

37/3-94LL (2) 7006 Poplar Avenue  
Takoma Park Historic District

# PORCH ADDITION FOR 7006 POPLAR AVE. TAKOMA PARK, MD.

## ZONING INFORMATION

LOT: 34  
BLOCK: 20  
LOT AREA: 7912 SF  
NUMBER OF STORIES: 2  
FRONT YARD: (REAR) 25'

## GENERAL NOTES

ALL MATERIAL AND WORK SHALL BE ACCOMPLISHED IN ACCORDANCE WITH MONTGOMERY COUNTY. THE CONTRACTOR SHALL OBTAIN PERMITS FOR CONSTRUCTION AND INSPECTIONS OF WORK.

THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL INFORM THE ARCHITECT OF CONDITIONS WHICH MAY AFFECT THE CONSTRUCTION AS SHOWN.

EACH AND EVERY CONTRACTOR AND/OR SUB-CONTRACTOR SHALL LEAVE THE WORK IN PERFECT ORDER AT COMPLETION. NEITHER THE FINAL CERTIFICATE OF PAYMENT NOR ANY PROVISION IN THE CONTRACT DOCUMENTS SHALL RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR NEGLIGENCE OF FAULTY MATERIALS OR WORKMANSHIP. UPON WRITTEN NOTICE, HE SHALL REMEDY ANY DEFECTS DUE THERETO AND PAY ALL EXPENSES FOR ANY DAMAGE TO OTHER WORK OF THIS CONTRACT RESULTING THEREFROM. THE ENTIRE WORK IS TO BE GUARANTEED FOR THE PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.

THE CONTRACTOR SHALL PROVIDE WORKMAN EXPERIENCED IN THEIR TRADE AND ALL WORK SHALL CONFORM TO THE ACCEPTED STANDARDS OF THE INDUSTRY. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE LEGALLY REGISTERED IN THE COMMONWEALTH OF VIRGINIA.

THE CONTRACTOR AND SUB-CONTRACTORS SHALL CLEAN THE SITE OF DUST AND DEBRIS DAILY AFTER WORK IS COMPLETED. ALL EFFORTS SHALL BE MADE TO KEEP DUST FROM OCCUPIED ROOMS OF THE HOUSE. THE HOUSE SHALL BE LEFT IN A SPOTLESS CONDITION AFTER FINAL COMPLETION OF THE WORK.

DO NOT SCALE THE DRAWINGS. DIMENSIONAL DISCREPANCIES AND QUESTIONS SHALL BE DIRECTED TO THE ARCHITECT.

DO NOT STACK BUILDING MATERIALS IN SUCH A MANNER THAT WOULD CREATE CONCENTRATED LOADS ON THE EXISTING STRUCTURE.

ALL EXISTING AREAS AFFECTED BY THE NEW WORK SHALL BE RESTORED TO MATCH EXISTING CONDITIONS.

THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR AND EQUIPMENT REQUIRED FOR THE FULL PERFORMANCE OF THE WORK HEREIN, UNLESS SPECIFICALLY NOTED OTHERWISE.

THE GENERAL CONTRACTOR SHALL GIVE HIS PERSONAL SUPERVISION TO THE WORK AND HAVE A RESPONSIBLE FOREMAN CONTINUALLY ON THE SITE TO ACT FOR HIM. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COOPERATE WITH ALL TRADES SO AS TO FACILITATE THE GENERAL PROGRESS OF THE WORK. EACH TRADE SHALL AFFORD ALL OTHER TRADES EVERY REASONABLE OPPORTUNITY FOR THE INSTALLATION OF THEIR WORK.

THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION INSURANCE AND ANY OTHER INSURANCES AS REQUIRED BY LAW.

THE AMOUNTS OF EXTRAS AND CREDITS FOR CHANGED WORK SHALL BE AGREED UPON BY THE OWNER AND THE CONTRACTOR IN WRITING PRIOR TO PROCEEDING WITH THE WORK.

ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED.

ASSUMED SOIL BEARING VALUE IS 3,000 PSF. ARCHITECT IS TO BE NOTIFIED IMMEDIATELY SHOULD INSUFFICIENT BEARING OR HIGH WATER TABLE BE ENCOUNTERED.

FOOTINGS TO BE A MINIMUM OF 2'-6" FROM FINISH GRADE TO BOTTOM OF FOOTING. FOOTING MUST BE ON SOLID UNDISTURBED EARTH OR ON A CONTROLLED FILL OF 95% COMPACTION.

ALL FRAMING MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING LIVE LOAD DESIGN STRENGTHS:

ROOF - 32PSF  
FLOORS - 40PSF

STRENGTH OF FRAMING MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING TABLE:  
STRUCTURAL LUMBER - Fb=1900, E=1,400,000  
FLOOR JOIST - HEM FIR STRUCTURAL GRADE #2

ALL JOISTS SHALL HAVE MINIMUM BEARING OF 1/2" ON WOOD OR STEEL AND NOT LESS THAN 3" ON MASONRY.

BRIDGING: 1" x 3" BOARDS CROSSBRIDGING OR APPROVED EQUAL. MAXIMUM SPACING = 10'-0".

ROOF RAFTERS: NO. 2 HEM-FIR; Fb=1100, E=1,400,000 OR EQUAL.

ALL WOOD IN CONTACT WITH EXTERIOR WALLS BELOW GRADE OR CONCRETE SLABS ON GRADE (SILLS, PLATES, SLEEPERS) SHALL BE PRESURE TREATED. ALL EXTERIOR WOOD SHALL BE PRESURE TREATED OR APPROVED FOR EXTERIOR USE.

ALL MASONRY CONSTRUCTION WILL BE IN ACCORDANCE WITH "AMERICAN STANDARD BUILDING CODE FOR MASONRY" AS APPROVED BY THE AMERICAN STANDARDS ASSOCIATION.

MASONRY TIES SHALL BE HOT DIPPED GALVANIZED #3 GAUGE WALL TIES, LOCATED AS SHOWN ON DRAWINGS AND SHOULD BE EITHER COPPER CLAD OR STAINLESS STEEL.

REINFORCING STEEL: REINFORCING STEEL SHALL BE HIGH STRENGTH, NEW BILLET FORMED BAR CONFORMING TO ASTM A615, GRADE 60. DETAILS OF REINFORCING SHALL CONFORM TO ACI 318-83 AND CRSI STANDARDS.

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO BRACE FOUNDATION PIERS WHEN BACKFILLING AND WHEN THERE IS A POSSIBILITY OF DAMAGE BY EXCESS WATER. ALL PRECAUTIONS SHOULD BE TAKEN FOR ADEQUATE DRAINAGE PRIOR TO AND AFTER BACKFILLING.

ALL FOOTINGS SHALL BE 2800 PSI AT 28 DAYS. CONCRETE FOR COLUMN FOOTINGS SHALL BE 3000 PSI AT 28 DAYS. ALL STRUCTURAL CONCRETE SHALL BE IN ACCORDANCE WITH THE PROVISION OF ACI 318-T1. ALL CONCRETE SHALL BE 3000 PSI AT 28 DAYS. ALL EXTERIOR CONCRETE THAT WILL BE EXPOSED TO FREEZING SHALL HAVE AN AIR ENTRAINING ADMIXTURE IN ACCORDANCE WITH ACI SPECIFICATION 301.

FOOTINGS: BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MIN. INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION AT LEAST 2'-6" BELOW FINISHED GRADE. FOOTINGS SHALL EXTEND BELOW ELEVATIONS SHOWN WHERE NECESSARY TO REACH THE SOIL BEARING VALUE OF 2000 PSF.

USE APPROVED METAL (KANT-SAG) OR EQUIVALENT CONNECTORS FOR ALL STRUCTURAL LUMBER CONNECTIONS.

ALL OPENINGS THROUGH ROOF OR WALLS SHALL BE THOROUGHLY SEALED AND FLASHED.

EARTHWORK: STRIP TOPSOIL FROM THE CONSTRUCTION AREA UNDER THE NEW ADDITION. FILL ALL TOPSOIL FOR LATER USE.

EXCAVATE AS NEEDED FOR CONSTRUCTION OF NEW FOUNDATIONS AND CRAWL SPACE. REMOVE EXCESS SOIL FROM CONSTRUCTION SITE.

TERMITE CONTROL: APPLY SOIL TREATMENT IN CRAWL SPACE AND AROUND THE PERIMETER OF THE BUILDING. TREAT SOIL AROUND EACH DECK FOOTING.

INSTALL ALUMINUM TERMITE PROTECTION SHIELD OVER TOP OF FOUNDATION PIERS.

GUTTERS AND DOWNSPOUTS: ALUMINUM SYSTEM; SIZE, SHAPE AND COLOR TO MATCH EXISTING.

FLASH BLOCK AT EACH DOWNSPOUT.

CAULKING AND SEALANTS: APPLY DAP ACRYLIC LATEX CAULK WITH SILICONE OVER POLYETHYLENE FOAM BACKING. MAXIMUM JOINT DEPTH 1/2".

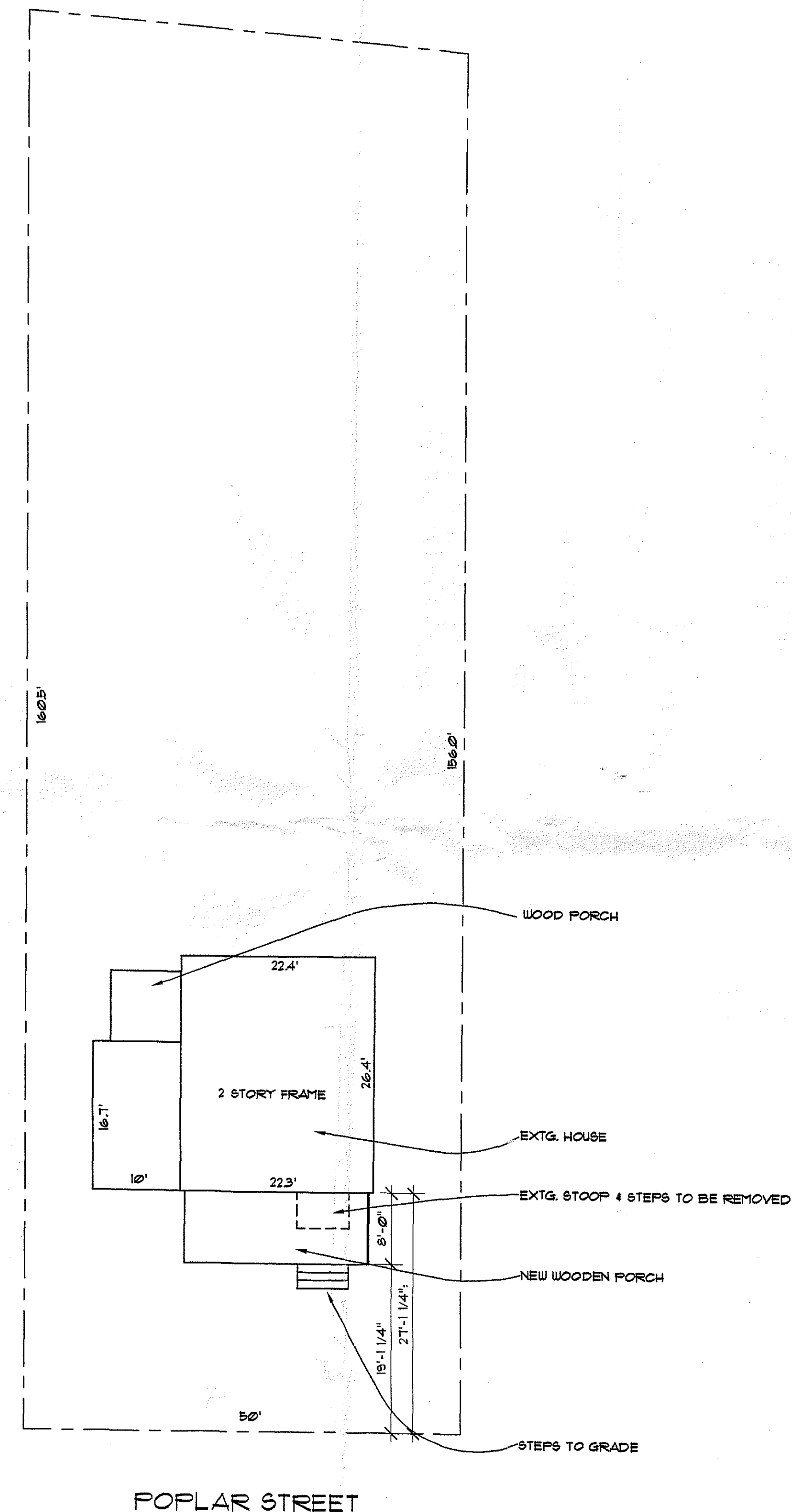
ELECTRICAL AND RECEPTACLE OUTLETS: CONTRACTOR SHALL FURNISH AND INSTALL DUPLEX OUTLETS AS SHOWN ON DRAWINGS. PROVIDE ADDITIONAL CAPACITY CIRCUITS FOR FUTURE OUTLETS TO BE INSTALLED BY OWNER. PROVIDE DEDICATED CIRCUITS SIZED AS REQUIRED BY EQUIPMENT MANUFACTURER.

CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHT FIXTURES, WIRING, AND SWITCHES AS INDICATED.

ALL WOOD SURFACES TO BE PAINTED WITH PRIMER THEN FINISH WITH LATEX EXTERIOR SEMI-GLOSS UNLESS NOTED OTHERWISE. COLORS TO BE SELECTED BY OWNER.

## LIST OF DRAWINGS

SHEET	TITLE
CO	ZONING INFORMATION, GENERAL NOTES, LIST OF DRAWINGS, & SITE PLAN
A-1	FLOOR PLANS, ELEVATIONS, SECTION
A-2	DETAILS



POPLAR STREET

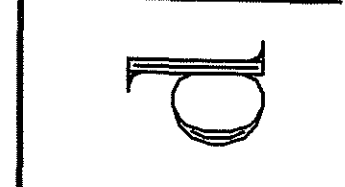
1 SITE PLAN  
CO

SCALE: 1" = 10'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 7/16/98

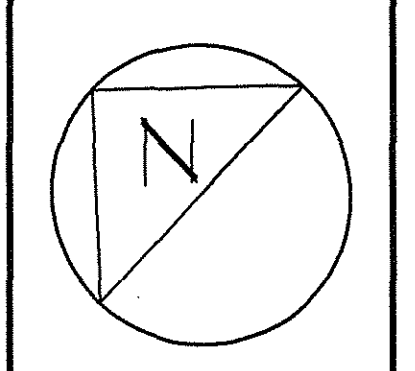
PORCH ADDITION  
FOR  
7006 POPLAR AVE.  
TAKOMA PARK, MD.

STUDIO D  
38 Bryant Street, NW  
Washington, DC 20007  
202-368-1970



DANA ROGERS HADEN, AIA architect

ISSUE:  
PERMIT SET: 2/20/98



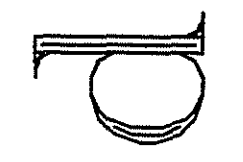
JOB #: 9801

SHEET:  
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GENERAL NOTES  
LIST OF DRAWINGS  
SITE PLAN

CO

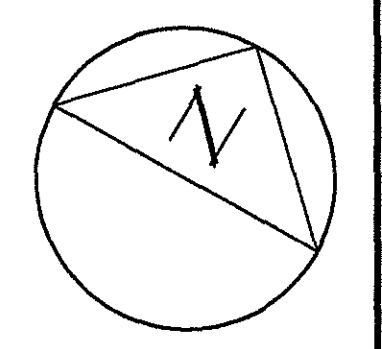
PORCH ADDITION  
FOR  
7006 POPLAR AVE.  
TAKOMA PARK, MD.

STUDIO D  
38 Bryant Street, NW  
Washington, DC 20001  
202-996-1073



DANA ROGERS HADEN, AIA architect

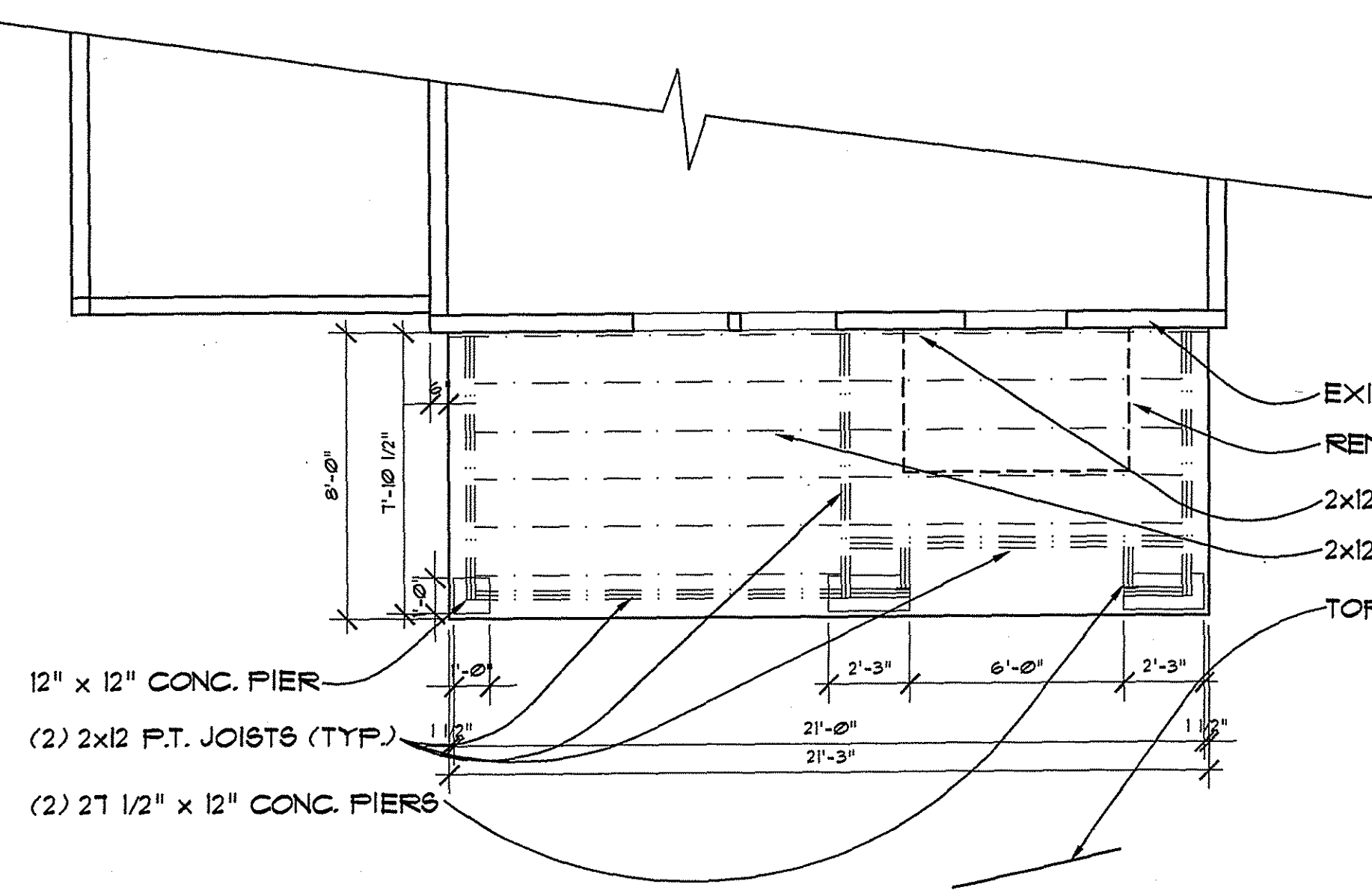
ISSUE:  
PERMIT SET: 2/20/98



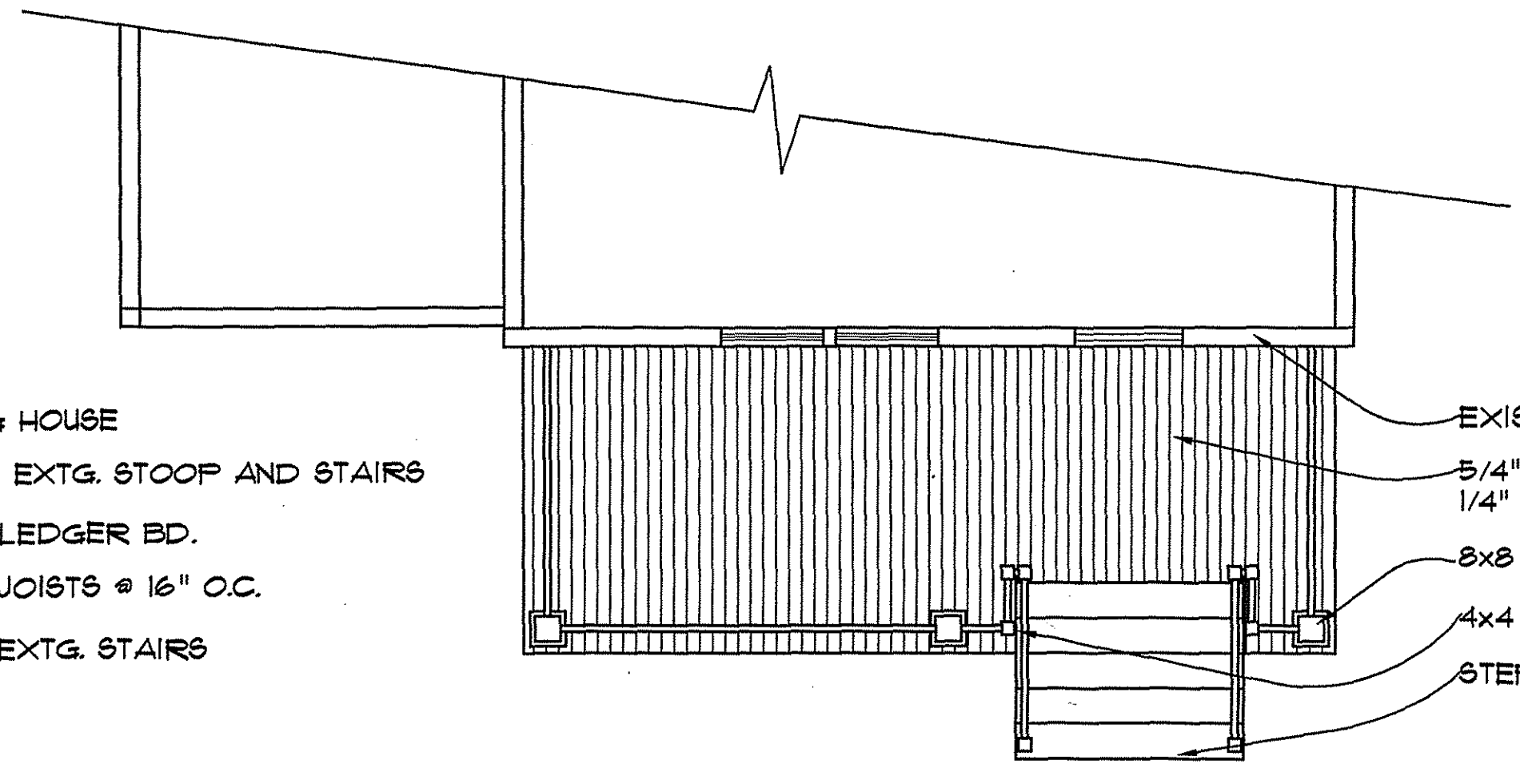
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DRAWN BY: DRH

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FIRST & SECOND FLOOR

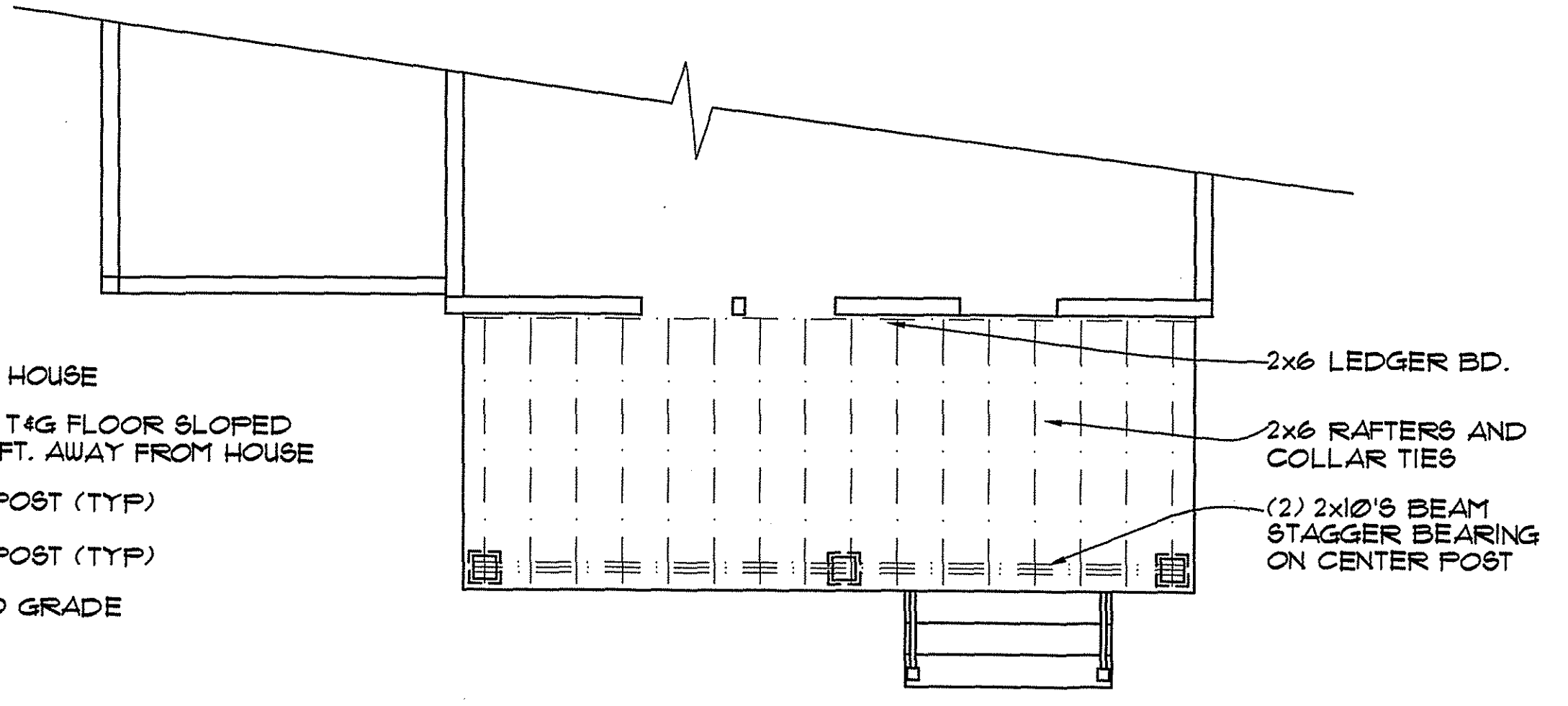
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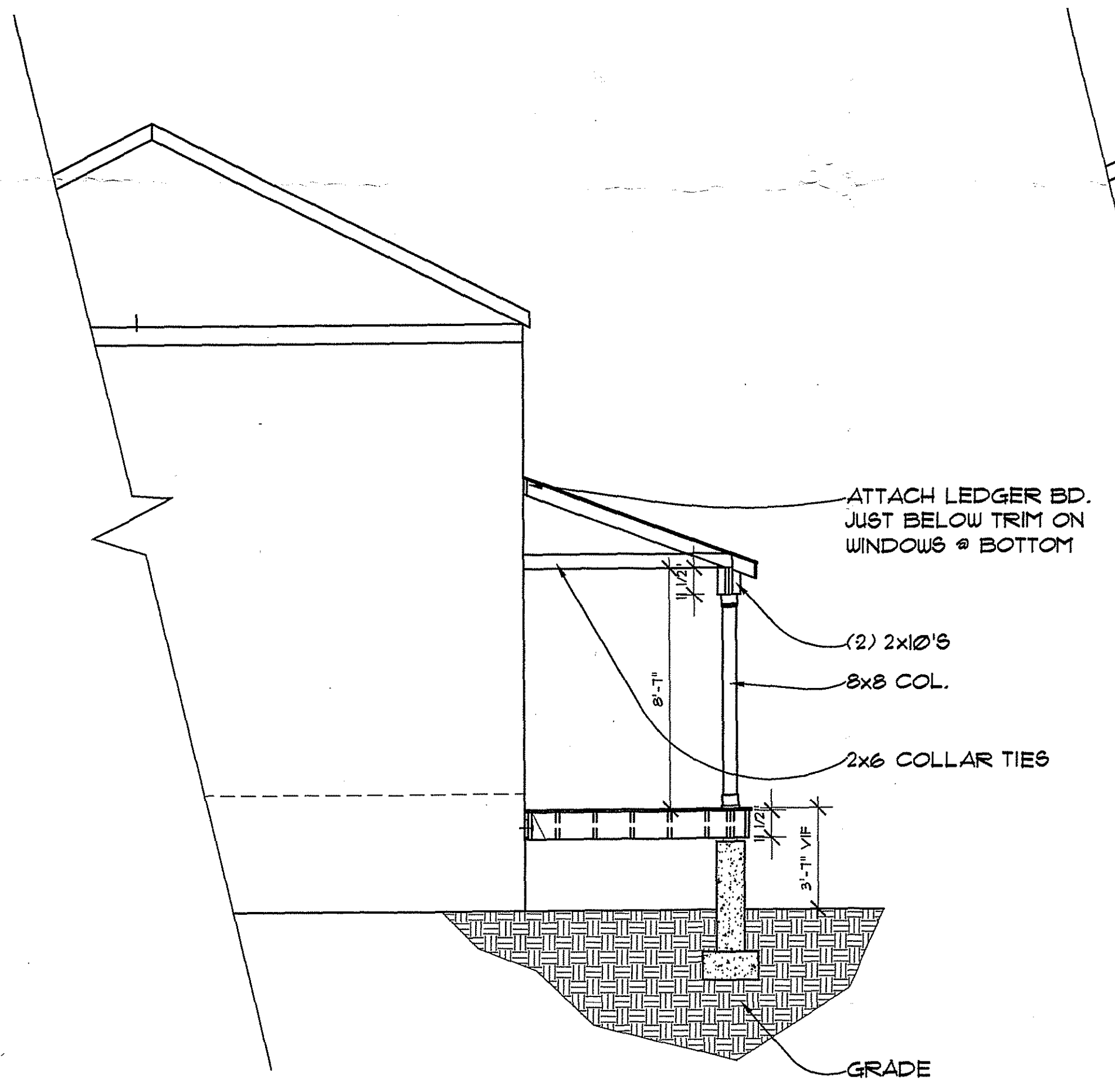
1 FOUNDATION PLAN  
A-1 SCALE: 1/4"=1'-0"



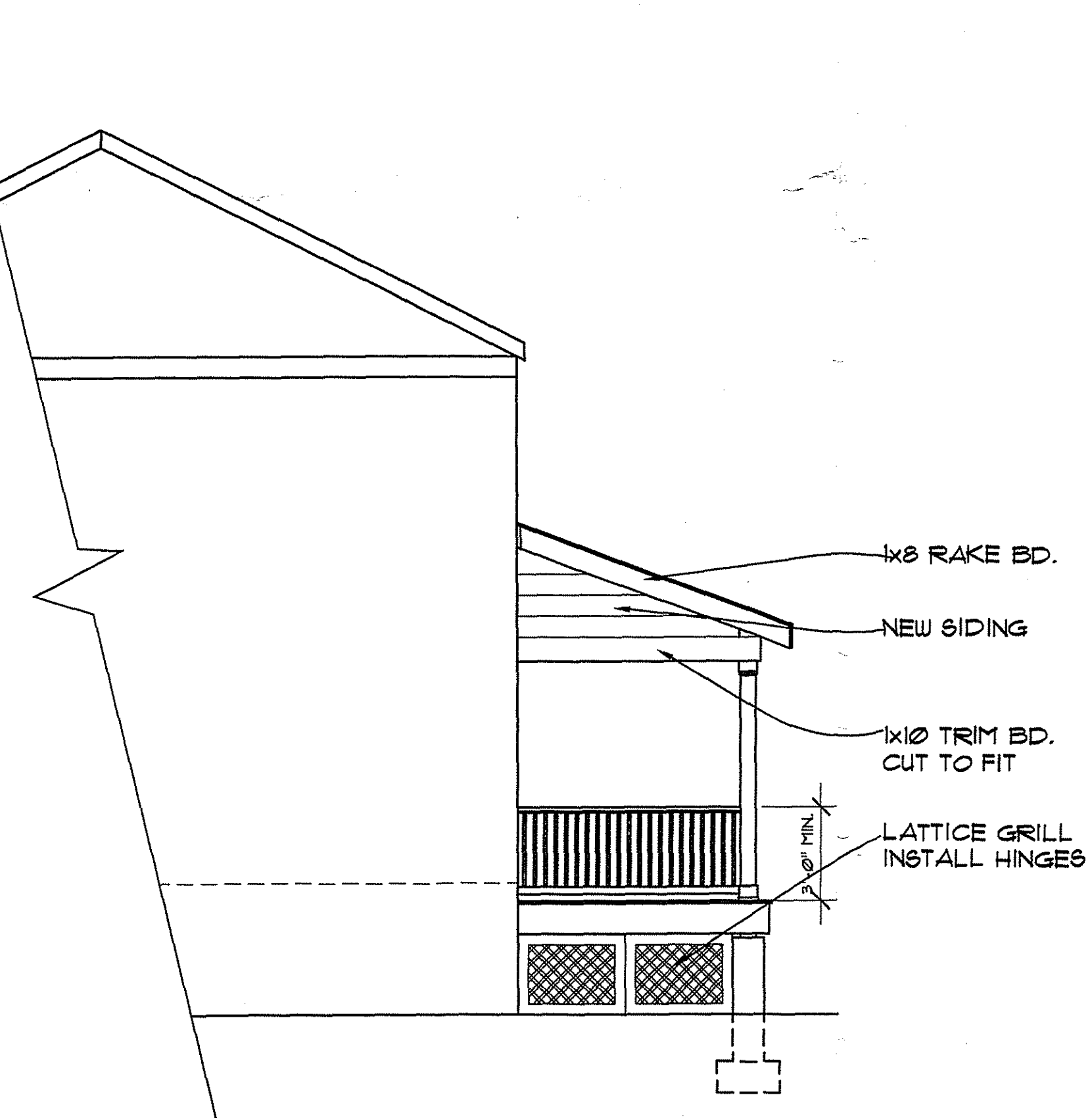
2 PORCH PLAN  
A-1 SCALE: 1/4"=1'-0"



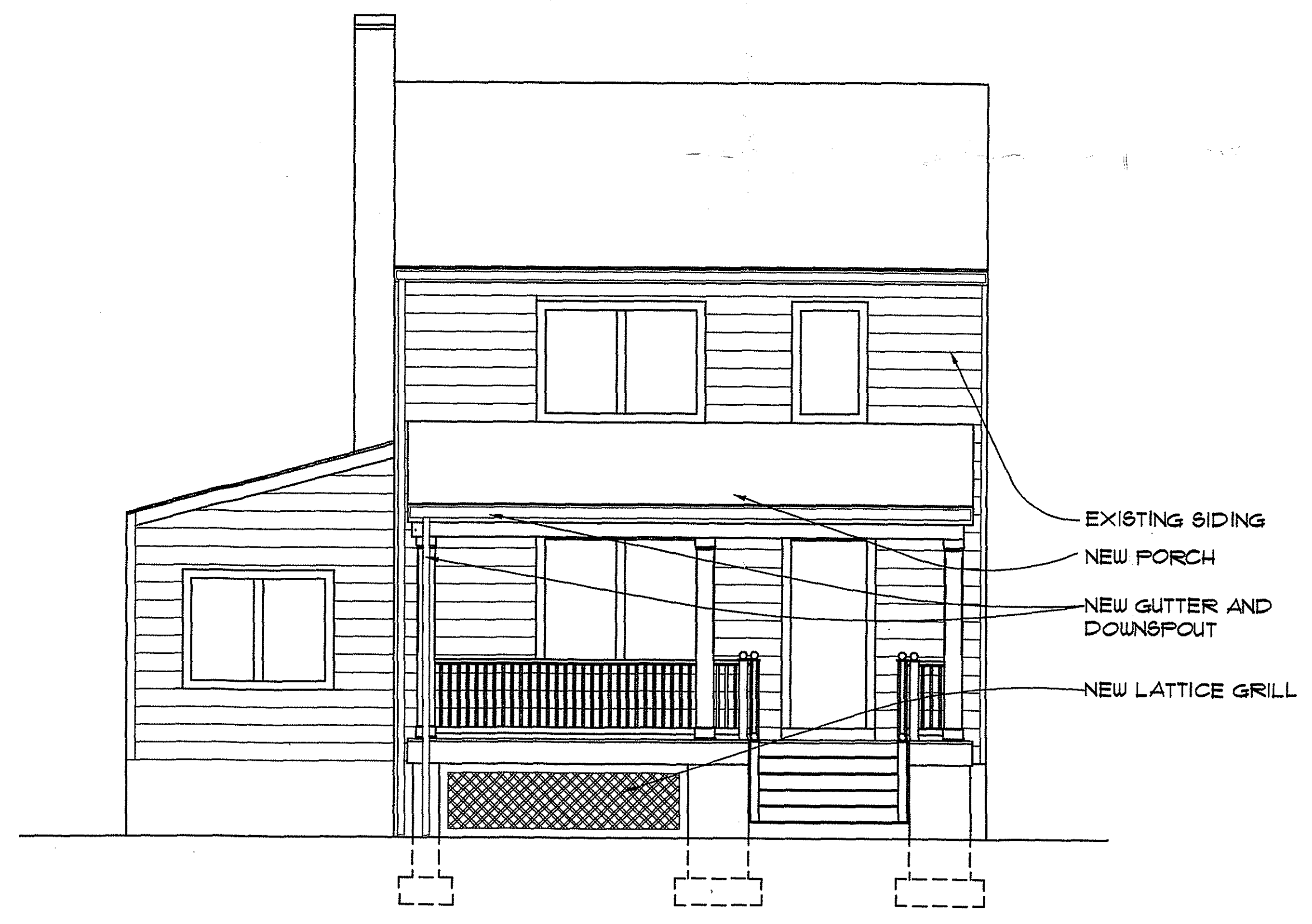
3 ROOF PLAN  
A-1 SCALE: 1/4"=1'-0"



6 SECTION  
A-1 SCALE: 1/4"=1'-0"

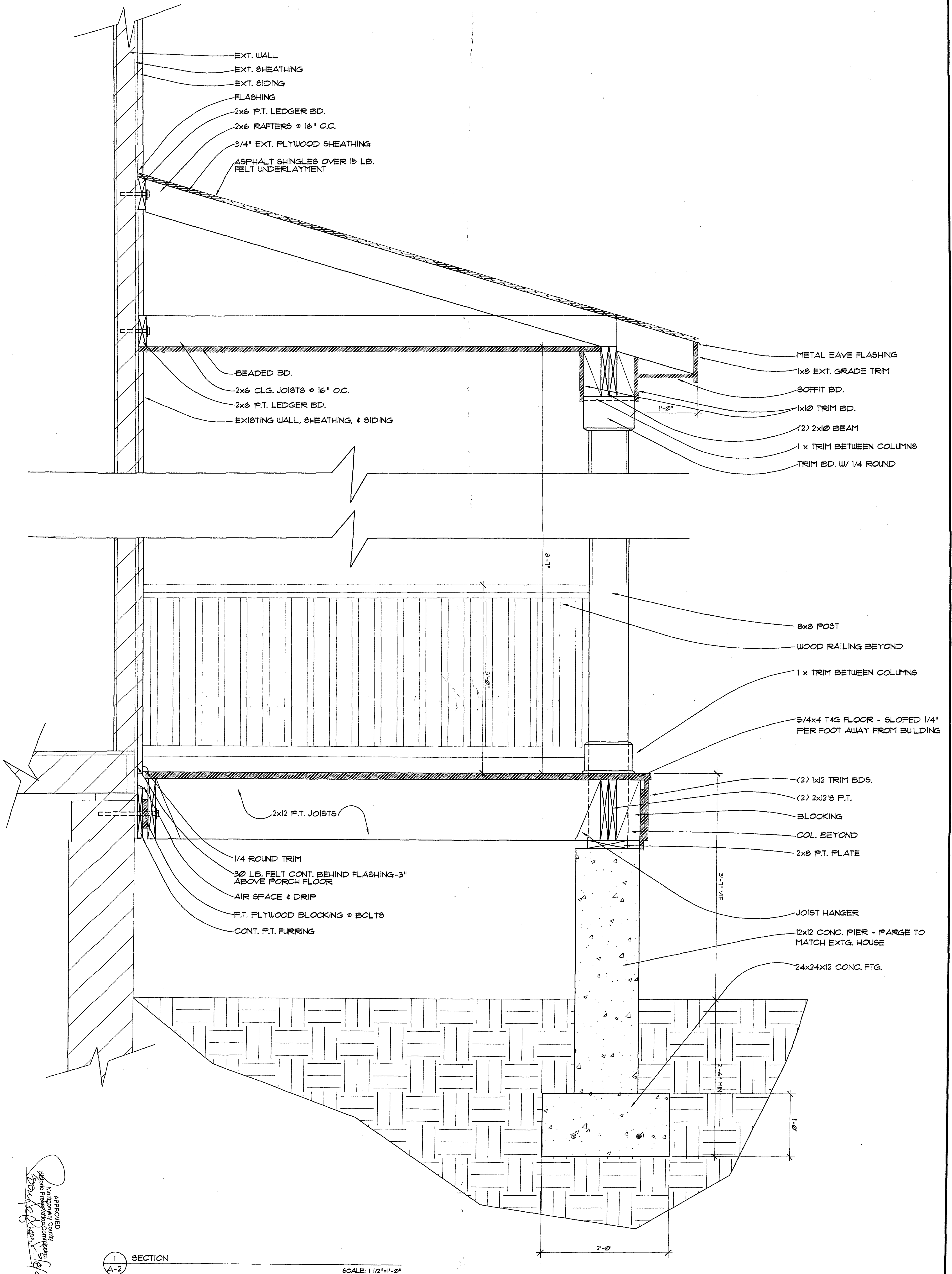


5 SIDE ELEVATION  
A-1 SCALE: 1/4"=1'-0"



4 FRONT ELEVATION  
A-1 SCALE: 1/4"=1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 2/8/98



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
 [Signature]  
 5/16/08

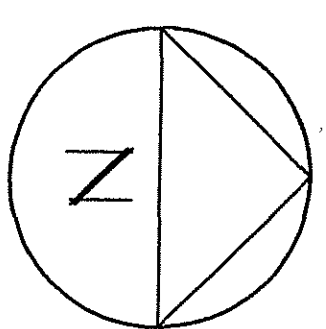
SECTION A-2

SCALE: 1/2"=1'-0"

A-2

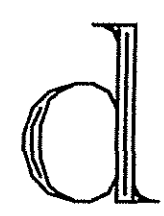
SHEET DETAILS

JOB NUMBER: 9801  
 DRAWN BY: DRH



ISSUE: PERMIT SET 2/20/08

DANA ROGERS HADEN, AIA architect



STUDIO D

38 bryant street, nw  
 washington, dc 20001  
 202-986-1023

PORCH ADDITION  
 FOR  
 7006 POPLAR AVE.  
 TAKOMA PARK, MD.

Kules

#37-3-9422

3-891-1036

Please stamp first  
thing & call Mr. X  
when finished

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

March 5, 1998

Ms. Dana Haden  
Studio D  
38 Bryant Street, NW  
Washington, D.C. 20001

Dear Ms. Haden:

• Thank you for sending over your revised project drawings for 7006 Poplar Avenue, Takoma Park. This new proposal is a reduction in scale of the approved project 37/3-94LL.

The new proposal reduces the size of the porch from a wrap-around porch to a full-width porch across the main portion of the house, and removes the previously approved skylights. As such, the project seems to be more consistent with the resource, and still consistent with the previous HPC approval. The Chair of the HPC reviewed your reduced proposal with staff and agreed that the level of detailing will be the same as approved by the HPC.

With that consideration in mind, this revised proposal can be approved at a staff level. Before you apply for a permit at DPS, please bring in your construction documents for HPC staff review and stamping. If you have any questions, please do not hesitate to call me at (301) 563-3400.

Sincerely,

A handwritten signature in cursive script, appearing to read "Robin D. Ziek".

Robin D. Ziek  
Historic Preservation Planner

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FLOOR JOIST - HEM FIR STRUCTURAL GRADE #2

ALL JOISTS SHALL HAVE MINIMUM BEARING OF 1 1/2" ON WOOD OR STEEL AND NOT LESS THAN 3" ON MASONRY.

BRIDGING: 1" x 3" BOARDS CROSSBRIDGING OR APPROVED EQUAL. MAXIMUM SPACING = 12'-0".

ROOF RAFTERS: NO. 2 HEM-FIR FD-1100, E-1400/2000 OR EQUAL.

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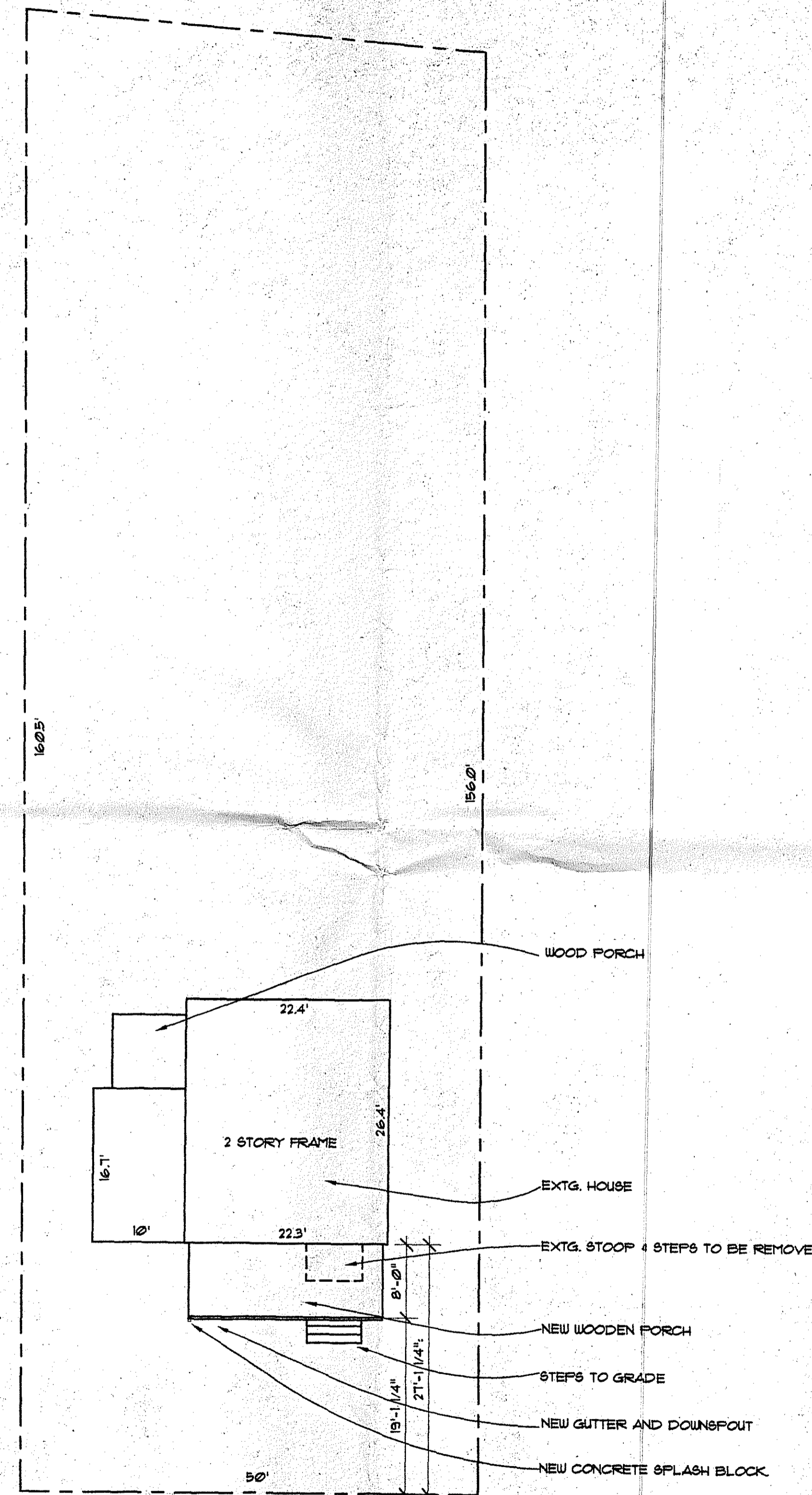
CAULKING AND SEALANTS: APPLY DAP ACRYLIC LATEX CAULK WITH SILICONE OVER POLYETHYLENE FOAM BACKING. MAXIMUM JOINT DEPTH 1/2".

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## LIST OF DRAWINGS

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CO	ZONING INFORMATION, GENERAL NOTES, LIST OF DRAWINGS, & SITE PLAN
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A-2	DETAILS



POPLAR STREET

1 SITE PLAN  
CO

SCALE: 1" = 10'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 5/13/11

PORCH ADDITION  
FOR  
7006 POPLAR AVE.  
TAKOMA PARK, MD.

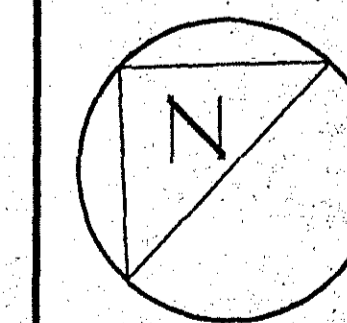
STUDIO D

58 Bryant Street, N  
Washington, DC 20007  
202-364-1570

d

DIANA ROGERS HADEN, AIA, architect

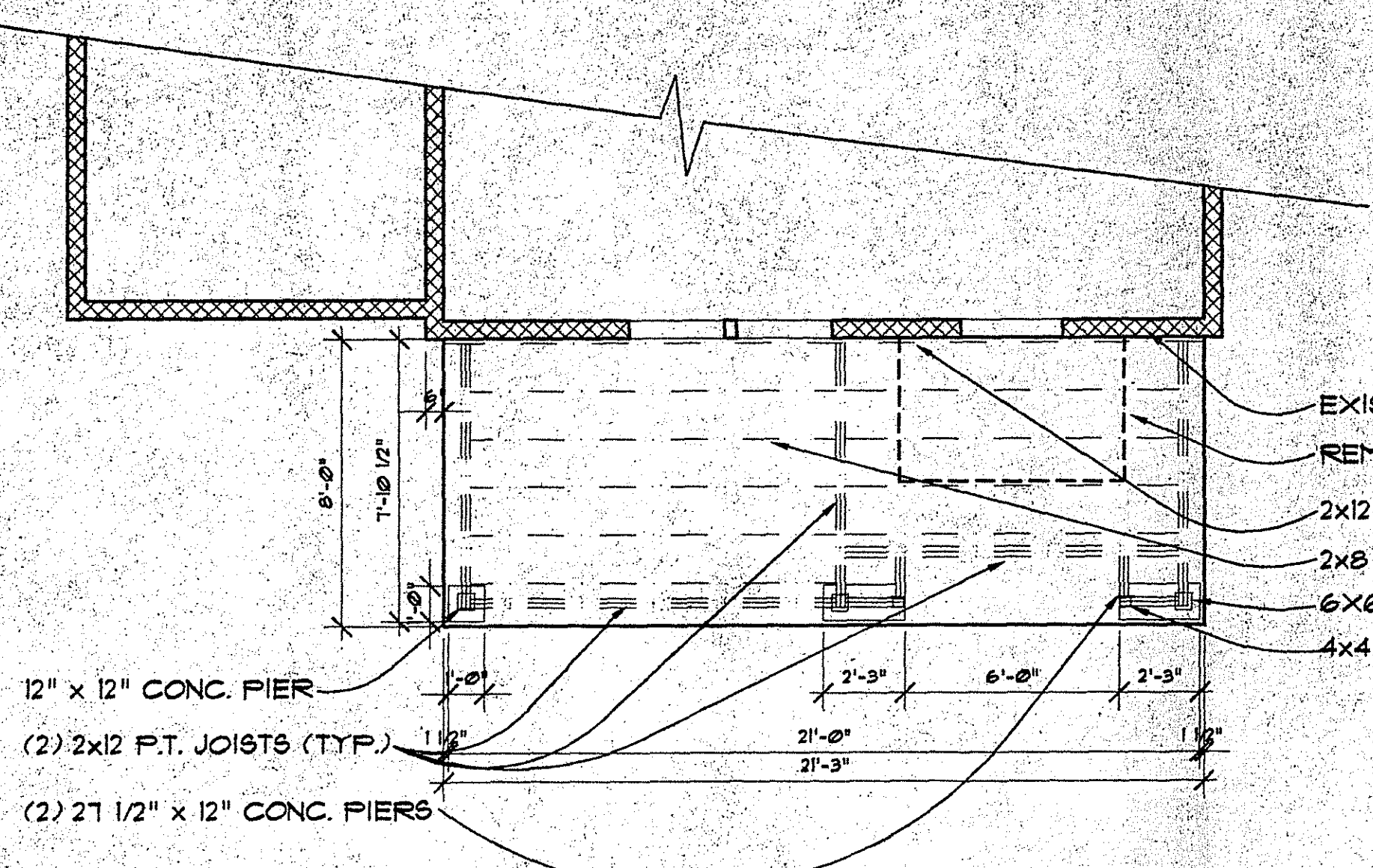
ISSUE:  
PERMIT SET: 2/20/98  
REV. 1: 5/8/98



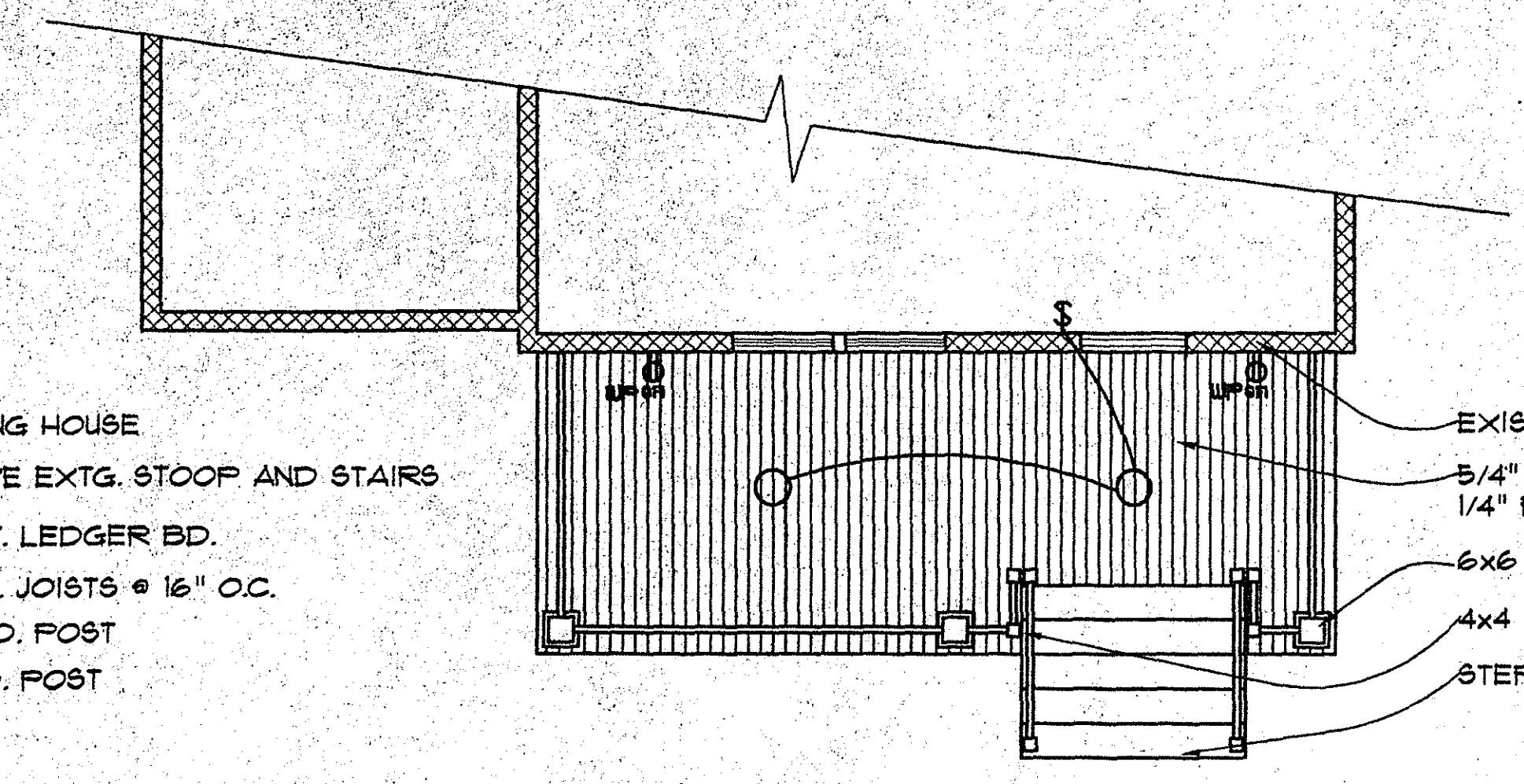
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SHEET:  
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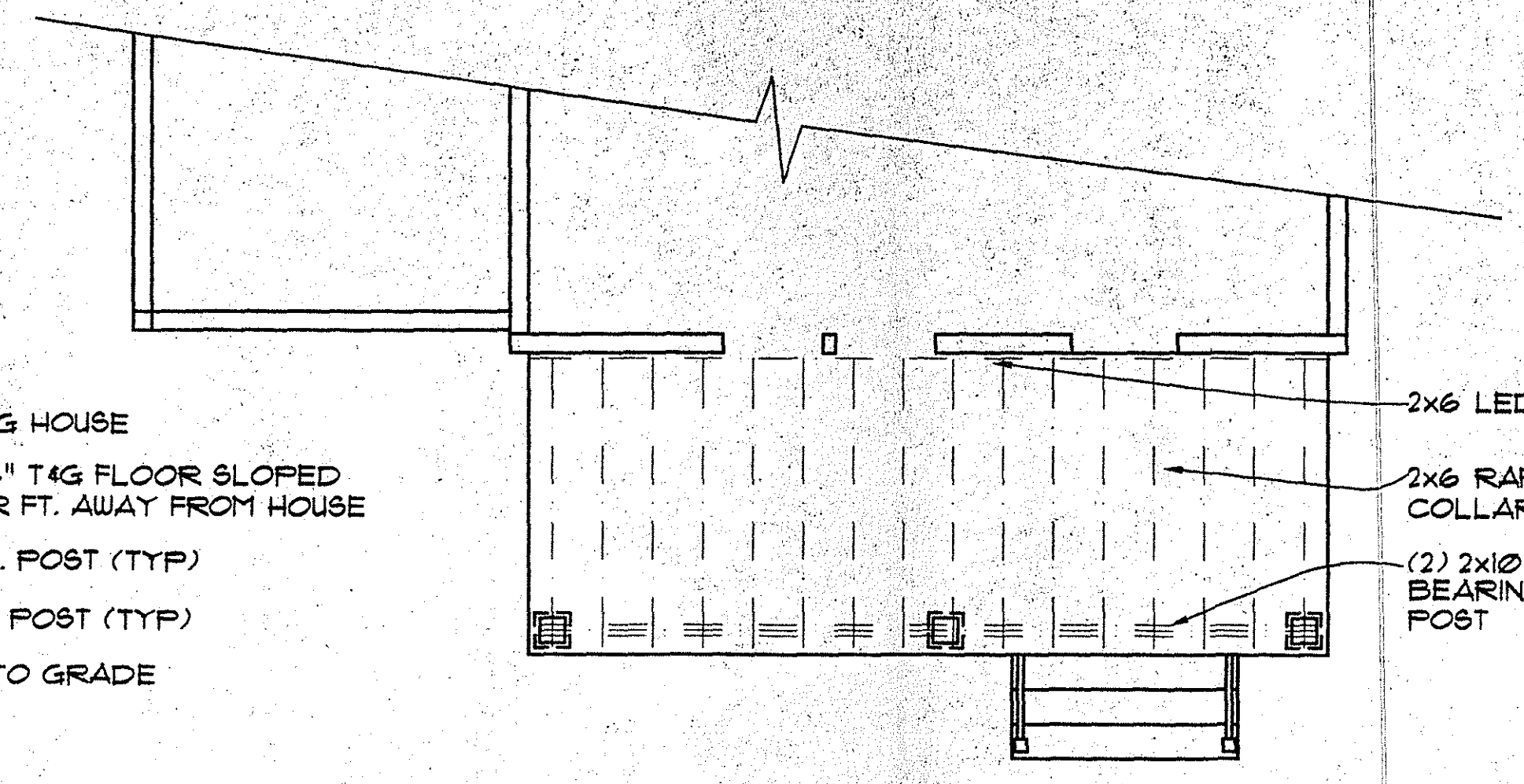
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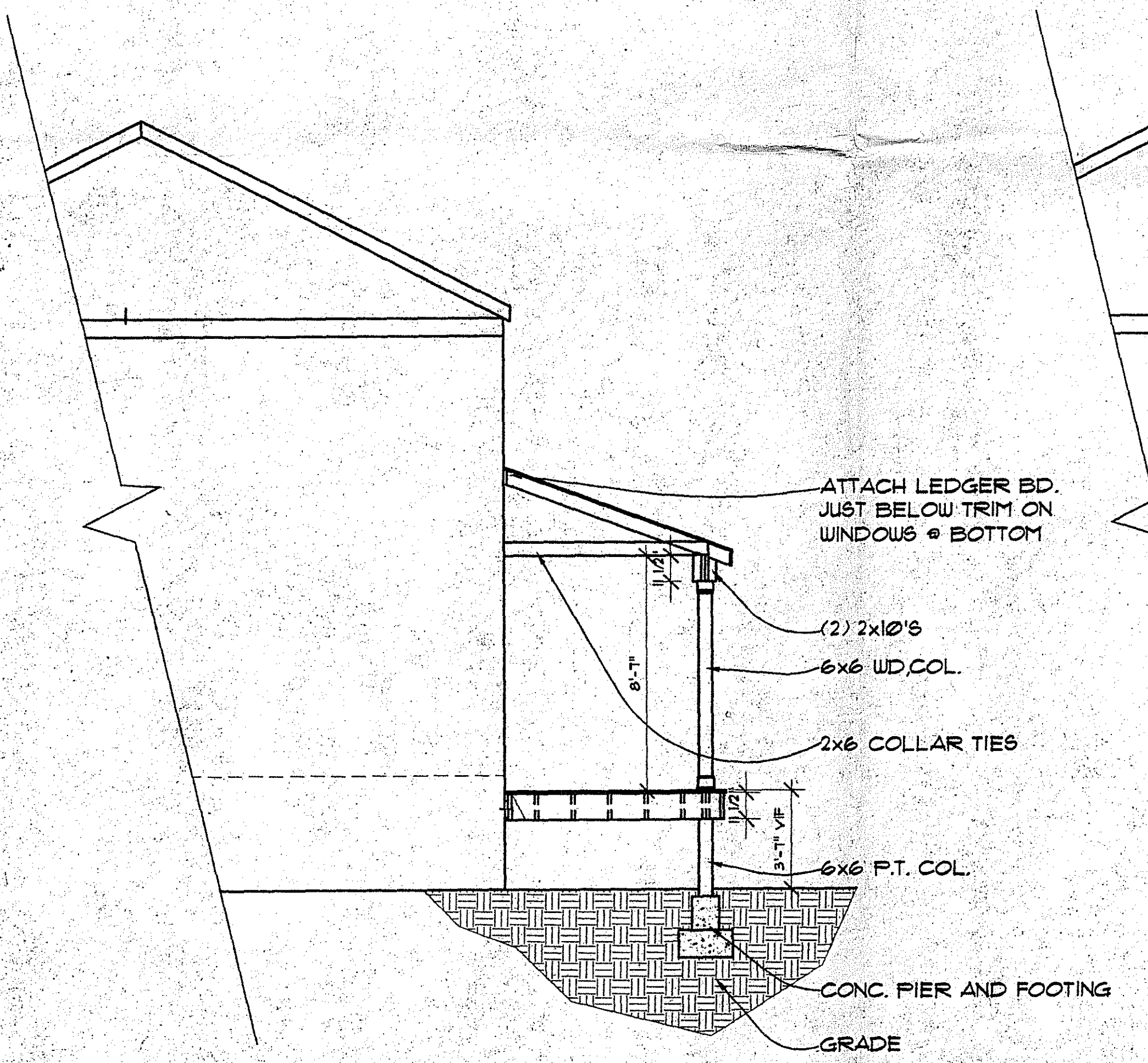
1 FOUNDATION PLAN  
 A-1 SCALE: 1/4"=1'-0"



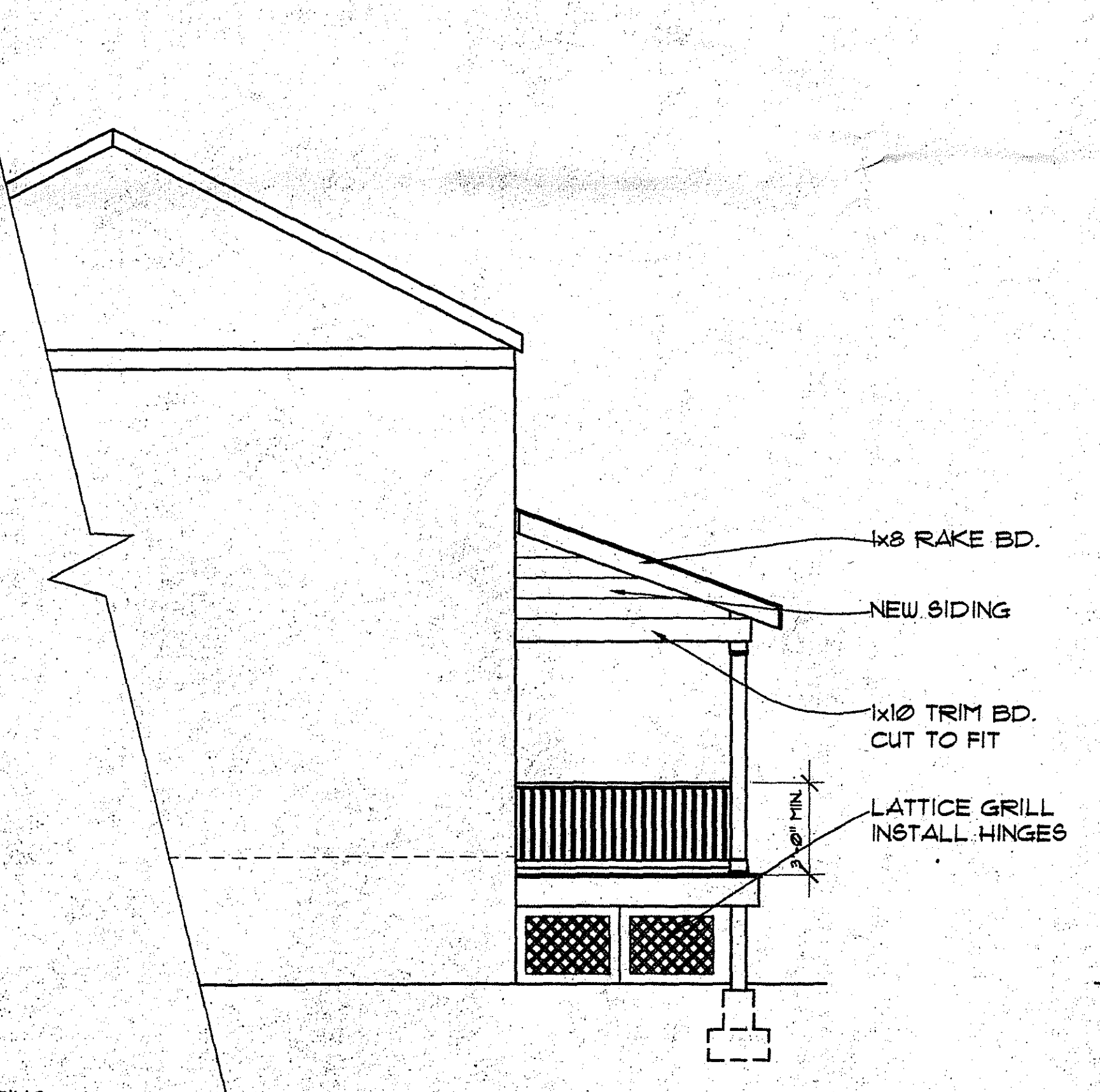
2 PORCH PLAN  
 A-1 SCALE: 1/4"=1'-0"



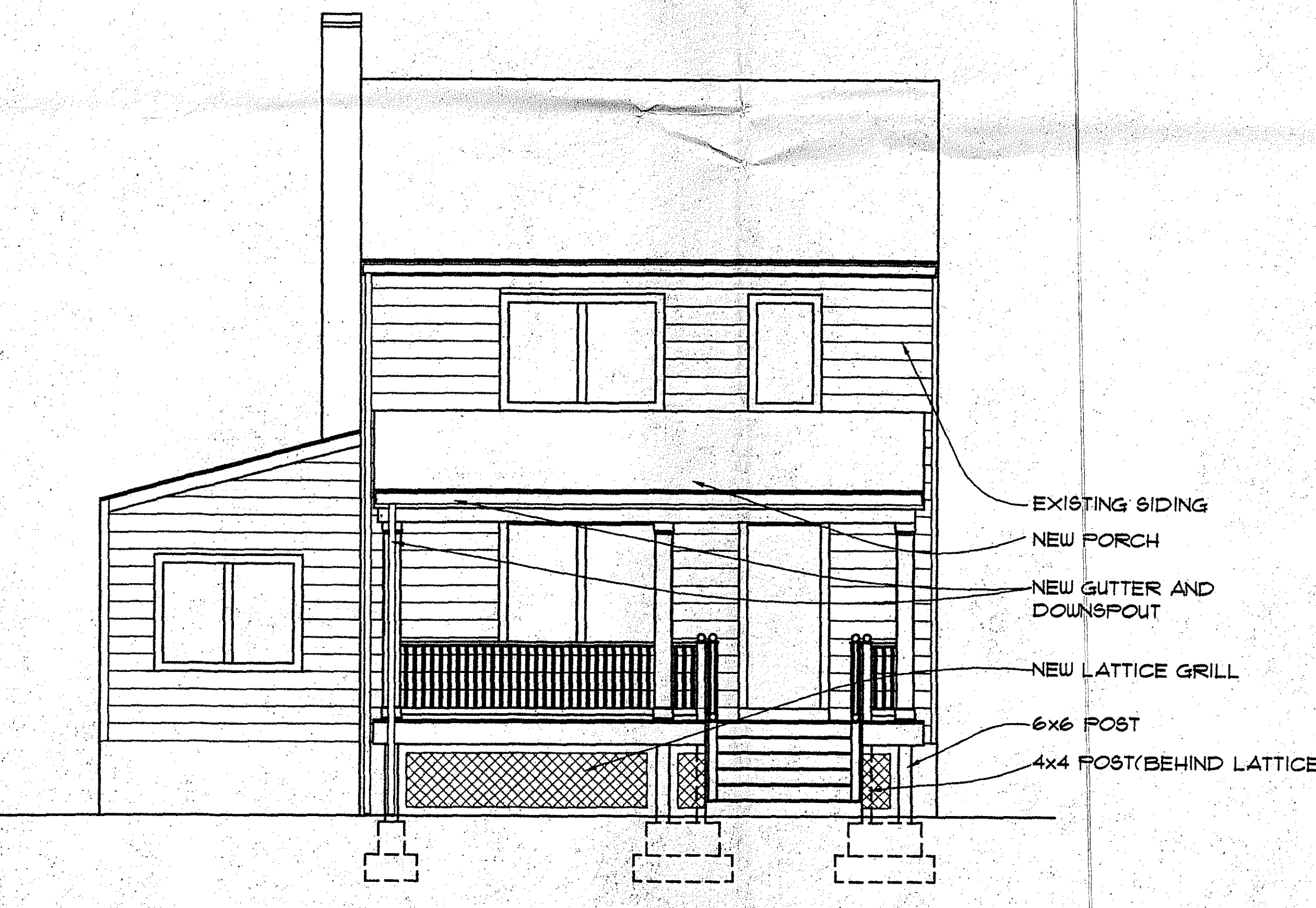
3 ROOF PLAN  
 A-1 SCALE: 1/4"=1'-0"



6 SECTION  
 A-1 SCALE: 1/4"=1'-0"



5 SIDE ELEVATION  
 A-1 SCALE: 1/4"=1'-0"



4 FRONT ELEVATION  
 A-1 SCALE: 1/4"=1'-0"

BASEMENT ELECTRIC  
 E-1 SCALE: 1/4"=1'-0"

2 FIRST FLOOR ELECTRIC  
 E-1 SCALE: 1/4"=1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 5/12/18

**PORCH ADDITION FOR 7006 POPLAR AVE. TAKOMA PARK, MD.**

STUDIO D  
 38 Bryant Street, NE  
 Washington, DC 20002  
 202-898-1028

D  
 DIANA RIGERS HADEN, AIA architect

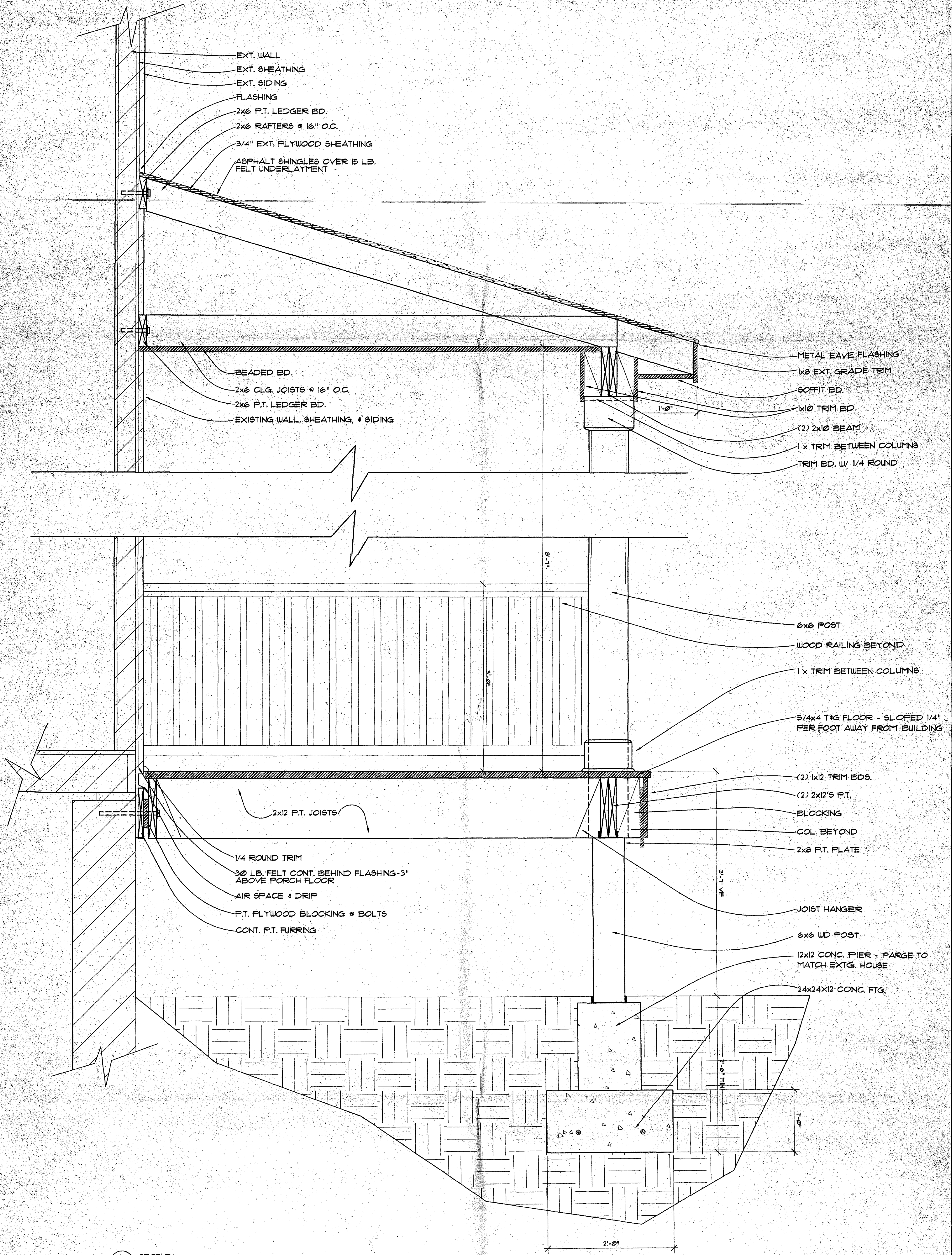
ISSUE:  
 PERMIT SET: 2/20/18  
 REV. 1: 5/5/18

JOB NUMBER: 9821  
 DRAWN BY: DRH

SHEET:  
 FIRST & SECOND FLOOR  
 ELECTRIC PLANS

A-1





A-2	SHEET DETAILS	JOB NUMBER DRAWN BY: DCH	ISSUE: PERMIT SET REV. 1	2/20/98 5/6/98	d	STUDIO D 38 Bryant Street, NW Washington, DC 20001 202-556-1020	PORCH ADDITION FOR 7006 POPLAR AVE. TAKOMA PARK, MD.
	DANA ROGERS HADEN, AIA architect						

## STUDIO D

Dana Rogers Haden AIA

38 bryant street nw  
washington, dc 20001  
-202-986-7029

301-270-5811

March 2, 1997

Robin Ziek  
Historic Preservation  
8787 Georgia Ave.  
Silver Spring, Md. 20910

Dear Ms. Ziek,

As per our phone conversation today, I am sending you the revised drawings for a proposed front porch addition. It is my understanding from Bill Kules, my client, that your office previously approved this project. I do not know the date of this past approval however. The project at this point is very similar to the past one however it originally went across the entire front of the house. If you could review this revised version and let me know if we are still in compliance I would appreciate it. Thanks for your time and please call if you have any questions. I look forward to hearing from your office one way or another.

Sincerely,



Dana Haden

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

March 5, 1998

Ms. Dana Haden  
Studio D  
38 Bryant Street, NW  
Washington, D.C. 20001

Dear Ms. Haden:

Thank you for sending over your revised project drawings for **7006 Poplar Avenue, Takoma Park**. This new proposal is a reduction in scale of the approved project 37/3-94LL.

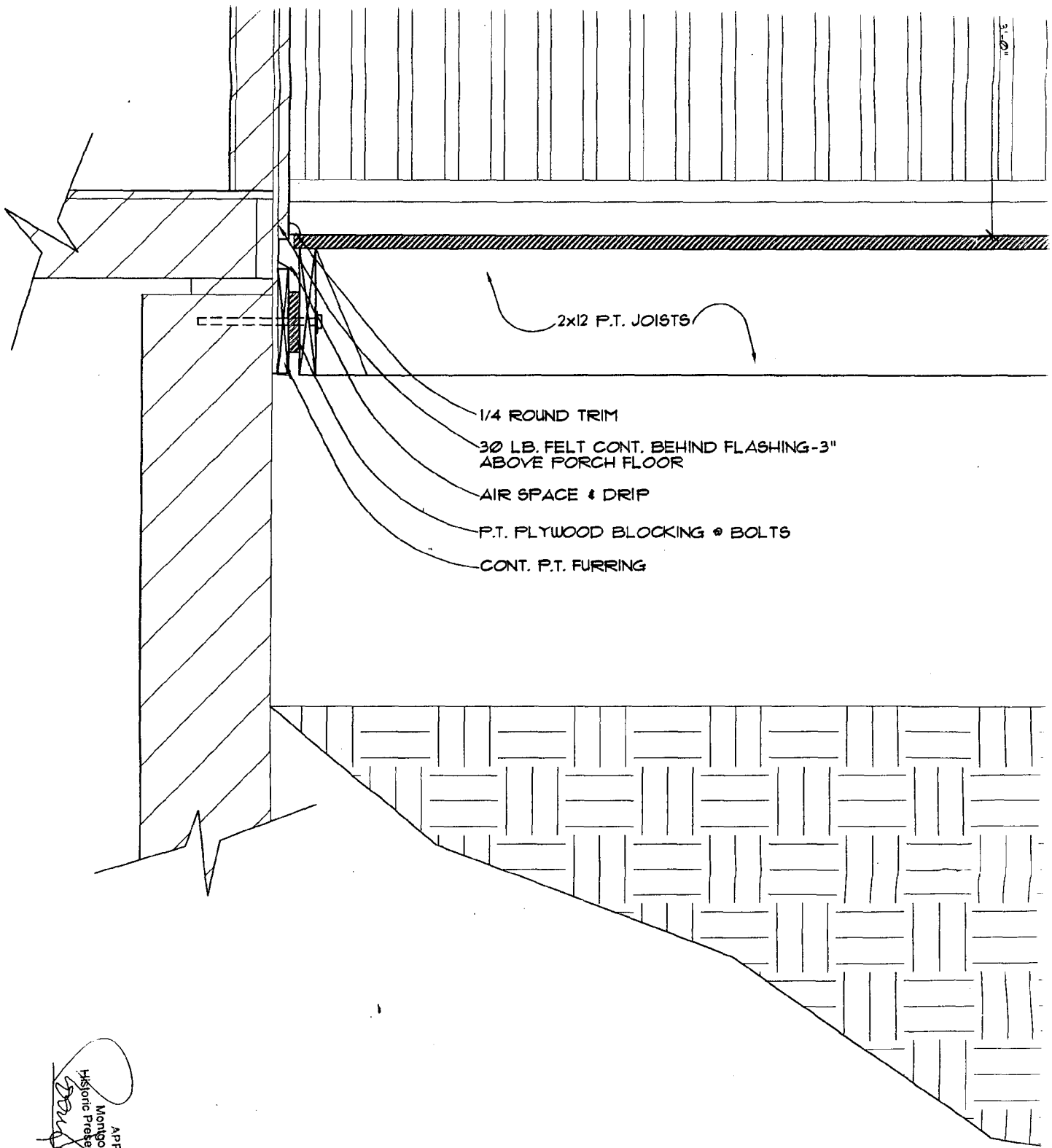
The new proposal reduces the size of the porch from a wrap-around porch to a full-width porch across the main portion of the house, and removes the previously approved skylights. As such, the project seems to be more consistent with the resource, and still consistent with the previous HPC approval. The Chair of the HPC reviewed your reduced proposal with staff and agreed that the level of detailing will be the same as approved by the HPC.

With that consideration in mind, this revised proposal can be approved at a staff level. Before you apply for a permit at DPS, please bring in your construction documents for HPC staff review and stamping. If you have any questions, please do not hesitate to call me at (301) 563-3400.

Sincerely,

A handwritten signature in black ink, appearing to read 'Robin D. Ziek', written over a circular stamp or seal.

Robin D. Ziek  
Historic Preservation Planner



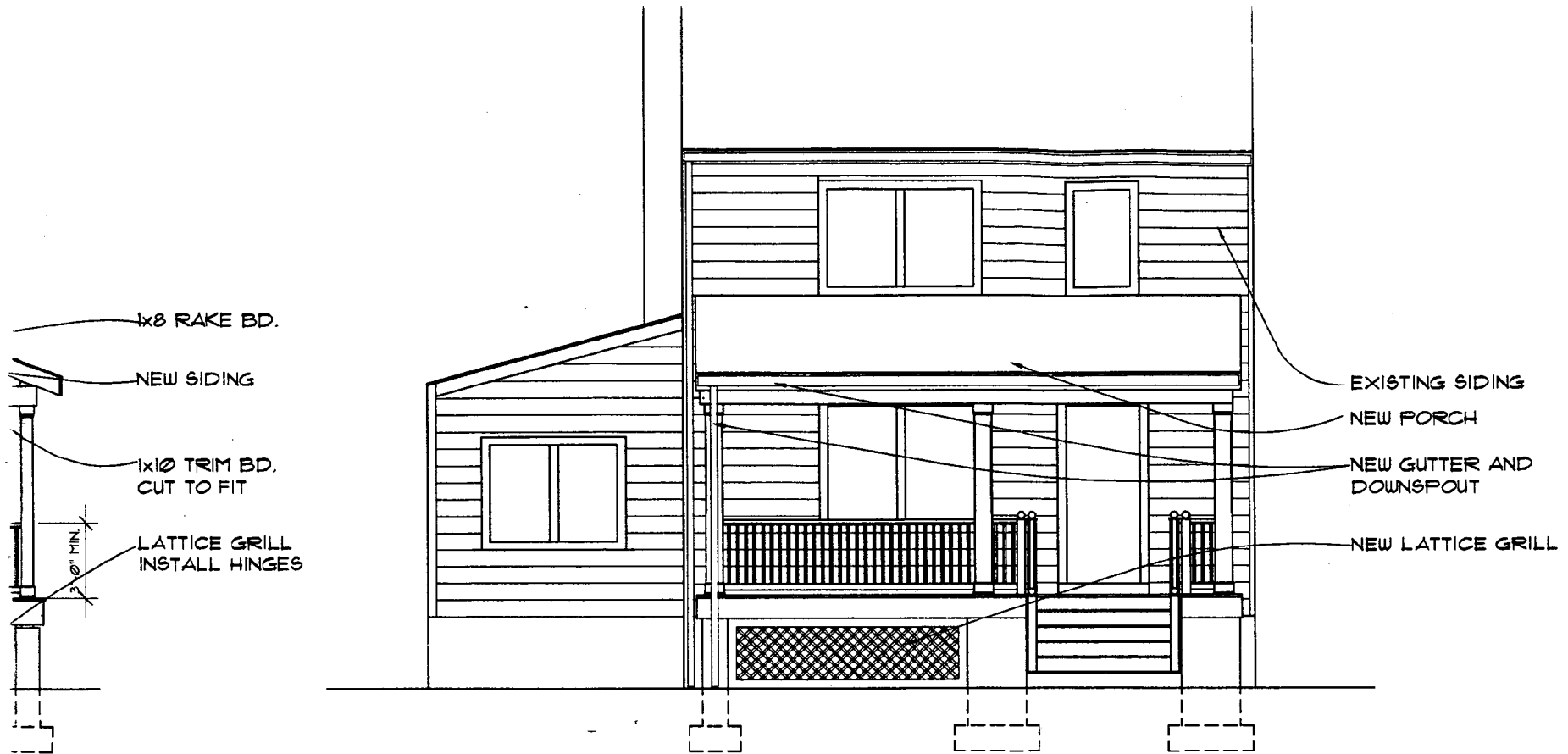
- 2x12 P.T. JOISTS
- 1/4 ROUND TRIM
- 30 LB. FELT CONT. BEHIND FLASHING-3" ABOVE PORCH FLOOR
- AIR SPACE & DRIP
- P.T. PLYWOOD BLOCKING @ BOLTS
- CONT. P.T. FURRING

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*  
 5/18/98

1 SECTION  
 A-2

SCALE: 1/2"=1'-0"

A	SHEET DETAILS	JOB NUMB. DRAIN B1	ISSUE: PERMIT SET	
---	------------------	-----------------------	----------------------	--



4 FRONT ELEVATION  
 A-1 SCALE: 1/4"=1'-0"

ISSUE  
 PERMIT #

JOB NO.  
 DRAWN

SHEET:  
 FIRST 4 8

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 9/8/98

#

FOUNDATION PIERS WHEN  
 AFTER ALL PRECAUTIONS  
 FILLING.

FOOTINGS SHALL BE  
 IN ACCORDANCE WITH THE PROVISION  
 OF SUPERIOR CONCRETE THAT WILL  
 BE IN ACCORDANCE WITH ACI

TURBED SOIL AND  
 FOOTINGS SHALL EXTEND  
 TO A VALUE OF 2,000 PSF.

STRUCTURAL LUMBER CONNECTIONS,  
 AND FLASHED.

NEW ADDITION FILE ALL

4" SPACE. REMOVE EXCESS SOIL

TO THE PERIMETER OF THE BUILDING.

PIERS.

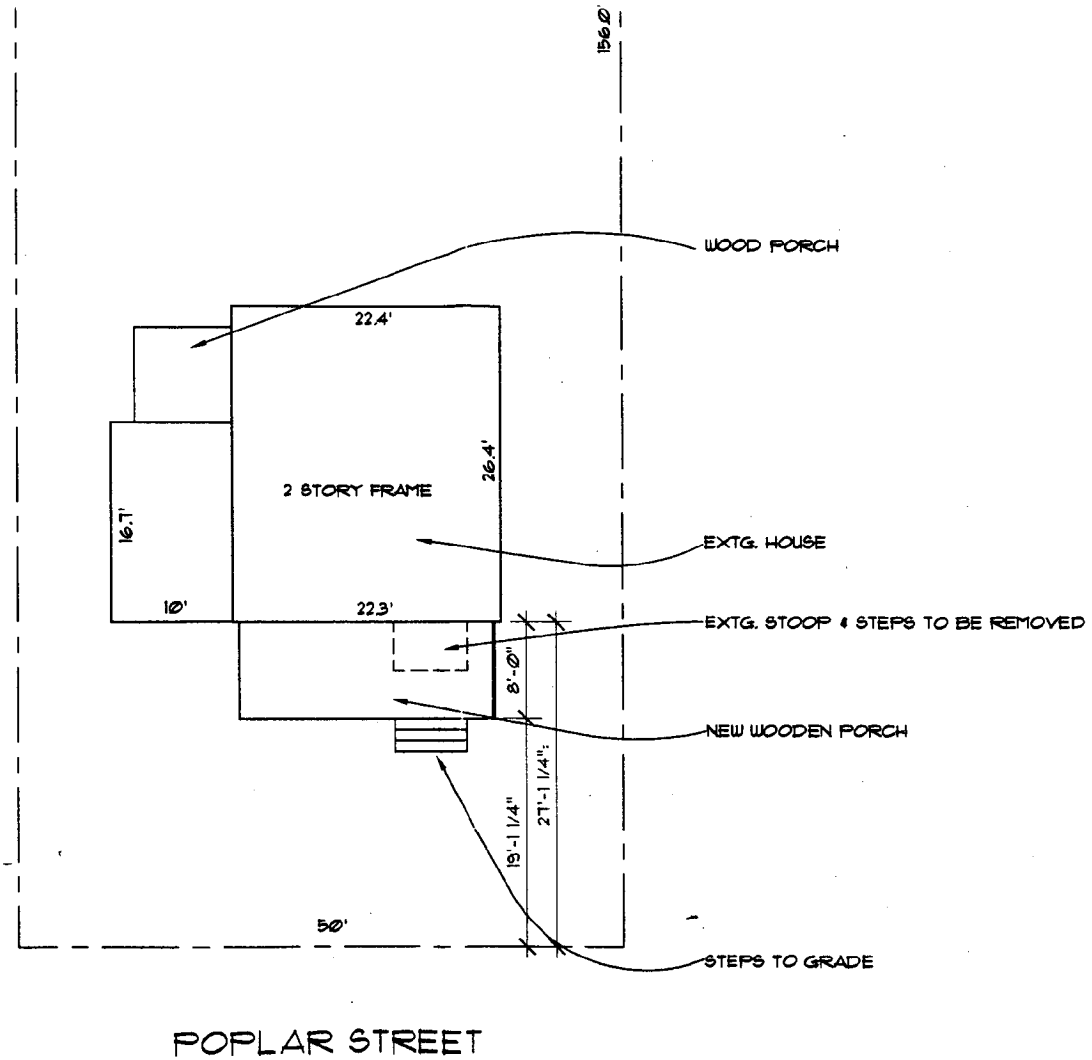
TO MATCH EXISTING.

ONE OVER POLYETHYLENE

INSTALL DUPLEX OUTLETS  
 OR FUTURE OUTLETS TO BE  
 BY EQUIPMENT

SWITCHES AS INDICATED.

EXTERIOR SEMI-GLOSS UNLESS NOTED



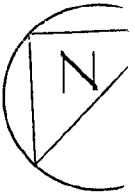
1 SITE PLAN  
 CO

SCALE: 1" = 10'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 5/1/98

DANA ROGERS HADEN, AIA architect

ISSUE:  
 PERMIT SET:

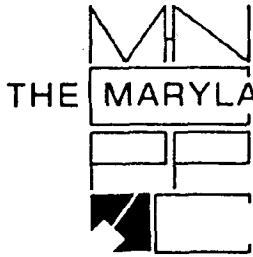


JOB #: 98

SHEET:  
 ZONING INFORM.  
 GENERAL NOTE:  
 LIST OF DRAWING  
 SITE PLAN

CC

PLAN



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 12/22/94

MEMORANDUM

TO: Robert Hubbard, Chief  
Division of Development Services and Regulation  
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved  Denied

Approved with Conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: William Kules and Julia L. Washburn

Address: 7006 Poplar Avenue, Takoma Park

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 13-25-1080713

NAME OF PROPERTY OWNER William M Kules TELEPHONE NO. (301) 270-4325  
 (Contract/Purchaser) & Julia L Washburn (Include Area Code)

ADDRESS 7006 Poplar Ave Takoma Park, MD 20912  
 CITY STATE ZIP

CONTRACTOR \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_

PLANS PREPARED BY Mason Osborne CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_  
 TELEPHONE NO. (703) 684-7638  
 (Include Area Code)

REGISTRATION NUMBER \_\_\_\_\_

### LOCATION OF BUILDING/PREMISE

House Number 7006 Street Poplar

Town/City Takoma Park Election District \_\_\_\_\_

Nearest Cross Street Elm

Lot 34 Block 20 Subdivision B F Gilbert's Addition to Takoma Park

Liber JA#3 Folio 479 Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION (circle one)  
 Construct  Extend/Add  Alter/Renovate  Repair  Revocable  Revision   
 Wreck/Raze  Move  Install

Circle One: A/C  Slab  Room Addition   
 Porch  Deck  Fireplace  Shed  Solar  Woodburning Stove   
 Fence/Wall (complete Section 4)  Other \_\_\_\_\_

1B. CONSTRUCTION COSTS ESTIMATE \$ 8,000

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY pepco

1E. IS THIS PROPERTY A HISTORICAL SITE? No

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL  
 01  WSSC 02  Septic  
 03  Other \_\_\_\_\_

2B. TYPE OF WATER SUPPLY  
 01  WSSC 02  Well  
 03  Other \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT 4 feet 6 inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 1. On party line/Property line Yes - to replace existing  
 2. Entirely on land of owner \_\_\_\_\_  
 3. On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

W M Kules

11/27/94

Signature of owner or authorized agent (agent must have signature notarized on back)

Date

APPROVED X For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date 12/22/94

APPLICATION/PERMIT NO: 9412010063 FILING FEE: \$ \_\_\_\_\_

DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_

OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7006 Poplar Avenue Meeting Date: 12/21/94  
Resource: Takoma Park Historic District Review: HAWP/ALTERATION  
Case Number: 37/3-94LL (2) Tax Credit: No  
Public Notice: 12/7/94 Report Date: 12/14/94  
Applicant: William M. Kules Staff: David Berg  
PROPOSAL: Replace retaining wall, RECOMMEND: APPROVE  
Add front porch,  
Replace windows,  
Add bay window

---

BACKGROUND

**SIGNIFICANCE:** Non Contributing Resource

**DATE:** ca. 1940

**DESCRIPTION:**

A two story minimal Colonial Revival/Tudor Revival style dwelling with aluminum siding and 6/6 double hung windows. Most of the surrounding resources are non contributing resources. These include 7001, 7003, 7004, and 7007 Poplar Avenue. The house to the right of the applicant's house, 7008 Poplar Avenue, is a contributing resource of the Bungalow style. There is one Outstanding Resource at 7009 Poplar Avenue (opposite side of the street and two houses up). Poplar Avenue has a variety of outstanding and contributing resources surrounded by a large number of non contributing resources.

**PROPOSAL:**

Staff has broken down the proposal into four items:

- 1) Remove existing front stoop and construct a porch along the entire front facade. Materials to be used are tongue and groove flooring, beaded board ceiling, turned wood posts and square balusters. The applicant also proposes to install two skylights within the proposed front porch roof.
- 2) Remove existing rear dining room window and replace with a new Anderson Bay window.
- 3) Remove the existing retaining wall and stairs and replace with a two tiered wall using a modular concrete system by StoneWall Select.

- 4) Replace existing 6/6 wood windows with new Crestline vinyl clad 1/1 sash replacement kits. A paired window on the first floor front facade (under the proposed skylights) will be removed and replaced with a single solid pane picture window roughly equal in size to the two removed windows.

#### STAFF DISCUSSION

The Takoma Park Guidelines for the review of non-contributing resources specifically state that:

Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Demolition of Non-Contributing/Out-of-Period Resources should be permitted. However, any new building constructed in the place of a demolished building should be reviewed under the guidelines for new construction that follow.

- 1) Addition of front porch:

The proposed porch is to be constructed of quality wood materials and installed on a non contributing resource. The porch will be nearly identical to the porch of the adjacent non-contributing resource, 7004 Poplar Avenue.

Although Staff feels that adding skylights to the front of any resource can affect the character of the historic district and urges the applicant to reconsider their installation, the Takoma Park Guidelines instruct the Commission to be extremely lenient on structures designated as non contributing resources. Therefore, Staff recommends that the Commission approve the proposal of the porch with the skylights.

- 2) The addition of a bay window at the rear of the house will not be visible from the streetscape and will not detract from the historic character of neighboring resources. Staff therefore feels that the bay window is acceptable.
- 3) The existing retaining wall is deteriorated and needs to be replaced. Staff has discussed the possibility of a more compatible alternative with the applicant, Mr. Kules. The applicant has ruled out the possibility of a stone retaining wall due to its expense, and does not want a concrete wall due to its appearance, but is willing to investigate the possibility of using a concrete wall with real stone facing. Staff feels that the Commission should approve the proposal for the use of the StoneWall Select wall system while giving the applicant the option of substituting a concrete wall with real stone facing subject to Staff approval.

- 4) **Staff recommends that the Commission approve the replacement of existing windows with vinyl 1/1 replacement sashes.**

Again, Staff urges the applicant to reconsider the installation of a large picture window on the front facade of the structure. However, due to its classification as a non-contributing resource, **Staff recommends approval of the installation of the picture window.**

STAFF RECOMMENDATION

Staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A-(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with Standard 9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Subject to the following conditions:

- 3) The applicant may substitute the proposed StoneWall Select wall system with a concrete retaining wall with real stone facing subject to Staff approval.

and provided the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

## REQUIRED ATTACHMENTS

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## 1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Seven thousand six Poplar Ave is a two-story wood frame, colonial-style house, built in the 1940's. It is listed as a non-contributing resource. There is a concrete block retaining wall at the front of the property. The attached photographs show the house and the two adjacent houses.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project has three parts: retaining wall replacement, window replacement, and a porch addition. The porch will be an open porch, in keeping architecturally with other porches on Poplar. The retaining wall will be replaced with textured concrete block (shown in the attached literature). The windows <sup>sashes</sup> will be replaced with high-efficiency double-glazed units. A bay window will be added at the rear.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

*See attached plan and elevations.*

- b. the relationship of this design to the existing resource(s):

*All proposed work is consistent with the existing structure, and in keeping with the neighborhood.*

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

*The proposed work is in keeping with the historic district.*

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

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DNCR/DCD

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name Jonas Geduldig/Clare Christopher Lot 33, block 20  
 Address 7008 Poplar Ave  
 City/Zip Takoma Park, MD 20912
2. Name Frank Greer/Stephanie Soleim Lot 38, block 21  
 Address 7013 Poplar Ave  
 City/Zip Takoma Park, MD 20912

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3. Name Ruth & Herman Borm lot 37, block 21  
and lot 36, block 21  
(7009 & 7007 Poplar)  
Address Rt 1, Box 419  
City/Zip Reva, VA 22735

4. Name \_\_\_\_\_ ~~lot 36, block 21~~  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

5. Name Joseph Stricak lot 35, block 20  
Address 7004 Poplar Ave  
City/Zip Takoma Park, MD 20912

6. Name John Choporis lot 19, block 20  
Address 416 Thayer Pl  
City/Zip Silver Spring, MD 20910

7. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

8. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

1757E

# APPLICATION FOR HISTORIC AREA WORK PERMIT

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PERMITS  
DDSR/DFP

TAX ACCOUNT # 13-25-108073  
 NAME OF PROPERTY OWNER William M Kules TELEPHONE NO. (301) 270-4325  
 (Contract/Purchaser) & Julia L Washburn (Include Area Code)  
 ADDRESS 7006 Poplar Ave, Takoma Park, MD 20912  
 CITY STATE ZIP  
 CONTRACTOR \_\_\_\_\_ TELEPHONE NO. \_\_\_\_\_  
 PLANS PREPARED BY Mason Osborn CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_  
 TELEPHONE NO. (703) 684-7638  
 (Include Area Code)  
 REGISTRATION NUMBER \_\_\_\_\_

LOCATION OF BUILDING/PREMISE  
 House Number 7006 Street Poplar  
 Town/City Takoma Park Election District \_\_\_\_\_  
 Nearest Cross Street Elm  
 Lot 34 Block 20 Subdivision B F Gilbert's Addition to Takoma Park  
 Liber JA#3 Folio 479 Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)  
 Construct  Extend/Add  Alter/Renovate  Repair  Circle One: A/C Slab Room Addition  
 Wreck/Raze  Move  Install  Revocable  Revision  Fence/Wall (complete Section 4)  Other  Porch Deck Fireplace Shed Solar Woodburning Stove  
 1B. CONSTRUCTION COSTS ESTIMATE \$ 8,000  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # \_\_\_\_\_  
 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY Pepco  
 1E. IS THIS PROPERTY A HISTORICAL SITE? No

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS  
 2A. TYPE OF SEWAGE DISPOSAL  
 01  WSSC 02  Septic  
 03  Other \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY  
 01  WSSC 02  Well  
 03  Other \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL  
 4A. HEIGHT 4 feet 6 inches  
 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 1. On party line/Property line Yes - to replace existing  
 2. Entirely on land of owner \_\_\_\_\_  
 3. On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

W M Kules \_\_\_\_\_ 11/27/94  
 Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

4

APPLICATION/PERMIT NO: 9412010063 FILING FEE: \$ \_\_\_\_\_  
 DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_  
 DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_  
 OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO. \_\_\_\_\_



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DDSD / DEP



Front, 7004 and 7006 Poplar



Front, 7006 and 7008 Poplar

5



Front of 7006 and  
side of 7004



Rear of 7006 and  
sides of 7004 and 7008

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PERMITS  
DNCR/DEP

6

## Project Plan

1. Remove existing double hung sashes throughout house and replace with Crestline Wood Sash replacement kits. Finish: White vinyl clad exterior, wood interior with wood Grills.

See Brochure.

2. Remove existing Deteriorated retaining wall and stairs, replace with new two tiered wall using Stonewall Select modular concrete system. Stairs to be constructed of same material, treads to match cap of walls.

See Drawings page 2 (Plan View New), and Page 4 (Front Elevation New), as well as brochure and photo.

3. Remove existing front stoop, replace with new colonial style front porch. Porch

Specifications:

Ceiling :beaded fir (See Cut Sheet)

Floor: Tongue and groove Fir (See cut-sheet).

Posts and railings: Colonial style (See cut sheets).

Roof: 25yr fiber glass to match existing.

Skylights, Velux 2040 Bronze.

Porch to be painted White to match trim on house.

See Drawings Page 2 (Plan View New), and Page 4 (Front Elevation New)

4. Enlarge existing dining room window opening and install new Andersen 45-3456-18 Bay window.

See Drawings Page 2 (Plan View New), and Page 6 (Rear Elevation New) And Brochure.

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DDSP / DCP

(7)

Drawings

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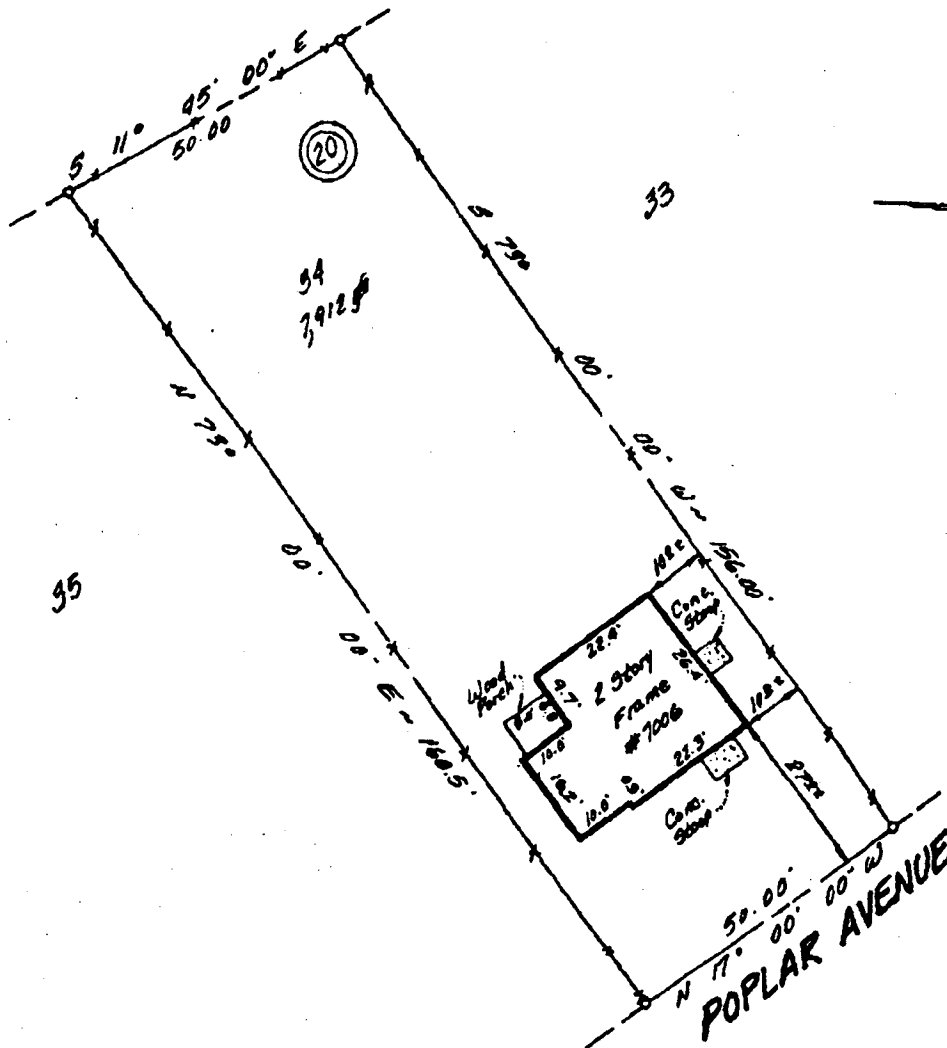
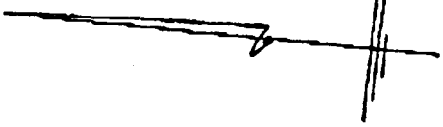
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DNR/DEP

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PERMITS  
DDSP/DSP



Note: Property predates modern day zoning.

LOT 34 BLOCK 20  
B.F. GILBERT'S ADDITION TO  
"TAKOMA PARK"

Surveyor's Certification

I hereby certify that the survey shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible encroachments unless noted otherwise. Fence lines (if shown) are approximate locations. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Do not attempt to use this survey for the purpose of constructing improvements. This property does not lie within a 100 year flood plain according to HUD-FIA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

10-4-93  
Date

*Stephen J. Wenshold*  
Stephen J. Wenshold  
Maryland RLS Reg. No. 10767

NO TITLE REPORT FURNISHED

Scale: 1"=20'  
Plat Book: A  
Plat No.: 2  
Work Order: 94-5963

Property Address: 7006 Poplar Avenue  
Election District #: 13  
Jurisdiction: Montgomery County, Maryland

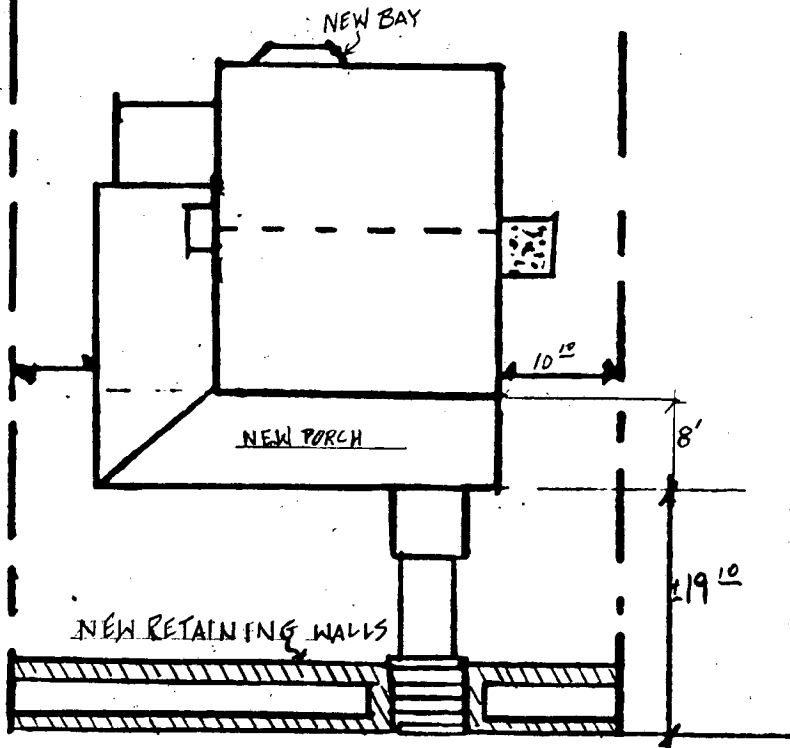
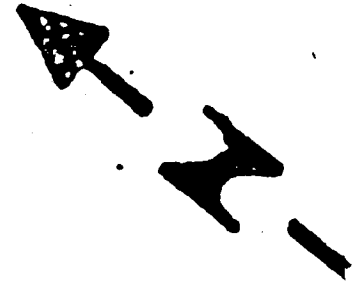


Meridian Surveys, Inc.  
2401 Research Boulevard  
Suite 270  
Rockville MD. 20850  
(301) 840-0025

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PERMITS  
DDSP/DEP



POPLAR AVENUE

Plan View New

<b>Kules Washburn Residence</b> 7006 Poplar Avenue Takoma Park, Maryland
Scale: 1" = 15'

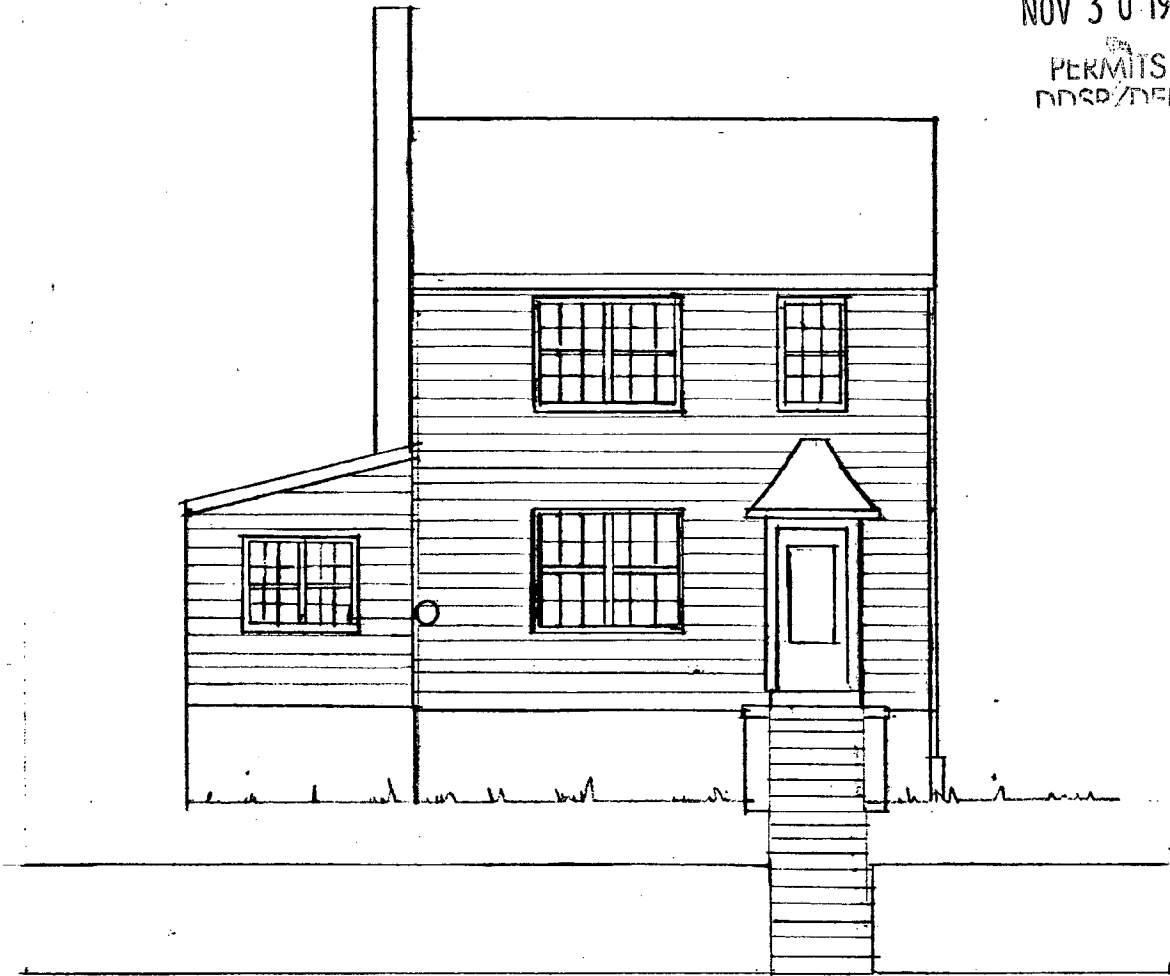
2

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PERMITS  
DDSP/DEP



**Front Elevation Existing**

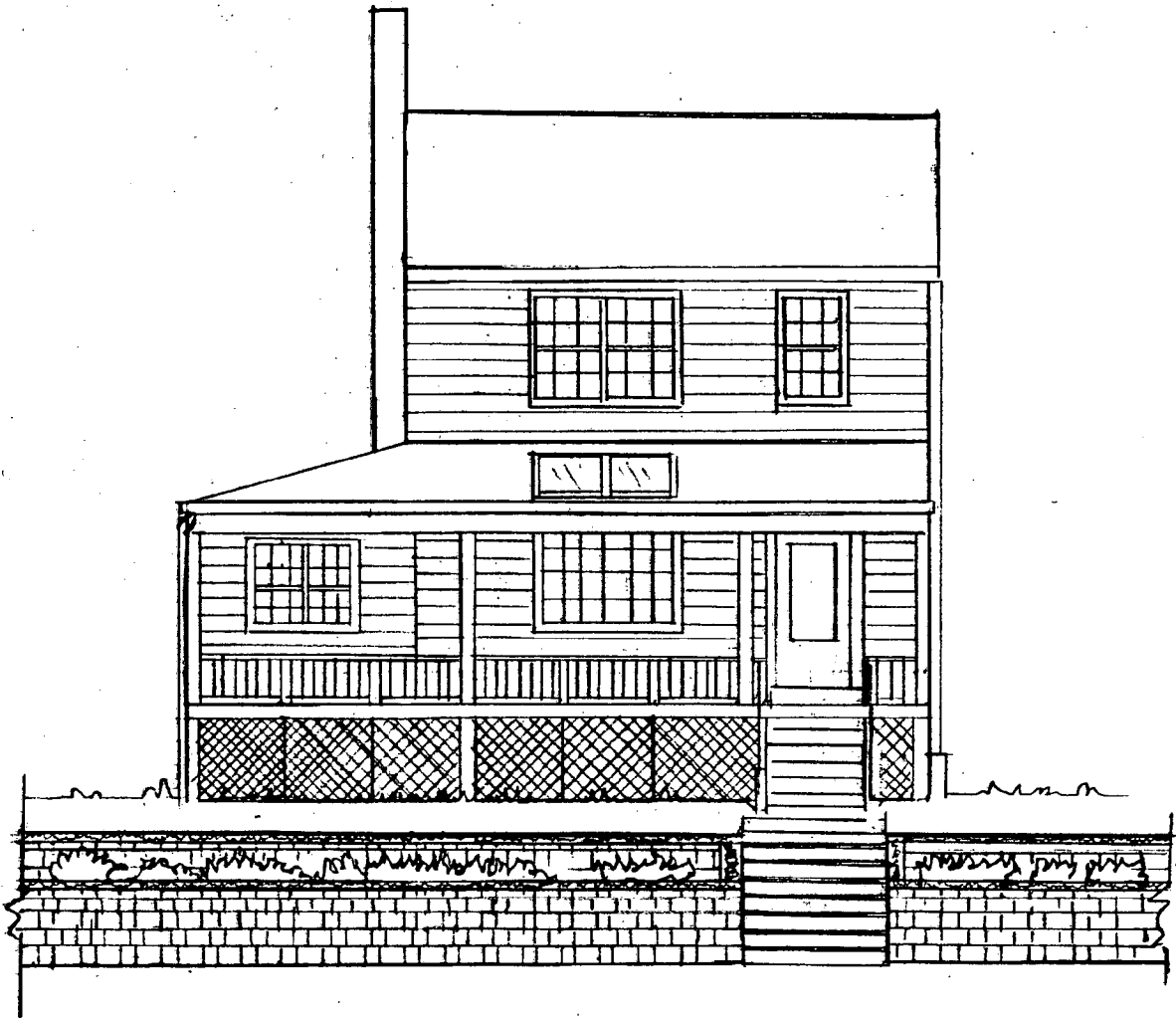
**Kules Washburn Residence**  
7006 Poplar Avenue  
Takoma Park, Maryland

Scale: 1/8" = 1'

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PERMITS  
DDSP/DEP



**Front Elevation New**

**Kules Washburn Residence**  
7006 Poplar Avenue  
Takoma Park, Maryland

Scale: 1/8" = 1'

4

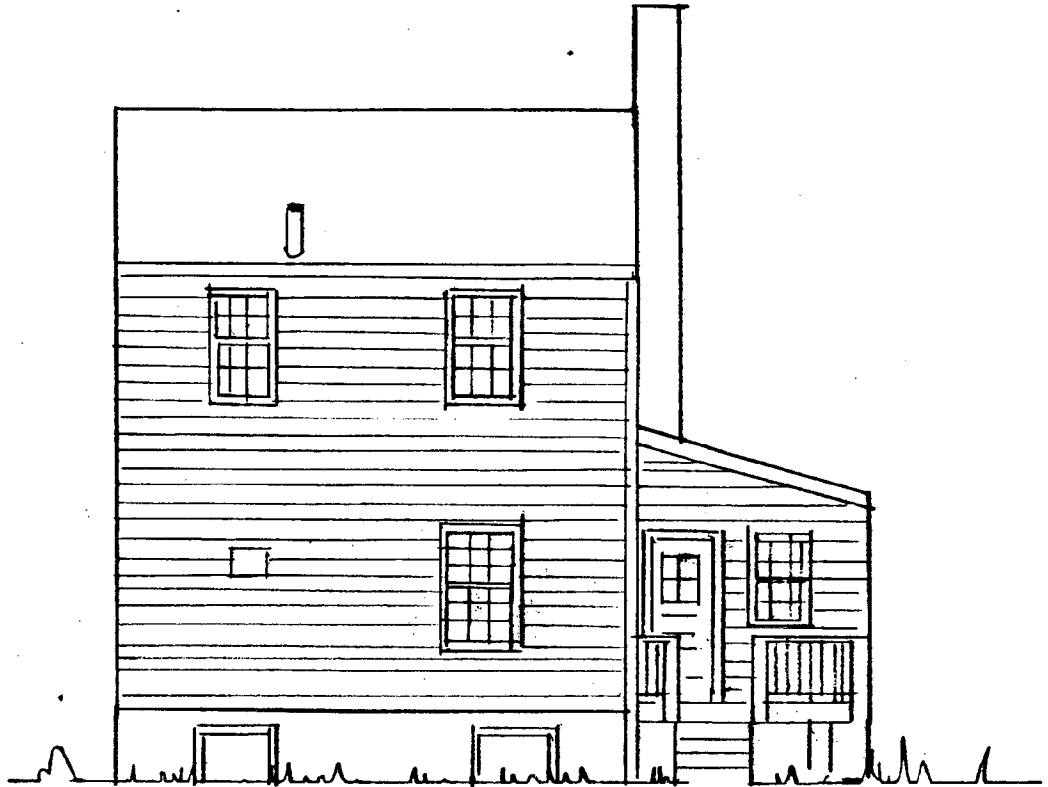
12



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DISPATCHED



**Rear Elevation Existing**

<p><b>Kules Washburn Residence</b> 7006 Poplar Avenue Takoma Park, Maryland</p>
<p>Scale: 1/8" = 1'</p>

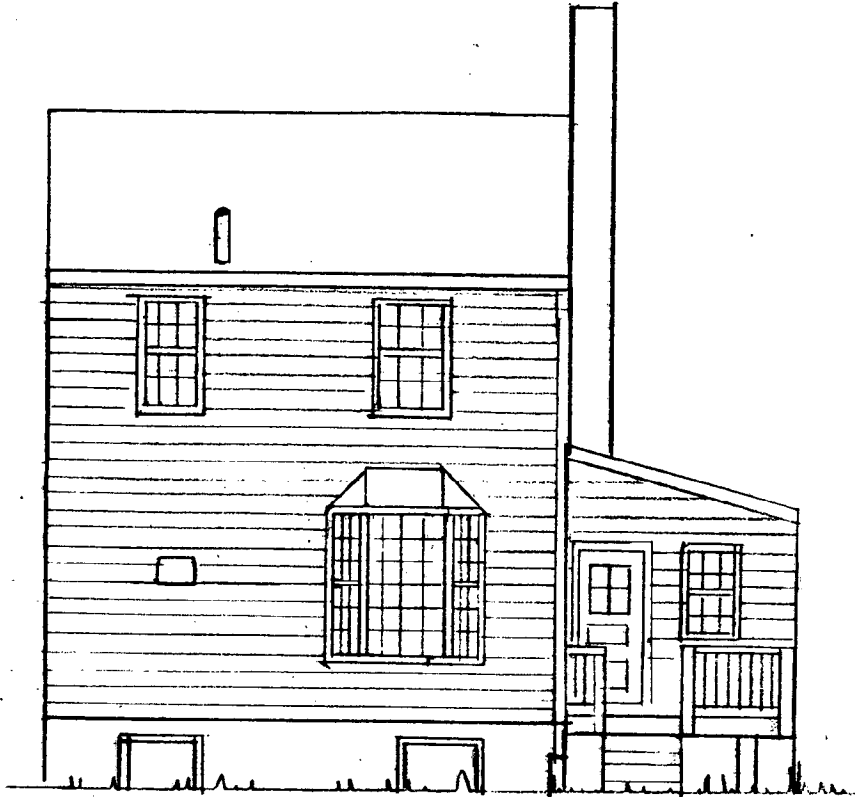
5

13

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PERMITS  
DDSD / DEP



**Rear Elevation New**

**Kules Washburn Residence**  
7006 Poplar Avenue  
Takoma Park, Maryland

Scale: 1/8" = 1'

6

14

BROCHURES

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PERMITS  
DIVISION

15



# WINDOW IMPROVEMENT CENTRE

## SASH REPLACEMENT KIT



THE SIMPLE WAY TO PUT A  
NEW WOOD WINDOW IN YOUR HOME

## SASH REPLACEMENT KIT FOR 1<sup>3</sup>/<sub>8</sub>" DOUBLE-HUNG WOOD WINDOWS

### Standard Features and Benefits

Kit contains one pair of wood sash, two vinyl balances, balance clips and screws, vinyl parting stop, and eight rubber spacer blocks.

- Both sash tilt in for easy cleaning – from inside your home.
- Sash are made of select western wood for natural strength and beauty.
- Interior wood surface can be stained or painted to match your present color.
- Exterior surface is primed and ready for finishing.
- Insulated glass standard.
- Super energy efficient high-performance glass optional.
- Vinyl weather stripping at top and bottom helps keep air and moisture out.

- Mylar<sup>®</sup>-faced foam insulates side balances and virtually eliminates drafts.
- Side balances adjust easily for fingertip control.
- Sash lock and pivot pins are pre-installed at factory for your convenience and security.
- Built-in finger pulls (top and bottom) eliminate need to add hardware.
- Available in many standard sizes or can be custom made to your exact measurements.
- Grilles in airspace available in pewter, white or beige.
- Aluminum clad exterior available in brown, pewter, white or beige.



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# NARROLINE® 45° ANGLE BAY WINDOWS

## BASE UNIT FEATURES:

Assembled, ready for installation in the wall opening. Includes specially designed angle mullion posts with exterior cover and angled side flanges. The bay unit is assembled using basic Narroline® double-hung windows as described on pages 102 and 104. 3/4" plywood securing platforms are applied to each unit's head and sill to tie them together as a unit and aid in their installation. Cable support system is included for unit support and adjustment. Auxiliary casing is furnished and applied.

## RECOMMENDED ADDITIONAL PARTS:

Andersen® clear pine veneer head and seat boards, and pine extension jambs.

Always specify and check for the Andersen name or trademark to ensure you're getting actual Andersen parts.

## RECOMMENDED OPTIONAL ACCESSORIES:

For more information see pages 146-151.

**PERMA-CLEAN® INSECT SCREEN.**

**PERMA-FIT® DIVIDED LIGHT GRILLES.**

Interior and exterior grilles available. See page 146.

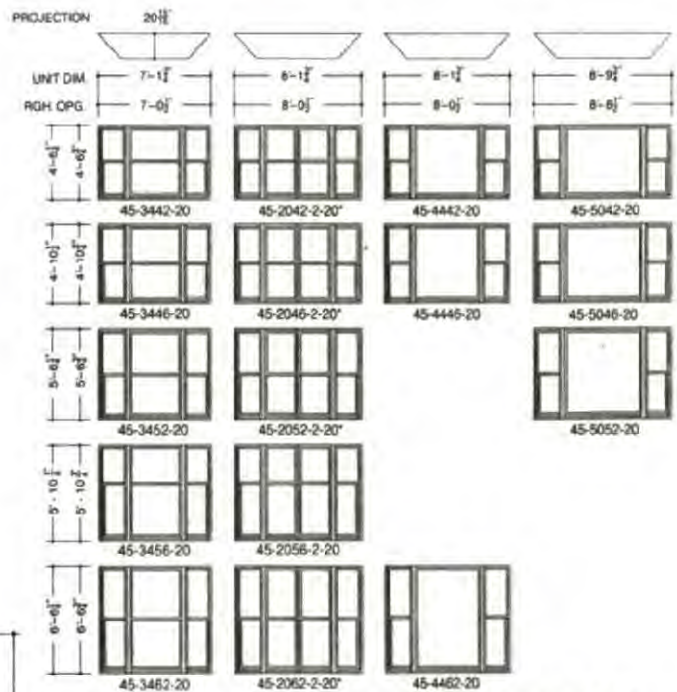
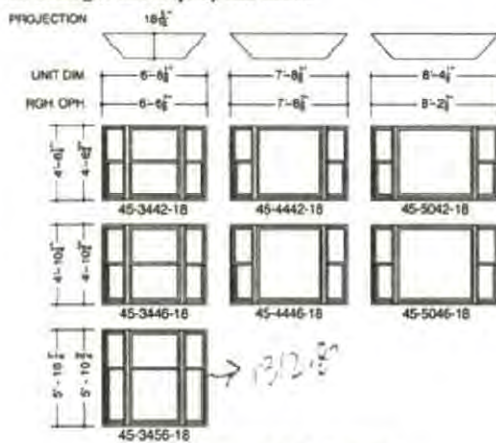
## COMBINATION UNIT.

**NOTE:** Angle bay and bow windows include only the basic unit. Roof and other installation materials are by other manufacturers. For walk-out angle bay and bow window details and installation instructions contact your local Andersen supplier.

When ordering be sure to specify color desired.

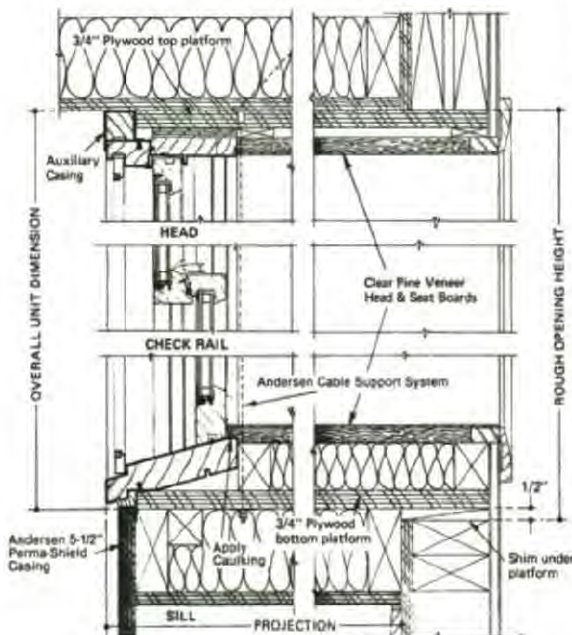


Narroline®  
Double-Hung



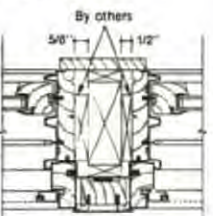
## VERTICAL DETAIL

Scale 1 1/2" = 1'0"



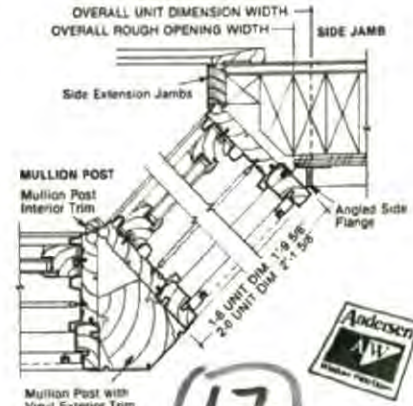
## \*MULLION Scale 1 1/2" = 1'0"

Special mullion detail for units with 2 wide center sash. Andersen® exterior mullion trim shown with mullion fillers furnished by others.



## HORIZONTAL SECTION

Scale 1 1/2" = 1'0"



17



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DOSP/DFP

# Install the wall of simple beauty



Elaborate, terraced  
**StoneWall SELECT**  
retaining walls and well-designed beds  
helped this residence capture the *Best  
Landscaping Award* for Vancouver,  
British Columbia's *Street of Dreams*.

# StoneWall SELECT

## Residential Retaining Wall System



Seen in an entirely new light  
at night – thanks to the added drama, safety  
and security of landscape lighting –  
is a StoneWall SELECT wall  
in Pewaukee, Wisconsin.



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PERMITS  
DDSP/DEP

# Naturally scaled, real-rock beauty that blends in anywhere...

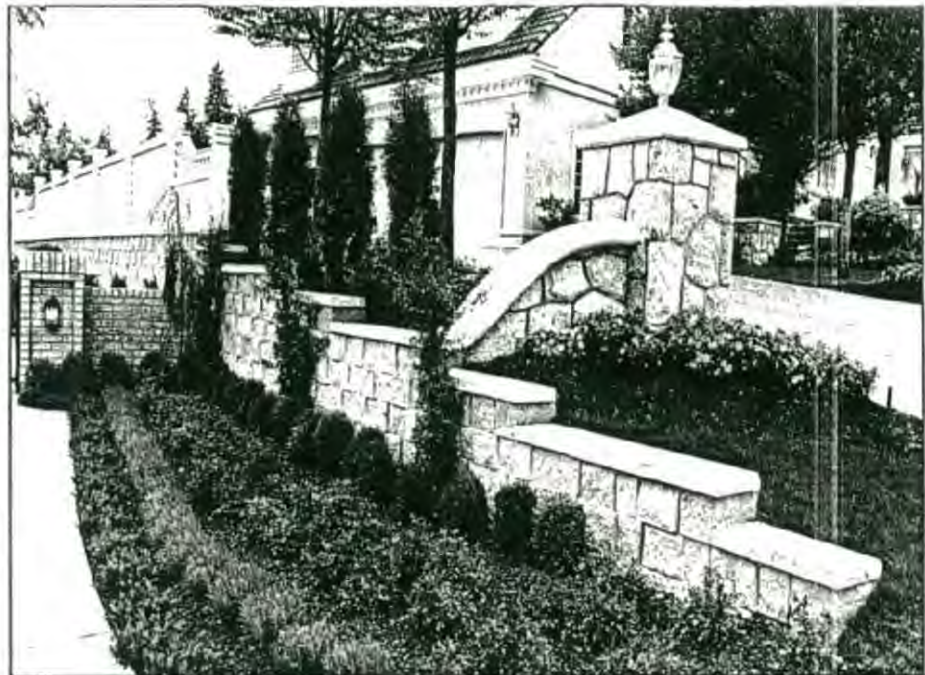
## Scalloped StoneWall SELECT steps

create an inviting approach  
to the paver-lined deck  
surrounding a swimming pool in  
Reading, Pennsylvania.



## StoneWall SELECT works beautifully with other masonry wall materials,

as demonstrated by  
this installation  
in Vancouver, British Columbia.



With its highly textured split face and refined beauty of hewn, chiseled stone, the StoneWall SELECT retaining wall system blends in beautifully in any home landscape scheme.

It's an ideal complement to pavers and brick, as well as flagstone, fieldstone and other natural materials.

And, unlike competitive systems that have a uniform, unnatural, "stacked-tire" look, StoneWall SELECT is perfectly scaled and randomly textured to look naturally good in walls of virtually any size or shape.

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DDSP/DEP



**A curved planting bed** is defined by a StoneWall SELECT wall with built-in lighting, in Wyomissing, Pennsylvania.



**Mountaintop terraces** of StoneWall SELECT lead up to a scenic vantage point for this Seattle, Washington residence.

## **and well engineered.**

The next generation of retaining wall systems, StoneWall SELECT is engineered to be the easiest, quickest wall to install. No mortar is needed, and no special expertise is required. Since all unnecessary weight has been removed, each StoneWall SELECT unit weighs **up to 43% less** than other concrete retaining wall blocks. So it can be easily lifted, carried and set in place by just one person.

90° corners, 90° steps and other demanding design details are no problem for versatile StoneWall SELECT.

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PERMITS  
DDSP/DEP

# Rising to any Challenge.

Steps and stairways, corners, inside and outside curves, serpentine walls — these and other diverse design requirements are easily accommodated by StoneWall SELECT'S unmatched versatility.

**Curves in tight radii, steps and 90° corners** — all of StoneWall SELECT — form an elegant approach to this residence in Shaughnessy, British Columbia.

In Seattle, Washington, a very dramatic entrance is created by StoneWall SELECT retaining walls and steps, highlighting the use of 90° corners (inset photo).



## Rock solid.

Rugged, durable StoneWall SELECT won't ever decay, rot, splinter or split, as treated timbers or railroad ties often do. In fact, StoneWall SELECT offers the same long life and zero-maintenance as poured concrete.

**A low retaining wall** of StoneWall SELECT divides a backyard into two play areas, with steps connecting the two levels in Brookfield, Wisconsin.



## Lighting.

As attractive as StoneWall SELECT looks by day, it really shines in the dark. That's because StoneWall SELECT is the first retaining wall system with electrical cable slots conveniently cast right into each block. So it's easy to add the drama, charm and safety of most landscape lighting systems to any StoneWall SELECT retaining wall.

For your smaller residential landscaping projects Innovative Concrete Design's **StoneRidge** landscape wall units provide all the convenience, flexibility and durability of StoneWall SELECT in a slightly scaled-down size.

Scale new heights in landscape retaining walls with StoneWall SELECT.

A complete specification guide is available on request.

**For more information, contact:**

### Nothing stacks up Like StoneWall SELECT

- The natural, built-in beauty of real rock
- Unmatched ease of installation — fast, simple, mortarless
- Light, manageable weight
- Automatic 3/4" setback per course
- Made of cured, high-strength concrete
- Maximum durability in any weather
- Unparalleled design flexibility

**ICD** Corporation

**Innovative Concrete Design**

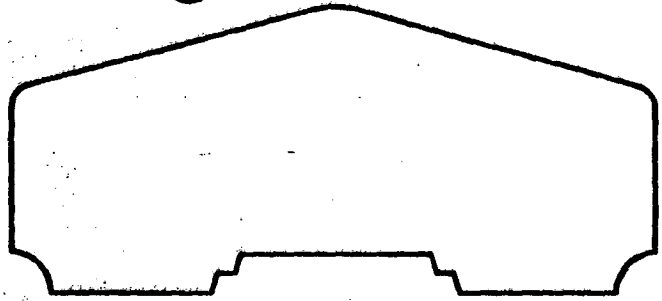
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Milwaukee, WI 53211

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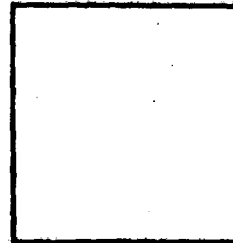
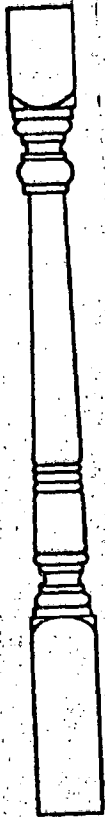
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PERMITS  
DNR/DEP

Porch Details

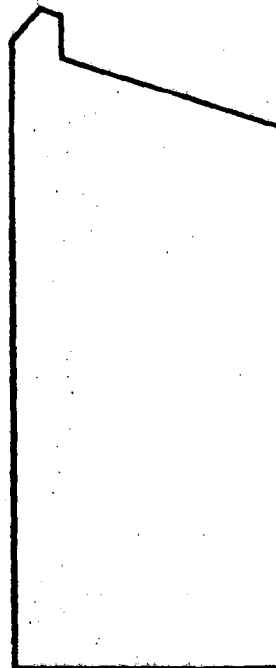


SM-8840  
1-1/2 X 3-1/2  
TOP PORCH RAIL



LWM-237  
1-1/4 X 1-1/4  
BALUSTER STOCK

PST 103 5/2 X 5/2 X 8'



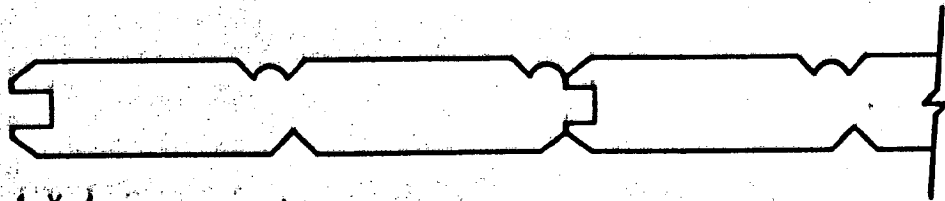
SM-8841  
1-1/2 X 3-1/2  
BOTTOM PORCH RAIL



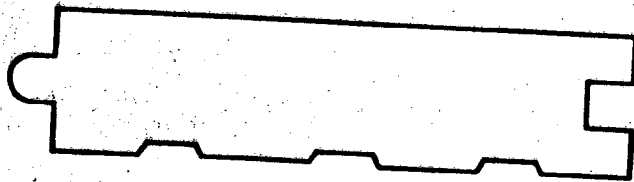
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1 X 4  
BEADED FIR CEILING



1 X 4 YELLOW PINE FIR  
3-1/8" FACE FLOORING

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# Install the wall of simple beauty



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StoneWall SELECT**

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It's an ideal complement to pavers and brick, as well as flagstone, fieldstone and other natural materials.

And, unlike competitive systems that have a uniform, unnatural, "stacked-tire" look, StoneWall SELECT is perfectly scaled and randomly textured to look naturally good in walls of virtually any size or shape.



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- Unparalleled design flexibility

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Windows & Doors

# WINDOW IMPROVEMENT CENTRE

SASH REPLACEMENT KIT



## SASH REPLACEMENT KIT FOR 1 3/8" DOUBLE-HUNG WOOD WINDOWS

### Standard Features and Benefits

Kit contains one pair of wood sash, two vinyl balances, balance clips and screws, vinyl parting stop, and eight rubber spacer blocks.

- Both sash tilt in for easy cleaning – from inside your home.
- Sash are made of select western wood for natural strength and beauty.
- Interior wood surface can be stained or painted to match your present color.
- Exterior surface is primed and ready for finishing.
- Insulated glass standard.
- Super energy efficient high-performance glass optional.
- Vinyl weather stripping at top and bottom helps keep air and moisture out.

- Mylar®-faced foam insulates side balances and virtually eliminates drafts.
- Side balances adjust easily for fingertip control.
- Sash lock and pivot pins are pre-installed at factory for your convenience and security.
- Built-in finger pulls (top and bottom) eliminate need to add hardware.
- Available in many standard sizes or can be custom made to your exact measurements.
- Grilles in airspace available in pewter, white or beige.
- Aluminum clad exterior available in brown, pewter, white or beige.



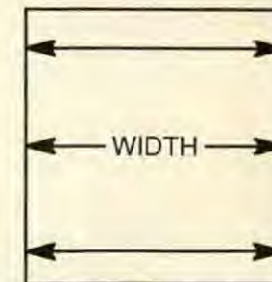
## HOW TO MEASURE

No matter how old the window sash is you're replacing, follow this easy guide for measuring. It's sure to help you determine the exact size you need.

### Width

Measure the width of the window sash you are replacing. Measure from the innermost points between the jambs. Always measure between the jambs at three different spots: top, bottom and middle. And make sure to measure from the surface of one jamb to the other, not from the parting stop or blind stop.

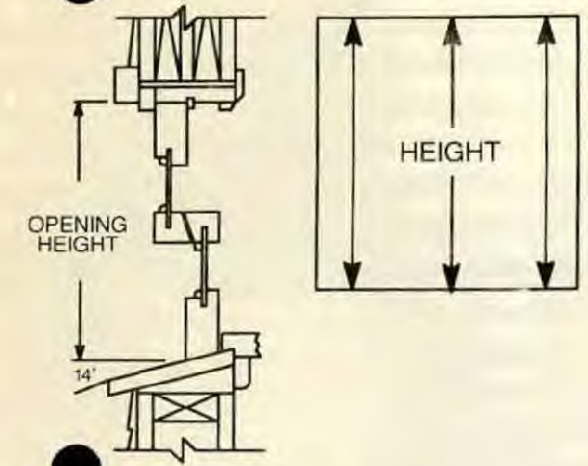
After you measure the width from the three spots, write down the **smallest** of the three width measurements here: \_\_\_\_\_. Then, mark it down in the appropriate space in the order form located on the back cover of this brochure. It'll make ordering your new Sash Replacement Kit Guide easier.



### Height

Measure the height of the window sash you're replacing. Measure from where the top sash meets the head jamb – to where the exterior of the bottom sash sits on the sill when fully closed. Here again, measure three ways: left side, right side and middle.

Now take the smallest of the three height measurements and write it down here: \_\_\_\_\_. And mark it down on the order form just like you did for the width. You're ready to order your Sash Replacement Kit!



**IMPORTANT:** The smallest width and height measurements (for each window sash you plan to replace) are the ones you will use to order your Sash Replacement Kits.

Check the sill angle. Our standard is 14°. Any angle other than 14° is available but must be specified.

To determine the sill angle, raise the bottom sash and place a carpenter's protractor on the sill. The angle will register.

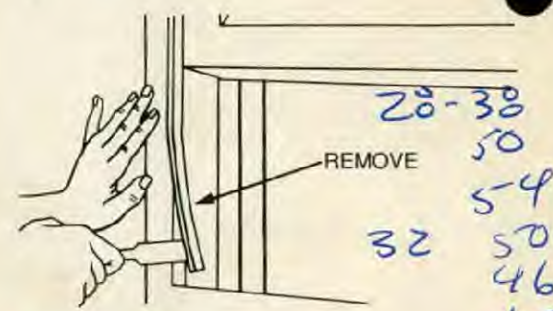


# How to Install

The Easy Installation Guide is designed to give you an idea of what's involved when replacing a window sash. Use it as a guide.

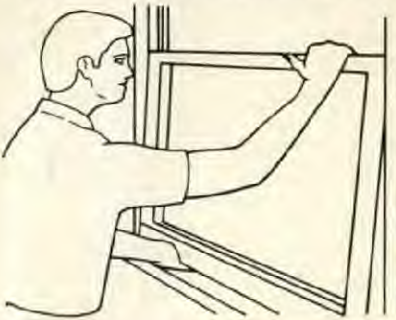
Actual detailed installation instructions are packed inside with each Sash Replacement Kit.

Professional installation may be available. Ask your dealer for information.



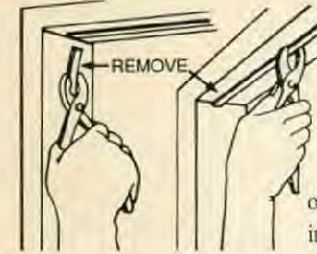
## Take out the old.

1. From inside your home, carefully remove the inside stop from the old window with a broad chisel or putty knife. Don't throw these pieces away. You'll need them!



2. Remove the old cords and pulleys. Then, take out the old bottom sash.

Handwritten notes: 28-38, 50, 54, 32, 50, 46, 62, 36, 58, 36, 46, 32 x 54, 36, 54



3. Now remove parting stops at the top and sides and take out the old top sash.

4. Repair jambs, fill old pulley holes with insulation.

5. You're now ready to install your Sash Replacement Kit.



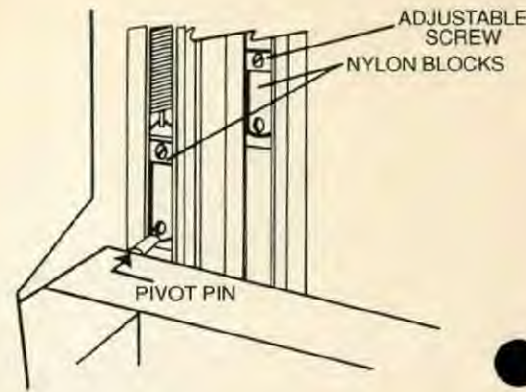
## Put in the new.

1. Install metal clips (as shown) to both jambs.

2. Install the black spacer blocks in the channels on the back of each new vinyl tilt balance, per instruction sheet.



3. Snap the vinyl tilt balances into place by pressing them over the metal clips. (Make sure long side of bottom bevel is kept to the outside, with the foam strip to the jamb.)



4. Now you're ready to install your new sash. First, make sure the nylon blocks line up correctly. Next, check for the adjustable balance screws - one per each balance. (You might have to adjust these if either sash creeps up or down after you install both sash.)



5. Install the top sash first. Make sure the pivot pins engage the balance on both sides. Insert the left pivot pin first and draw down to angle the sash so the right side can be inserted into the right balance.

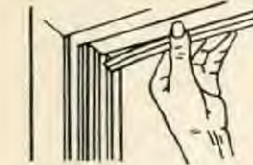


6. Now slide top sash to horizontal position.

7. Tilt the sash upward until it locks into place, in the full upright position.

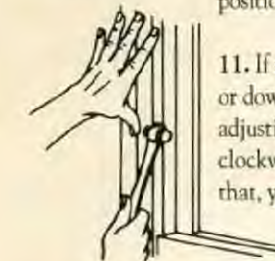


8. Install the new vinyl head parting stop.



9. Now install the new bottom sash. Follow steps 4-7.

10. Replace the inside stops you removed from the old window. Place them loosely against the new balances and tap gently into position.



11. If either side of the sash creeps up or down, tilt the sash and turn the adjusting screw (shown in step 4) clockwise to tighten balance. After that, you're finished. Sit back and enjoy your new energy-efficient window.

# HOW TO ORDER YOUR SASH REPLACEMENT KIT

Please double check your order and your measurements before you place your order.

Your Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_  
 State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Ship To: \_\_\_\_\_

Date: \_\_\_\_\_ Order #: \_\_\_\_\_

Quantity	Model #	Opening Size Width x Height

Comments, Options, Special Instructions \_\_\_\_\_

Authorized Signature: \_\_\_\_\_



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Takoma Park (1994)







