37/3-95B 7210 Willow Avenue

Takoma Park Historic District

7210 Willow Ave.

Takoma Park

- NORTH VIEW
EXTERIOR -

- NORTH VIEW
EXTERIOR -

- EAST WALL
INTERIOR -

- WEST VIEW -
EXTERIOR

WEST VIEW
EXTERIOR

- SOUTH VIEW
EXTERIOR -

- EAST | SOUTH WALLS
INTERIOR -

- WEST WALL | CEILING
INTERIOR -

- WEST / NORTH WALLS, CEILING -
INTERIOR

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 1/12/95

MEMORANDUM

TO: Robert Hubbard, Chief
Division of Development Services and Regulation
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

_____ Approved _____ Denied

X Approved with Conditions:

1) Wood siding 4" wide or less shall be used.
2) Cornerboards of About 4" wide shall be used
3) New wood surfaces shall be painted or stained with an opaque stain
4) All wood ⊥ windows shall be used.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: Janet Morgan

Address: 7210 Willow Avenue Takoma Park

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

Montgomery County Government

Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # 01068527

NAME OF PROPERTY OWNER JANET MORGAN TELEPHONE NO. 301-270-8579
(Contract/Purchaser) (Include Area Code)

ADDRESS 7210 WILLOW AVE. TAKOMA PARK MD. 20912
CITY STATE ZIP

CONTRACTOR CREATIONS IN BUILDING TELEPHONE NO. 301-949-4361

CONTRACTOR REGISTRATION NUMBER 25269

PLANS PREPARED BY CADVANTAGES TELEPHONE NO. 703-444-1648
(Include Area Code)

REGISTRATION NUMBER N/A

LOCATION OF BUILDING/PREMISE

House Number 7210 Street WILLOW AVE.

Town/City TAKOMA PARK Election District 13

Nearest Cross Street TULIP AVENUE

Lot 5 Block 9 Subdivision

Liber Folio Parcel

1A. TYPE OF PERMIT ACTION: (circle one)
(Construct) Extend/Add Alter/Renovate Repair
Wreck/Raze Move Install Revocable Revision

Circle One: A/C Slab (Room Addition)
Porch Deck Fireplace Shed Solar Woodburning Stove
Fence/Wall (complete Section 4) Other

1B. CONSTRUCTION COSTS ESTIMATE $ 20,000
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO
1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO
1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL
01 (X) WSSC 02 ( ) Septic
03 ( ) Other

2B. TYPE OF WATER SUPPLY
01 (X) WSSC 02 ( ) Well
03 ( ) Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT feet inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
1. On party line/Property line
2. Entirely on land of owner
3. On public right of way/easement (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

W. G. Devaney 12/6/94
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED X WITH CONDITIONS For Chairperson, Historic Preservation Commission

DISAPPROVED Signature [signature] Date 1/12/95

APPLICATION/PERMIT NO: 941206006 6 FILING FEE: $
DATE FILED: PERMIT FEE: $
DATE ISSUED: BALANCE $
OWNERSHIP CODE: RECEIPT NO: FEE WAIVED:

SEE REVERSE SIDE FOR INSTRUCTIONS

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7210 Willow Avenue	Meeting Date: 1/11/95
Resource: Takoma Park Historic District	Review:HAWP/Alteration
Case Number: 37/3-95B	Tax Credit: No
Public Notice: 12/28/94	Report Date: 1/4/95
Applicant: Janet Morgan	Staff: David Berg
PROPOSAL: Demolish existing garage and replace with new garage	RECOMMEND: **APPROVE with conditions**

BACKGROUND

RESOURCE: Takoma Park Historic District

DATE: ca. 1910

SIGNIFICANCE: Outstanding Resource

DESCRIPTION: The house is a 2 story Craftsman Style house. The subject garage is a 12′ 3" x 18′ 2" frame structure with asphalt roll roofing for siding.

PROPOSAL:

The proposal is for the demolition of the current rear garage and replacement with a new one story structure 12′ 3" wide and 28′ long. Materials to be used include 8" redwood lap siding, and asphalt shingle roofing. The applicant has stated that the windows shall match existing windows on the house, and the door will be wood.

STAFF DISCUSSION

The Takoma Park Guidelines for the review of Outstanding Resources state:

> plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks, and materials.
>
> preservation of original building materials and use of appropriate, compatible new materials is encouraged.

Staff has visited the site and found that the existing garage is in an advanced state of deterioration. **The existing structure is poorly constructed and does not exhibit the quality of construction, or of materials that characterize the applicant's house, which is an Outstanding Resource.** The garage is a simple 2x4 frame structure

are poorly built and in disrepair.

Staff finds the proposal to be generally consistent with preservation principles and limits its comments to the following:

1) Proposed siding:

Staff commends the applicant for the decision to use wood siding on the structure, but points out that 8" wood siding would not be compatible with the historic resource or with surrounding Craftsman Style resources. **Staff recommends the use of wood siding of 4" or less. The applicant should also employ cornerboards of about 4" in width.** This treatment would be similar to the garage at 7213 Willow Avenue which has siding somewhere between 2" and 3" wide with cornerboards of the same width.

The application does not make clear whether siding would be painted. Unpainted, natural siding is not consistent with the historicity of the resource. The siding would have to be painted or stained (opaque) to be consistent with the resource.

2) Proposed fenestration:

Staff feels that the use of wood windows to match the style of the existing windows of the house is acceptable. **Staff would recommend the use of either 1/1, 6/1 or 6/6 windows. All windows and doors should be of wood with true divided lights.**

STAFF RECOMMENDATION

Staff recommends that the Commission find the proposal consistent with the purposes of Chapter 24A-(b)1:

> The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district;

and with Standard 9:

> New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Subject to the following conditions:

1) The applicant shall use wood siding of 4" wide or less. Cornerboards of approximately 4" shall be used.

2) New wood surfaces shall be painted or stained with an opaque stain.

3) The applicant shall use either 1/1, 6/1 or 6/6 windows. All windows and doors shall be of wood with true divided lights.

and with the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

Montgomery County Government

Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and thet the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be e condition for the issuance of this permit.

M. S. Drummond 12/6/94

(4)

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

WOOD FRAME STRUCTURE, ASPHALT SHINGLE ROOFING, ROLLED ASPHALT EXTERIOR WALL COVERING, FIXED SINGE PANE WINDOWS, CONCRETE FLOOR, UNSAFE! SEE PHOTO'S!

C. 1910

b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

DEMOLITION OF EXISTING STRUCTURE

CONSTRUCT NEW WORK ROOM STRUCTURE, WITH LIKE MATERIALS OF PERIOD, HOUSE. RED WOOD LAP SIDING, ASPHALT SHINGLE ROOFING, WOOD FRAME STRUCTURE, WINDOWS TO MATCH HOUSE, SINGLE WOOD + GLASS EXTERIOR DOOR.

5

2. Statement of Project Intent:

Short, written statement that describes:

a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

TAKE DOWN EXISTING & REPLACE WITH SAME WIDTH, 10' LONGER TO REAR.
LANDSCAPING TO REMAIN AS IS.

b. the relationship of this design to the existing resource(s):

MATERIALS COMPATIBLE TO EXISTING HOUSE.
PERIOD, REDWOOD SIDING, ASPHALT SHINGLES.
PAINTED

c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

a. the scale, north arrow, and date;

b. dimensions and heights of all existing and proposed structures;

c. brief description and age of all structures (e.g., 2 story, frame house c.1900);

d. grading at no less than 5′ contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and

e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

6

5. Design Features: Schematic construction plans drawn to scale at 1/8" =1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.

6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.

8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.

9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

1. Name DANIEL P. & M. E. FROELICH

Address 3253 JONES RD.

City/Zip WOODBINE, MD. 21797

7205 WILLOW AVE. LOT 7 BLOCK 8

2. Name JAMES W & BJ RHODES ET AL

Address 7207 WILLOW AVE.

City/Zip TAKOMA PARK, MD. 20912

LOT 8 BLOCK 8

(7)

3. Name JUDITH C. APPELBAUM

Address 7209 WILLOW AVE.

City/Zip TAKOMA PARK, MD. 20912

LOT 9 BLOCK 8

4. Name MICHAEL C & S L PONESS

Address 7208 WILLOW AVE.

City/Zip TAKOMA PARK, MD. 20912

LOT 4 BLOCK 9

5. Name PETER ARON & HELEN SPENCER

Address 7212 WILLOW AVE.

City/Zip TAKOMA PARK, MD. 20912

LOT 6 BLOCK 9

6. Name VERONIQUE LAUOREL

Address 7207 MAPLE AVE.

City/Zip TAKOMA PARK, MD. 20912

LOT P18 BLOCK 3

7. Name DAN W. REICHER & CAROLE L. PARKER

Address 7209 MAPLE AVE.

City/Zip TAKOMA PARK, MD. 20912

LOT 19 BLOCK 3

8. Name ORIS V & V D JOSEY

Address 7211 MAPLE AVE.

City/Zip TAKOMA PARK, MD. 20912

1757E LOT 20 BLOCK 3

(8)

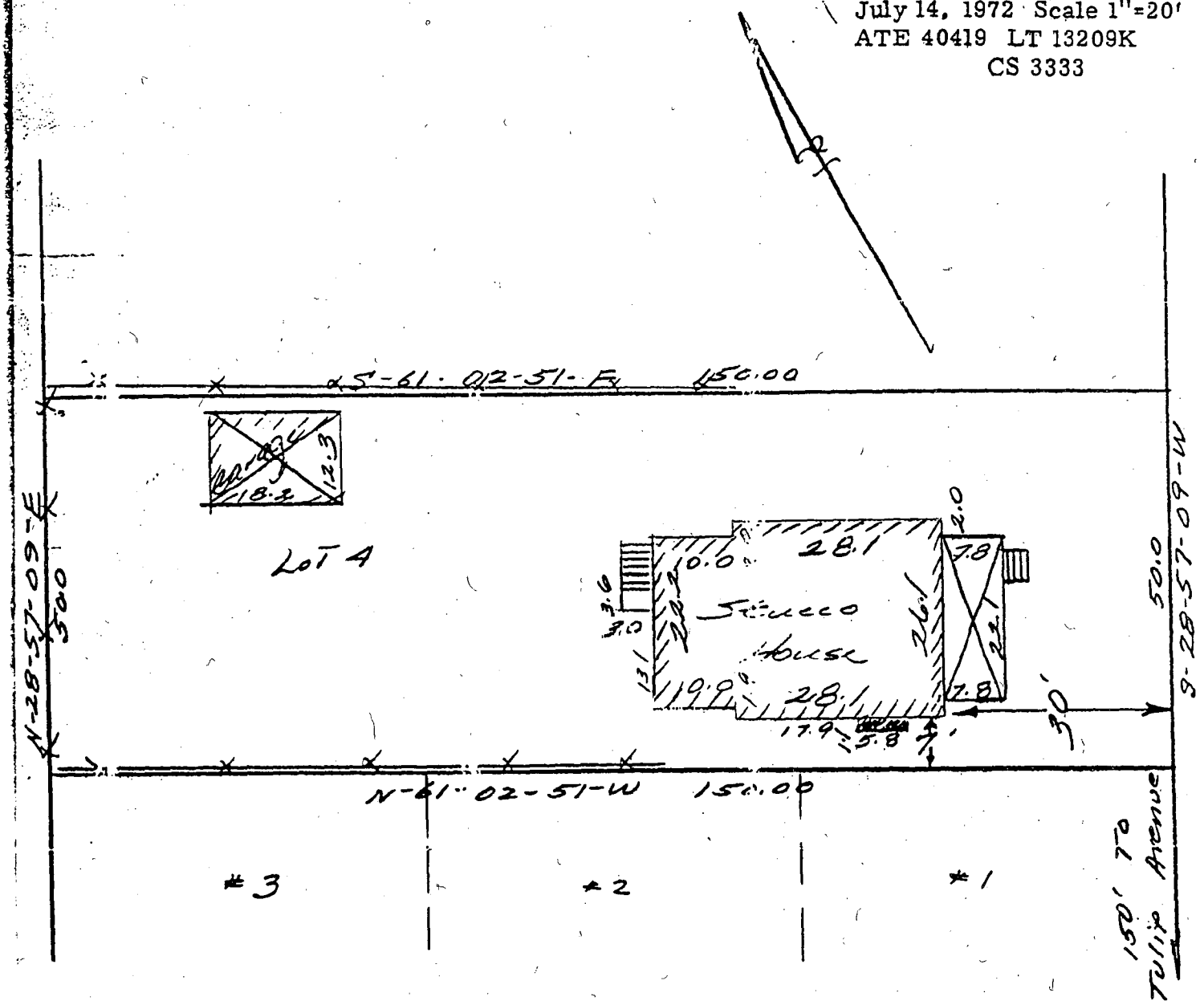
AMERICAN TOPOGRAPHIC ENGINEERS

40419

Surveyors & Topographers

BETHESDA, MARYLAND

PLAT OF SURVEY
7210 Willow Avenue
Lot 5 Block 9
Lipscomb & Earnest Trustee
Addition to Takoma Park
Plat Book 1 Plat 46
Montgomery Co. Maryland
July 14, 1972 Scale 1"=20'
ATE 40419 LT 13209K
CS 3333



I HEREBY CERTIFY THAT I HAVE CAREFULLY SURVEYED THE ABOVE PROPERTY BY TRANSIT-TAPE SURVEY. LOCATED IMPROVEMENTS THEREON, AND HAVE FOUND IT TO BE AS SHOWN ON THIS PLAT AND THAT THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN ON SAID PLAT.

MD. REG. NO. 1690 VA. REG. NO. 441 FRANK B. LANE, REGISTERED SURVEYOR Frank B Lane

(9)

MORGAN RENOVATION

REMODEL ITEMS:

1.) WORK ROOM

Client:	Notes:
JANET MORGAN 7210 WILLOW AVENUE TAKOMA PARK, MD (301) 270-8579	1.) All dimensions must be verified by the contractor before construction begins.
General Contractor:	**Prepared By:**
CREATIONS IN BUILDING 5300 HOLMES RUN PARKWAY #803 ALEXANDRIA, VIRGINIA 22304 (301) 949-4361	CADvantages 12403 Shallow Ford Court Herndon, Va. 22070 (703) 444-1648

REVISIONS		DRAWING DATA
DATE	DESCRIPTION	DWG: 133.DWG
12/01/94	ADDED ELECTRICAL PLAN	Plot Script: 133PLTA.SCR
		Rotation: 0
		Scale: 1/4" = 1'
		Views: VARIOUS
		Resolution: 300
		Date: 11/30/94

SHEET 1/11

PLAN SHEETS

SPECIFICATIONS

MECHANICAL	ELECTRICAL	PLUMBING
	BATHROOM FAN: 4" VENTED TO OUTSIDE	BATHROOM SINK: TOP & SINK COMBO: ONE PIECE CULTURED MARBLED. VANITY: VB24 MERILLAT 24"X21"X30" TOILET: KITCHEN SINK: 20" STAINLESS STEEL

FINISH SCHEDULE

1.) DOOR TRIM = CLAM SHELL
2.) WINDOW TRIM = CLAM SHELL
3.) ROOM BASE = CLAM SHELL
4.) FINISH FLOOR = 12"X12" VINYL TILE

WINDOW SCHEDULE

WINDOW	SIZE	DESCRIPTION
A	3'-0" x 4'-0"	ANDERSON (30310T)

DOOR SCHEDULE

DOOR	SIZE	DESCRIPTION
A	3'-0" X 6'-8"	LUAN HOLLOW CORE DOOR
B	8'-0" X 12'-0"	WOODFORD BRAND ACCORDIAN

CABINET SCHEDULE

CABINET	SIZE	DESCRIPTION
SEE SECTION SHEET		

LEGEND

BOUNDARY LINE
EXISTING CONDITIONS
PROPOSED CONSTRUCTION
INSULATION

A 1 2 DETAIL

A 1 2 SECTION

A WINDOW: SEE SCHEDULE

A ITEM: SEE SCHEDULE

A DOOR: SEE SCHEDULE

MECHANICAL

AIR CONDITIONER = AC
HEAT PUMP = HP
HEAT EXCHANGER = HE
THERMOSTAT = T

DUCT VENT =
SQUARE DUCT SIZE = 8"
ROUND DUCT SIZE = 8" ø
REDUCER = ▷

ELECTRICAL

EX ELECTRIC OUTLET 110 = E
NEW ELECTRIC OUTLET 110 = N
ELECTRIC OUTLET 220 =
GFI OUTLET = GFI
EX SINGLE POLE SWITCH = E$
NEW SINGLE POLE SWITCH = N$
EX 3 POLE SWITCH = E$3
NEW 3 POLE SWITCH = N$3
PULL CHAIN LIGHT = P
RECESSED LIGHT = R
TELEPHONE = T

EX WALL LIGHT = E W
EX CEILING LIGHT = E L
BREAKER BOX =
TRACK LIGHTING =
FAN SWITCH = SF
WHOLE HOUSE FAN = WHF
BASEBOARD HEATER = H
BATH EXHAUST FAN = BF
EXTERIOR LIGHT = EL

EX CEILING FAN = E CF
NEW CEILING FAN = N CF
EX CEILING LIGHT = E C
NEW CEILING LIGHT = N C
EX SMOKE DETECTOR = E S
NEW SMOKE DETECTOR = N S
NEW WALL AIR CONDTIONER = N AC
EX WALL AIR CONDTIONER = E AC
DIMMER SWITCH = SD
FLOURESCENT STRIP LIGHT = F

PLUMBING

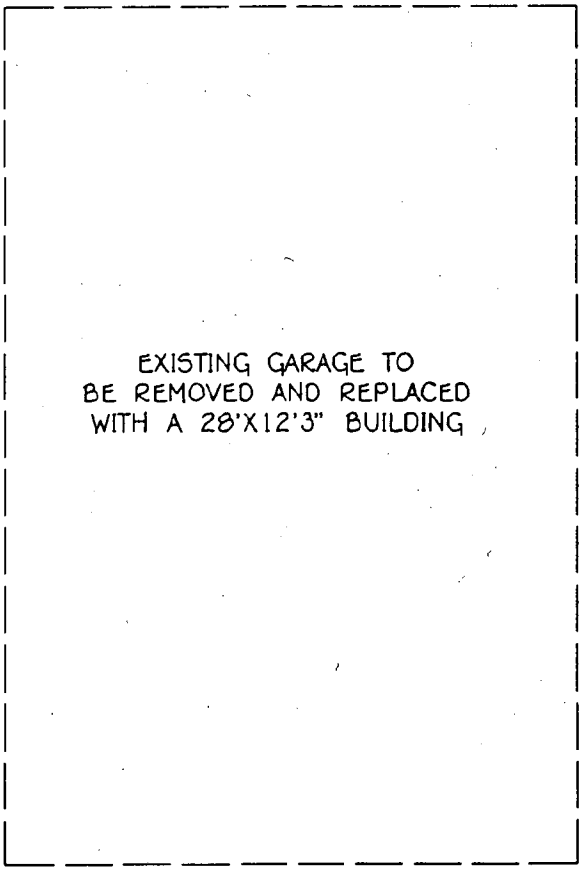
TOILET =

(4)(12)

EXISTING

SCALE 1/4" = 1'

PLAN VIEW

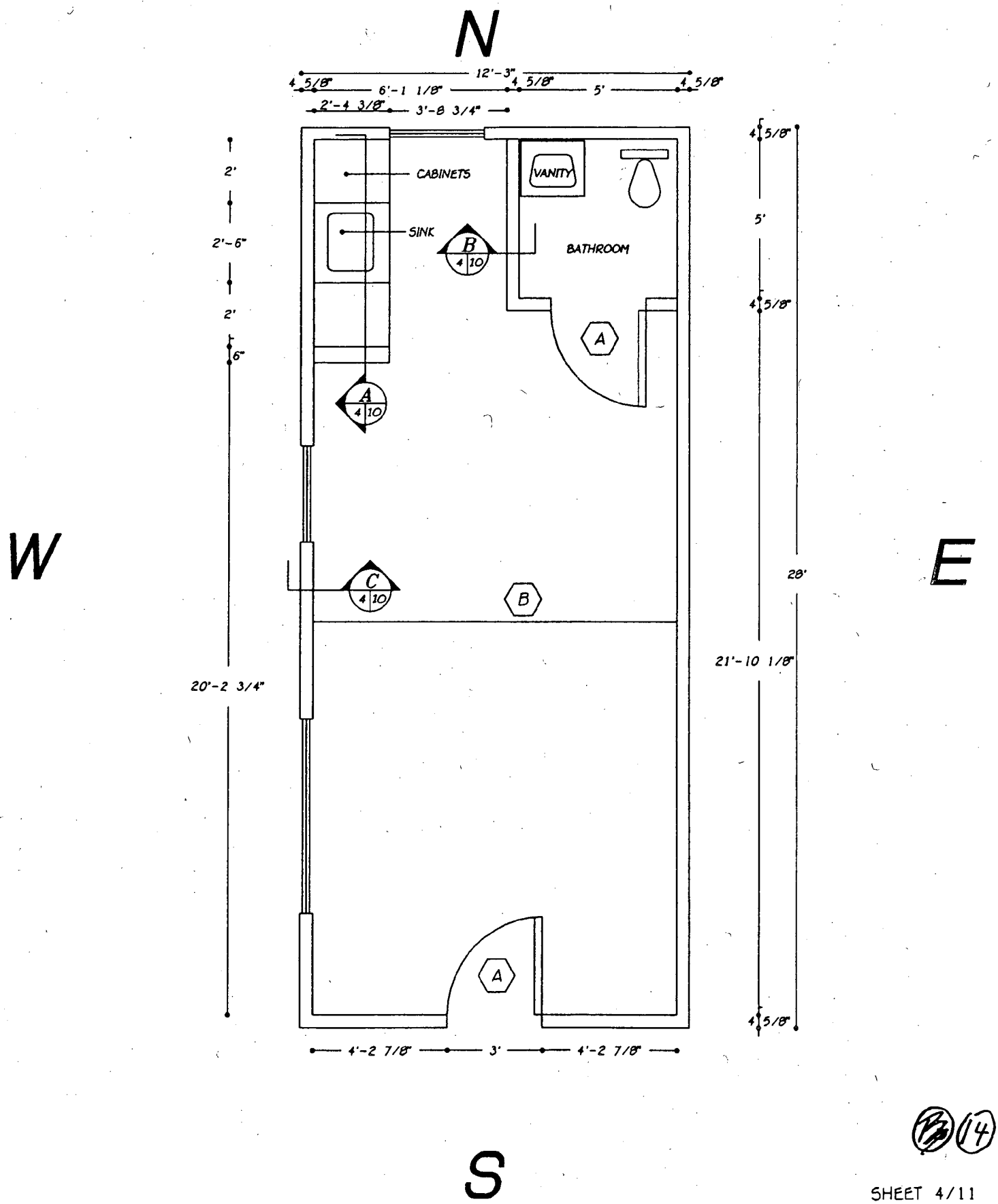


13

SHEET 3A/11

FIRST FLOOR PLAN
SCALE 1/4" = 1'

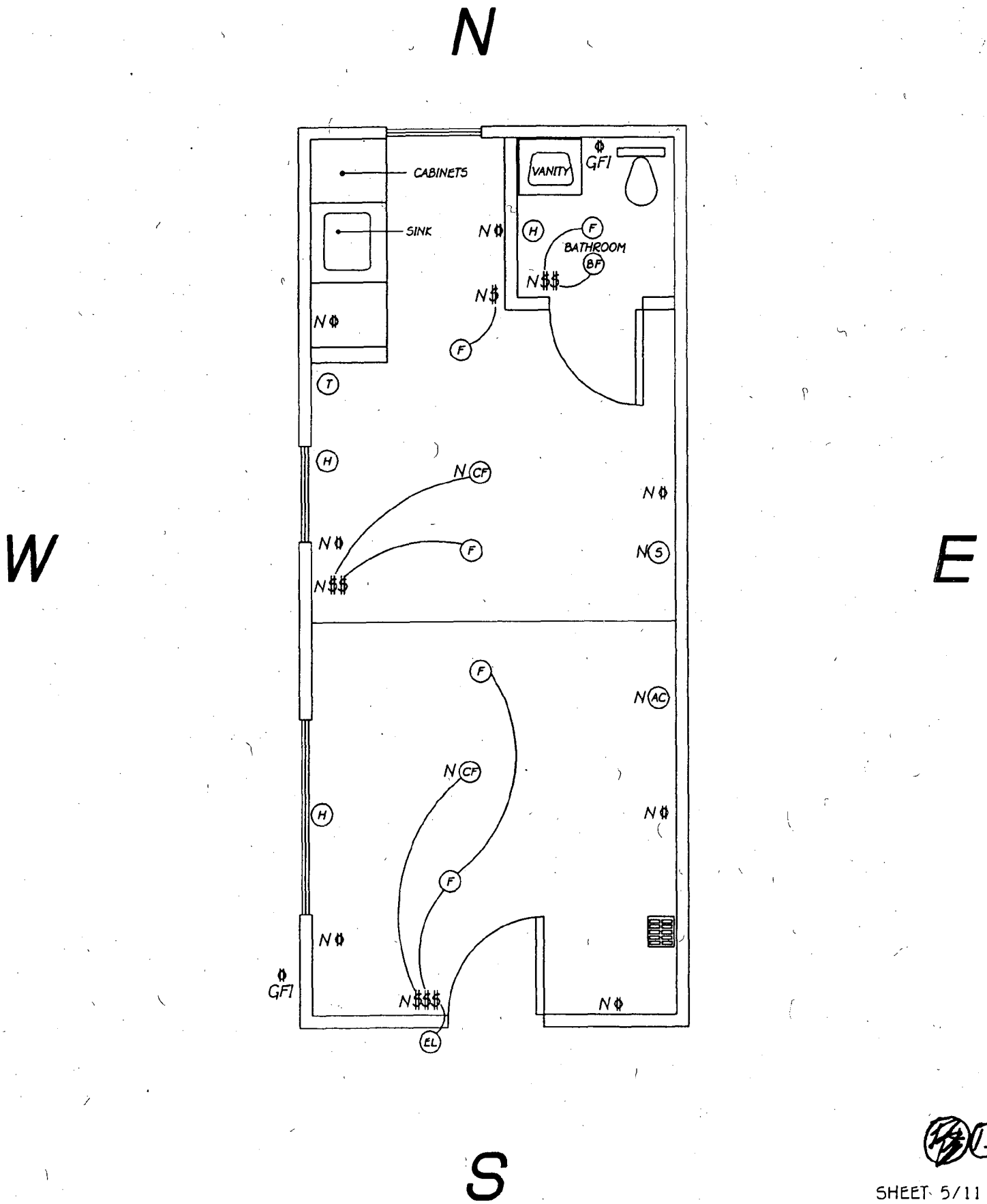
PLAN VIEW



(14)

FIRST FLOOR PLAN
SCALE 1/4" = 1'

ELECTRICAL PLAN



15

SHEET 5/11

FIRST FLOOR PLAN
SCALE 1/4" = 1'

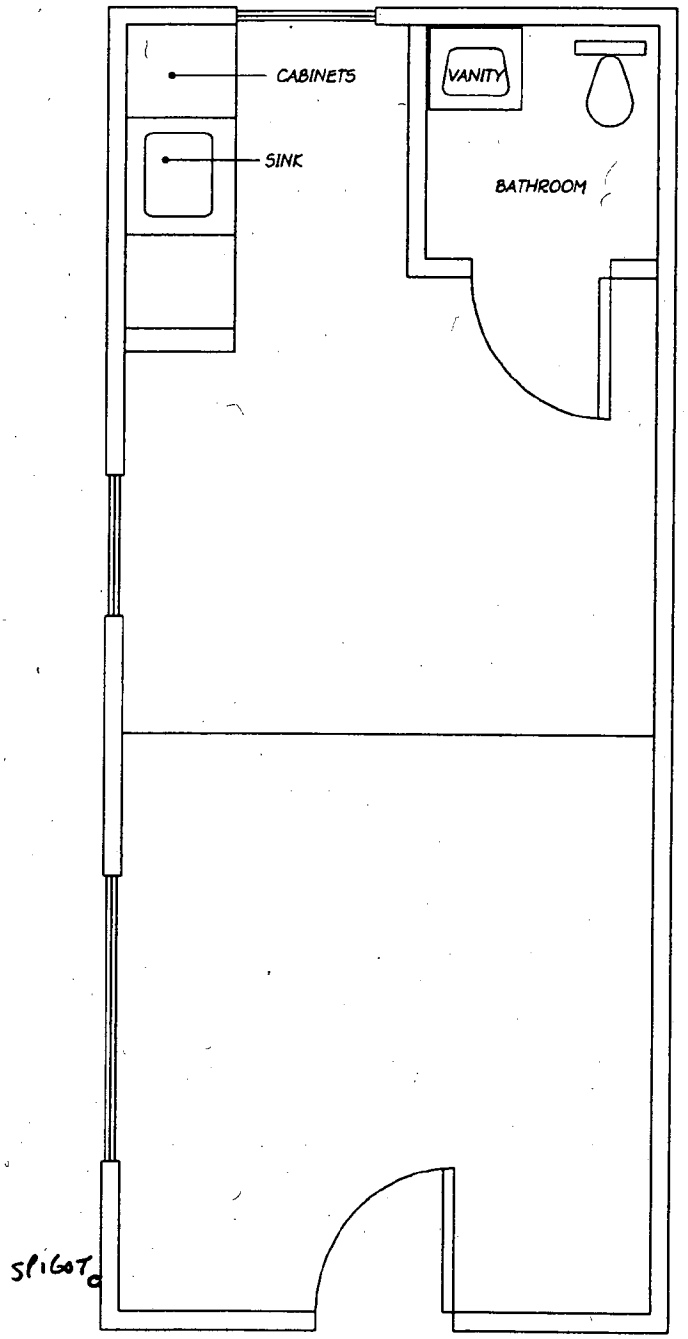
PLUMBING PLAN

SEE PLAN VIEW SHEET 4/11 FOR PLUMBING PLAN

N

W

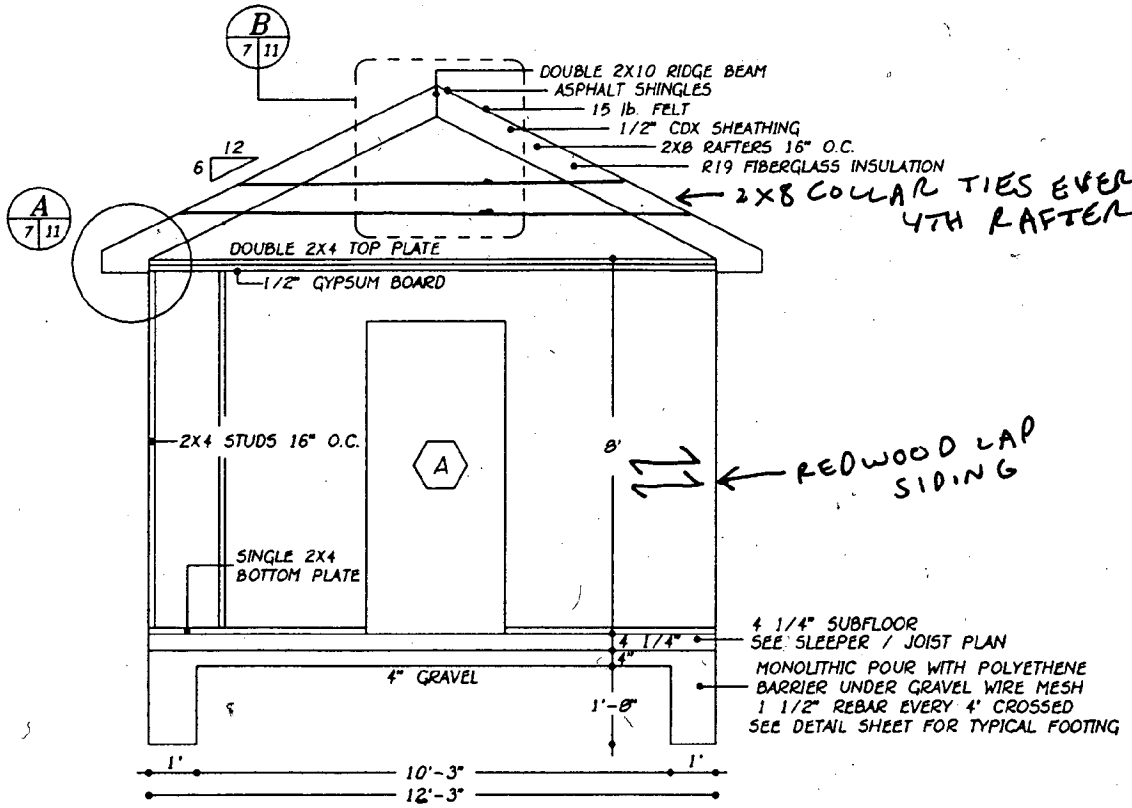
E



S

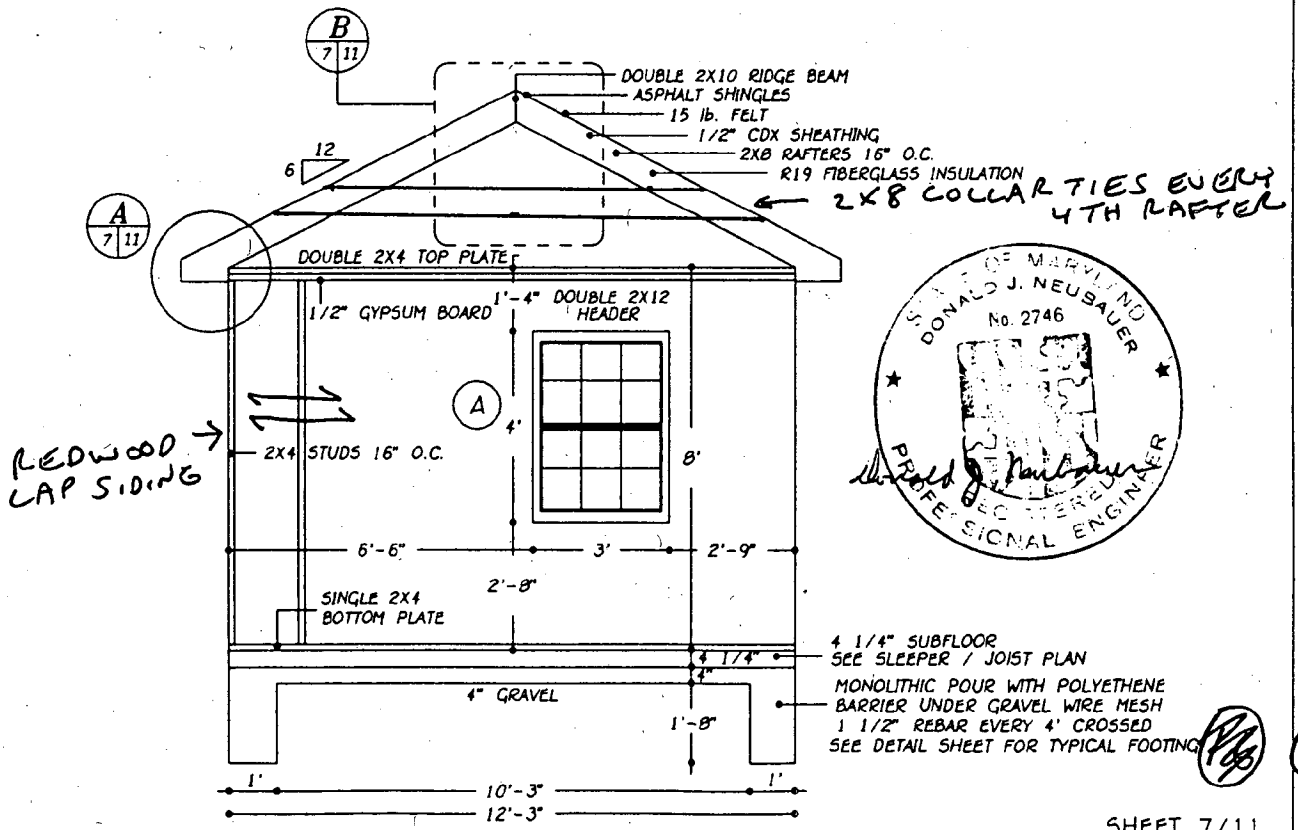
FIRST FLOOR SECTION
SCALE 1/4" = 1'

-SOUTH



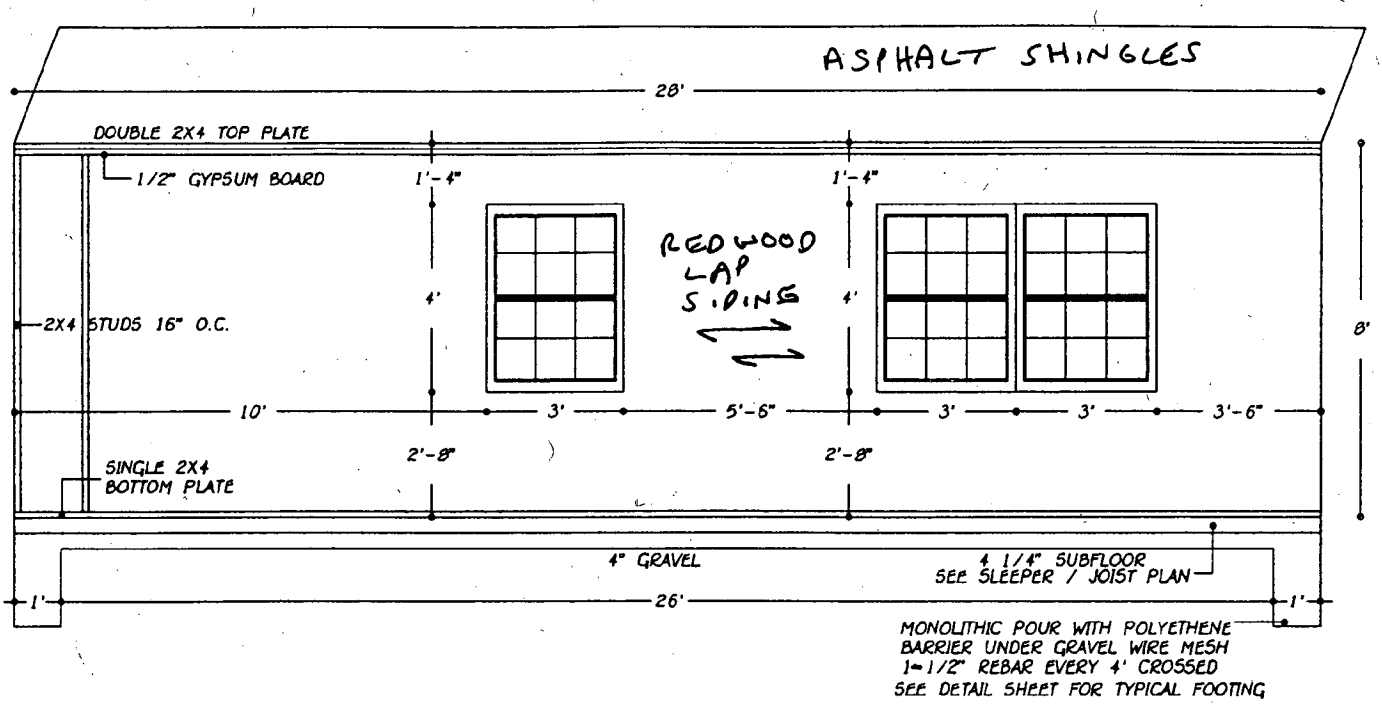
FIRST FLOOR SECTION
SCALE 1/4" = 1'

NORTH-



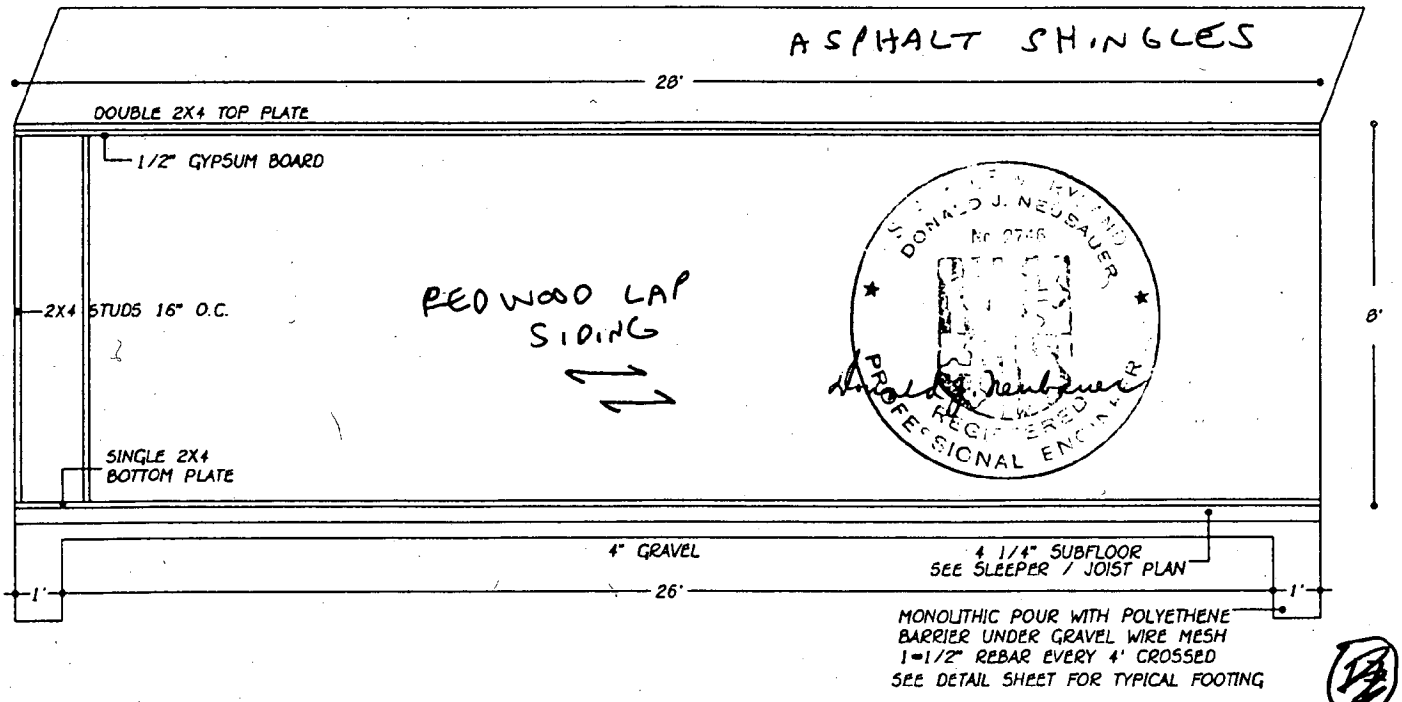
FIRST FLOOR SECTION
SCALE 1/4" = 1'

- WEST



FIRST FLOOR SECTION
SCALE 1/4" = 1'

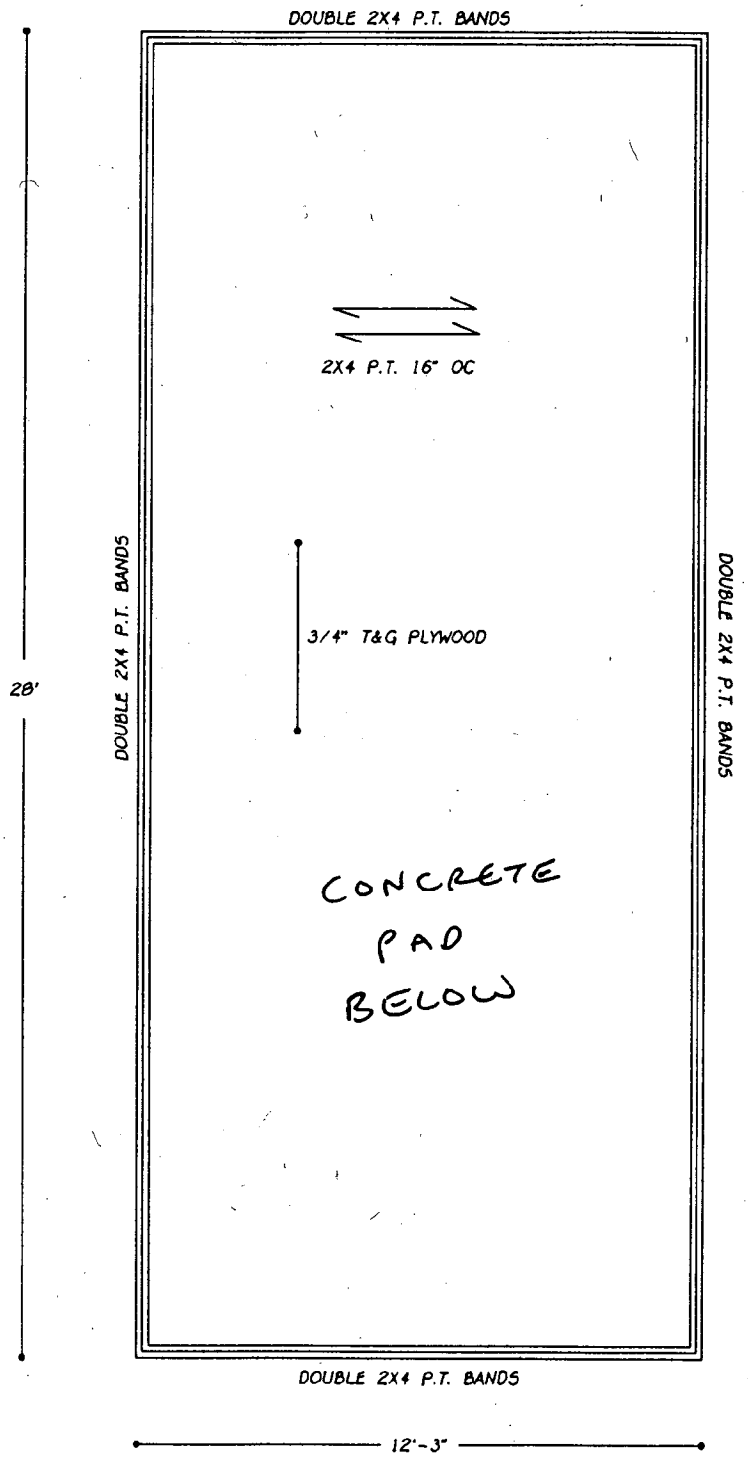
EAST -

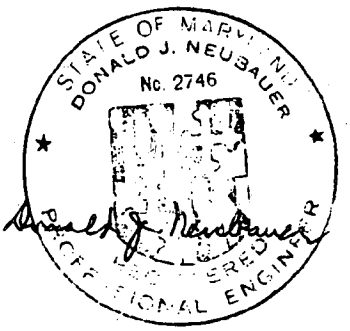


FIRST FLOOR PLAN
SCALE 1/4" = 1'

PLAN VIEW

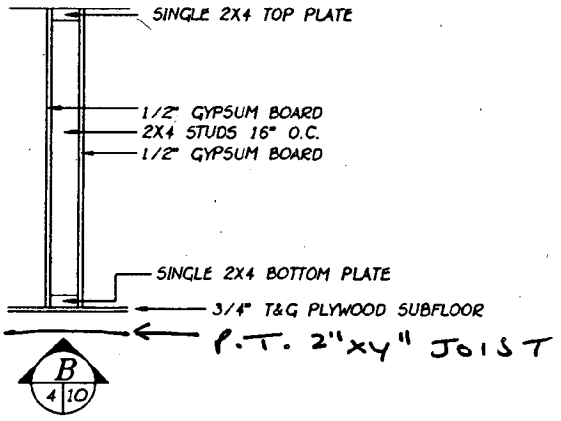
SLEEPER / JOIST PLAN





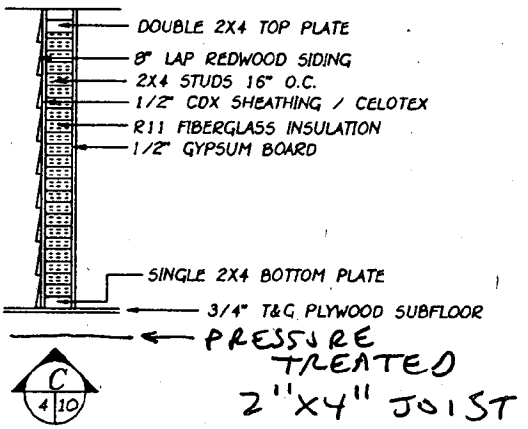
SECTIONS

TYPICAL INTERIOR
NON - BEARING
WALL



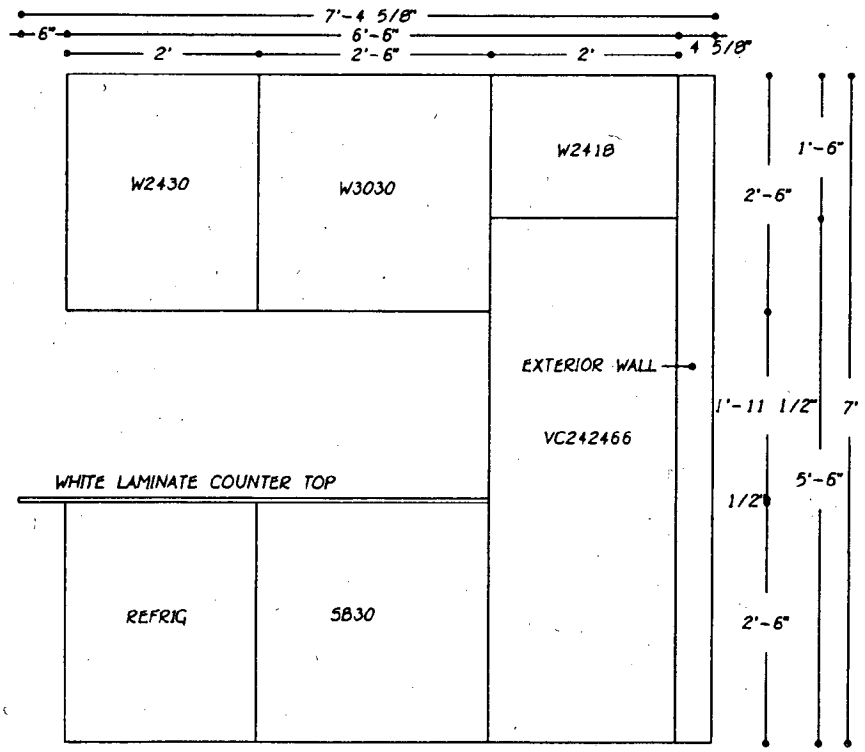
SCALE 1/2" = 1'

TYPICAL EXTERIOR
BEARING WALL
8" LAP REDWOOD SIDING

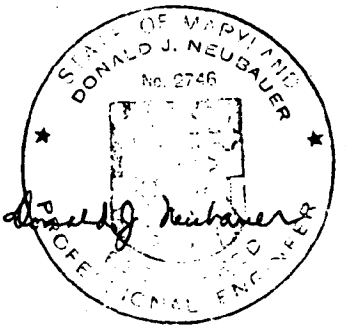


SCALE 1/2" = 1'

MERILLAT
CABINET SECTION

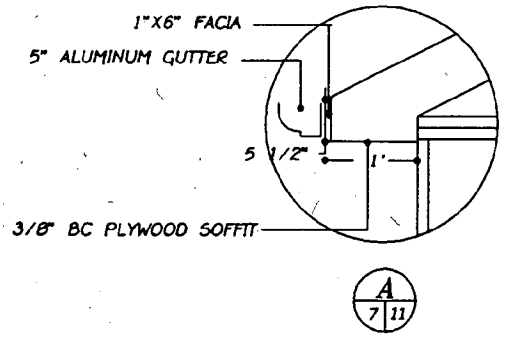


SCALE 1/4" = 1'



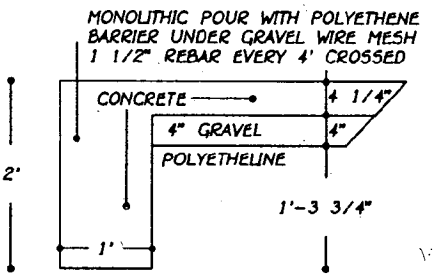
DETAILS

TYPICAL EAVE DIMENSIONS



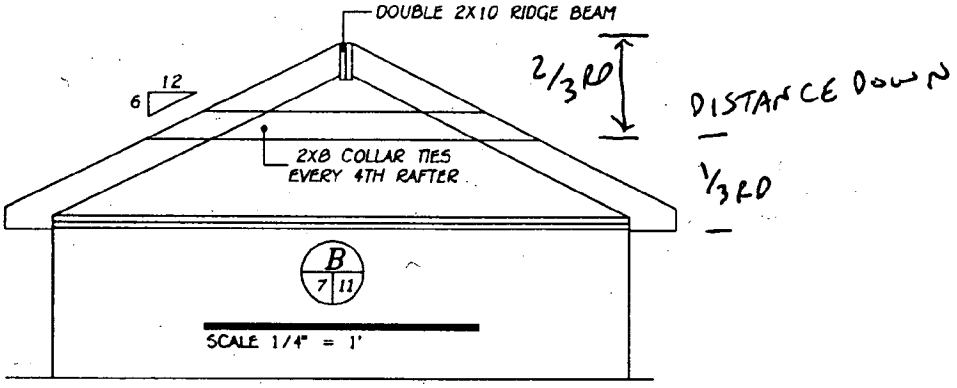
SCALE 1/2" = 1'

TYPICAL MONOLITHIC POUR

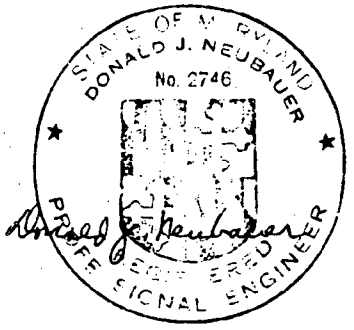


SCALE 1/2" = 1'

TYPICAL RIDGE BEAM AND COLLAR TIES



SCALE 1/4" = 1'

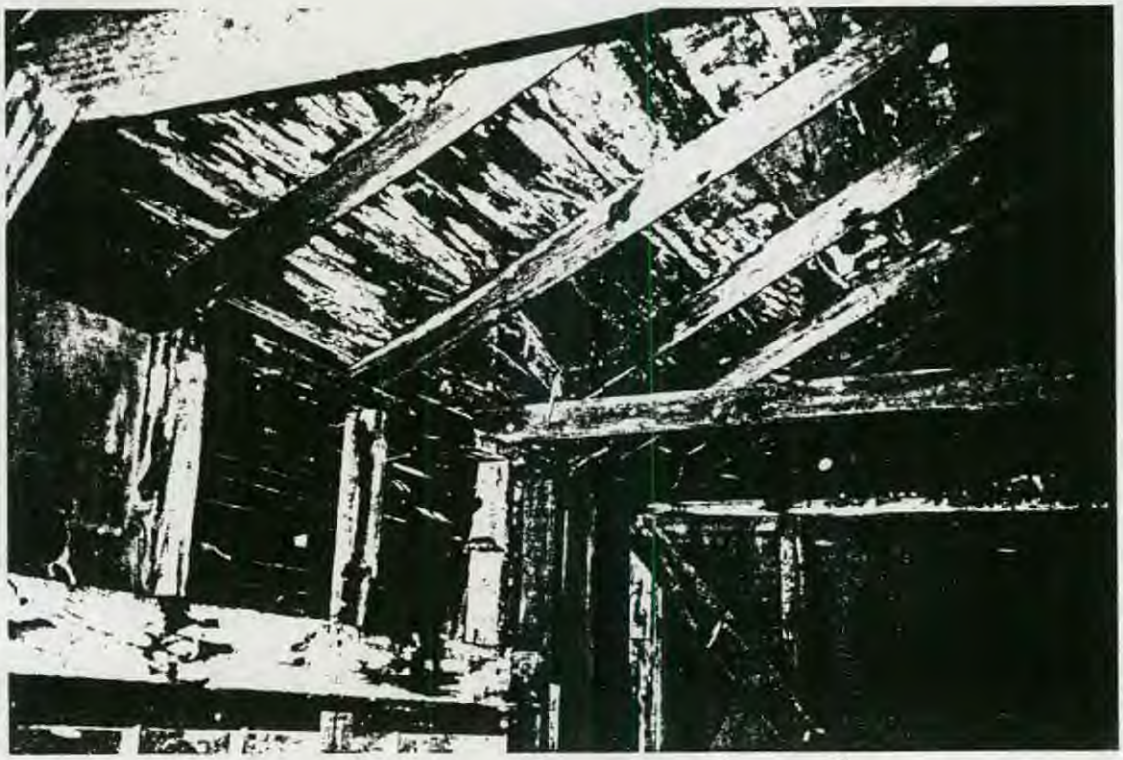


Detail: South Elevation Roof of Garage
(Left Side)

East Elevation (Front)

Detail, Interior

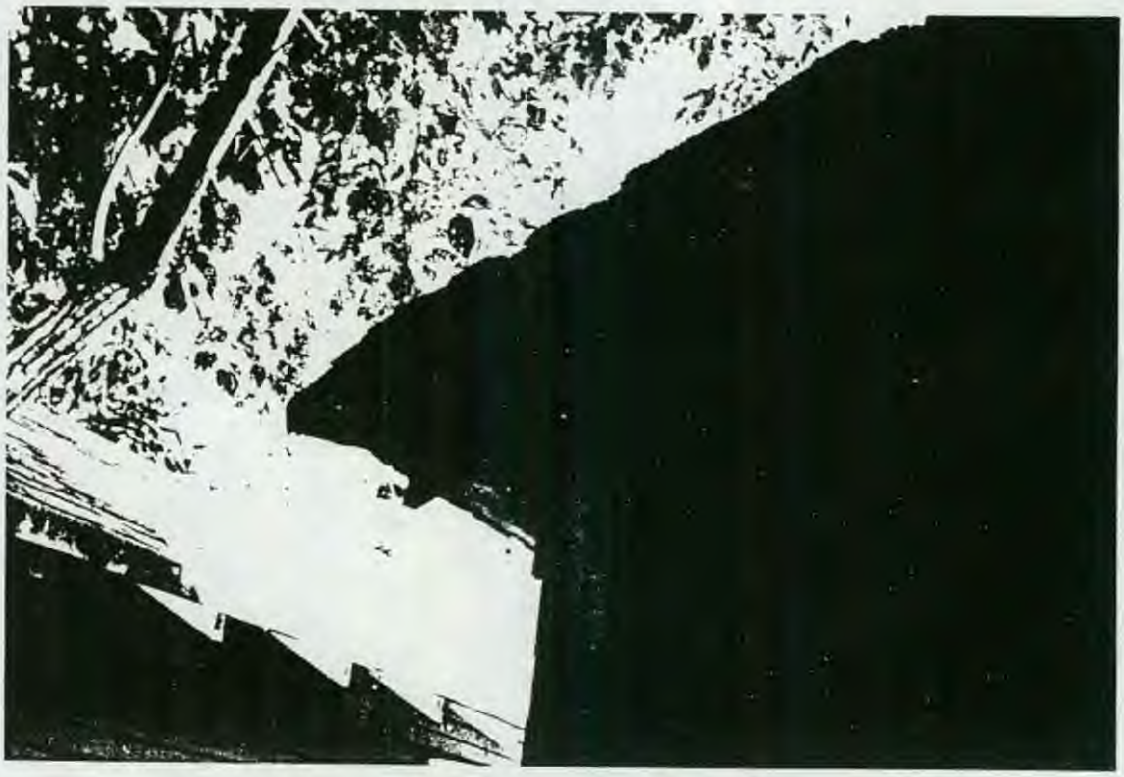
South Elevation



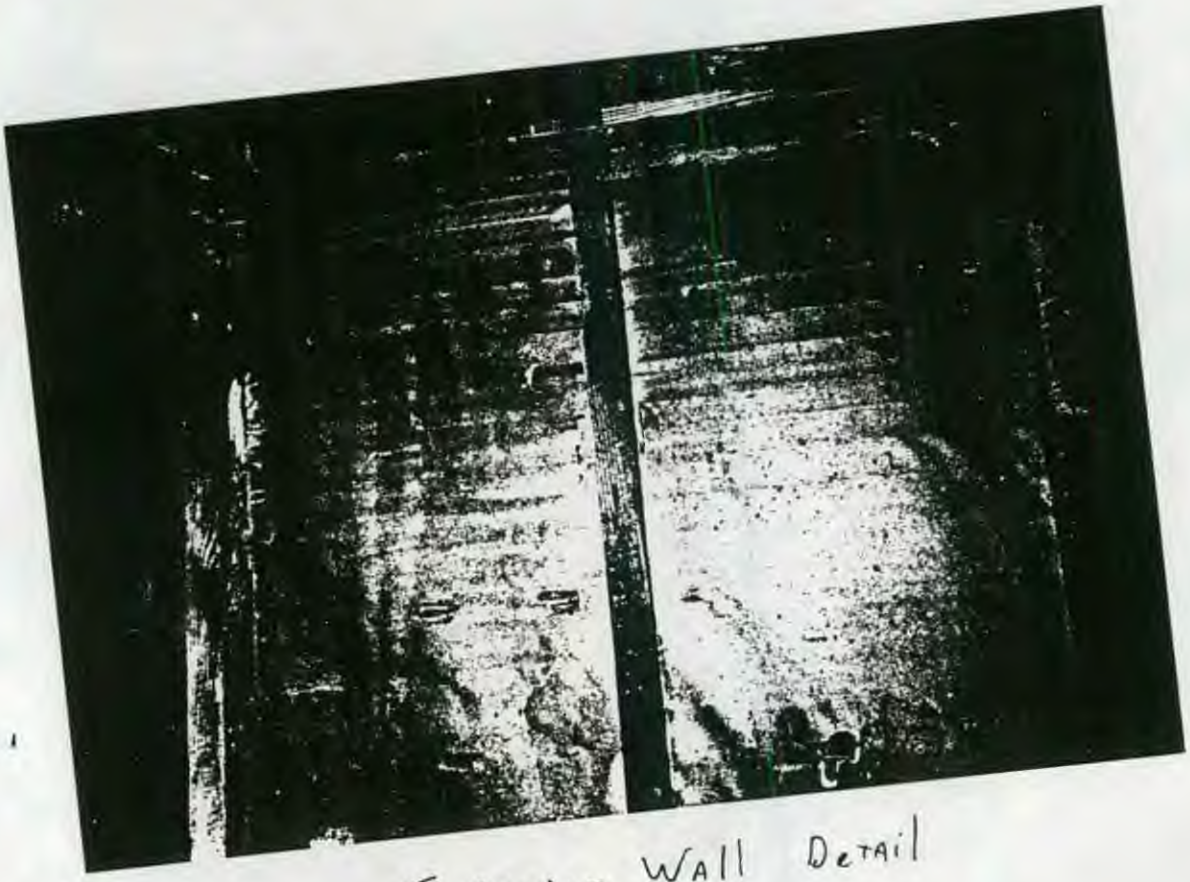
Interior Detail: Roof + Rafters

Detail, Interior South Elevation

West Elevation (Rear)



West Elevation (Rear)



Interior Wall Detail