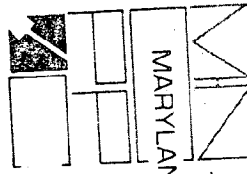


37/3-94D 7003 Westmoreland Avenue  
Takoma Park Historic District

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760



THE  
MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING  
COMMISSION

Brownman/ Podhorzer  
7003 Westmoreland Ave

T.P.

3713-94 D

Approved 4-13-94 w/cand

Jordan Honeyman Landscape Architecture  
1003 K Street NW Suite 840  
Washington, DC 20001

202/737-0451 Fax 202/737-0452

1/13/97  
Toed Holt Jordan  
this would  
require a  
new HAWP  
application.  
Gwen

FAX TO: Gwen Wright  
COMPANY: HPC  
DATE: 1/13/97  
NUMBER: 301 495 1307  
PROJECT: \_\_\_\_\_  
NUMBER OF PAGES: 3 (INCLUDING COVER PAGE)

MESSAGE

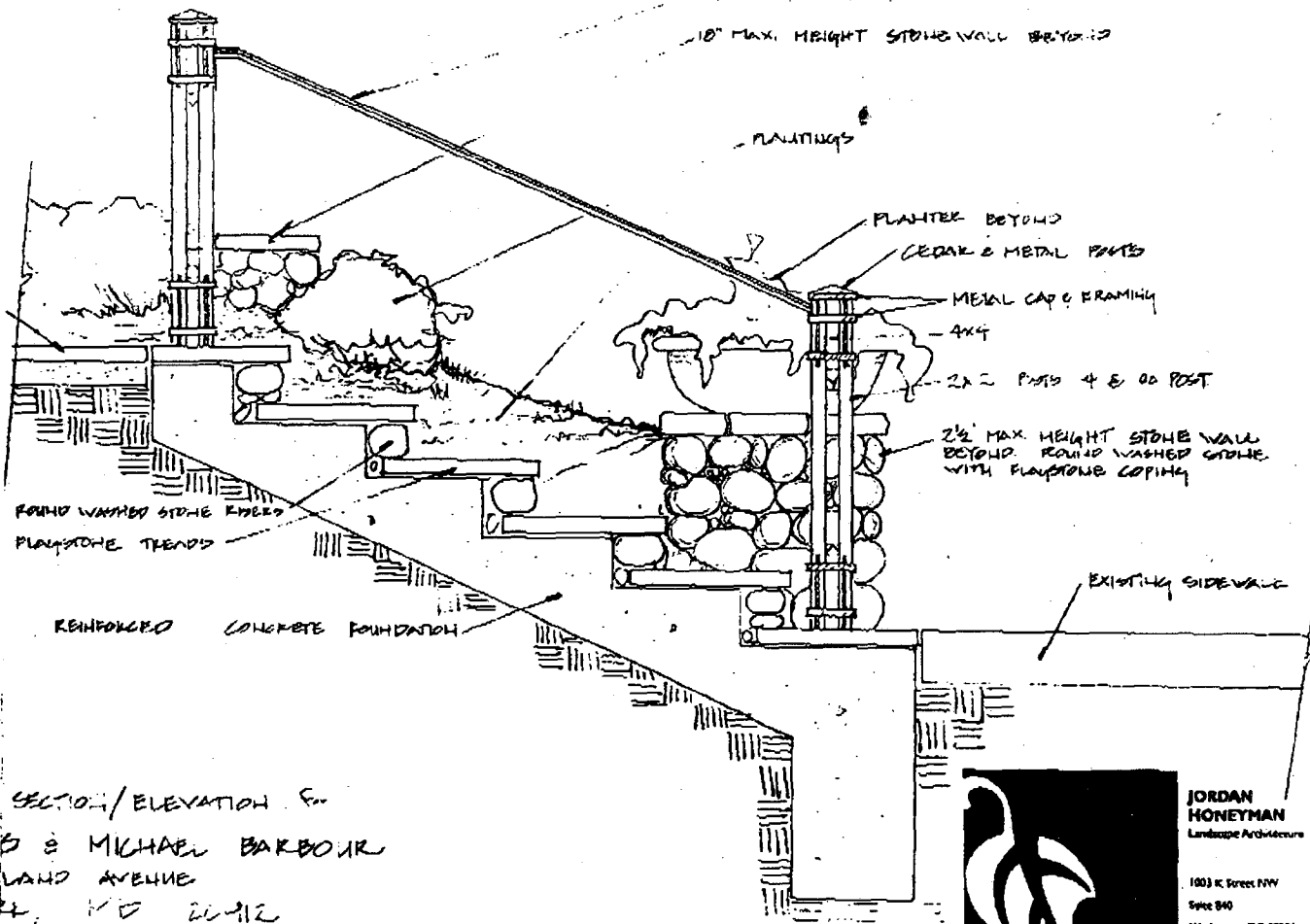
Gwen: This is the walkway & steps for  
Bronson / Popover residence. They supposedly have  
a HAWP for new walkway & steps so this would  
be a modification of an existing HAWP.  
Can this be approved on staff level?

Also enclosed is ~~Handrail & wall~~ - step section  
with handrail & wall beyond. The following is  
from the neighbors home which we received a HAWP  
in Dec of 96. The detail is similar not exact!

FROM: Holt Jordan  
Jordan Honeyman Landscape Architecture

Please call us if there is any trouble with the transmission of this fax @ 202/737-0451.

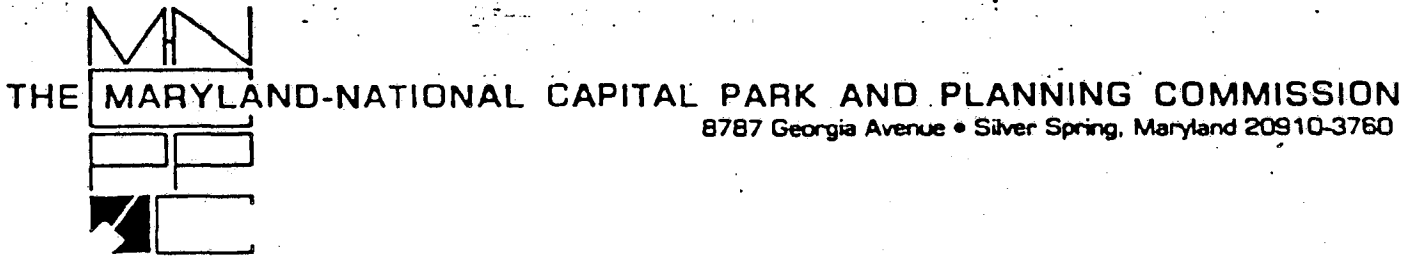




SECTION/ELEVATION FOR  
 5 S MICHAEL BARBOUR  
 LAND AVENUE  
 H, MD 20612



**JORDAN HONEYMAN**  
 Landscape Architecture  
 1003 K Street NW  
 Suite 840  
 Washington DC 20001  
 202.737.0451  
 202.737.0452 FAX



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Robert Hubbard, Acting Chief  
Division of Development Services and Regulation  
Department of Environmental Protection

FROM: Gwen Marcus, Historic Preservation Coordinator  
Design, Zoning, and Preservation Division  
M-NCPPC

SUBJECT: Historic Area Work Permit

DATE: 5.6.94

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved  Denied  
 Approved with Conditions: \_\_\_\_\_

The Building Permit for this project should be issued conditional upon adherence to the approved Historic Area Work Permit.

Applicant: Conrad Browney / Michael Podkover

Address: 7003 Westmeadow Ave, Takoma Park



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1061867  
 NAME OF PROPERTY OWNER CAROL CROWNER / MICHAEL KODJURZEK TELEPHONE NO. 301-891-7871  
 (Contract/Purchaser)  
 ADDRESS MONTGOMERY CO. MARYLAND ZIP 20912  
 CITY STATE  
 CONTRACTOR N/A TELEPHONE NO. \_\_\_\_\_  
 CONTRACTOR REGISTRATION NUMBER \_\_\_\_\_  
 PLANS PREPARED BY NOEMAN SMITH ARCHITECTURE TELEPHONE NO. 202-369-2240  
 (Include Area Code)  
 REGISTRATION NUMBER 8503

LOCATION OF BUILDING/PREMISE  
 House Number 7003 Street WESTMORELAND AVE.  
 Town/City TALOMA PARK Election District WHEATON  
 Nearest Cross Street CHARLES AVE.  
 Lot 869 Block F Subdivision 25  
 Liber. 864 Folio 111 Parcel NA

1A. TYPE OF PERMIT ACTION: (circle one)  
 Construct Extend/Add Alter/Renovate Repair Circle One: A/C Slab Room Addition  
 Wreck/Raze Move Install Revocable Revision Porch Deck Fireplace Shed Solar Woodburning Stove  
 Fence/Wall (complete Section 4) Other \_\_\_\_\_  
 1B. CONSTRUCTION COSTS ESTIMATE \$ 110K  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A  
 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPLO  
 1E. IS THIS PROPERTY A HISTORICAL SITE? NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS  
 2A. TYPE OF SEWAGE DISPOSAL  
 01 (  ) WSSC 02 ( ) Septic  
 03 ( ) Other \_\_\_\_\_  
 2B. TYPE OF WATER SUPPLY  
 01 (  ) WSSC 02 ( ) Well  
 03 ( ) Other \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL  
 4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 1. On party line/Property line \_\_\_\_\_  
 2. Entirely on land of owner \_\_\_\_\_  
 3. On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) [Signature] Date 03/21/94

APPROVED [Signature] For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature Albert B. Randall Date 5.16.94

APPLICATION/PERMIT NO: 9403220065 FILING FEE: \$ \_\_\_\_\_  
 DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_  
 DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_  
 OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS





feature of the house and since the house was a twin of the adjacent house at 7005 Westmoreland Avenue.

In addition, a retaining wall is proposed for the rear yard to direct water run-off.

#### STAFF DISCUSSION

##### Rear and Side Additions

The proposed changes at the rear of the house are significant and while they don't add appreciably to the already considerable length of the house, they do add to its height. A two-story section already exists at the rear; the new roof in the center of the house adds a second story to the one story section of the addition, and the two-story tower form proposed for the deck area would be taller still. Both proposed roofs are higher than the existing two-story addition at the rear (see page 11 of the packet).

The kitchen addition projects slightly more than 3' on the side elevation, behind the dining room bay, and is sided with plywood panels and clapboard to match that on the existing rear addition. For the sake of privacy between neighbors, no windows are proposed for the bay projection. The staff recommends that the kitchen bay be more articulated than shown, particularly since there will be no windows in this section and two 6/1 sash windows would be removed.

The use of casements at the side and rear is acceptable, since the construction is new and the materials (clapboard and plywood panels) and style are flatter in character.

The staff's concern is whether or not new additions would adversely affect the historic character of the house. The house has been altered significantly in height and length at the rear. However, the proposed alterations are also at the rear and the staff is not persuaded that these alterations would change the existing character of the house or affect the streetscape view of the house adversely.

The two-story tower form is at the rear, and the new center gable, which would rise 5' above the gable on the original bungalow section, would begin 33 feet behind the front face of the house (excluding the front porch). While the roof alterations are dramatic on paper in elevation, they would be much less noticeable if constructed. From the sidewalk in front of the house, these alterations would not be visible. From the neighbors' porches across the street, the tops of the roof forms would be visible. The applicants have submitted photographs taken from various viewpoints which illustrate this; the staff will show slides, as well.

### Porch alteration/Basement stairs

The alteration of a front porch is a significant change to the historic architectural character of a house. The staff supports the direction given by the HPC at the time of the preliminary consultation last April. The difference in this application is an additional motivation stated by the applicants: to construct basement stairs that would lead from the driveway area to the front of the house below grade under the porch lattice screens. The architects have discussed several alternatives for the proposed location of the basement stairs with the staff and none is satisfactory to the applicants' needs.

### Retaining wall

The application also proposes the installation of a wood-tie retaining wall in the back yard. As indicated on the site plan, which is subject to revision, according to the architect, the wall would be placed approximately 20' behind the house and would be no higher than 5' in height. The rear yard has a significant slope and the use of a retaining wall here, as in other properties in Takoma Park, helps in directing water run-off. The location and material of the retaining wall is acceptable.

### STAFF RECOMMENDATION

The staff recommends that the application be found consistent with the purposes of the ordinance with the conditions stated below.

The rear and side additions and alterations are acceptable and consistent with the purposes of the Chapter 24A, the Secretary's Standards, and the Takoma Park guidelines for contributing structures, and also consistent with previous HPC-approved alterations and additions to contributing structures in the Takoma Park Historic District. The alterations, with the exception of the front porch stairs, occur almost entirely in the existing addition to the house; the fabric of the original bungalow will be affected very little. The retaining wall is also acceptable.

861 The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and Secretary of the Interior's Standard #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Conditions:

- 1) The kitchen projection should be articulated more fully since windows will not be used.
- 2) The front porch stairs should not be moved from their original position, as stated at the HPC's April 14, 1994 meeting; an alternative location for the basement stairs and access for a mobility-impaired person should be found. The HPC has been consistent (in other cases involving alterations to porches of contributing structures in the Takoma Park Historic District) in not approving alterations to front porches, citing Chapter 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.



# Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850  
217-3625

## APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 1061867

NAME OF PROPERTY OWNER CAROL BROWNER / MICHAEL PODHORIZER TELEPHONE NO. 301-891-7871  
(Contract/Purchaser) (Include Area Code)

ADDRESS MONTGOMERY CO. MARYLAND 20912  
CITY STATE ZIP

CONTRACTOR N/A TELEPHONE NO. \_\_\_\_\_

PLANS PREPARED BY NORMAN SMITH ARCHITECTURE TELEPHONE NO. 202-369-2248  
(Include Area Code)

REGISTRATION NUMBER 8503

### LOCATION OF BUILDING/PREMISE

House Number 7003 Street WESTMORELAND AVE.

Town/City TAKOMA PARK Election District WHEATON

Nearest Cross Street CARROLL AVE.

Lot 869 Block E Subdivision 25

Liber 869 Folio 111 Parcel NA

- 1A. TYPE OF PERMIT ACTION: (circle one)
- |            |   |                |           |          |                                 |       |           |      |       |                   |
|------------|---|----------------|-----------|----------|---------------------------------|-------|-----------|------|-------|-------------------|
| Construct  | <input checked="" type="radio"/> Extend/Add | Alter/Renovate | Repair    | Remove   | Porch                           | Deck  | Fireplace | Shed | Solar | Woodburning Stove |
| Wreck/Raze | Move  | Install        | Revocable | Revision | Fence/Wall (complete Section 4) | Other |           |      |       |                   |
- Circle One: A/C Slab Room Addition
- 1B. CONSTRUCTION COSTS ESTIMATE \$ 110K
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # N/A
- 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPLO
- 1E. IS THIS PROPERTY A HISTORICAL SITE? NO

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL
- |    |  |    |                                 |
|----|--|----|---------------------------------|
| 01 | <input checked="" type="checkbox"/> WSSC | 02 | <input type="checkbox"/> Septic |
| 03 | <input type="checkbox"/> Other _____     |    |                                 |
- 2B. TYPE OF WATER SUPPLY
- |    |  |    |                               |
|----|--|----|-------------------------------|
| 01 | <input checked="" type="checkbox"/> WSSC | 02 | <input type="checkbox"/> Well |
| 03 | <input type="checkbox"/> Other _____     |    |                               |

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches
- 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/Property line
  - Entirely on land of owner
  - On public right of way/easement (Revocable Letter Required)

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Norman F. Smith 03/21/94 Rosie W. Richards  
Secretary Public District of Columbia

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT  
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

(see attached)

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- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

(see attached)

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2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

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- b. the relationship of this design to the existing resource(s):

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- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

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3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project. *INCLUDED IN PARTS F + 2 SEE ABOVE.*
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name GEORGE KOHL / MAUREEN FEGLY  
 Address 7000 WESTMORELAND AVE.  
 City/Zip TAKOMA PARK 20912
2. Name RICHARD JOY  
 Address 7002 WESTMORELAND AVE  
 City/Zip TAKOMA PARK 20912

3. Name PHILLIP & PAULA DOWNEY ROURKE  
Address 7001 WESTMORELAND AVE.  
City/Zip TAKOMA PARK 20912

4. Name MIKE BARBER & KATE CLEMENTS  
Address 7005 WESTMORELAND AVE.  
City/Zip TAKOMA PARK 20912

5. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

6. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

7. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

8. Name \_\_\_\_\_  
Address \_\_\_\_\_  
City/Zip \_\_\_\_\_

1757E

17



1.a. The existing house is a wood-framed, bungalow style structure built circa 1910-1920 and defined as Category 2. A rear, two-story addition was added to the original structure approximately three years ago. The original portion of the house is sided with wood shingles while the addition uses a combination of hardboard, shiplap-type siding and smooth, paint-grade plywood with battens. Wood brackets are used at the gable ends of the original structure; a modified bracket form is used on the addition gable ends.

The house is located on a very long lot with street frontage of approximately 43 feet and a length of approximately 310 feet. The lot slopes upward from the street to a small crest at the middle of the lot and then slopes upward again to the rear of the lot. Several trees are located along the side of the lot; to removal of these trees is planned for or requested.

b. The general scope of the project includes:

1/Adding a gable roof portion between the original structure and the addition to allow access to second floor from central stair.

2/Filling in the existing deck footprint with a family room on the first floor and study on the second floor.

3/Adding a small, approximately 100 SF room on the rear of the house.

4/Adding a kitchen bay approximately 16 feet long and 3 feet deep.

5/Relocating the existing porch stair to the front of the porch and creating a basement areaway and door under the existing front porch.

Please note that this portion of the project is requested due to the Owner's need to provide basement access for a non-ambulatory, semi-disabled parent who will be staying with the Owner on an intermittent basis.

6/Adding a wood-tie retaining wall along the small crest in the rear yard. This wall is meant to help solve current runoff problems caused by surcharge from the adjacent apartment building onto both the subject and neighboring properties. Therefore, the exact height and location of the wall is subject to final grading but will be approximately as indicated in the site plan.

The impact of the proposed addition on the original structure and existing addition is minimal. The environmental setting will not be appreciably altered by the proposed work and will, in fact, be improved by redirecting storm water run-off from neighboring properties. Cut and fill for the retaining wall is expected to be less than 1-2 yards and no existing trees or large shrubs are expected to be disturbed except for minor pruning.

2.a. The proposed work uses matching roof slopes and small scale massing to blend the original and proposed portions of the house. Exterior materials will include hardboard, shiplap siding and AC Fir/MDO plywood with batten strips, wood window, eave and gable trim and other miscellaneous wood trim made with 1x flat stock. Exterior details will be based on bungalow/craftsman style models and will be sympathetic to those

of the original house. Since the actual footprint of the proposed work is minimal, landscaping work will, as noted above, be limited to small-scale work at the retaining wall and the required erosion control methods.

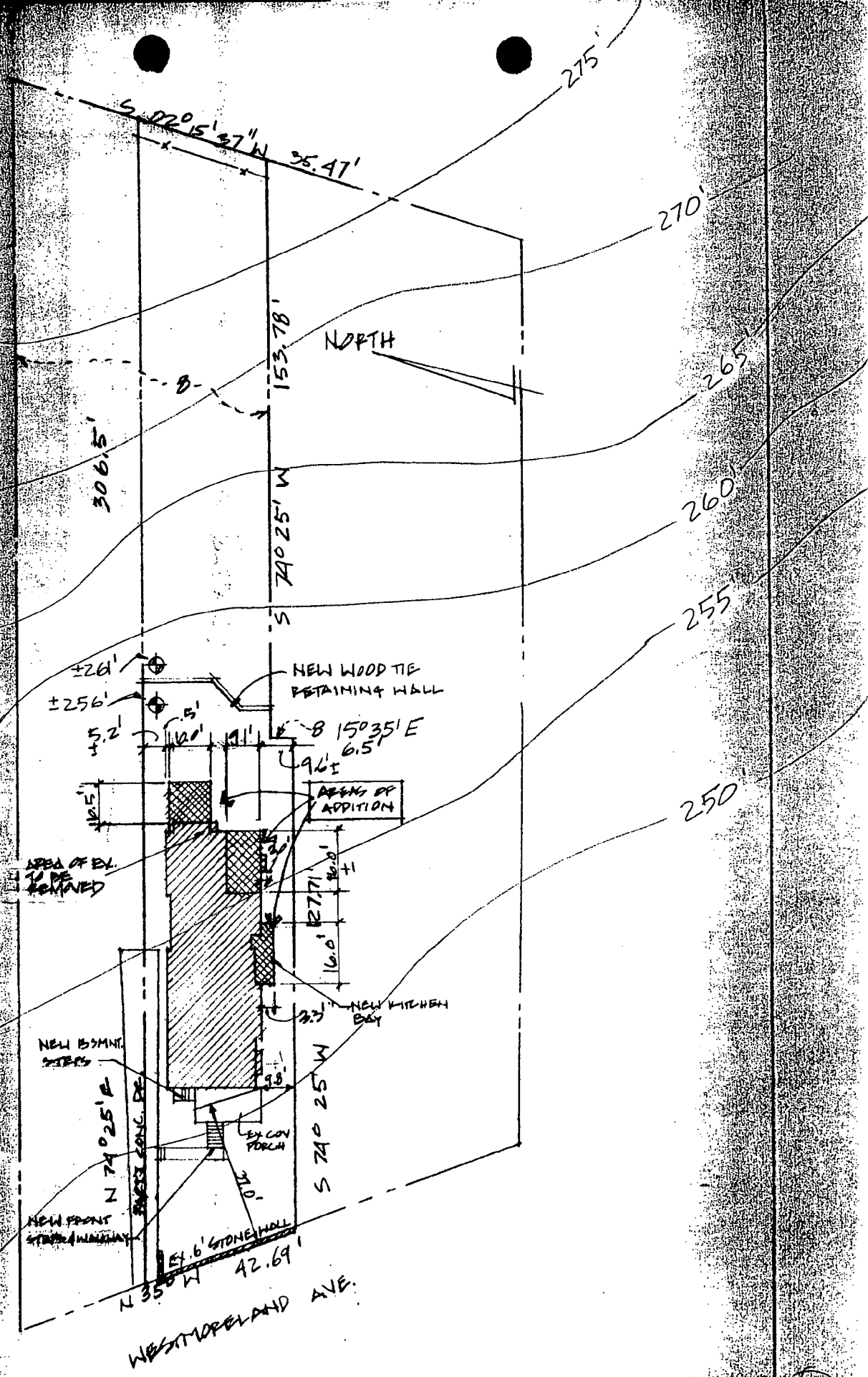
b. The proposed work will be largely limited to infill of the existing rear deck area and the open space between the original house and the existing addition. Therefore, this work will have a complementary and sympathetic relationship with the existing structure.

c. 1/The architectural features and details will be generally consistent with those of the original structure.

2/Much of the work will be at the rear and mid-point of the house and will be minimally visible when viewed from the street at the house front.

3/The mid-point, in-fill portion of the project will not appreciably add to the house height when viewed from the street; a matching roof slope and detailing will blend this portion with the original structure.

4/The proposed work will be in keeping with the varied size and massing of surrounding houses.



SURVEY FROM:  
 LIGHT, ELLIOTT & ASSOC., INC., SURVEYORS  
 7200 L. L. BAYTOWN RD. MD 8/12

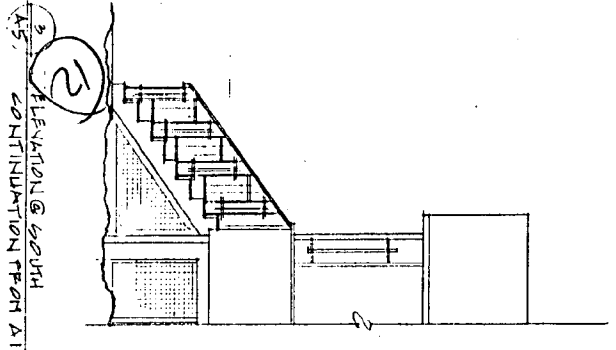






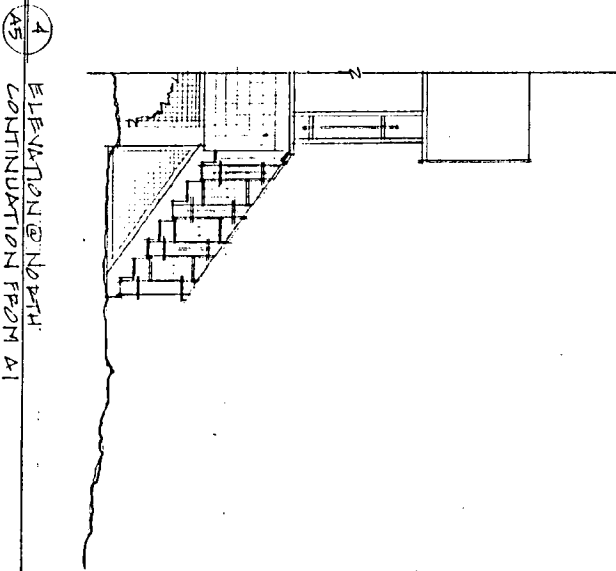




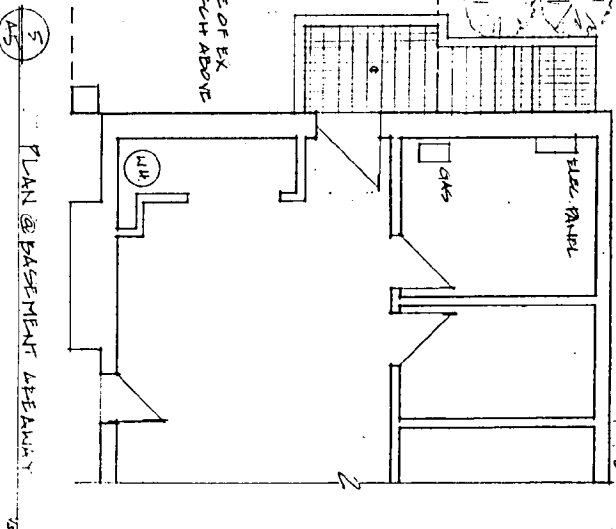


2 ELEVATION @ SOUTH  
CONTINUATION FROM A1

1/4"-1"-0"



4 ELEVATION @ NORTH  
CONTINUATION FROM A1

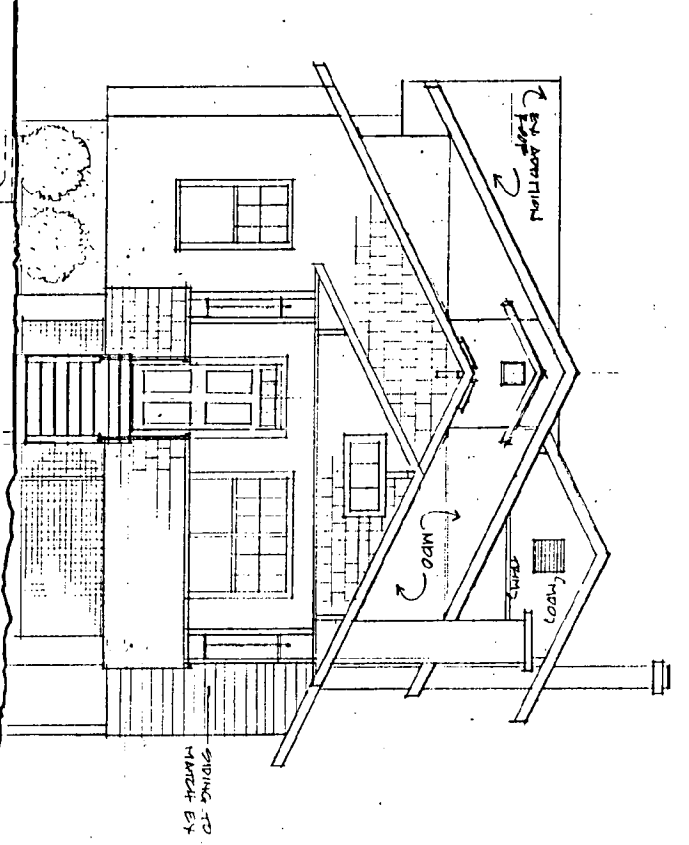
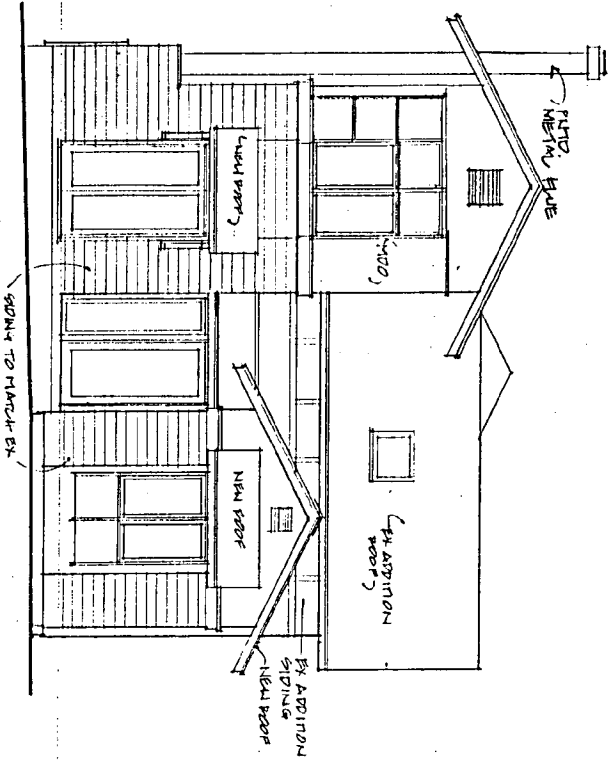


5 PLAN @ BASEMENT LEVEL

1/4"-1"-0"

1 ELEVATION @ REAR

1/4"-1"-0"



2 ELEVATION @ FRONT

1/4"-1"-0"

NOTES: ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE DRAWINGS. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE DRAWINGS.

5 A

Browner/ Podhorz Residence  
703 Westmoreland Ave.  
Takoma Park, MD 20912

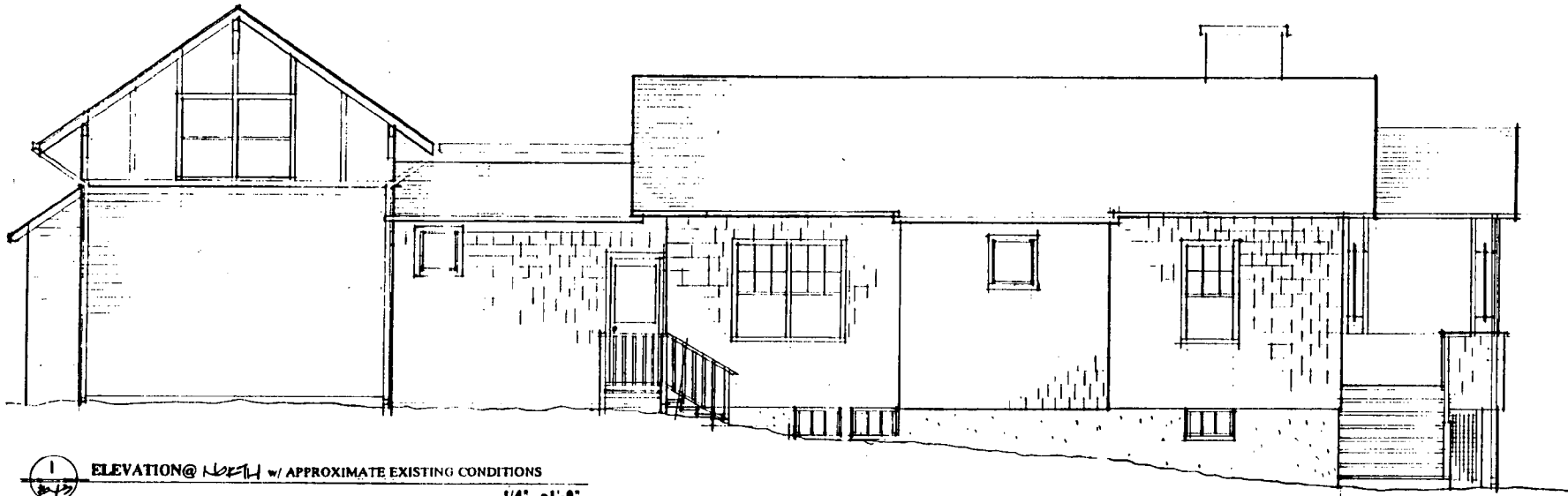
1/4"-1"-0"

NOELMAN SMITH | ARCHITECTURE  
3000 Military Road, N.W. Washington, DC 20015-2074  
Telephone 202.364.2248 Facsimile 202.364.2252

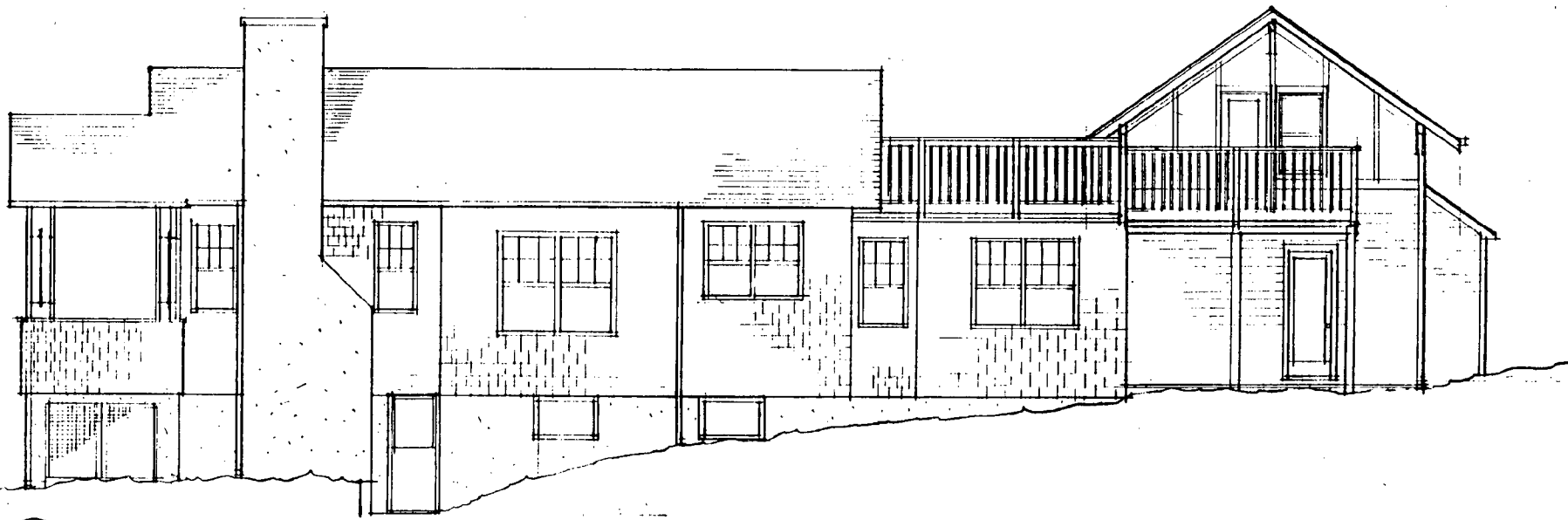








1 ELEVATION@ NORTH w/ APPROXIMATE EXISTING CONDITIONS  
1/4" = 1'-0"



2 ELEVATION@ SOUTH w/ APPROXIMATE EXISTING CONDITIONS  
1/4" = 1'-0"

MAN SMITH | ARCHITECTURE  
3600 Military Road, N.W. Washington, DC 20015-2074  
Telephone 202.364.2248 Facsimile 202.364.2252

08/14/13  
25/08/13  
HALLIFER  
02/11/14

Browner/ Podhorz Residence  
7003 Westmoreland Ave.  
Takoma Park, MD 20912

Ex  
3

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. IT IS THE POLICY OF THE ARCHITECT TO MAKE ALL INFORMATION CONTAINED HEREIN AVAILABLE TO THE PUBLIC. THE ARCHITECT AND ARCHITECTURE FIRM ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT AND ARCHITECTURE FIRM ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ARCHITECT AND ARCHITECTURE FIRM ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.







VIEW LOOKING UP HW  
UP WESTMORELAND AVE



FRONT OF HOUSE  
FROM SW



FRONT OF HOUSE FROM  
ELEVATED POSITION

11





REAR



REAR LOOKING  
NW

18



REAR





FRONT



NORTH SIDE  
FRONT



SIDE OF HOUSE  
FROM SW

5





VIEW LOOKING SE  
DOWN WEST 10TH LAND



FRONT VIEW FROM  
NW



VIEW FROM  
NE 10TH - NEIGHBOR

20





MODEL SHOWING  
FRONT & SOUTH SIDE



MODEL SHOWING  
NORTH SIDE



MODEL SHOWING  
REAR

21

1  
2 MONTGOMERY COUNTY HISTORIC PRESERVATION  
3 COMMISSION MEETING  
4

5 April 14, 1993  
6 7:45 p.m.  
7  
8  
9

10 BEFORE:

11 Albert Randall, Chairman  
12 Joseph B. Brenneman, Commissioner  
13 Ellen Pratt Harris, Commissioner  
14 George Kousoulas, Commissioner  
15 Martha Lanigan, Commissioner  
16 Kenneth P. Norkin, Commissioner  
17 Hank Handler, Commissioner

18 SPEAKERS:

19 Gwen Marcus, Historic Preservation Coordinator  
20 Christopher Hitchens, County Attorney's Office  
21 Nancy Witherell, Planner  
22  
23  
24

25 JOHNSON & WARREN  
Reporting and Transcribing  
Upper Marlboro, Maryland  
(301) 952-0511

1 other way.

2 And then a straight-on view of this house. Page  
3 five I think, is probably the clearest way to illustrate that  
4 proposed change.

5 The applicant would like to move the staircase  
6 from the left side of the front porch going down to the  
7 driveway to the front, moving the staircase around to the  
8 front, filling in the opening on the left and then opening up  
9 the opening in the front so that it would lead directly to  
10 the door.

11 The applicants proposed a different kind of  
12 railing with vertical pickets. I had suggested something a  
13 little simpler based on this, but it would need to meet code  
14 and have the vertical pickets closely spaced.

15 The main issue for me in this was the alteration  
16 of the front and also the loss of that sense of the two twin  
17 houses. And I had recommended in favor of doing it, looking  
18 at the Takoma Park guidelines and considering the extent to  
19 which you want to consider alterations to the street scape.

20 But certainly the loss of this identical feature  
21 with the two houses is a significant consideration. I'll  
22 show those again.

23 It is unusual to see an opening from the side.  
24 The applicant made the point that other houses -- other  
25 bungalows in the immediate area have stairways going from the

1 front. But as I mentioned, the variety is something that is  
2 worth keeping as well.

3 I didn't take photos of other adjacent houses, but  
4 you'll see them in the packet. The applicant submitted well  
5 labeled photographs.

6 CHAIRPERSON RANDALL: Okay. Any questions of  
7 staff? If not, the applicant is here and would like to come  
8 forward.

9 If you could identify yourself for the record  
10 please.

11 MR. PODHORSER: Sure. I'm Michael Podhorser and  
12 the owner of 703 Westmoreland, and basically we feel that  
13 moving the stairs to the front, so it opens to the front,  
14 would make it much more open and friendly to the street scape  
15 structure, and would also be consistent with other changes  
16 that have been made along the way in terms of the driveways  
17 so that it isn't landing right in the driveway.

18 As the staff report said, I think if you look down  
19 Westmoreland from the top of the hill, it would make it both  
20 more consistent with a lot of the other houses and would  
21 allow us to make it much -- look much nicer.

22 CHAIRPERSON RANDALL: Okay. Any Commissioners?  
23 Commissioner Harris.

24 MS. HARRIS: This case is somewhat similar at  
25 least in concept, and in some ways to one of the other

2A

1 historic area work permits that we looked at tonight because  
2 it's an alteration to the first floor front of the house.

3 That is sort of the end of where the similarity is  
4 though, however, because it's a different street, different  
5 type of house, and the previous case that we were looking at  
6 was some alterations to a house that had already been  
7 altered.

8 And in this case, we are looking at a situation  
9 where the applicant is asking to make alterations and  
10 eliminate an element that is original to the house.

11 I'm not, however, arguing that that handrail is  
12 original. I'm sure it was probably added. What the original  
13 handrails were on bungalow houses seems to be a bit of a  
14 mystery to me.

15 Most of them have all been replaced with  
16 something, a lot of times with something that's not quite  
17 compatible. And certainly a new handrail could possibly be  
18 in order for what is there.

19 But anyway, to make the main point is that I at  
20 least personally have problems with making an alteration of  
21 this sort because what we're looking at, at least to my  
22 knowledge at this point, is an original condition and it does  
23 match the twin of the house to the left. You would be making  
24 alterations to original fabric.

25 CHAIRPERSON RANDALL: Commissioner Kousoulas I see

25

1 you.

2 MR. KOUSOULAS: Yeah. I couldn't support a change  
3 like this either. This for me, and may have for other  
4 people, the other one could cross the line, but this one for  
5 me certainly crosses that line of changing the front facade  
6 too much.

7 And maybe all the other bungalows on the street  
8 except the next door neighbor have front stairs, but this one  
9 doesn't. And, so there's no real reason to change it.

10 I mean, it really changes that facade if you  
11 change the orientation of the stair.

12 CHAIRPERSON RANDALL: Commissioner Lanigan.

13 MS. LANIGAN: I think one of the important ideas  
14 behind having an historic district is to preserve the unique  
15 features of the district. And this is certainly a unique  
16 feature in a prominent location. It's in the front of the  
17 house. It's very noticeable.

18 MR. BRENNEMAN: I would have to agree with the  
19 Commissioners before.

20 MR. HANDLER: I agree also.

21 CHAIRPERSON RANDALL: Commissioner Norkin.

22 MR. NORKIN: This is a case where I also agree. I  
23 think there's a reason that this one was different, and I'm  
24 aware that other bungalows, even on that street, have front  
25 facing steps. They tend to be on the other side of the

209

1 street and are more at grade.

2 In this case the -- I'm also concerned, you know,  
3 just by the way that this is drawn, yet it is not accurate to  
4 the way it might actually have to be built.

5 It seems that the steps end up having to chase --  
6 the steps are going to have chase the slope down away from  
7 the house. It's possible. I'm sure that these measurements  
8 are close to accurate, but I think that the staircase could  
9 conceivably end up being very long.

10 And I don't necessarily see what the compelling  
11 reason is. Even looking at the landscape plan, I'm not clear  
12 what you're gaining by this, or attempting to gain by this.

13 CHAIRPERSON RANDALL: Well let's pretty much  
14 through the Commissioners. The only proposed railing change  
15 I gather, was in the event of moving the stairs. Is that  
16 correct?

17 MR. PODHORSER: That's right.

18 CHAIRPERSON RANDALL: Okay, so there was -- that's  
19 ancillary and only -- it's contingent upon that action, so  
20 that doesn't probably need to be explored?

21 I think, and I agree with the other Commissioners  
22 in terms of, of something that only is apparently replicated  
23 in one other structure, but suggests variety and difference  
24 from the other homes within the district, and for all intents  
25 and purposes, indicates to us that it's the original

1 structure there.

2 I don't see any alternative that I could propose  
3 to you. I think that there's pretty strong sentiment from  
4 the Commission against making that kind of a change to the  
5 front facade.

6 Sometimes we can offer up or have some views on  
7 something that can be not necessarily a compromise, but a  
8 different approach that would meet those concerns, but I  
9 haven't a clue what that could possibly be in a case like  
10 this.

11 What you're proposing to do is fairly  
12 straightforward and it, I think runs pretty directly into one  
13 of the philosophies that we do. If you sat here earlier, you  
14 probably heard the dialogue on the other case with the door  
15 and the window.

16 Any other observations from the Commission, or any  
17 other statement you would offer?

18 MR. PODHORSER: Well, just to repeat what I said,  
19 I think that, you know, our motivation is that we think it  
20 will -- it's consistent with the rest of the neighborhood and  
21 it would improve greatly the way in which the house looks and  
22 can be used.

23 CHAIRPERSON RANDALL: Okay, I think all those  
24 points were registered. It's my sense that the Commission is  
25 likely to, based upon what appears to be unanimous, which is



1 rare around here, to not look favorably upon a historic area  
2 work permit, but at the same token, if you were to proceed  
3 within a historic area work permit, we will listen to that  
4 again.

5 We don't have anything in a preliminary  
6 consultation to suggest that what -- that might be done  
7 differently to accomplish the same objective, so if you wish  
8 to proceed with an historic area work permit, then certainly  
9 we will entertain that along with whatever comments you might  
10 have to offer at that time.

11 I think at this point, it's the pretty unanimous  
12 sense of the Commission that that is not something that we  
13 would look favorably upon, or wouldn't expect to. There  
14 doesn't appear to be any alternative that we can toss at you,  
15 which often times we can in the preliminary consultation.

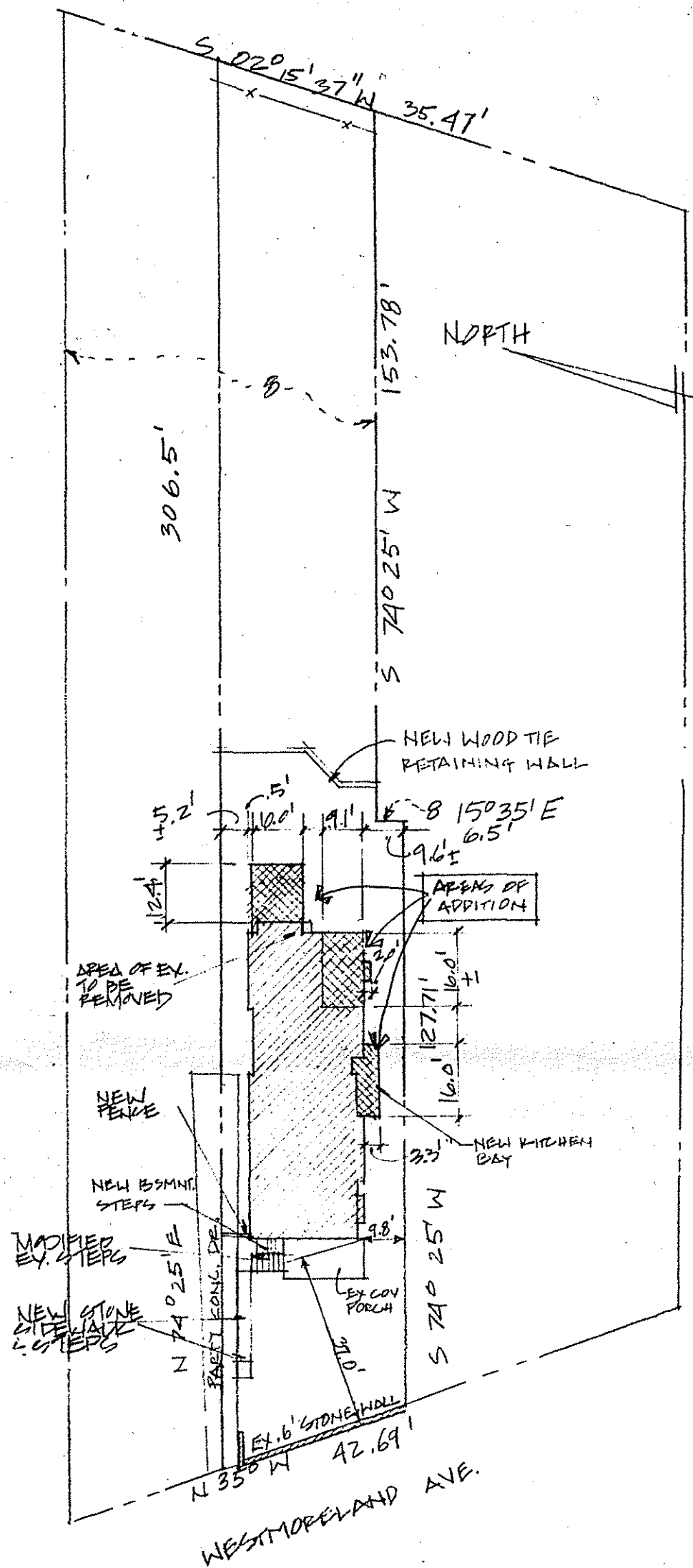
16 MR. PODHORSER: Okay.

17 CHAIRMAN RANDALL: Thank you, and I'm sorry for  
18 keeping you so late this evening.

19 Okay, the next item is Case 4C, preliminary  
20 consultation. St. Mark's United Methodist Church in Boyds.  
21 Do we have a staff report on that?

22 MS. WITHERELL: Yes. Saint Mark's is a  
23 significant contributing structure in the Boyds Historic  
24 District, celebrating its centennial and, remarkably it's a  
25 building that's been little, if any, altered over its hundred

(2)



NOTE: NOT IN FLOOD PLAIN AS PER: 2ADD49-02000

SURVEY FROM: LIGHT, ELLIOTT & ASSOC., INC., SURVEYORS  
 7003 WESTMORELAND AVE.  
 PART OF LOTS 849 BLOCK F  
 PLAT BOOK: A PLAT NO.: 49  
 CASE NO. 430701 FILE NO. MSH 537A  
 SCALE: 1" = 30'

• WHEATON ELECTION DISTRICT  
 • MONTGOMERY COUNTY  
 • DE GILBERT'S ADDN TO TAKOMA PARK

**GENERAL NOTES**

CONSTRUCTION/CONTRACT DOCUMENTS INCLUDE:  
 DRAWINGS, PGS  
 SPECIFICATIONS, PGS

DATED  
 DATED

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9. DESIGN LOADS: ASSUMED SOIL BEARING REQUIRED SOIL BEARING

**ABBREVIATIONS**

APF	ABOVE FINISHED FLOOR	HT	HRIGHT	SB	SPLASH BLOCK
APPR	APPROXIMATE	INSUL	INSULATE/INSULATION	STL	STEEL
BLDG	BUILDING	JST	JOIST	SUBFLR	SUBFLOOR
BO	BOLT	JT	JOINT	T&G	TONGUE AND GROOVE
CLG	CEILING	MAX	MAXIMUM	TBS	TO BE SELECTED
CLR	CLEAR	MIN	MINIMUM	TYP	TYPICAL
CMU	CONCRETE MASONRY UNIT	MR	MOISTURE RESISTANT	VB	VAPOR BARRIER
CONC	CONCRETE	MTL	METAL	VIF	VERIFY IN FIELD
CRS	COURSE(S)	PERF	PERFORATED	WD	WOOD
DIM	DIMENSION	EL	PLATE	GPW	GYPSON DRYWALL
DISCH	DISCHARGE	PLYWD	PLYWOOD	PT	PRESSURE-TREATED
DS	DOWNSPOUT	PNT	PAINT/PAINTED	FTG	FOOTING
DT	DRAIN TILE	POLY	POLYETHYLENE	BQ	EQUAL
EXP	EXPANSION	RWL	RAIN WATER LEADER	PTH	PATCH TO MATCH
EX	EXISTING	FONDN	FOUNDATION		
FF	FINISH FLOOR	FG	FIBERGLASS		
FIN	FINISH	FLR	FLOOR		
FOF	FACE OF FRAMING	FOM	FACE OF MASONRY		
WP	WATERPROOF(ING)	SFS	SOLDERED FLAT SEAM		

**NORMAN SMITH | ARCHITECTURE**  
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 Telephone 202.364.2248 Facsimile 202.364.2252

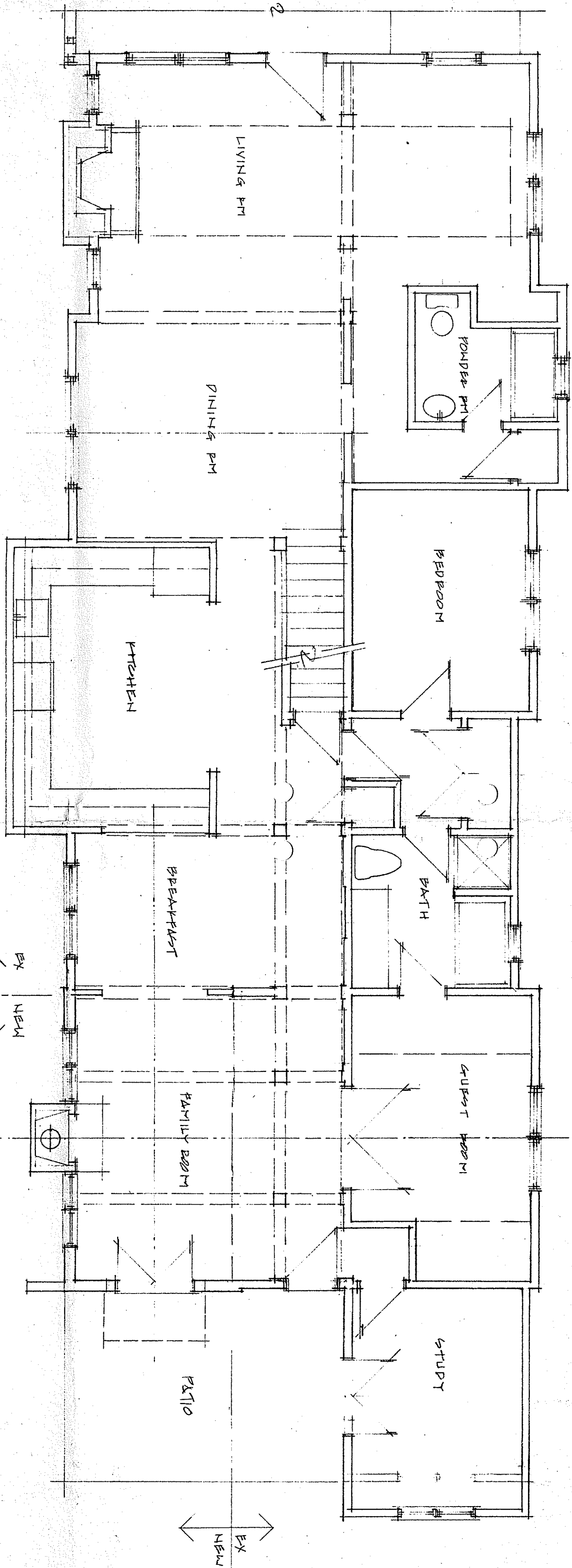
HALL PERMIT  
 03/14/94  
 HALL PERMIT  
 05/07/94

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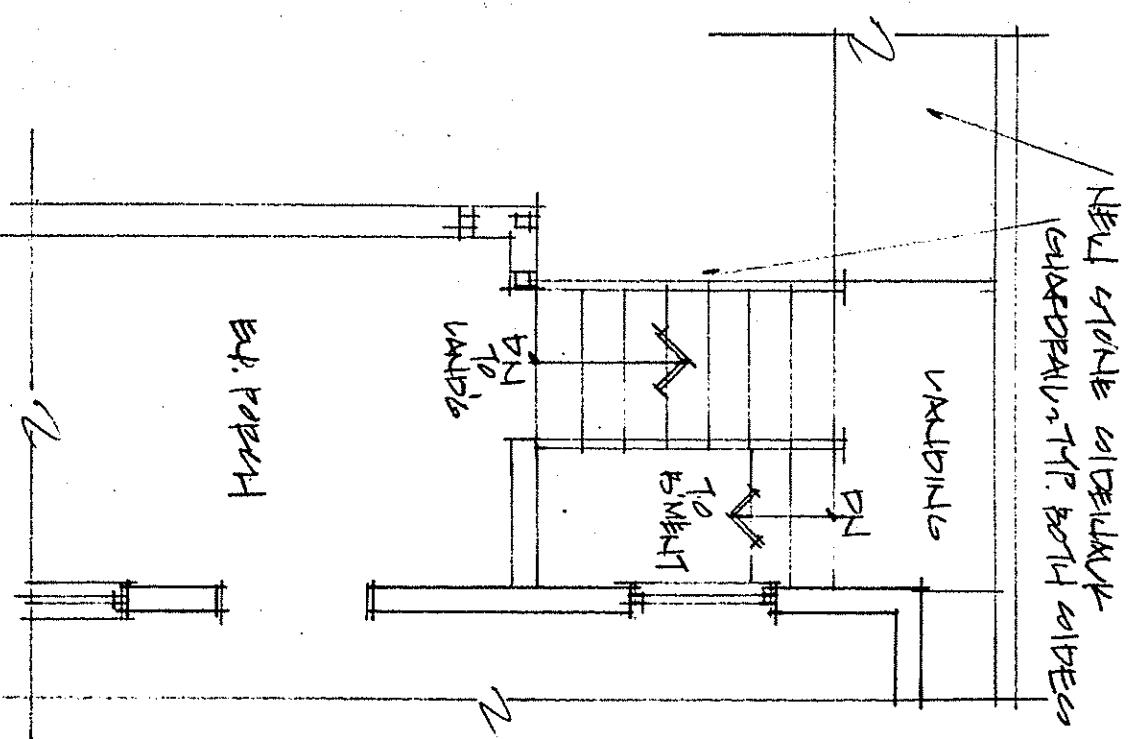
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1-AZ  
FIRST FLOOR PLAN

1/4" = 1'-0"



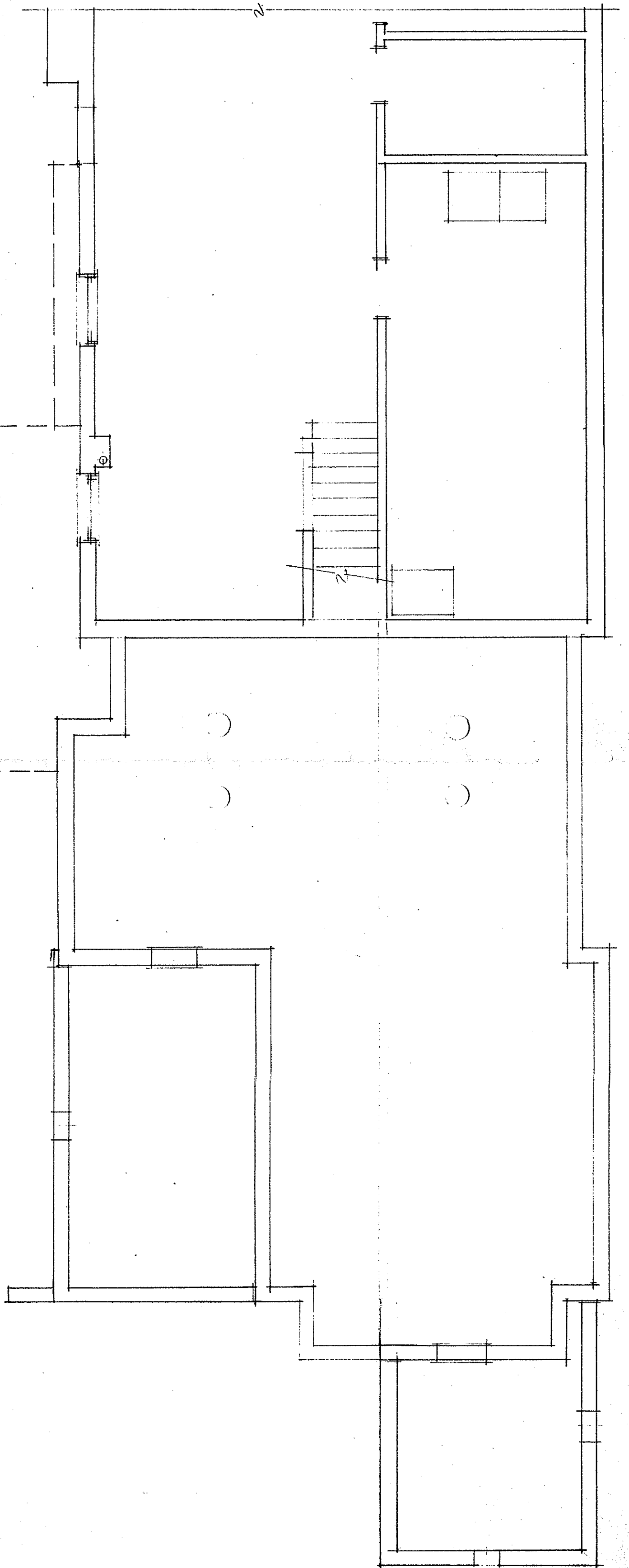
2  
FIRST FLOOR POORLY PLAN

1/4" = 1'-0"

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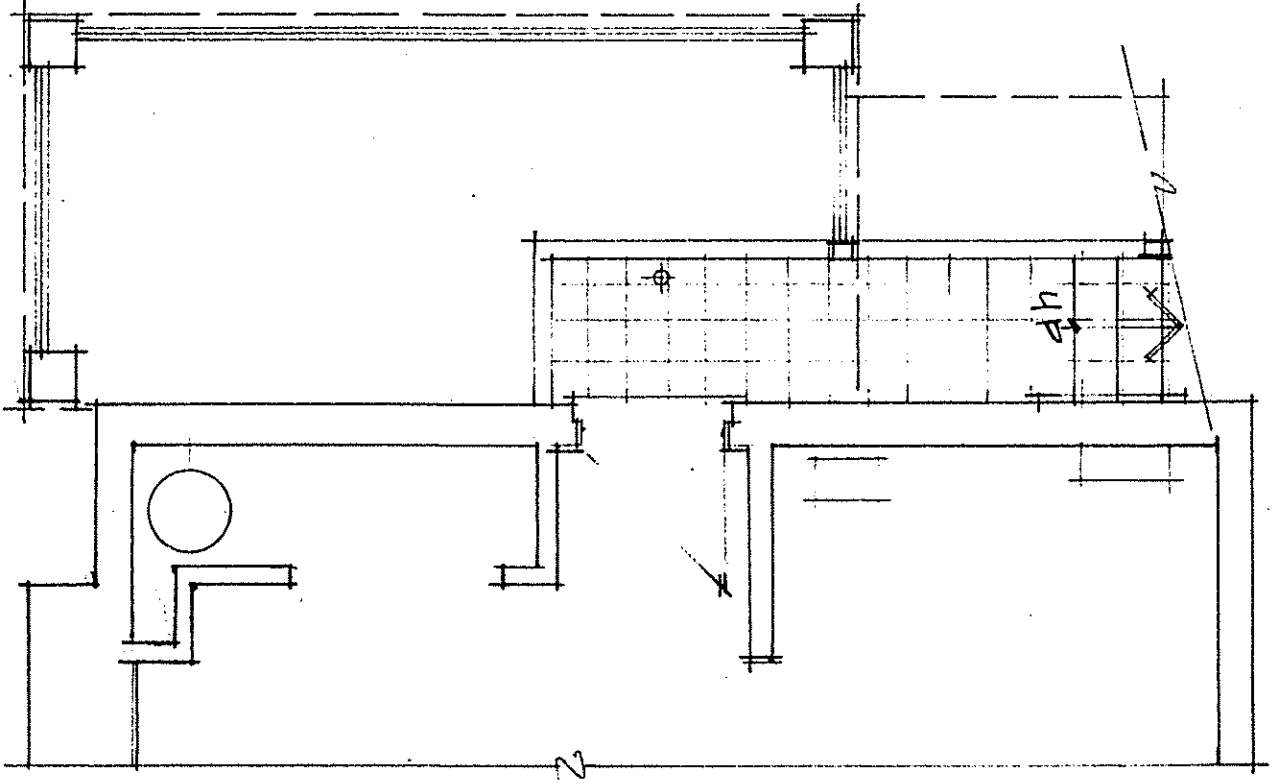
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Basement Plan

1/21/12



Basement Stair Plan

1/21/12

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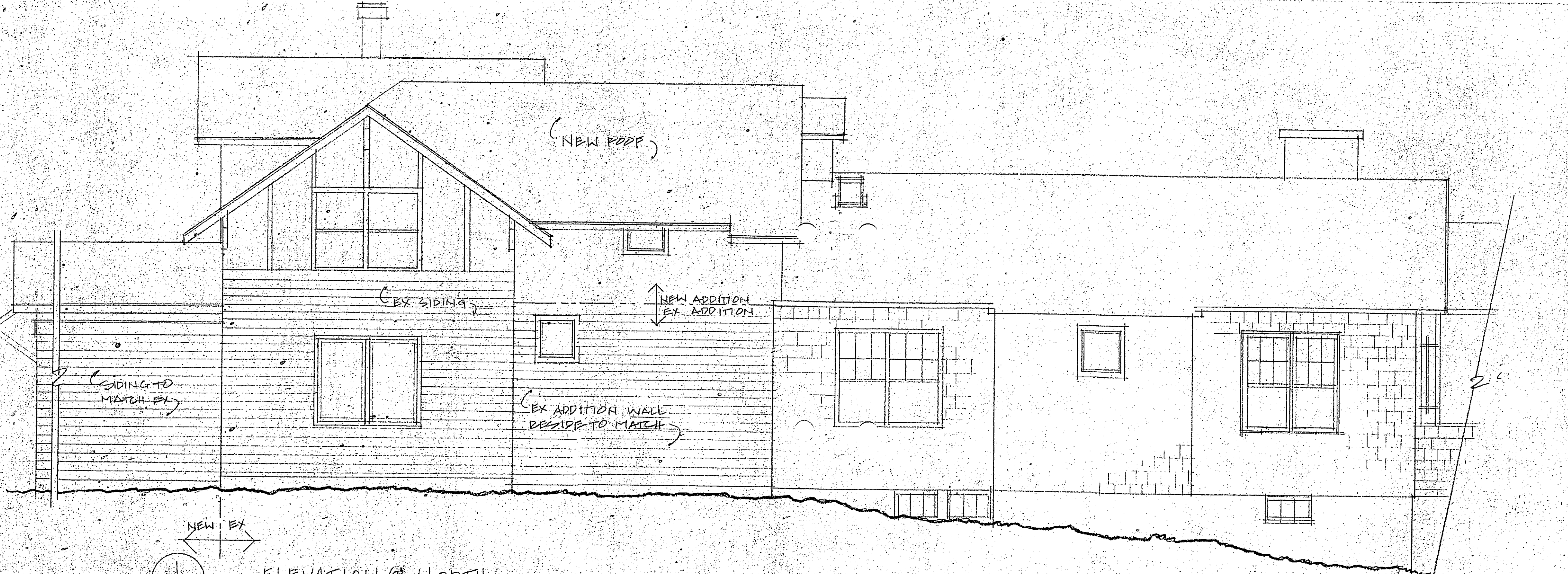
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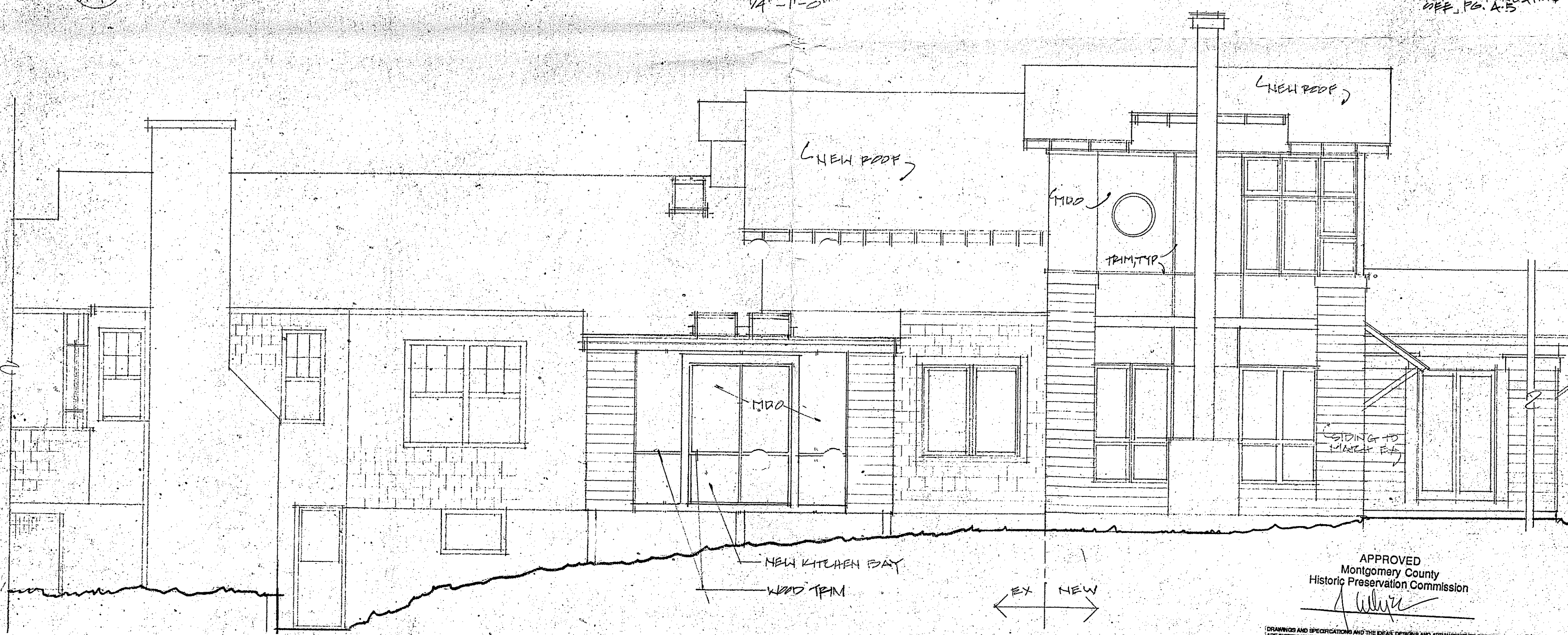




ELEVATION @ NORTH

1/4" = 1'-0"

FOR CONTINUATION  
SEE PG. A-5



ELEVATION @ SOUTH

1/4" = 1'-0"

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A  
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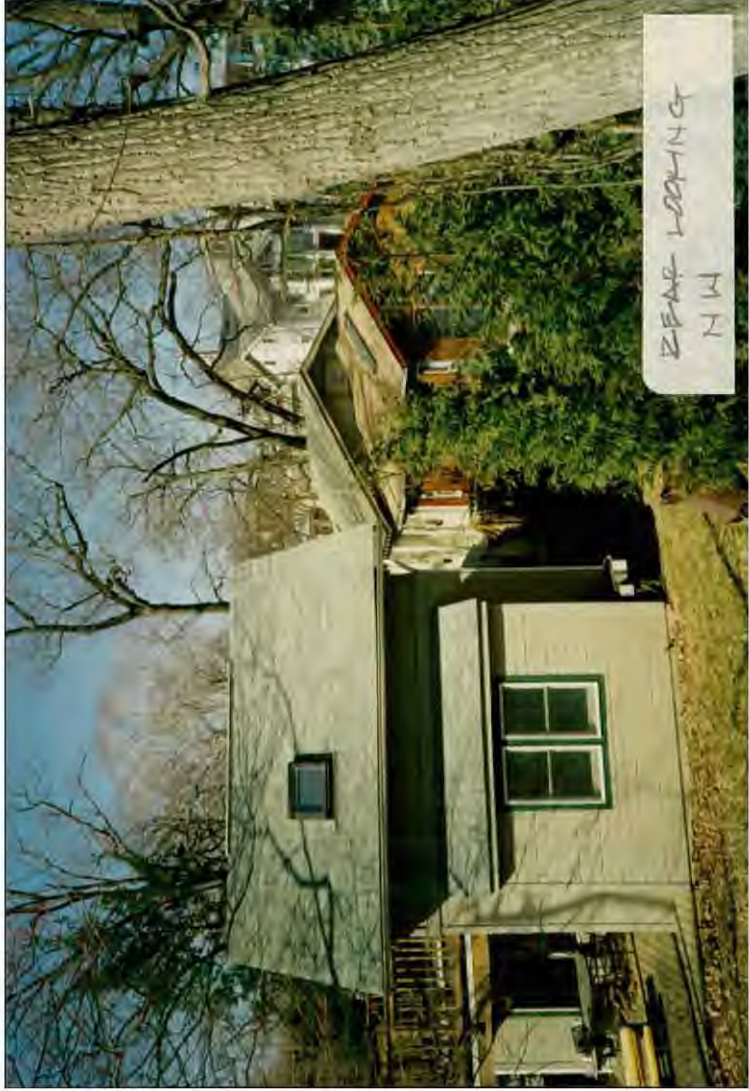
SIDE OF HOUSE  
FROM SW



NORTH SIDE  
FROM DRIVEWAY













MODEL SHOWING  
FROM & SOUTH SIDE