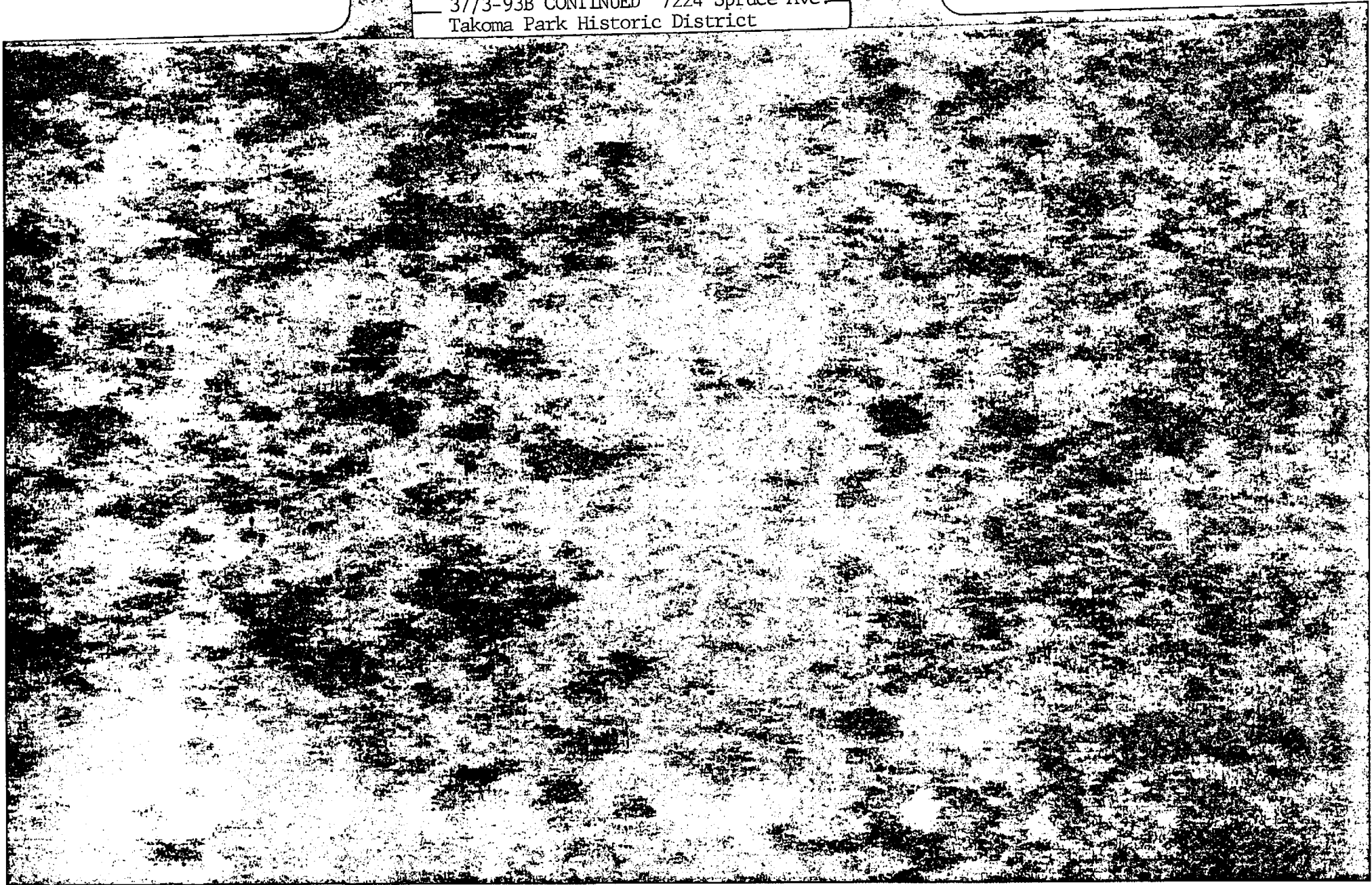


37/3-93B CONTINUED 7224 Spruce Ave.  
Takoma Park Historic District



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7224 Spruce Avenue                      Meeting Date: 4/14/93  
Resource: Takoma Park Historic District      Review: HAWP/Alteration  
Case Number: 37/3-93B CONTINUED              Tax Credit: No  
Public Notice: 3/31/93                          Report Date: 4/7/93  
Applicant: Petrina Huston/John Roberts      Staff: Nancy Witherell  
PROPOSAL: Alterations on all elevations;      RECOMMEND: Approve  
   alteration to garage; new deck

---

The applicants return following the March 24, 1993, HPC meeting, at which they discussed their proposal for alterations to a Dutch Colonial-style house, a contributing structure in the Takoma Park Historic District.

The attached letter from the applicants' architect briefly describes the additional modifications. The bay projection on the north side remains at 4'6", but the bay has been moved back, allowing for a separation of the proposed gambrel dormer from the existing shed dormer. On the south elevation, the shed dormer has been left intact; the new shed dormer behind it is now a separate element. The applicants propose a flat skylight; it would be marginally visible, at most. The balcony has been moved to the rear, as the applicants presented it at the last meeting. The deck has also been moved to a location behind the house. The entrance to the garage/workshop would be through a door in the south side of the garage.

The front facade openings have been examined from the inside, as suggested by the Commissioners. The door is in its original position. A transom opening was uncovered. The existing bay replaces a sash window opening; it is not clear whether there were originally one or two sash windows in the opening. Evidence indicates that there might have been two, but this configuration would have jammed the windows next to the left side of the door (from the exterior) and staff is still inclined to believe that a sufficient area of clapboard (similar to that seen on the other side of the door) would have been maintained. However, the shadow of the top of a window casing above the existing bay (if it was a casing for the original windows) indicates two sashes were originally installed.

The applicants would like to move the door to the right side of the facade, as they discussed at the last meeting. Their propos-

al is to maintain the openings as original to the house; the door and one window opening would essentially be reversed. Three single-glazed, wood, 9/1 true-divided-light sash windows would be installed in place of the bay and door. An original 3-light interior transom would be used over the door in its new location.

The current siding on the first story of the house is not original. The applicants propose removing the siding to expose the narrower, German lap siding underneath. It is in good condition and will add to the historic appearance of the house.

#### STAFF RECOMMENDATION

The staff finds that the applicants have met the terms of the Takoma Park guidelines. The proposed gambrel bay is, in the staff's opinion, still the most significant alteration. The alterations to the front elevation are compatible with the house and streetscape and, therefore, an acceptable alteration in the staff's opinion.

The applicants have restored the wood roof shingles and will restore the original wood clapboard. They propose using a masonry cladding of the same profile on the rear and bay additions, or wood clapboard as a second option.

The deck and garage alterations are also consistent with the guidelines.

#### STAFF RECOMMENDATION

Although the staff remains concerned with the north elevation bay projection, the staff finds the overall project consistent with the purposes of Chapter 24A and the Takoma Park design guidelines. The staff also acknowledges the assistance and cooperation of the applicants and their architect during the past month to modify the plans and conduct further physical investigation of the house.

The staff finds the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Further, the staff refers to the Takoma Park guidelines for contributing structures, particularly:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource . . . .

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.

Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource . . . and should be appropriate to the surrounding streetscape in terms of scale and massing.

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.



Stephen Kendall, PhD, AIA  
Architecture and Interior Systems  
604 Winona Court, Silver Spring, Md. 20902  
tel/fax: 301.649.6803

## DRAFT LETTER

1 April, 1993

To: Montgomery County Historic Preservation Commission  
Re: Historic Area Work Permit for the Residence of Petrina Huston, alterations and additions at 7224 Spruce Avenue, Takoma Park, Maryland. (HPC Case No. 37/3-93B)

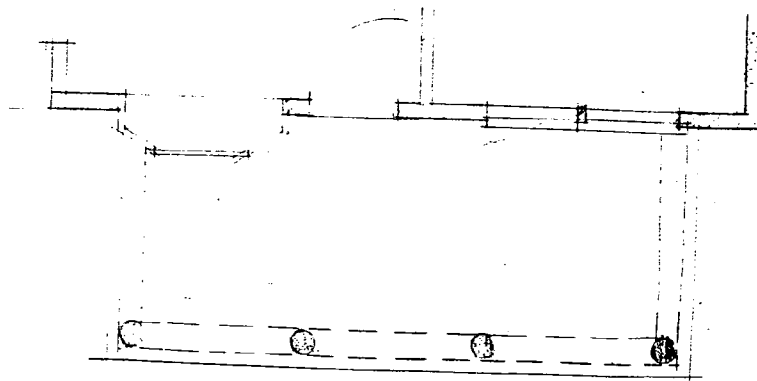
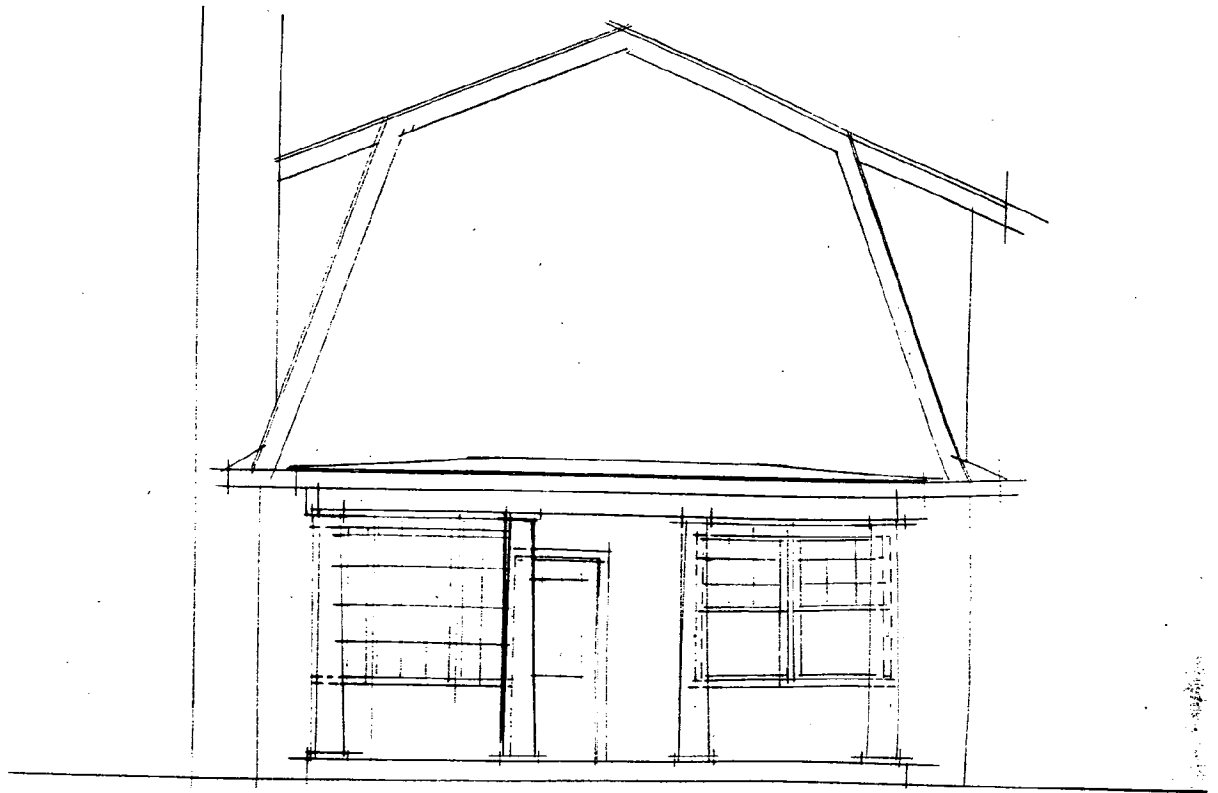
*In response to your comments we have:*

- moved the elevated deck at the rear of the house to a position entirely behind the house.
- altered the original proposal for the second floor of the garage by reducing the ridge height as much as reasonable while to give adequate interior space, while maintaining the roof slope, and introducing two small dormers to the south side.
- moved the master bedroom balcony from the side to the rear elevation, while keeping two double hung windows in the south wall of the master bedroom.
- shortened the proposed shed dormer on the south side by half, leaving the existing shed dormer as an independent roof element on that facade.
- we are willing to consider a change of exterior material on the new north extension walls if necessary, but feel that the best solution is to continue a single siding material along the entire side of the house.
- we are willing to keep the new gambrel roof on the north extension independent of the existing shed dormer on that side, but think that architecturally it makes sense to connect them.
- revised the front elevation based on extensive work uncovering original building fabric. We found: the present door position is original, but the door originally had a transom above it which was covered at the time the bay was installed. The exterior and interior trim across the transom corresponded in height to the pair of existing double hung windows, as well as to the two narrower double hung windows which we believe were in the place where the bay is currently situated. We can see the paint line on the old wood siding, and evidence that studs were situated for such a window arrangement. We found that the current wide bevel-lap siding is not original, but covers narrower oak ship-lap siding which was original. Both the interior and exterior surfaces of the original house have been covered, the exterior as described, and much of the interior plaster-on-lath with 4'x8' hardboard sheets with decorative strips covering the joints.

We propose to replace one of the present two double hung windows to the right side of the front elevation with the existing door, with a transom added as it was originally built. We propose also to return the existing bay window to its original double hung window type, using three double hung windows, six lites over one in each, in the space currently occupied by the combined bay and front door. The result will be five openings of the same proportion as was in the original house.

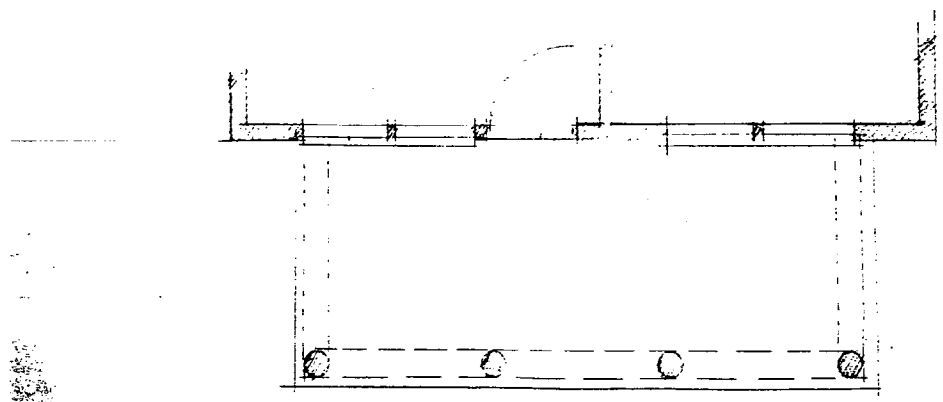
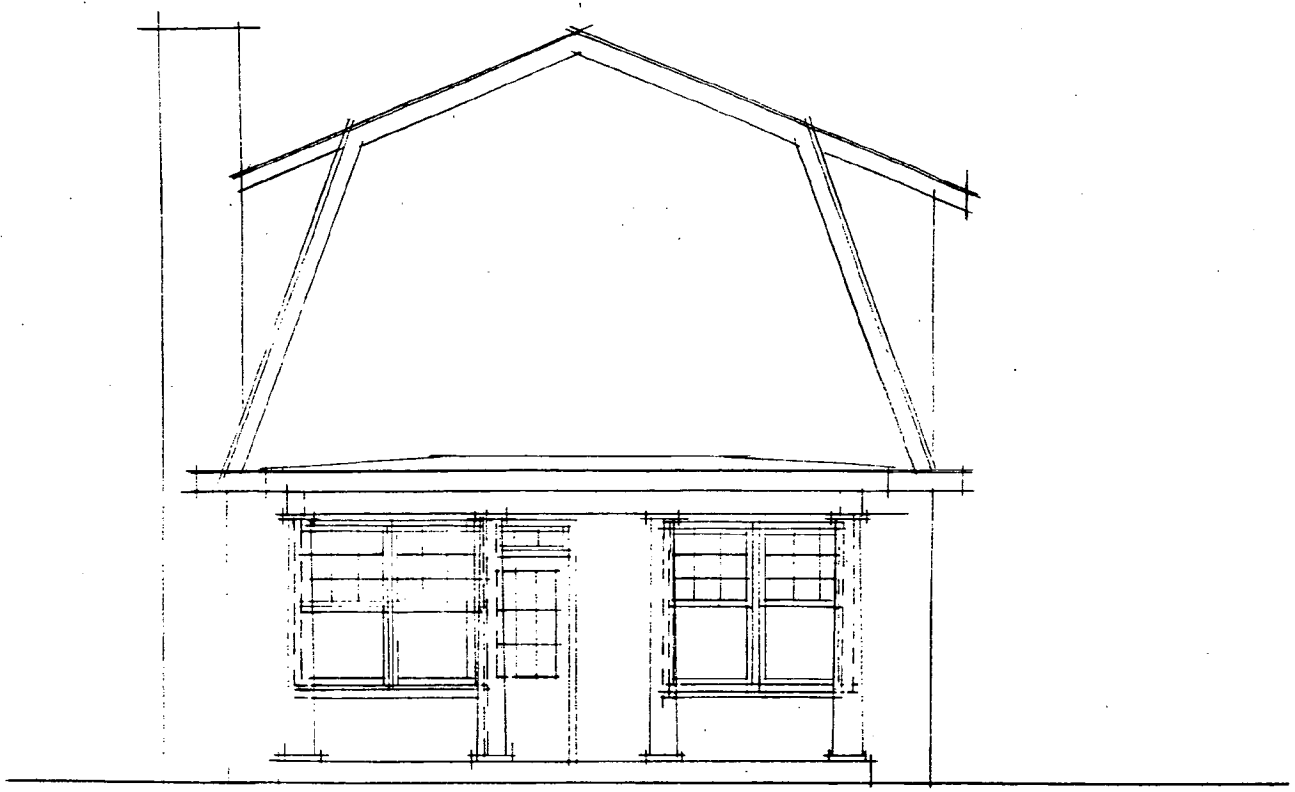
(none)

(NOOD 4-13 072  
submitted by the  
4.14.93 (noting) (A)



PRESENT CONDITION

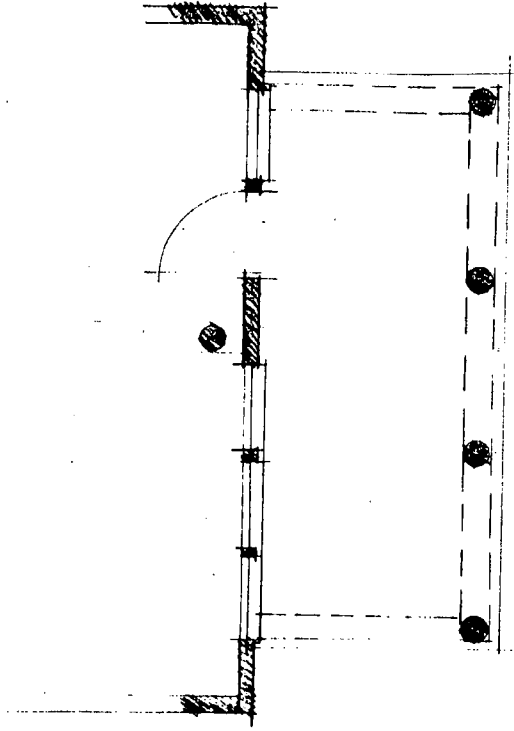
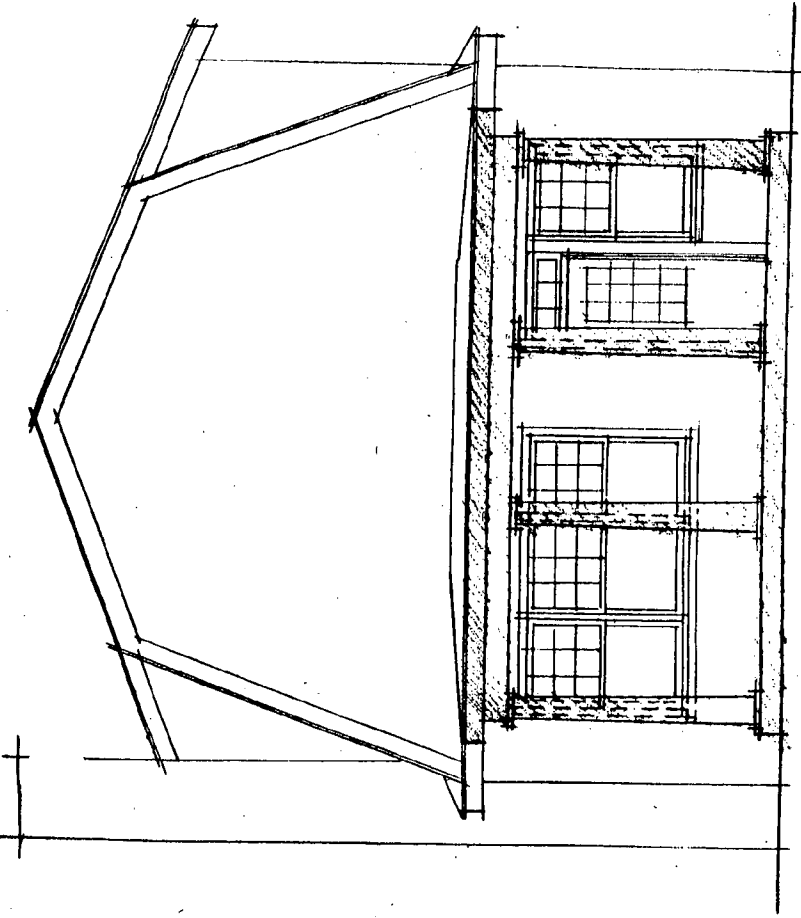
FRONT ELEVATION



SURMISED  
ORIGINAL CONDITION AS BUILT

FRONT





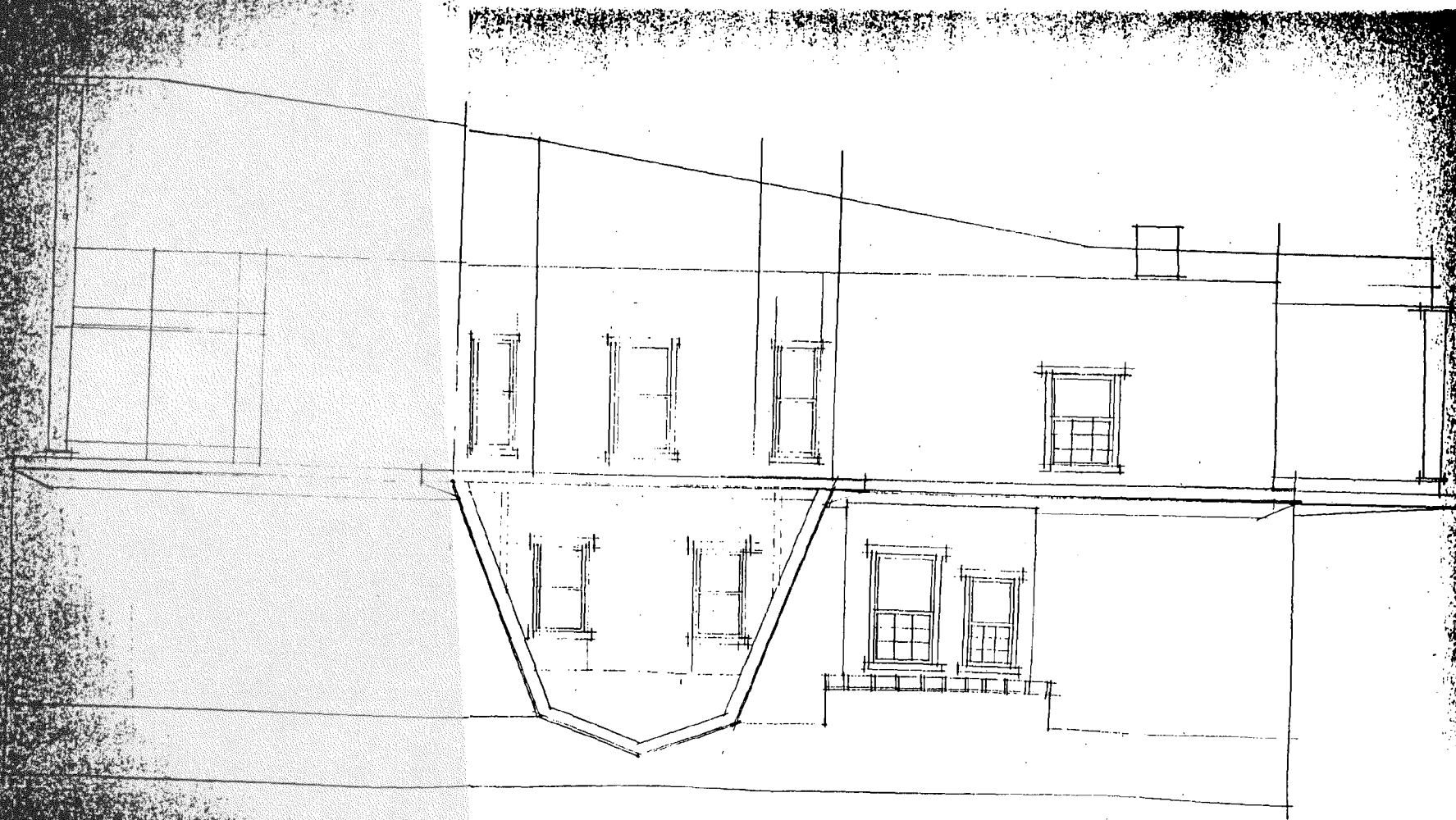
FRONT

PROPOSED

7

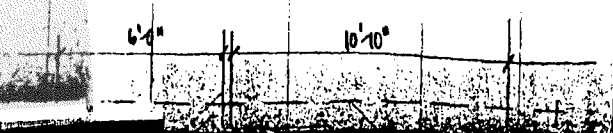


REVISED NORTH ELEVATION

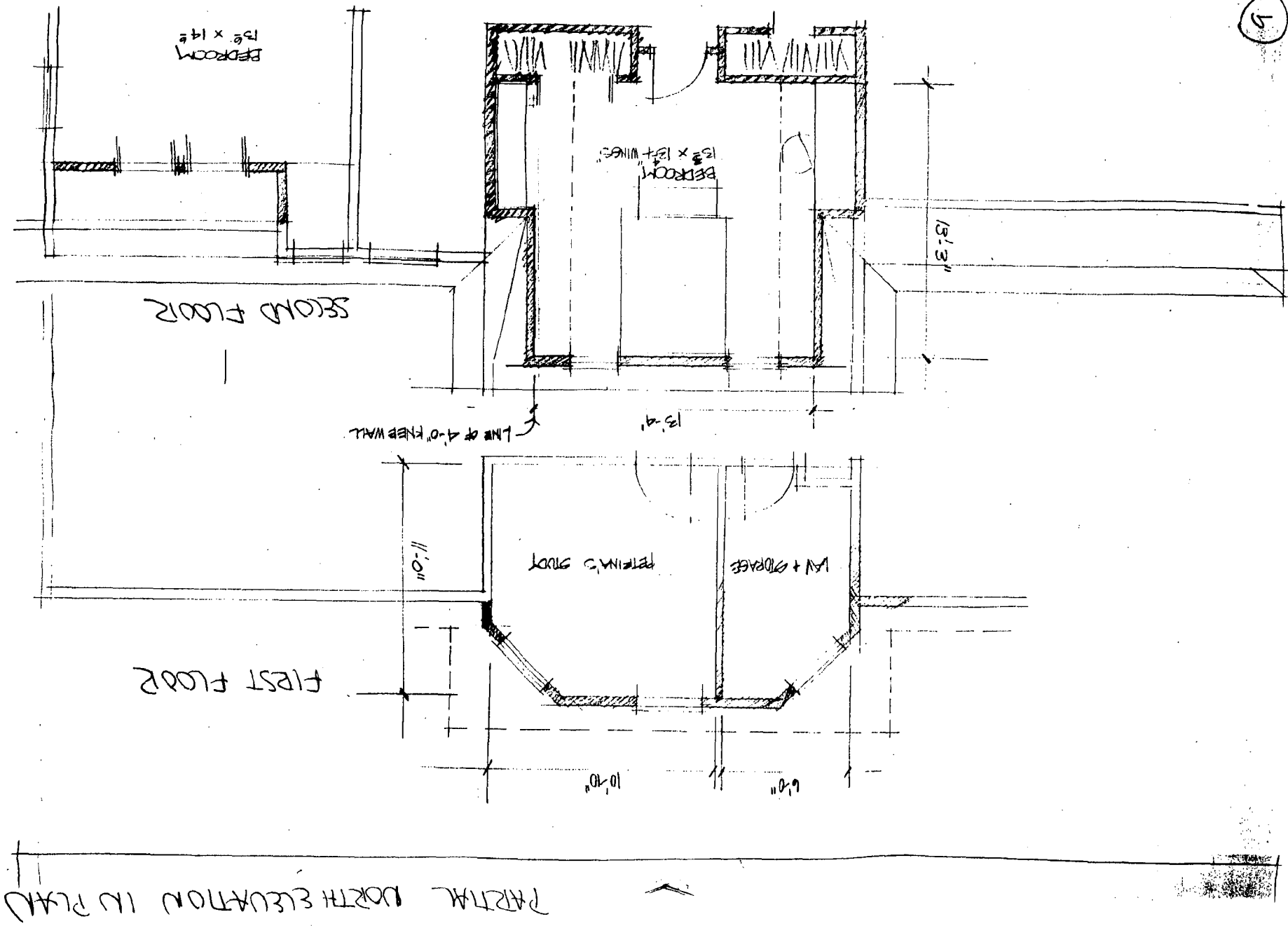


6'-8"

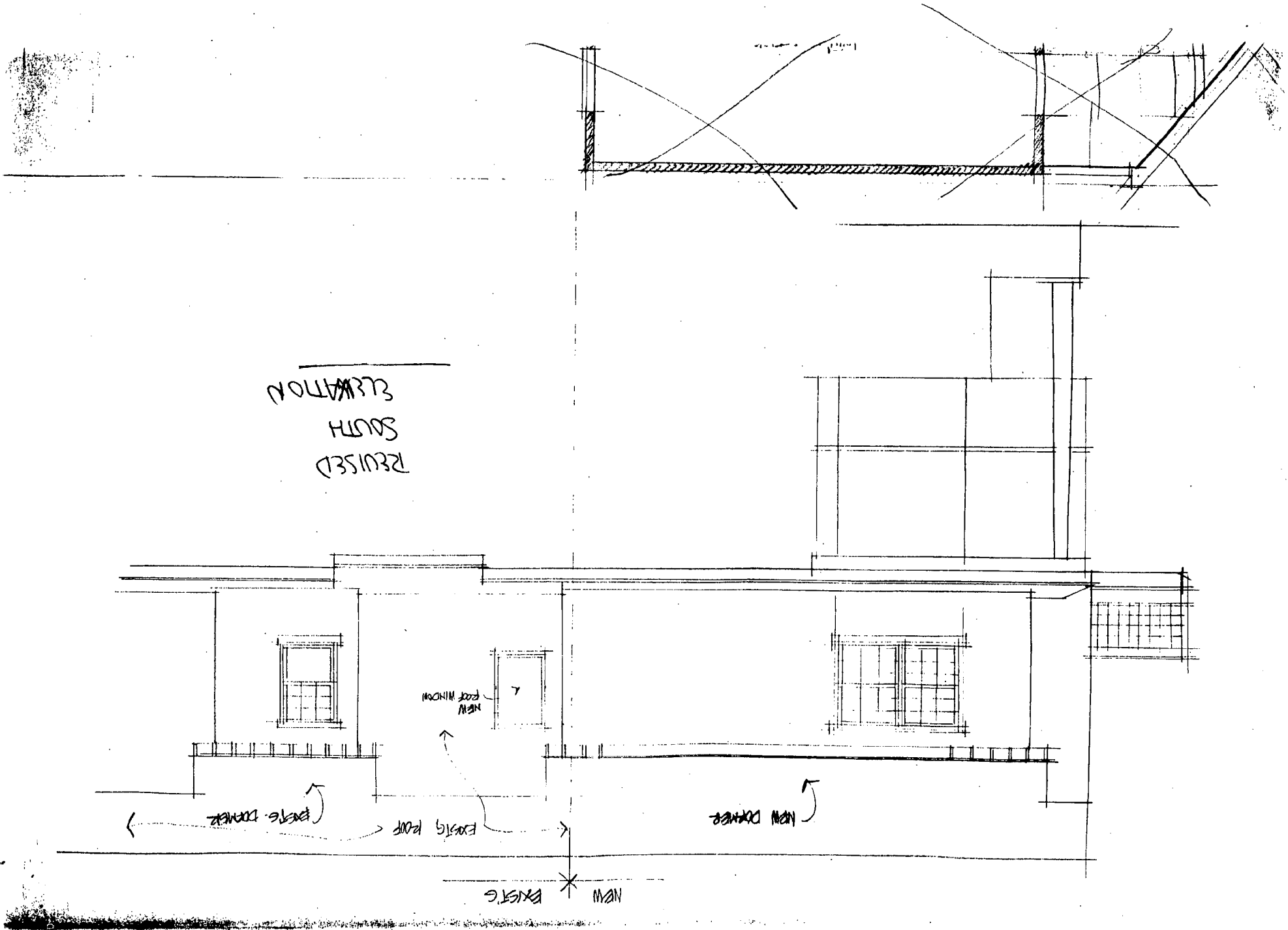
10'-10"



1

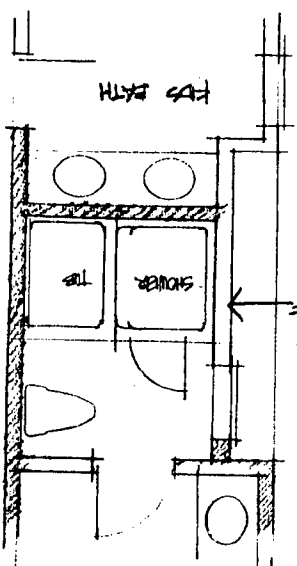


PARTIAL NORTH ELEVATION IN PLAN



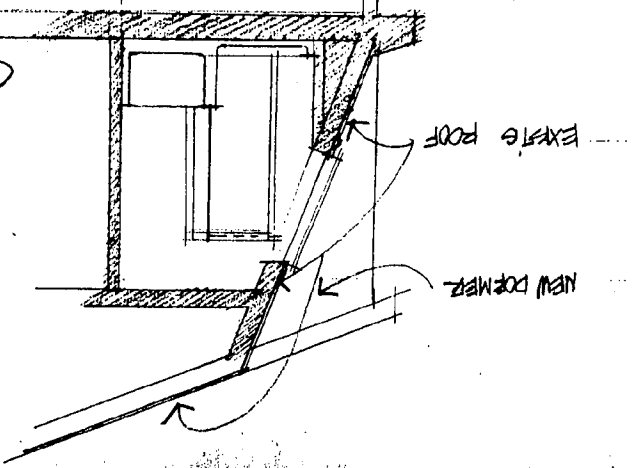
REUSED SOUTH ELEVATION  
(MASTER BATH) JOE TO  
CHANGE IN SHED DORMER

PARTIAL PLAN M. BATH.

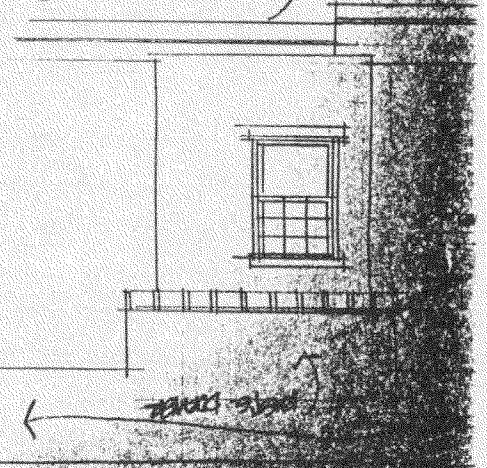


EXISTING ROOF  
EXIST'S.  
NEW

PARTIAL SECTION  
THRU M. BATH

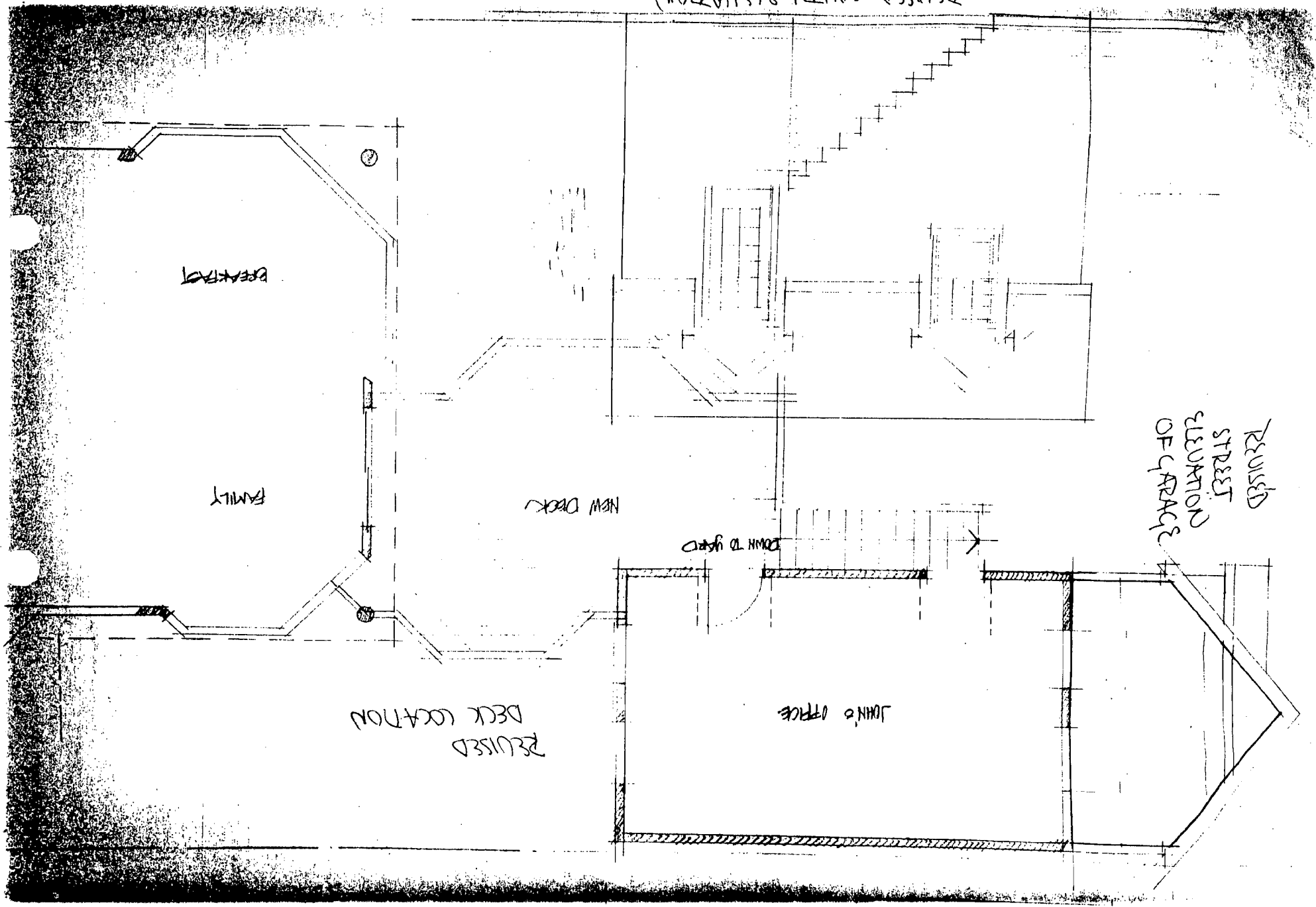


(EXISTING DORMER  
RETAINED)



REVISED SOUTH ELEVATION  
OF GARAGE  
(DOORS ADDED - AND STAIRS)

REVISED FIRST FLOOR PLAN  
→ (CONTINUED)



REVISED  
STREET  
ELEVATION  
OF GARAGE

DOWN TO YARD

NEW DECK

JOHN'S OFFICE

REVISED  
DECK LOCATION

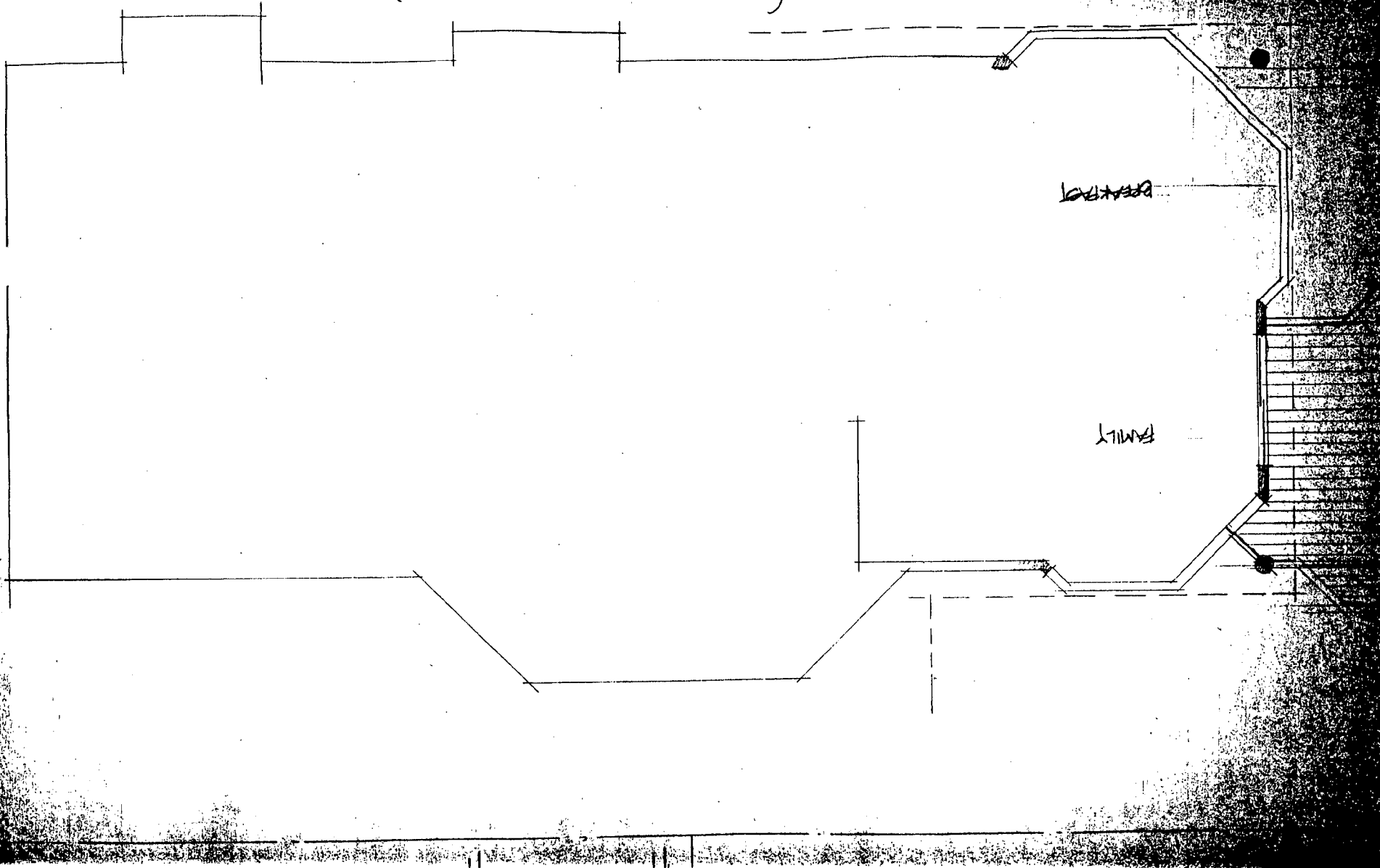
FAMILY

BREAKFAST

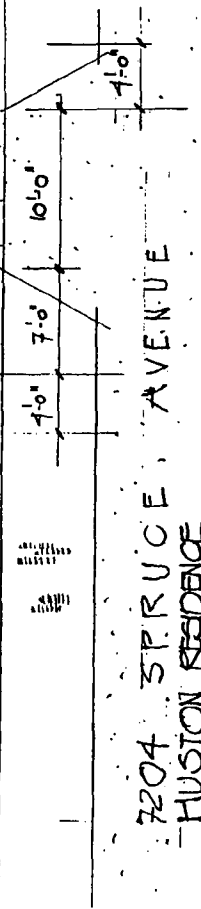
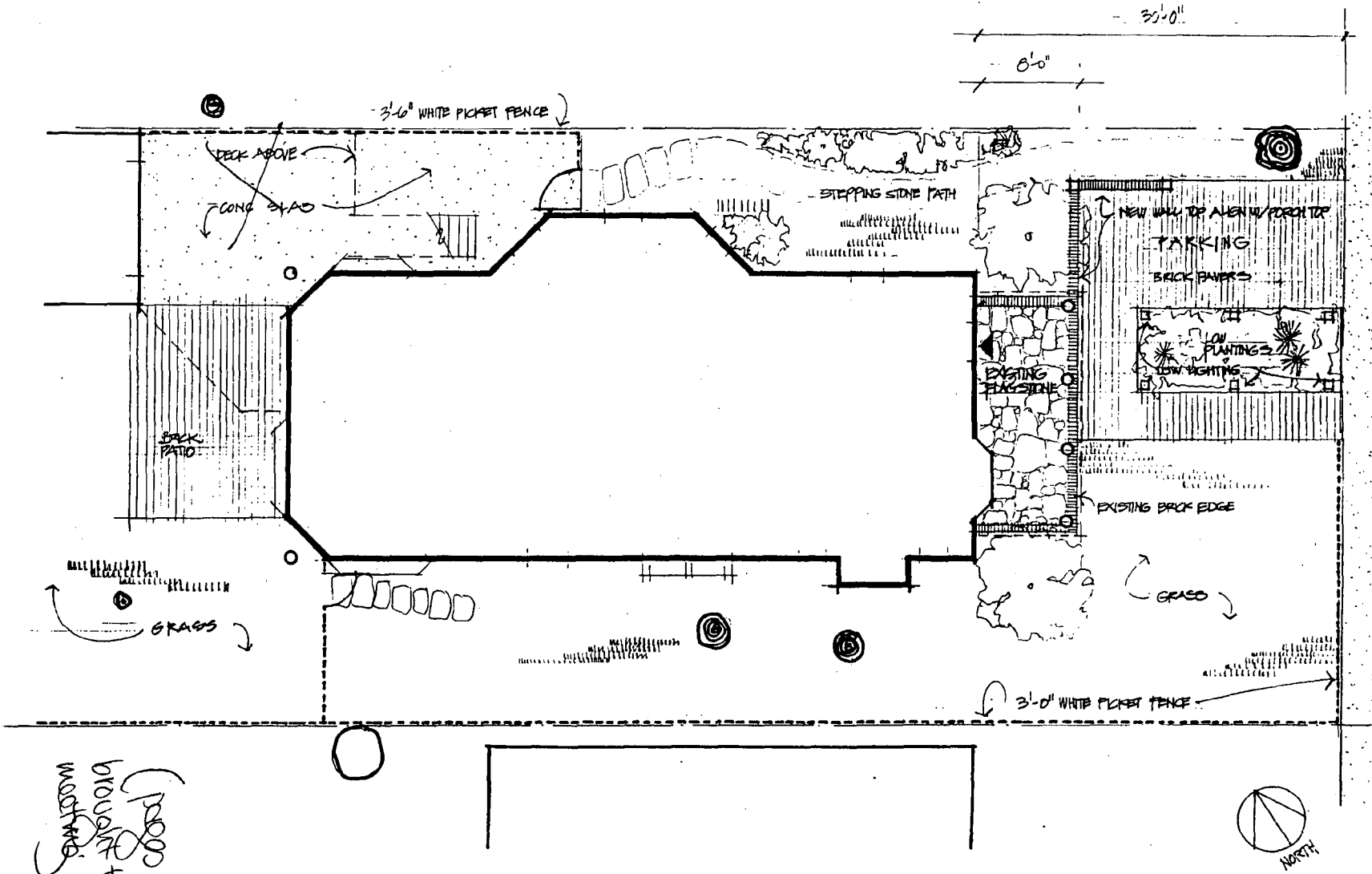
REVISED SOUTH ELEVATION

(continued from previous page)

REV  
LAMP



↓ parking pad;  
removal of driveway



7204 SPRUCE AVENUE  
HOUSTON RESIDENCE

24 MARCH 92



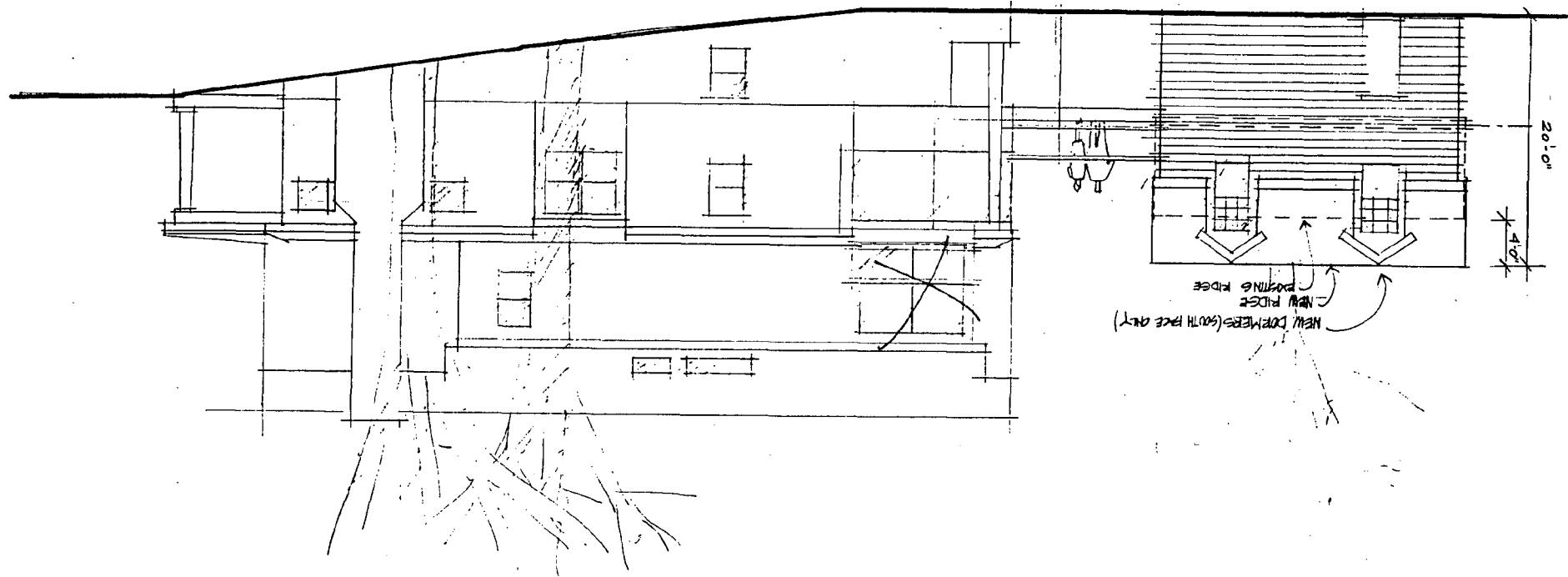
(submitted: Nov 24 meeting)

(PROJ 14-17 USRZ  
BROUGHT TO THE 3-24-92  
MEETING)

14

(submitted: March 24 morning)

24 MARCH 03  
MODIFICATION TO ORIGINAL GARAGE SCHEME:  
PROPOSED SOUTH ELEVATION



spaces to be raised 3'  
in height -  
need to retain same pitch

NEW CORNERS (SOUTH FACE ONLY)  
NEW RIDGE POSTING RIDGE

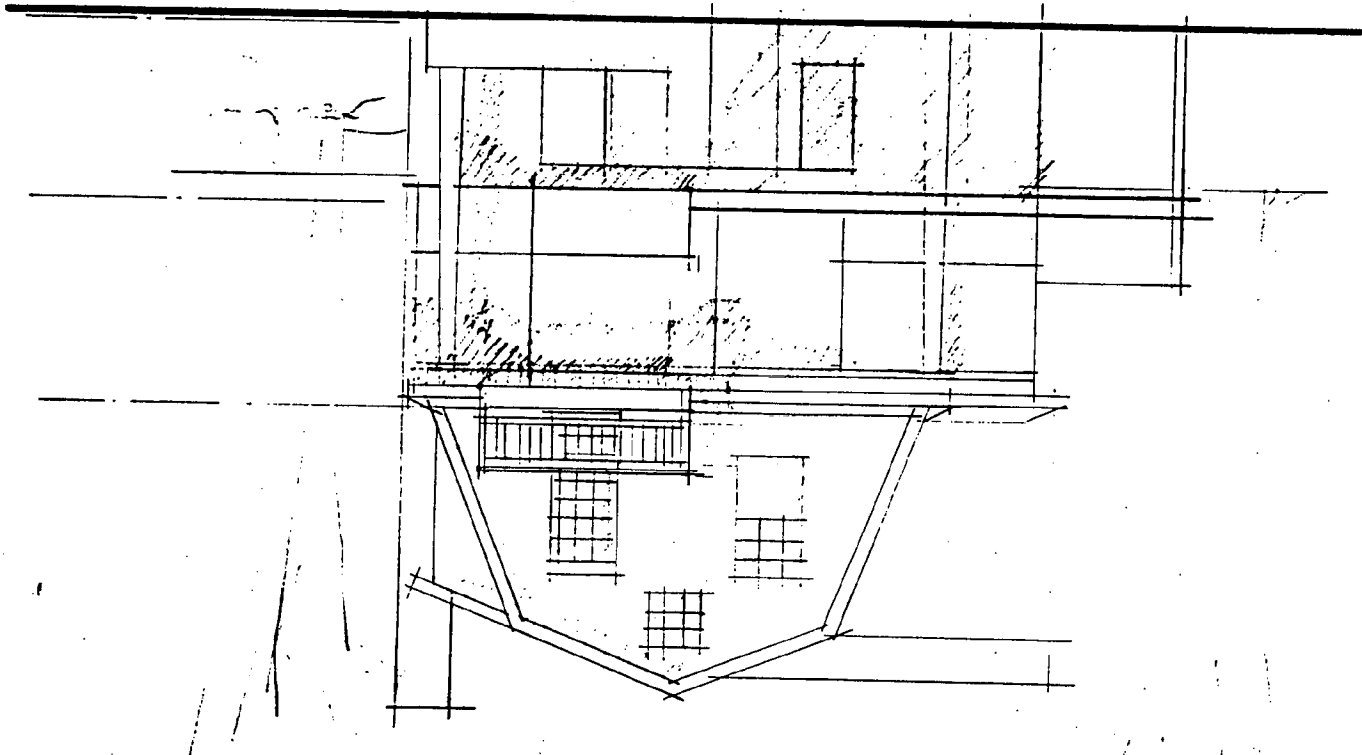
20'-0"  
4'-0"



24 MARCH '05

ALTERNATE BALCONY LOCATION  
WEST ELEVATION

Revised balcony proposal - at 3'00"



Subject: Proposed Home Improvements on Spruce Ave., Takoma Park

To: The Montgomery County Historical Commission

From: Sam Morgan, Homeowner at 7226 Spruce Ave.

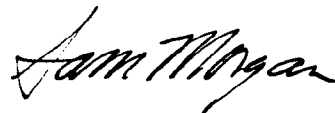
This memorandum is to acknowledge the approval of work proposed to the residence of Ms. Petrina Huston, and Mr. John Roberts and to document the results of our conference with John Roberts regarding those plans.

My wife (Catherine Falknor) and I live next door to the property being discussed and have recently talked over the plans with John Roberts for rennovating their house and property.

We expressed our concerns about - and came to a subsequent agreement regarding the proposed size of the deck, particularly where it comes out to our property line. John was very accommodating and we have agreed to work together to come up with a modification to the planned deck which is satisfactory to both parties.

Thank you for your consideration.

Signed

A handwritten signature in cursive script that reads "Sam Morgan".

PREVIOUS staff  
Report and submission

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 7224 Spruce Avenue Meeting Date: 3/24/93  
Resource: Takoma Park Historic District Review: HAWP/Alteration  
Case Number: 37/3-93B Tax Credit: No  
Public Notice: 3/10/93 Report Date: 3/17/93  
Applicant: Petrina Huston/John Roberts Staff: Nancy Witherell  
PROPOSAL: Alterations on all elevations; RECOMMEND: Approve, with  
alteration to garage; new deck conditions

---

The applicants propose major alterations to a Dutch Colonial-style house listed as a contributing structure in the Takoma Park Historic District. The applicants submitted another proposal for the last HPC meeting but agreed to the staff's request to postpone the meeting until aspects of the proposal could be reconsidered. After meeting with the staff twice, and following a discussion of the purpose and intent of Chapter 24A and the Takoma Park amendment guidelines, the applicants and their architect, Stephen Kendall, have responded by redesigning part of their proposal.

STAFF DISCUSSION

The application includes the following alterations:

- 1) Move the (non-original) bay window slightly to the right, aligning it with the left half of the front facade; move the doorway to the right, aligning it with the right half of the front facade; move the center walkway to the right to align with the new doorway location.

The applicants, based on interior plan considerations, propose to center the bay window on the front wall of the living room. The bay is a later addition to the house and was positioned immediately next to the front door, which also opens directly into the living room. The applicants would like to convert what was originally intended to be a front bedroom into a front foyer. The new foyer would lead directly to the interior hall and staircase.

Alterations to the front facade, particularly to door and window openings, are generally found to be inconsistent with the purposes of Chapter 24A because the architectural character and style of a historic structure are derived in part from the ar-

rangement of openings on the front facade. In addition, in a historic district, especially, the elements of the streetscape are significant to the overall character of the historic district.

In this instance, however, given the awkward juxtaposition of the bay window and the door, the staff recommends that the HPC consider the proposal as a way of mitigating the later alteration, even though the staff acknowledges that this would cause the loss of two original sash windows on the front facade. (These sash could be reused elsewhere in the house.)

The bay window probably replaced a single sash window and the door was apparently never centered between the center two porch columns. Nevertheless, the staff has suggested that the new facade elements be based on the porch's module of three units; the applicants would prefer them based on the interior plan module of two units, as shown on the plans. Note the proposed new location of the walkway in the perspective drawing.

The staff finds the proposal generally consistent with the ordinance criteria and amendment guidelines, given the existing conditions, and the strength of the porch element; the proposed alterations would have little effect on the streetscape.

- 2) Construct additional interior space on both the first and second stories by extending the north (side) elevation wall 4'6" on both stories. The first floor would read as a 3-sided bay with canted side walls. The second story would gain a gambrel-roofed addition whose wall would project the same distance. The traditional gambrel eave would further extend the projection dimension. The existing shed-roofed dormer on that elevation would remain, incorporated at its rear edge with the new gambrel dormer. Note the rear addition, discussed below, which would extend the length of the side elevations.

The house is now symmetrical in form, with shed dormers projecting from either side of the gambrel roof. In the proposed scheme, the right (north) side of the house gains mass as the gambrel dormer and the 3-sided bay below it project into the side yard. Further, another roof ridge, even if slightly lower than the principal ridge, is introduced.

The yard on the north side of the house is wider and more visible than that on the south because the applicants and their adjacent neighbors have driveways on this side. While the projection would be more appropriate spatially on this side, it would also be more visible from the public space.

The staff finds the retention of the shed dormer to be a mitigating factor, but recommends that the applicants study ways to reduce the dimensions of the gambrel-roofed dormer projection. The second floor bedroom is generous in size; the first floor rooms would suffer more from a reduction. The reason for this

recommendation is to limit the extent to which the proposal would dilute the house's characteristic symmetrical plan and prominent central gambrel roof. The proposal could be found to be consistent with the ordinance criteria and the amendment guidelines if the symmetry and strong east-west axis of the house were reinforced.

- 3) Construct a 25' addition on the rear (west) elevation of the house. The gambrel roof would be continued at the same height. The addition would extend the width of the house. Much of the addition would be fenestrated with either sash or casement windows, articulated with true-divided lights. French doors would lead to an elevated deck that would, in turn, lead to an office to be created in the existing garage. The proposed rear addition would extend farther into the rear yard than nearby houses on Spruce Avenue, although the interior of the block is characterized by generous open space.

The staff finds the rear addition consistent with the ordinance criteria and with the Takoma Park amendment guidelines. The addition would replace a non-original one-story addition that is not compatible with the style of the house.

- 4) Construct additional second story living space by continuing the existing shed dormer on the south (left) side elevation toward the rear of the house. Construct a double door and balcony at the rear of the south side elevation, an additional sash window, and two windows on the top face of the gambrel. Rafter tails would be used along the full length.

The length of the shed dormer is unusual, and not typically found in houses of this style and time period. Nevertheless, the profile of the roof is not extended into the side yard, but, rather, maintained. The balcony, although toward the rear, is a projecting element that will be visible from the street, despite the presence of two trees in the side yard. It is an element that could be moved to the rear of the house, although the applicants see this location as the most desirable for the balcony.

The staff recommends that this alteration, except for the balcony, be found consistent with the ordinance criteria and amendment guidelines.

- 5) Remove the existing deck, and replace with a new elevated deck that will extend from the rear door of the first floor to the side yard to the existing garage. Raise the height of the garage 5' so that the second floor can be used. (Retain the garage doors.) Remove the asphalt driveway between the front of the porch and the garage; replant the side yard.

The Commission recently reviewed a raised deck for an out-of-period house in the historic district; during that review, there was some discussion of how a raised deck attached to a historic

house might be reviewed. In this instance, the proposed deck is beyond the rear of the house, approximately 60' beyond the front porch, and the drop in grade mitigates its height. The deck's location, in the side yard, is a more significant issue, since it would be visible from the sidewalk and would affect the view of the garage, which is an original feature of the site, although it was not noted as a significant ancillary structure in the amendment.

Raising the roof ridge of the garage 5' would create a different type of ancillary structure; two-story garages in Takoma Park are not typical. In addition, the taller structure is part of a proposal that would add a great deal of massing at the rear of the house: three-story rear addition, raised deck, and a rehabilitated garage proposed to be approximately 23' in height. The staff notes, however, that the proposed height of the gable roof is compatible with the proportions and height of the proposed deck. Nevertheless, the staff recommends that the applicant consider lowering the height of the garage as much as possible.

In balance, the staff recommends that the proposed deck, garage, and driveway alterations be found consistent with the ordinance criteria and guidelines.

#### STAFF RECOMMENDATION

The staff acknowledges that dividing the proposal into individual discussion sections can lead to analysis that doesn't reflect the totality of the proposed alterations. In truth, the applicants propose major alterations to a modest Dutch Colonial-style house. Nevertheless, they and their architect have attempted to be true to the elements of the Dutch Colonial style, particularly in retaining the profile of the shed dormers on either side and in using a gambrel roof for the bedroom addition on the north side of the second story.

In reviewing this application, and in discussions with the applicants and their architect, the staff has used the Takoma Park amendment guidelines, which were designed to preserve significant architectural elements at the front and along side elevations where they contribute to the character of the historic streetscape. Alterations in these locations should be consistent with the style, scale, and overall historic feeling of the contributing structure and its context. The guidelines were designed to allow greater leniency toward the rear of the house and property.

With the following conditions, the staff finds the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

The conditions recommended by staff are:

- 1) Reduce the projection of the gambrel-roofed addition on the north elevation.
- 2) Relocate the balcony from the south elevation to the rear elevation.
- 3) Reduce the height of the garage, since the height is atypical for ancillary structures in early 20th-century suburban neighborhoods.

Further, the staff refers to the Takoma Park guidelines (see attached) for contributing structures, particularly:

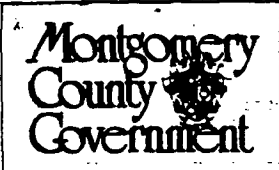
All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource . . . .

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.

Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource . . . and should be appropriate to the surrounding streetscape in terms of scale and massing.

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

come in 1/25/00



Historic Preservation Commission

51 Monroe Street, Suite 1001, Roskville, Maryland 20850  
217-3625

495-4570  
Nancy Wilderall

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # \_\_\_\_\_  
NAME OF PROPERTY OWNER PETRIANA HUSTON TELEPHONE NO. (301) 891-2006  
(Contract/Purchaser) PETRIANA HUSTON (Include Area Code)  
ADDRESS 7224 SPRUCE AVENUE MARYLAND STATE 20912 ZIP  
CITY  
CONTRACTOR OWNER TELEPHONE NO. (301) 891-2006  
CONTRACTOR REGISTRATION NUMBER  
PLANS PREPARED BY DR. STEPHEN KENDALL TELEPHONE NO. (301) 649-6803  
(Include Area Code)  
REGISTRATION NUMBER \_\_\_\_\_

LOCATION OF BUILDING/PREMISE  
House Number 7224 Street SPRUCE AVENUE  
Town/City TAKOMA PARK Election District No. 13  
Nearest Cross Street PARK AVENUE & SPRUCE AVENUE  
Lot 30 Block 8 Subdivision LIPSCOMB & EARNEST ADDITION TO TAKOMA PARK  
Liber \_\_\_\_\_ Folio \_\_\_\_\_ Parcel \_\_\_\_\_

1A. TYPE OF PERMIT ACTION: (circle one)  
Construct Extend/Add Alter/Renovate Repair  
Wreck/Raze Move Install Revocable Revision  
Circle One: A/C Slab Room Addition  
Porch Deck Fireplace Shed Solar Woodburning Stove  
Fence/Wall (complete Section 4) Other \_\_\_\_\_  
1B. CONSTRUCTION COSTS ESTIMATE \$ 120,000  
1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # -NO-  
1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO  
1E. IS THIS PROPERTY A HISTORICAL SITE? NOT A HISTORIC SITE BUT IN A HISTORIC DISTRICT

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS  
2A. TYPE OF SEWAGE DISPOSAL  
01  WSSC 02 ( ) Septic  
03 ( ) Other \_\_\_\_\_  
2B. TYPE OF WATER SUPPLY  
01  WSSC 02 ( ) Well  
03 ( ) Other \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL  
4A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
1. On party line/Property line \_\_\_\_\_  
2. Entirely on land of owner \_\_\_\_\_  
3. On public right of way/easement \_\_\_\_\_ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Pet Huston 2/19/93  
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

APPLICATION/PERMIT NO: 9302190068 FILING FEE: \$ \_\_\_\_\_  
DATE FILED: \_\_\_\_\_ PERMIT FEE: \$ \_\_\_\_\_  
DATE ISSUED: \_\_\_\_\_ BALANCE \$ \_\_\_\_\_  
OWNERSHIP CODE: \_\_\_\_\_ RECEIPT NO: \_\_\_\_\_ FEE WAIVED: \_\_\_\_\_



SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT

REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

7224 SPRUCE AVENUE, DUTCH COLONIAL, C. 1915-1925, Category 2

\* To the rear side of the property exist also a single car garage with a "gable" roof, estimated to be erected at the same time

\* The existing addition to the rear of the house was added in the late 1970's with a deck. Both addition and deck clearly detract from the original integrity

\* The front flat roofed porch was partially erected during original erection. The column and flat roof structure was built some years later on an already existing flagstone porch foundation.

\* The front Bay window & front door movement away from center were estimated to have occurred at the same time as the Flat roof alteration.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The adjacent property to the south is one of two Category 1 homes on Spruce the significant amount of proposed work requested would contribute to the enhanced visual appearance of continuity for the street. That is to say, by removing the objectionable addition to the rear, increasing the house square footage, and altering the living areas within to accommodate modern living standards. There has been special care to carry forward the Dutch Colonial Gambrel roof with all alterations, additions and repairs. The house will be increased to 4 regulation bedrooms, study and foyer. By increasing the property value while maintaining strict Dutch Colonial features significantly adds both value and interest to the street since it is the only Dutch Colonial on Spruce Ave.

## 2. Statement of Subject Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

- ① Exterior siding to match existing in material & trim detail
- ② The height of the structure is not altered.
- ③ 4 more / wooden sops are added contributing to architectural significance.
- ④ Landscaping will be reworked with new plants.

- b. the relationship of this design to the existing resource(s):

This design - Dutch Colonial - is most significant to the street since it is the only one of its kind. The proposed work enhances those features.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

- ① By removing previous work that does not comply to the ordinance
- ② By adding features the accentuate the Dutch Colonial architecture.

## 3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

5. Design Features: Schematic construction plans drawn to scale at 1/8" = 1'-0", or 1/4" = 1'-0", indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of both the existing resource(s) and the proposed work.
6. Facades: Elevation drawings, drawn to scale at 1/8" = 1'0", or 1/4" = 1'0", clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.
7. Materials Specifications: General description of materials and manufactured items proposed for incorporation in the work of the project.
8. Photos of Resources: Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
9. Photos of Context: Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Color renderings and models are encouraged, but not generally required.

Applicant shall submit 2 copies of all materials in a format no larger than 8 1/2" x 14"; black and white photocopies of color photos are acceptable with the submission of one original photo.

10. Addresses of Adjacent Property Owners. For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. If you need assistance obtaining this information, call the Department of Assessments and Taxation, at 279-1355.

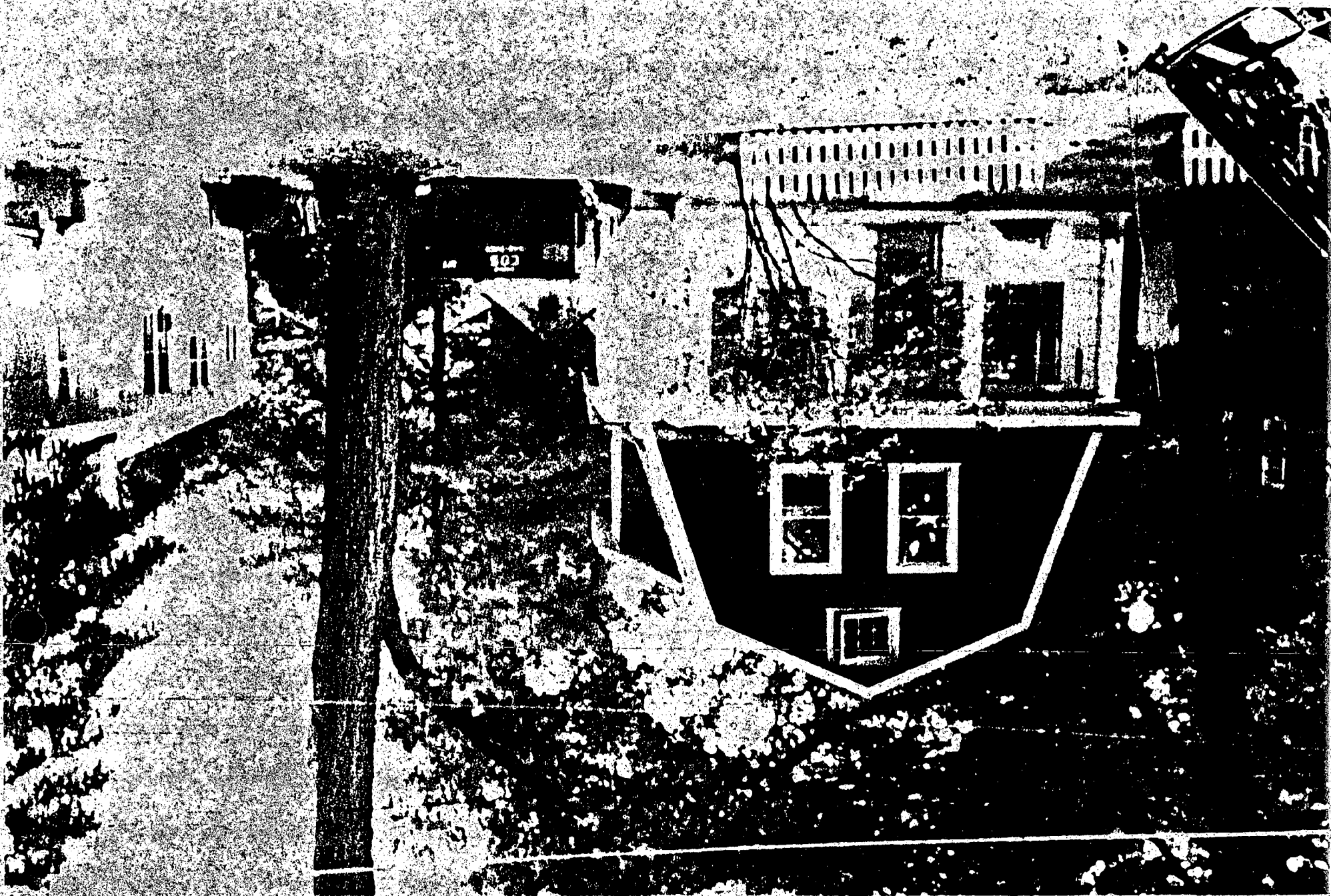
1. Name Sam Muligan / Catherine Falkner  
 Address 7226 Spruce Ave.  
 City/Zip Takoma Park MD 20912 301 891 2783
2. Name Susan Stocker / Ashby Sharpe  
 Address 7225 Spruce Ave.  
 City/Zip Takoma Park, MD 20912

3. Name Nicholas Hanks & Valerie Touat 270-6287  
Address 7222 Spruce Avenue  
City/Zip Takoma Park, MD 20912
4. Name Walt Reid & Cheryl Curt 891-3024  
Address 7220 Spruce Ave  
City/Zip Takoma Park, MD 20912
5. Name JOSEPH MURPHY / JANE HURST 270-0290  
Address 7219 SPRUCE AVE  
City/Zip TAKOMA PARK, MD 20912
6. Name Jan Waehu 891-2254  
Address 7216 Spruce Ave  
City/Zip Takoma Park, MD 20912
7. Name NIWA SEAVEY  
Address 7214 Spruce Ave  
City/Zip Takoma Park, MD 270-0441
8. Name Gene & Bruce Sidwell  
Address 7209 Spruce Ave  
City/Zip Takoma Park, MD 20912 270-5846

1757E

SEPTEMBER 1972

EAST FRONT ELEVATION

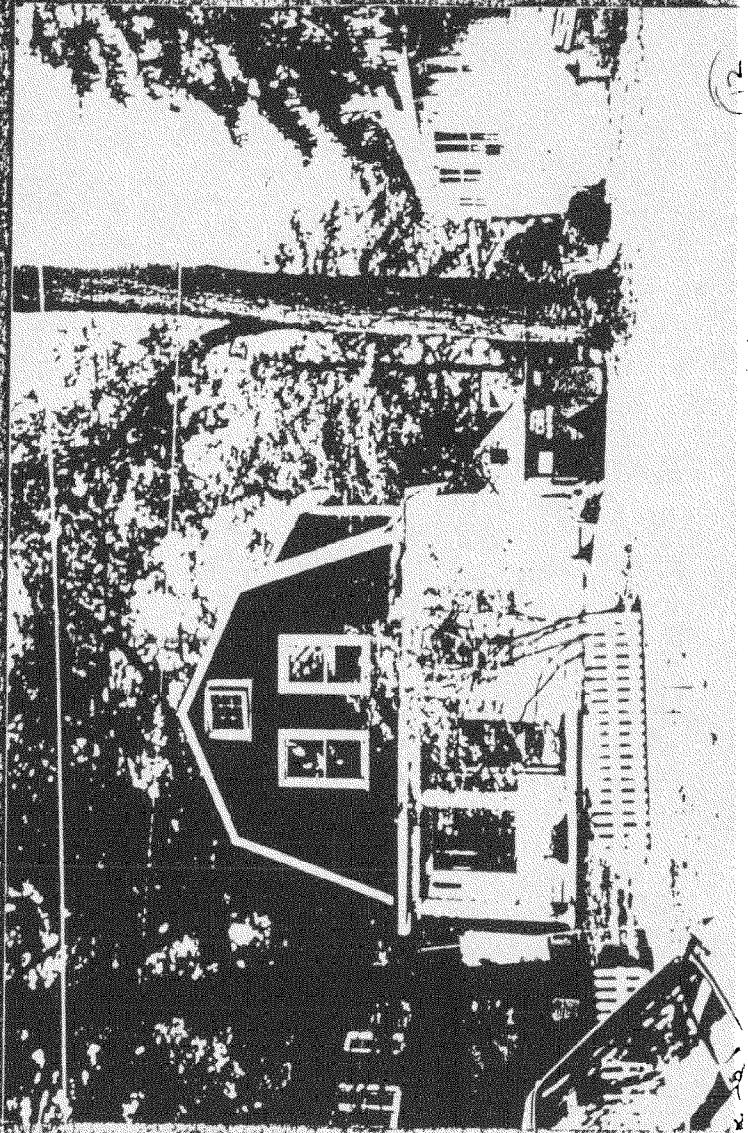


11



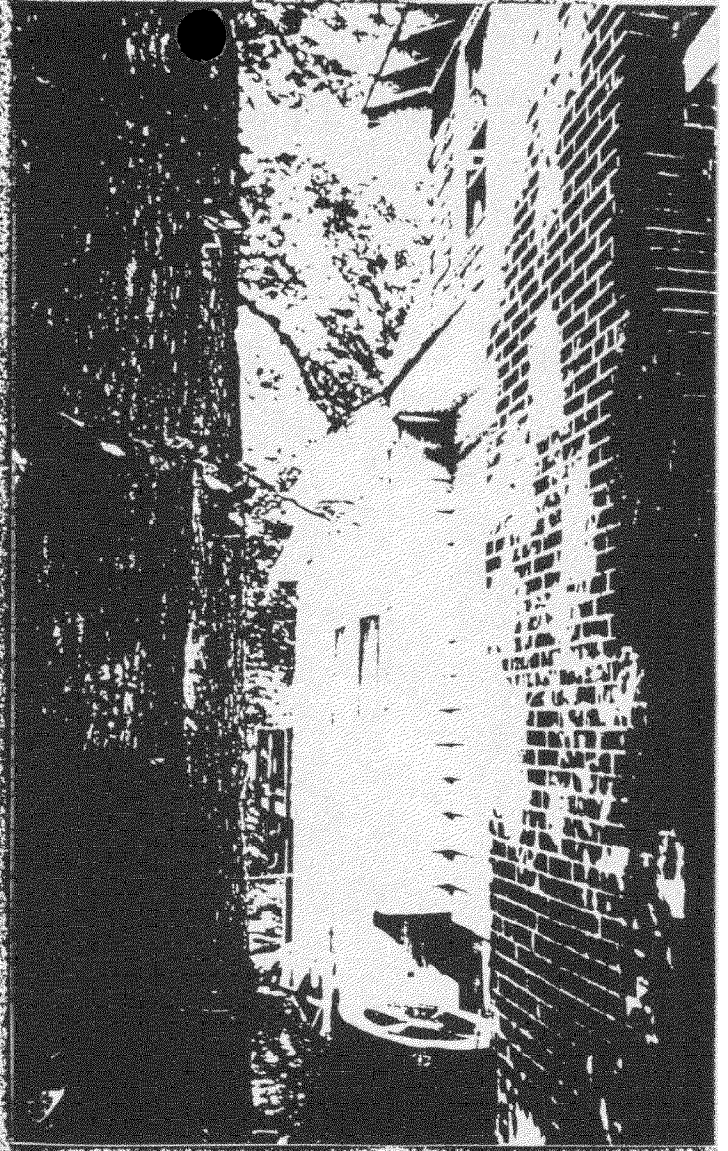
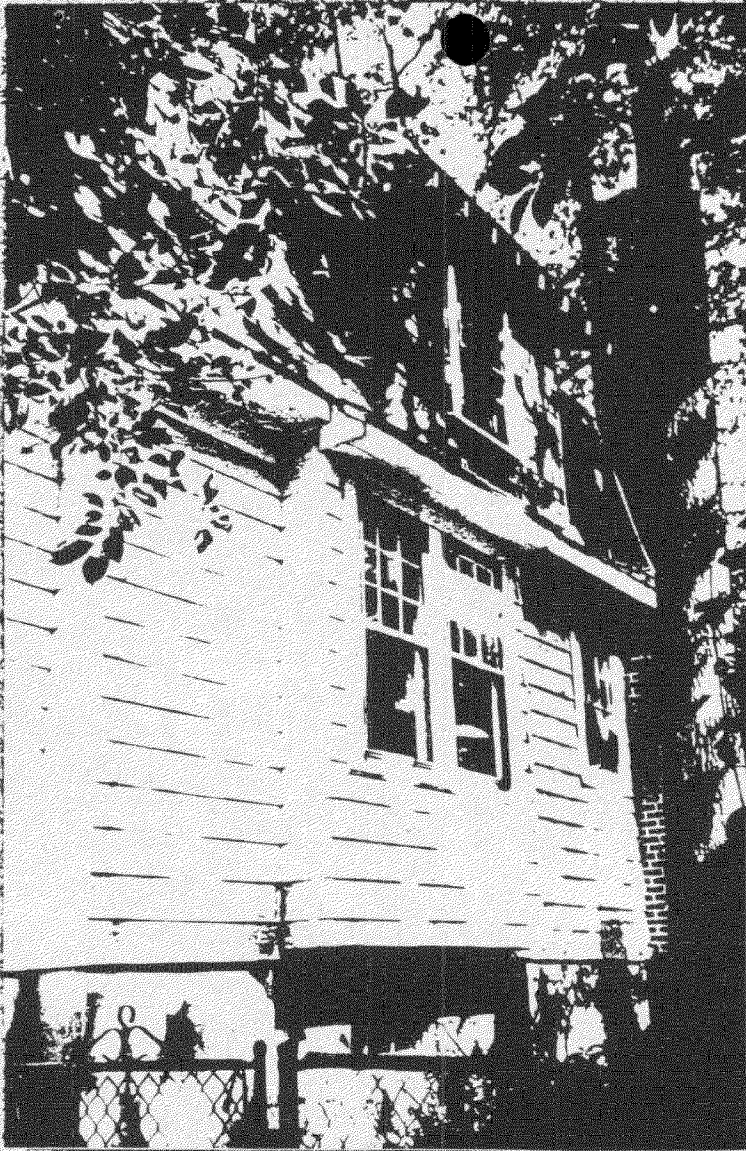
Almas

North / 4-10-09



EAST / FRONT

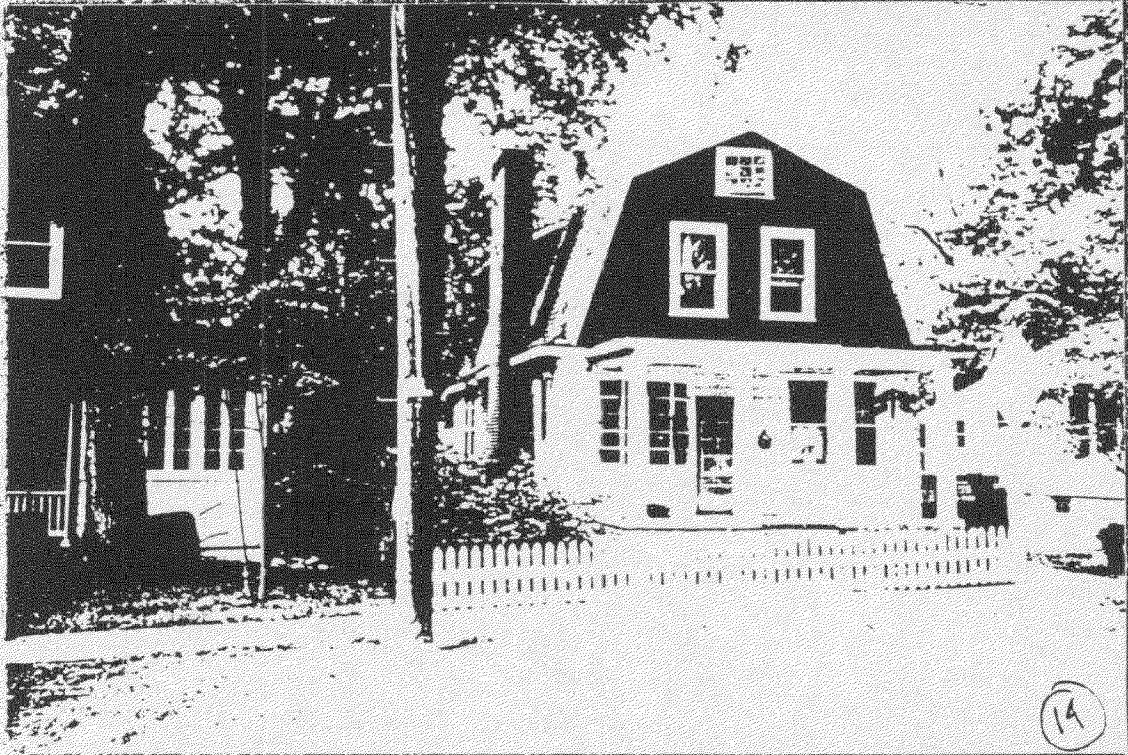
7224 SPRUCE AVE



SOUTH ELEVATION / SIDE

SOUTH / SIDE

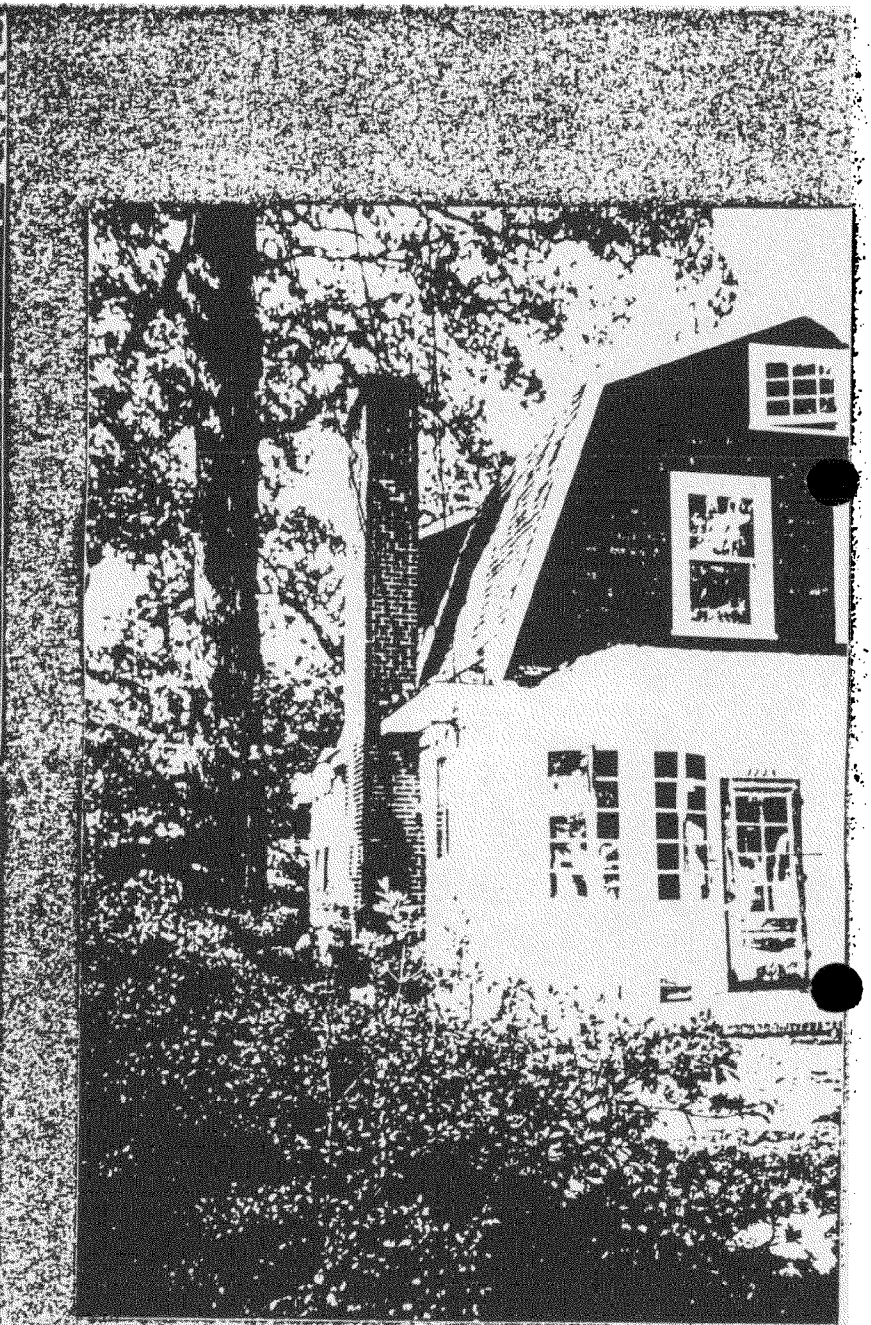
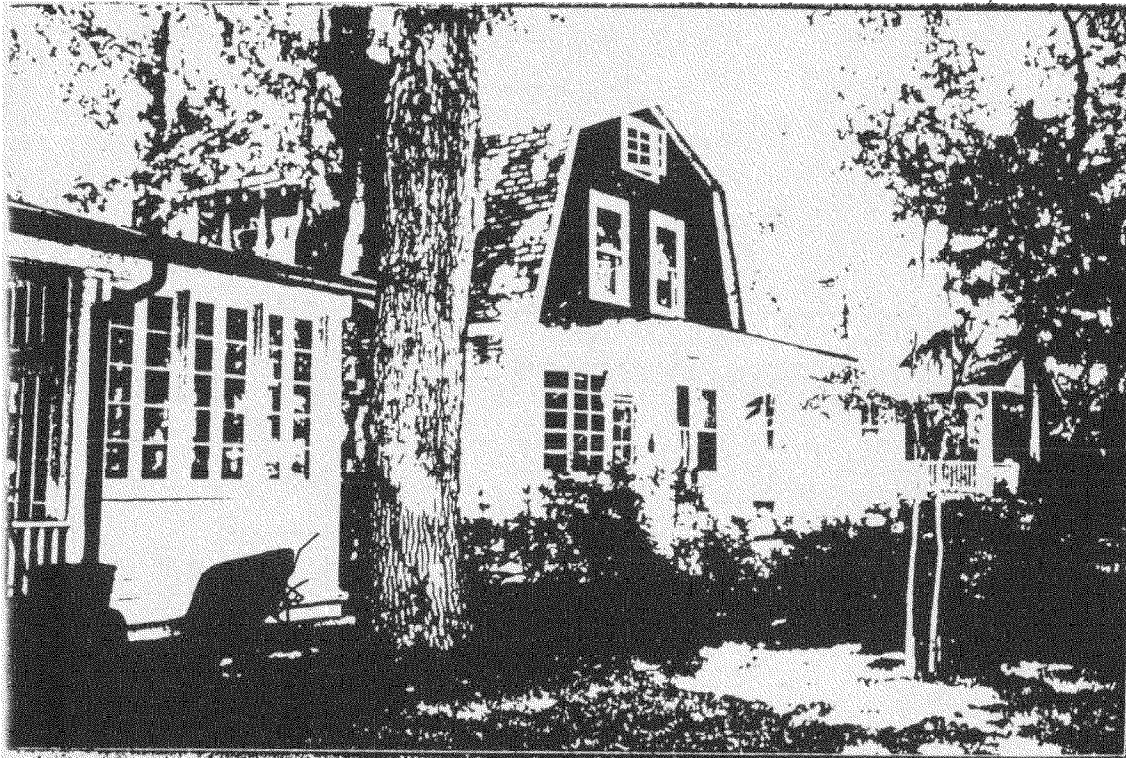
9302190068



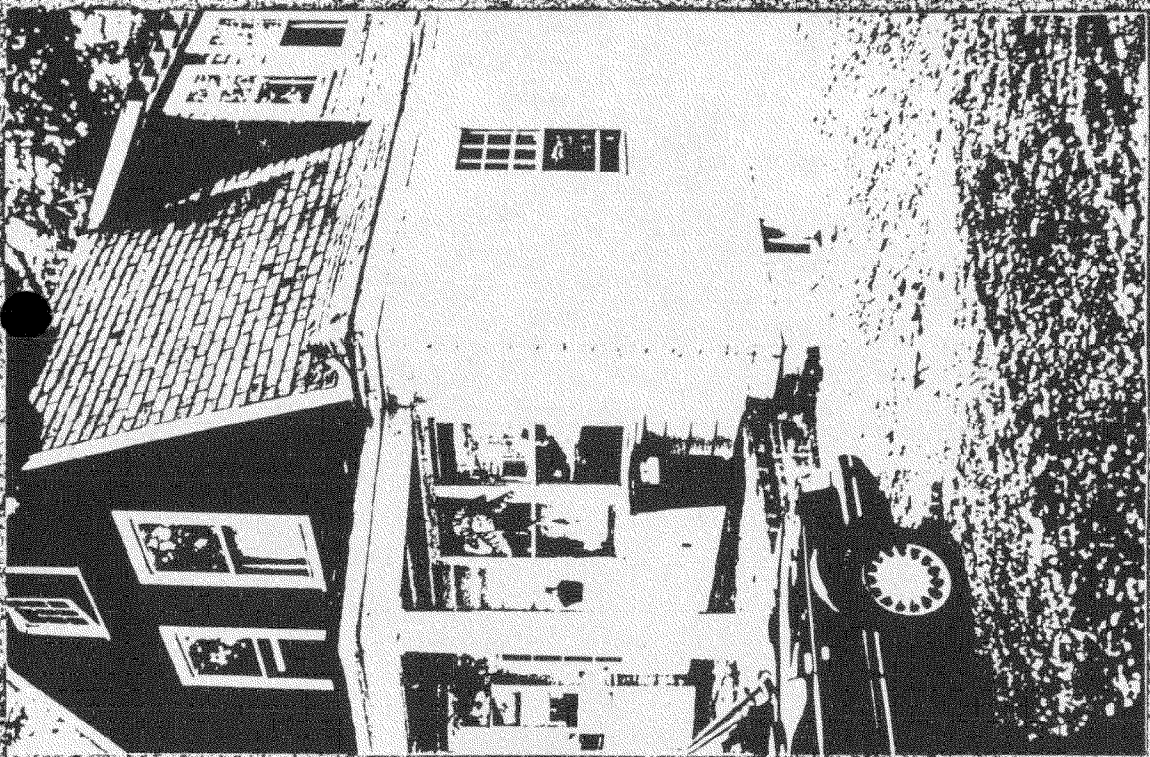
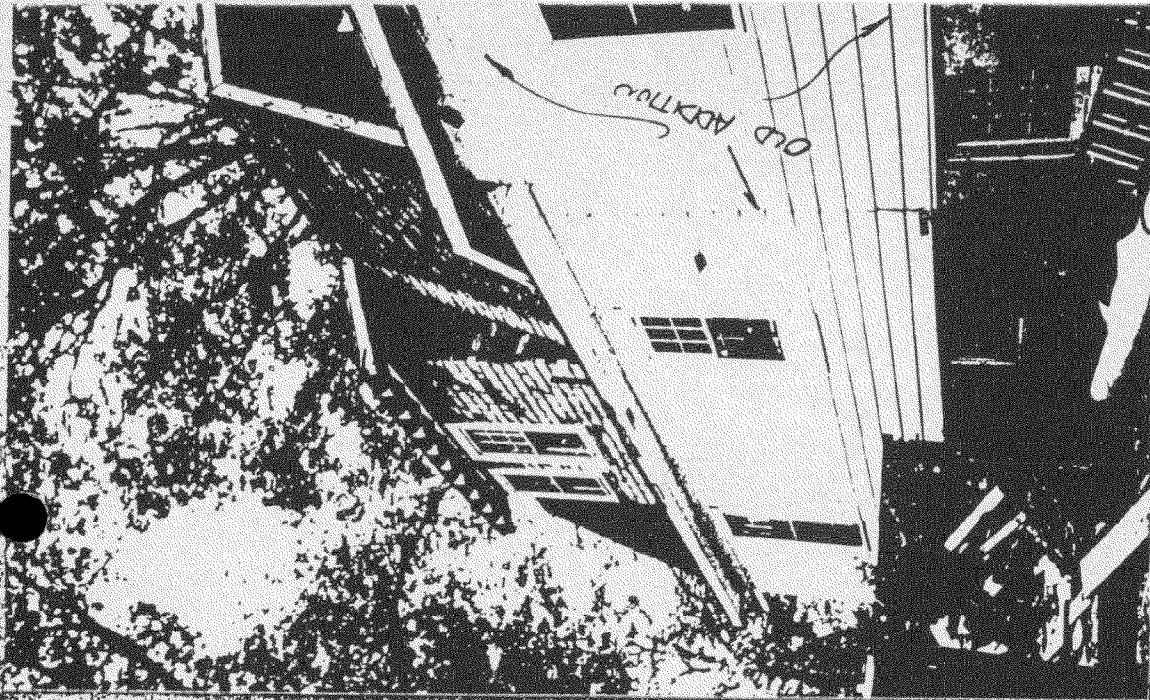
EAST / FRONT

19

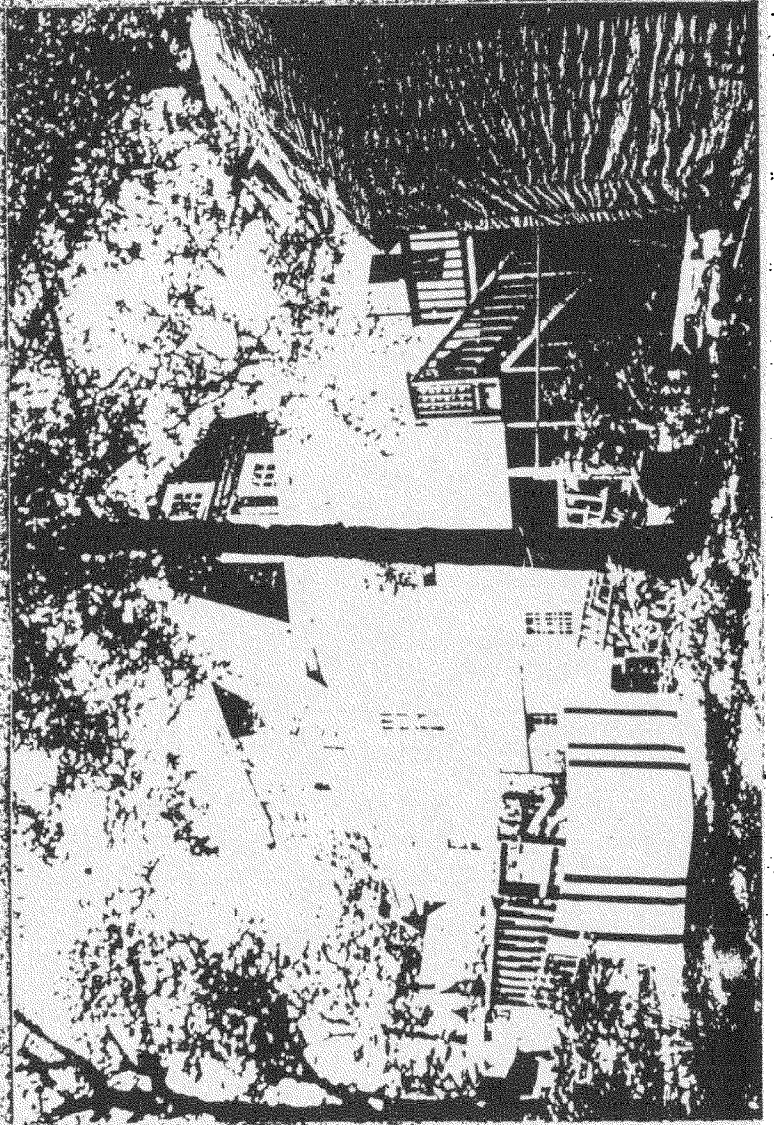




Southeast Front



NORTHEAST FRONT CORNER

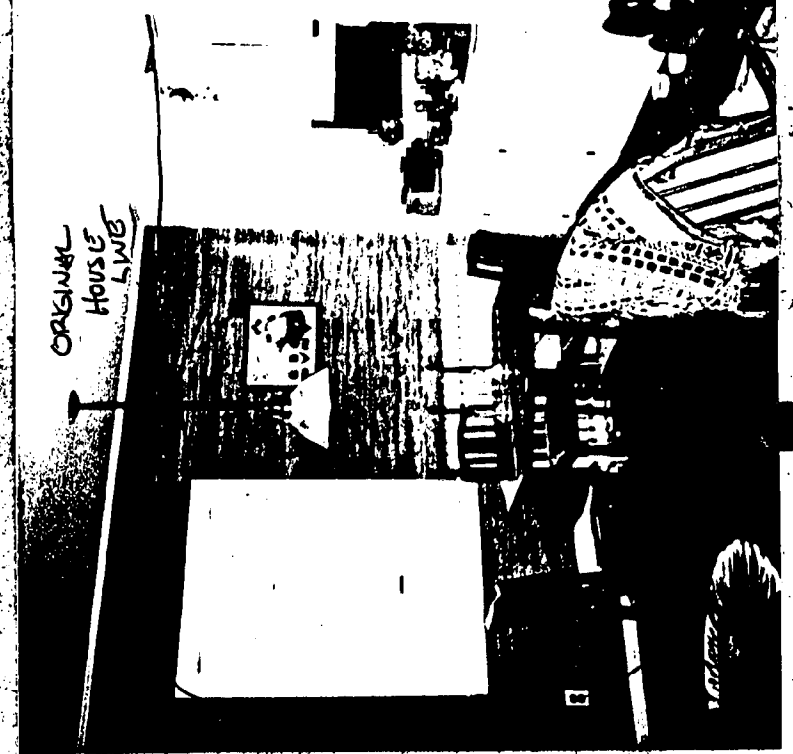
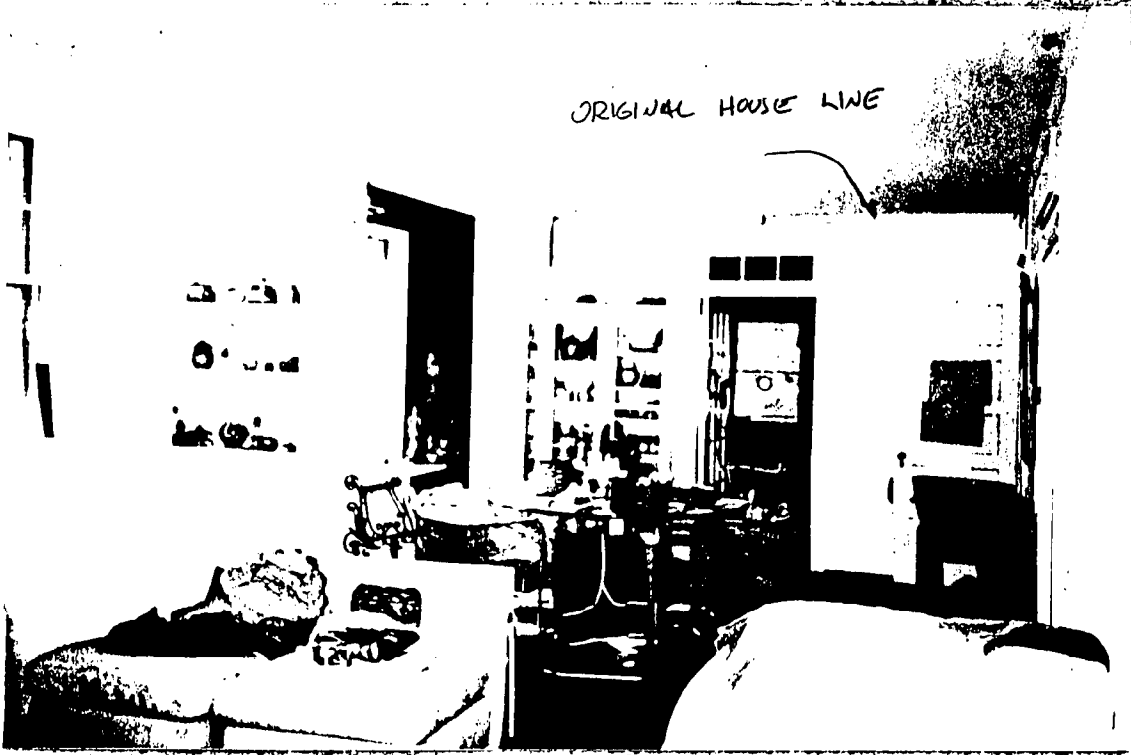


7224 SPRUCE AVE  
TAKOMA PARK

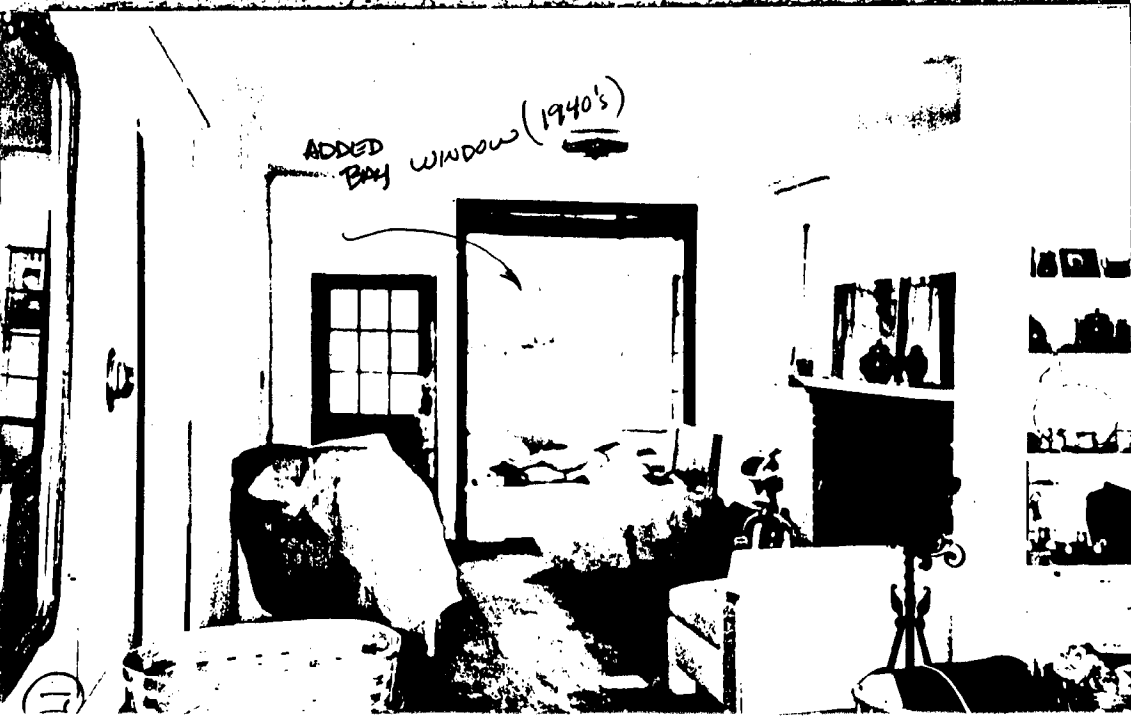
9302190068

115

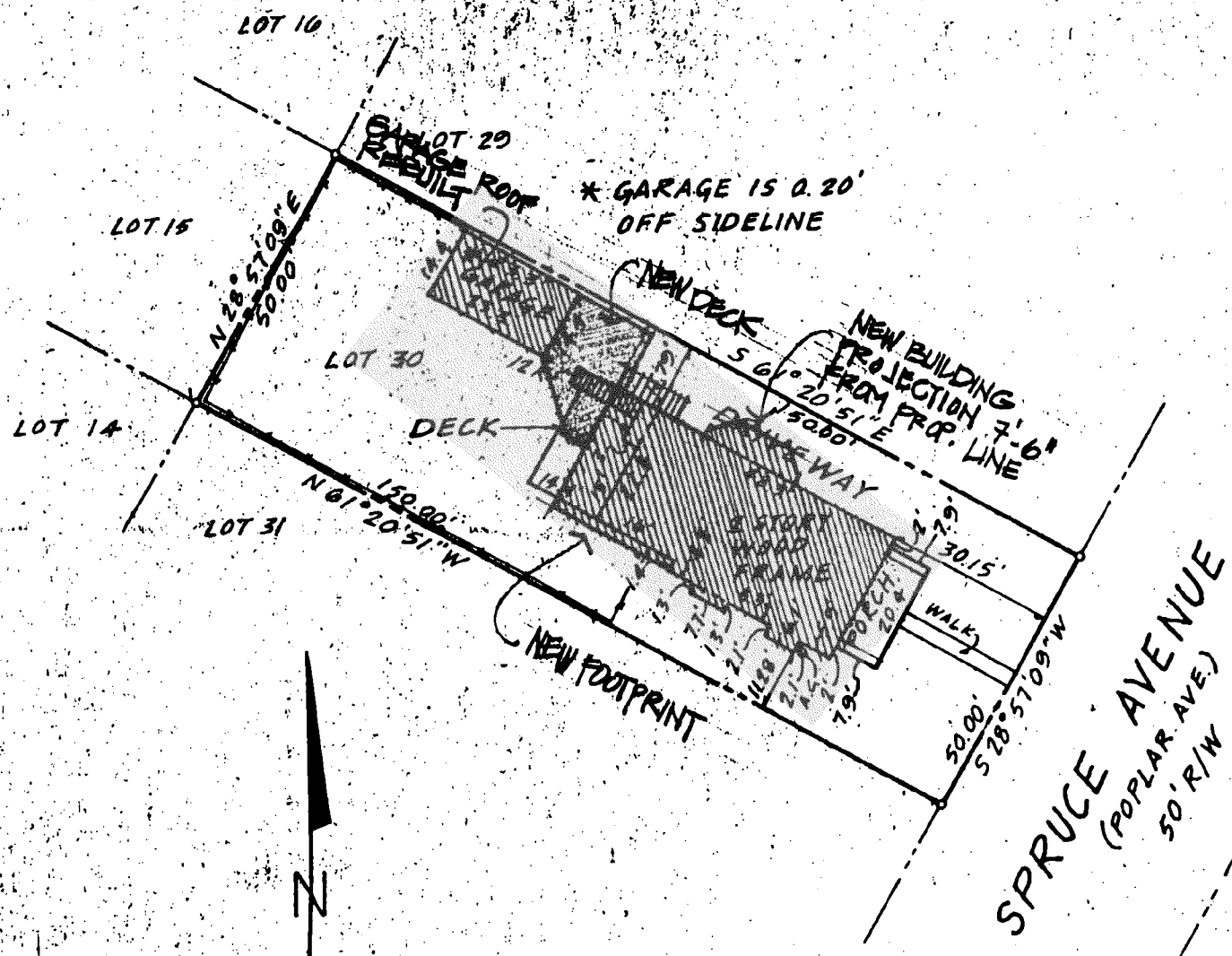
ORIGINAL HOUSE LINE



ADDED BAY WINDOW (1940's)



7224 SPRUCE AVE  
TAKOMA PARK

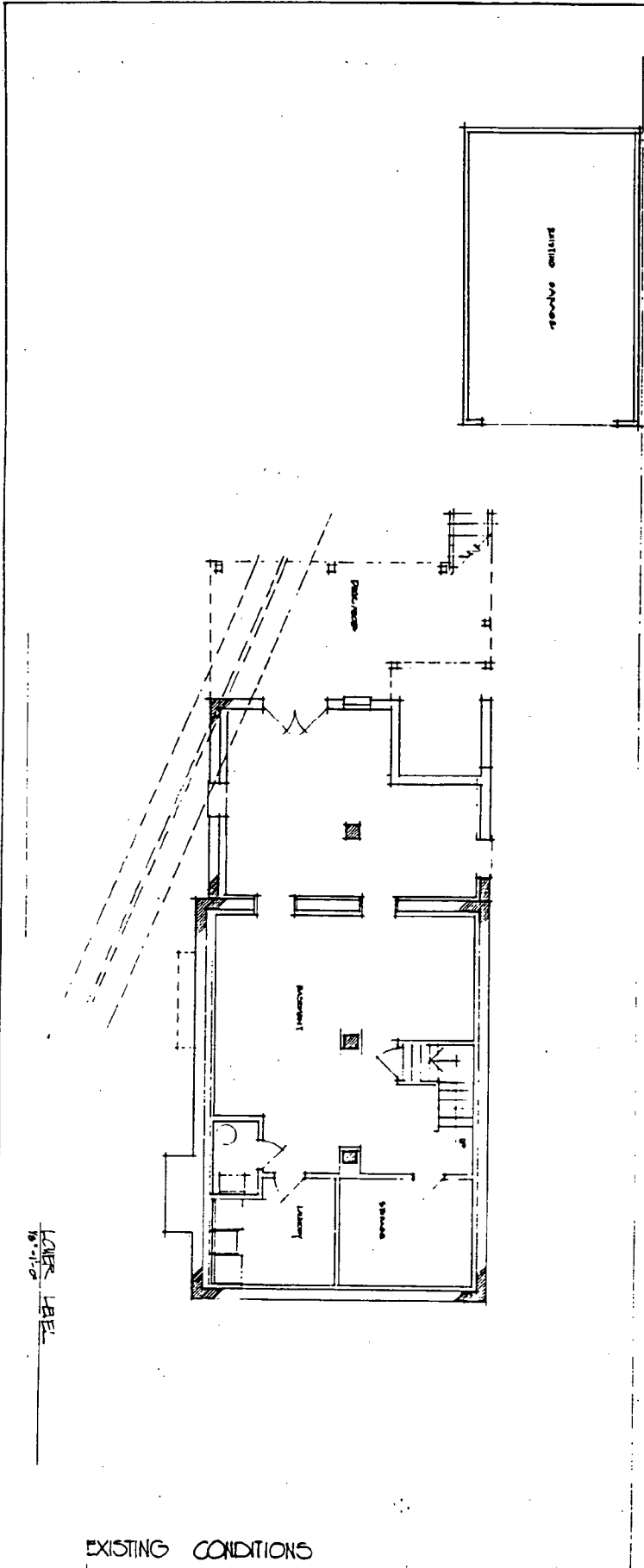


9302192062

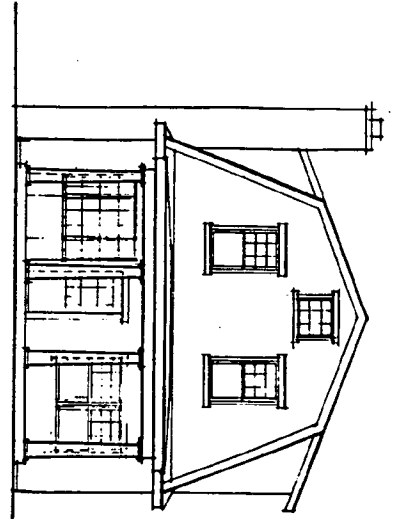
LIPSCOMB &  
(F  
EL  
MONTG  
SCALE: 1

ARI

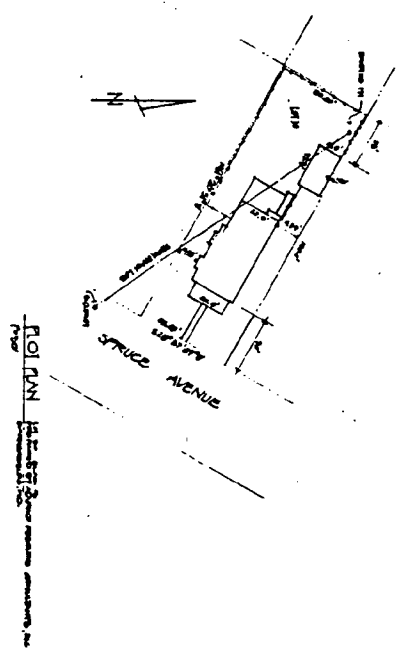
TR



EXISTING CONDITIONS



EAST ELEVATION



FLOOR PLAN

EXISTING CONDITIONS

LIVING LEVEL

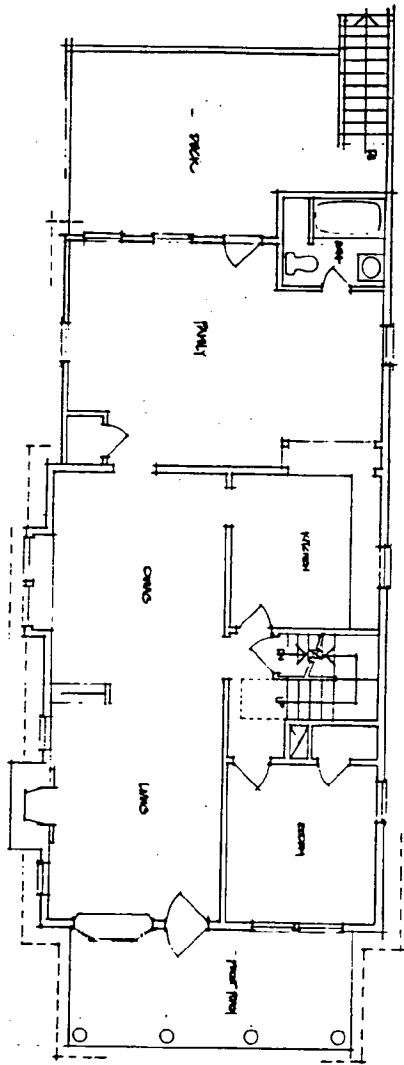
1

ALTERATIONS AND ADDITIONS TO THE  
HOUSTON RESIDENCE

GERARD H. KENDALL, DESIGNER  
624 INDIAN CREEK, ELDER SPRING, MD.

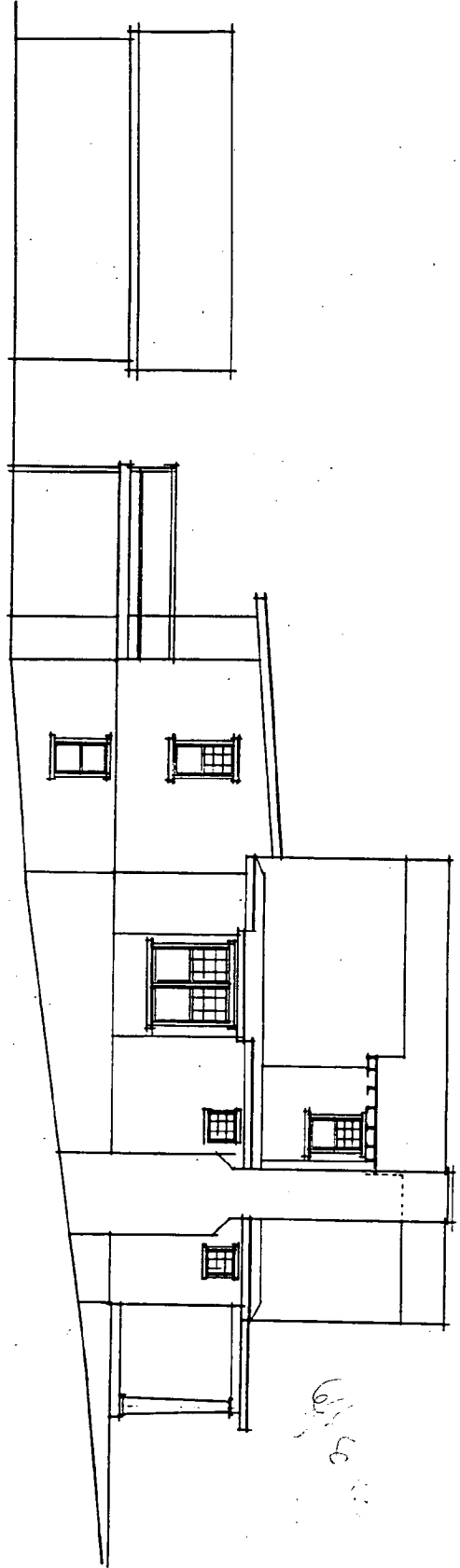
19

MAIN FLOOR / EXISTING



EXISTING CONDITIONS

SOUTH ELEVATION / EXISTING

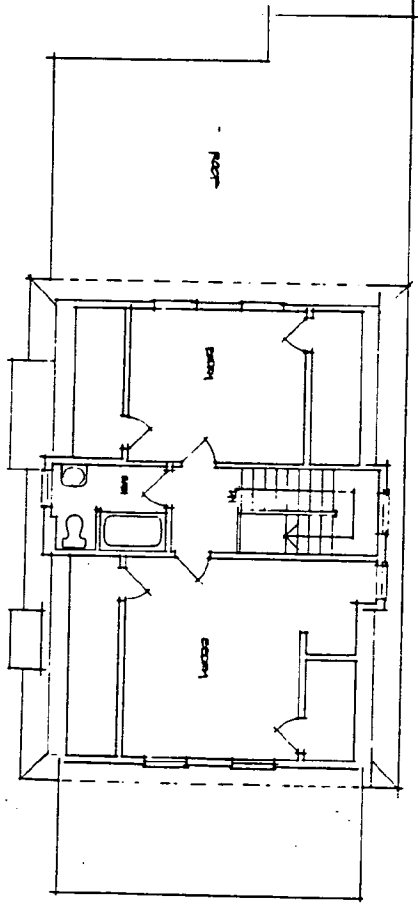
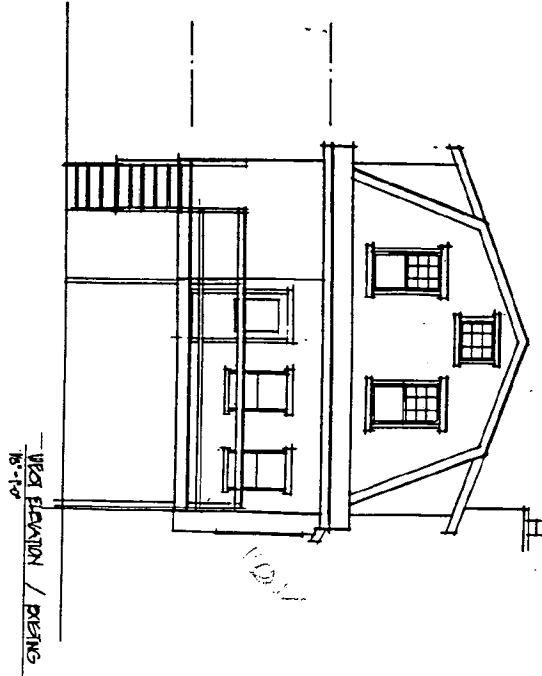


2

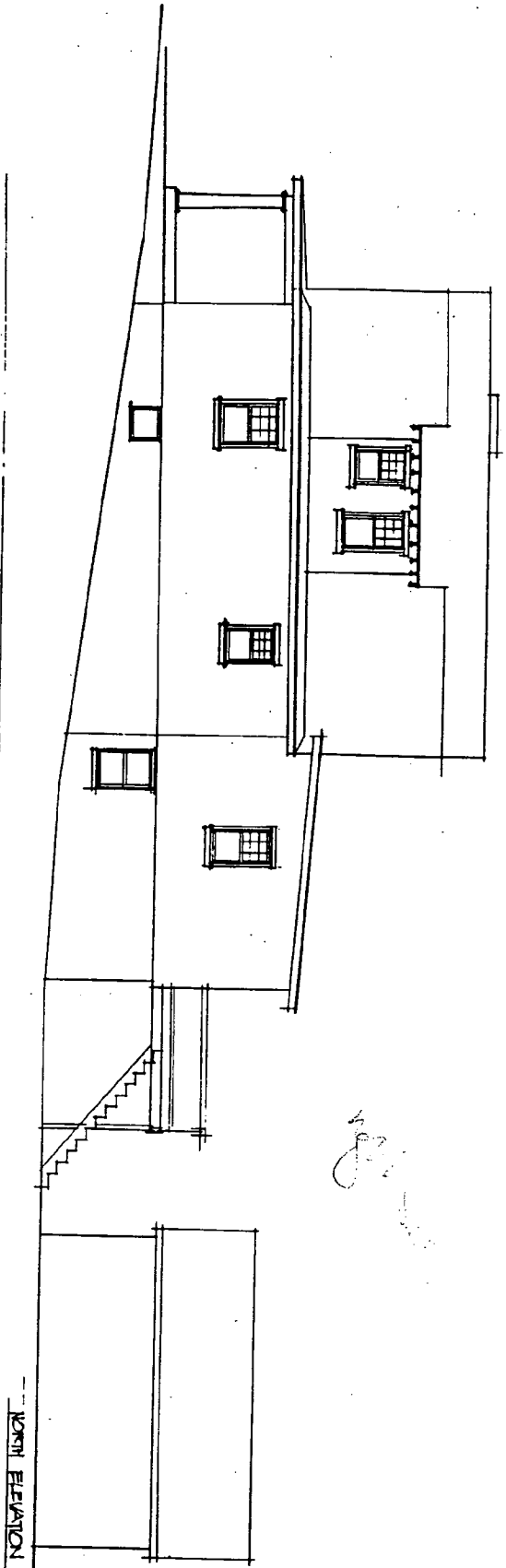
ALTERATIONS AND ADDITIONS TO THE  
HUSTON RESIDENCE

GERREN & RENDALL, ARCHITECTS

(2)



UPPER LEVEL / EXISTING



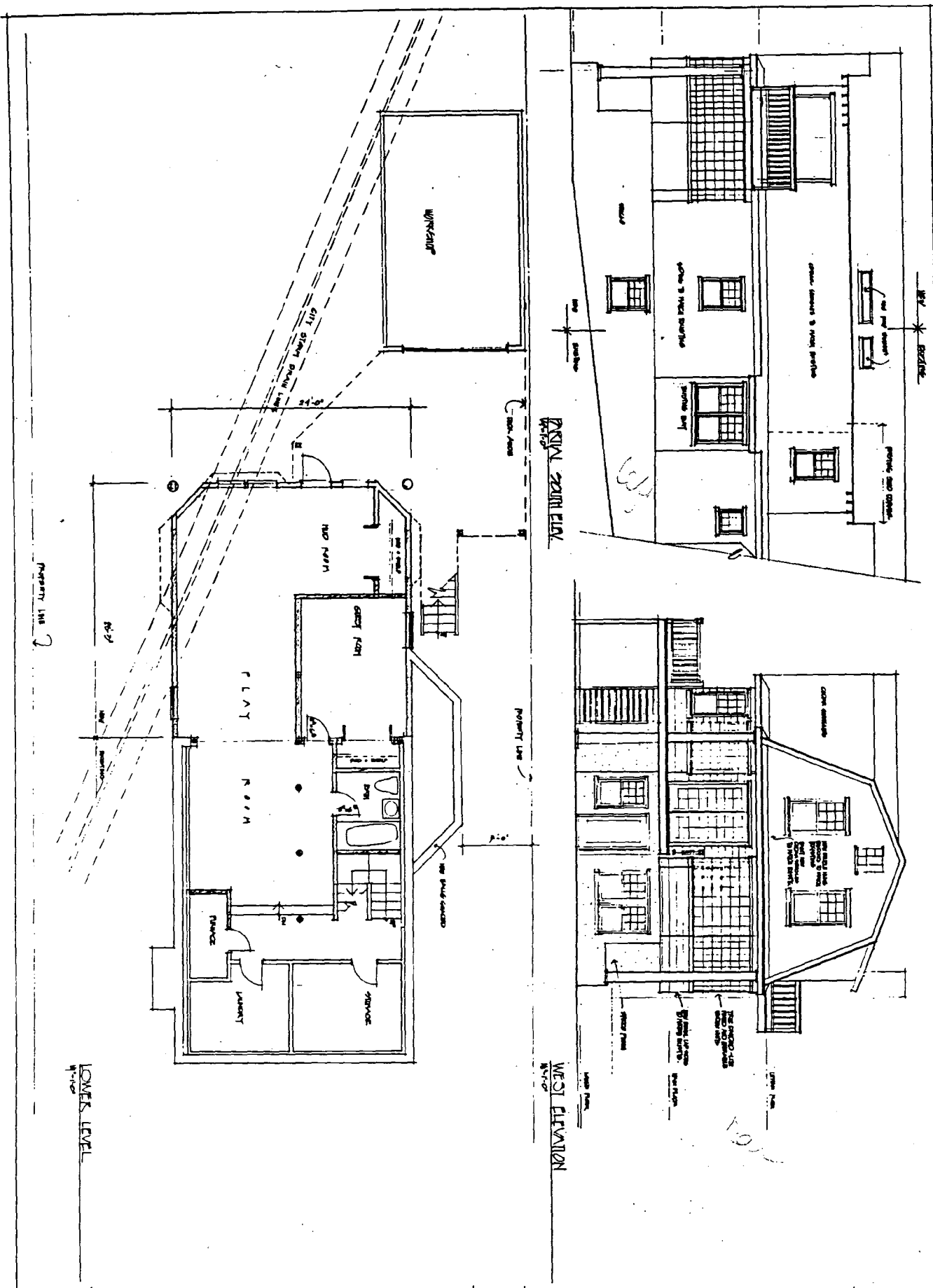
EXISTING CONDITIONS

3

ALTERATIONS AND ADDITIONS TO THE  
HUSTON RESIDENCE  
3224 SPRUCE ST. TAKOMA PARK, MARYLAND

STEPHEN H. KENDALL, DESIGNER,  
601 BRADY CT., CHEVER CHESS, MD.

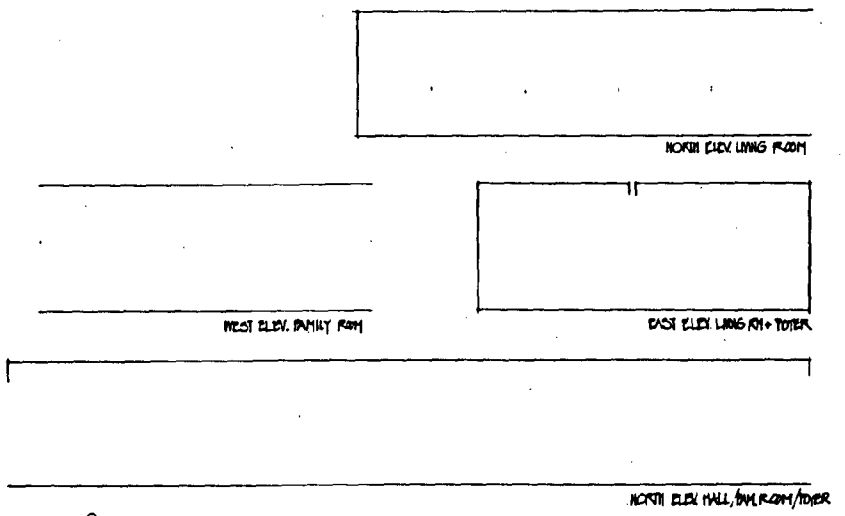
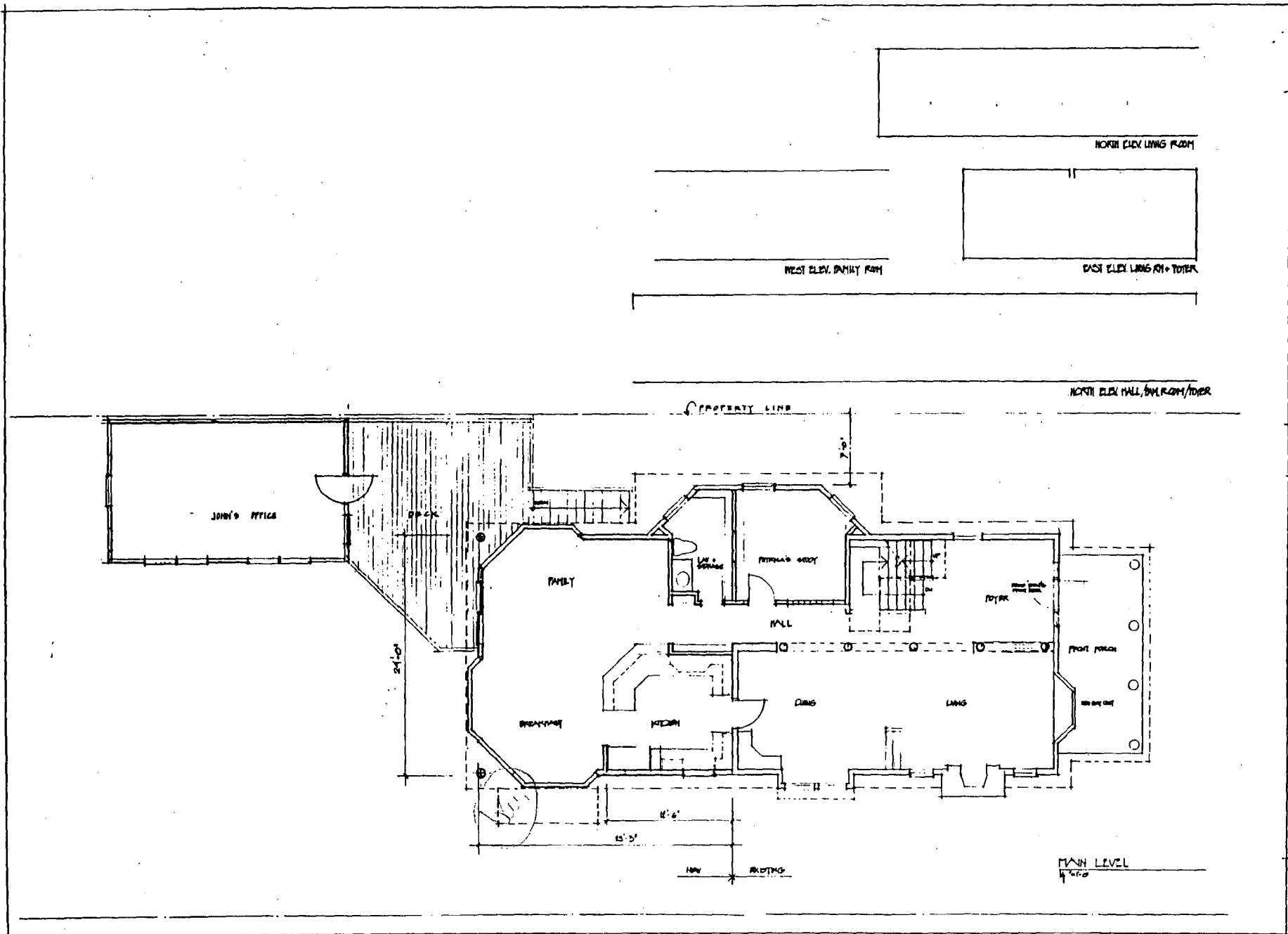
21



ADDITIONS AND ALTERATIONS TO THE  
 HUSTON - ROBERTS RESIDENCE

STUDIO KERRALL, AIA  
 604 INGRAM CT., SILVER SPRING, MD.



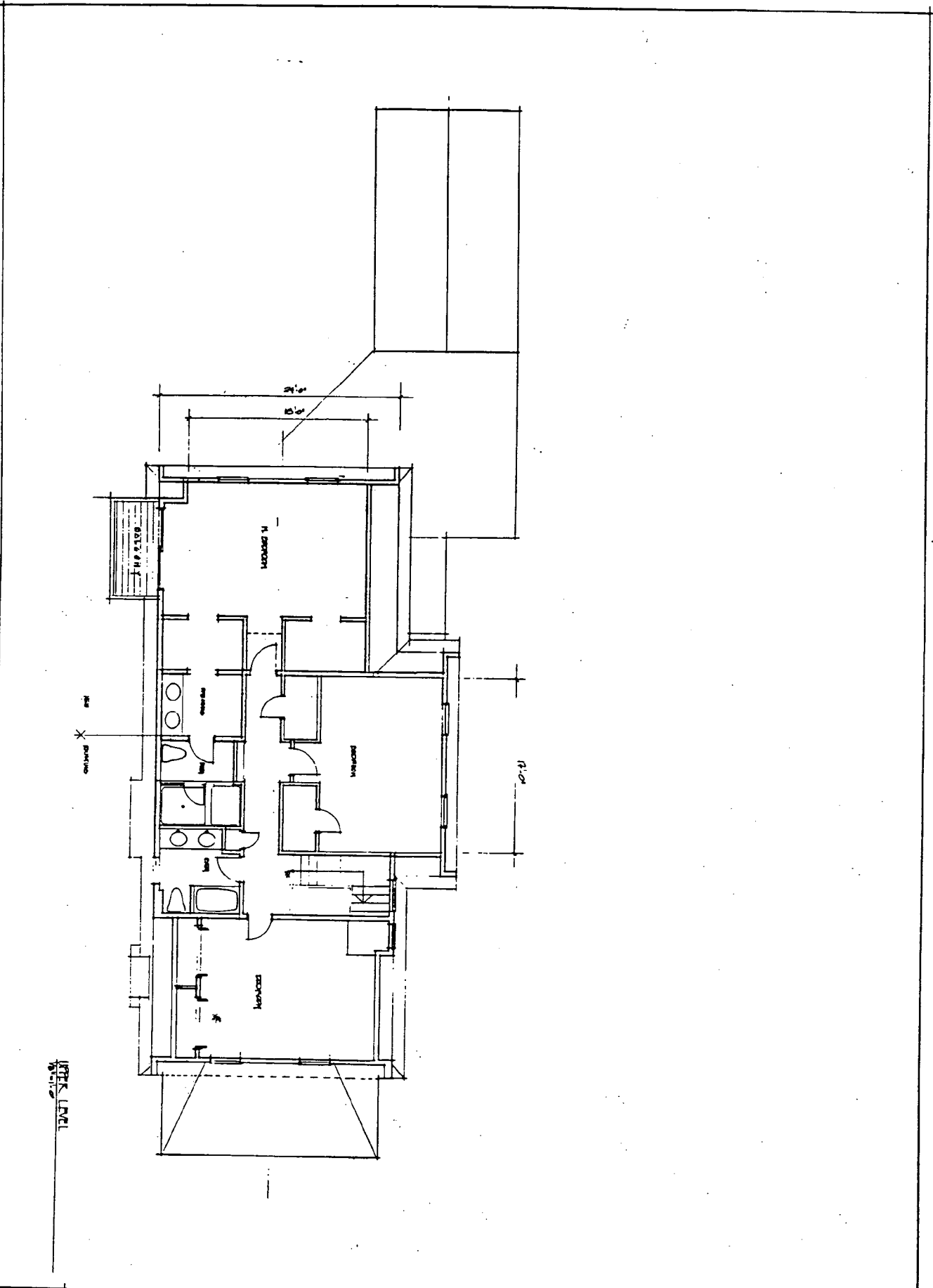


SEYMOUR KENDALL, AIA  
604 THOMAS ST. SUITE 100  
ANN ARBOR, MI 48106

1980-81

ADDITIONS AND ALTERATIONS TO THE  
HISTON ROBERTS RESIDENCE

2



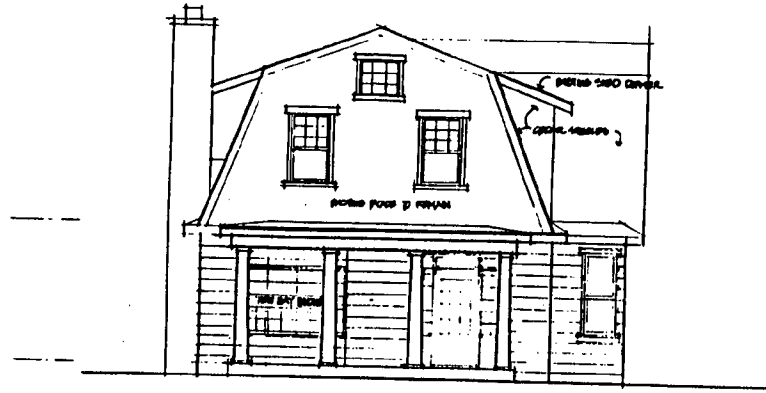
5

ADDITIONS AND ALTERATIONS TO THE  
HUSTON-ROBERTS RESIDENCE

1980, 81

STEVEN KENDALL, AIA  
601 WINDY CT., SILVER SPRING, MD.

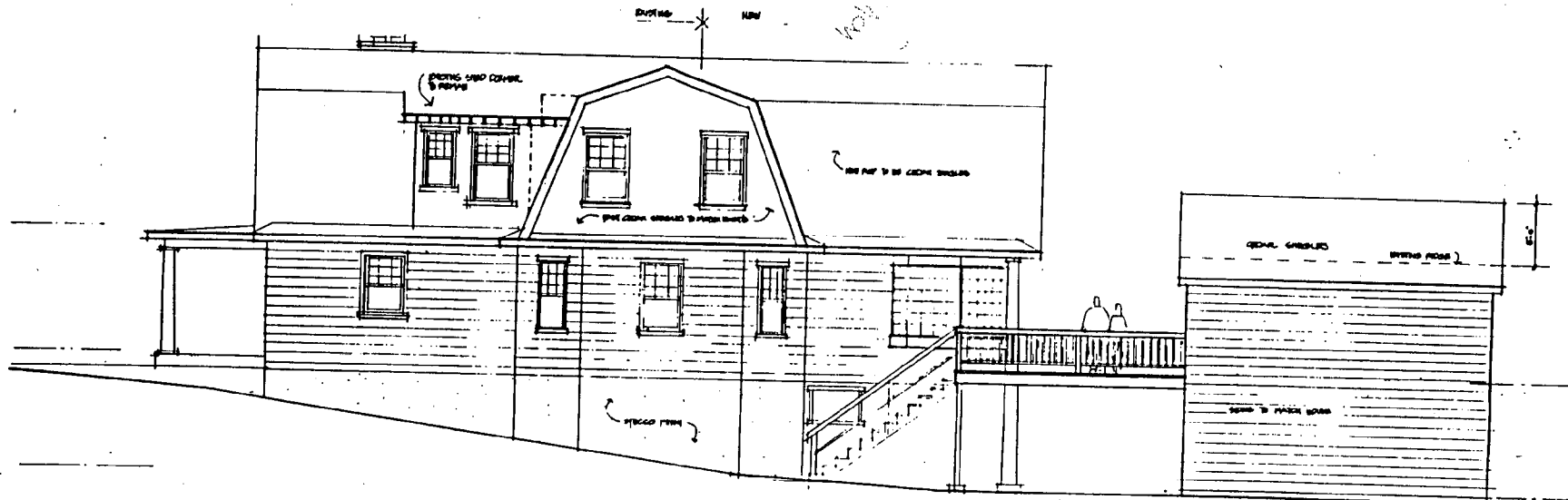
2A



EAST ELEVATION (SEE PAGE 24)  
4/11/07



PERSPECTIVE FROM STREET LEVEL



NORTH ELEVATION  
4/11/07

SHEREN HENDALL, AIA  
604 WINDY CT. SEBOR SPRING, VT

PROJECT

ADDITIONS AND ALTERATIONS TO THE  
HILTON-ROBERTS RESIDENCE

4

- o preservation of original building materials and use of appropriate, compatible new materials is encouraged
- o all changes and additions should respect existing environmental settings, landscaping, and patterns of open space

### Contributing Resources - Residential

A majority of structures in the Takoma Park Historic District have been assessed as being "Contributing Resources". While these structures may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. However, they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district).

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

- o all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required
- o minor alterations to areas that do not directly front on a public right-of-way - such as vents, metal stovepipes, air conditioners, fences, skylights, etc. - should be allowed as a matter of course; alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis
- o major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited

- o while additions should be compatible, they are not required to be replicative of earlier architectural styles
- o second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing
- o original size and shape of window and door openings should be maintained, where feasible
- o some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition
- o alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course
- o all changes and additions should respect existing environmental settings, landscaping, and patterns of open space

Non-Contributing/Out-of-Period Resources - Residential

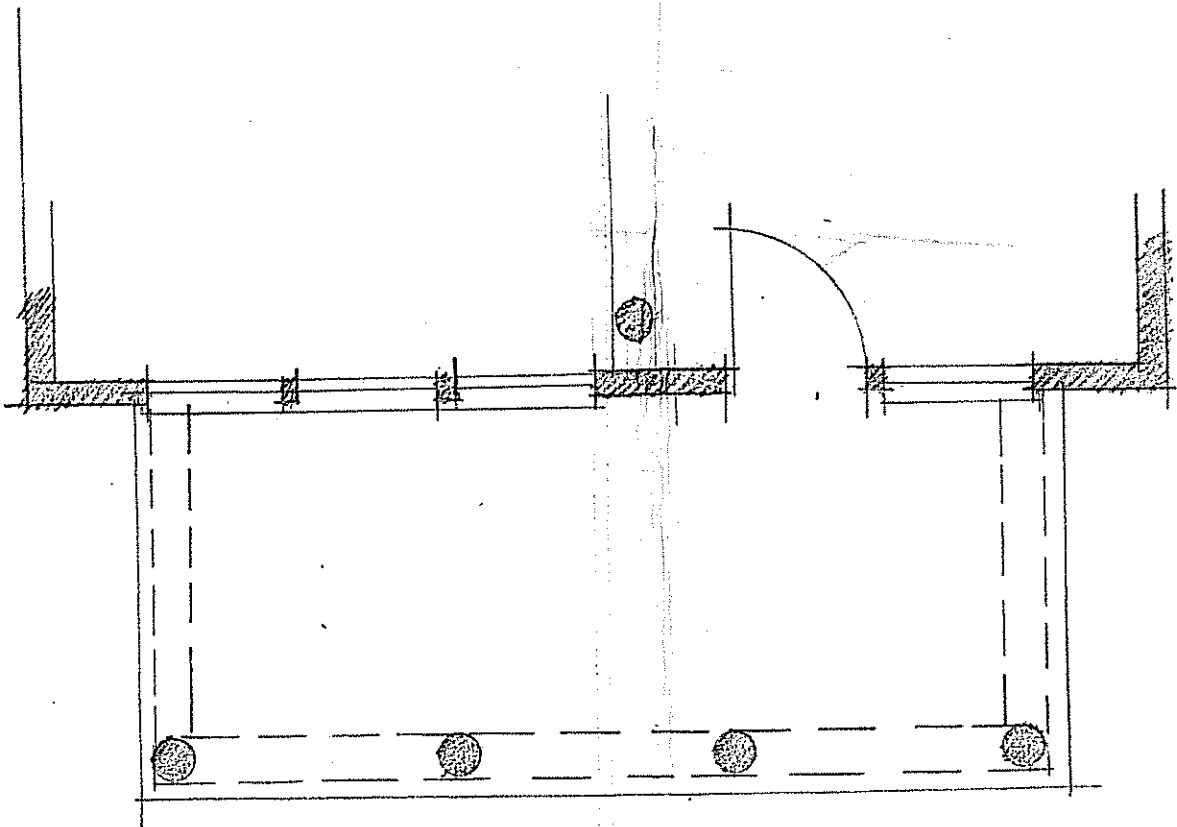
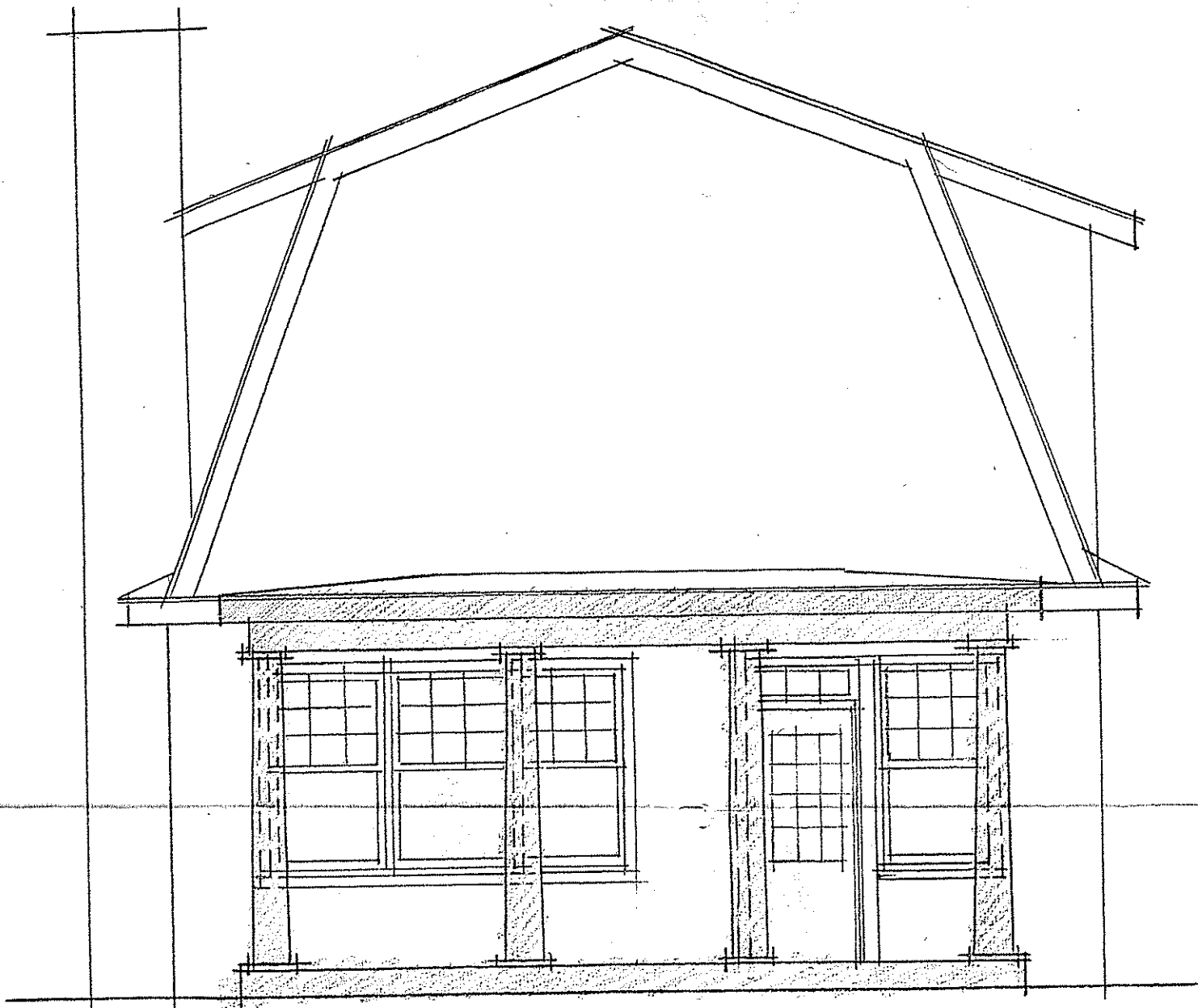
Non-Contributing/Out-of-Period Resources are either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district's primary periods of historical importance. These types of resources should receive the most lenient level of design review.

Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Demolition of Non-Contributing/Out-of-Period Resources should be permitted. However, any new building constructed in the place of a demolished building should be reviewed under the guidelines for new construction that follow.

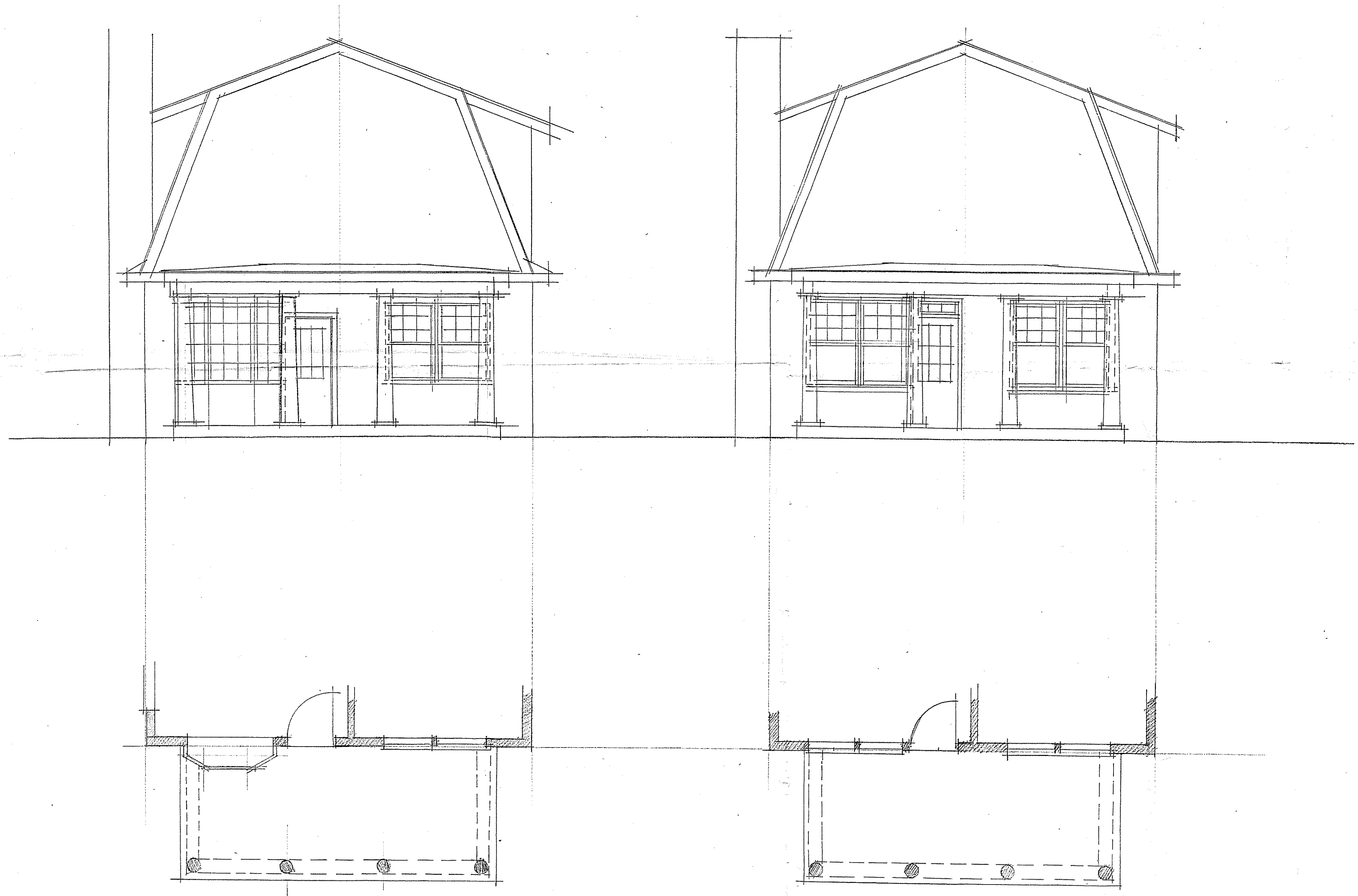
Commercial Areas: Takoma Old Town and Takoma Junction

The intent of including the Takoma Old Town and Takoma Junction areas within the Takoma Park Historic District is to recognize the historic importance of these commercial nodes in the development and growth of the City of Takoma Park. It is not the intent of historic designation to stop or limit new



PROPOSED

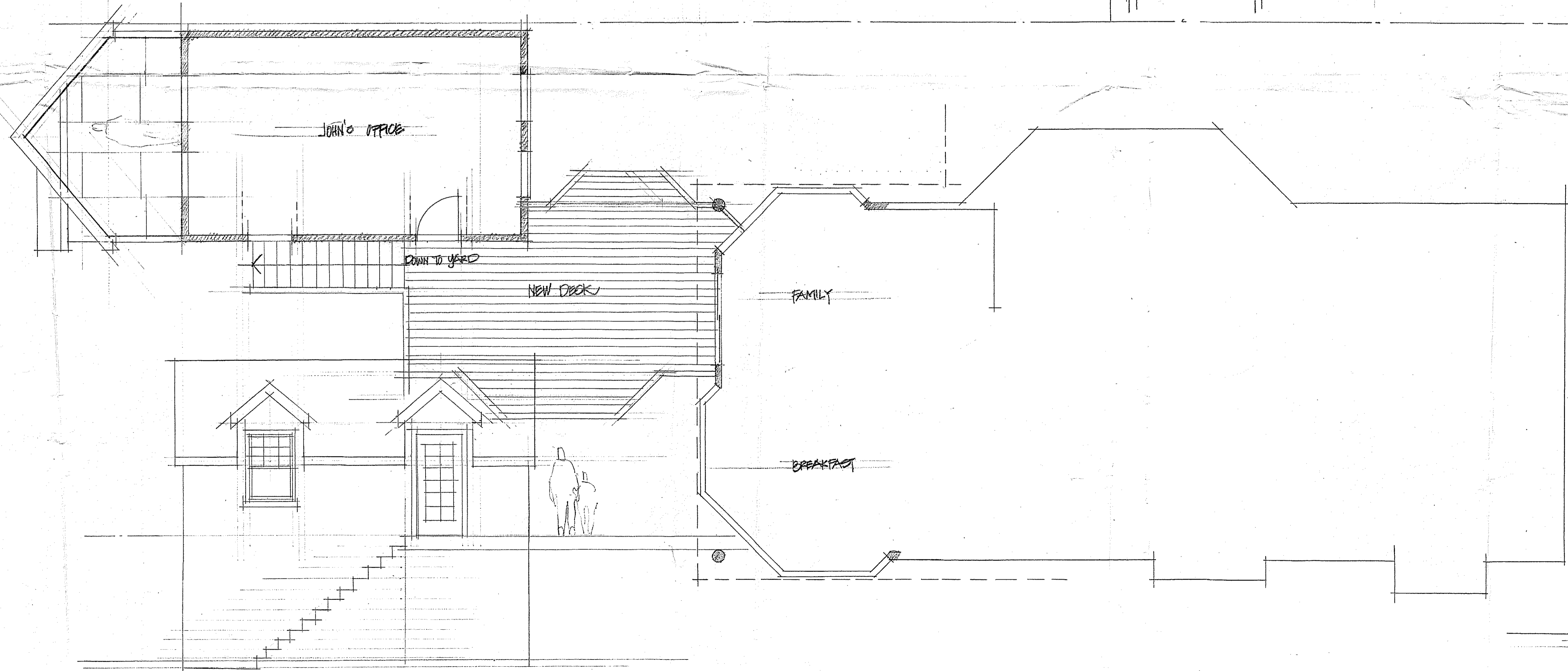
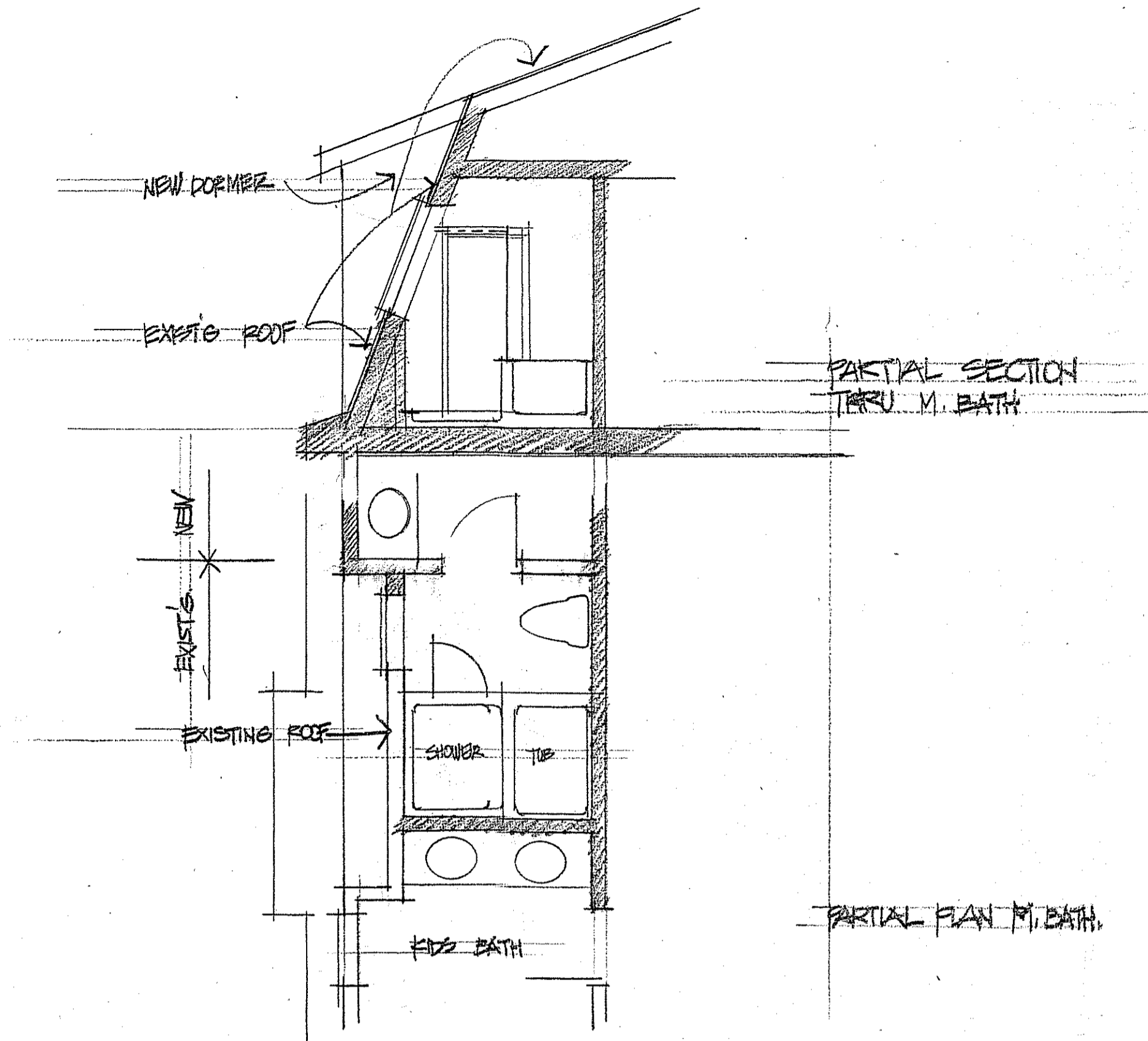
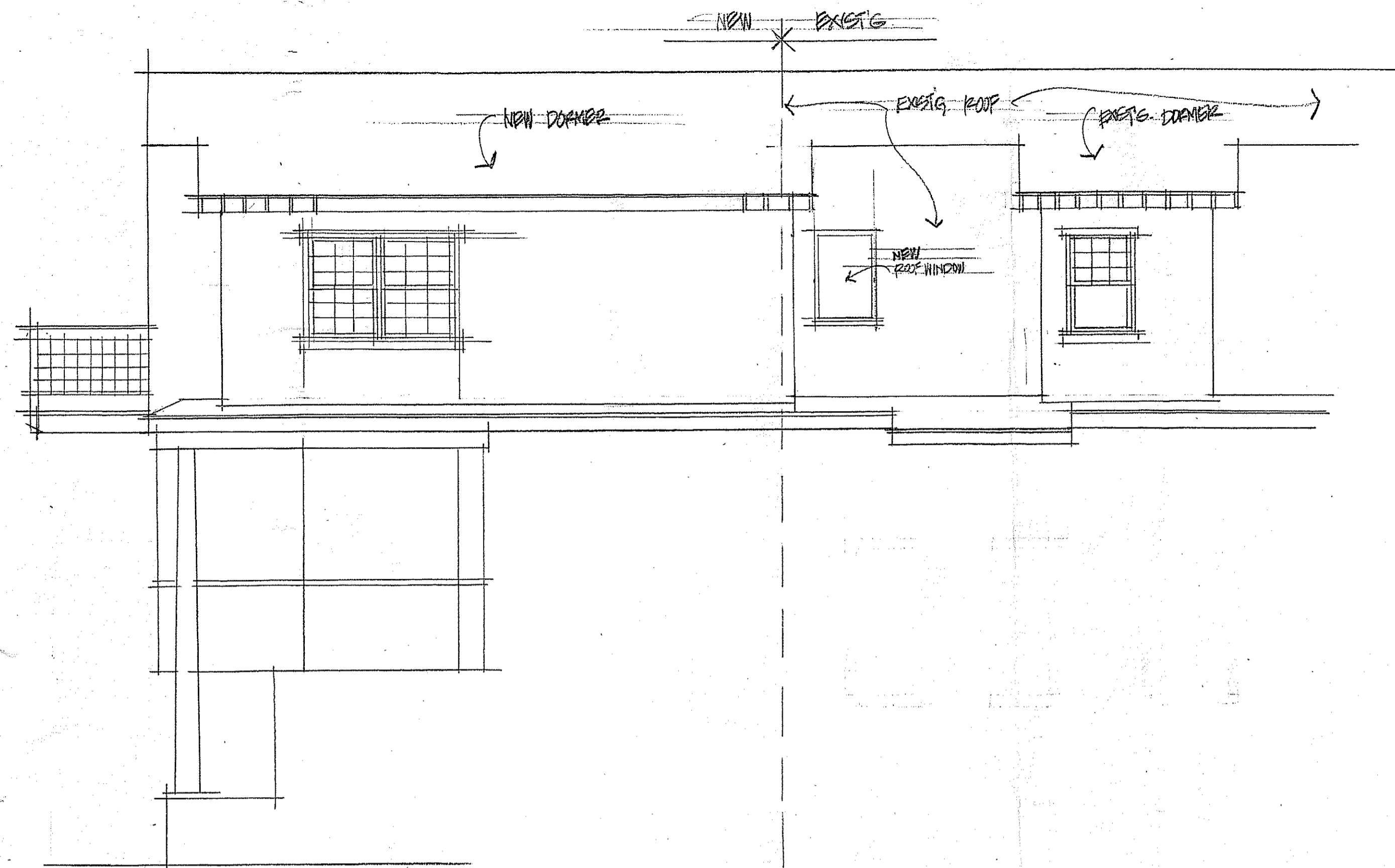
1 AP '93



PRESENT CONDITION

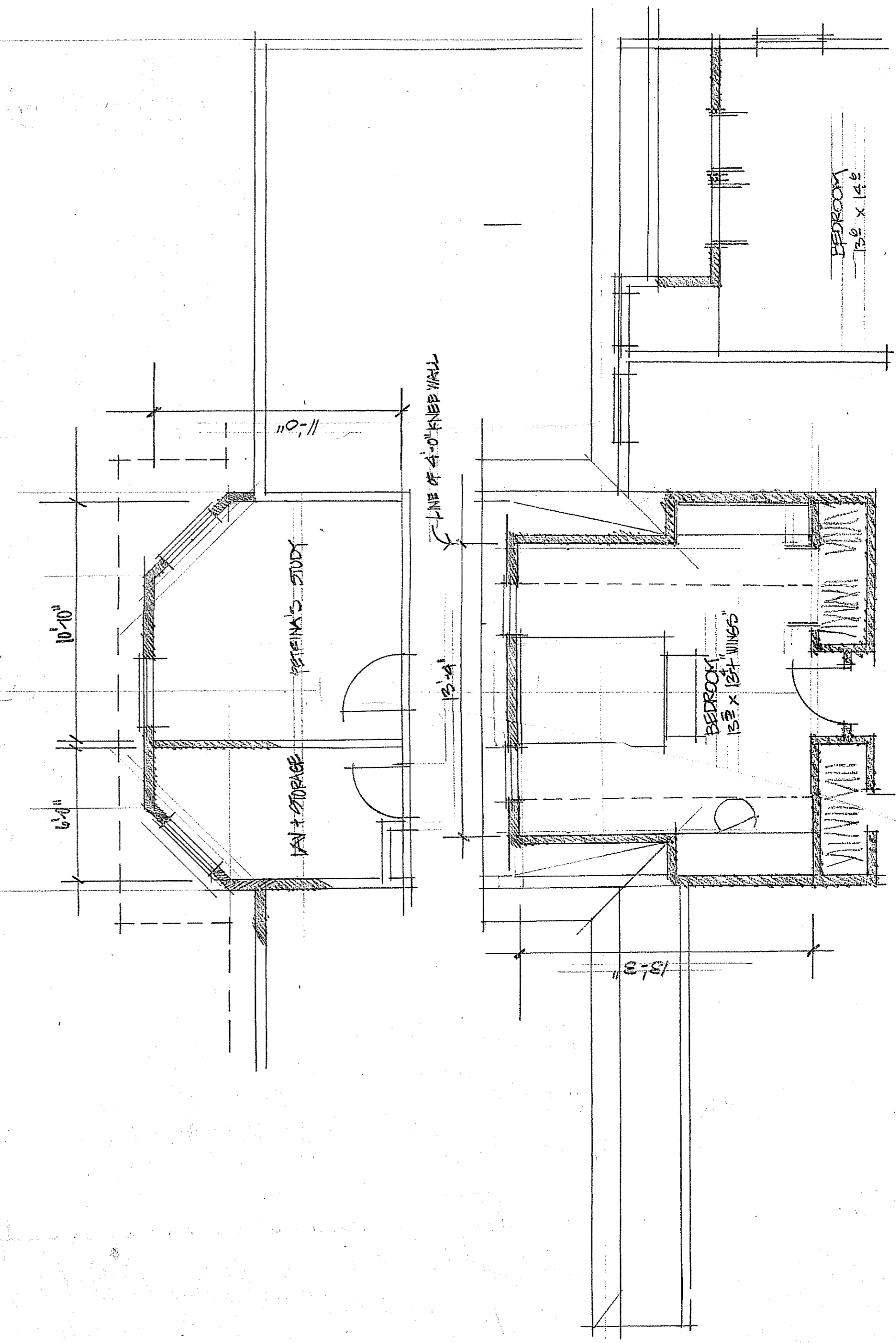
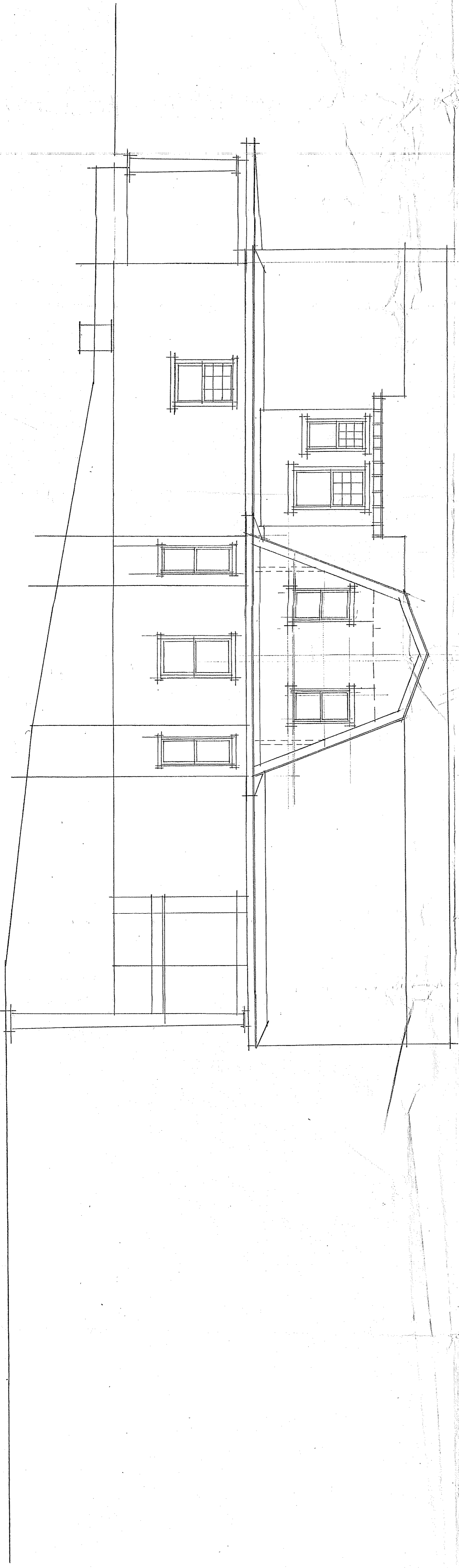
SURMISED ORIGINAL CONDITION AS BUILT

1AP93



REVISED GARAGE/DECK  
 APRIL 93





**THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION  
8787 GEORGIA AVENUE  
SILVER SPRING, MARYLAND 20907**