

#37/3-94CC Cont'd 506 Tulip Avenue
Takoma Park Historic District

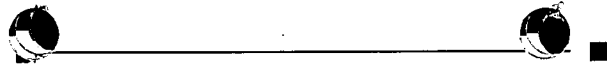
**THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
8787 GEORGIA AVENUE
SILVER SPRING, MARYLAND 20907**

*Rauitz
506 Tulip Avenue
Takoma Park District District
MPC 8/11/94*

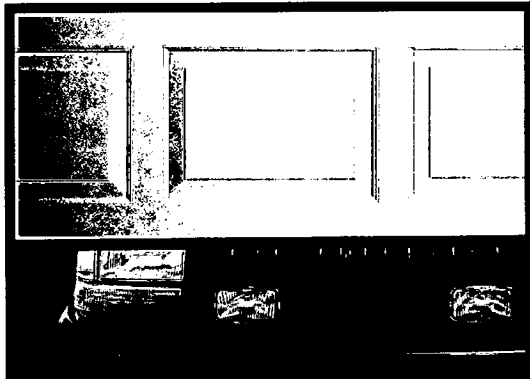








**GARAGE DOOR
SELECTION GUIDE**



**OVERHEAD DOOR
CORPORATION**





the original since 1921

Overhead Door Corporation. The Original.

We're called "the original" for a reason. Overhead Door Corporation was the pioneer of the garage door and opener industry, producing the first upward-lifting garage door in 1921, and the first electric door opener in 1926. Through superior craftsmanship, innovation, and over 70 years of engineering excellence, we remain the experts in automatic garage door systems, extending our leadership by continuously providing the highest quality products and the best service in the industry.

Our unique, nationwide network of independent distributors provides professional sales and service locally. Each distributor proudly operates under the Overhead Door banner trademark and each shares our Overhead Door name. No other door company can claim that kind of support. For information on any of our products, and all the answers to your garage door and opener needs, contact your local Overhead Door distributor.



**The Original, The Leader, The Best.
The One to Trust.**

STEEL DOORS

Overhead Door Corporation steel garage doors are the popular choice, combining durability and low maintenance with the attractive appearance of an embossed wood-grain texture. Each door is crafted from hot-dipped, galvanized steel and finished with a 2-coat, baked-on paint process for maximum protection against rust. Insulated models provide energy savings and enhanced structural rigidity. Bottom weatherstripping is standard on all steel doors to help protect from wind and rain infiltration. Optional window panels, with an array of decorative window trim designs, allow you to customize your door to perfectly accent the style of your home.



A NEW STEEL DOOR

ADDS BEAUTY AND VALUE

TO MOST ANY HOME,

WHILE ENSURING LOW

MAINTENANCE AND

RELIABLE OPERATION.

190 SERIES



Model 194

The 190 Series is a premium quality, insulated garage door. Choose a classic raised panel design (Model 194), a contemporary flush panel design (Model 195), or a decorative French Provincial raised panel design (Model 197). All models feature the high quality of our patented Thermacore® metal-foam-metal sandwich construction. Interior and exterior surfaces of the door are made from hot-dipped galvanized steel, coated with a baked-on primer, then finished with a baked-on coat of white or brown polyester top coat paint for maximum protection against rust. The core of foamed-in-place polyurethane insulation provides exceptional energy efficiency. Full width weatherseals between door sections, and an EPDM, bulb-type bottom weatherseal enhance the door's superior thermal efficiency and protect against wind and rain infiltration.

Polyester Top Coat
Baked-on Prime Coat
Hot-dipped Galvanizing
Steel Substrate
Polyurethane Foam Insulation
(R-Value = 12.76)



194 White

194 Brown

195 White

197 White



ENVIRONMENTALLY SAFE

The polyurethane foam in Thermacore insulated doors do not contain any CFCs or HCFCs, which are found in other manufacturers' insulating materials and are proven to be harmful to the earth's atmosphere.



LIMITED LIFETIME WARRANTY

Overhead Door Corporation's 190 Series door is sold with a limited lifetime warranty against section rust-through for as long as you own your home, and a limited one-year warranty for workmanship, material, and installation. See your local Overhead Door Distributor for details.

390 SERIES



Model 391

The 390 Series has polystyrene insulation, providing an attractive energy efficient door with superior structural rigidity. Model 391 features the classic raised panel woodgrain design. Model 394 has a contemporary flush panel woodgrain appearance. Both will complement most any style of home. Interior and exterior surfaces of the door are hot-dipped galvanized steel, coated with a baked-on primer, then finished with baked-on polyester top coat paint for maximum protection against rust. The 390 Series door is available with a white, almond or brown exterior finish. An EPDM, bulb-type bottom weatherseal enhances the door's superior thermal efficiency and protects against wind and rain infiltration.

Polyester Top Coat
Baked-on Prime Coat
Hot-dipped Galvanizing
Steel Substrate
Polystyrene Insulation
(R-Value = 4.35)



391 White

391 Almond

391 Brown

394 White



LIMITED LIFETIME WARRANTY

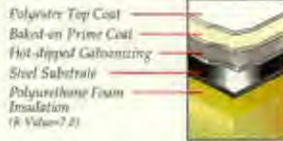
Overhead Door Corporation's 390 Series door is sold with a limited lifetime warranty against section rust-through for as long as you own your home, and a limited one-year warranty for workmanship, material, and installation. See your local Overhead Door Distributor for details.

290 SERIES



Model 297

The 290 Series door is an affordably priced, insulated door, combining energy-saving economy with a handsome appearance. Select a classic raised panel design (Model 297) or a contemporary flush panel design (Model 298). Both feature the high quality of our patented Thermacore® metal-foam-metal sandwich construction. Interior and exterior surfaces of the door are made from hot-dipped galvanized steel, coated with a baked-on primer, then finished with a baked-on, white polyester top coat paint for maximum protection against rust. The foamed-in-place polyurethane insulation provides exceptional energy efficiency. An EPDM, bulb-type bottom weatherstrip conforms to uneven floor surfaces and protects against wind and rain infiltration.



297 Series

298 Series



ENVIRONMENTALLY SAFE

The polyurethane foam in Thermacore insulated doors do not contain any CFCs or HCFCs, which are found in other manufacturers' insulating materials and are proven to be harmful to the earth's atmosphere.

LIMITED WARRANTY

Overhead Door Corporation products are sold with a one-year limited warranty for workmanship, material, and installation by the Distributor of The "OVERHEAD DOOR."

240 SERIES



Model 241

The classic style of raised panels adorn the 240 Series door. Choose the traditional standard raised panel (Model 241) or the ranch style elongated raised panel (Model 245). Both are made from hot-dipped galvanized steel, coated with a baked-on primer, then finished on both sides with white or almond polyester top coat paint for maximum protection against rust. Closed-box center stiles add rigidity and are bonded to the door panels with a structural adhesive, eliminating the need for unsightly, rust-promoting rivets. A limited lifetime warranty for as long as you own your home is your guarantee of top quality construction.



241 White

245 White



241 Almond

245 Almond



LIMITED LIFETIME WARRANTY

Overhead Door Corporation's 240 Series door is sold with a limited lifetime warranty against section rust-through for as long as you own your home, and a limited one-year warranty for workmanship, material, and installation. See your local Overhead Door Distributor for details.

183 SERIES



Model 183

Stately raised panels and embossed woodgrain texture enhance the beauty of the Model 183 door. The door is constructed from hot-dipped galvanized steel, coated with a baked-on primer. Then both sides are finished with a baked-on polyester top coat, in white or brown, for maximum protection against rust. Painted closed-box center stiles add rigidity and are bonded to the door panels with a structural adhesive, eliminating the need for unsightly rust-promoting rivets. A limited lifetime warranty for as long as you own your home is your guarantee of top quality construction. An EPDM, bulb-type bottom weatherseal protects against wind and rain infiltration.



183 White

183 Brown



LIMITED LIFETIME WARRANTY

Overhead Door Corporation's 180 Series door is sold with a limited lifetime warranty against section rust-through for as long as you own your home, and a limited one-year warranty for workmanship, material, and installation. See your local Overhead Door Distributor for details.

280 SERIES



Model 281

The economical 280 series door has an embossed woodgrain texture which accentuates the beauty of classic style raised panels (Model 281) or ranch style elongated raised panels (Model 285). The 280 Series is constructed from hot-dipped galvanized steel, painted with a 2-coat, baked-on polyester paint. Closed-box, galvanized center stiles add rigidity and are bonded to the door panels with structural adhesive, eliminating the need for unsightly rust-promoting rivets. A bottom weatherstrip protects against wind and rain infiltration.



Model 281

Model 285

LIMITED WARRANTY

Overhead Door Corporation's products are sold with a one-year limited warranty for workmanship, material, and installation by the Distributor of The "OVERHEAD DOOR."

WOOD DOORS

The natural beauty of wood and expert craftsmanship abound in this exceptional array of wood garage doors. From the classic lines of a recessed panel, to the pure elegance of a hardwood raised panel, Overhead Door Corporation can provide the door to perfectly blend with the architectural style of your home. To further refine the door to your taste, select from a wide variety of panel configurations from narrow to elongated panel designs. Add the finishing touch with decorative window trim, available in several attractive designs. All wood garage doors are delivered ready to accept your paint or stain.



THE NATURAL BEAUTY
OF A NEW WOOD DOOR
ADDS ELEGANT APPEAL
TO ANY HOME.

104 SERIES



Model 104

Master-crafted from exotic Meranti hardwood, the 104 Signature Series door brings pure elegance to any home. Select optional custom-crafted hardwood window designs to add a unique and dramatic look.



104 Series

153 SERIES



Model 153

Our 153 Signature Series door is precision cut from 3/4" solid hemlock or redwood and offers an extraordinary array of appealing raised and routed panel designs to choose from. Optional hardwood window designs allow you to further express your individuality and good taste.



153 Series

151 SERIES



Model 151

Routed shadow-grooves provide a decorative accent to this door's attractive recessed panel appearance. Exterior grade hardboard panels framed with kiln-dried hemlock enhance the durability of this handsome door.



151 Series

201 SERIES



Model 201

Constructed from top quality 1-3/8" thick lumber with exterior grade hardboard panels, this economical door provides a traditional recessed panel design that will blend with the architectural style of most any home.



201 Series

204 SERIES



Model 204

Classic SureWood® raised panels are made from high-density hardboard, molded with a woodgrain texture, providing the natural look of wood at an economical price. Deep shadowlines provide rich, appealing character.



204 Series

SureWood® is a registered trademark of Masonite Corporation

124/126 SERIES



Model 126

The appearance of wood with the economy of insulation. Flush hardboard panels are pressure bonded with polystyrene insulation resulting in an energy-saving low-cost door. The 124 Series features a smooth panel surface, and the 126 Series has a rustic rough-sawn wood texture.



Model 126

DECORATIVE ACCENTS

Window Options

For optimum light transmission, window panels are available with either insulated or non-insulated glass. Our outstanding selection of window trim designs will provide the finishing touch for your Overhead Door Corporation garage door.

Madison I



Madison II



Stockton



Winston



Ruston I



Ruston II



Sherwood



Cathedral I



Cathedral II



Williamsburg I



Williamsburg II
for Wood Doors



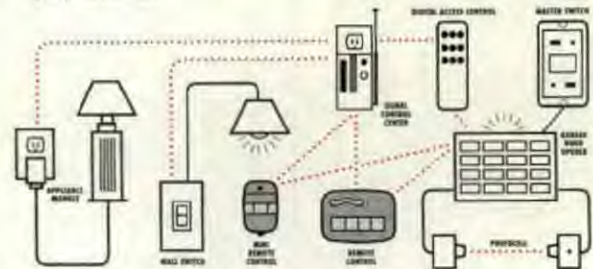
Williamsburg III
for Steel Doors



CONVENIENT AUTOMATION

Access Control System

The Overhead Door Corporation Access Control System is an integrated system of products designed to work together to provide you and your family with security, convenience and control. Choose from a full line of products, all backed by Overhead Door Corporation quality and reliability.



Garage Door Openers

What better way to automate your new garage door than with a genuine Overhead Door Corporation garage door opener system. It provides time-saving convenience, reliable operation, and the comfort of increased security. There are many models to choose from to suit any size door or budget.



Packet-Sized Power

The compact Mini Remote Control conveniently fits on a keychain, or in your pocket, and can control multiple functions of the Access Control System.



Security at Your Convenience

The Digital Access Control wireless entry pad lets you operate any Overhead Door garage door opener by entering a private 4-digit security code.

Photocell

A photocell safety sensor is a standard feature on every Overhead Door Corporation garage door opener. A beam of infrared light crosses the garage door opening, if anything breaks the beam, the system automatically reverses a closing door, or prevents an open door from closing.



LIMITED LIFETIME WARRANTY

All Overhead Door Corporation's residential garage door openers are sold with a limited lifetime warranty on the motor, for as long as you own your home. See your local Overhead Door Distributor for details.

Rugged Durability

Every steel and wood garage door from Overhead Door Corporation comes with heavy-duty hardware for long lasting, reliable operation. Hardware includes galvanized track and fully tubed hinges, high performance rollers and a high quality counterbalance system. Bottom weatherstripping is standard on all steel doors and available as an option on all wood doors.



American Made

All Overhead Door garage doors and openers are made in the United States, with the highest quality materials and craftsmanship. We believe the best products in the world can be produced right here at home, in the United States. And we're proving it, just as we have for over 70 years. Overhead Door Corporation—the original, the leader, the best!

Limited Warranty

All Overhead Door Corporation's products are sold with a one-year limited warranty for workmanship, materials and installation by the distributor of The "OVERHEAD DOOR". In addition, some models carry a limited lifetime warranty far as long as you own your home. See your local Overhead Door Distributor for details.

Consistent with our policy of continuing product improvement, we reserve the right to change product specifications without notification or obligation.

FOR THE OVERHEAD DOOR DISTRIBUTOR NEAREST YOU OR FOR INFORMATION ON OTHER OVERHEAD DOOR PRODUCTS, CALL 1-800-929-DOOR.



the original since 1921

Overhead Door Corporation
P.O. Box 809046
Dallas, Texas 75380-9046
1-800-929-DOOR

Please call:

301.436.3856

~~(office)~~

(301) 270-1979

Pat - call for
Victoria Mattes
SOS Tully, neighbor
of Reutz and his
company - she's
opposed (so far!) →

Larry Ravitz

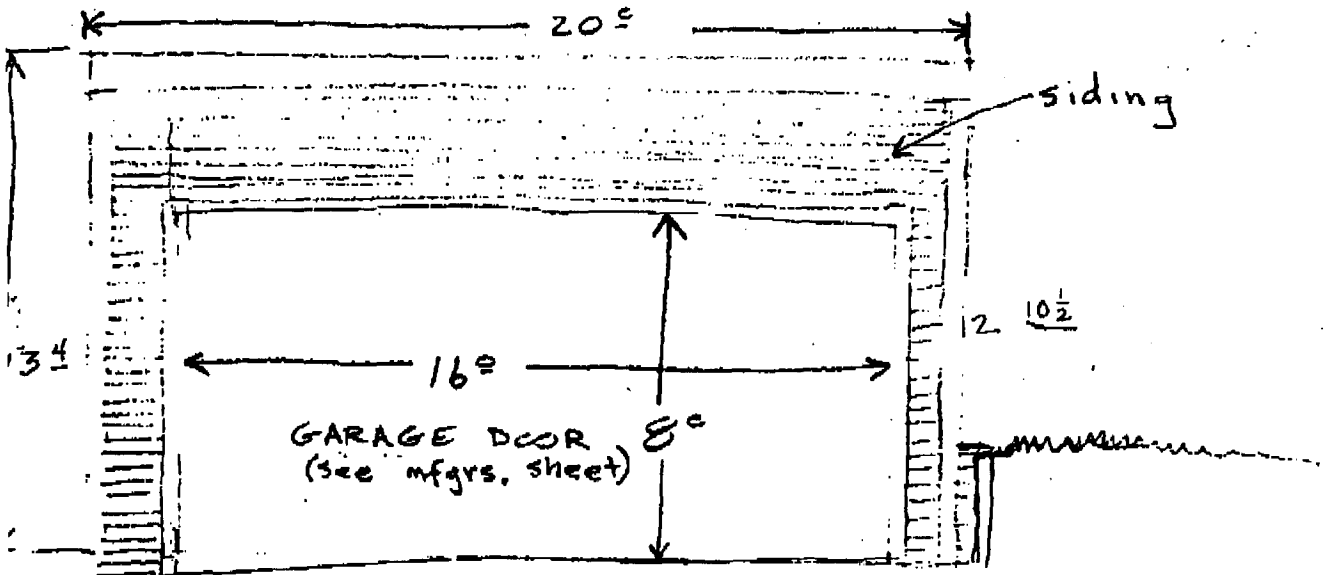
7521 Blair Road, #14
Takoma Park, MD 20912
301/589-5305
FAX: 301/589-2534

FAX

From: Larry Ravitz
To: PAT PARKER
Phone (FAX): 495-1307
Date: 9-15-95
Number of pages including cover: 2

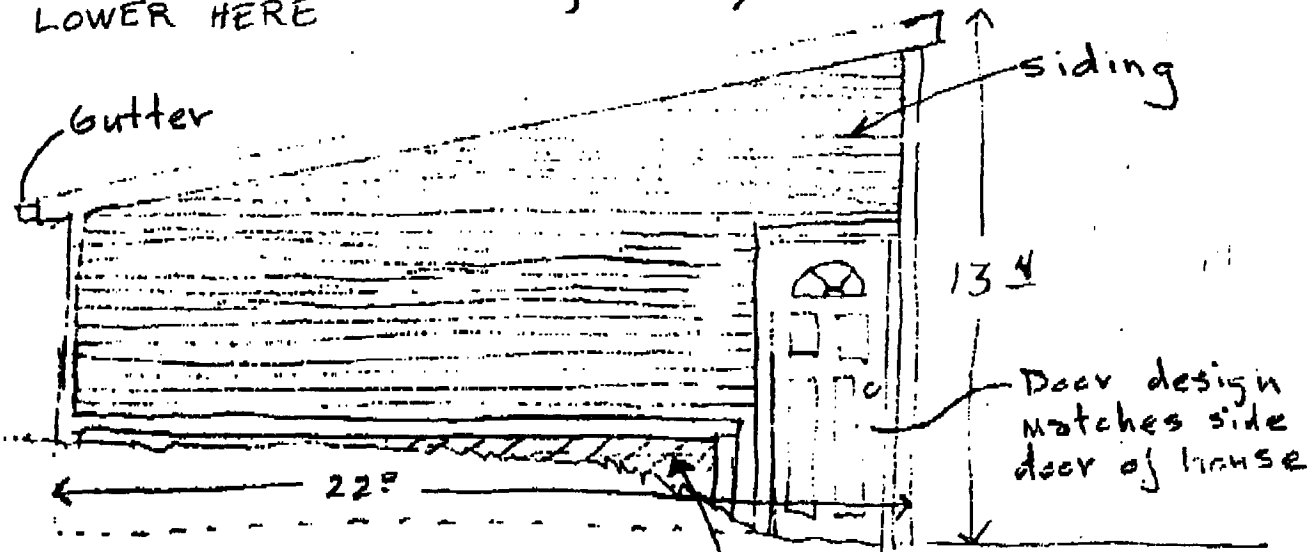
MEMO:

506 TULIP AVE. - GARAGE



FRONT FACADE
(looking North)

GROUND IS LOWER HERE



SIDE FACADE
(looking East)

Retaining Wall

THE REVISED HEIGHTS SHOWN ABOVE ARE TO ACCOMMODATE THE MOTOR FOR THE GARAGE DOOR.

Jerry Rauty © 9-15-95



The Maryland-National Capital Park and Planning Commission
8787 Georgia Avenue Silver Spring, Maryland 20910

Montgomery County Planning Department

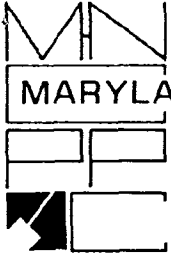
From the Desk of:

9/30/94

Dear Ms. Mattes,

Here is the written decision on the HAWP for Larry Ravity at 506 Tulip Avenue. This HAWP deals only with construction of a new 2-car garage and construction of a new second story deck on the side of the house. Other work done previously (and done without a HAWP) would need to be reviewed by the HPC at a future meeting as a retroactive HAWP. Please call if you have questions.

Steven Marcus



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: September 23, 1994

MEMORANDUM

TO: Robert Hubbard, Chief
Division of Development Services and Regulation
Department of Environmental Protection (DEP)

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

X Approved Denied

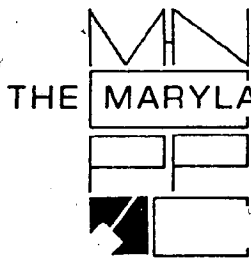
Approved with Conditions: _____

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERANCE TO THE APPROVED HISTORIC AREA WORK PERMIT(HAWP).

Applicant: Larry Rantzy

Address: 506 Tulip Avenue, Takoma Park, Md. 20912

***THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DEP/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: September 23, 1994

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER LARRY RAVITZ TELEPHONE NO. 301-589-5305
(Contract/Purchaser) (Include Area Code)

ADDRESS 506 TULIP AVE. TAKOMA PARK MD 20912
CITY STATE ZIP

CONTRACTOR SELF TELEPHONE NO. _____

PLANS PREPARED BY SELF CONTRACTOR REGISTRATION NUMBER _____
 TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 506 Street TULIP AVE.

Town/City TAKOMA PARK MD Election District 13

Nearest Cross Street CARROLL

Lot 4 Block 7 Subdivision _____

Liber _____ Folio _____ Parcel _____

- 1A. TYPE OF PERMIT ACTION: (circle one)
- | | | | | | | |
|------------|------------|----------------|-----------|-----------------|---------------------------|--|
| Construct | Extend/Add | Alter/Renovate | Repair | Circle One: A/C | Slab | Room Addition |
| Wreck/Raze | Move | Install | Revocable | Revision | Porch Deck Fireplace Shed | Solar Woodburning Stove |
| | | | | | | Fence/Wall (complete Section 4) Other <u>Construct</u> |
- 1B. CONSTRUCTION COSTS ESTIMATE \$ 2000⁰⁰
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO
- 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO
- 1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

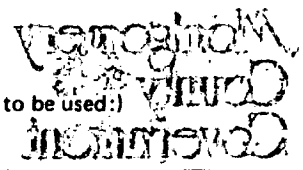
2A. TYPE OF SEWAGE DISPOSAL _____

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION

Historic Preservation Commission

DESCRIPTION OF PROPOSED WORK: (including composition, color, and texture of materials to be used):

817-3822



APPLICANT'S SIGNATURE AND ADDRESS

REGISTRATION NUMBER, PLANS PREPARED BY, TELEPHONE NO., CONTRACTOR, ADDRESS, NAME OF PROPERTY OWNER, TELEPHONE NO.

LOCATION OF BUILDING, HOUSE NUMBER, STREET, ELECTION DISTRICT

ATTACH TO THIS APPLICATION (2) COPIES OF: SUCH-SITE-PLANS (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. proposed or existing) and/or ARCHITECTURAL DRAWINGS (floor plans, elevations, etc.), PHOTOGRAPHS OF THE AREA AFFECTED, as are necessary to fully describe the proposed work.

MAIL OR DELIVER THE APPLICATION AND ALL REQUIRED DOCUMENTS TO THE HISTORIC PRESERVATION COMMISSION, 100 MARYLAND AVENUE, ROCKVILLE, MARYLAND 20850

INDICATE NAME OF ELECTRICAL UTILITY COMPANY, IS THIS PROPERTY A HISTORICAL SITE?

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSIONS, TYPE OF WATER SUPPLY, TYPE OF SEWAGE DISPOSAL

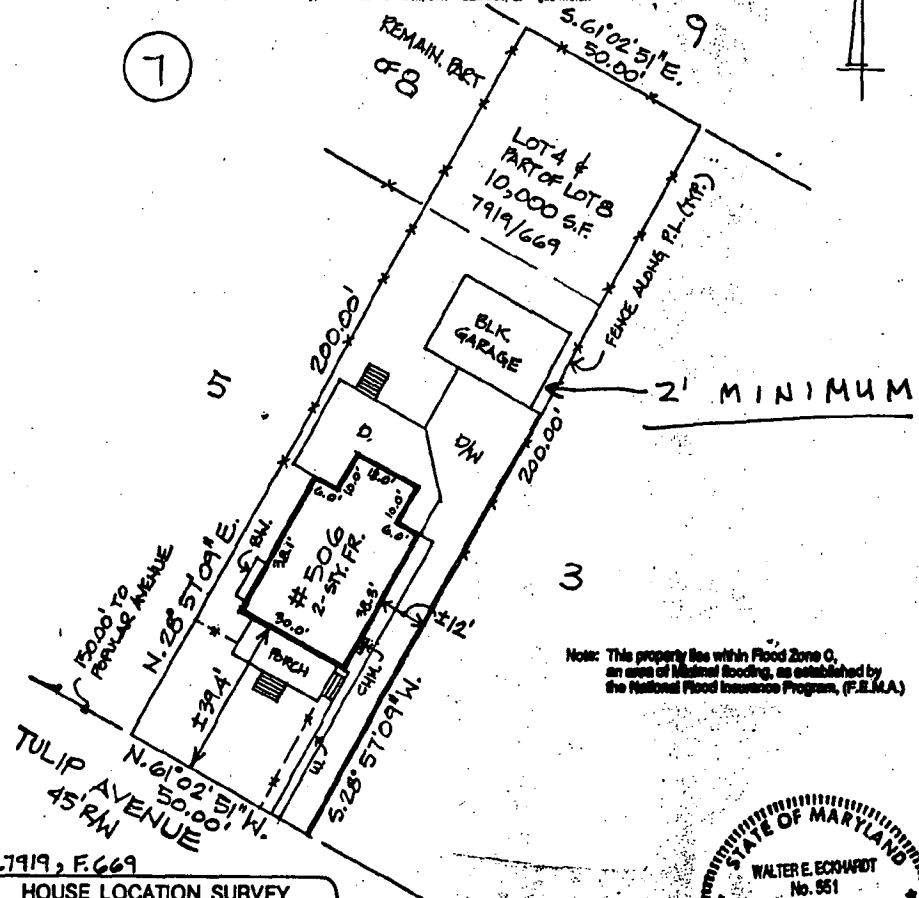
PART THREE: COMPLETE ONLY FOR FENCING/RETAINING WALL, HEIGHT, WEIGHT, LOCATION

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with the conditions of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back)

- NOTES:
1. THIS IS NOT A Property Line/Boundary Survey and is NOT to be used for the erection of fences or any other improvement; it is for Title Purposes ONLY. Title Report was not furnished.
 2. This survey was prepared in accordance with the plat of subdivision and/or deed as recorded in the Public Records of Montgomery County, Maryland.
 3. This property shown hereon is subject to easements and right-of-way(s) of record.
 4. The location of any Fence or Fences shown hereon are Approximate ONLY, the Exact location of same has NOT been determined by this survey.
 5. LEGEND: OH - building overhang; D - deck; S - stoop; W - walkway; P - patio; AW - aerial wire(s); P.L. - property line; BW - bay window; CHM - chimney; WW - window well; SW - stairwell; G - gas meter.

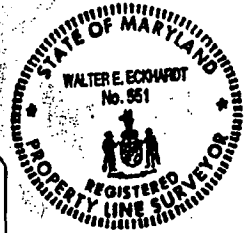
7



Note: This property lies within Flood Zone C, an area of Minimal Flooding, as established by the National Flood Insurance Program, (F.E.M.A.)

L.7919, F.669
HOUSE LOCATION SURVEY
 # 506 TULIP AVENUE
 LOT 4 & PART OF B. BLOCK 7
 LIPSCOMB AND EARLEST TRUSTEES
 ADDITION TO TAKOMA PARK
 P.B. 1 P. No. 46
 13TH Election District
 Montgomery County, Maryland

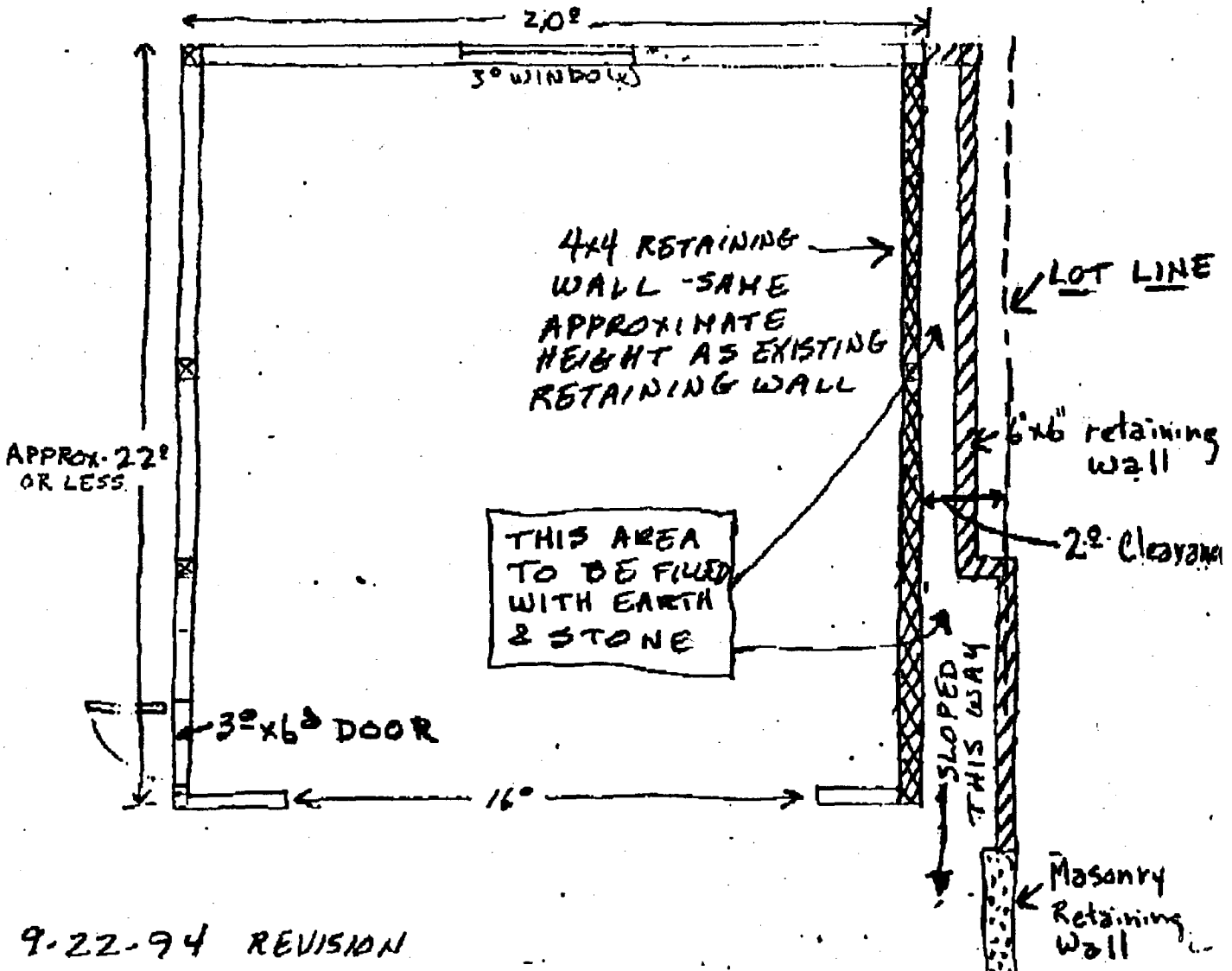
CERTIFICATION:
 I certify, to the best of my knowledge and belief, that the existing visible improvements shown hereon have been established by accepted land surveying practices and that unless otherwise shown there are no visible encroachments.
Walter E. Eckhardt
 Walter E. Eckhardt
 Property Line Surveyor, Md. Reg. No. 551



Case: R93-07-017 File: T-188-93 Ck.: 4-F Scale: 1" = 30' Date: 7-19-93

APPROVED
 Montgomery County
 Historic Preservation Commission
Patricia Parker

506 TULIP - GARAGE

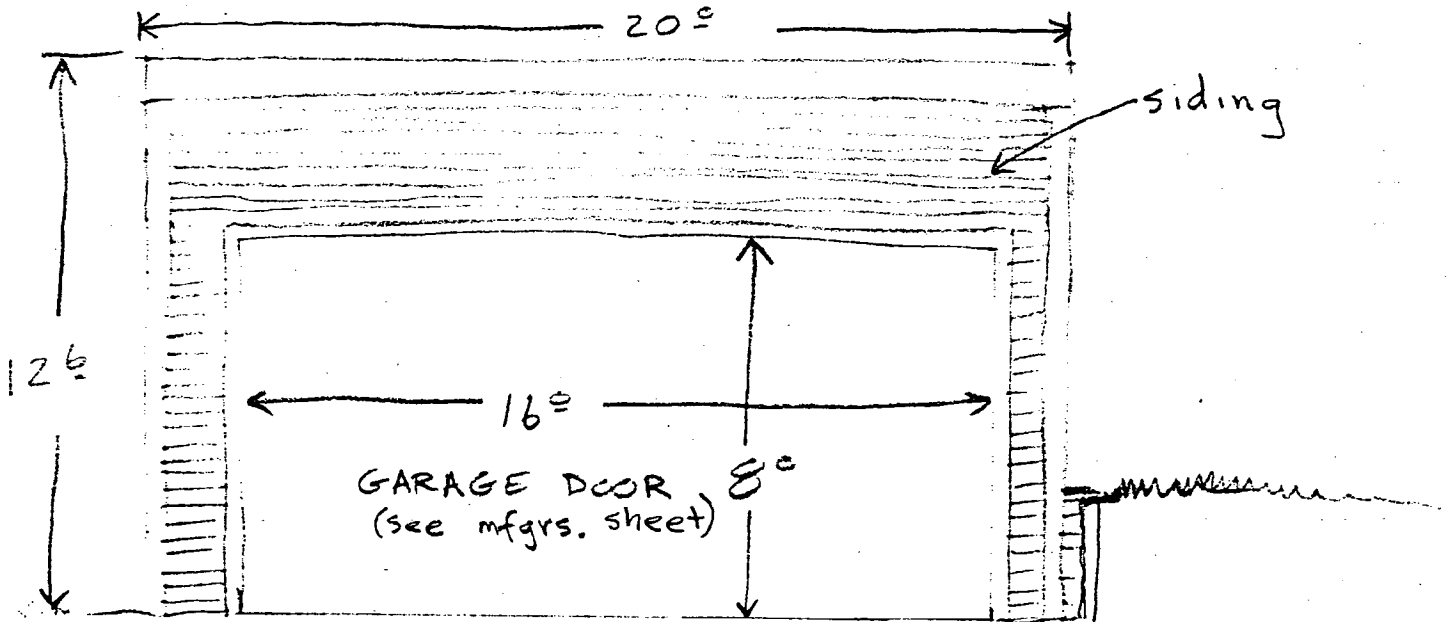


HPC note: Provide weep holes drilled in timber retaining wall 6' o.c.

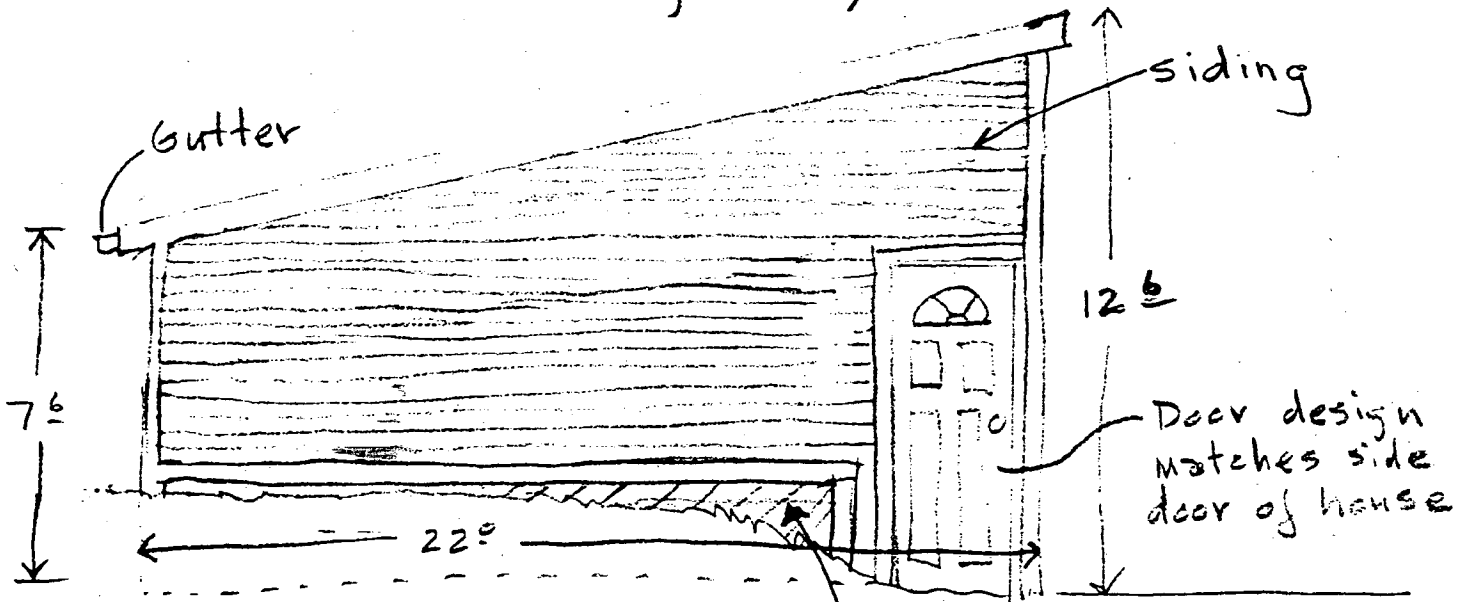
APPROVED
Montgomery County
Historic Preservation Commission

Patricia Parker

506 TULIP - GARAGE



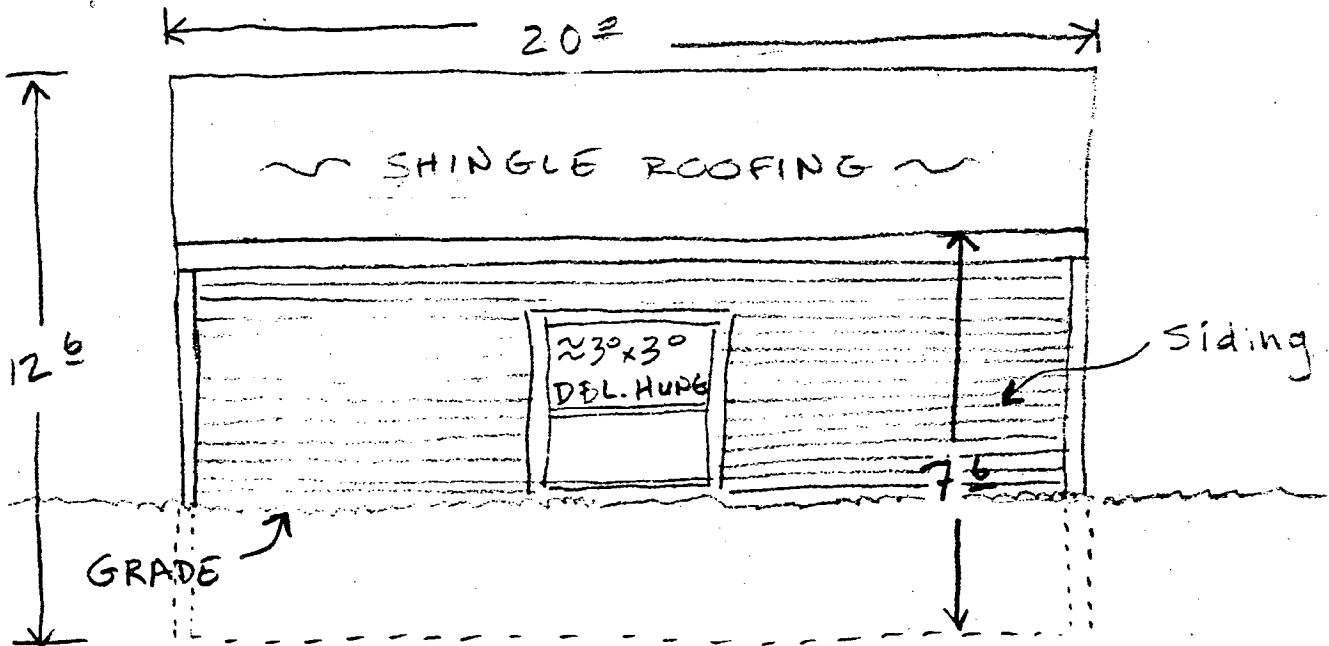
FRONT FACADE
(looking North)



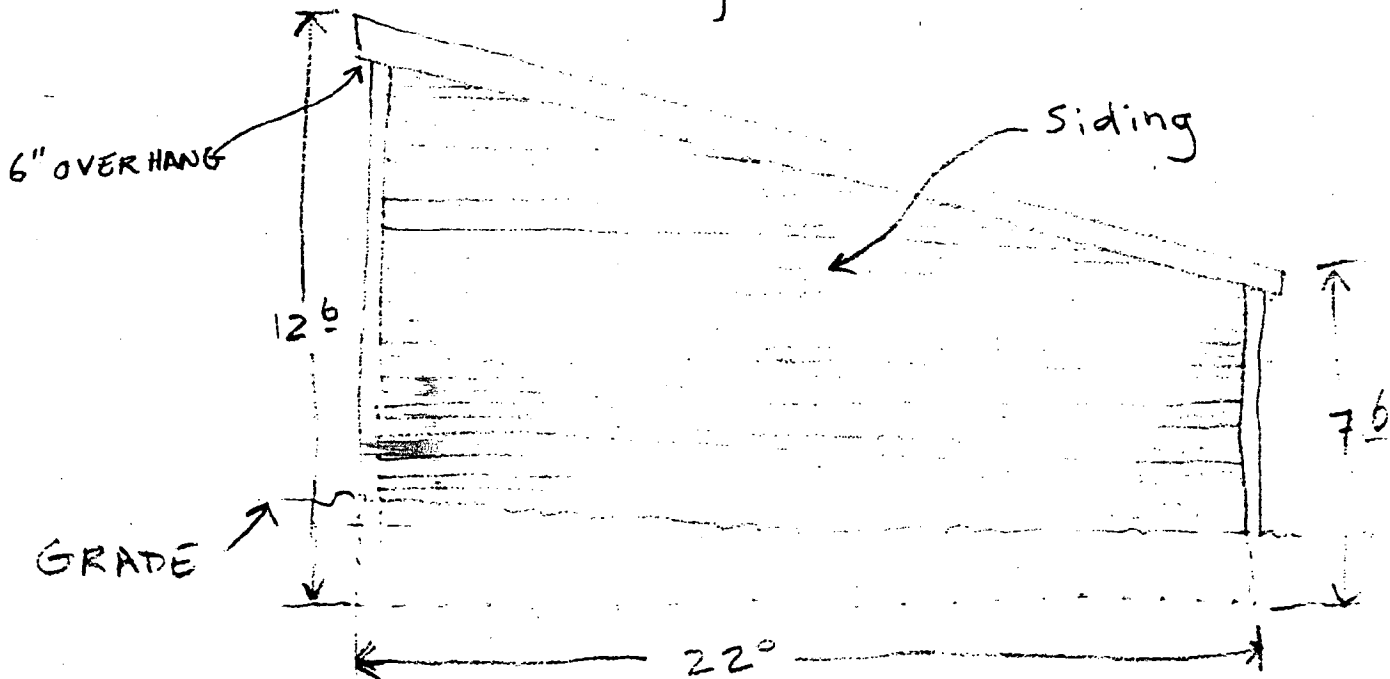
SIDE FACADE
(looking East)

APPROVED
Montgomery County
Historic Preservation Commission
Patricia Parker

● 506 TULIP GARAGE ●



REAR FACADE
(looking South)

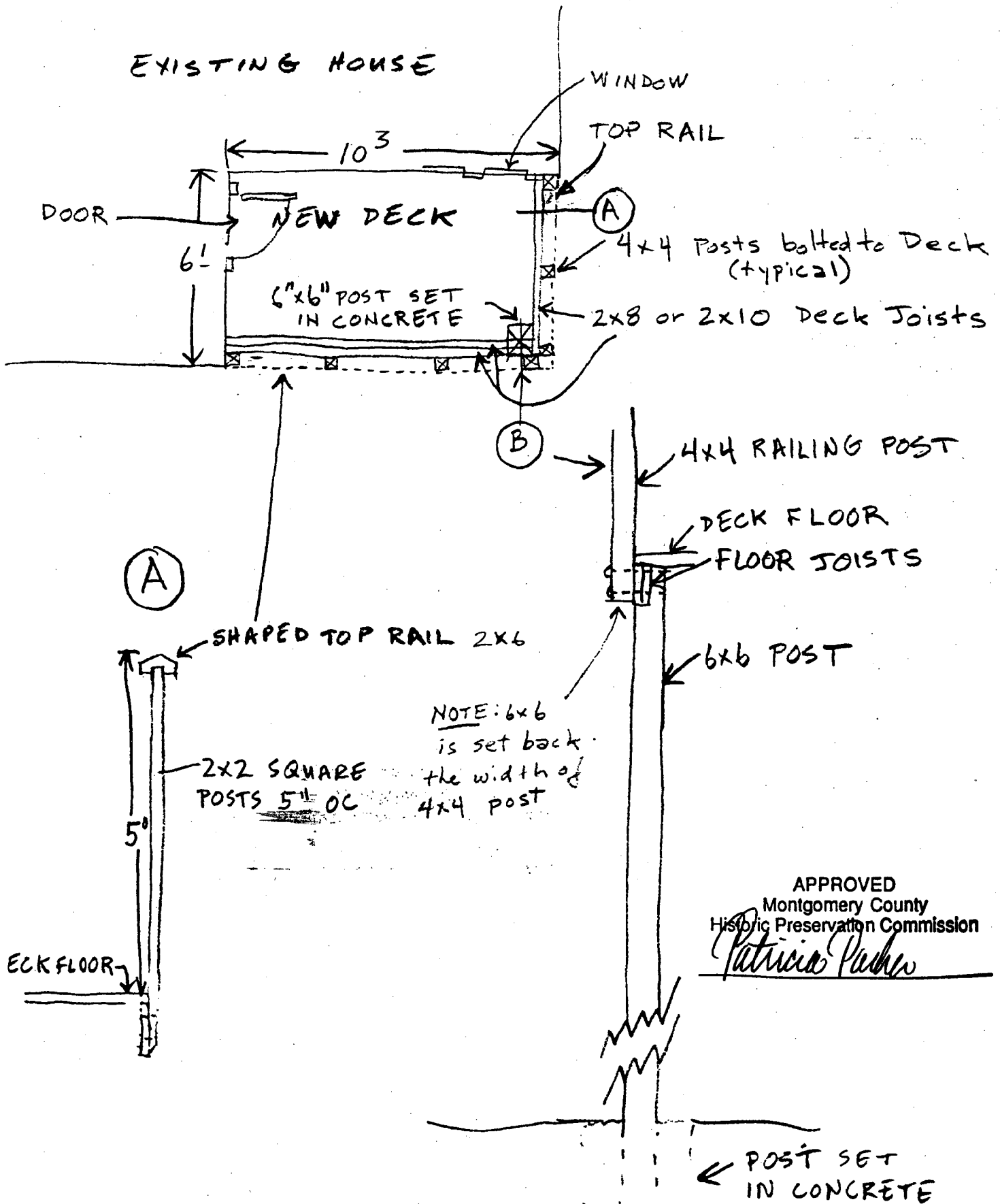


SIDE FACADE
(looking West)

APPROVED
Montgomery County
Historic Preservation Commission
Patricia Parker

506 TULIP

2ND FLOOR DECK DETAILS

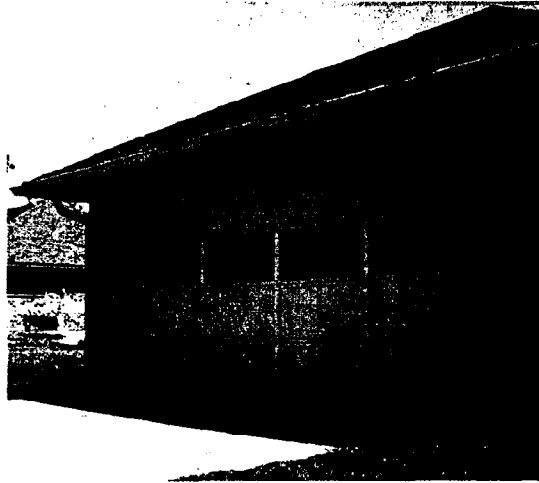




PROMARK 201 Series Paneled Wood Garage Doors

Our Most Popular Door

The simple, uncluttered lines of the ProMark Paneled Wood Garage Door makes it our most popular door. Its versatile design will enhance the appearance of traditional and contemporary homes alike. Optional glazing and window trim is available for added visual appeal.

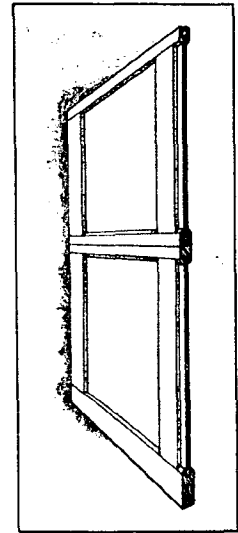


Quality at a Budget Pleasing Price

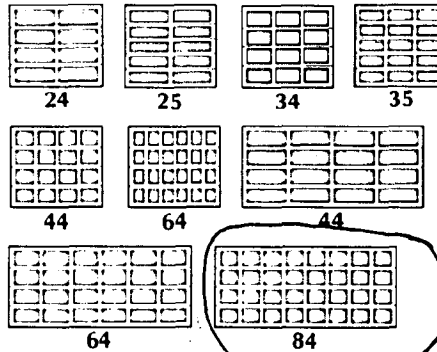
Quality 1 3/8" thick West Coast lumber and 1/4" exterior grade hard-board panels provide years of durability. Extra strong embossed hardware is used throughout. Add to that, sturdy rail and stile construction and rabbeted section joint and you have a door that not only looks good but is durable. Best of all, it's economical.

Available in a Variety of Sizes.

The ProMark 201 Series is available in 4 or 5 section heights, single or double car widths, and multiple configurations. Doors are factory sanded, ready for primer and painting. For the price, you can't do better . . . beautiful and durable.



DOOR HEIGHTS:	6'6", 6'8", 7'0" and 8'0"
DOOR WIDTHS AND MODEL SELECTION	
8'0" (201 Series)	24, 44, 64, 25 & 35
9'0" (201 Series)	34, 44, 64 & 35
10'0" (201 Series)	34, 44, 64 & 35
16'0" (201 Series)	44, 64 & 84



APPROVED
Montgomery County
Historic Preservation Commission

Patricia Parker

METAL GARAGE DOOR (MOD. 391) IS 5 PANELS HIGH & 8 PANELS WIDE

(see page 5 of attached brochure)

Automatic Opener Systems Offer Security and Convenience

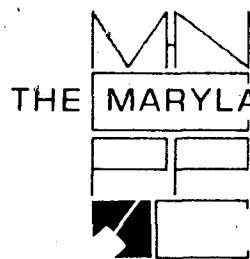


Garage Door Opener Systems have become a necessity among new home buyers and home owners. And we have the right opener for your garage door. No matter which model you choose, you can be assured you're getting The Overhead Door quality. All models are U.L. listed and have a limited lifetime warranty on the motor for as long as you own your home.

For additional information, contact your local Overhead Door Distributor.

Limited Warranty. All Overhead Door Corporation's products are sold with a one year limited warranty for workmanship, material, and installation by the Distributor of The "OVERHEAD DOOR." Copies of this limited warranty may be obtained on request from your local Distributor of The "OVERHEAD DOOR." Consistent with our policy of continuing product improvement, we reserve the right to change product specification without notice or obligation.

file



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

September 22, 1994

Mr. Larry Ravitz
506 Tulip Avenue
Takoma Park, Maryland 20912

Dear Mr. Ravitz:

Thank you for meeting with Steve Cary, a landscape architect and arborist with M-NCPPC, and myself at your home yesterday. This letter is to serve as a summary of our findings and your agreement with respect to details necessary for the successful construction of your proposed garage and the existing timber retaining wall.

Steve Cary observed that your retaining wall posts are set in concrete and that the change in direction of the retaining wall in one location provides greater stability (the setting of an additional post in concrete) and it lessens the possibility of additional stress due to freezing and thawing which normally cause an outward thrust on a wall designed to have only a straight run. Such occurrences over time can push a retaining wall, designed with a straight run, outward and be problematic. He suggests that you drill holes for seepage of water through the existing timber retaining wall.

Mr. Cary also examined the masonry portion of the retaining wall which divides your property from your neighbor, Victoria Mattes (512 Tulip Avenue). He feels that deterioration of the wall in several places has already occurred. Your neighbor may decide to perform root pruning to create a void in the area where one of her trees is closest to the masonry retaining wall. This void could then be filled with gravel.

However, the best solution might be the rebuilding of the wall. The use of a product, **Keystone**, for total replacement, using fiberglass pins would over time prove most economical. Because of the location of a very mature tree close to the retaining wall which will continue to cause additional pressure (outward thrust of the wall), Mr. Cary feels that the use of this material will provide for easy rebuilding of the wall should this become necessary. This Keystone material could be torn down and re-used to rebuild the wall as the need arises - averting the need to purchase new material.

Finally, you have agreed to file another Historic Area Work Permit (HAWP) documenting all changes that you have made or been responsible for during your ownership of 506 Tulip Avenue since the

establishment of the Takoma Park Historic District in August, 1992.

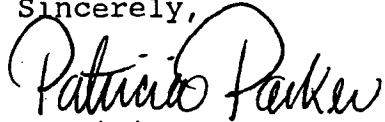
It is also my understanding that you further anticipate the necessity to re-pave and widen your driveway (decreasing the width of an existing parallel concrete walkway) and to expand the existing deck. This work will be reviewed in conjunction with the "retroactive" HAWP.

I am including a copy of your confirmation of this agreement received by fax transmittal as a part of this letter for record purposes and I am forwarding a complete copy of this correspondence to your neighbor, Ms. Victoria Mattes, at her request, for information.

If you need further information, please feel free to call me at (301)495-4570. This site visit proved helpful and it will facilitate the final processing of your HAWP application filed July 26, 1994. Good luck with your project and I look forward to its successful completion.

Thank you.

Sincerely,



Patricia E. Hayes Parker
Preservation Planner

encl.

cc:V. Mattes

FAX

Date: 9/22/94

From: Larry Ravitz
506 Tulip Ave.
Takoma Park, MD
301-589-5305
301-589-2534 FAX

To: Patricia Parker
MNCPPC
8787 Georgia Ave.
Silver Spring, MD

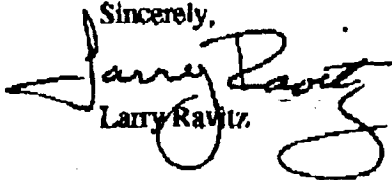
Dear Ms. Parker:

This FAX is sent to confirm our conversation yesterday where you suggested that I submit a retroactive application for a HAWP for work done prior to my knowledge of being in a historic zone. We also discussed my intention of repaving the driveway and to build an extension to the rear deck along the west side of my home.

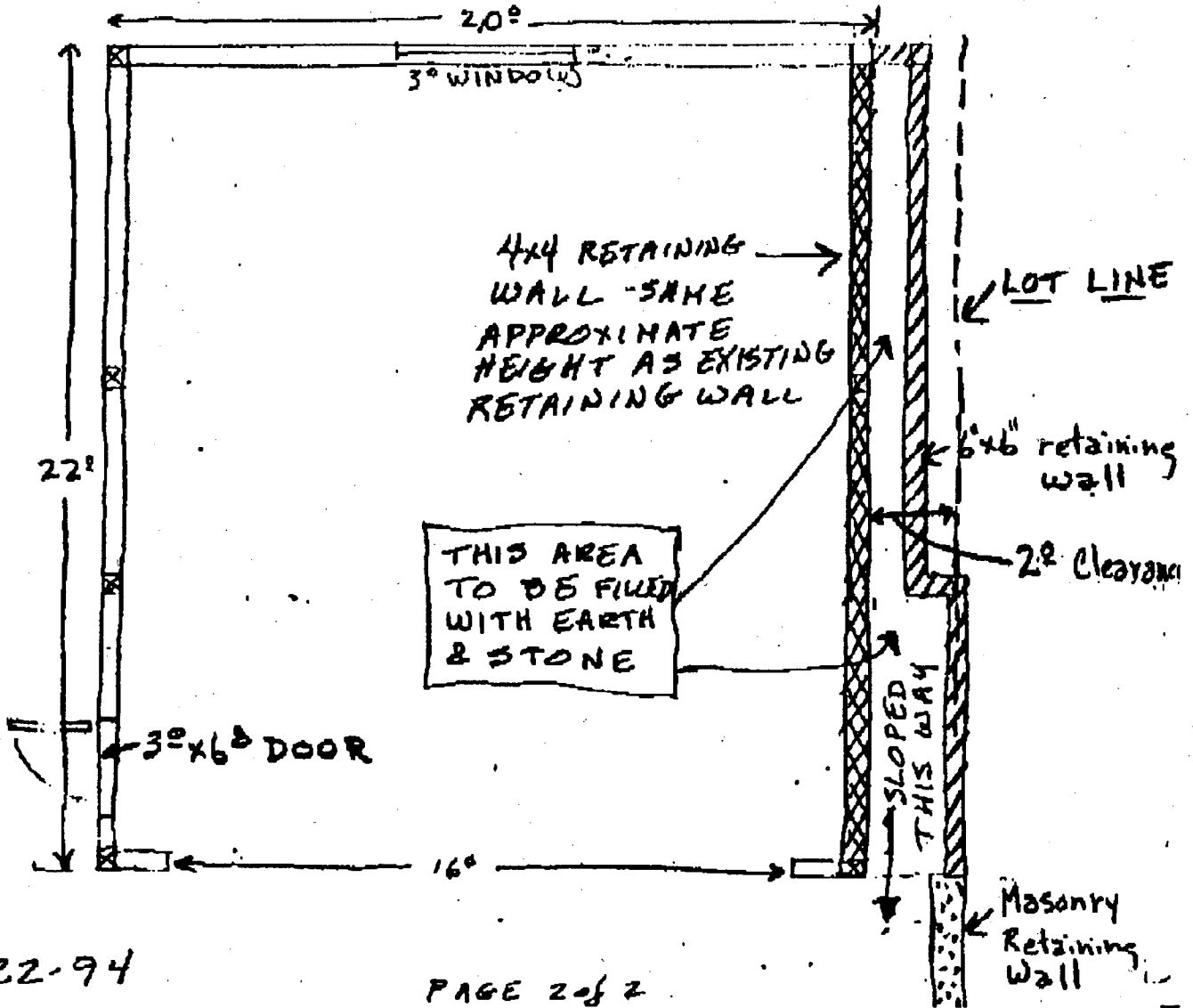
Plans will need to be drawn for the proposed side deck and I also wish to discuss the deck design with my neighbor, prior to submission. That should be completed in approximately two months and a HAWP application, covering all the above items will be submitted at that time.

Please let me know if you have any further concerns or suggestions.

Sincerely,


Larry Ravitz

506 TULIP - GARAGE



9-22-94

PAGE 2 of 2

FAX

Date: 9/22/94

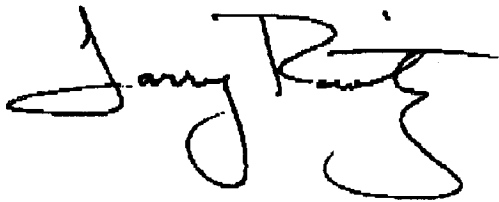
From: Larry Ravitz
506 Tulip Ave.
Takoma Park, MD
301-589-5305
301-589-2534 FAX

To: Patricia Parker
MNCPPC
8787 Georgia Ave.
Silver Spring, MD
FAX: 495-1307

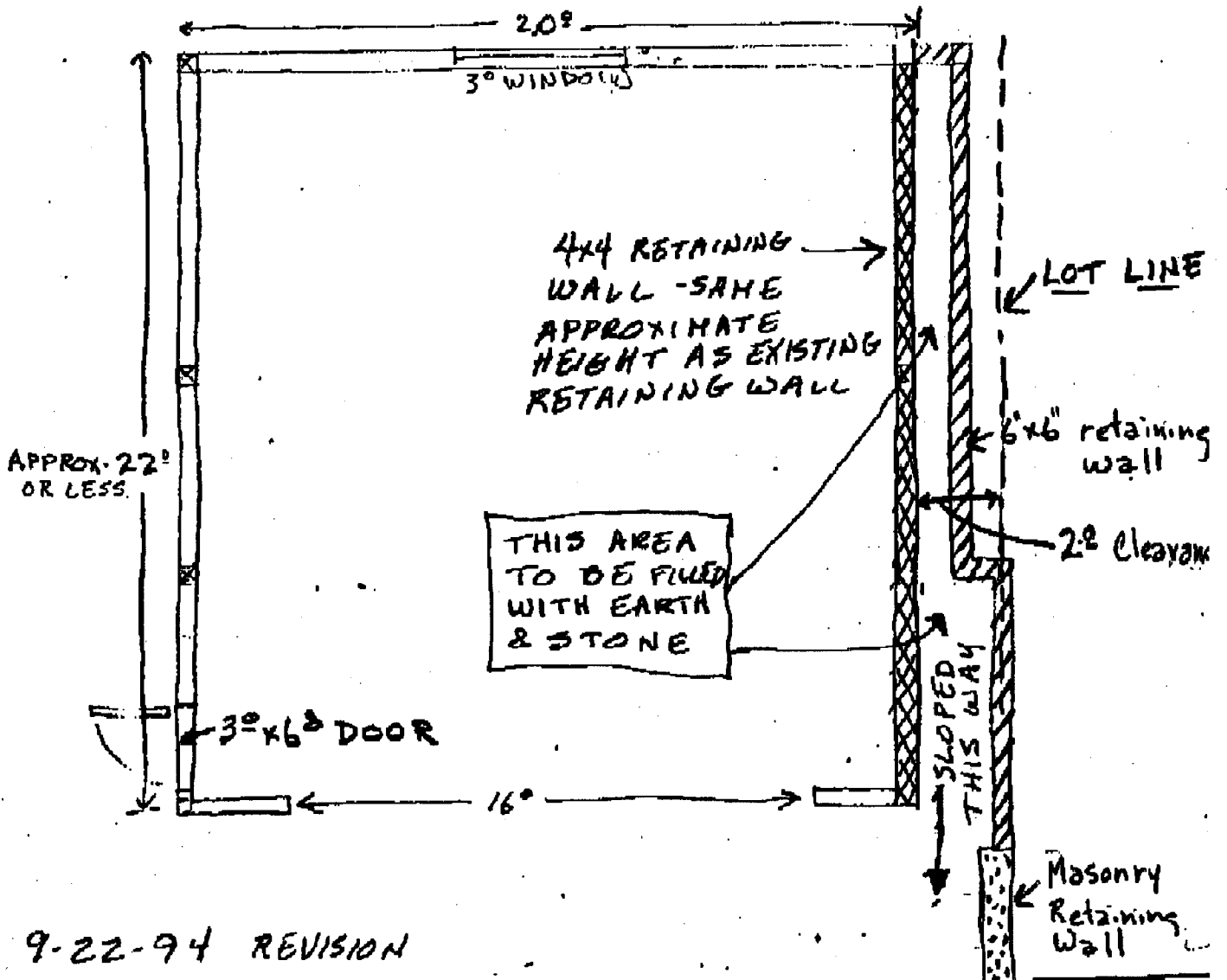
Dear Ms. Parker:

This revision to the garage plan allows me to shorten the garage (thereby gaining the turning radius). The garage length has been changed to read "APPROX. 22 OR LESS". The length will be between 18 and 22 feet. I am researching car and van lengths to determine the shortest practical length.

Please me know if this is acceptable.



506 TULIP - GARAGE



2x posts in conc.
staying well back. OK

In height

posts & just keep well from being out.

- not straight wall.

Drainage & then pushes water out.

Matter of repair - root pruning - great word & why wall
some occur, though!

cracks in mortar after water running -

if dryer in wall - problem may not exist.

chill holes -

Use Kynstone for total replacement - wall block poured in place w/
fiberglass pins -

9/16/94

Patricia Parker
Maryland National Capital Park & Planning
8787 Georgia Ave.
Silver Spring, Maryland

RE: 37/3-94CC Continued

After reviewing the revised plans that Mr. Ravitz has submitted I offer the following comments and questions. I also would like to prevent costly repairs and litigation in the future by requesting corrective changes in the garage portion of the proposal which would prevent damages to my property resulting from Mr. Ravitz's actions.

Stable/Carport/Garage:

1. My house, circa 1911, was built on flat terraced land created by a retaining wall which runs from the front to the back of the property. **The structural integrity of my house is dependent upon the retaining wall.** Over the last 80+ years some of this wall did drift over the property line. This masonry retaining wall currently fluctuates in height from 2'1" to 2'6". It is contiguous to the driveway of 506 Tulip. Please see drawing 1.

2. The retaining wall basically runs along the property line except where it juttred into 506 approximately 3-4 feet. The old garage was approximately 14-16 feet deep and **the side masonry wall, which Mr. Ravitz removed, also served as the retaining wall.** Mr. Ravitz also removed an additional 6-8 feet of the retaining wall against the property line. He removed a total of 22 feet of retaining wall prior to applying for a historic area work permit.

3. Mr. Ravitz replaced the masonry wall with a wood 4"x 6" construction on the dirt with no tiebacks.

4. The current plan for the garage, which adds approximately 7 feet to the original garage floor plan, creates a gap between the retaining wall and the garage wall which varies from approximately 6" to 1.5 feet. There is no provision for water drainage. Once the garage is constructed there will be no provision for repair of this 22' wood retaining wall from his side of the property line. The disintegration of this wall will cause erosion on my property which will in turn cause structural damage to my ~~retaining wall~~ property.

5. If the current plan remains unchanged, the only way that the wood retaining wall can be repaired or replaced is by taking a back hoe and ripping up approximately 1/3 of my yard at considerable expense. Again the structural integrity of my ~~retaining wall~~ depends on the retaining wall. The plans before

*my garage and
my oak trees*

p 20p

this Commission should be altered to prevent future damage and safety hazards to my property. Apparently this Commission is the only entity within Montgomery County that has jurisdiction in this type of situation. If I were to fix, change, alter, repair, or replace the wall the only permit I would need is from this Commission. The fact that Mr. Ravitz removed and replaced the original wall on his side of the property line and, that the placement of this garage will prevent him from ever doing it again when needed makes it necessary that this situation be addressed during the permit process now. It is truly unfortunate that many of the options for correcting this situation were removed due to the fact that Mr. Ravitz began construction prior to applying for any building permit whatsoever. However, I should not have to bear the consequences of his lack of foresight.

6. I am not a structural engineer so I don't know what it will take to make this whole. One suggestion is to request that a masonry wall be put in place prior to the construction of the garage walls. This could be done now. There may be other suggestions that the Commission can come up with. *see note attached*

Deck:

During the last hearing, the approval for the deck was postponed due to a lack of detailed information. The structural detail is still not apparent in the revised submission. As this could change the appearance of the deck, I think it is only fitting that the Commission continue to press for this information.

1. How is the balcony to be attached to the house? Historically it would have been cantilevered in.
2. Exactly how high off the ground will this structure be? The higher it is, the longer and more vulnerable the 6x6 post becomes and the less sturdy the structure becomes.
3. Is it true that the support beam will be contiguous to the driveway? This increases the likelihood of someone hitting the beam.
4. Will there be a need to cross brace this structure to reinforce it due to the inappropriateness of items 1, 2, and 3 above? This will change what it looks like and the appropriateness of this design within the historic district.

Sincerely,



Victoria Mattes
508 Tulip Ave.
Takoma Park Maryland, 20912

9/16/94

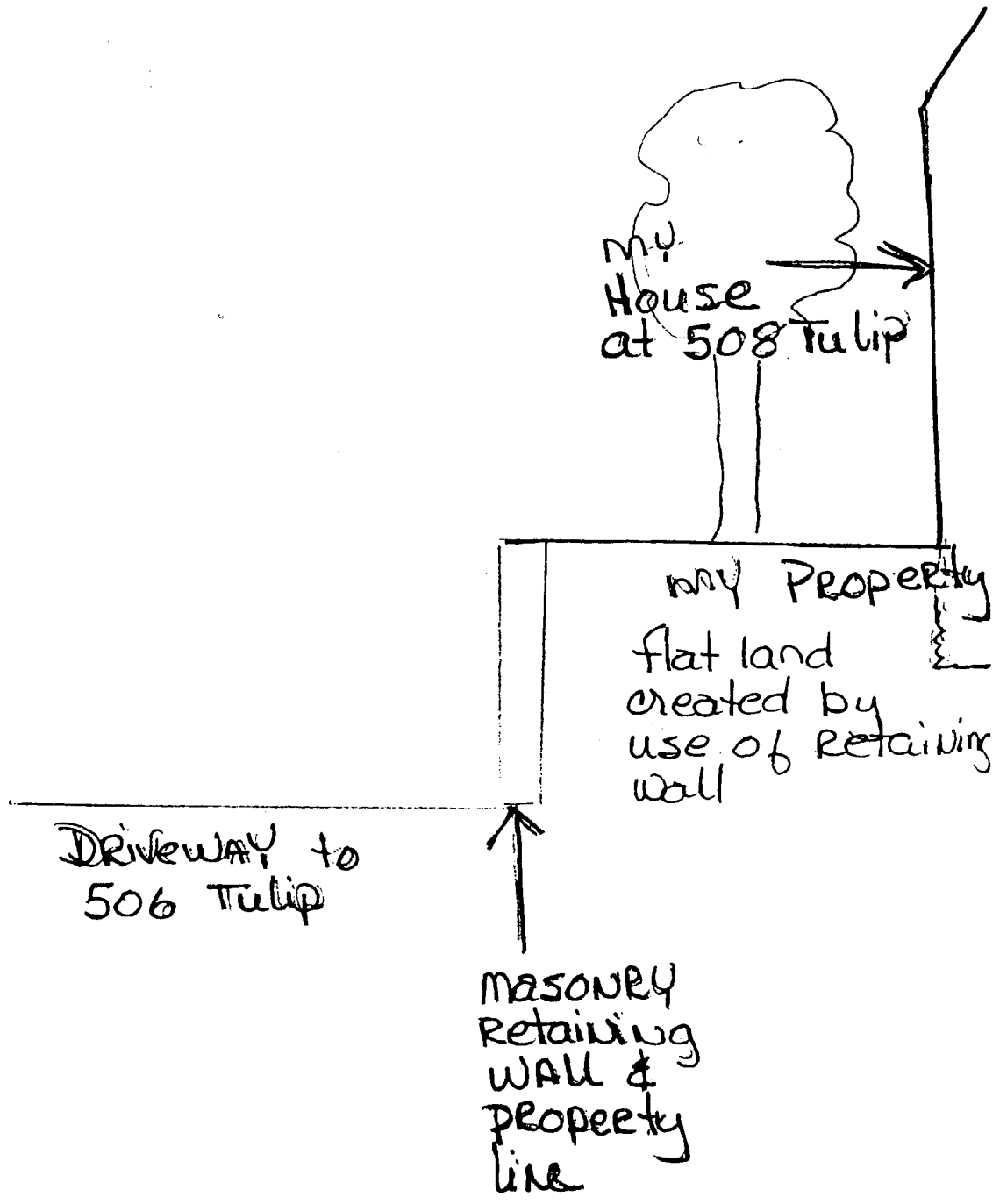
Note: In a conversation with the building inspector this morning, I learned that the "footings" for the garage/carport (and therefore the retaining wall) were done incorrectly. Most likely they will have to be redone. This is why Mr. Ravitz cut off the two on my side of the property.

Due to the nature of the current structure and the strong potential that the work will have to be redone, the Commission may now have additional options that could be considered to address my retaining wall problem.

Victoria Mates

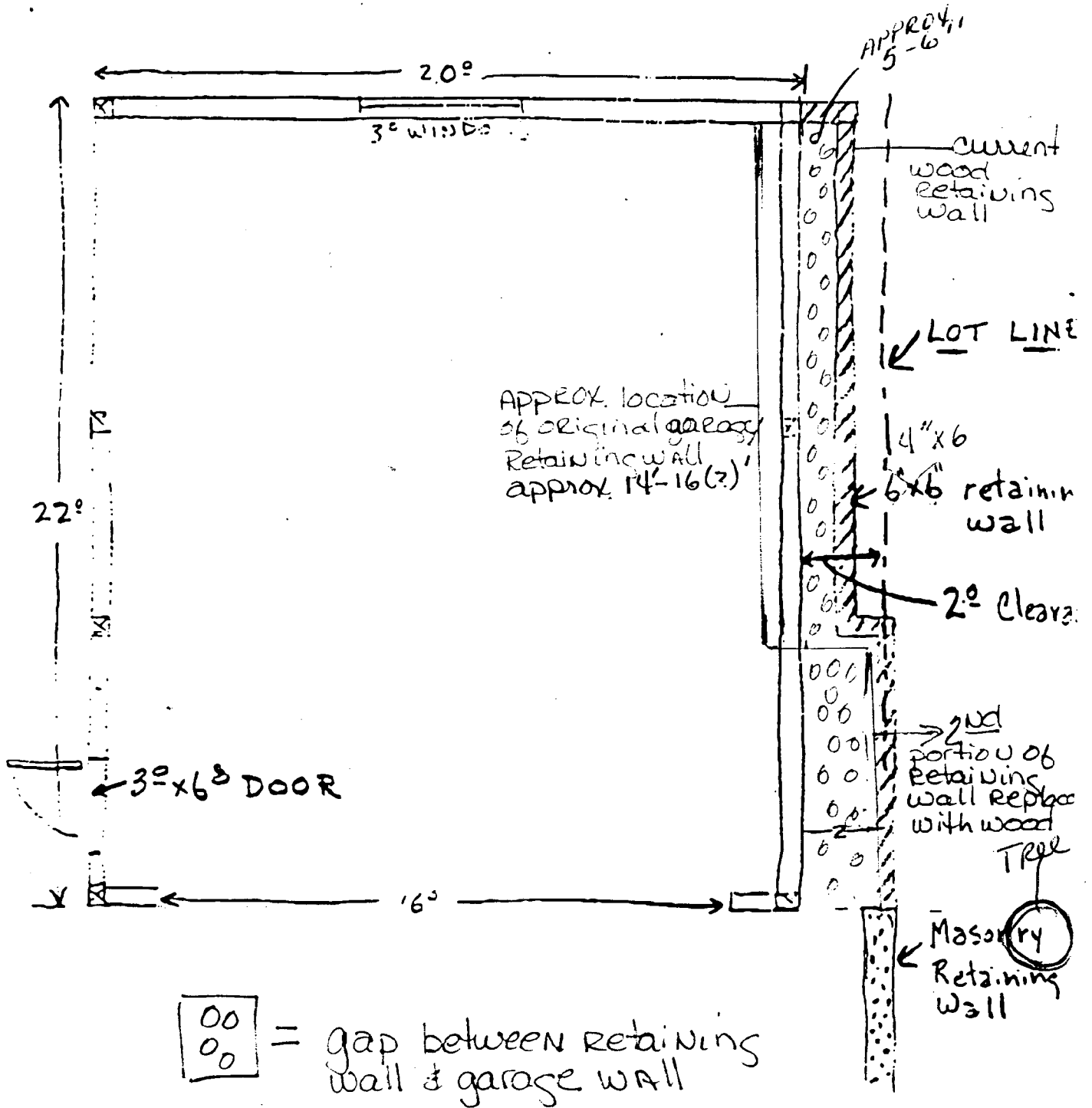
DRAWING #1

SHOWING Retaining WALL
& 508 Tulip land grade



* Not to scale

506 TULIP GARAGE



Drawing # 2 taken from applicant's package

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 506 Tulip Avenue Meeting Date: 09/16/94
Resource: Takoma Park Historic District HAWP: Alteration
Case Number: 37/3-94CC CONTINUED Tax Credit: No
Public Notice: 08/31/94 Report Date: 09/07/94
Applicant: Larry Ravitz Staff: Patricia Parker
PROPOSAL: Construct carport & RECOMMEND: Approval
second-story deck

BACKGROUND

At an earlier meeting, the HPC discussed a proposal by the applicant to construct a carport of frame construction and a 10' x 7' second story frame deck. At the meeting, the HPC and applicant agreed to continue discussion of this HAWP application to permit the applicant to make substantial changes to the proposal to build a carport; and to revise his application to build a deck at the exterior of an already constructed second floor rear exit.

In the interim, staff has met with the applicant and the applicant has submitted a new proposal to build a frame garage at the rear of the lot. The applicant has also revised earlier drawings for the second level rear deck and provided rail and post details.

The proposal involves change for a contributing resource in the Takoma Park Historic District. This resource is surrounded by other contributing resources on Tulip Avenue. No tree removal is involved.

STAFF DISCUSSION

CARPORT: The earlier HAWP proposal to build a carport raised a question for staff as to what was present originally. Staff research indicated that a garage structure existed. Subsequent to the last HPC meeting, staff met with the applicant and a decision was made by the applicant to construct a **garage** - not a carport. The new frame garage will be 20' wide by 22' deep. It will have a height which varies north-south, due to a deeply sloped asphalt shingle roof, from 12'-6" to 7'-6". It will be four sided and sheathed with clapboard to match the profile of clapboard sheathing of the main structure. The garage will be situated 2' inside the east property line and a 3' door opening is proposed on the west elevation. At the rear of the garage, a 3' window opening is

centered on the wall. At the front of the garage, a 16' x 8' high opening will provide access for a paneled wood automated garage door. The proposal offers raised panels five high by eight panels wide. There is an option to glaze a portion of this opening. Staff feels that it is unnecessary to require glazing a portion of this opening. However, for utility purposes, the applicant may choose to include a strip of glass to provide additional light.

This change is situated in the rear yard and therefore would not affect the streetscape. The Takoma Park Guidelines for Historic Preservation state that in reviewing proposals, emphasis should be placed on the importance of the resource to the overall streetscape and its compatibility with existing patterns. Furthermore, the applicant has substantially changed the earlier proposal in accordance with HPC comments. Staff feels that this proposal is now consistent with the guidelines of the Takoma Park Historic District and recommends approval.

SECOND-STORY DECK: Staff feels that the proposal to build a new wood second-story deck 10'-3" x 6' with 6x6 wood post set in concrete can be approved. The new railing detail shows a 5' high rail with 2x2 square posts 5" o.c. and a shaped cap for handrail. Staff suggests 4" o.c. for safety. The 6x6 post is recessed approximately 4" from the line of the outside wall to obscure it from the public right-of-way.

STAFF RECOMMENDATION

Staff recommends that the Commission find the proposal **consistent** with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #2 and #10:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided; and

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the Takoma Park Historic Preservation Review Guidelines;

and with the general condition for all Historic Area Work Permits: The applicant shall notify the Department of Environmental Protection (DEP) five days prior to commencing work and within two weeks after completion.

8/22/94

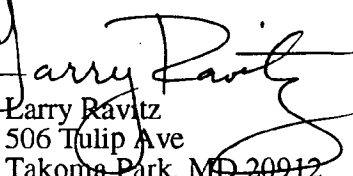
Patricia Parker
Maryland National Capital Park & Planning
8787 Georgia Ave
Silver Spring, MD 20910

Dear Ms. Parker,

At the 8/17/94 meeting of the Historic Preservation Commission, during the discussion of my case (#37/3-94CC), a letter from my neighbor Victoria Mattes was put into the public record. In it, she stated that I was aware of being in Takoma Park's Historic Zone at the time I renovated my house and erected the supports for a proposed carport. That is not true. I became aware of the historic designation on 7/26/94, when I went to obtain my second Building Permit.

Also, I note that the Historic Preservation Commission's staff recommended approval of the carport in their 8/10/94 report. If the Commission decides not to approve what the staff has recommended, please advise me in writing what design changes WOULD be approved.

Respectfully submitted,



Larry Ravitz
506 Tulip Ave
Takoma Park, MD 20912
Ph: 301-891-2222 (h)
301-589-5305 (w)



EARLIER PHOTO SHOWS GARAGE.

MEMO

Date: September 6, 1994

From: Larry Ravitz
506 Tulip Ave.
Takoma Park, MD 20912
(301) 891-2222 or (301) 589-5305(alt.)
FAX (301) 891-2845

To: The Maryland-National Park and Planning Commission
Patricia Parker

Dear Ms. Parker:

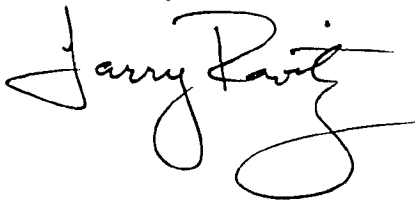
The following comments relate to the attached revised plans. Please contact me promptly if any of the details are insufficient or if you have any suggestions for further historic compatibility. One option would be to have a row of glass panels across the garage door, similar to those in the old garage.

Second Story Deck: The top rail, all posts and the exterior side of the outermost floor joists will be painted with the same colors already used on the house in a manner that is compatible with the house. As we discussed the proposed plan locates the top rail flush with the exterior plane of the house and avoids the window trim. The 6x6 supporting post is set back the width of the 4x4's but not further, to avoid having to move the concrete pad and compressors below the deck.

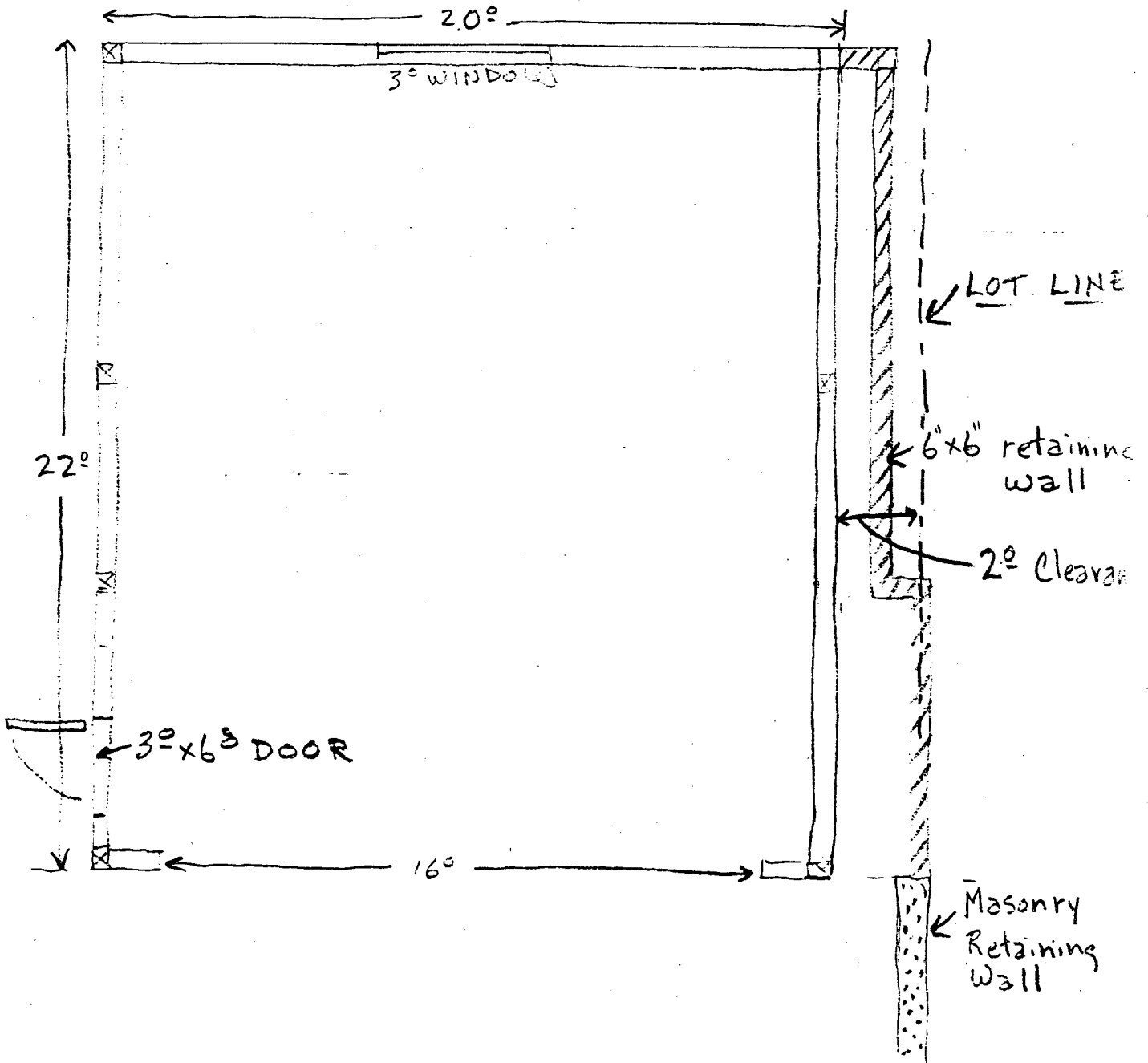
Garage: The garage, including all doors will be painted with the same colors already used on the house in a manner that is compatible with the house. Pressure treated wooden retaining walls and the interior of the garage will not be painted. The lap on the siding will be the same as on the house.

The height of the garage is based on two requirements: (1) Adequate slope for proper drainage of the asphalt shingle roof and (2) sufficient clearance to allow the garage doors to operate. The final roof height could be lowered, if it is possible to do so without compromising the above two requirements.

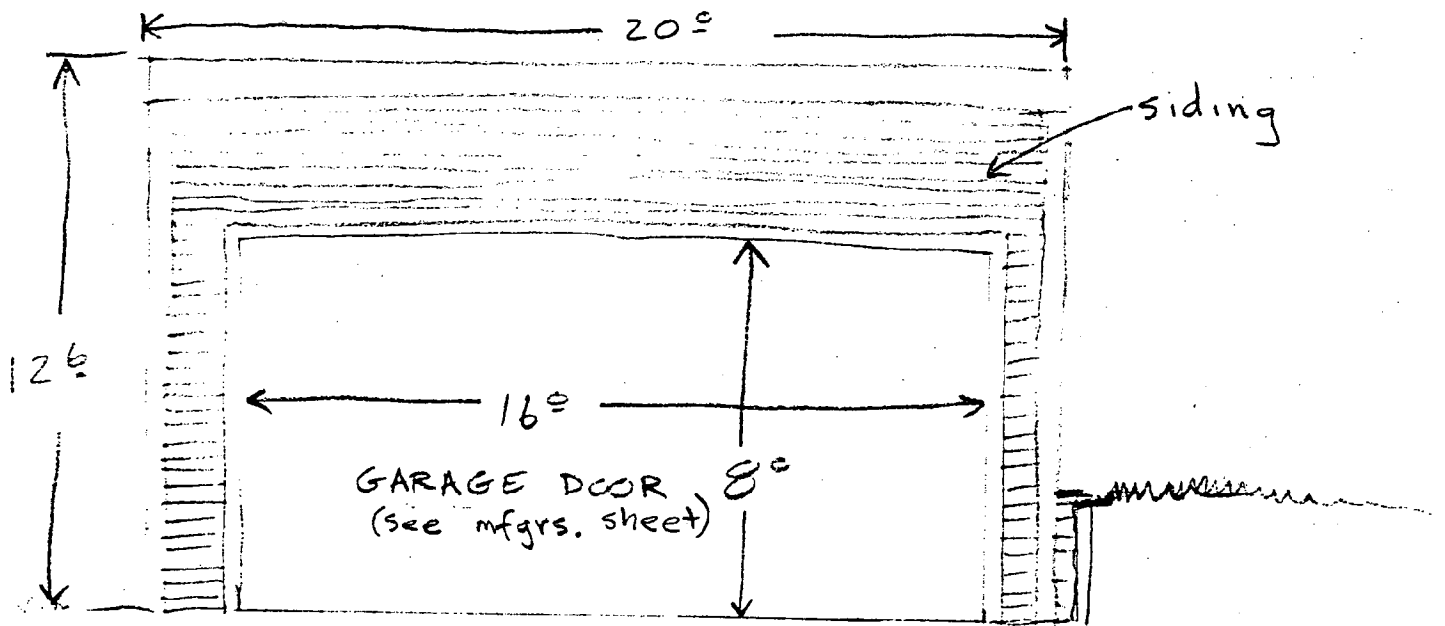
Sincerely,



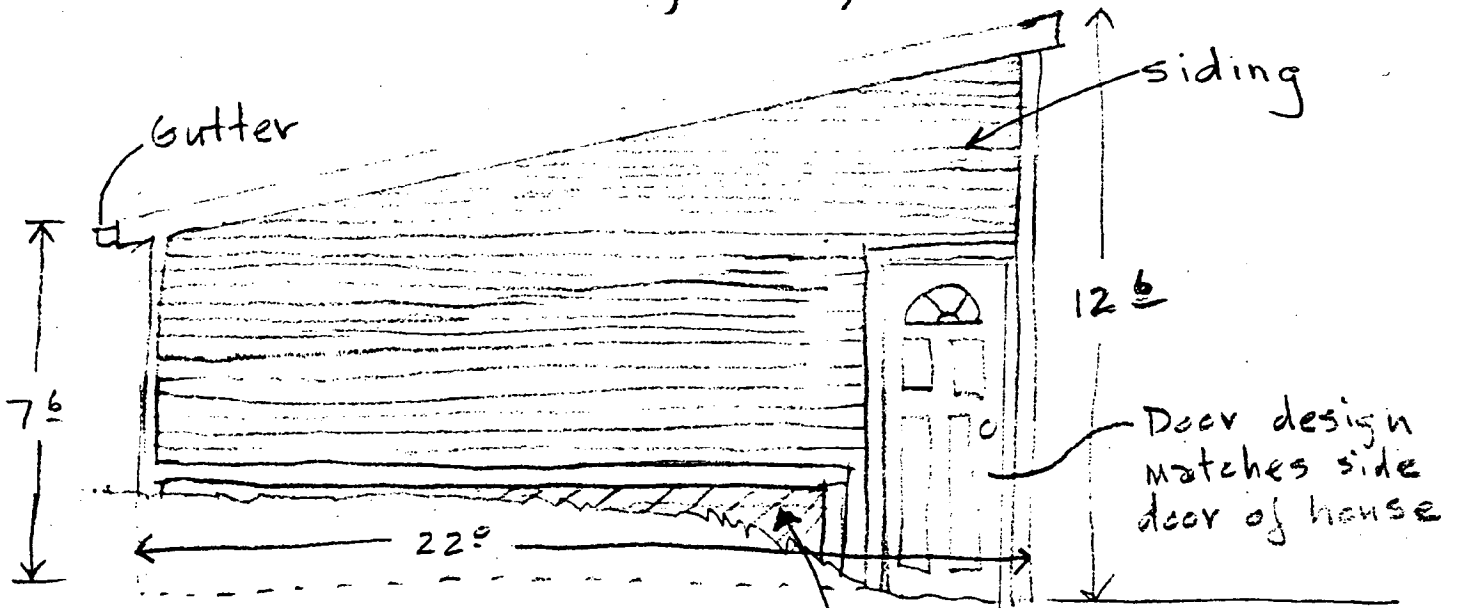
506 TULIP - GARAGE



506 TULIP - GARAGE



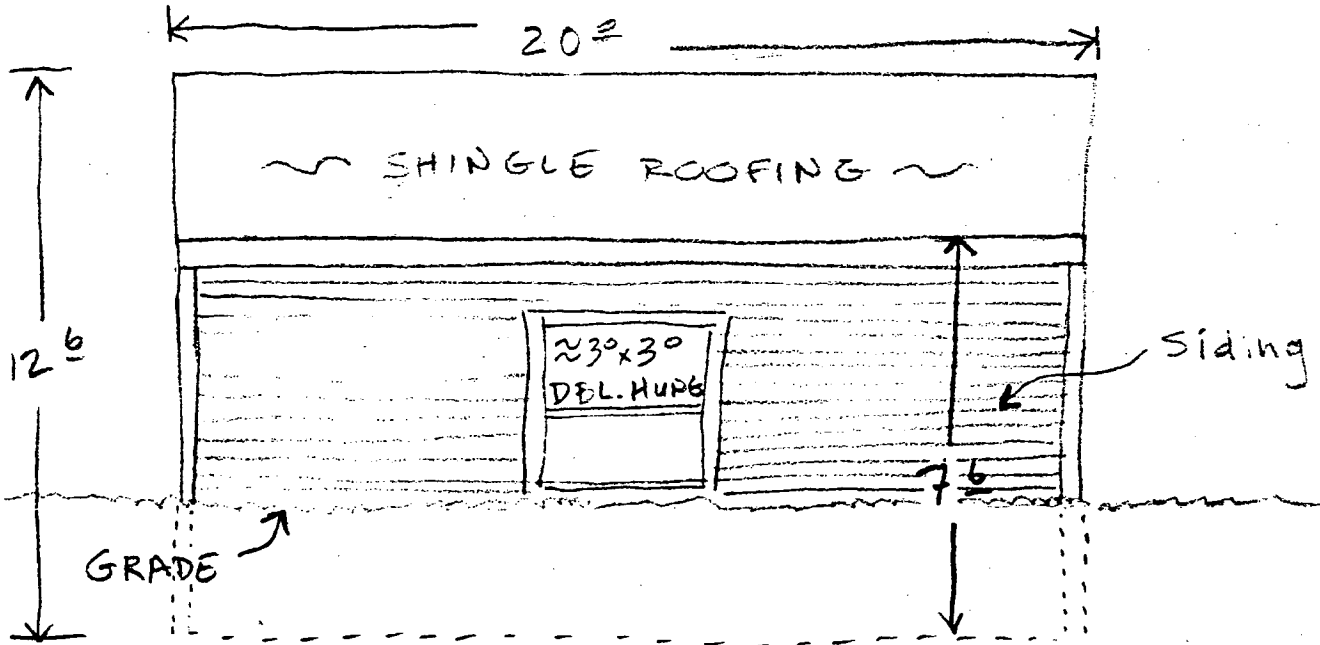
FRONT FACADE
(looking North)



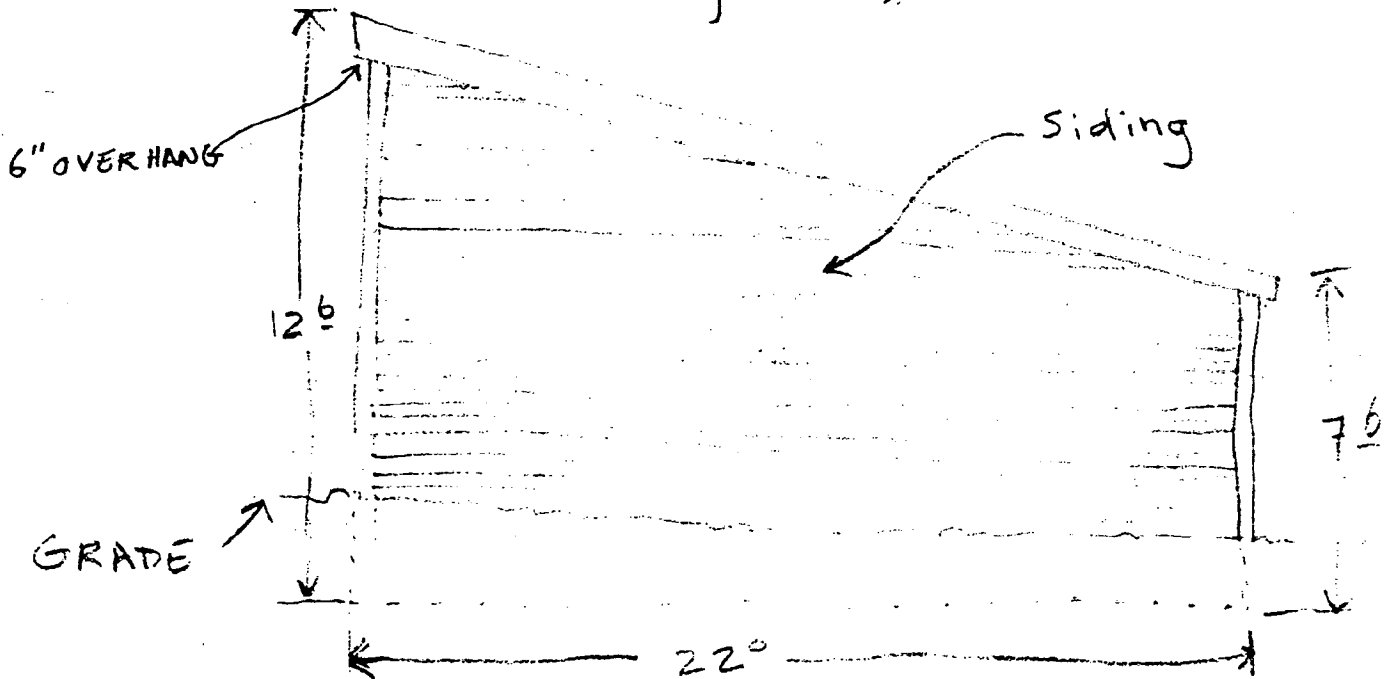
SIDE FACADE
(looking East)

Retaining Wall

● 506 TULIP ● GARAGE



REAR FACADE
(looking South)



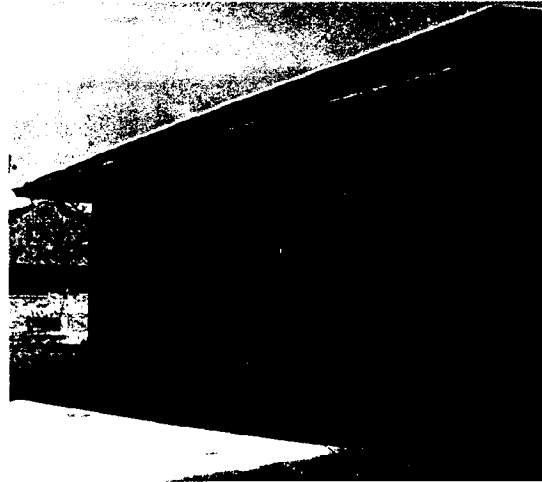
SIDE FACADE
(looking West)



PRO-MARK 201 SERIES Paneled Wood Garage Doors

Our Most Popular Door

The simple, uncluttered lines of the ProMark Paneled Wood Garage Door makes it our most popular door. Its versatile design will enhance the appearance of traditional and contemporary homes alike. Optional glazing and window trim is available for added visual appeal.



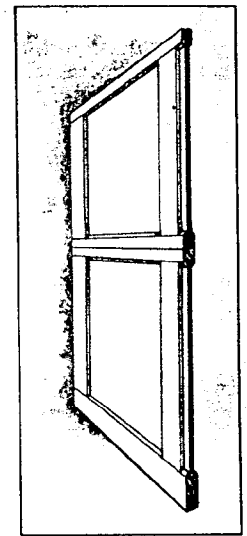
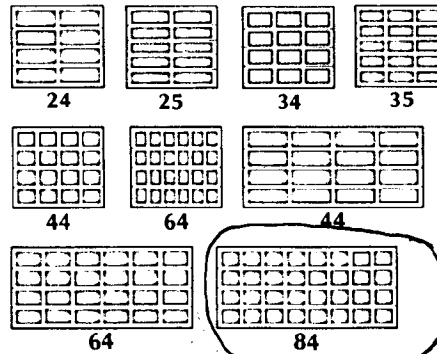
Quality at a Budget Pleasing Price

Quality 1 3/8" thick West Coast lumber and 1/4" exterior grade hard-board panels provide years of durability. Extra strong embossed hardware is used throughout. Add to that, sturdy rail and stile construction and rabbeted section joint and you have a door that not only looks good but is durable. Best of all, it's economical.

Available in a Variety of Sizes.

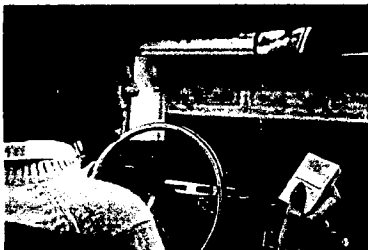
The ProMark 201 Series is available in 4 or 5 section heights, single or double car widths, and multiple configurations. Doors are factory sanded, ready for primer and painting. For the price, you can't do better . . . beautiful and durable.

DOOR HEIGHTS:	6'6", 6'8", 7'0" and 8'0"
DOOR WIDTHS AND MODEL SELECTION	
8'0" (201 Series)	24, 44, 64, 25 & 35
9'0" (201 Series)	34, 44, 64 & 35
10'0" (201 Series)	34, 44, 64 & 35
16'0" (201 Series)	44, 64 & 84



METAL GARAGE DOOR (MOD. 391) IS 5 PANELS HIGH & 8 PANELS WIDE (See page 5 of attached brochure)

Automatic Opener Systems Offer Security and Convenience



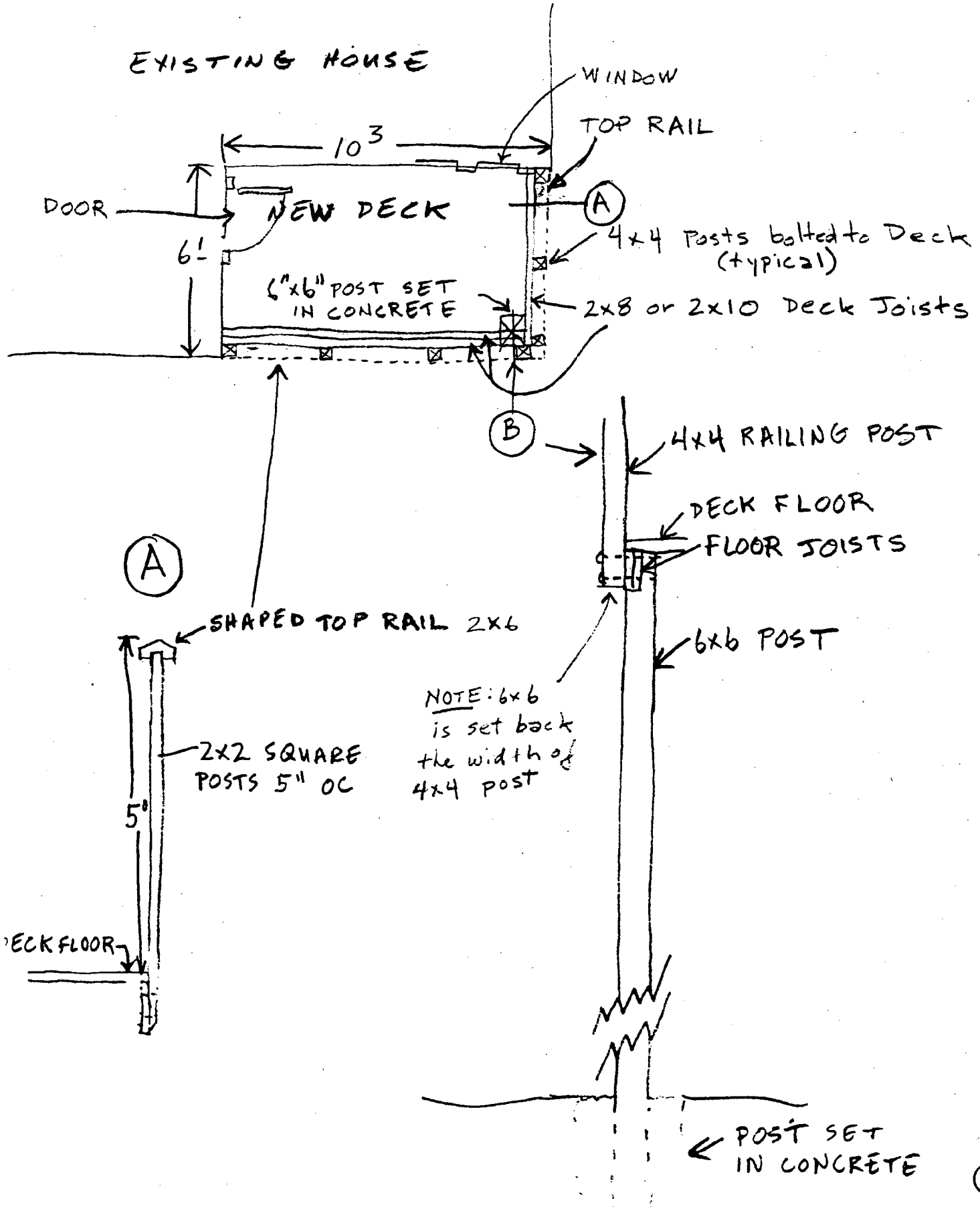
Garage Door Opener Systems have become a necessity among new home buyers and home owners. And we have the right opener for your garage door. No matter which model you choose, you can be assured you're getting The Overhead Door quality. All models are U.L. listed and have a limited lifetime warranty on the motor for as long as you own your home.

For additional information, contact your local Overhead Door Distributor.

Limited Warranty. All Overhead Door Corporation's products are sold with a one year limited warranty for workmanship, material, and installation by the Distributor of The "OVERHEAD DOOR." Copies of this limited warranty may be obtained on request from your local Distributor of The "OVERHEAD DOOR." Consistent with our policy of continuing product improvement, we reserve the right to change product specification without notice or obligation.

506 TULIP

2ND FLOOR DECK DETAILS





Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER LARRY RAVITZ TELEPHONE NO. 301-589-5305
(Contract/Purchaser) (Include Area Code)

ADDRESS 506 TULIP AVE. TAKOMA PARK MD 20912
CITY STATE ZIP

CONTRACTOR SELF TELEPHONE NO. _____

PLANS PREPARED BY SELF CONTRACTOR REGISTRATION NUMBER _____
TELEPHONE NO. _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 506 Street TULIP AVE.

Town/City TAKOMA PARK MD Election District 13

Nearest Cross Street CARROLL

Lot 4 Block 7 Subdivision _____

Liber _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
				Fence/Wall (complete Section 4)	Shed	Solar
						Woodburning Stove
						Other <u>Carport</u>

1B. CONSTRUCTION COSTS ESTIMATE \$ 2000⁰⁰

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 () WSSC	02 () Septic	2B. TYPE OF WATER SUPPLY
03 () Other _____		01 () WSSC
		02 () Well
		03 () Other _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Larry Ravitz 7-26-94
Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: 9407260080 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

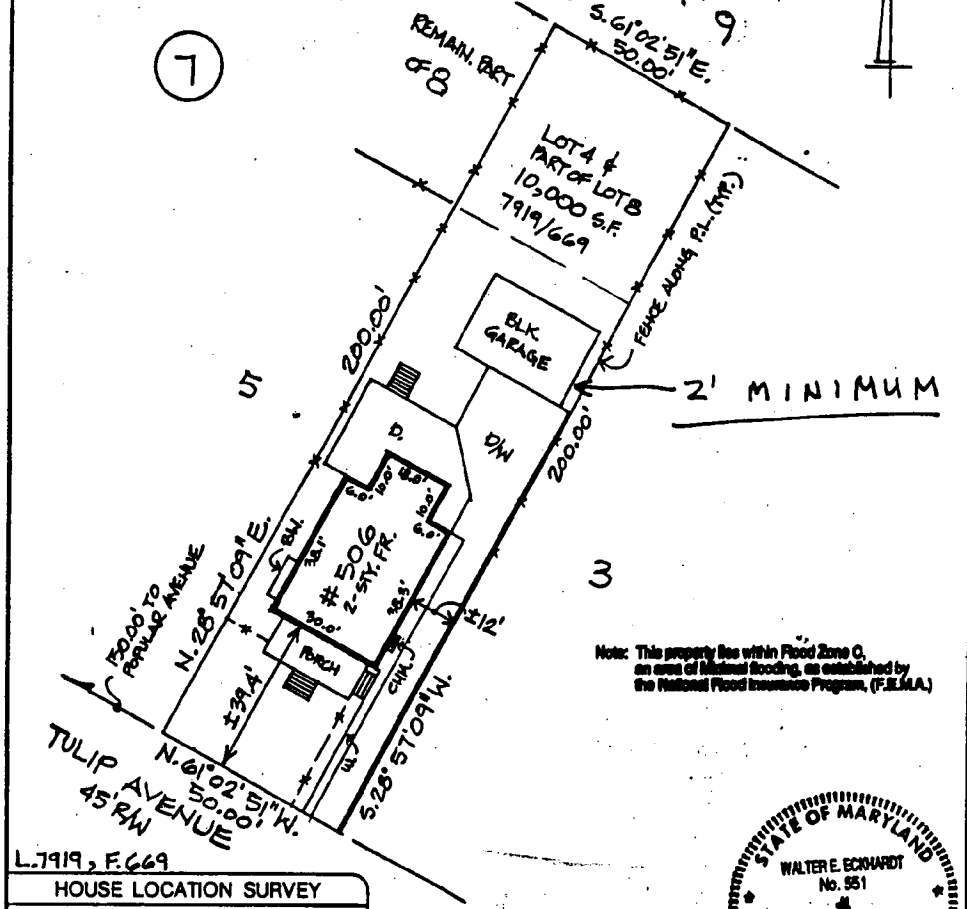
DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



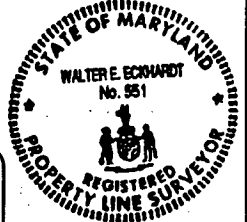
- NOTES:**
- This is NOT a Property Line/Boundary Survey and is NOT to be used for the erection of fences or any other improvement; this survey is for THIS PURPOSE ONLY; This Report was not furnished.
 - This survey was prepared in accordance with the plat of subdivision and/or deed as recorded in the Land Records of Montgomery County, Maryland.
 - This property shown hereon is subject to easements and right-of-ways of record.
 - The location of any Fences or Parties shown hereon are Approximate ONLY; the Exact location of same has NOT been determined by this survey.
- LEGEND:** CH - building overhang; D - ditch; S - slope; W - utility; P - party; AW - aerial wire(s); P.L. - property line; SW - bay window; CHW - driveway; WW - window well; SW - stairwell; G - gas meter.



Note: This property lies within Flood Zone C, an area of limited flooding, as established by the National Flood Insurance Program, (F.E.M.A.)

L.7919, F.669
HOUSE LOCATION SURVEY
 # 506 TULIP AVENUE
 LOT 4 & P.T.B. BLOCK 7
 LIPSCOMB AND EARLEST TRUSTEES
 ADDITION TO TAKOMA PARK
 P.B. 1 P. No. 46
 13TH Election District
 Montgomery County, Maryland

CERTIFICATION:
 I certify, to the best of my knowledge and belief, that the existing visible improvements shown hereon have been established by accepted land surveying practices and that unless otherwise shown there are no other improvements.
Walter E. Eckhardt
 Walter E. Eckhardt
 Property Line Surveyor, Md. Reg. No. 851



MSI METROPOLITAN SURVEYS, INC.
 Rockville, Maryland

Case: R93-07-017 File: T-188-93 Ck.: 4F. Scale: 1" = 20' Date: 7-19-93

CAD 1 INC 901-989-8840



**SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT
REQUIRED ATTACHMENTS**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:**

This application pertains to the land behind the house only. The area consists of a moderately sloped lot (approx. 50' x 100') which contained one three-car block garage, on insufficient footings and in a state of dangerous disrepair. The back and side walls were crumbling both because of the sinking footings and because a tree that was growing into it. The yard had not been taken care of and was strewn with broken glass, chunks of concrete and tall weeds. The tree was killing the garage and the garage was killing the tree and we were in danger if we got near either one. It was a bad situation.

The garage had no historical significance.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:**

When we purchased our house in July 1993 we were told that our house was not in an historic zone, so we were not aware of any historic restrictions. It wasn't until we recently applied for a second building permit to construct the carport that we discovered that our house was in an historic zone. Meanwhile, we had already renovated the entire interior of the property, removed the old garage, regraded the backyard and built a retaining wall.

The work we now propose to accomplish is:

- construct a small deck off the second floor bathroom, facing the rear yard.
- remove a small triangular shaped section off the existing rear deck to make space for a tree to be planted
- replace former garage with an open carport screened with lattice in the exact same location (see survey)

The new carport will be smaller and lighter in construction than the former garage and less obtrusive due to the earth banked up to its sides. The retaining wall used for the earth is composed of local rock, quarried near River Road, and is in keeping with the bucolic environment in the back of our house. The small deck to be constructed off the second floor bath will be made of similar materials and design as the existing deck on the ground level. It will have no impact on the facade as viewed from the street. The triangular section removed from the existing deck will be replaced with a tree.

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

The new work is intended to achieve a pleasant, safe and functional space for us to raise our family, while in no way diminishing the historic significance of our house or the neighborhood. We are striving to achieve a balance of function and beauty that embodies the spirit and style of our lovely neighborhood. The materials, details, landscaping, scale and massing are in keeping with the neighborhood and site. (see proposed design)

- b. the relationship of this design to the existing resource(s):

The design of the landscaping and the rebuilding of the garage enhance the surrounding resources by decreasing the size and visibility of the garage and creating a greater sense of privacy for us and our neighbors. The small second story side deck will enhance the livability of our house without detriment to neighbors, and will not be seen from the street.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

The changes we are making are architecturally compatible with the existing house and the neighborhood. In addition, our intent for the landscaping plan is to recreate a park-like setting. We have found evidence of an earlier garden. In cleaning up broken glass and debris and taking down the garage we remedied an unsafe condition.

3. Project Plan:

Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

Addresses of Adjacent Property Owners:

Lawrence S. Silberman
514 Tulip Avenue
Takoma Park, MD 20912

Lawrence S. Silberman
512 Tulip Avenue
Takoma Park, MD 20912

Victoria (Tory) Mattes
512 Tulip Avenue
Takoma Park, MD 20912

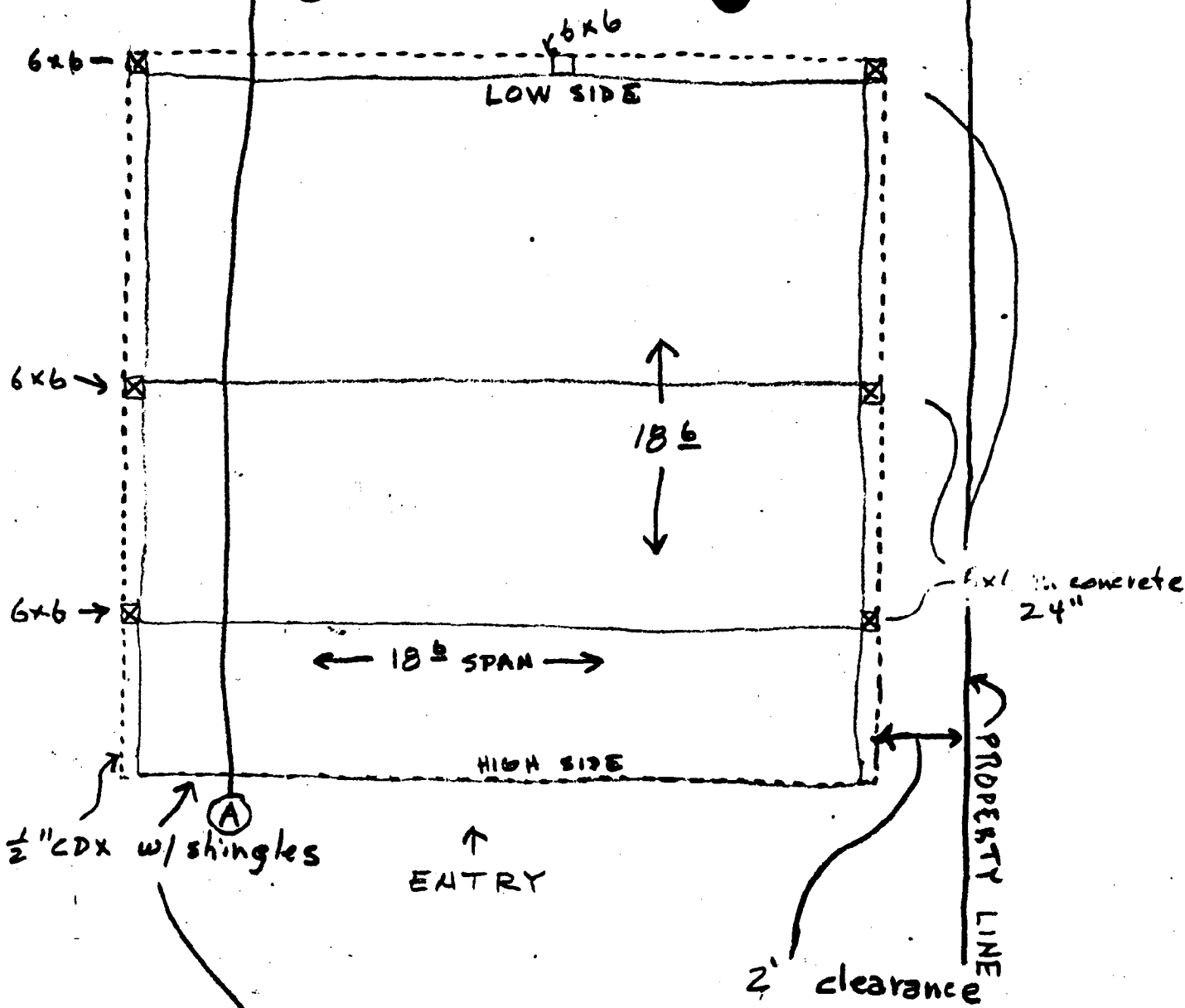
Douglas E. Dembling
504 Tulip Avenue
Takoma Park, MD 20912

Ed & Leticia Read
7207 Spruce Avenue
Takoma Park, MD 20912

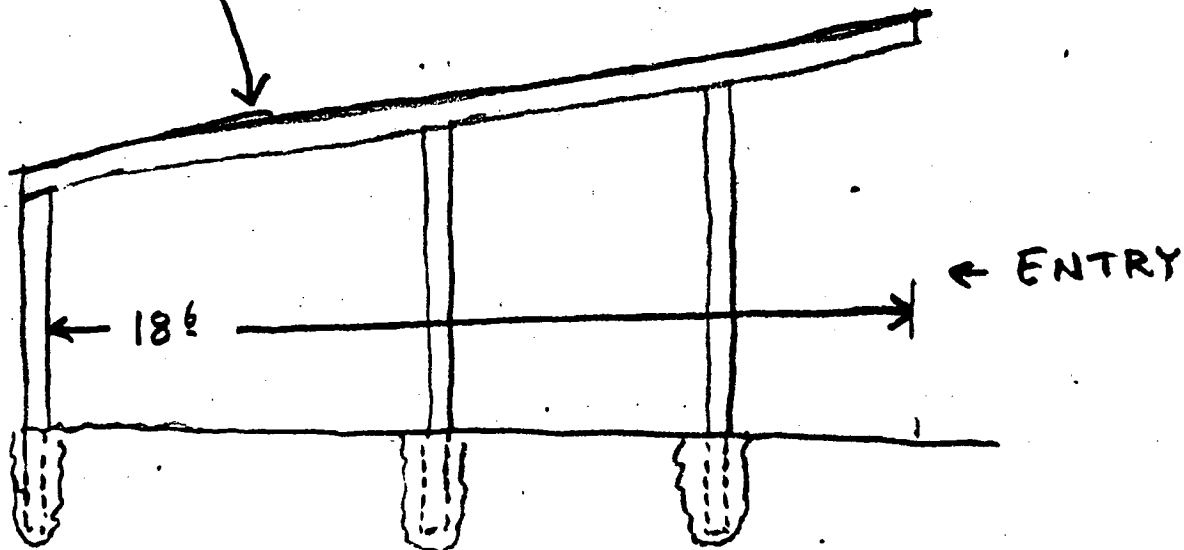
Bruce & Genie Sidwell
7209 Spruce Avenue
Takoma Park, MD 20912

David Ellis
7056 Carroll Avenue (across street)
Takoma Park, MD 20912

506 TULIP AVE. RAVITZ



(A)

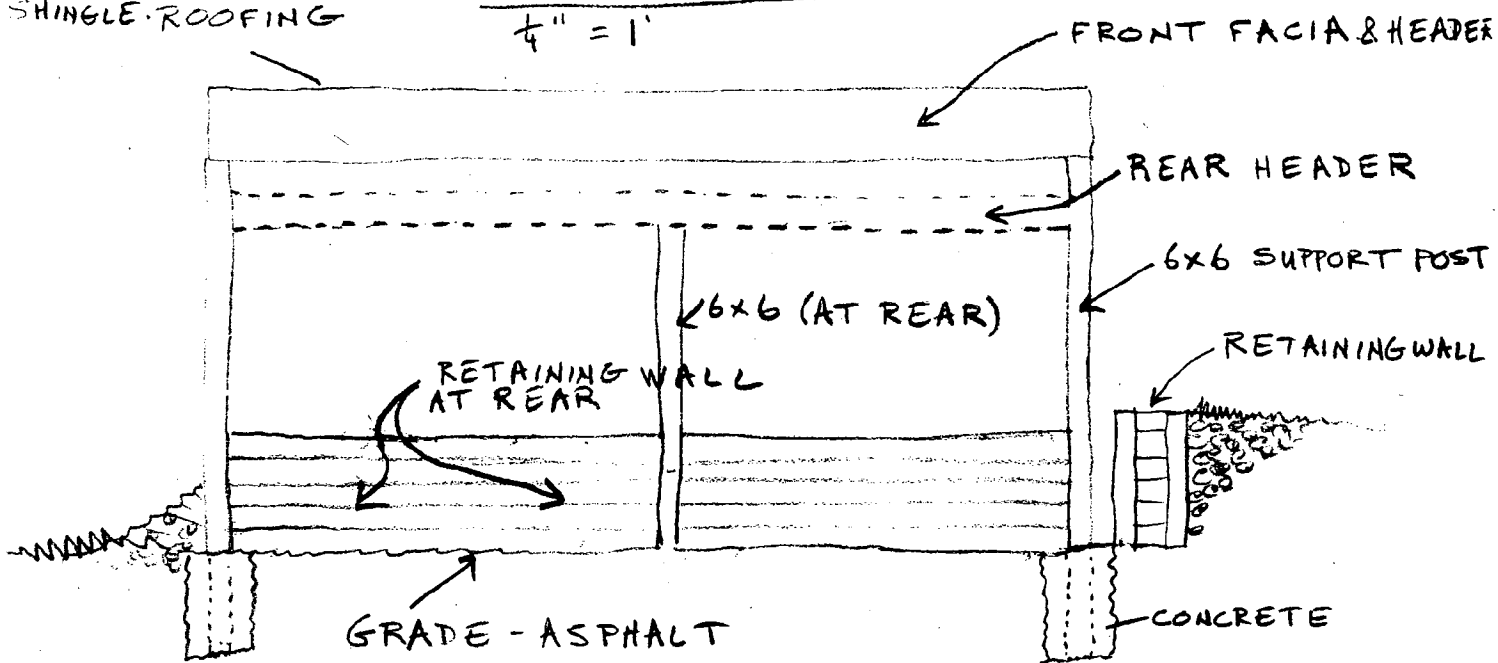


(F) (S)

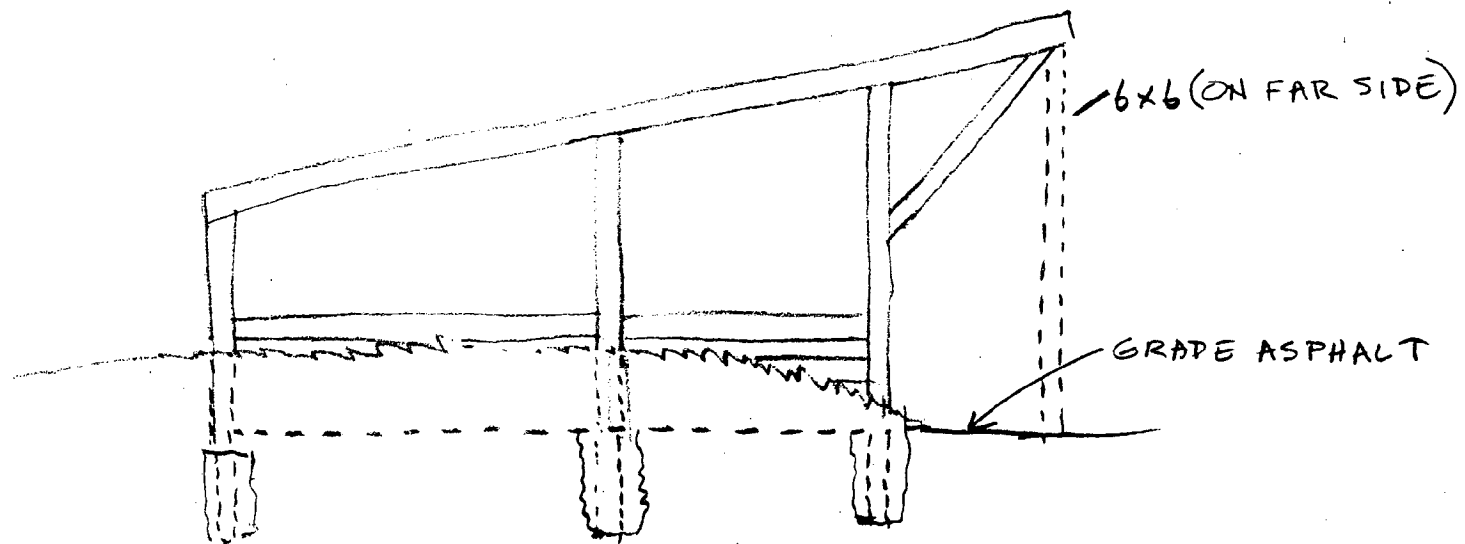
FRONT FACADE

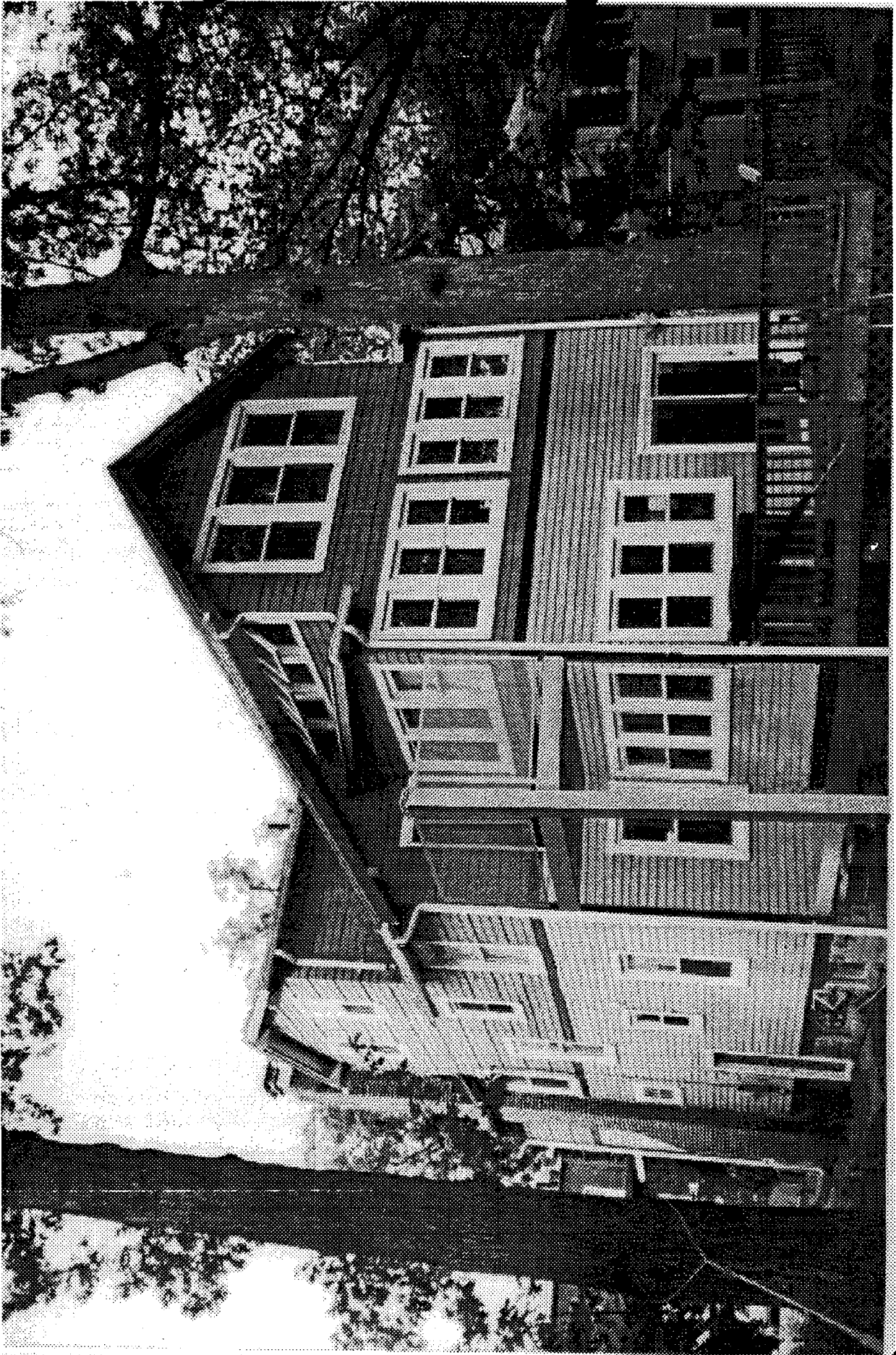
$\frac{1}{4}'' = 1'$

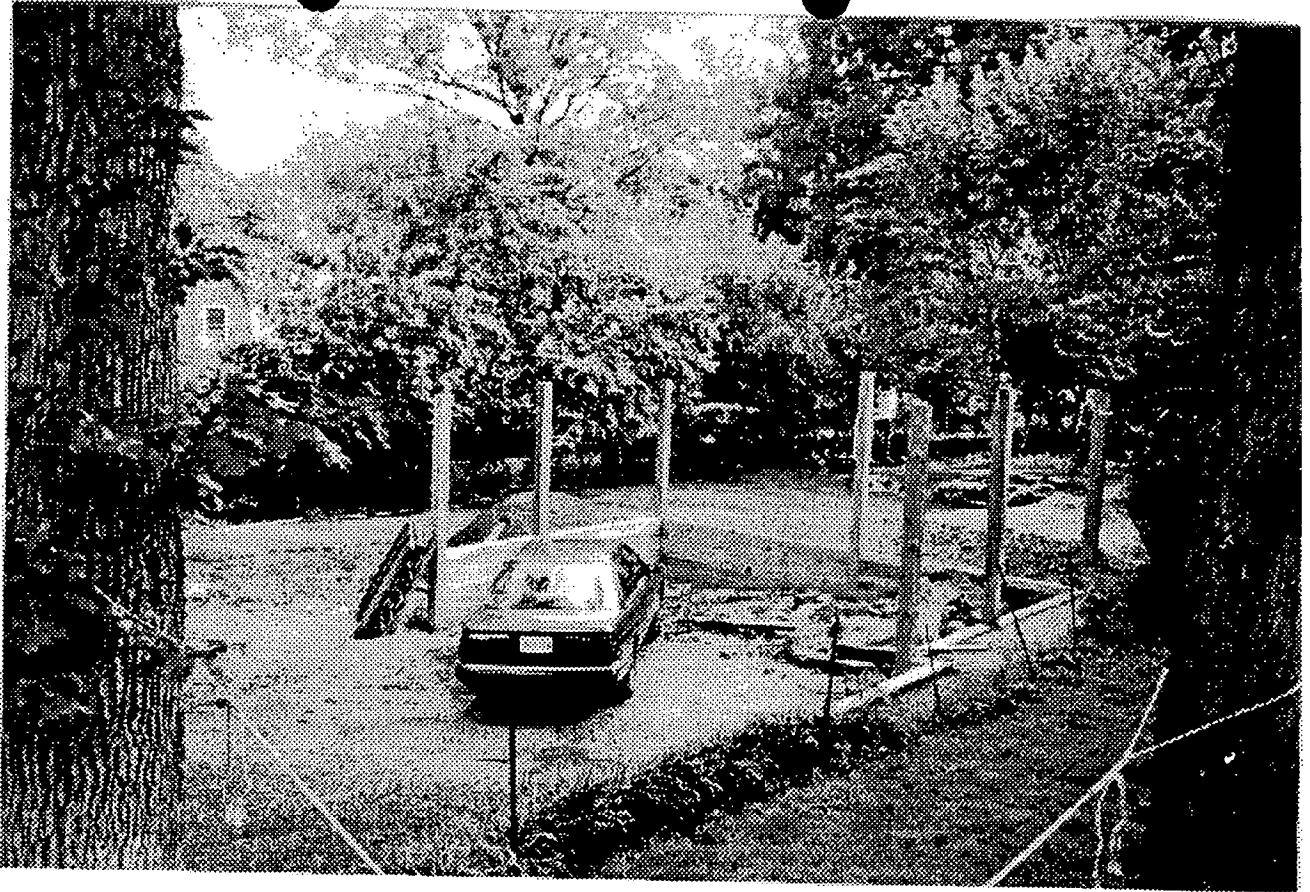
SHINGLE ROOFING



SIDE FACADE - LOOKING SOUTHEAST (TOWARD 512)







8/22/94

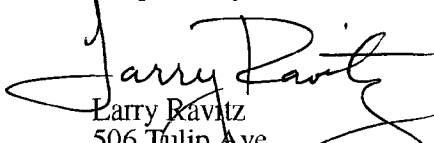
Patricia Parker
Maryland National Capital Park & Planning
8787 Georgia Ave
Silver Spring, MD 20910

Dear Ms. Parker,

At the 8/17/94 meeting of the Historic Preservation Commission, during the discussion of my case (#37/3-94CC), a letter from my neighbor Victoria Mattes was put into the public record. In it, she stated that I was aware of being in Takoma Park's Historic Zone at the time I renovated my house and erected the supports for a proposed carport. That is not true. I became aware of the historic designation on 7/26/94, when I went to obtain my second Building Permit.

Also, I note that the Historic Preservation Commission's staff recommended approval of the carport in their 8/10/94 report. If the Commission decides not to approve what the staff has recommended, please advise me in writing what design changes WOULD be approved.

Respectfully submitted,


Larry Ravitz
506 Tulip Ave
Takoma Park, MD 20912
Ph: 301-891-2222 (h)
301-589-5305 (w)

August 17, 1994

Patricia Parker
Maryland National Capital Park & Planning Commission
8787 Georgia Ave
Silver Spring, Maryland 20910

Re: HPC Case No 37/3-94CC

Dear Ms. Parker:

I understand that Mr. Larry Ravitz has requested approval to construct a carport at 506 Tulip Avenue, Takoma Park. I also understand that he additionally requested approval to construct a second floor deck at the rear right hand corner of the house. As the owner and chief resident of the adjacent property, located at 508 Tulip Avenue, I am categorically opposed to the granting of approval(s) for the carport and the deck. Due to the nature of the case, I have opted to separate the two issues for the purposes of this letter.

CARPORT:

-In his written description (1.b) Mr. Ravitz states no prior knowledge of the fact that the property was in the historic zone. I personally told him that our properties were in the historic district. I believe that other neighbors also informed him of the historic designation. Mr. Ravitz is also the landlord of other property in the Takoma area, and has contact with numerous construction contractors and regulatory agencies with whom he does regular business. I will not comment on the other methods that were available to him to ascertain that his property is in a historic area during settlement (July, 1993) and his many major renovation projects that occurred in the fall of 1993.

-In order to clarify the situation outlined in the written description (1.a), I would point out that Mr. Ravitz has overstated his case somewhat when commenting on the condition of the previous garage/horse stable that existed on the property. I agree that the garage/stable was in disrepair, but the use of the term "dangerous" is questionable. I do not believe that anyone was in "danger" if they got near the structure or tree. I agree with Mr. Ravitz that the landscape looks much better without garage/stable which is also part of my rationale for objecting to the carport. It is my understanding that the original structure was built circa 1917 in conjunction with the house. The side wall of the garage/stable formed the retaining wall that terraces the property from 508 Tulip.

-In his application, Mr. Ravitz implies that the construction of a carport is more of a replacement/reconstruction of the old

garage/horse stable. This is not true. There is nothing left of the original structure and site except a tree fort in the back corner. When the building and retaining wall were demolished last fall, his laborers left no trace of the original structure or the retaining wall. All material was removed from the site. During the landscaping this summer, the entire area was bulldozed over changing the original ground slope. When Mr. Ravitz caused the demolition of the old building, he stated, at that time, that he had no intention of rebuilding the structure. It was only early this summer that he told me that he had reconsidered this idea because the trees dropped things on his cars, but that his landscape architect was not enthusiastic about adding the carport into the plan. Also, the day Mr. Ravitz told me that he was going to apply for a permit, I told him that it was my impression that the county has an approximate 10 foot setback requirement.

Due to the total destruction and the removal of all material of the original structure, Mr. Ravitz should now conform to all applicable requirements for new structures including, but not limited to, set back requirements. He can not "grandfather in" a structure which does not exist. The only similarity between this new structure and the old garage/stable is the sloped roof. On August 15, 1994, I called the Maryland National Capital Park and Planning Commission. I was told that this property is zoned R-60. As per The Development Standards for Residential Zoning District for R-60 Zones, Section 59-C-1.32, a minimum of an 8' setback is required for any new structure. Statements indicating that Mr. Ravitz is replacing or rebuilding the garage/stable appear to circumvent the setback requirements. In addition, not only was the original retaining wall removed but, also, dirt behind it was removed so that when the new retaining wall was put in, the wall is now approximately 3' closer to the property line.

-Mr. Ravitz has not provided adequate information to ascertain exactly what he plans on building. The design plans conflict with one another and the written application. I do not understand how an approval can be granted without more detailed specifications as to what is being approved. This becomes especially true when given the fact that this is a new structure in its entirety. There is no indication how high this structure is to be. There is no indication as to how he plans to hold up the roof or detailed description of the roof facade. Without more detailed specifications, any approval granted at this point in time is basically providing a carte blanche to Mr. Ravitz to construct what ever he wants wherever he wants to.

-In reviewing the copy of his Required attachments there are additional inconsistencies.

- a. The new retaining wall is not 2 feet back from the property line. Also, 1.b states that the retaining wall is "composed of local rock" etc. The actual retaining wall is made out of wood.

b. One drawing on page 8 shows the posts two feet in from the property line. Currently, the existing posts are not. **Please Note: The actual posts in the ground are 12' and are built within the retaining wall which is not two feet from the property line.**

c. On page 5 it states in the bottom paragraph that "earth banked up to its sides". The top picture on page 9 indicates that here will be a ditch between the right side retaining wall and the post/side of the carport.

d. The top drawing on page 9 implies that the front has the potential to be 10' high, the lower drawing indicates 9'. What is the maximum height of this building? What is the pitch?

e. The top drawing on page 9 shows no indication of tiebacks or other type of support for the retaining walls.

f. There is no indication as to how the roof will be supported. Mr. Ravitz is proposing a double carport and the support structure for the roof would have a major impact on the design and appearance of the structure. The final design may not remotely resemble a carport when completed.

g. Page 7 (2.a) States that "The materials, details, ...scale are in keeping with the neighborhood and site." This structure is large for the neighborhood and for the yard this size. The materials, details etc. have no resemblance what so ever to the original structure.

-This carport is almost as close to my deck as it is to Mr. Ravitz's deck. I, like Mr. Ravitz, also strive for a park-like setting in my yard. This "carport" or large shed seriously diminishes that setting and will be intrusive. It will be next to impossible to sit or stand either on my deck or in my yard without seeing the structure. The structure will also be visible from my kitchen, upstairs bedrooms, and sleeping porch. I have included some photos taken from my deck of the current construction. This provides a different depiction of the actual size and the impact on me, than the photo included in Mr. Ravitz's application.

-On Question 2.b (page 7), Mr. Ravitz states that the "design...and the rebuilding of the garage enhance the surrounding resources by decreasing the size and visibility of the garage and creating greater sense of privacy for us and our

neighbors." I would like to point out that the fact that the carport is smaller is of no benefit to anyone but himself. What is happening is that the carport will be closer to the property line and, that the lack of width provides him with more space in the middle of his yard. There is absolutely no benefit to my property and, depending upon the exact location, is actually more detrimental to my property than the previous structure. I provided Mr. Ravitz an alternate plan which would place this structure next to his house and out of my line of vision. He did not want this carport close to his house; neither do I.

- This is a historic area. My house was built circa 1911. While I realize that my house is only a contributing "factor" in the overall historical significance at this point, in a few years my house will have reached 100 years old. I do not see how a large shed-like 1960's style "carport" can add anything architecturally to the historic environment. It only detracts.

DECK:

While I realize that the staff report recommends some changes to the proposed deck, again there are some misconceptions and information gaps which should be addressed.

-When Mr. Ravitz was having his house renovated in the fall of 1993, he put in the door for this deck. There was no existing door prior to his taking occupancy. This was done well in advance of any permit application. While incidental to the current proposal, Mr. Ravitz has also installed double doors to a non-existent deck on the other side of the house.

-The deck, while not necessarily visible from Tulip Avenue, will be visible from Carroll Avenue and the side street behind the house during 6 months out of the year when the leaves are down.

-The proposed deck is not in keeping with early century residential architecture. He owns an original cross plan Sears house. Whenever adding on to a historic building one is, by nature, changing the nature of the building. In order for the deck to be structurally in keeping with period architecture, it would be attached to the residence in a different manner (built in support from the interior of the house) without the need for a long post.

-Again, the materials, details, scale and massing are not in keeping with the neighborhood and site. By attaching the deck, it automatically changes the symmetry and massing of the house. The materials, details scale etc. are not in keeping with the historic nature of the site. There are no details articulated in the copy of the report I received with the exception of the computer enhanced photo. There is, however, a statement that indicates that deck materials will be made of similar material as that of the ground level deck. The ground floor deck may not be

an appropriate model in that it was built within the last 10 years, is not in keeping with the historic nature of the neighborhood, and is not looked upon as an integral part of the house's architecture. The second story deck as illustrated would diminish the historic significance of the house.

- The enhanced photo makes this deck look almost square. The actual dimensions of the corner of the house are more like 5'x10'. The lot plan states 6'x10'. I have enclosed a picture which provides a different view of the dimensions of the proposed deck.

-There is insufficient detail to ascertain the structural stability and integrity of this deck. I estimate that this proposed deck may be approximately 20' off the ground. There may be a need for cross bracing which would significantly change the design and appearance of the structure.

-Mr. Ravitz's assertion in his application that the deck would be "without detriment to neighbors" is not true. Taking this area, which was set back, and creating another living area facing my property is a clear detriment. The proposed deck is a rectangle with the long side facing my residence. This deck would face and overlook my own ground level deck and entire back yard. The height and location are approximately that of the sleeping porch on the back of my house which is used extensively. This deck would have a direct impact on my privacy. If this deck were to be constructed, there are no steps that I could take (fences, trees etc.) to return my property to the current level of privacy. The deck, in combination with Mr. Ravitz's 19 windows already facing my property, would decrease the property value of my home.

-The application states that he wants to remove part of his own ground level deck so that a tree can be added. I am never opposed to planting trees and, I admire his willingness to do so. I only suggest that it will take years for the tree to provide any privacy for the second level deck. Given its location, most of the advantage of the tree will be that Mr. Ravitz will not have to look out upon his own carport.

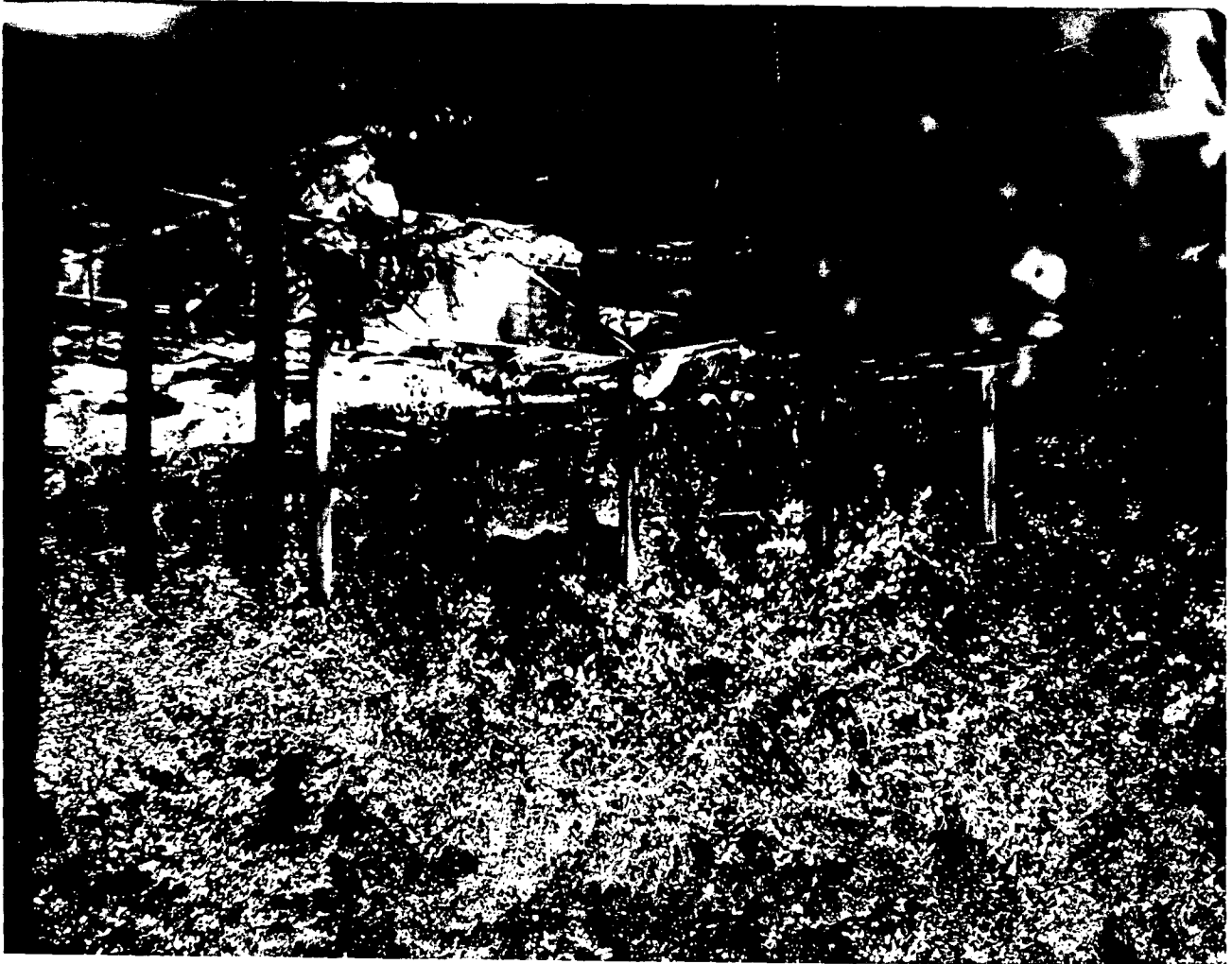
REQUEST:

I strongly urge the board to reject Mr. Ravitz's application for both the carport and the deck. I question the quality and validity of the much of the information contained in the application. I believe that both structures will decrease the historical environment of the neighborhood, the value of the surrounding property, and the quality of life in my house.

Victoria Mattes

Victoria Mattes
508 Tulip Ave.
Takoma Park, Md. 20912

Photo of carpet taken from my deck.
Note: deck rail was included so that size
could be seen.



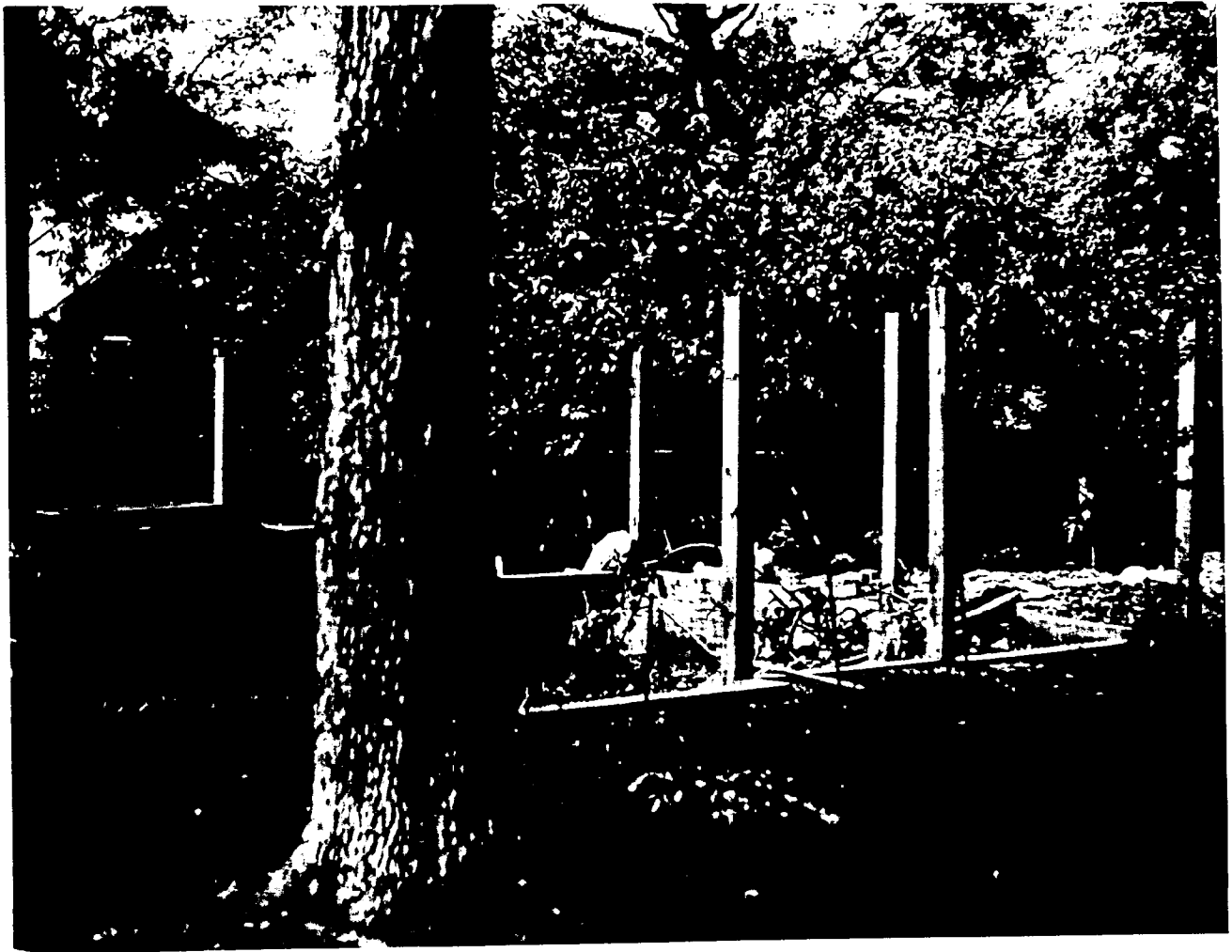
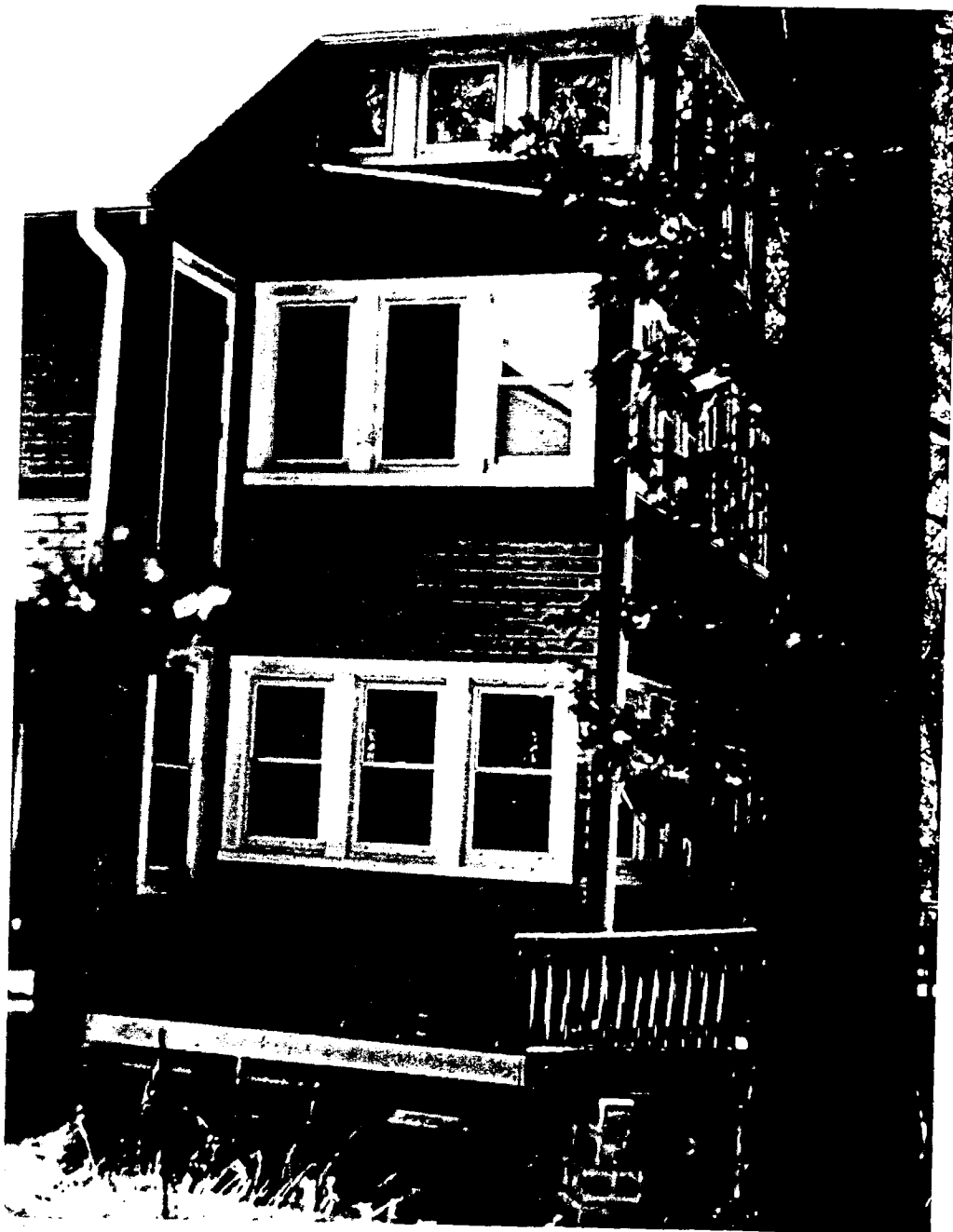


Photo of carport taken from the middle of
my yard



This picture was taken of the proposed deck site from a spot near my deck. (Note: the construction of the door is not totally finished and the dimensions clearly illustrate that this deck would face my property.) Also note potential tree placement due to AC equipment.



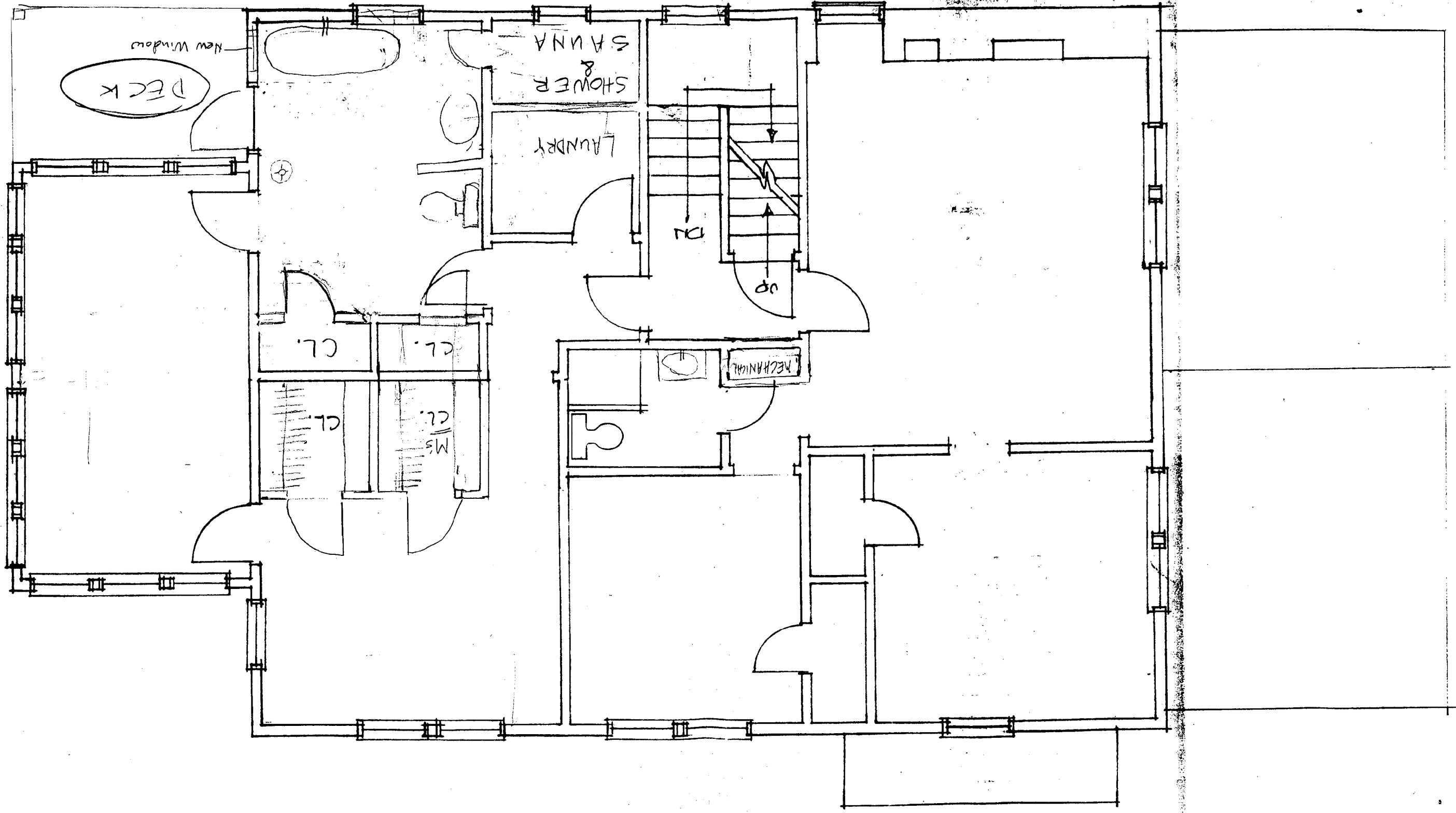
Picture of proposed deck from my deck.

2ND FLOOR

RAVITZ/PARTRIDGE REHAB

FIELD ARCHITECTS

SCALE 1/4" = 1'-0"



506 TULIN

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 506 Tulip Avenue Meeting Date: 08/17/94
Resource: Takoma Park Historic District HAWP: Alteration
Case Number: 37/3-94CC Tax Credit: No
Public Notice: 08/03/94 Report Date: 08/10/94
Applicant: Larry Ravitz Staff: Patricia Parker
PROPOSAL: Construct carport & RECOMMEND: Approve car-
second-story deck port; Approve deck
with conditions

BACKGROUND

This HAWP application seeks HPC approval to construct a carport of frame construction and a 10' x 7' second story frame deck accessed from a door at the second story level on the rear elevation. These changes are proposed for a contributing resource in the Takoma Park Historic District. This resource is surrounded by other contributing resources on Tulip Avenue.

STAFF DISCUSSION

Carport

The HAWP proposal for construction of a carport suggests another more salient question. Staff did not receive a HAWP application for demolition of the garage that previously stood in the rear yard. From a staff photo of the property taken in the summer of 1992, it appears that the garage was original to the property (it had a shed roof and a cast concrete block pier) but that it was substantially altered (it also had large picture windows in the walls). The staff will show the slide at the HPC meeting.

Now the applicant proposes to construct a 18'-6" x 18'-6" timber carport with 6x6 posts set in concrete. Lattice panels will be used in lieu of walls. The carport would have a shed roof, as did the garage. The new structure would be in the approximate location of the previous one. The driveway would be paved with asphalt and continued through the area of the carport.

Staff feels that a secondary structure on this lot of this period would have been a garage - not a carport. However, ancillary structures in the rear yard are typical and character-

istic of the Takoma Park Historic District. Considering that the carport is similar in size, roof configuration, and location to the previous garage, and that the Takoma Park guidelines allow for a more lenient review of alterations at the rear of the property and for new construction, the staff feels that the proposal is acceptable.

Deck

The staff recommends that the HPC find the proposal for a second story frame deck consistent with the character of the house only if the dimensions are made slightly smaller so that the deck is recessed from the exterior walls in both directions. As proposed, the deck would be visible from the street, particularly the 6 x 6 corner post. The Takoma Park guidelines encourage the reinforcement and continuity of the existing streetscape views. Therefore, staff recommends that the applicant indent the deck inside of the existing exterior walls so that it is less visible from the public right-of-way. The baluster and railing are not shown and should be submitted to HPC staff prior to issuance of the HAWP. The staff suggests simple square pickets and a shaped top rail. The second story deck should be painted or stained with opaque color, as it would become an integral part of the house's architecture.

The drawing also indicates a new window opening on the rear wall. However, the application does not make mention of this change as part of the proposal. The photo shows an existing door opening. The guidelines state that changes made to contributing resources should respect the predominant architectural style of the resource. If the deck is made smaller, the staff finds the proposal could be found acceptable and consistent with the Takoma Park guidelines which allow for greater leniency in the review of alterations at the rear of the property.

STAFF RECOMMENDATION

With the following condition, the staff recommends that the Commission find the proposal for for a carport and second-story deck consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with the Secretary of the Interior's Standards for Rehabilitation #2 and #10:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration

of features and spaces that characterize a property shall be avoided; and

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the Takoma Park Historic District amendment guidelines;

provided: 1) that the applicant shall revise the the proposal to show the balusters and railing to be used on the deck, and that the dimensions of the deck be reduced so that the deck railing and corner post are inside the line of the exterior walls, and that the deck shall be painted or stained to match or complement the house.

and with the general condition for all Historic Area Work Permits: The applicant shall notify the Department of Environmental Protection (DEP) five days prior to commencing work and within two weeks after completion.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER LARRY RAVITZ TELEPHONE NO. 301-589-5305
(Contract/Purchaser) (Include Area Code)

ADDRESS 506 TULIP AVE. TAKOMA PARK MD 20912
CITY STATE ZIP

CONTRACTOR SELF TELEPHONE NO. _____

PLANS PREPARED BY SELF CONTRACTOR REGISTRATION NUMBER _____
(Include Area Code)

REGISTRATION NUMBER _____

LOCATION OF BUILDING/PREMISE

House Number 506 Street TULIP AVE.

Town/City TAKOMA PARK MD Election District 13

Nearest Cross Street CARROLL

Lot 4 Block 7 Subdivision _____

Liber. _____ Folio _____ Parcel _____

1A. TYPE OF PERMIT ACTION: (circle one)

Construct	Extend/Add	Alter/Renovate	Repair	Circle One: A/C	Slab	Room Addition
Wreck/Raze	Move	Install	Revocable	Porch	Deck	Fireplace
			Revision	Fence/Wall (complete Section 4)	Shed	Solar
						Woodburning Stove

1B. CONSTRUCTION COSTS ESTIMATE \$ 2000.00

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY PEPCO

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL

01 () WSSC	02 () Septic
03 () Other _____	

2B. TYPE OF WATER SUPPLY

01 () WSSC	02 () Well
03 () Other _____	

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line _____
- Entirely on land of owner _____
- On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Larry Ravitz 7-26-94
 Signature of owner or authorized agent (agent must have signature notarized on back) Date

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: 9407260080 FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

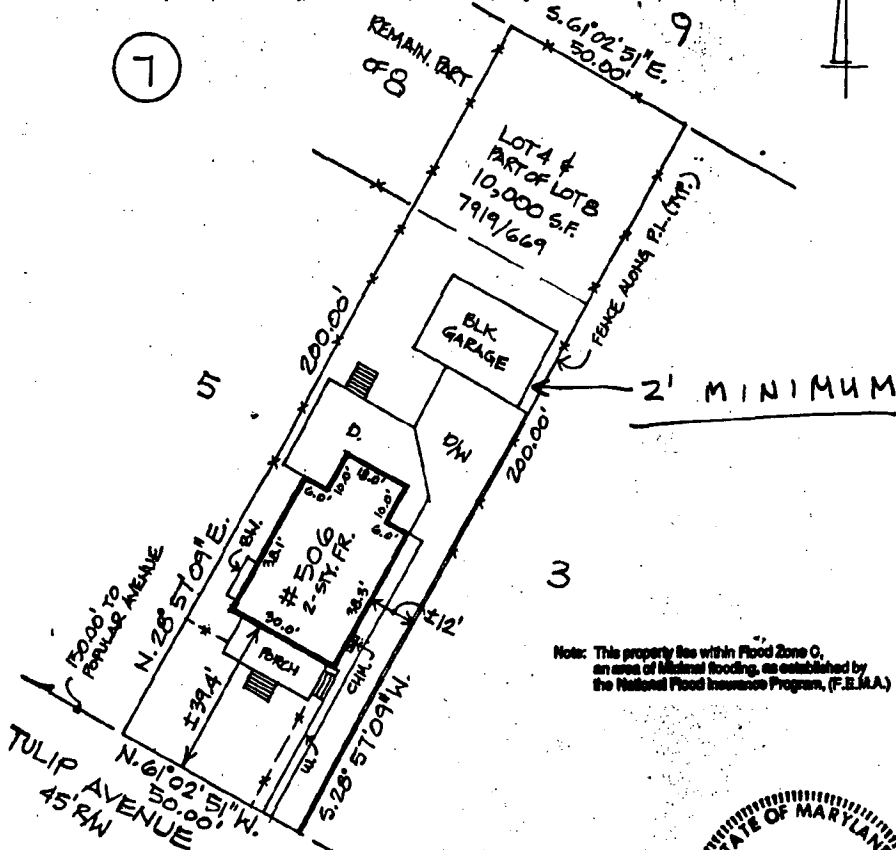
OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

NOTES:

1. This is NOT a Property Line/Boundary Survey and is NOT to be used for the location of fences or any other improvement; Survey is for Title Purpose ONLY; This Report was not furnished.
2. This survey was prepared in accordance with the plat of subdivision and/or deed as recorded in the Records of Montgomery County, Maryland.
3. The property shown hereon is subject to easements and right-of-way(s) of record.
4. The location of any Fence or Fences shown hereon are Approximate ONLY, the Exact location of same has NOT been determined by this survey.
5. LEGEND: O.H. - building overhang; D. - deck; S. - stoop; W. - walkway; P. - patio; A.W. - aerial wire(s); P.L. - property line; S.W. - bay window; C.H.M. - chimney; W.W. - window well; S.W. - stairwell; G. - gas meter.

7



Note: This property lies within Flood Zone C, an area of minimal flooding, as established by the National Flood Insurance Program, (F.E.M.A.)

L.7919, F.669

HOUSE LOCATION SURVEY

506 TULIP AVENUE

LOT 4 & PART OF B BLOCK 7

LIPSCOMB AND EARNEST TRUSTEES

ADDITION TO TAKOMA PARK

P.B. 1 P. No. 46

13TH Section District

Montgomery County, Maryland

CERTIFICATION:

I certify, to the best of my knowledge and belief, that the existing visible improvements shown hereon have been established by accepted land surveying practices and that unless otherwise shown there are no other encroachments.

Walter E. Eckhardt

Walter E. Eckhardt
Property Line Surveyor, Md. Reg. No. 551



Case: R93-07-017 File: 7-188-93 Ck: 4.F. Scale: 1" = 30' Date: 7-19-93

172813

CAD 1 INC 301-848-3340

**SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT
REQUIRED ATTACHMENTS**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

This application pertains to the land behind the house only. The area consists of a moderately sloped lot (approx. 50' x 100') which contained one three-car block garage, on insufficient footings and in a state of dangerous disrepair. The back and side walls were crumbling both because of the sinking footings and because a tree that was growing into it. The yard had not been taken care of and was strewn with broken glass, chunks of concrete and tall weeds. The tree was killing the garage and the garage was killing the tree and we were in danger if we got near either one. It was a bad situation.

The garage had no historical significance.

b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district:

When we purchased our house in July 1993 we were told that our house was not in an historic zone, so we were not aware of any historic restrictions. It wasn't until we recently applied for a second building permit to construct the carport that we discovered that our house was in an historic zone. Meanwhile, we had already renovated the entire interior of the property, removed the old garage, regraded the backyard and built a retaining wall.

The work we now propose to accomplish is:

- construct a small deck off the second floor bathroom, facing the rear yard.
- remove a small triangular shaped section off the existing rear deck to make space for a tree to be planted
- replace former garage with an open carport screened with lattice in the exact same location (see survey)

The new carport will be smaller and lighter in construction than the former garage and less obtrusive due to the earth banked up to its sides. The retaining wall used for the earth is composed of local rock, quarried near River Road, and is in keeping with the bucolic environment in the back of our house. The small deck to be constructed off the second floor bath will be made of similar materials and design as the existing deck on the ground level. It will have no impact on the facade as viewed from the street. The triangular section removed from the existing deck will be replaced with a tree.

Addresses of Adjacent Property Owners:

Lawrence S. Silberman
514 Tulip Avenue
Takoma Park, MD 20912

Lawrence S. Silberman
512 Tulip Avenue
Takoma Park, MD 20912

Victoria (Tory) Mattes
512 Tulip Avenue
Takoma Park, MD 20912

Douglas E. Dembling
504 Tulip Avenue
Takoma Park, MD 20912

Ed & Leticia Read
7207 Spruce Avenue
Takoma Park, MD 20912

Bruce & Genie Sidwell
7209 Spruce Avenue
Takoma Park, MD 20912

David Ellis
7056 Carroll Avenue (across street)
Takoma Park, MD 20912

2. Statement of Project Intent:

Short, written statement that describes:

- a. the proposed design of the new work, in terms of scale, massing, materials, details, and landscaping:

The new work is intended to achieve a pleasant, safe and functional space for us to raise out family, while in no way diminishing the historic significance of our house or the neighborhood. We are striving to achieve a balance of function and beauty that embodies the spirit and style of our lovely neighborhood. The materials, details, landscaping, scale and massing are in keeping with the neighborhood and site. (see proposed design)

- b. the relationship of this design to the existing resource(s):

The design of the landscaping and the rebuilding of the garage enhance the surrounding resources by decreasing the size and visibility of the garage and creating a greater sense of privacy for us and our neighbors. The small second story side deck will enhance the livability of our house without detriment to neighbors, and will not be seen from the street.

- c. the way in which the proposed work conforms to the specific requirements of the Ordinance (Chapter 24A):

The changes we are making are architecturally compatible with the existing house and the neighborhood. In addition, our intent for the landscaping plan is to recreate a park-like setting. We have found evidence of an earlier garden. In cleaning up broken glass and debris and taking down the garage we remedied an unsafe condition.

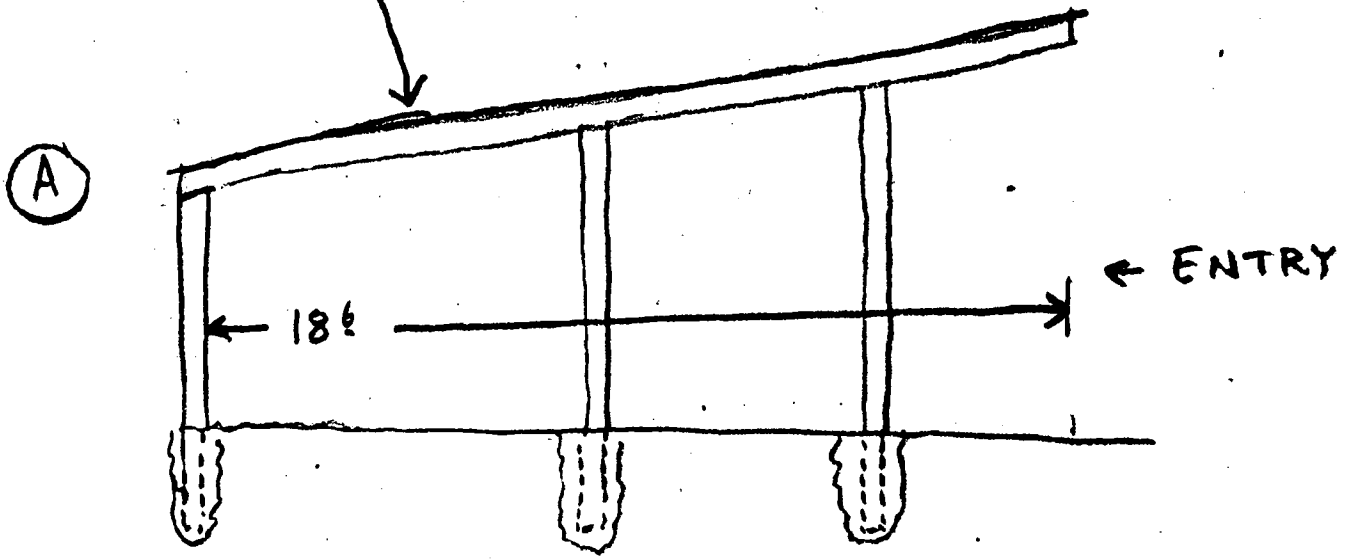
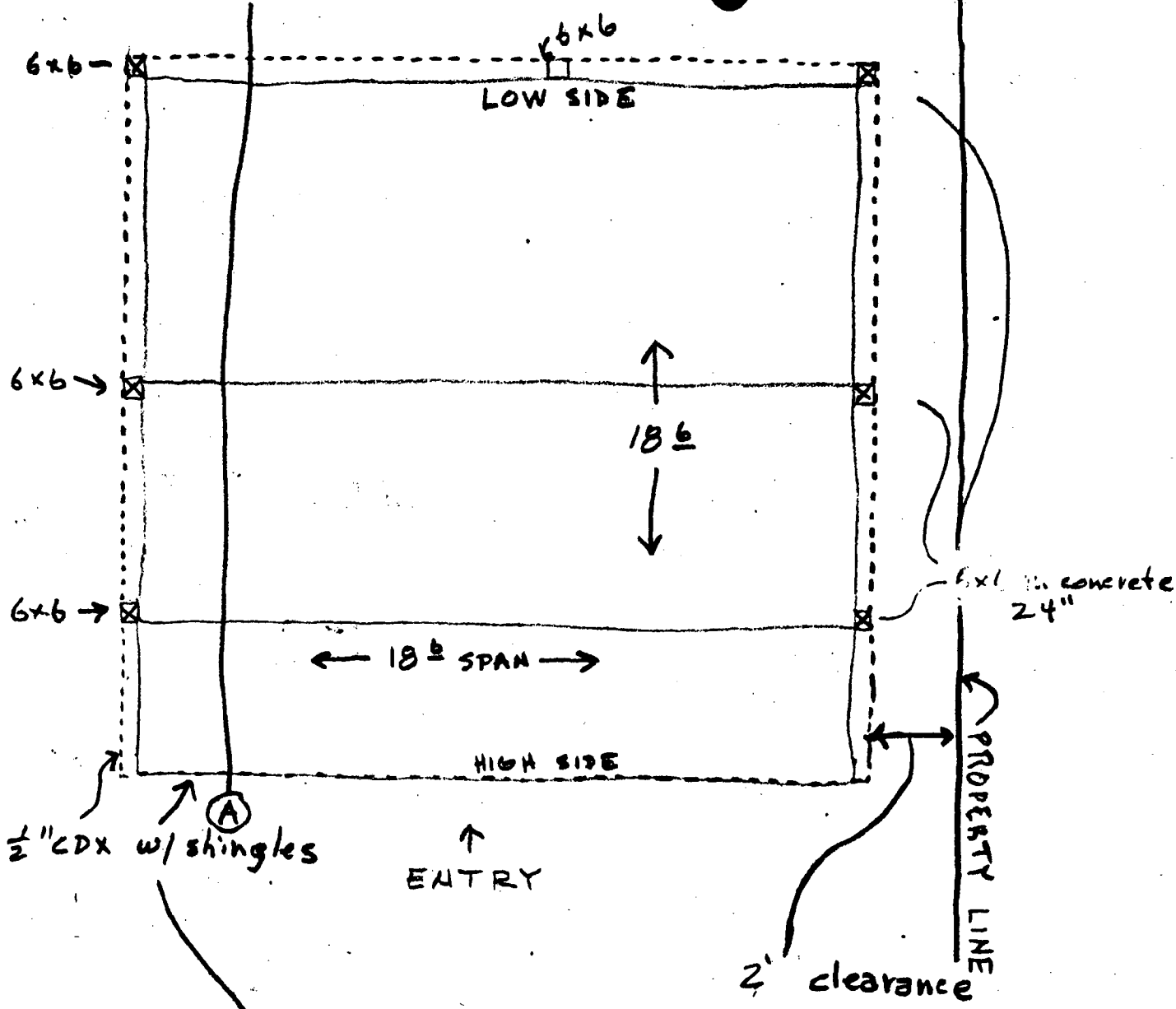
3. Project Plan:

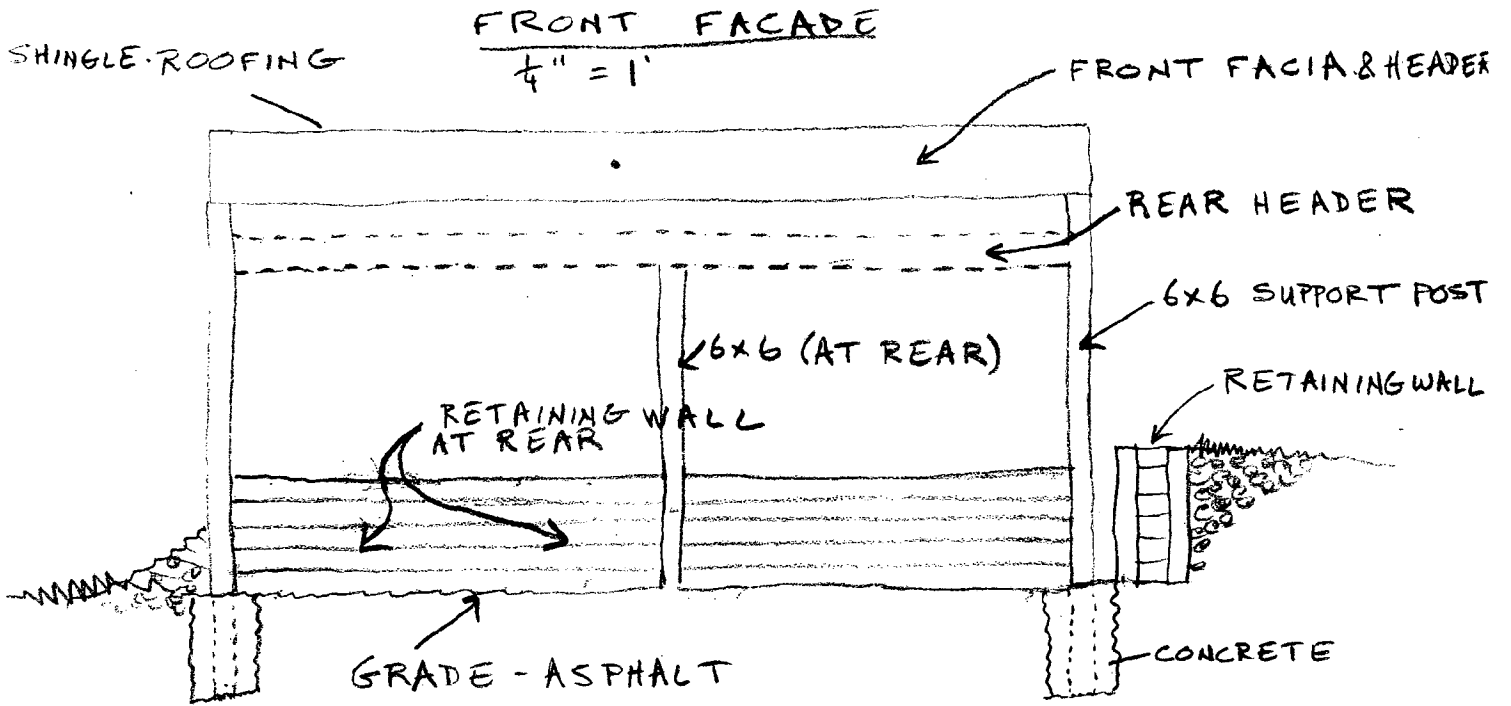
Site and environmental setting, drawn to scale (staff will advise on area required). Plan to include:

- a. the scale, north arrow, and date;
- b. dimensions and heights of all existing and proposed structures;
- c. brief description and age of all structures (e.g., 2 story, frame house c.1900);
- d. grading at no less than 5' contours (contour maps can be obtained from the Maryland-National Capital Park and Planning Commission, 8787 Georgia Avenue, Silver Spring; telephone 495-4610); and
- e. site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

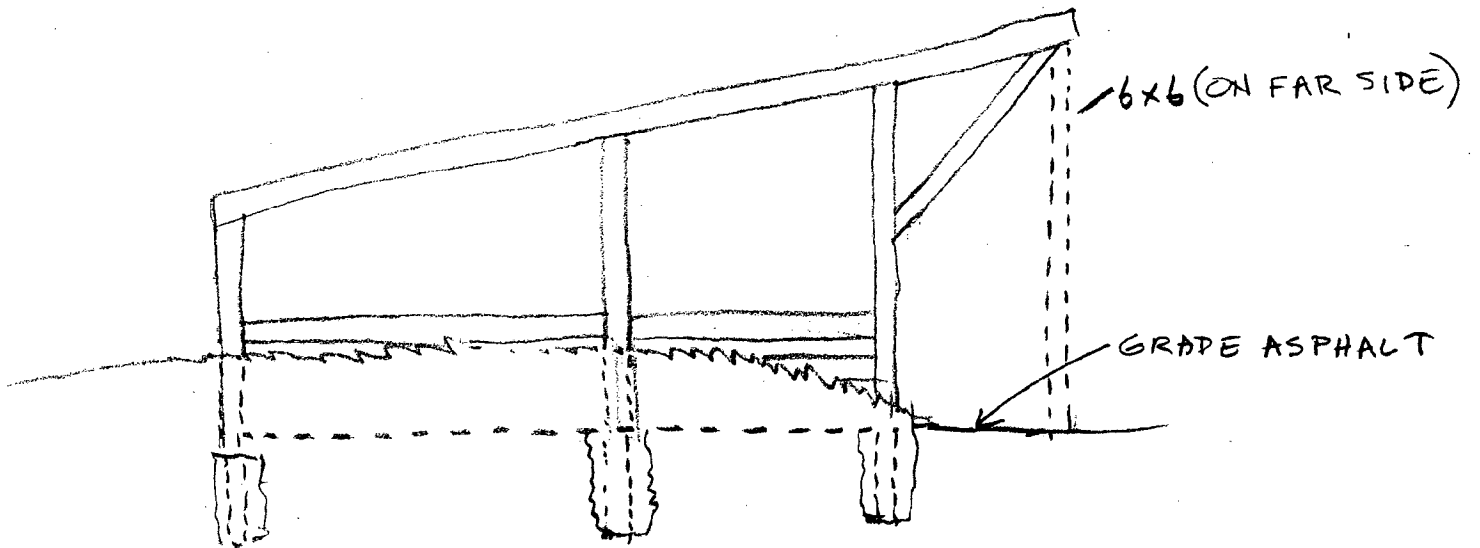
4. Tree Survey: If applicable, tree survey indicating location, caliper and species of all trees within project area which are 6" in caliper or larger (including those to be removed).

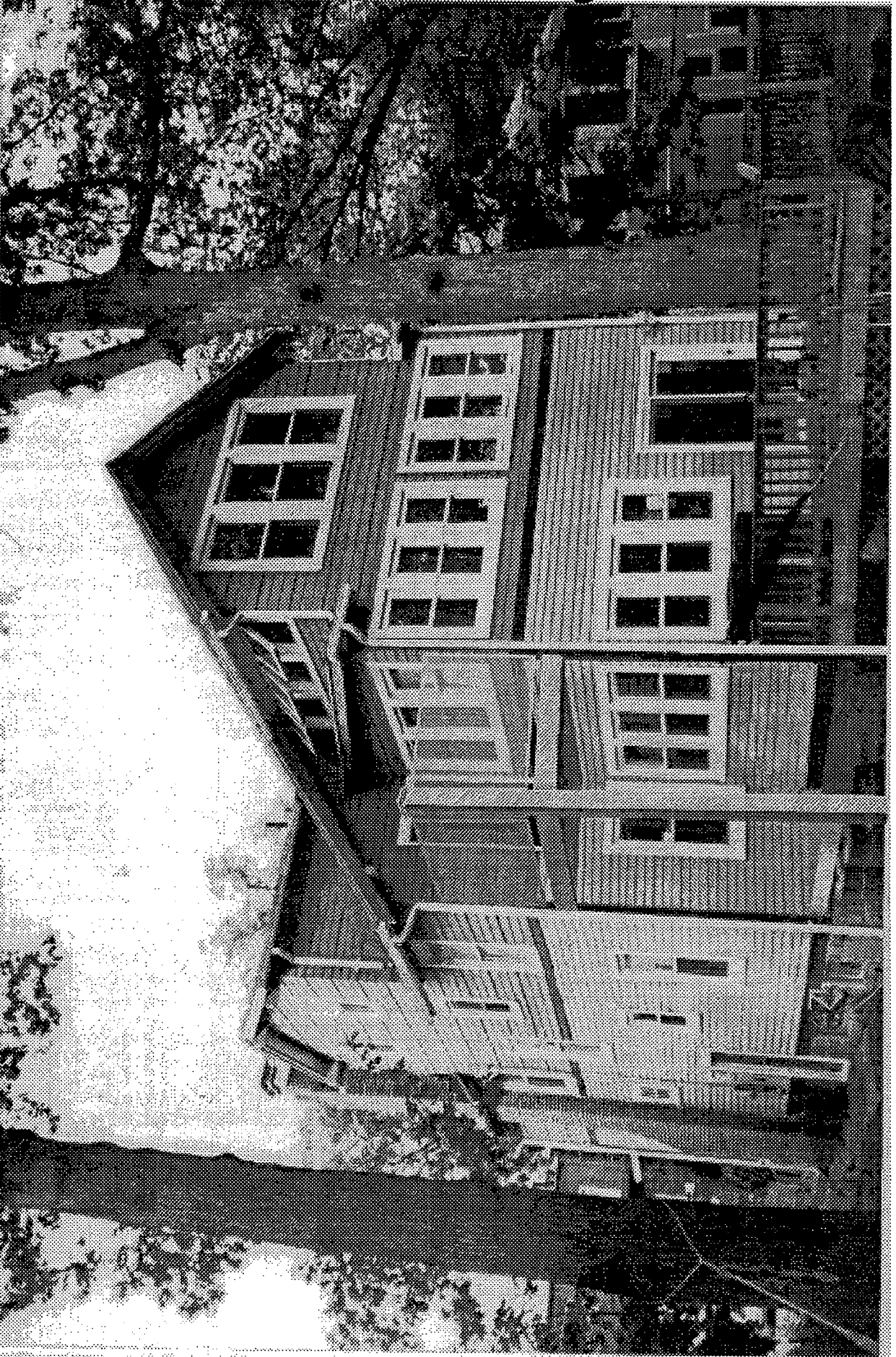
56 TULIP AVE. RAVITZ

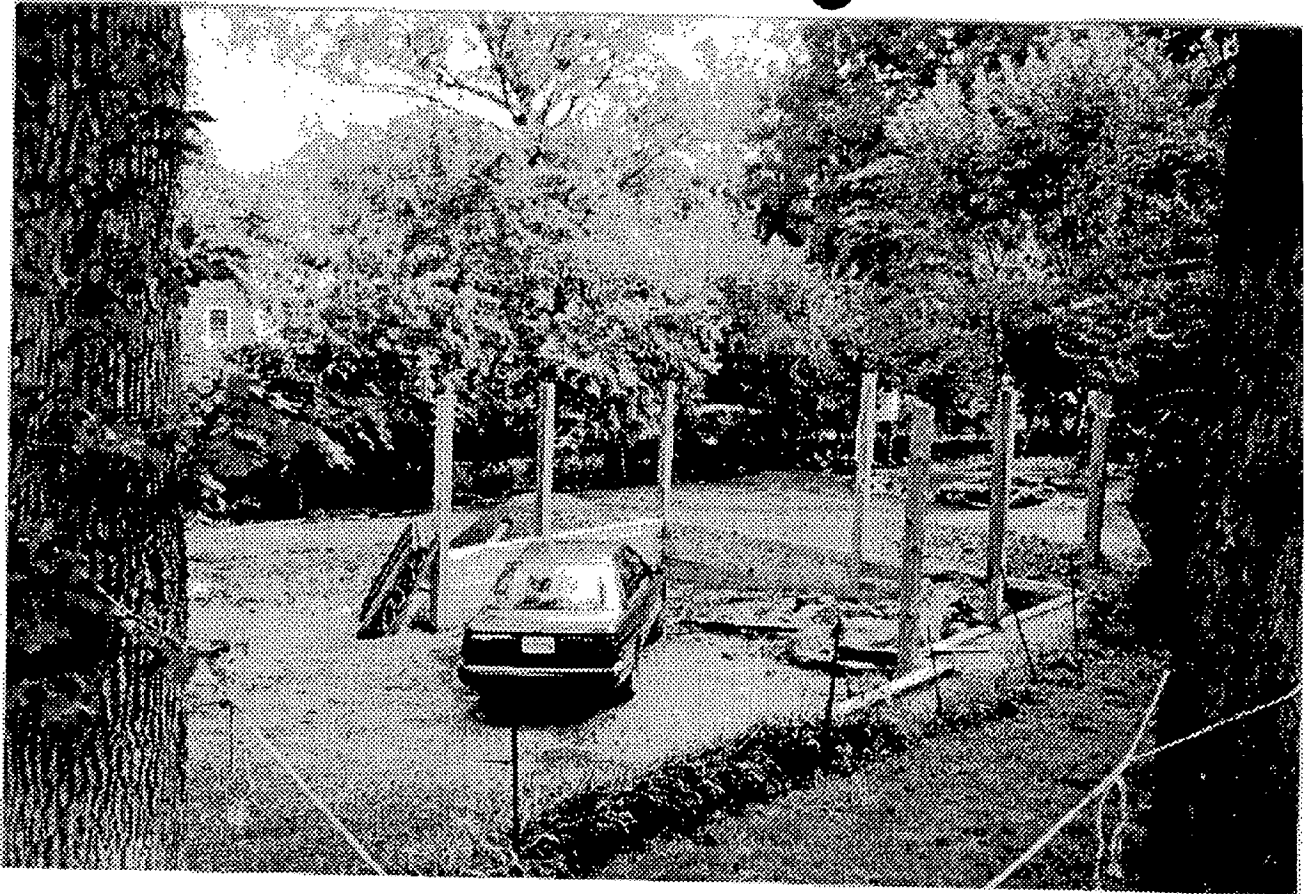




SIDE FACADE - LOOKING SOUTHEAST (TOWARD 512)







FAX

Date: August 17, 1994

From: **Larry Ravitz**
506 Tulip Ave.
Takoma Park, MD 20912
(301) 891-2222 or (301) 589-5305(alt.)
FAX (301) 891-2845

To: **The Maryland-National Park and Planning Commission**
Nancy Witherell or Patricia Parker

Nancy or Patricia:

I am faxing you the 2nd story porch detail. Please call me to let me know if this is satisfactory. The rail and posts are designed to match the large existing deck. Your suggestions are welcome. I will attempt to make the changes immediately, so that you can have an acceptable design this afternoon, before tonight's hearing.

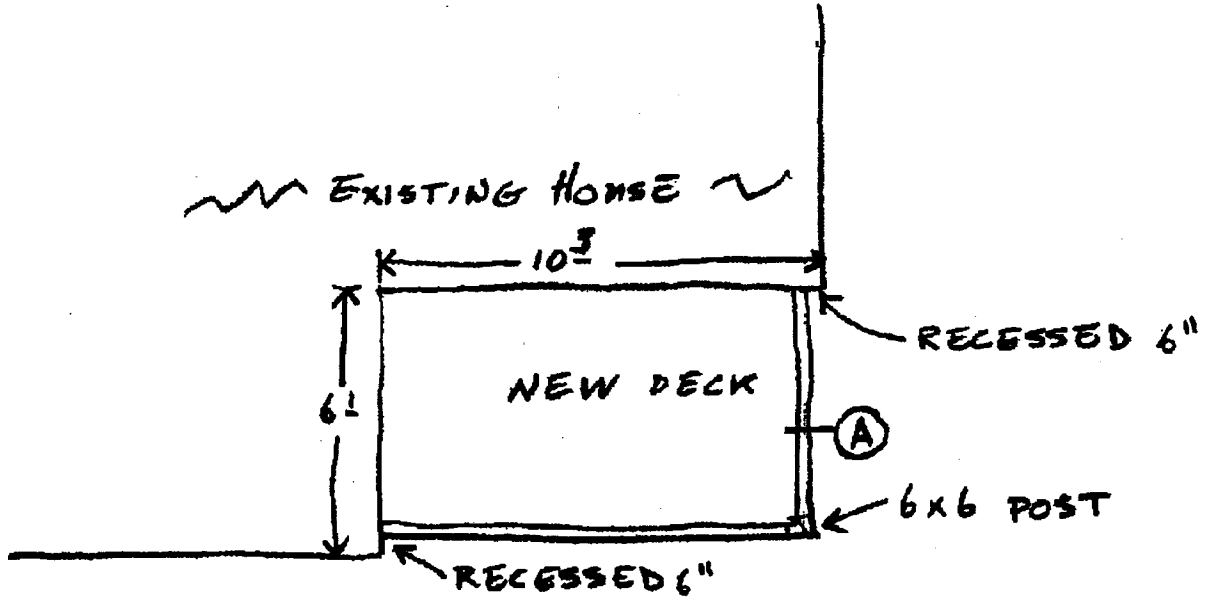
I will be home this afternoon and look forward to your return call. 891-2222

Sincerely,

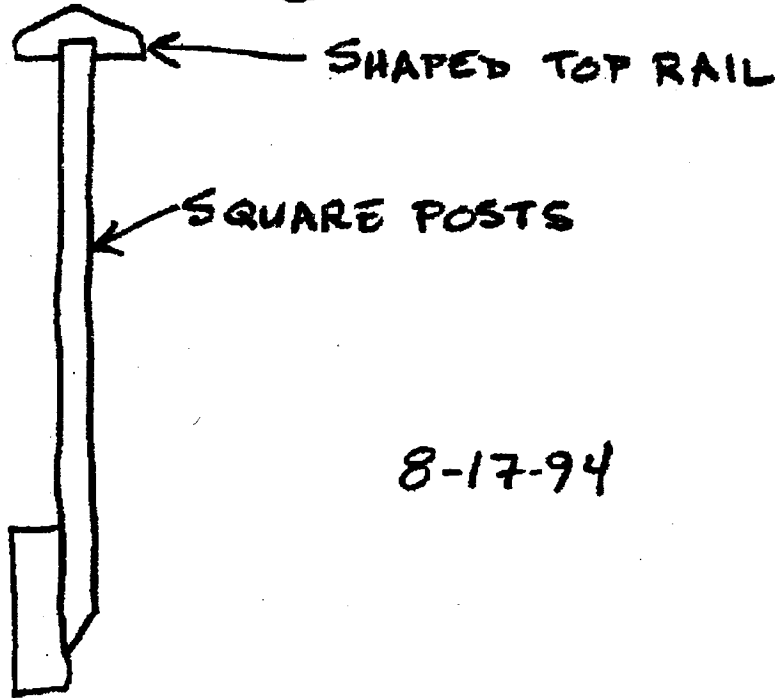


2-PAGES

506 TULIP AVENUE - RAVITZ 2ND STORY DECK DETAIL



CROSS SECTION (A)



8-17-94



August 17, 1994

Patricia Parker
Maryland National Capital Park & Planning Commission
8787 Georgia Ave
Silver Spring, Maryland 20910

Re: HPC Case No 37/3-94CC

Dear Ms. Parker:

I understand that Mr. Larry Ravitz has requested approval to construct a carport at 506 Tulip Avenue, Takoma Park. I also understand that he additionally requested approval to construct a second floor deck at the rear right hand corner of the house. As the owner and chief resident of the adjacent property, located at 508 Tulip Avenue, I am categorically opposed to the granting of approval(s) for the carport and the deck. Due to the nature of the case, I have opted to separate the two issues for the purposes of this letter.

CARPORT:

-In his written description (1.b) Mr. Ravitz states no prior knowledge of the fact that the property was in the historic zone. I personally told him that our properties were in the historic district. I believe that other neighbors also informed him of the historic designation. Mr. Ravitz is also the landlord of other property in the Takoma area, and has contact with numerous construction contractors and regulatory agencies with whom he does regular business. I will not comment on the other methods that were available to him to ascertain that his property is in a historic area during settlement (July, 1993) and his many major renovation projects that occurred in the fall of 1993.

-In order to clarify the situation outlined in the written description (1.a), I would point out that Mr. Ravitz has overstated his case somewhat when commenting on the condition of the previous garage/horse stable that existed on the property. I agree that the garage/stable was in disrepair, but the use of the term "dangerous" is questionable. I do not believe that anyone was in "danger" if they got near the structure or tree. I agree with Mr. Ravitz that the landscape looks much better without garage/stable which is also part of my rationale for objecting to the carport. It is my understanding that the original structure was built circa 1917 in conjunction with the house. The side wall of the garage/stable formed the retaining wall that terraces the property from 508 Tulip.

-In his application, Mr. Ravitz implies that the construction of a carport is more of a replacement/reconstruction of the old

garage/horse stable. This is not true. There is nothing left of the original structure and site except a tree fort in the back corner. When the building and retaining wall were demolished last fall, his laborers left no trace of the original structure or the retaining wall. All material was removed from the site. During the landscaping this summer, the entire area was bulldozed over changing the original ground slope. When Mr. Ravitz caused the demolition of the old building, he stated, at that time, that he had no intention of rebuilding the structure. It was only early this summer that he told me that he had reconsidered this idea because the trees dropped things on his cars, but that his landscape architect was not enthusiastic about adding the carport into the plan. Also, the day Mr. Ravitz told me that he was going to apply for a permit, I told him that it was my impression that the county has an approximate 10 foot setback requirement.

Due to the total destruction and the removal of all material of the original structure, Mr. Ravitz should now conform to all applicable requirements for new structures including, but not limited to, set back requirements. He can not "grandfather in" a structure which does not exist. The only similarity between this new structure and the old garage/stable is the sloped roof. On August 15, 1994, I called the Maryland National Capital Park and Planning Commission. I was told that this property is zoned R-60. As per The Development Standards for Residential Zoning District for R-60 Zones, Section 59-C-1.32, a minimum of an 8' setback is required for any new structure. Statements indicating that Mr. Ravitz is replacing or rebuilding the garage/stable appear to circumvent the setback requirements. In addition, not only was the original retaining wall removed but, also, dirt behind it was removed so that when the new retaining wall was put in, the wall is now approximately 3' closer to the property line.

-Mr. Ravitz has not provided adequate information to ascertain exactly what he plans on building. The design plans conflict with one another and the written application. I do not understand how an approval can be granted without more detailed specifications as to what is being approved. This becomes especially true when given the fact that this is a new structure in its entirety. There is no indication how high this structure is to be. There is no indication as to how he plans to hold up the roof or detailed description of the roof facade. Without more detailed specifications, any approval granted at this point in time is basically providing a carte blanche to Mr. Ravitz to construct what ever he wants wherever he wants to.

-In reviewing the copy of his Required attachments there are additional inconsistencies.

- a. The new retaining wall is not 2 feet back from the property line. Also, 1.b states that the retaining wall is "composed of local rock" etc. The actual retaining wall is made out of wood.

b. One drawing on page 8 shows the posts two feet in from the property line. Currently, the existing posts are not. **Please Note: The actual posts in the ground are 12' and are built within the retaining wall which is not two feet from the property line.**

c. On page 5 it states in the bottom paragraph that "earth banked up to its sides". The top picture on page 9 indicates that here will be a ditch between the right side retaining wall and the post/side of the carport.

d. The top drawing on page 9 implies that the front has the potential to be 10' high, the lower drawing indicates 9'. What is the maximum height of this building? What is the pitch?

e. The top drawing on page 9 shows no indication of tiebacks or other type of support for the retaining walls.

f. There is no indication as to how the roof will be supported. Mr. Ravitz is proposing a double carport and the support structure for the roof would have a major impact on the design and appearance of the structure. The final design may not remotely resemble a carport when completed.

g. Page 7 (2.a) States that "The materials, details, ...scale are in keeping with the neighborhood and site." This structure is large for the neighborhood and for the yard this size. The materials, details etc. have no resemblance what so ever to the original structure.

-This carport is almost as close to my deck as it is to Mr. Ravitz's deck. I, like Mr. Ravitz, also strive for a park-like setting in my yard. This "carport" or large shed seriously diminishes that setting and will be intrusive. It will be next to impossible to sit or stand either on my deck or in my yard without seeing the structure. The structure will also be visible from my kitchen, upstairs bedrooms, and sleeping porch. I have included some photos taken from my deck of the current construction. This provides a different depiction of the actual size and the impact on me, than the photo included in Mr. Ravitz's application.

-On Question 2.b (page 7), Mr. Ravitz states that the "design...and the rebuilding of the garage enhance the surrounding resources by decreasing the size and visibility of the garage and creating greater sense of privacy for us and our

neighbors." I would like to point out that the fact that the carport is smaller is of no benefit to anyone but himself. What is happening is that the carport will be closer to the property line and, that the lack of width provides him with more space in the middle of his yard. There is absolutely no benefit to my property and, depending upon the exact location, is actually more detrimental to my property than the previous structure. I provided Mr. Ravitz an alternate plan which would place this structure next to his house and out of my line of vision. He did not want this carport close to his house; neither do I.

- This is a historic area. My house was built circa 1911. While I realize that my house is only a contributing "factor" in the overall historical significance at this point, in a few years my house will have reached 100 years old. I do not see how a large shed-like 1960's style "carport" can add anything architecturally to the historic environment. It only detracts.

DECK:

While I realize that the staff report recommends some changes to the proposed deck, again there are some misconceptions and information gaps which should be addressed.

-When Mr. Ravitz was having his house renovated in the fall of 1993, he put in the door for this deck. There was no existing door prior to his taking occupancy. This was done well in advance of any permit application. While incidental to the current proposal, Mr. Ravitz has also installed double doors to a non-existent deck on the other side of the house.

-The deck, while not necessarily visible from Tulip Avenue, will be visible from Carroll Avenue and the side street behind the house during 6 months out of the year when the leaves are down.

-The proposed deck is not in keeping with early century residential architecture. He owns an original cross plan Sears house. Whenever adding on to a historic building one is, by nature, changing the nature of the building. In order for the deck to be structurally in keeping with period architecture, it would be attached to the residence in a different manner (built in support from the interior of the house) without the need for a long post.

-Again, the materials, details, scale and massing are not in keeping with the neighborhood and site. By attaching the deck, it automatically changes the symmetry and massing of the house. The materials, details scale etc. are not in keeping with the historic nature of the site. There are no details articulated in the copy of the report I received with the exception of the computer enhanced photo. There is, however, a statement that indicates that deck materials will be made of similar material as that of the ground level deck. The ground floor deck may not be

an appropriate model in that it was built within the last 10 years, is not in keeping with the historic nature of the neighborhood, and is not looked upon as an integral part of the house's architecture. The second story deck as illustrated would diminish the historic significance of the house.

- The enhanced photo makes this deck look almost square. The actual dimensions of the corner of the house are more like 5'x10'. The lot plan states 6'x10'. I have enclosed a picture which provides a different view of the dimensions of the proposed deck.

-There is insufficient detail to ascertain the structural stability and integrity of this deck. I estimate that this proposed deck may be approximately 20' off the ground. There may be a need for cross bracing which would significantly change the design and appearance of the structure.

-Mr. Ravitz's assertion in his application that the deck would be "without detriment to neighbors" is not true. Taking this area, which was set back, and creating another living area facing my property is a clear detriment. The proposed deck is a rectangle with the long side facing my residence. This deck would face and overlook my own ground level deck and entire back yard. The height and location are approximately that of the sleeping porch on the back of my house which is used extensively. This deck would have a direct impact on my privacy. If this deck were to be constructed, there are no steps that I could take (fences, trees etc.) to return my property to the current level of privacy. The deck, in combination with Mr. Ravitz's 19 windows already facing my property, would decrease the property value of my home.

-The application states that he wants to remove part of his own ground level deck so that a tree can be added. I am never opposed to planting trees and, I admire his willingness to do so. I only suggest that it will take years for the tree to provide any privacy for the second level deck. Given its location, most of the advantage of the tree will be that Mr. Ravitz will not have to look out upon his own carport.

REQUEST:

I strongly urge the board to reject Mr. Ravitz's application for both the carport and the deck. I question the quality and validity of the much of the information contained in the application. I believe that both structures will decrease the historical environment of the neighborhood, the value of the surrounding property, and the quality of life in my house.

Victoria Mattes

Victoria Mattes
508 Tulip Ave.
Takoma Park, Md. 20912

301.270.1879



Photo of carpoet taken from my deck.
Note: deck rail was included so that size
could be seen.



Photo of carport taken from the middle of
my yard



This picture was taken of the proposed deck site from a spot near my deck. (Note: the construction of the door is not totally finished and the dimensions clearly illustrate that this deck would face my property.) Also note potential tree placement due to AC equipment.



Picture of proposed deck from my deck.