03 ( ) Other _____	

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT 3 feet 6 inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line N/A
- Entirely on land of owner YES - IN PLACE OF EXISTING (SAME FOOTPRINT)
- On public right of way/easement N/A (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Scott Nelson  
 Signature of owner or authorized agent (agent must have signature notarized on back)

04-06-94  
 Date

APPROVED + For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature Albert B. ... Date 1-27-94

APPLICATION/PERMIT NO: 9404060065 FILING FEE: \$ \_\_\_\_\_

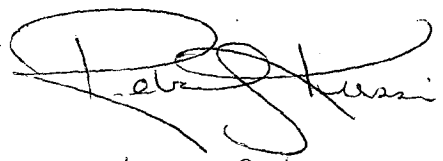
DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_

OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

REBECCA J. KRESSIN  
NOTARY PUBLIC STATE OF MARYLAND  
My Commission Expires May 7, 1997



4-6-94

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7021 Poplar Avenue	Meeting Date: 4/27/94
Resource: Takoma Park Historic District	Review: HAWP/Alteration
Case Number: 37/3-94G	Tax Credit: No
Public Notice: 4/13/94	Report Date: 4/20/94
Applicant: M. McGoldrick/S. Nelson	Staff: Nancy Witherell
PROPOSAL: Construct addition and retaining walls	RECOMMEND: Approve

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The house is a much-altered bungalow that looks contemporary in design and is designated a non-contributing resource in the Takoma Park Historic District. The two-story addition would measure approximately 20' x 25' at its broadest dimensions on the first floor and have a much smaller second story section. The addition would be built in place of an existing deck that would be removed. The roof of the addition would be lower than the existing roof height and the addition would be placed entirely behind the house.

In addition, the front concrete block stair walls on the front porch would be removed and replaced with new walls of structural glazed clay tile finished in "conifer green". Pipe railing would be added to both sides of the stairs. At present, as shown in the photographs, there is no stair railing.

The existing concrete block and stone retaining walls would be removed and replaced with new concrete block walls behind and to the side of the house. The walls would be integrated with planter boxes, steps, and a drainage trough.

STAFF DISCUSSION

The addition is well-designed for this house, which is a full two stories in height. As a non-contributing house, it is reviewed for the effect of its alterations on the overall character of the streetscape and historic district. The addition would not have an adverse effect on the historic character of the area.

The scale of the addition is appropriate for the house, as is the continued use of materials associated with contemporary architecture such as pipe railing, structural tile, concrete block, glass block, and T 1-11 siding.

STAFF RECOMMENDATION

The staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1072270

NAME OF PROPERTY OWNER MARGARET M. GOLDRICK & SCOTT NELSON TELEPHONE NO. (301) 270-3489  
(Contract/Purchaser) (Include Area Code)

ADDRESS 7021 POPLAR AVENUE, TAKOMA PARK MARYLAND 20912  
CITY STATE ZIP

CONTRACTOR TO BE SELECTED TELEPHONE NO. (  
CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_

PLANS PREPARED BY INTEGRATED DESIGN & CONSTRUCTION, INC. TELEPHONE NO. \_\_\_\_\_  
(IDC) (Include Area Code)

REGISTRATION NUMBER 8239-C

### LOCATION OF BUILDING/PREMISE

House Number 7021 Street POPLAR AVENUE

Town/City TAKOMA PARK Election District 13

Nearest Cross Street COLUMBIA AVE. AND ELM AVE.

Lot 43 Block 21 Subdivision B.F. GILBERT'S ADDITION TO TAKOMA PARK

Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)  
Construct  Extend/Add  Alter/Renovate  Repair   
Wreck/Raze  Move  Install  Revocable  Revision

Circle One: A/C Slab Room Addition  
Porch Deck Fireplace Shed Solar Woodburning Stove  
 Fence/Wall (complete Section 4) Other \_\_\_\_\_

1B. CONSTRUCTION COSTS ESTIMATE \$ 80,000.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

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2A. TYPE OF SEWAGE DISPOSAL  
01  WSSC 02 ( ) Septic  
03 ( ) Other \_\_\_\_\_

2B. TYPE OF WATER SUPPLY  
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03 ( ) Other \_\_\_\_\_

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1. On party line/Property line N/A  
2. Entirely on land of owner YES - IN PLACE OF EXISTING (SAME FOOTPRINT)  
3. On public right of way/easement N/A (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Tatiana S. Suter  
Signature of owner or authorized agent (agent must have signature notarized on back)

04-06-94  
Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

APPLICATION/PERMIT NO: 9404060065 FILING FEE: \$ \_\_\_\_\_

DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_ BALANCE: \_\_\_\_\_

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

DESCRIPTION OF PROPOSED WORK: (including composition, color and texture of materials to be used:)

ADDITION OF A TWO STORY WITH CRAWL SPACE TO REAR EAST  
ELEVATION / REAR YARD OF EXISTING HOUSE. USING SIMILAR  
ROOF SLOPES AND BUILDING MATERIALS AS EXISTING, AN ADDITION  
OF APPROXIMATELY 530 FEET <sup>SQ.</sup> <sup>WILL</sup> INCLUDE KITCHEN, DINING ROOM,  
NORTH ROOM AND BATHROOM EXTENSION, THE ADDITION IS  
SIZED SMALLER THAN THE ELEVATIONS THAT IT WILL  
SHARE AND EASES INTO THE REAR YARD SLOPE. IT IS  
PLANNED TO BE CONSTRUCTED ON THE EXACT LOCATION  
OF AN EXISTING DECK, SCHEDULE TO BE REMOVED. ALL  
STRUCTURE IS WITHIN PROPERTY SET-BACKS. THE ADDITION  
IS LOCATED ON THE REAR YARD AWAY FROM PUBLIC VIEW.

(If more space is needed, attach additional sheets on plain or lined paper to this application)

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH SITE PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE:  
HISTORIC PRESERVATION COMMISSION  
100 MARYLAND AVENUE  
ROCKVILLE, MARYLAND 20850



SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING STRUCTURE IS A TWO STORY WITH BASEMENT HOUSE SITED ON THE REAR PORTION OF A LONG, SLOPED LOT. (BLOCK 21 LOT 43). ORIGINALLY CONSTRUCTED IN THE EARLY 1900'S AS A BUNGALOW, THE HOUSE UNDERWENT NUMEROUS RENOVATIONS IN PIECEMEAL FASHION. THE HOUSE HAS NO EXEMPLARY HISTORIC FEATURES. THE MAJOR ENVIRONMENTAL ASPECTS ARE A 22" OAK ON THE OWNERS PROPERTY AND A 24" OAK ON THE PROPERTY LINE. THE TREES WILL NOT BE TOUCHED.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

IT IS THE INTENTION OF THE OWNER TO HAVE CONSTRUCTED A TWO STORY ADDITION ON THE EAST ELEVATION OF THE EXISTING HOUSE, IN AN AREA CONSIDERED THE BACKYARD. THE ADDITION WILL EXTEND BOTH THE KITCHEN AND DINING ROOM AS WELL AS THE NEW SECOND FLOOR BATHROOM. A NORTH ROOM WILL BE BUILT DIRECTLY OFF OF THE KITCHEN. THE NEW ADDITION SITS DIRECTLY ON THE FOOTPRINT OF AN EXIST'G WOOD DECK THAT WILL BE REMOVED. NEW RETAINING WALLS WILL BE CONSTRUCTED IN PLACE OF EXISTING, CRUMBLING WALLS. THIS SHOULD AID IN RETAINING SOIL AROUND THE EXISTING TREES NOTED ABOVE. VERY LITTLE TO NO IMPACT WILL RESULT FROM THIS ADDITION ON THE HISTORIC STATUS OF THIS NEIGHBORHOOD.

2. State of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

THE NEW ADDITION WAS DESIGNED WITH SET BACKS FROM BOTH EXTERIOR CORNERS OF THE EXISTING HOUSE. IT WILL BE NICELY INTEGRATED INTO BOTH THE EXISTING HOUSE WITH SIMPLE SLOPED ROOFS AND BUILT INTO THE SITE. THE STRUCTURAL GLAZED CLAY UNITS WAS SELECTED TO MATCH THE EXISTING GREEN TRIM OF THE HOUSE. SIMILAR T&G SIDING WILL BE USED TO SIDING THE REST OF THE ADDITION.

- b. the relationship of this design to the existing resource(s):

THE HOUSE ADDITION WAS DESIGNED TO LOOK AS IF IT WERE PART OF THE ORIGINAL CONSTRUCTION. ALL LANDSCAPING WILL BE REPLACED.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

THE NEW ADDITION WAS DESIGNED WITH SET BACKS FROM BOTH EXTERIOR CORNERS OF THE EXISTING HOUSE. IT WILL BE NICELY INTEGRATED INTO BOTH THE EXISTING HOUSE WITH SIMPLE SLOPED ROOFS AND BATTER INTO THE SITE. THE STRUCTURAL GLAZED CLAY UNITS WAS SELECTED TO MATCH THE EXISTING GREEN TRIM OF THE HOUSE. SIMILAR TRIM WILL BE USED TO SIDE THE REST OF THE ADDITION

- b. the relationship of this design to the existing resource(s):

THE HOUSE ADDITION WAS DESIGNED TO LOOK AS IF IT WERE PART OF THE ORIGINAL CONSTRUCTION. ALL LANDSCAPING WILL BE REPLACED.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

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4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name JOHN F. WATERS (BLK 21, LOT 42)  
 Address 7019 POPLAR AVE.  
 City/Zip TAKOMA PARK, MD 20912

2. Name OLIVE J & E. B. WALLACE (BLK 21, LOT 44)  
 Address 7101 POPLAR AVE.  
 City/Zip TAKOMA PARK, MD 20912

3. Name EDWIN A STROMBERG (LOT 18, BLK 21)  
Address 7016 SYCAMORE AVE.  
City/Zip TAKOMA PARK, MD 20912

4. Name BENJAMIN C & M.V. GAREY (LOT 28, BLK 20)  
Address 7018 POPLAR AVE.  
City/Zip TAKOMA PARK, MD 20912

5. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

6. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

7. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

8. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

1757E

3. Name EDWIN A STROMBERG (LOT 19, BLK 21)  
Address 7016 SYCAMORE AVE.  
City/Zip TAKOMA PARK, MD 20912

4. Name BENJAMIN C & M.V. GAREY (LOT 20, BLK 20)  
Address 7018 POPLAR AVE.  
City/Zip TAKOMA PARK, MD 20912

5. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

6. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

7. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

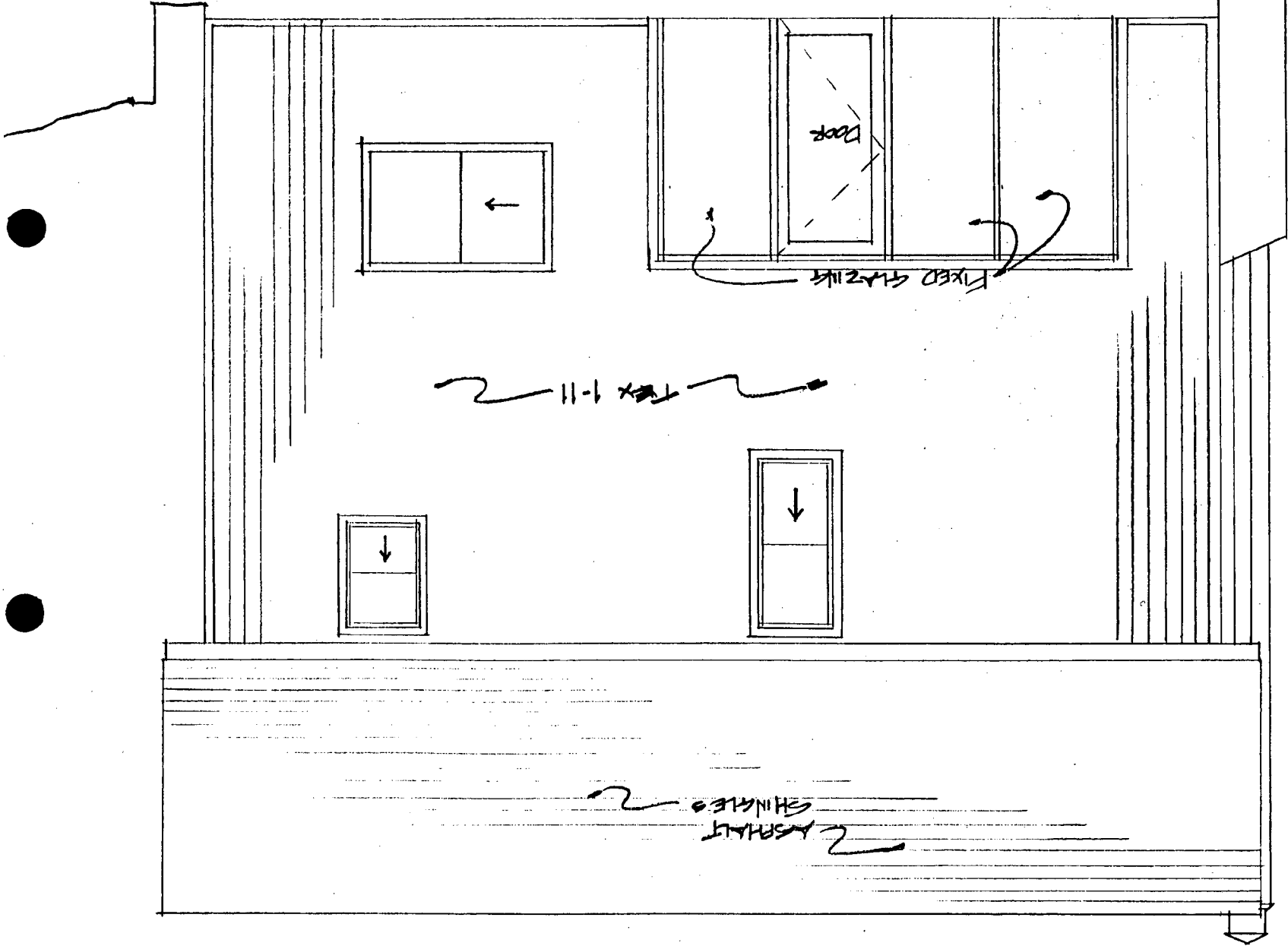
8. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

1757E

6

EXISTING EAST ELEVATION  
1/8" = 1'-0"

(1)



FIXED GLAZING

DOOR

ASPHALT SHINGLES

ASPHALT SHINGLES

EXISTING NORTH ELEVATION

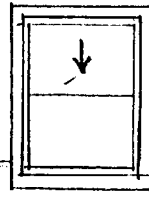
1/8" = 1'-0"

DECK ↑



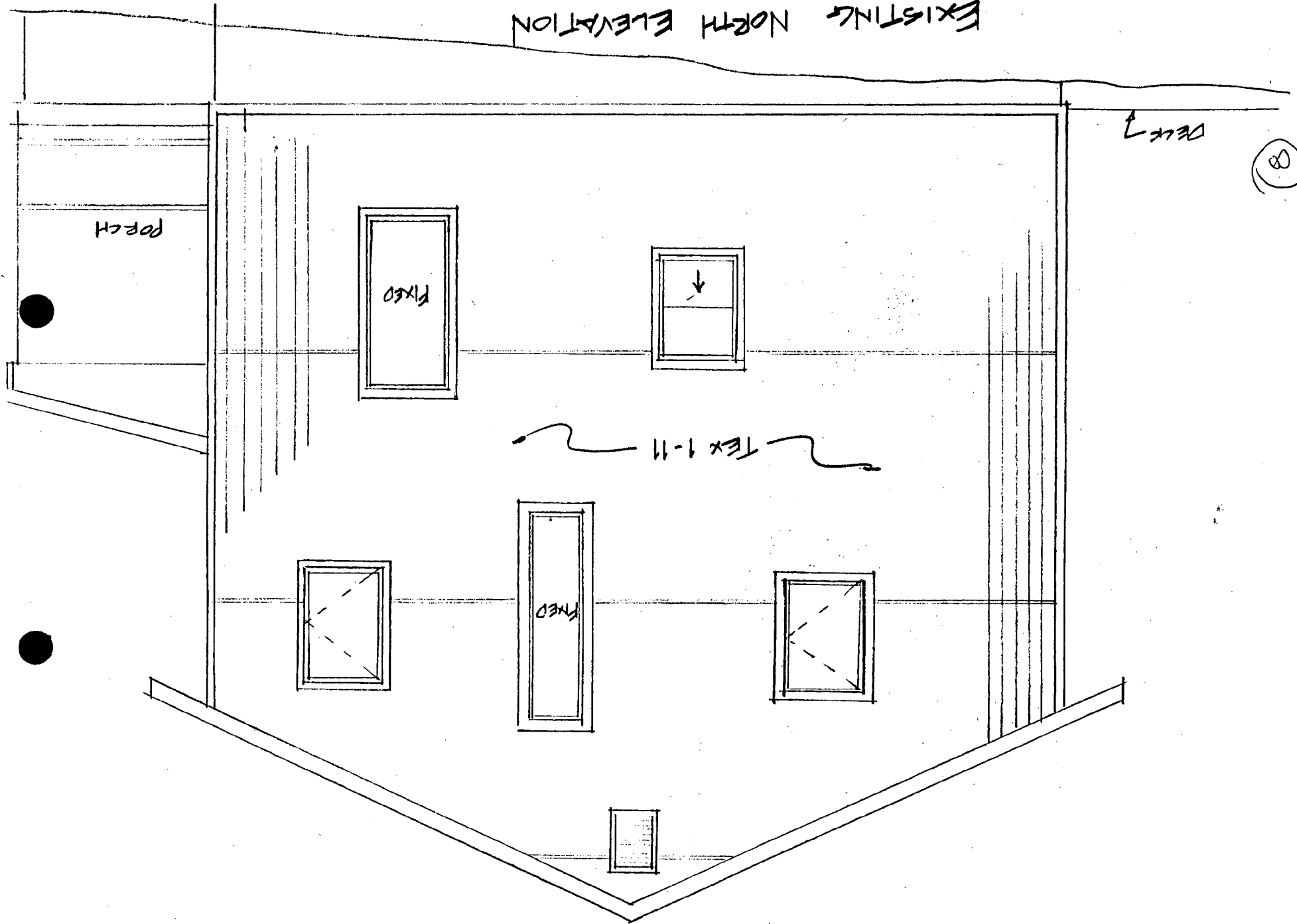
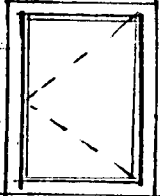
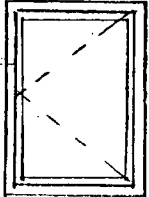
porch

FIXED



TEX 1-11

FIXED

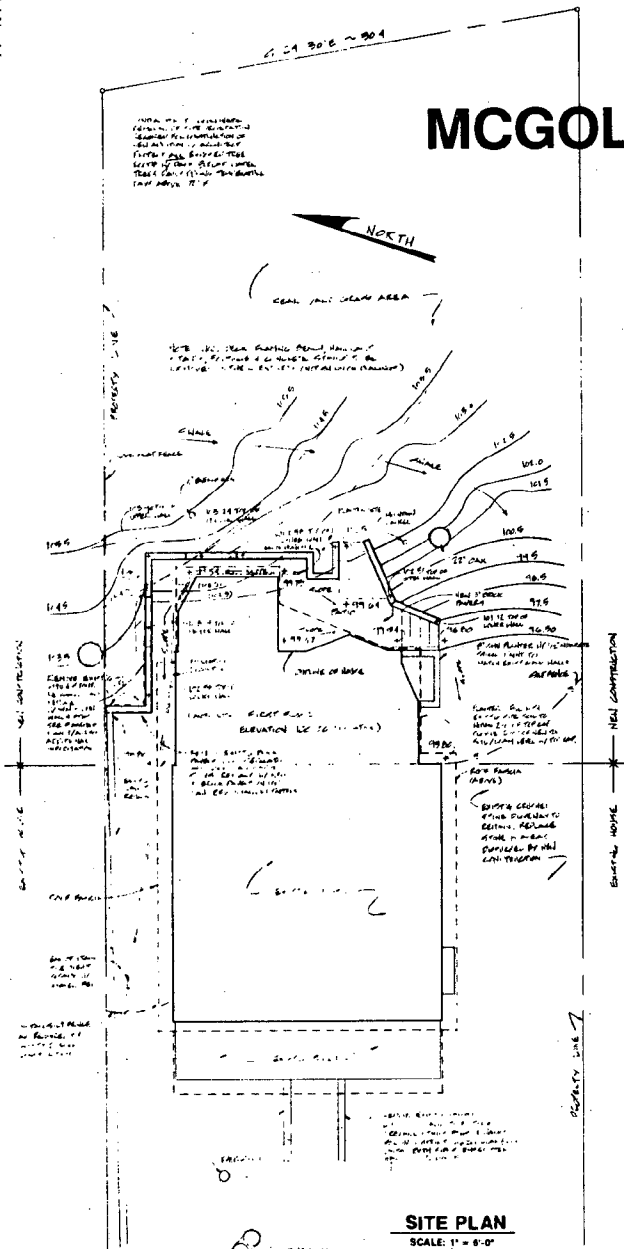




# MCGOLDRICK / NELSON RESIDENCE ADDITION

7021 POPLAR AVENUE

TAKOMA PARK, MARYLAND



- Contractor shall notify Integrated Design & Construction, Inc. (IDC) of any discrepancies, conflicts in location of new construction, or omissions in drawings and/or job conditions, prior to continuing with work in that area.
- Contractor shall not scale drawings and shall verify all dimensions before proceeding with procurement of materials required to be accurately fitted to the building. The contractor shall be responsible for the accuracy of all measurements and for the precise fitting of the work. Noted dimensions take precedent over scale.
- Contract documents, including drawings and specifications, are the sole property of Integrated Design & Construction, Inc. Unauthorized or incorrect use of these documents is prohibited.
- Contractor is to comply with C.A.B.O. building code and all national and local building, site and fire codes. Contractor will be responsible for all inspections and testing required by the local environmental agencies, including but not limited to sediment control and storm water management regulations.
- Integrated Design & Construction, Inc. (IDC) can not be held responsible for any work associated with kitchen drawings prepared by Kitchen & Bath Studio, Inc. This includes, but is not limited to hating, grounds, electrical, plumbing, and patch repair work associated with the installation of kitchen equipment.
- IDC cannot be responsible for errors, delays or omissions by the Contractor or his agents. Contractor is responsible for coordination of all contract documents and of the various trades under his contract and for cooperation with other subcontractors on the site and with the owner to assure expedient completion of the work.
- In the event certain features of construction are not fully shown on the drawings, their construction shall be the same character as for similar conditions that are shown or noted.
- All manufacturer's and fabricator's printed installation and handling instructions must be strictly observed.

**CAPITOL SURVEYS**

NOTE: This drawing is not to be used to create a survey line in the absence of corner line shown hereon upon the first records of the county or city in which the property is located.

HOUSE LOCATION:  
LOT 43 BLOCK 21  
B.F. GLENN'S ADDITION TO  
"TAKOMA PARK"  
WORTHINGTON COUNTY, MARYLAND  
Recorded in the book 2, page 2, 8-21-1900

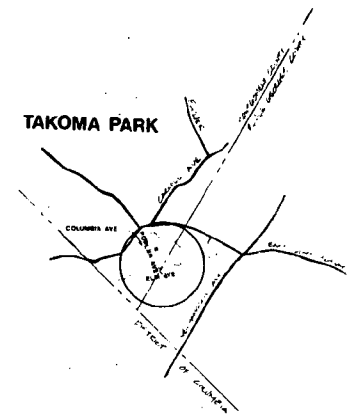
LOUIS COHEN  
Registered Land Surveyor  
No. 1007, State of Md.

TAX CLASS 7A  
DISTRICT 15  
SUB. 25  
TAX NO. # 1072270

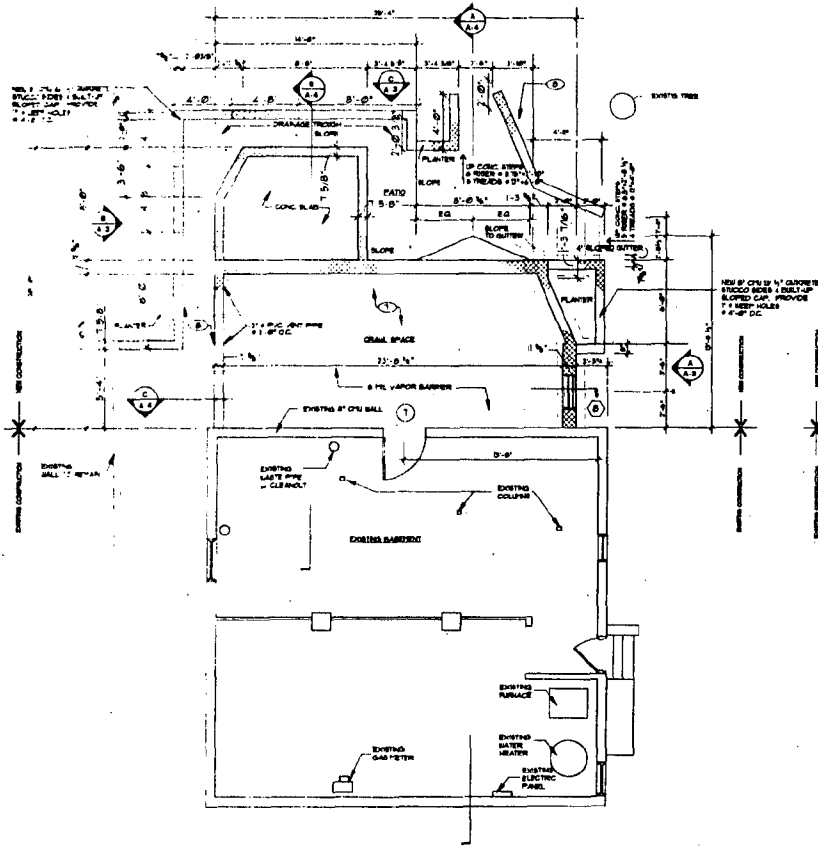
DATE: JULY 15, 1986 CASE: 951-66 FILE: 30354

## DRAWING LIST:

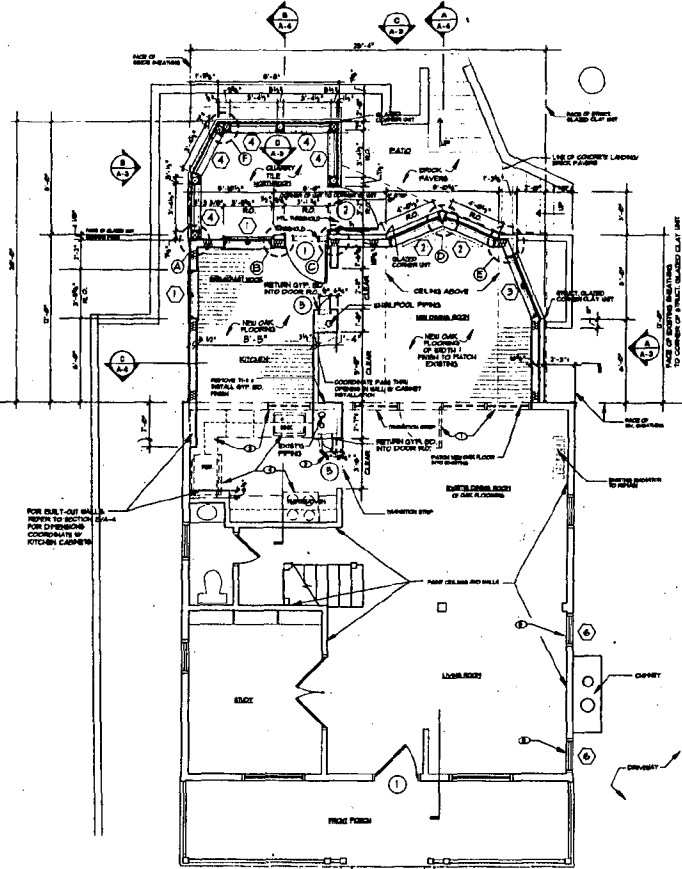
- C-1 SITE PLAN / COVER
- A-1 BASEMENT & FIRST FLOOR PLANS
- A-2 SECOND FLOOR & ROOF PLANS
- A-3 BUILDING ELEVATIONS & SCHEDULES
- A-4 BUILDING & WALL SECTIONS
- A-5 CABINET PLANS, SECTIONS & DETAILS
- S-1 STRUCTURAL PLANS
- E-1 POWER PLAN
- E-2 LIGHTING PLAN
- U-1 MECHANICAL & PLUMBING



JOB NO.	10000
DATE	7/15/86
DRAWN	AL
CHECK	AL
SCALE	AS SHOWN
TITLE	<b>SITE PLAN COVER</b>
SHEET NO.	<b>C-1</b>



1 BASEMENT PLAN  
1/4" = 1'-0"



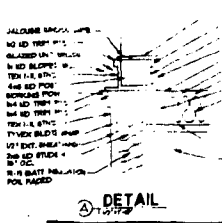
2 FIRST FLOOR PLAN  
1/4" = 1'-0"

- DEMOLITION NOTES**
- 1 REMOVE EXISTING GLASS SPOON HALL DOOR FRAME FOR NEW OPENING. BRACE WALL + FLOOR STRUCTURE ABOVE.
  - 2 REMOVE WOOD DOOR FRAME + TRIM FOR NEW DOORED-IN PIPE CHASE W/ ACCESS PANEL.
  - 3 FOR NEW OPENING, BRACE WALL + FLOOR STRUCTURE ABOVE. REMOVE EXISTING SPOON HALL UPPER CABINETS, COUNTER, FLOORING, PORTION OF CEILING AND LIGHT FIXTURE REQUIRED FOR NEW OPENING.
  - 4 SALVAGE SINK, GARBAGE DISPOSAL, DISH WASHER, REFRIGERATOR, RANGE/OVEN AND MICROWAVE FOR REUSE.
  - 5 REMOVE FRAME + GLASS. PREPARE ROUGH-OPENING FOR NEW SPOON UNIT. PROVIDE NEW HEADERS AND LATHS IN WALL.
  - 6 REMOVE PARADES OVER HALLS + PREPARE EXISTING OR NEW FOUNDATION (IF REQUIRED) FOR NEW STRUCTURAL GLAZED CLAY INT. CAP + HANDRAIL, HANDRAIL STAIRS + FOOTING (NOT SHOWN ON DRAWING).
  - 7 REMOVE EXISTING WOOD DECK, RAILING, BENCH, HANDRAIL STAIRS + FOOTING (NOT SHOWN ON DRAWING).
  - 8 REMOVE EXISTING CIVIL, BRANCH STONE WOOD CAP AND COVER BRICK PAVING. CONCRETE STAIRS AND OTHER STRUCTURE BY CONTRACTOR ON THE SURFACE OR BUILT UPON BENCH ON THE GARAGE.

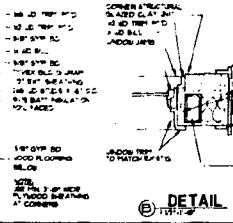
- GENERAL NOTES**
- A FINISH ALL SURFACES THAT ARE TO REMAIN. REPAIR + PATCH TO MATCH EXISTING.
  - B CONTRACTOR TO INSTALL KITCHEN CABINET AND PROVIDE + SUPPLY BY KITCHEN SUPPLIER. CABINET, COUNTER + FRONT PANEL DRAWERS, ELEVATIONS, SECTIONS, + SPECIFICATIONS TO BE OBTAINED FROM KITCHEN SUPPLIER.
  - C CONTRACTOR TO COORDINATE REVERSAL OF REFRIGERATOR DOOR BEING.
  - D CONTRACTOR TO STAIN ALL EXTERIOR BRICK NEW AND EXISTING. COAT APPLICATION AS INDICATED IN SPECIFICATIONS. CONTRACTOR TO PAINT ALL EXTERIOR WINDOW AND DOOR TRIM NEW AND EXISTING ON SAME HOUR AFTER SCRAPING OR CHECKED ON FIELDING MARK. (1) COATS FOR BOTH OLD AND NEW TRIM.
  - E CONTRACTOR TO COORDINATE ALL STRUCTURAL GLAZED CLAY INT. CORNERS WITH ARCHITECT PRIOR TO ORDERING.
  - F CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.

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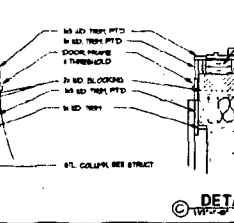
MCGOLDRICKAELBON  
RESIDENCE ADDITION  
1021 POPLAR AVENUE  
TAKOMA PARK, MD  
20912



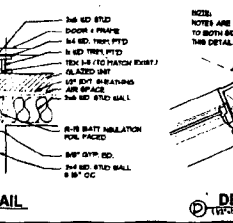
A 1/4" = 1'-0"



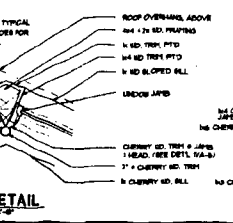
B 1/4" = 1'-0"



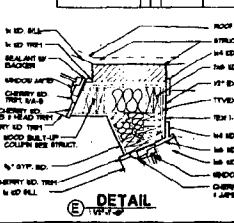
C 1/4" = 1'-0"



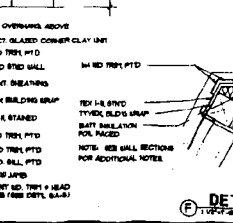
D 1/4" = 1'-0"



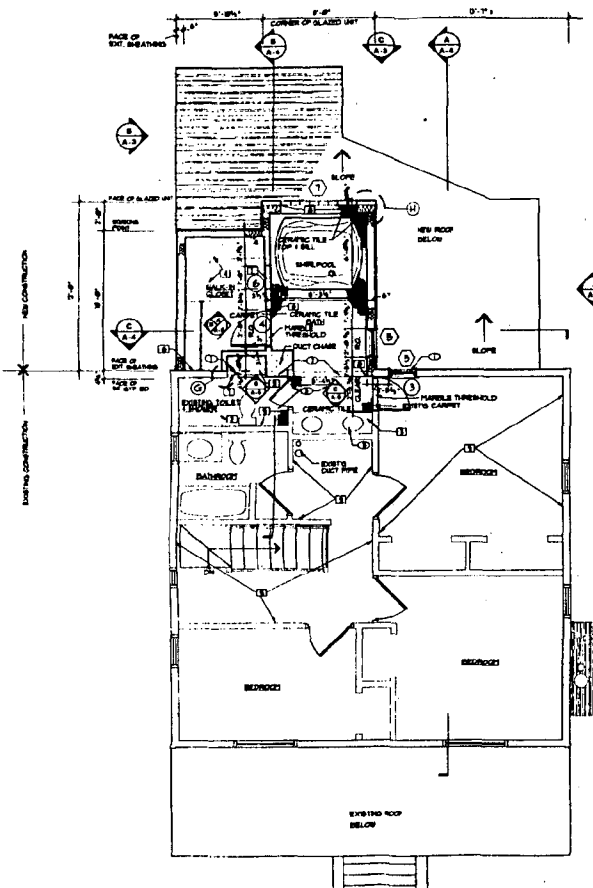
E 1/4" = 1'-0"



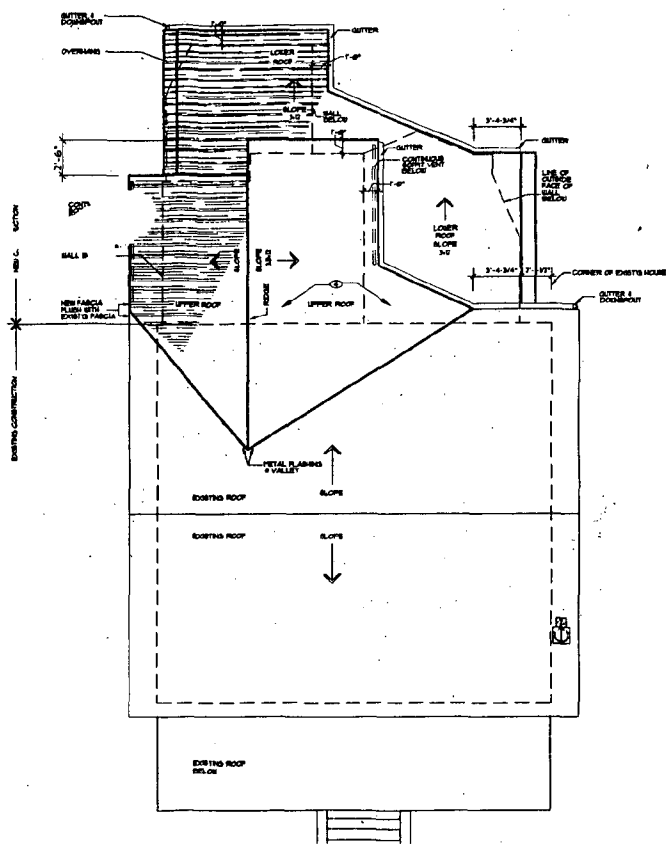
F 1/4" = 1'-0"



1013  
17/204  
PS  
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HSE  
BASEMENT AND FIRST FLOOR PLANS  
SHEET NO. 1  
A-1



1  
A.2  
**SECOND FLOOR PLAN**  
1/4"=1'-0"



2  
A.2  
**ROOF PLAN**  
1/4"=1'-0"

**DEMOLITION NOTES:**

- 1 BRACE WALL & ROOF FRAMING ABOVE. REMOVE EXISTING BEDROOM AND BATHROOM GABLE WALLS & TRIM. REMOVE PORTION OF BEDROOM WINDOW HEADER & GILL TO RECEIVE NEW WINDOW UNIT.
- 2 BRACE WALL & ROOF FRAMING ABOVE. REMOVE PORTION OF WALL REQUIRED FOR NEW OPENING TO BATH & BATHROOM CLOSET. REMOVE EXISTING ELECTRIC BARBERBOARD UNIT IN BEDROOM ONLY. BALANCE TOOLS, HOLDER FOR REUSE.
- 3 REMOVE CERAMIC TILE & PARALLEL THRESHOLD IN BATHROOM. REMOVE CARPETING & BACKER IN LAVATORY AREA AFTER LOCATION OF NEW DOOR INSTALLATION. PREPARE SUBFLOOR FOR NEW FLOOR.
- 4 REMOVE PORTION OF ROOF TRIM OVERHANG, SOFFIT & FACIA FOR NEW ROOF INTERSECTION. REMOVE GUTTER & DOWNSPOUT.
- 5 REMOVE LAVATORY, COUNTER TOP & BACKSPLASH. RETAIN FOR RE-INSTALLATION.

**GENERAL NOTES:**

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.

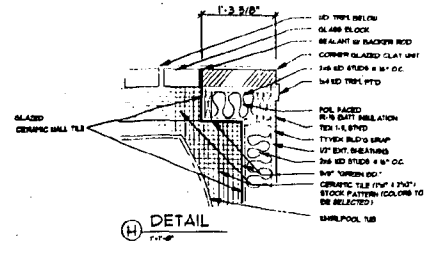
**KEY NOTES:**

- 1 1-1/2" x 2" BOSS FRAMED PLYWOOD ACCESS PANEL BELIEVE ON HANGING GARDENS BY BOSS PANEL. PAINT TO MATCH WALL COLOR.
- 2 INSTALL NEW PROTECTED GLASS, FRAMED INSULATED BACKER DOOR & HANDLE. CONTRACTOR TO VERIFY DIMENSIONS.
- 3 EXISTING LAVATORY & COUNTER SEE DWS. C-1 & 2 FOR NEW BATH CABINET LAYOUT & DETAILS.
- 4 SEE DWS. A-4 FOR BATHROOM PLAN ELEVATION SECTION & DETAILS.
- 5 (1) 1/2" BIRCH PLYWOOD SHELVES WITH HARDWOOD TONGUE SEE DWS. BY A-9 FOR DETAIL. (2) PLAN & ELEVATION.
- 6 INSTALL 5/8" LAYER OF GYP. BD. TO MATCH ADJACENT WALLS.
- 7 REINSTALL EXISTING TOILET HOLDER.
- 8 CERAMIC WALL TILE TO 8"0" x DOOR FRAME WITH GLASS BLOCK OR CORNER & NEW BATH DOOR TOP COURSE OF TILE TO BE BALANCED & 7'-0" APX.
- 9 PAINT WALLS & CEILING TO MATCH NEW ADDITION.

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**McGOLDRICK RESIDENCE ADDITION**  
1021 POPLAR AVENUE  
TAKOMA PARK, MD  
20912

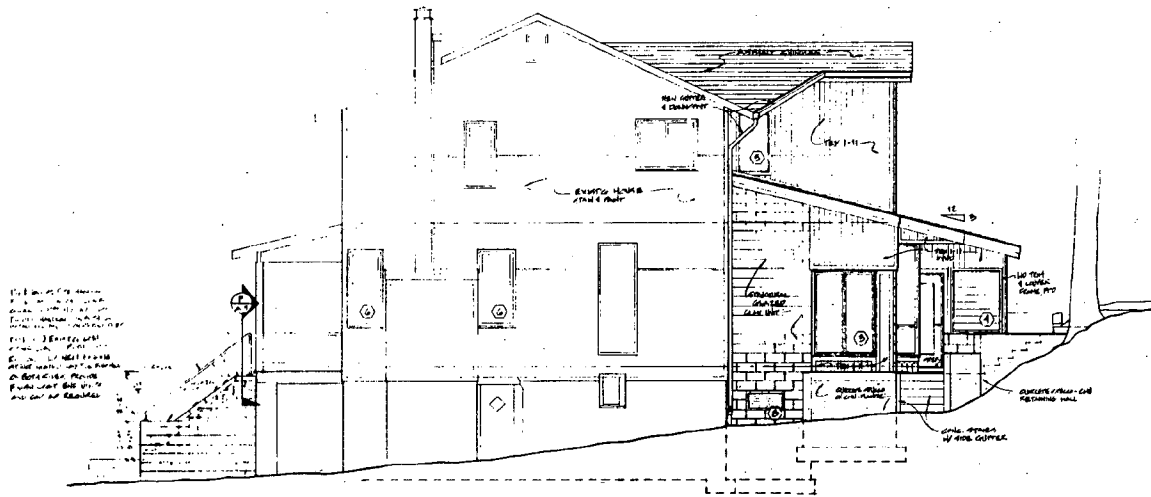
NO.	DATE	DESCRIPTION



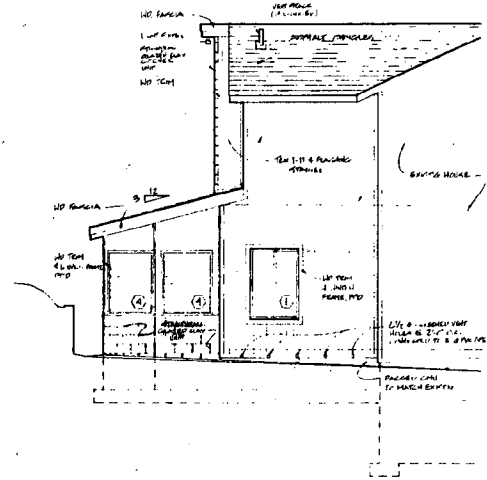
H  
DETAIL  
7/4"=0"

ISSUE NO.	3011
DATE	09/17/88
DRAWN BY	RP, VC
CHECKED BY	JR, MK
SCALE	AS NOTED
PROJECT NO.	1021
<b>SECOND FLOOR AND ROOF PLANS</b>	
SHEET NO.	<b>A-2</b>
SHEET OF	02

11



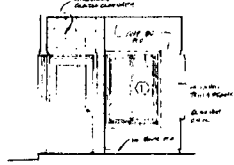
**A SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



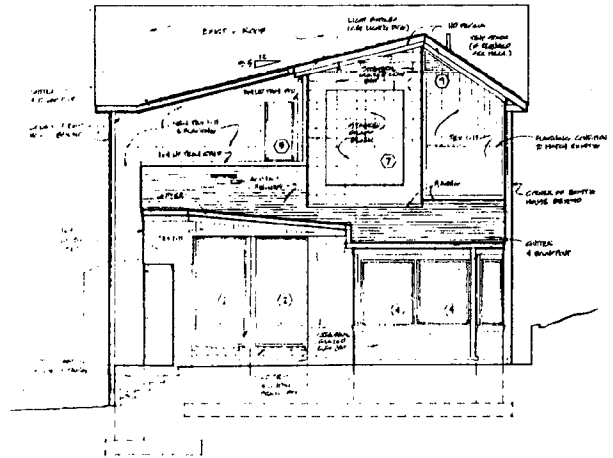
**B NORTH ELEVATION**  
SCALE: 3/4" = 1'-0"

**General Notes**

1. CONTRACTOR TO VERIFY ALL DIMENSIONS.
2. REMOVE & SALVAGE ALL EXISTING INTERIOR LIGHT FIXTURES. REUSE BRACKETS UP TO 4" DIA. IF EXISTING BRACKETS ARE NOT REUSABLE, REMOVE COMPLETELY.
3. REMOVE ALL WINDOWS, DOORS, & FLOORS AT POINTS OF NEW CONSTRUCTION COMPLETELY.
4. REMOVE EXISTING EXTERIOR & EXTERIOR & REPAIR AS NEAR AS POSSIBLE TO ORIGINAL INTEGRITY, ONLY.



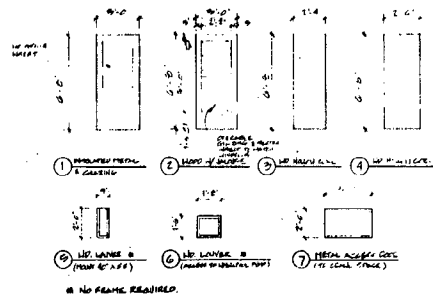
**D INTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0" (NORTH ROOM)



**C EAST ELEVATION**  
SCALE: 1/4" = 1'-0"

**Window, Door & Louver Schedule**

Number	Anderson Window Mfg. Number	Rough Opening Dimensions	Rough Sill Height	Type	Notes
1	CN 19-2	5'-0 3/8" x 5'-0 3/8"	2'-0"	CASEMENT	GENERAL NOTE: ALL EXISTING WINDOWS TO HAVE BRACKETS REUSED.
2	AP 45 & A 41	4'-0 1/2" x 8'-0 1/2"	0'-4"	ALUMINUM FIXED	
3	CN 26	4'-9" x 6'-0 3/8"	0'-1"	CASEMENT	
4	CUSTOM	5'-4 1/2" x 4'-0"	2'-5"	SHALOW	
5	C 14	2'-0 3/8" x 4'-0 3/8"	3'-0"	CASEMENT	CONTRACTOR TO VERIFY IF BRACKETS EXIST & REUSE. IF NOT, BRACKETS TO BE INSTALLED. BRACKETS TO BE INSTALLED, SHIP & FIX.
6	C 158	2'-0 3/8" x 9'-0 3/8"	—	CASEMENT	BRACKETS EXIST. BRACKETS TO BE REUSED. BRACKETS TO BE INSTALLED, SHIP & FIX.
7	GLASS BLOCK	5'-4" x 6'-0"	2'-1"	GLASS BLOCK	CONTRACTOR TO VERIFY IF BRACKETS EXIST & REUSE. IF NOT, BRACKETS TO BE INSTALLED. BRACKETS TO BE INSTALLED, SHIP & FIX.
8	LOUVER (RIGHT)	5'-4" x 1'-4"	—	FIXED PANEL	CONTRACTOR TO VERIFY IF BRACKETS EXIST & REUSE. IF NOT, BRACKETS TO BE INSTALLED. BRACKETS TO BE INSTALLED, SHIP & FIX.
9	LOUVER (LEFT)	5'-4" x 1'-4"	—	FIXED PANEL	CONTRACTOR TO VERIFY IF BRACKETS EXIST & REUSE. IF NOT, BRACKETS TO BE INSTALLED. BRACKETS TO BE INSTALLED, SHIP & FIX.
10					



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MUGOJICK/NEILSON  
RESIDENCE ADDITION  
7021 PERLA AVE  
TAKOMA PARK, MD  
20912

JOB NO: 2211  
DATE: 12/12/11  
DRAWN: P. MUGOJICK  
CHECK: M. NEILSON  
SCALE: AS SHOWN

TITLE: BUILDING ELEVATIONS & SCHEDULES

SHEET NO.:



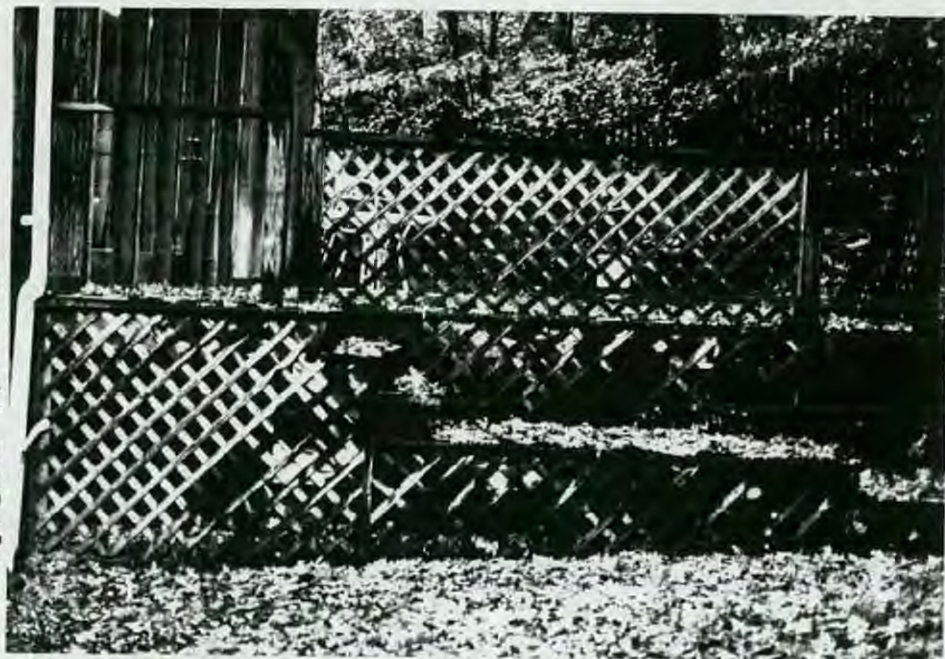
SOUTH ELEVATION



EAST ELEVATION



FRONT WEST ELEVATION FROM  
POPULAR AVENUE



DECK @ ~~WEST~~ EAST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



FRONT WEST ELEVATION FROM  
POPLAR AVENUE



DECK @ ~~WEST~~ EAST ELEVATION

**THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION  
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