

~~II + Hatched~~

~~XXXXXXXXXX~~

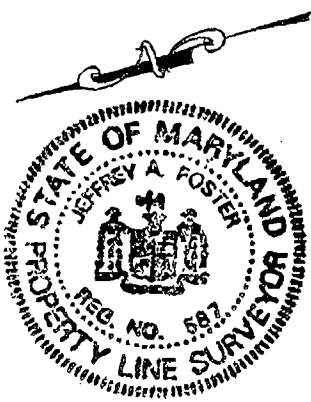
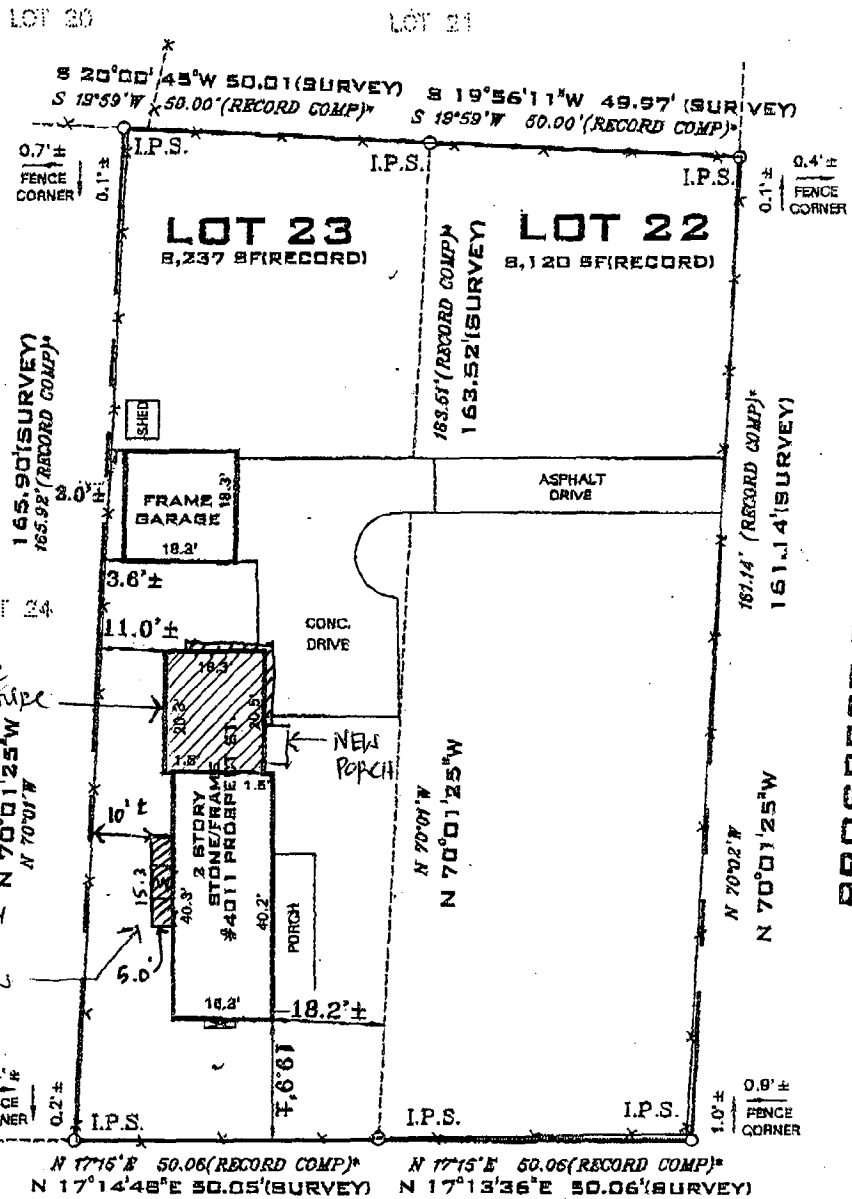
Region

31/6-01E 4011 Prospect Street<sup>R</sup>  
(Kensington Historic District)

show ~~show~~ without benefit of a Title report, therefore, may not reflect all easements or encumbrances which may affect subject property.

Notes:

- 1) Flood zone "C" per H.U.D. panel No. 0175C
- 2) All property corners have been recovered or set and verified per field survey performed: AUGUST 21, 23, 24 & 28, 2000
- 3) I.P.F. Indicates iron pipe found. I.P.S. Indicates iron pipe set. P.O.L. Indicates hub set along property line.
- 4) Total area = 16,351 SF(SURVEY)
- 5) Total area = 16,357 SF(RECORD)
- 6) \* Bearings (Comp) - protracted based on plat's north arrow.



PLAT OF SURVEY  
 LOTS 22 & 23, BLOCK 10  
**KENSINGTON PARK**  
 MONTGOMERY COUNTY, MARYLAND

**SUMMIT AVENUE**  
 COUNTY ROAD (PER PLAT) APPROVED  
 Montgomery County  
 Historic Preservation Commission

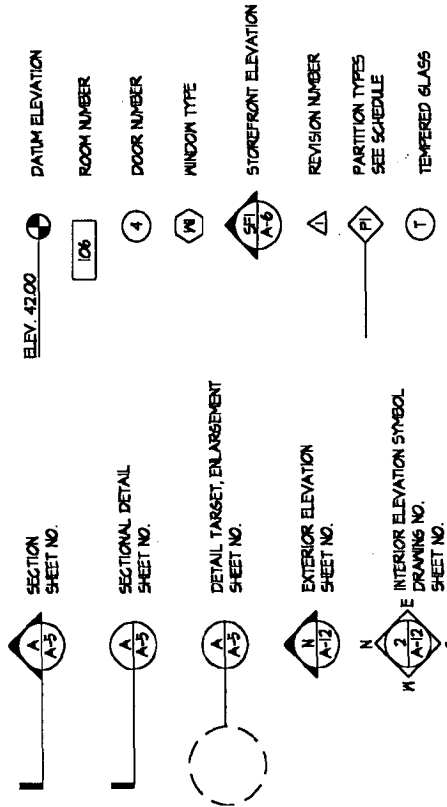
Building Line and/or Flood Zone Information is taken from Available Sources and is Subject to Interpretation of Originator.

<p><b>SURVEYOR'S CERTIFICATE</b></p> <p>I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD SURVEY PURSUANT TO THE DEED OR PLAT OF RECORD. PROPERTY MARKERS HAVE BEEN RECOVERED OR PLACED IN ACCORDANCE WITH THE INFORMATION SHOWN.</p> <p><i>Jeffrey A. Foster</i>                  MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587</p>		<p><b>REFERENCES</b></p> <p>PLAT BK. B</p> <p>PLAT NO. 4</p>		<p><b>SNIDER &amp; ASSOCIATES</b>                  SURVEYORS - ENGINEERS                  LAND PLANNING CONSULTANTS                  2 Professional Drive, Suite 218                  Gaithersburg, Maryland 20879                  301/948-5100, Fax 301/948-1286</p>	
<p>LIBER 933</p> <p>FOLIO 331</p>		<p>DATE OF LOCATIONS</p> <p>WALL CHECK:</p> <p>HSE. LOC.: 08-21-2000</p> <p>PROP. CORS.: 08-28-2000</p>		<p>SCALE: 1"=30'</p> <p>DRAWN BY: F.A.</p> <p>JOB NO.: 2000-3547b</p>	

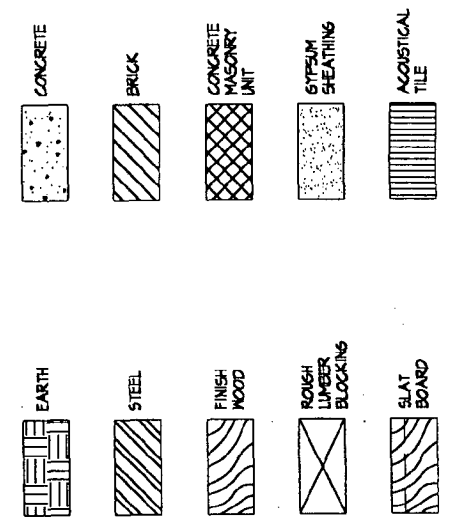
# RUBIN/SCOTT RESIDENCE

4011 PROSPECT STREET  
KENSINGTON, MD 20895

## GRAPHIC SYMBOLS



## MATERIAL SYMBOLS



## LIST OF DRAWINGS

CS	COVER SHEET
SP	SPECIFICATIONS
D1.0	DEMOLITION PLANS
A1.0	BASEMENT PLAN
A1.1	FIRST FLOOR PLAN & INT. ELEVATION
A1.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN
A2.0	SOUTH ELEVATION
A2.1	EAST & WEST ELEVATION
A2.2	NORTH ELEVATION
A3.0	BUILDING SECTION
S1.0	FRAMING PLANS
S1.1	FRAMING PLANS

APPROVED  
Montgomery County  
Historic Preservation Commission  
9/10/01

RUBIN/SCOTT  
RESIDENCE

GTM ARCHITECTS  
1045 ARBORY AVENUE  
KENSINGTON, MD 20895  
301-942-1082  
301-942-5971 FAX

4011 PROSPECT STREET  
KENSINGTON, MD 20895  
COVER SHEET

REVISIONS:	
SEAL:	
DRAWN BY:	DER
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	09/06/01
PROJECT NO.:	00358
DRAWING NO.:	CS



REVISIONS:

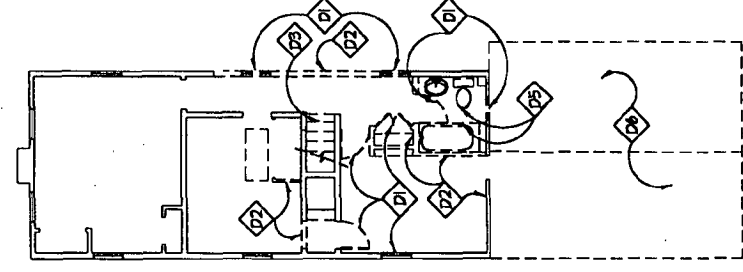
SEAL:

DRAWN BY: DER/SM  
 CHECKED BY: GTM  
 SCALE: 1/8"=1'-0"  
 DATE: 04/06/01  
 PROJECT NO: 00358  
 DRAWING NO:

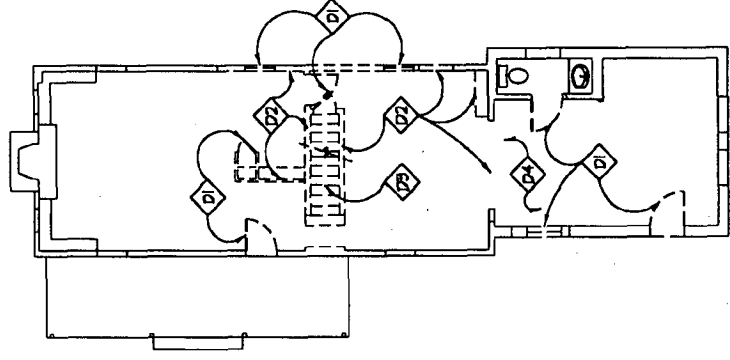
**D1.0**

**DEMOLITION NOTES**

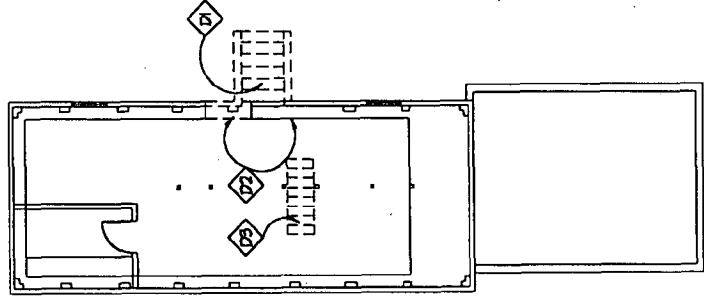
- ◇1 REMOVE DOORS & WINDOWS, ETC. IN CONFLICT W/ NEW WORK.
- ◇2 REMOVE WALLS AS REQUIRED & SHOWN
- ◇3 REMOVE EXISTING STAIR IN ITS ENTIRETY
- ◇4 REMOVE EXIST. KITCHEN FIXTURES, COUNTERS, CABINETS, ETC. IN THEIR ENTIRETY
- ◇5 REMOVE EXIST. PLUMBING FIXTURES IN THEIR ENTIRETY
- ◇6 REMOVE EXISTING ROOF IN ITS ENTIRETY.



3 SECOND FLOOR DEMO PLAN  
 D1.0 SCALE: 1/8"=1'-0"



2 FIRST FLOOR DEMO PLAN  
 D1.0 SCALE: 1/8"=1'-0"



1 BASEMENT DEMO PLAN  
 D1.0 SCALE: 1/8"=1'-0"





**RUBIN/SCOTT  
RESIDENCE**

REVISIONS:	
SEAL:	

DRAWN BY:	DER/SW
CHECKED BY:	GTM
SCALE:	1/4" = 1'-0"
DATE:	09/06/01
PROJECT NO:	00358
DRAWING NO:	

**A1.2**

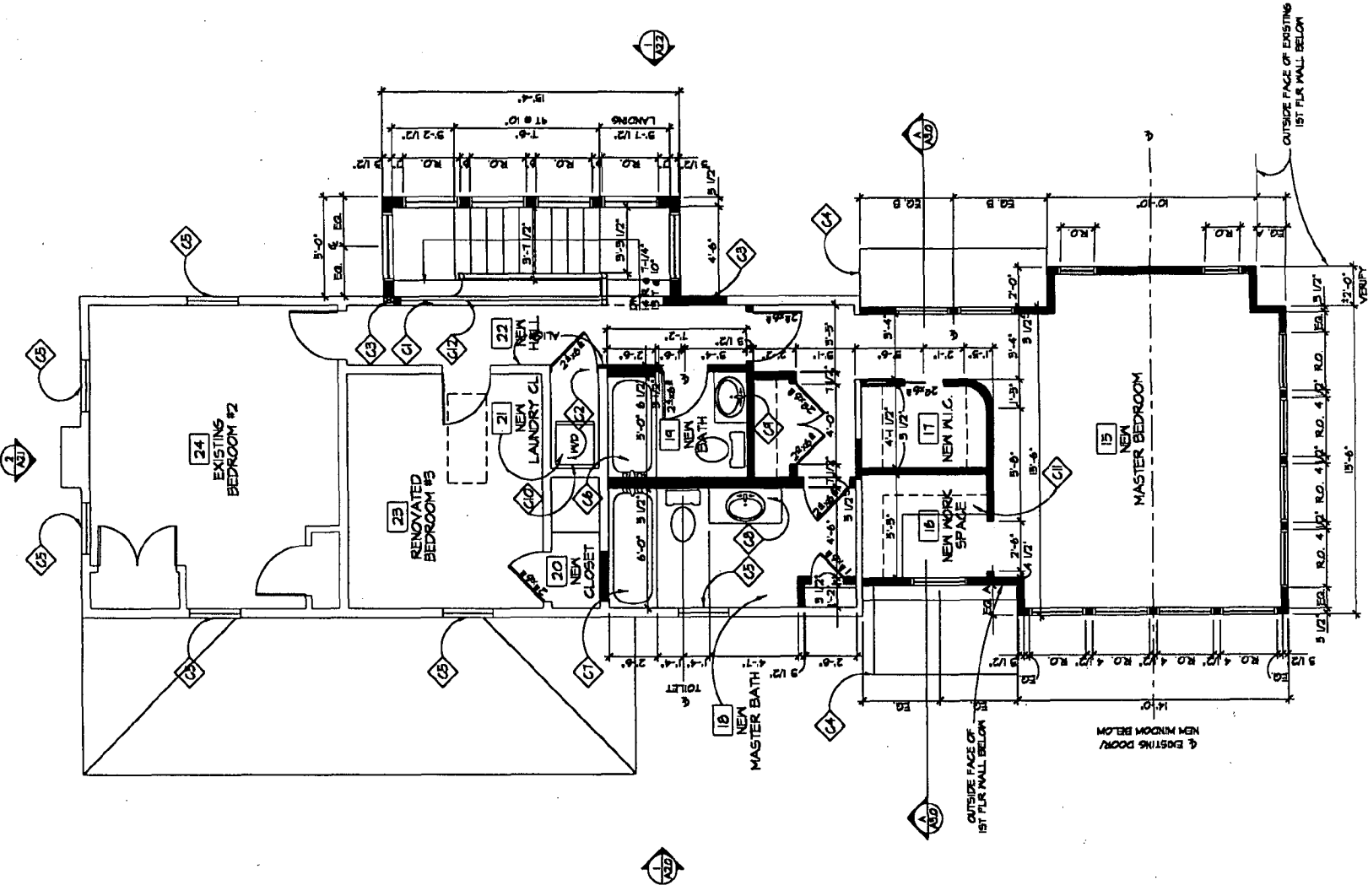
**CONSTRUCTION NOTES**

- (C1) CASED OPENING
- (C2) REMOVE STAIR INFILL FLOOR
- (C3) 4x4 POST WITH WALL
- (C4) LOWER ROOF BELOW
- (C5) EXISTING WINDOW TO REMAIN
- (C6) 60" TUB/SHOWER
- (C7) 12" TUB/SHOWER
- (C8) 42" VANITY CAB
- (C9) 50" VANITY CAB
- (C10) NEW STACKED W/D UNIT TO BE SEL.
- (C11) BUILT-IN DESK N.I.C.
- (C12) RAILING SYSTEM TO BE SEL. BY OWNER

**WALL TYPES**

TYPICAL EXTERIOR WALL: 2x4 WOOD STUDS (OR 2x6 WR-19 INSUL. & STAIR ABOVE) @ 16" O.C., WR-19 INSUL. & VAPOR BARRIER, 1/2" OSB SHEATHING, TYVEK BUILDING WRAP, & PAINTED SIDING TO BE DETERMINED. INTERIOR FINISH TO BE 1/2" GYP. BD.

TYPICAL NON-BEARING INTERIOR PARTITION: 2x4 WOOD STUDS @ 16" O.C., 1/2" GYP. BD. EACH SIDE. INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES OR PROVIDE ROOM FOR PLUMBING.



(1) SECOND FLOOR PLAN  
A1.2 SCALE: 1/4" = 1'-0"

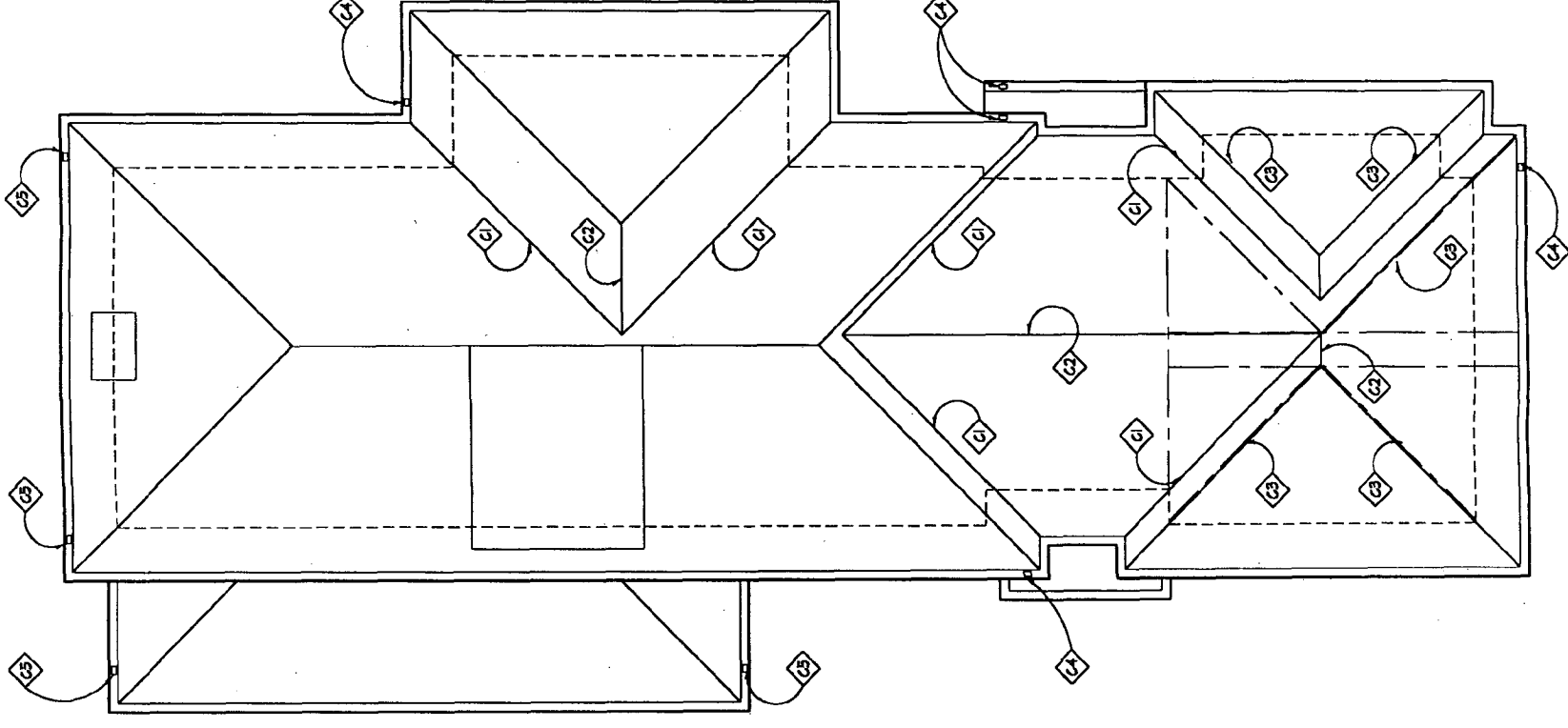


**CONSTRUCTION NOTES**

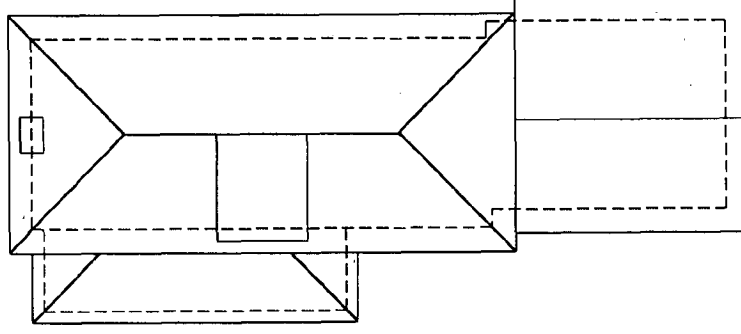
- ④ NEW VALLEY
- ② NEW RIDGE
- ③ NEW HIP
- ④ NEW DOWNSPOUT
- ⑤ EXISTING DOWNSPOUT

**GENERAL ROOFING NOTES**

1. PROVIDE NEW ASPHALT SHINGLES TO BE SELECTED ON ALL NEW ROOFS (CONSULT OWNER & ARCHITECT).
2. PROVIDE WEATHERGUARD UNDERLAYMENT UNDER SHINGLES @ ALL VALLEYS, ALL PERIMETER AREAS (3'-0" BACK FROM FASCIA), & ON ALL AREAS W/SLOPE LESS THAN 4/12.



① NEW ROOF PLAN  
A1.3 SCALE: 1/4"=1'-0"



② EXISTING ROOF PLAN  
A1.3 SCALE: 1/8"=1'-0"

**CONSTRUCTION NOTES**

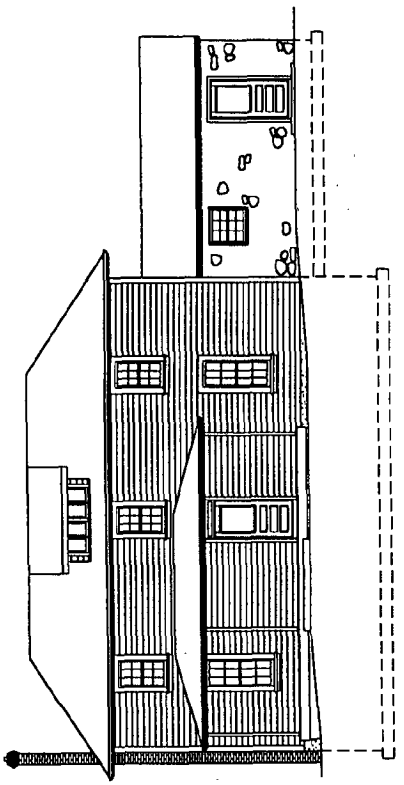
- E1 PAINTED SIDING, TO BE DETERMINED
- E2 DRIP CAP, MH-186
- E3 5/4x4 CORNER BOARD
- E4 1x6 TRIM BOARD
- E5 1x2 TRIM
- E6 3/4 CUT TO FIT
- E7 3/4x6 TRIM BOARD
- E8 EXISTING WINDOW TO REMAIN
- E9 EXISTING STONE MALL
- E10 EXISTING DOOR TO REMAIN
- E11 LIMIT OF EXISTING FOUNDATION
- E12 NEW DOWNSPOUT
- E13 NEW ASPHALT SHINGLES, TO BE SELECTED
- E14 MATCH EXISTING PITCH, 8 1/2 V., FIELD VERIFY
- E15 BEADBOARD PANEL
- E16 DECORATIVE BRACKETS, SEE DETAIL 3/A2.0
- E17 NEW GUTTERS, TO MATCH EXISTING
- E18 PORCH POSTS, TO MATCH EXISTING

**WINDOW SCHEDULE**

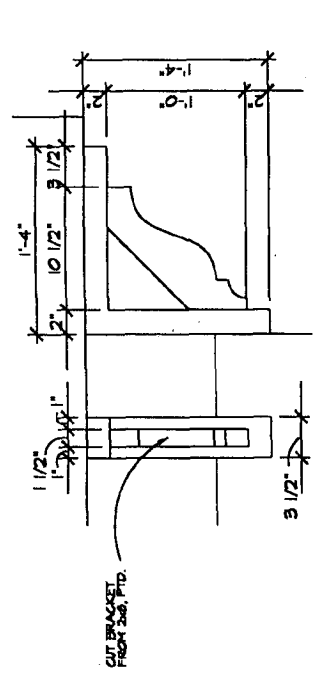
#	TYPE	NO.	MANUFACTURER	CAT. NO.	ROUGH OPNG.	GLASS	REMARKS
1	DOUBLE HUNG	16	WEATHERSHIELD	11-28x22	2' 10"-5/8" x 4' 5"-5/8"	RELATED	SEE ELEV. FOR GALLE PATTERNS
2	DOUBLE HUNG	1	WEATHERSHIELD	11-28x16	2' 10"-5/8" x 3' 5"-5/8"	RELATED	SEE ELEV. FOR GALLE PATTERNS
3	DOUBLE HUNG	2	WEATHERSHIELD	11-35x22	3' 2"-5/8" x 4' 5"-5/8"	RELATED	SEE ELEV. FOR GALLE PATTERNS
4	DOUBLE HUNG	2	WEATHERSHIELD	20-72x20	2' 2"-5/8" x 2' 2"-1/8"	RELATED	SEE ELEV. FOR GALLE PATTERNS
5	DOUBLE HUNG	1	WEATHERSHIELD	11-28x20	2' 10"-5/8" x 4' 1"-5/8"	RELATED	SEE ELEV. FOR GALLE PATTERNS

GENERAL WINDOW NOTES:  
 1. ALL WINDOWS TO HAVE SCREENS SELECTION PER OWNER.  
 2. ALL WINDOWS TO BE PRE-FINISHED, W/ 3/4" TRIM SHIMLATED DIVIDED LITE.  
 3. MATCH EXISTING FINISH TO BE MATCHED.  
 4. CONFIRM OVERALL WINDOW SCHEDULE W/ ARCHITECT PRIOR TO ORDER.  
 5. ALL WINDOWS & GLASS DOORS HAVE 1/8" MOUTH BARS.

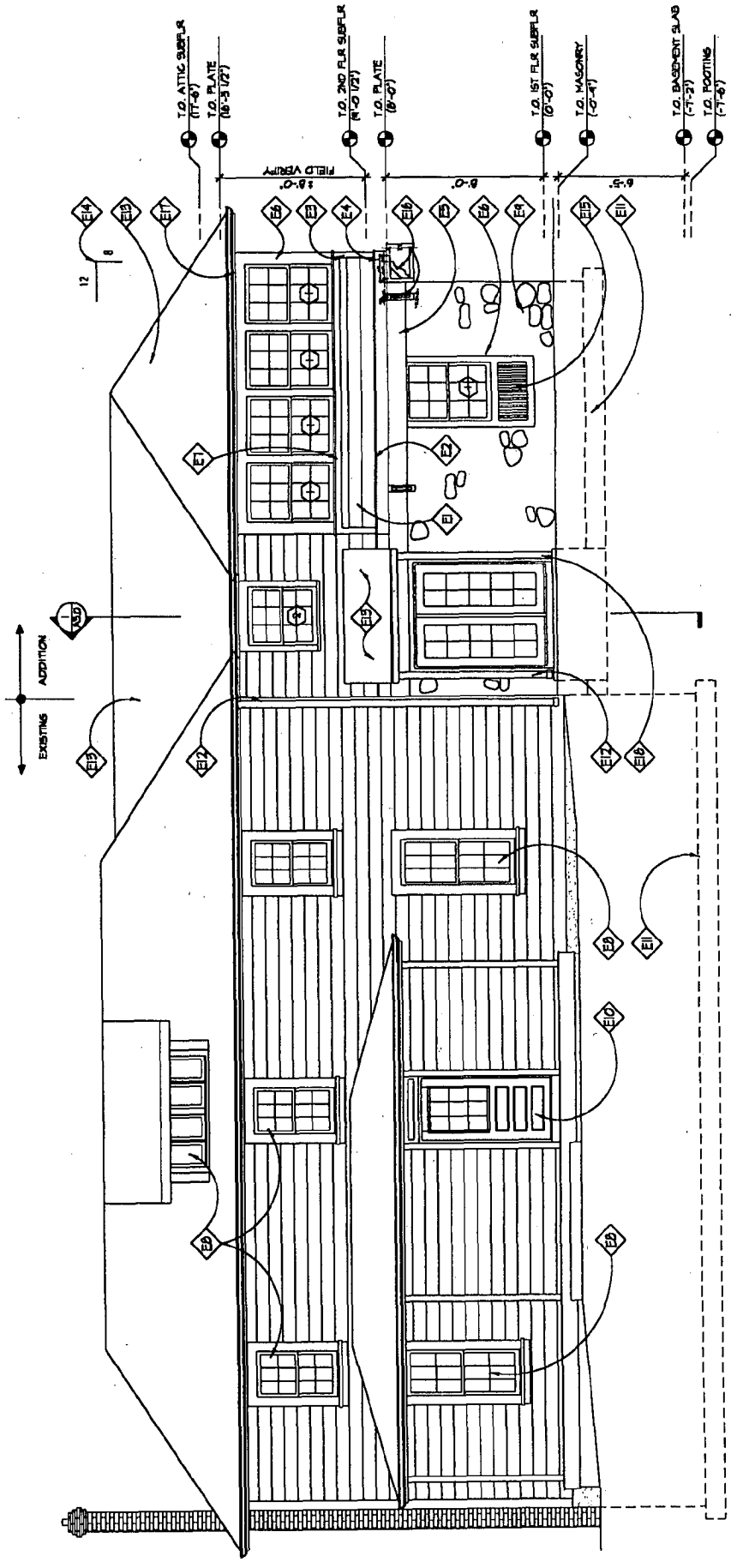
NOTE: VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.



2 EXISTING SOUTH ELEVATION  
 A2.0 SCALE: 1/4"=1'-0"



3 DECORATIVE BRACKET  
 A2.0 SCALE: 1/2"=1'-0"

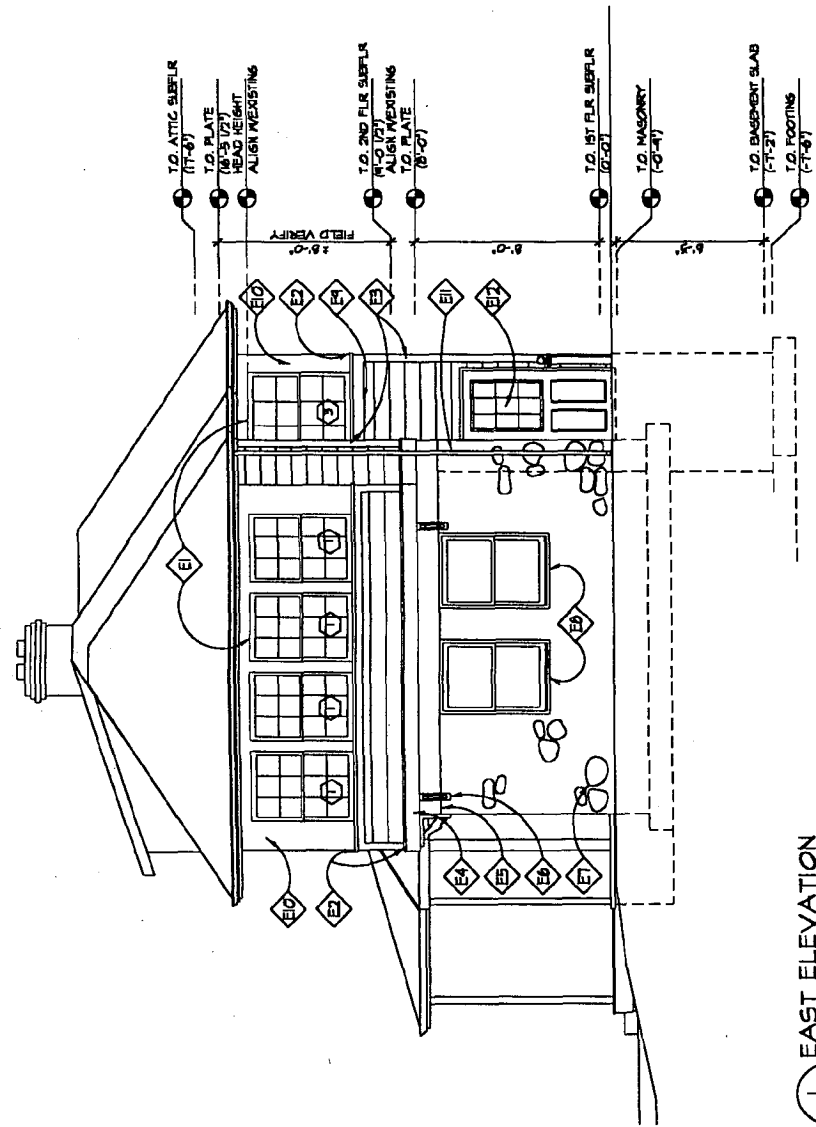


1 SOUTH ELEVATION  
 A2.0 SCALE: 1/4"=1'-0"

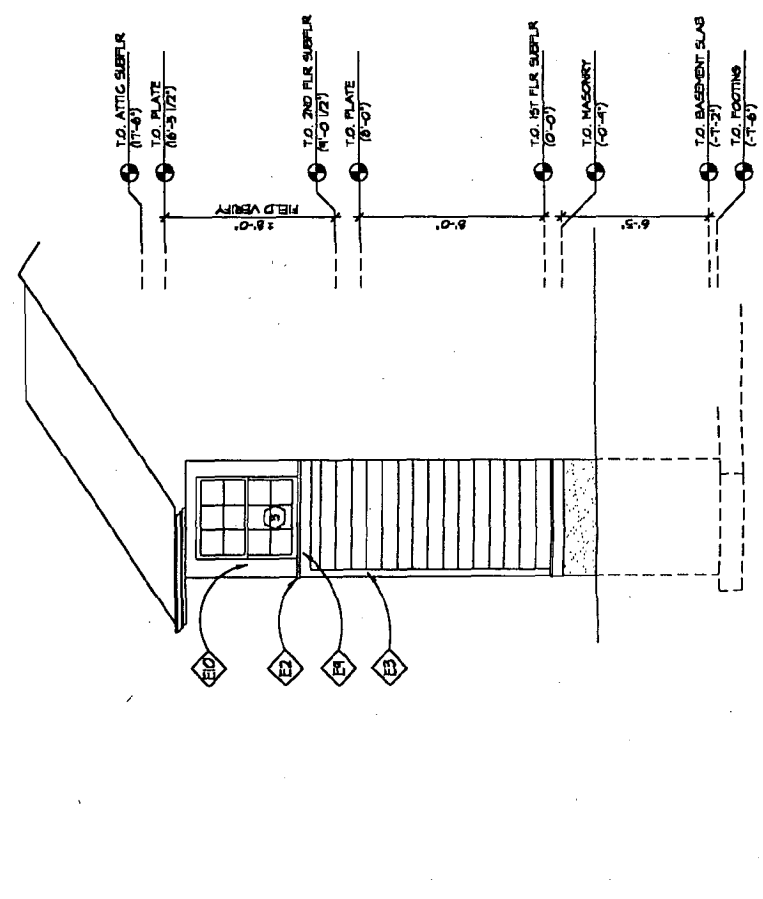
**CONSTRUCTION NOTES**

- E1 HEAD HT. ALIGN EXISTING
- E2 DRIP CAP, 1/4"-1/8"
- E3 5/4x4 CORNERBOARD
- E4 1x6 TRIM BOARD
- E5 1x2 TRIM
- E6 DECORATIVE BRACKETS, SEE DETAIL ?
- E7 EXISTING STONE WALL
- E8 EXISTING WINDOW TO REMAIN
- E9 5/4x6 TRIM BOARD
- E10 3/4" CUT TO FIT
- E11 NEW DOWNSPOUT
- E12 NEW DOOR, TO BE SELECTED

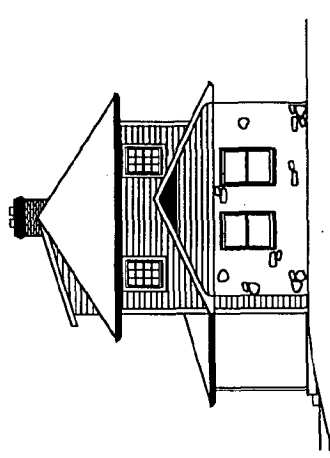
**NOTE:**  
VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.



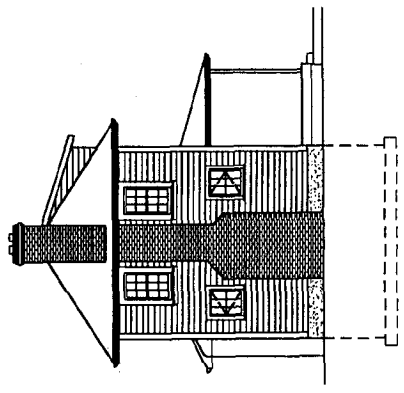
1 EAST ELEVATION  
SCALE: 1/4"=1'-0"



2 WEST ELEVATION  
SCALE: 1/4"=1'-0"  
PARTIAL



3 EXISTING EAST ELEVATION  
SCALE: 1/8"=1'-0"

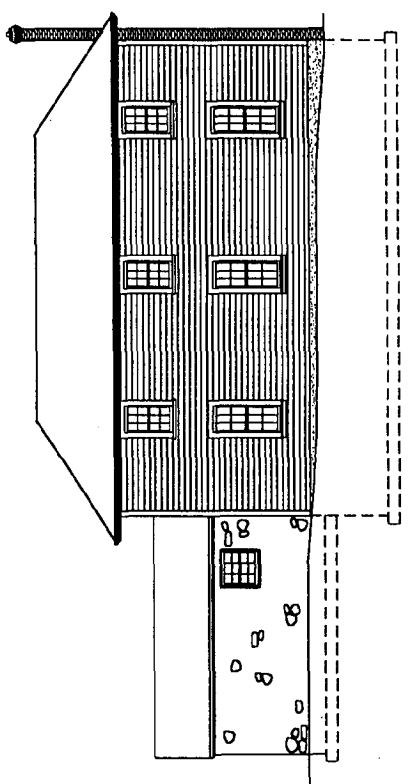


4 EXISTING WEST ELEVATION  
SCALE: 1/8"=1'-0"

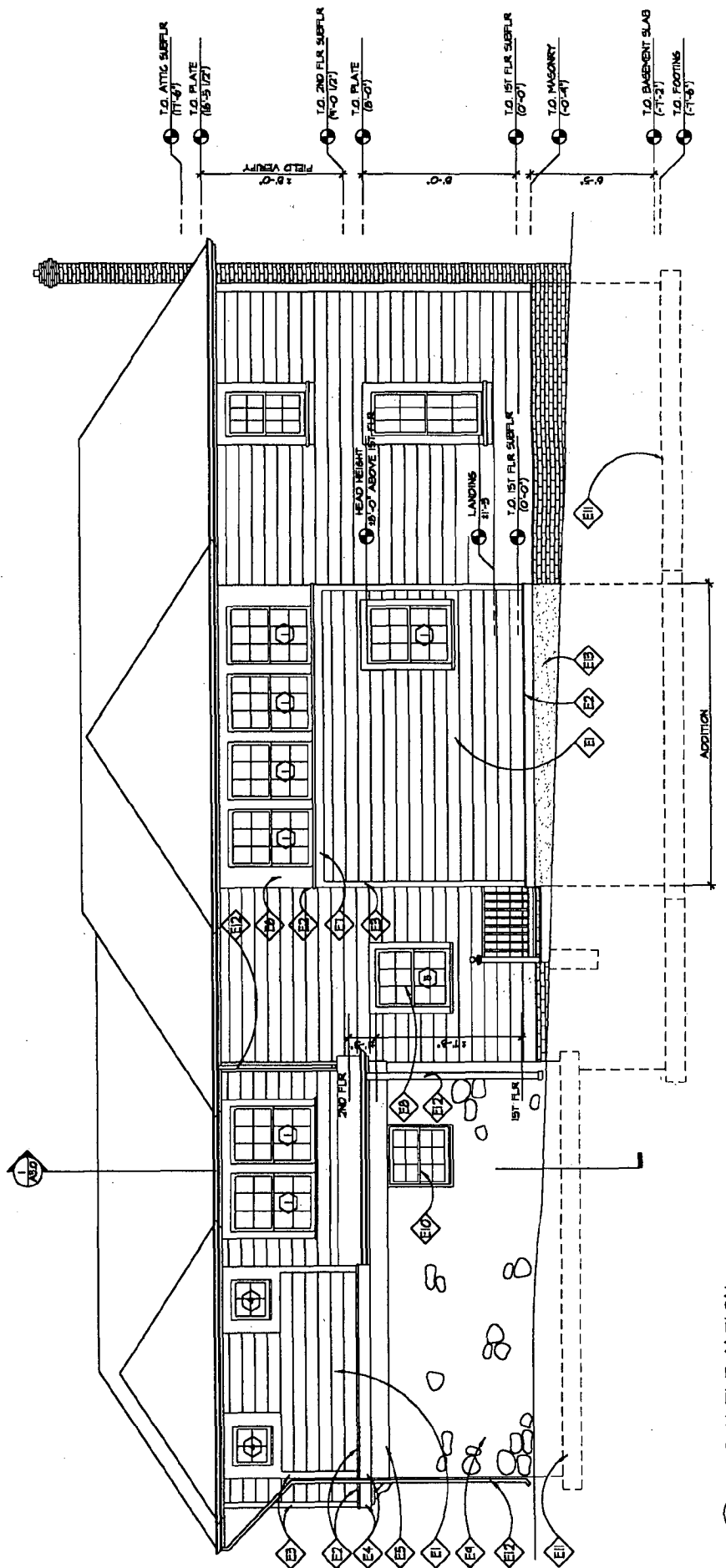
**CONSTRUCTION NOTES**

- ◆ PAINTED SIDING, TO BE DETERMINED
- ◆ Drip Cap, 1/4" x 1/8"
- ◆ 5/4" x 4" CORNERBOARD
- ◆ 1/2" TRIM BOARD
- ◆ 1/2" TRIM
- ◆ 3/4" CUT TO FIT
- ◆ 5/4" x 8" TRIM BOARD
- ◆ NEW WINDOW
- ◆ EXISTING STONE WALL
- ◆ EXISTING WINDOW
- ◆ LIMIT OF EXISTING FOUNDATION
- ◆ NEW DOWNSPOUT
- ◆ PAVED CHALK PAINTED

NOTE: VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN FIELD.



2 EXISTING NORTH ELEVATION  
SCALE: 1/8"=1'-0"

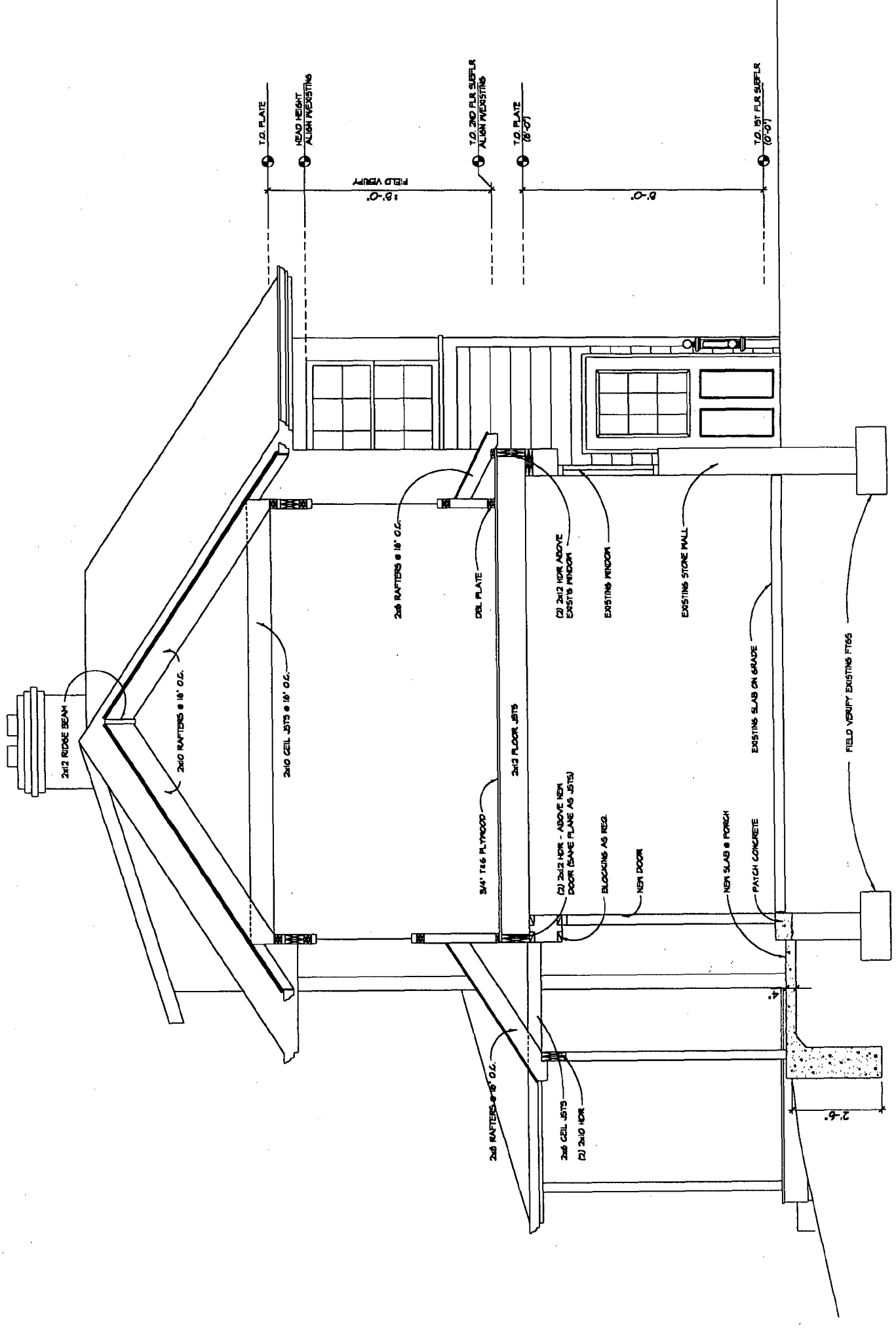


1 NORTH ELEVATION  
SCALE: 1/4"=1'-0"

REVISIONS:


SEAL:


DRAWN BY: DER/SM  
CHECKED BY: GTM  
SCALE: 1/2"=1'-0"  
DATE: 09/06/01  
PROJECT NO.: 00350  
DRAWING NO.:



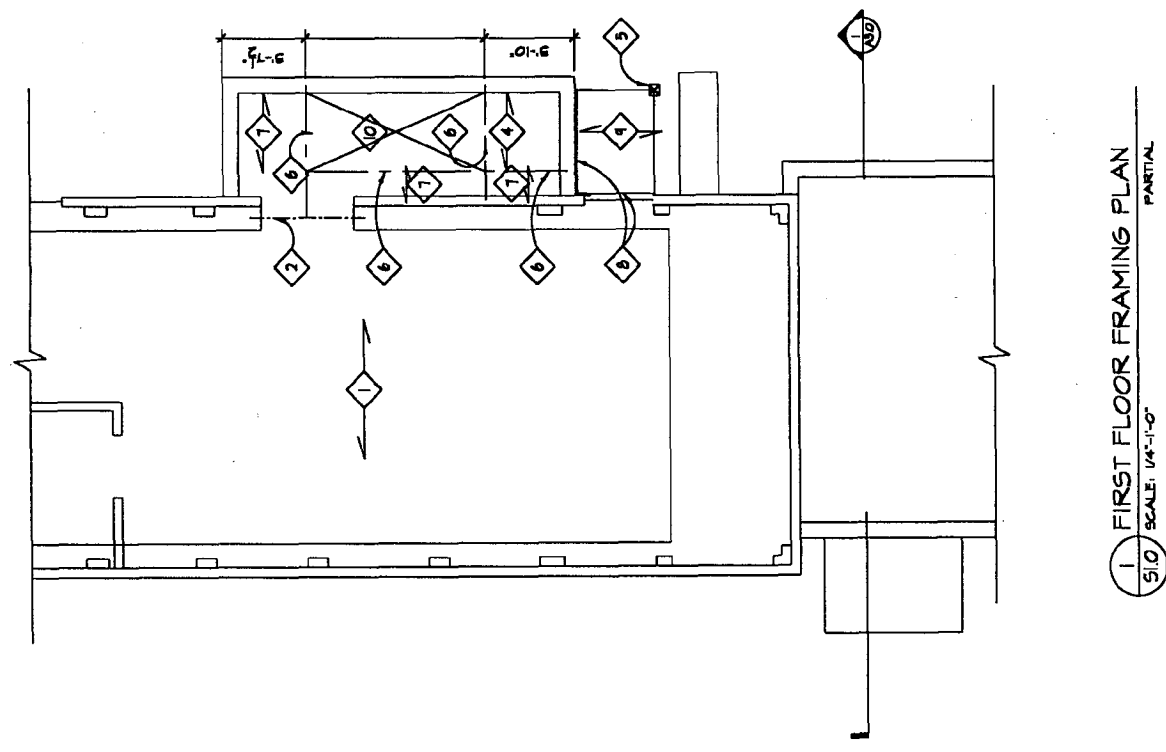
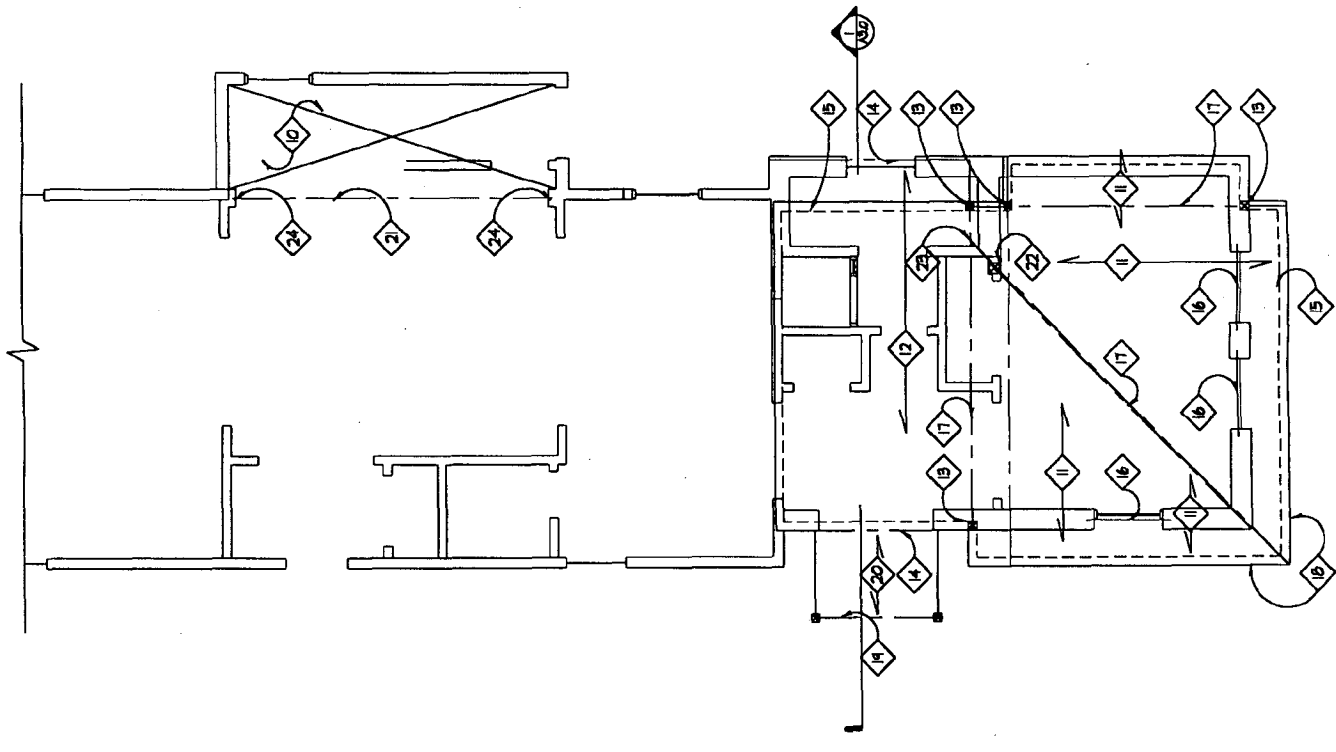
1 SECTION  
A3.0 SCALE: 1/2"=1'-0"

**CONSTRUCTION NOTES**

- 1 EXISTING 2x8 FLOOR JOISTS
- 2 (2) 1 1/2" x 1 1/4" LVL HDR IN SAME PLANE AS EXIST'G FLR JSTS
- 3 (2) 2x8's
- 4 2x8's @ 16' O.C. @ 1/4" BELOW EXIST'G FLR
- 5 6x8 P.T. POST BELOW
- 6 (2) 2x8's IN SAME PLANE AS EXIST'G FLR JSTS
- 7 2x8 FLR JSTS, ALIGN EXISTING
- 8 2x8 P.T. LEDGER BOLT TO SOLID MASONRY WALL W/ 5/8" EXP. BOLTS  
16' O.C. STAGGERED
- 9 P.T. 2x8's @ 16' O.C.
- 10 STAIR OPN'G
- 11 2x12's @ 16' O.C. (TOE-NAIL JSTS INTO DIAGONAL BM W/MIN. (2) NAILS EACH
- 12 2x12's @ 12' O.C.
- 13 4x4 POST ABOVE
- 14 (2) 2x12 RIM JOIST/BEAM
- 15 DOTTED LINE INDICATES 2ND FLR EXTERIOR BEARING WALL ABOVE, PROVIDE  
DOUBLE PLATE @ TOP & BOTTOM OF WALL
- 16 (2) 1 1/2" x 5/8" LVL HDR @ WINDOWS BELOW, BELOW JSTS.
- 17 (2) 1 1/2" x 1 1/4" LVL IN SAME PLANE AS JSTS
- 18 CONTINUOUS 2x12 RIM JOIST
- 19 (2) 2x8 BEAM @ PORCH BELOW
- 20 2x8 RAFTERS @ 2x6 CEIL JSTS @ PORCH BELOW
- 21 (2) 1 1/2" x 1 1/4" LVL BEAM, TOP OF BEAM @ TOP OF EXIST'G JSTS
- 22 6x8 POST BELOW
- 23 CONNECT DIAGONAL LVL BEAMS W/ 6 SA. ADJ. CLIP ANGLES (SIMPSON OR EQUAL).
- 24 4x6 SOLID POST

**GENERAL NOTES**

1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
2. BOTTOM OF ALL PILES SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP)
3. FRAMING CONNECTIONS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. MEMBER SIZES SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
4. PROVIDE SIMPSON H25 OR H5 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 2x3 STRIPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER
5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 NO BUILT-UP STUDS ALLOWED.
6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS
7. PROVIDE SIMPSON POST CAP AND BASE CONN. TYP AT ALL POSTS AND BEAM CONNECTIONS
8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF T.J. JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.



1 FIRST FLOOR FRAMING PLAN  
5/0 SCALE: 1/4"=1'-0"  
PARTIAL

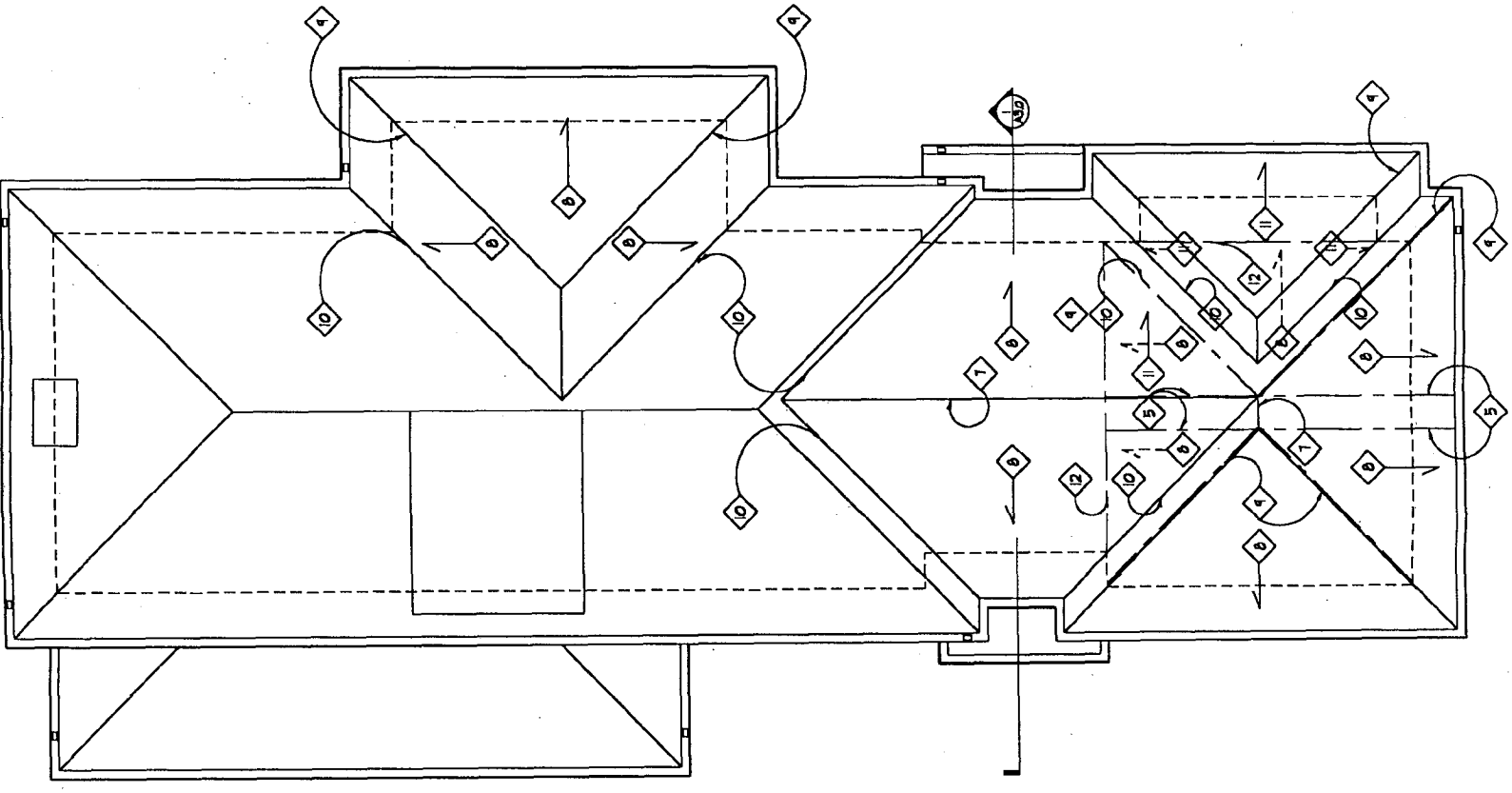
2 SECOND FLOOR FRAMING PLAN  
5/0 SCALE: 1/4"=1'-0"  
PARTIAL

**CONSTRUCTION NOTES**

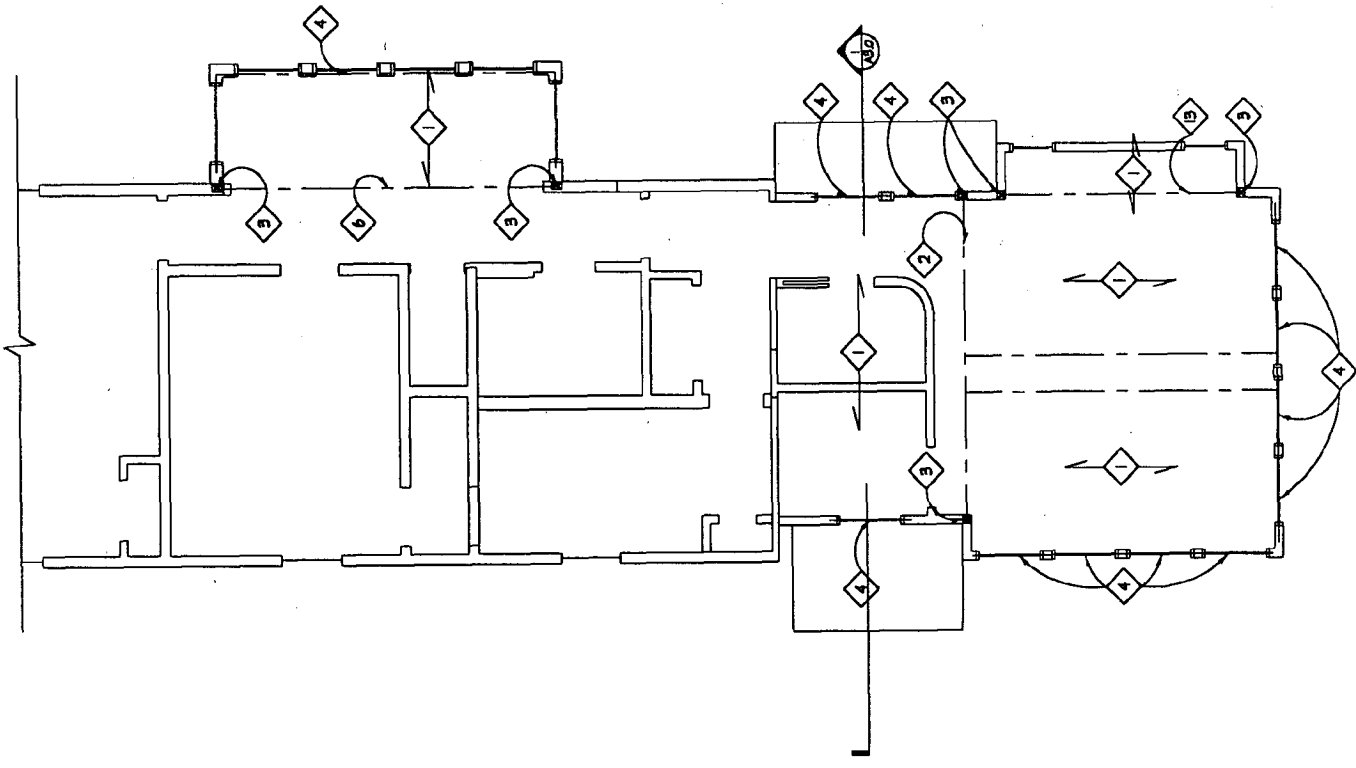
- 1 2x10 CEIL JSIS @ 16" O.C. @ TOP OF PLATE
- 2 (3) 1 1/2"x14" LVL IN SAME PLANE AS CEIL JSIS
- 3 4x4 POST BELOW
- 4 (2) 2x8 CONTINUOUS HDR @ OPN'GS BELOW
- 5 DBL 2x10 RAFTER W/DBL 2x10 COLLAR TIES @ 24" THRU BOLTS @ CONNECTION; 2x10 COLLAR TIES TO BE ABOVE CEIL JSIS, BOT. OF TIES @ 4'-0" A.F.F.
- 6 (2) 1 1/2"x11 1/2" LVL, BOTTOM OF BEAM @ 6'-10" MIN.
- 7 2x10 RIDGE
- 8 2x10 RAFTERS @ 16" O.C.
- 9 (2) 2x10 HP
- 10 2x12 VALLEY PLATE
- 11 2x10 RAFTERS (OVERBUILD)
- 12 BEAM BELOW IN SAME PLANE AS CEIL JSIS, SEE CEIL JSIS PLAN.
- 13 (2) 1 1/2"x14" LVL IN SAME PLANE AS CEIL JSIS.

**GENERAL NOTES**

- 1 CENTER ALL PIER AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
- 2 BOTTOM OF ALL PIER SHALL BE MIN OF 2'-0" BELOW FINISH GRADES (TYP)
- 3 FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLLARS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- 4 PROVIDE SIMPSON HOLTS OR 1/8" LIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 2x2 STRIPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.
- 5 ALL WOOD POSTS SHALL BE SOUTHERN PINE No. 1. NO BUILT-UP STUDS ALLOWED.
- 6 PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CHU OR STEEL BEAM.
- 7 PROVIDE SIMPSON POST CAP AND BASE CORN. TYP AT ALL POSTS AND BEAM CONNECTIONS.
- 8 PROVIDE SQUASH BLOCKS @ EACH SIDE OF T.J. JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.



2 ROOF FRAMING PLAN  
S1.1 SCALE: 1/4" = 1'-0"  
PARTIAL



1 CEILING JOIST FRAMING PLAN  
S1.1 SCALE: 1/4" = 1'-0"  
PARTIAL



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 2/16/01

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: \_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: David Rubin + Kristin Scott

Address: 4402 Colchester Drive, Kensington MD 20895

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.

RE: 4011 Prospect St.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

1002 2 2 2001

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: George Myers  
Daytime Phone No.: 301 942 9062 ext. 13

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: DAVID RUBIN & KRISTEN SCOTT Daytime Phone No.: 301 530 5173  
Address: 4402 Colchester Drive Kensington MD 20895  
Street Number City State Zip Code  
Contractor: TBD Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: George T. Myers, Architect Daytime Phone No.: 301 942 9062  
ext. 13

LOCATION OF BUILDING/PREMISE

House Number: 4011 PROSPECT ST. Street: KENSINGTON  
Town/City: MD. Nearest Cross Street: SUMMIT AVENUE  
Lot: 23122 Block: \_\_\_\_\_ Subdivision: KENSINGTON PARK  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ TO BE DETERMINED  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent \_\_\_\_\_ Date \_\_\_\_\_

Approved: X \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 2/14/01  
Application/Permit No.: 239297 Date Filed: 1-26-01 Date Issued: \_\_\_\_\_

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address:	4011 Prospect Street	Meeting Date:	2/14/01
Applicant:	David Rubin & Kristen Scott (George T. Myers, Agent)	Report Date:	2/7/01
Resource:	Kensington Historic District	Public Notice:	1/31/01
Review:	<b>HAWP</b>	Tax Credit:	Partial
Case Number:	31/6-01E	Staff:	Robin D. Ziek

**PROPOSAL:** Reconfigure interior space with new stairway addition; replace existing window with French doors and add new covered porch; remove existing side window and install new window in new position; add second-story addition over existing kitchen.

**RECOMMEND:** Approval

*Expedited Approval*

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Primary Resource  
**STYLE:** Vernacular  
**DATE:** 1910-1930

This two-story "shot-gun" residence is an edge property in the Kensington Historic District. It is a narrow two-story frame residence with a shallow hipped roof. As indicated on the 1941 Klinge map (see Circle 6), the house was one of a pair of similar narrow homes facing Summit Avenue, each with a wrap-around porch. An early photograph illustrates the extent of the present alterations (see Circle 16). At some time in the past, the roof was reconfigured from a shed roof to a hipped roof. The front porch was reconstructed as a 3-bay element on the side elevation only. Today, the entrance to the house is along this side elevation, facing the existing side yard at the corner of Prospect and Summit (see Circle 7, 17). There is an existing free-standing garage, with the driveway access off of Prospect Street. The existing kitchen addition is a single-story structure attached at the end of the house.

For the purposes of this report, the front elevation is considered the long side facing Prospect Street. The rear elevation is the long side facing the adjacent property at 10311 Summit Avenue. The left side elevation fronts Summit Avenue, and the right side elevation faces the free-standing garage.

**PROPOSAL**

The applicant proposes to add a second story above the existing kitchen, and a small rear addition to accommodate a new interior stairway. The proposal involves the removal of the

①

original staircase, and reconfiguring of the interior space. The applicant will maintain the existing front porch and front entrance. The existing kitchen door and window will be swapped, providing the opportunity to place the new secondary entrance between the new kitchen and the new playroom. The applicant proposes to remove a window on the rear elevation (in what is now the dining room) and replace it with a new window centered on the kitchen sink (see Circle 10 ). A second rear window will be removed to accommodate the new stairway, but the applicant proposes reusing the original window on the landing of the new stair (see Circle 14 ). The new addition will use wood siding to match the existing siding material (see Circle 12, 13 ). The new windows will be wood, double-hung, while the applicant will retain the original windows in place, with the exceptions noted above.

### **STAFF DISCUSSION**

The original house has been altered already. The house, which used to sit as a twin to its neighbor at 10311 Summit Avenue, now faces the quieter Prospect Street. The proposed alterations are a modest means of reconfiguring the existing space. The biggest addition to the footprint, the stairway, amounts to approximately 72 square feet. The proposal is somewhat picturesque in appearance. While drawing on the original photograph for details such as the decorative brackets, it also serves to draw this house that much further from its simple original form. Staff feels, however, that the original property is sufficiently altered that the additions and changes proposed should be considered strictly in terms of their effect on the overall district. Staff feels that the project will have no adverse effect on the district, in part because the proposed changes are so modest. In addition, the siting of the house along one edge of the property (consisting of two lots) works in its favor in that the view of the house from Prospect Street is through the garden property.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

1002 22 MYP

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: George MYERS  
Daytime Phone No.: 301 942 9062 ext. 13

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: DAVID RUBIN & KRISTEN SCOTT Daytime Phone No.: 301 530 5173  
Address: 4402 Colchester Drive Kensington Md. 20895  
Street Number City State Zip Code  
Contractor: TBD Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: George T. Myers, Architect Daytime Phone No.: 301 942 9062  
ADDRESS: 10415 Armory Ave., Kensington, MD. 20895 ext. 13  
**LOCATION OF BUILDING/PREMISE**

House Number: 4011 PROSPECT ST. Street: KENSINGTON  
Town/City: MD. Nearest Cross Street: SUMMIT AVENUE  
Lot: 23122 Block: \_\_\_\_\_ Subdivision: KENSINGTON PARK  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ TO BE DETERMINED  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
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**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 239297 Date Filed: 1-26-01 Date Issued: \_\_\_\_\_

3

PROPERTY OWNERS ADJACENT TO 4011 PROSPECT ST.

~~RESIDENT~~ Benjamin + M.C. Dooley

10311 SUMMIT AVENUE  
KENSINGTON, MD. 20895

BARBARA & JEFF BLACK  
10304 SUMMIT AVENUE  
KENSINGTON, MD. 20895

ELIZABETH WALTER  
FRANCES WEED  
4010 PROSPECT ST.  
KENSINGTON, MD. 20895

~~RESIDENT~~ Ralph + F. & Pectoe  
3951 BALTIMORE ST.  
KENSINGTON, MD. 20895

RESIDENT (JOSEPH RALL)  
3947 BALTIMORE ST.  
KENSINGTON, MD. 20895

# 4011 PROSPECT

Kristen Scott, David Rubin



Notes:  
The planimetric, property, and topographic information shown on this map is based on copyrighted Map Products from Montgomery County Department of Park and Planning of the Maryland National Capital Park and Planning Commission, and may not be copied or reproduced without permission from M-NCPPC. Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:4400 scale aerial photography using stereo photogrammetric methods. This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All map features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended.  
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MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING  
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
2747 Georgia Avenue - Silver Spring, Maryland 20910-3700

Casual User Application

5  
R13

Klinge Map  
1941

J. Lewis  
9.72 ac.

PROJECT  
PROPERTY

lots  
22+23

Geo. W. Johnson  
3 ac.

Herman  
19

e. Davie  
10

CLEVELAND

DRESDEN

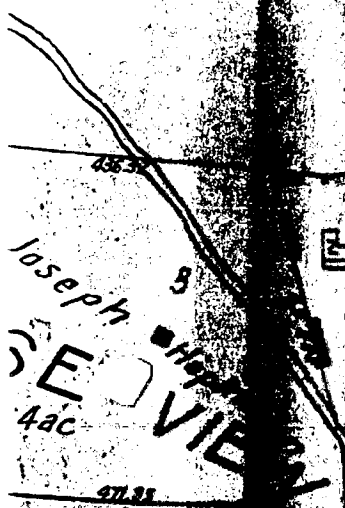
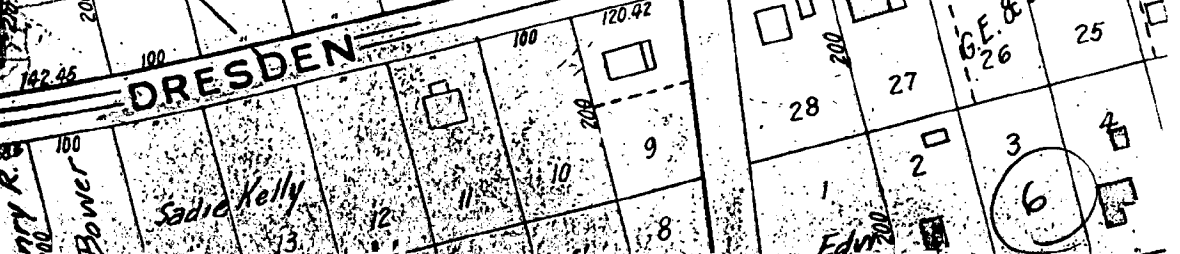
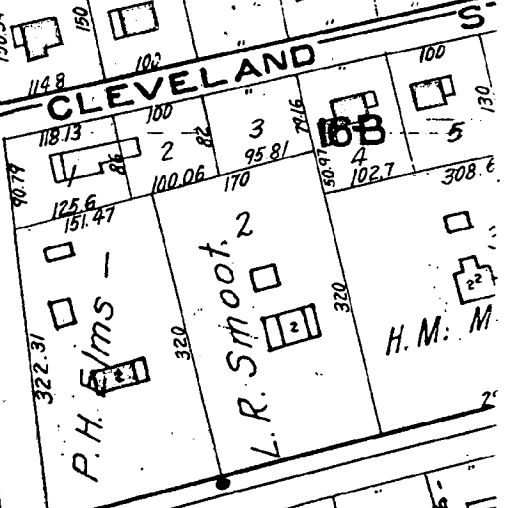
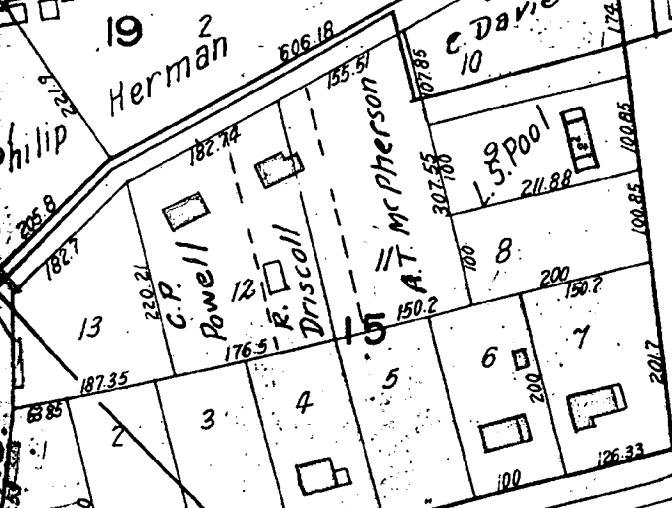
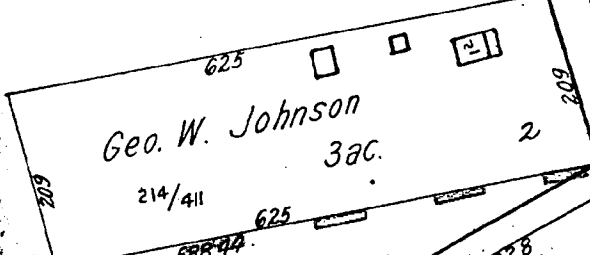
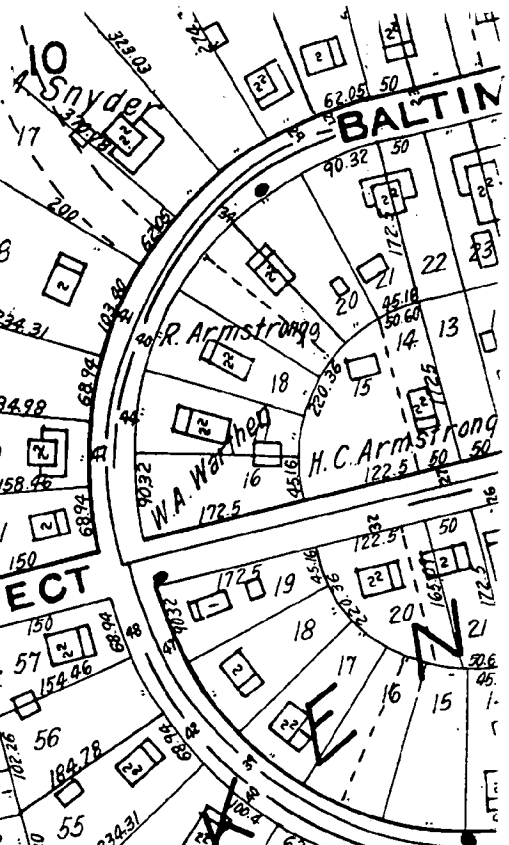
Sadie Kelly

P.H. Sims

L.R. Smoot

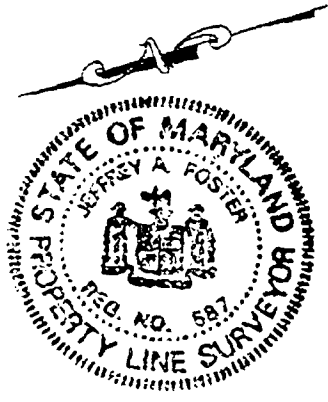
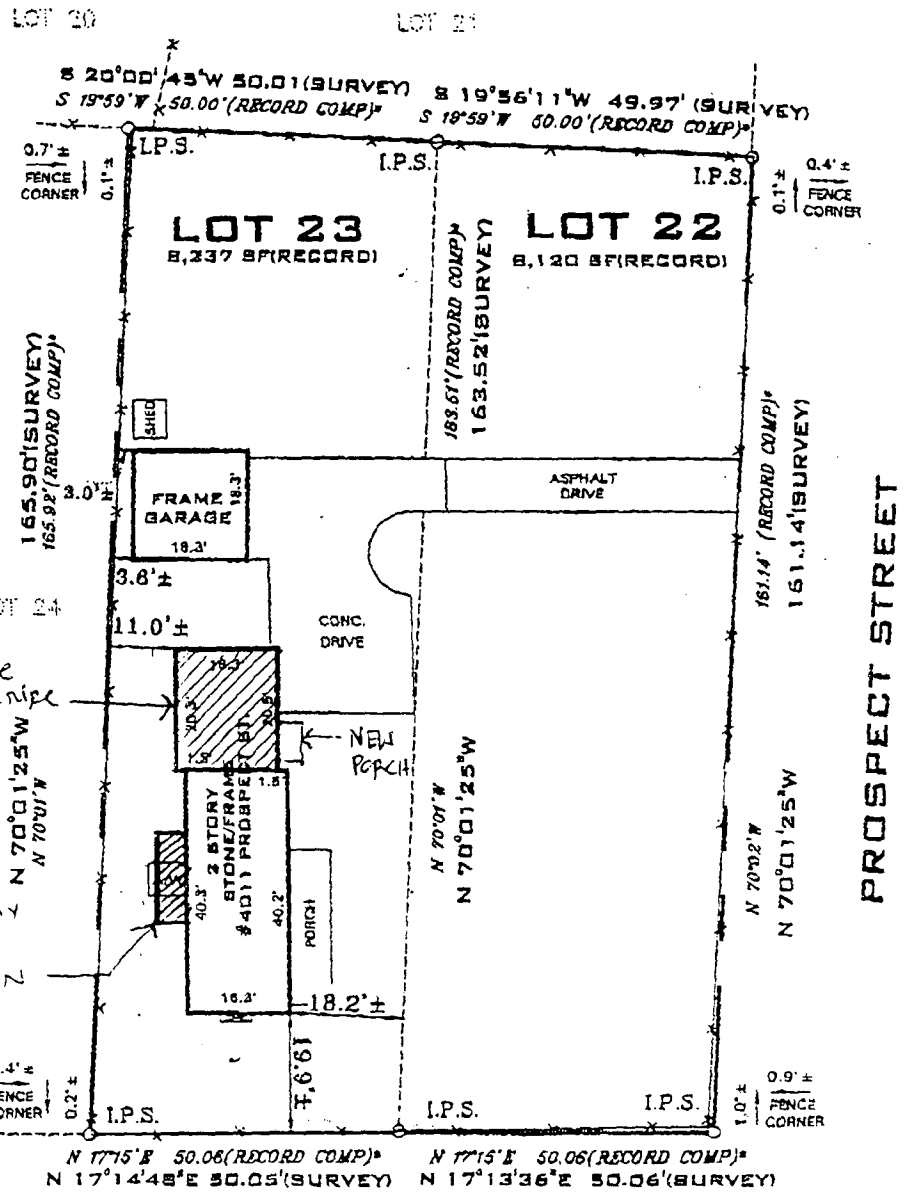
H.M. M

6



Notes:


- 1) Flood zone "C" per H.U.D. panel No. 0175C
- 2) All property corners have been recovered or set and verified per field survey performed: AUGUST 21, 23, 24 & 28, 2000
- 3) I.P.F. Indicates iron pipe found. I.P.S. Indicates iron pipe set. P.O.L. Indicates hub set along property line.
- 4) Total area = 16,351 SF(SURVEY)
- 5) Total area = 16,357 SF(RECORD)
- 6) \* Bearings (Comp)-protracted based on plat's north arrow.



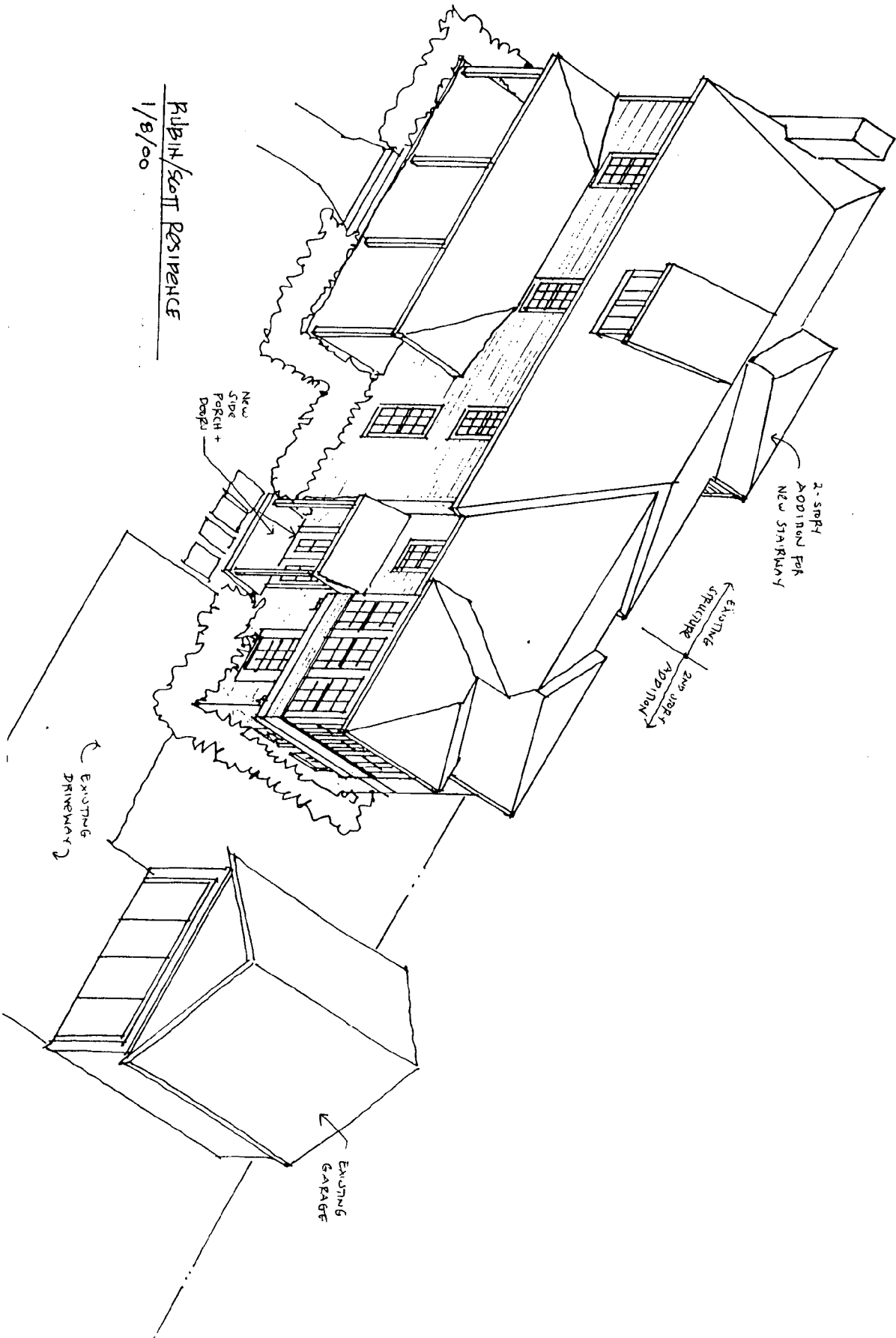
PLAT OF SURVEY  
**LOTS 22 & 23, BLOCK 10**  
**KENSINGTON PARK**  
 MONTGOMERY COUNTY, MARYLAND

**SUMMIT AVENUE**  
 COUNTY ROAD (PER PLAT)

Building Line and/or Flood Zone Information is taken from Available Sources and is Subject to Interpretation of Originator

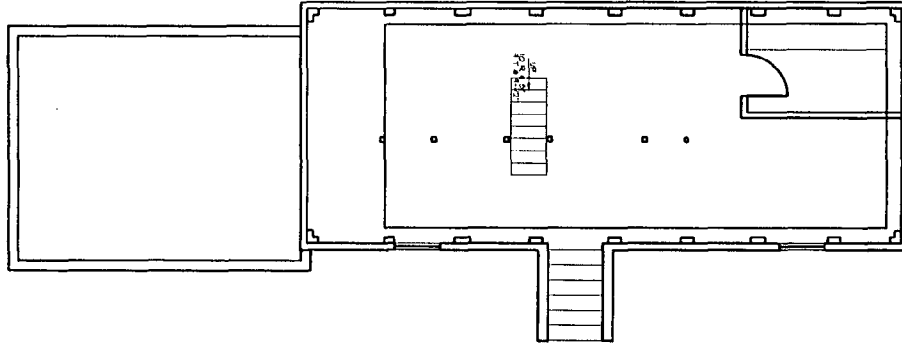
<p><b>SURVEYOR'S CERTIFICATE</b></p> <p>I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD SURVEY PURSUANT TO THE DEED OR PLAT OF RECORD. PROPERTY MARKERS HAVE BEEN RECOVERED OR PLACED IN ACCORDANCE WITH THE INFORMATION SHOWN*.</p> <p><i>Jeffrey A. Foster</i>                  MARYLAND PROPERTY LINE SURVEYOR REG. NO. <u>587</u></p>	<p><b>REFERENCES</b></p> <p>PLAT BK.     8</p> <p>PLAT NO.    4</p>	 <p><b>SNIDER &amp; ASSOCIATES</b>                  SURVEYORS - ENGINEERS                  LAND PLANNING CONSULTANTS                  2 Professional Drive, Suite 218                  Gaithersburg, Maryland 20879                  301/948-5100, Fax 301/948-1286</p>
	<p>LIBER        833</p> <p>FOLIO       331</p>	



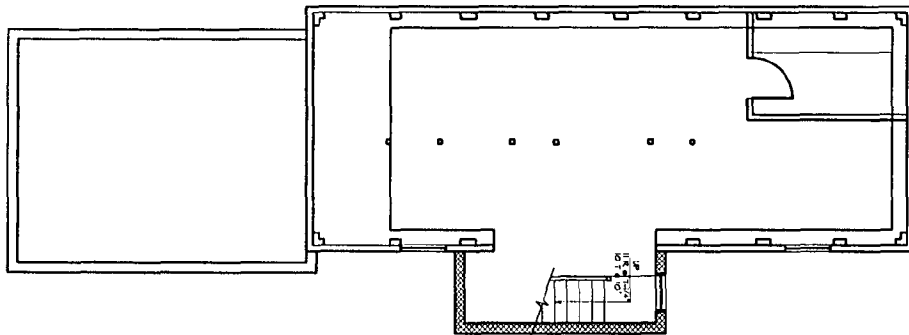


RUBIN/SCOTT RESIDENCE  
1/8/00

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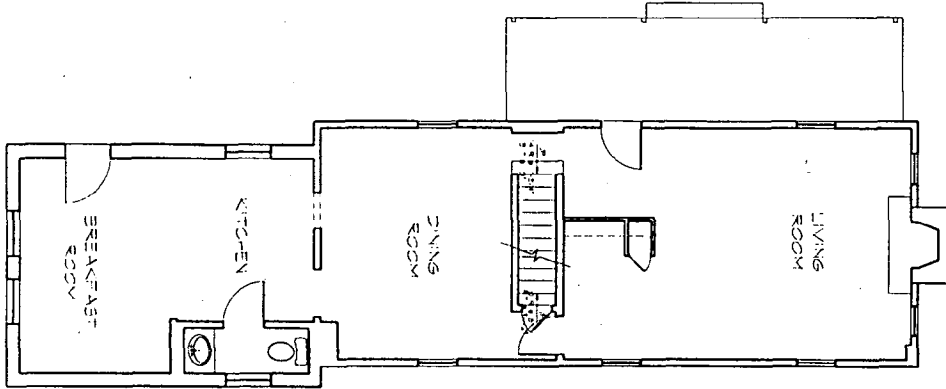


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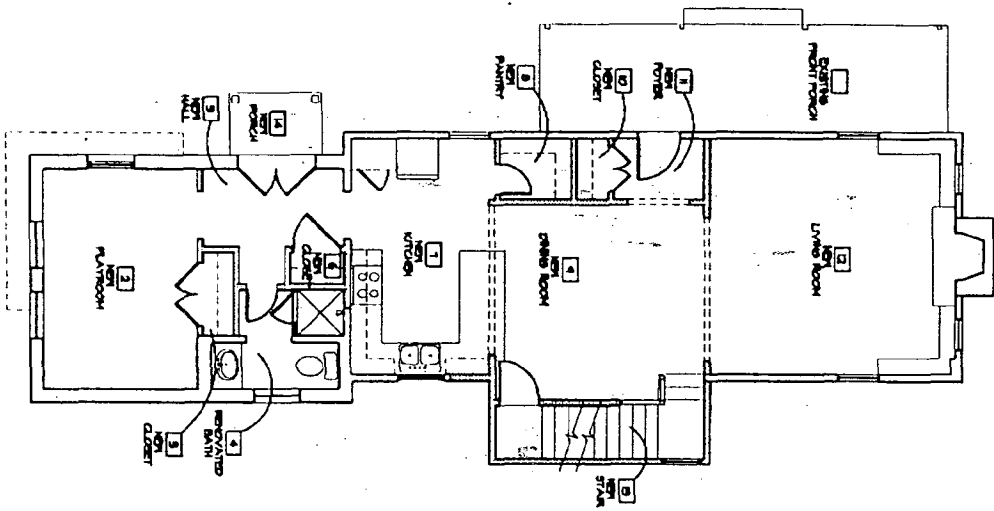


<p><b>A1.0</b></p>	<p>PROJECT NO. 003945 DRAWING NO.</p>	<p>DATE</p>	<p>SCALE AS NOTED</p>	<p>DRAWN BY STH</p>	<p>CHECKED BY DER</p>	<p>DATE</p>	<p>REVISIONS</p>	<p>SCALE</p>	<p><b>RUBIN/SCOTT RESIDENCE</b></p>	<p>4011 PROSPECT ST. KENSINGTON, MD. 20845</p>	<p><b>EXISTING &amp; PROPOSED BASEMENT PLAN</b></p>	<p><b>GTMI</b> ARCHITECTS 10415 ASHLEY AVENUE BETHESDA, MD. 20814 PHONE: 301-291-1100 FAX: 301-291-1101</p>

1 EXISTING FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"

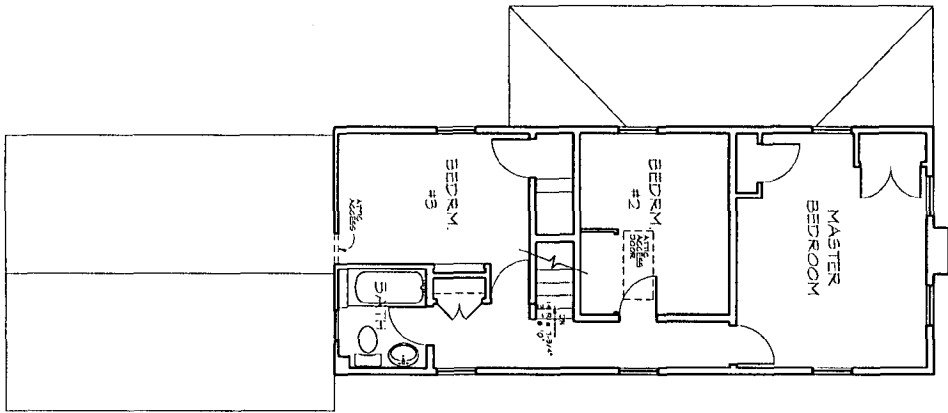


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PROJECT NO.	20359
CLIENT	RUBIN/SCOTT
ARCHITECT	GTM ARCHITECTS
ADDRESS	4011 PROSPECT ST. KENSINGTON, MD. 20895
PHONE	(301) 424-1111
FAX	(301) 424-1112
WEBSITE	WWW.GTMARCHITECTS.COM
PROJECT	RUBIN/SCOTT RESIDENCE
DATE	2-29-08
SCALE	1/8" = 1'-0"
PROJECT NO.	20359
CLIENT	RUBIN/SCOTT
ARCHITECT	GTM ARCHITECTS
ADDRESS	4011 PROSPECT ST. KENSINGTON, MD. 20895
PHONE	(301) 424-1111
FAX	(301) 424-1112
WEBSITE	WWW.GTMARCHITECTS.COM

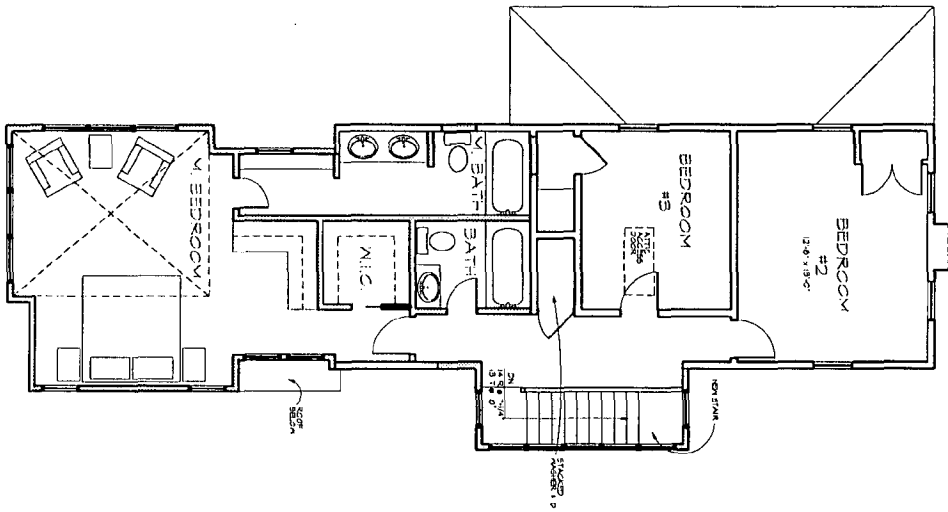
**RUBIN/SCOTT RESIDENCE**

4011 PROSPECT ST.  
KENSINGTON, MD. 20895  
EXISTING & PROPOSED  
FIRST FLOOR PLAN

**GTM**  
ARCHITECTS  
GTM ARCHITECTS, LLC  
1111 PROSPECT ST., SUITE 200  
KENSINGTON, MD 20895  
(301) 424-1111  
WWW.GTMARCHITECTS.COM



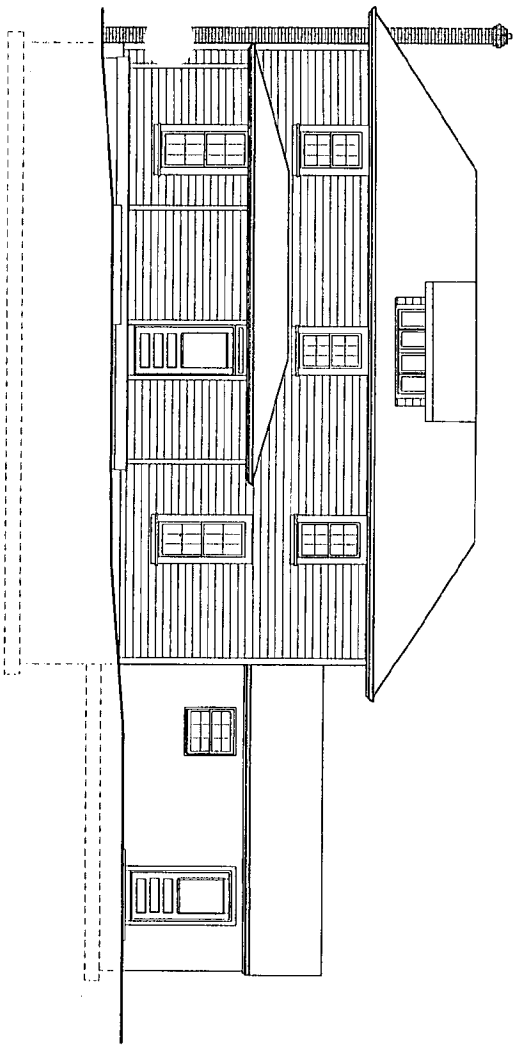
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A1.2 SCALE: 1/8" = 1'-0"



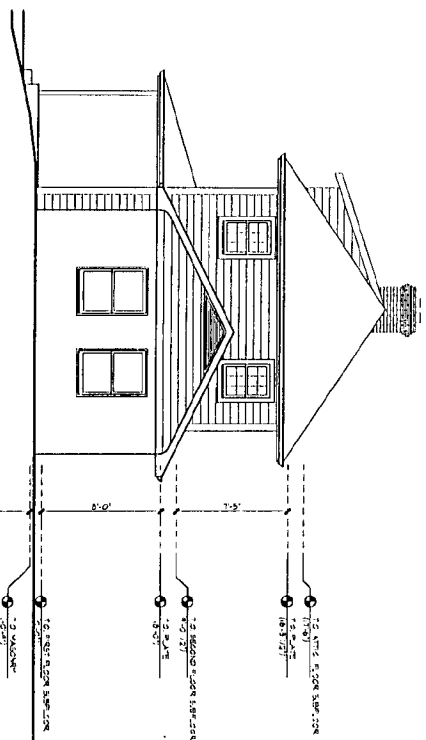
2 PROPOSED SECOND FLOOR PLAN  
A1.2 SCALE: 1/8" = 1'-0"

<b>A1.2</b>	<b>RUBIN/SCOTT RESIDENCE</b>	4011 PROSPECT ST. KENSINGTON, MD. 20895	
		EXISTING & PROPOSED SECOND FLOOR PLAN	
<b>GTM</b> ARCHITECTS <small>2000 WASHINGTON BLVD.          SUITE 200          WASHINGTON, DC 20004          TEL: 202-331-1100          FAX: 202-331-1101</small>			
<small>PROJECT NO. 00355A          DRAWING NO.</small>			
<small>DATE: AS NOTED          SCALE: AS NOTED          CHECKED BY: STM          DRAWN BY: DIER          ROOM: ST.</small>			
<small>REVISIONS</small>			

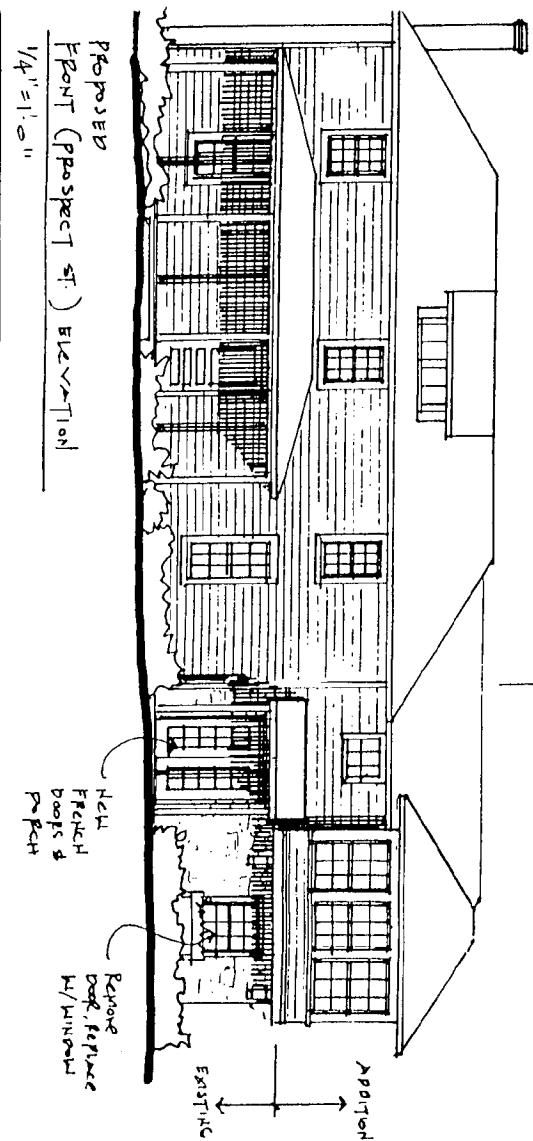
11



1 EXISTING FRONT ELEVATION  
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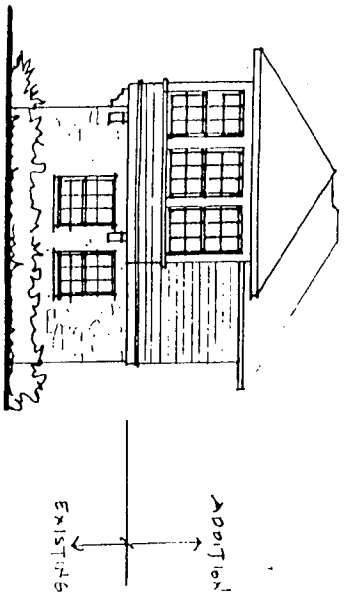
2 EXISTING RIGHT SIDE ELEVATION  
SCALE 1/4" = 1'-0"



PROPOSED  
FRONT (PROSPECT ST.) ELEVATION  
SCALE 1/4" = 1'-0"

REMOVE  
DOOR, REPAIR  
W/ WINDOW

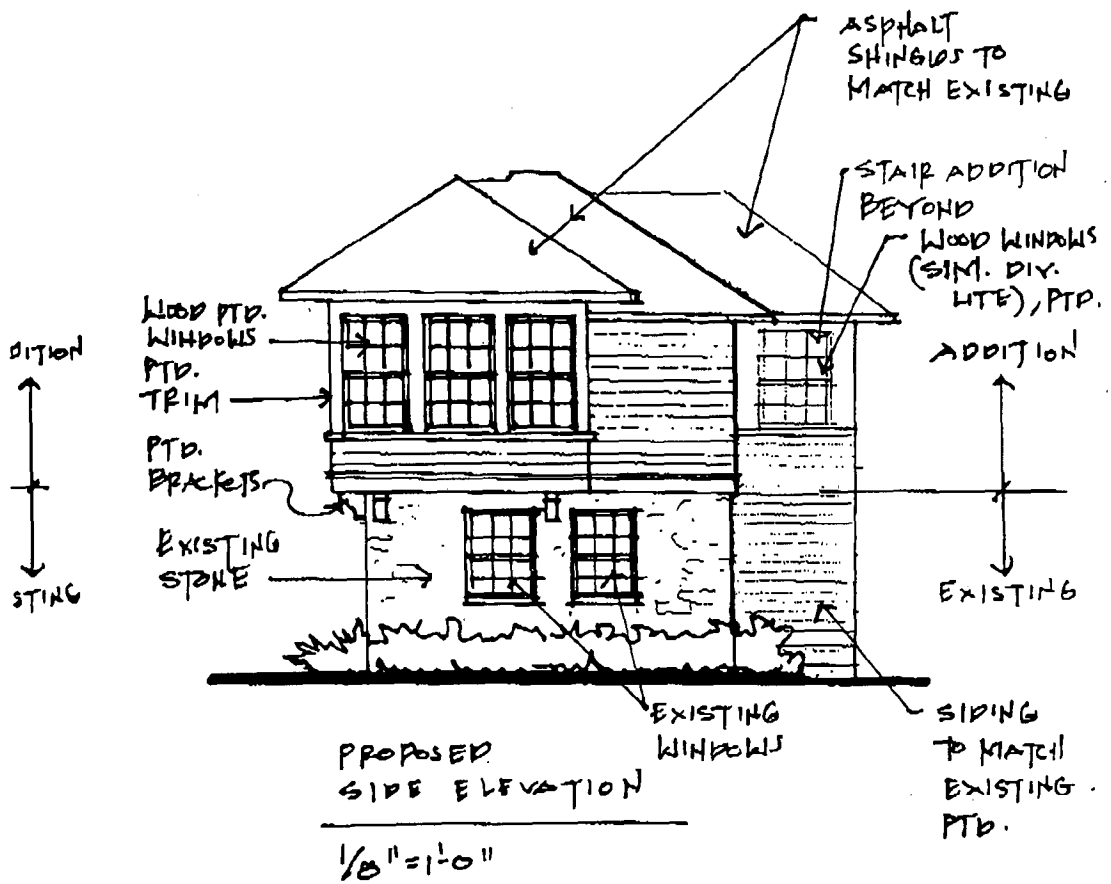
NEW  
FRENCH  
DOORS &  
PORCH

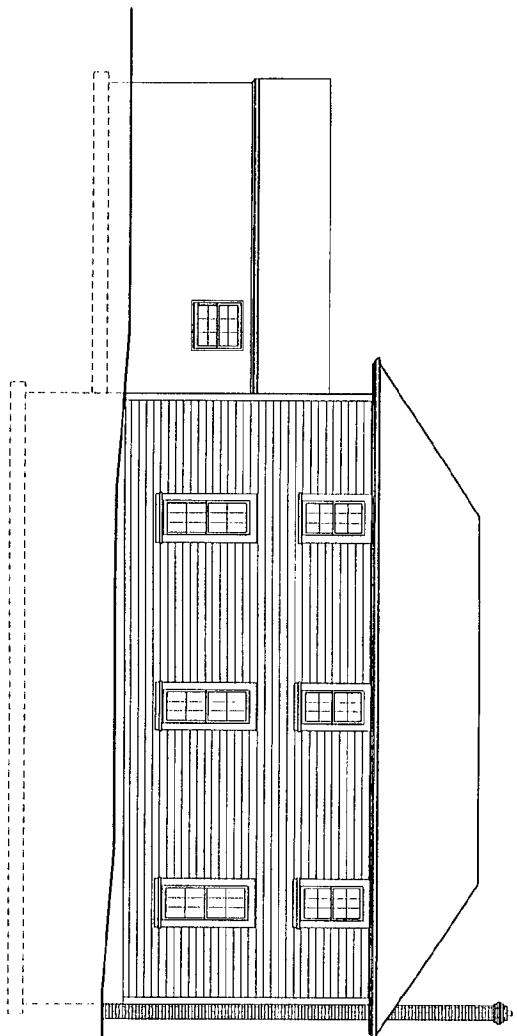


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SCALE 1/4" = 1'-0"

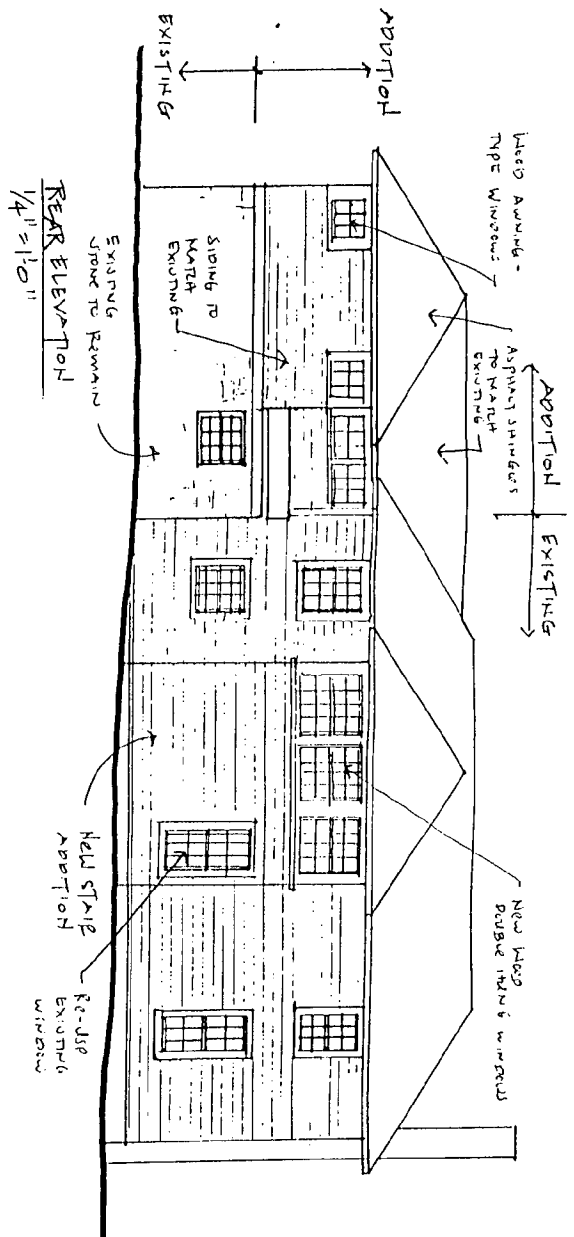
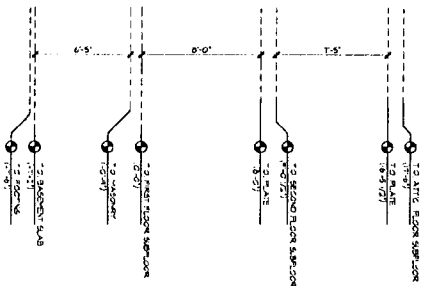
See next page  
for more details

<p><b>GTMI</b> ARCHITECTS</p> <p>610 ANDER AVE BETHESDA, MD 20814 (301) 221-1111</p>	<p>4011 PROSPECT ST. KENSINGTON, MD. 20845</p>
	<p>EXISTING &amp; PROPOSED ELEVATION</p>
<p>RUBIN/SCOTT RESIDENCE</p>	<p>DATE: 10/20/11</p> <p>SCALE: 1/4" = 1'-0"</p> <p>PROJECT NO: 20090</p> <p>DESIGNER: JEREMY S. RUBIN</p> <p>ARCHITECT: ROBERT SCOTT</p> <p>AS NOTED</p> <p>A2.0</p>





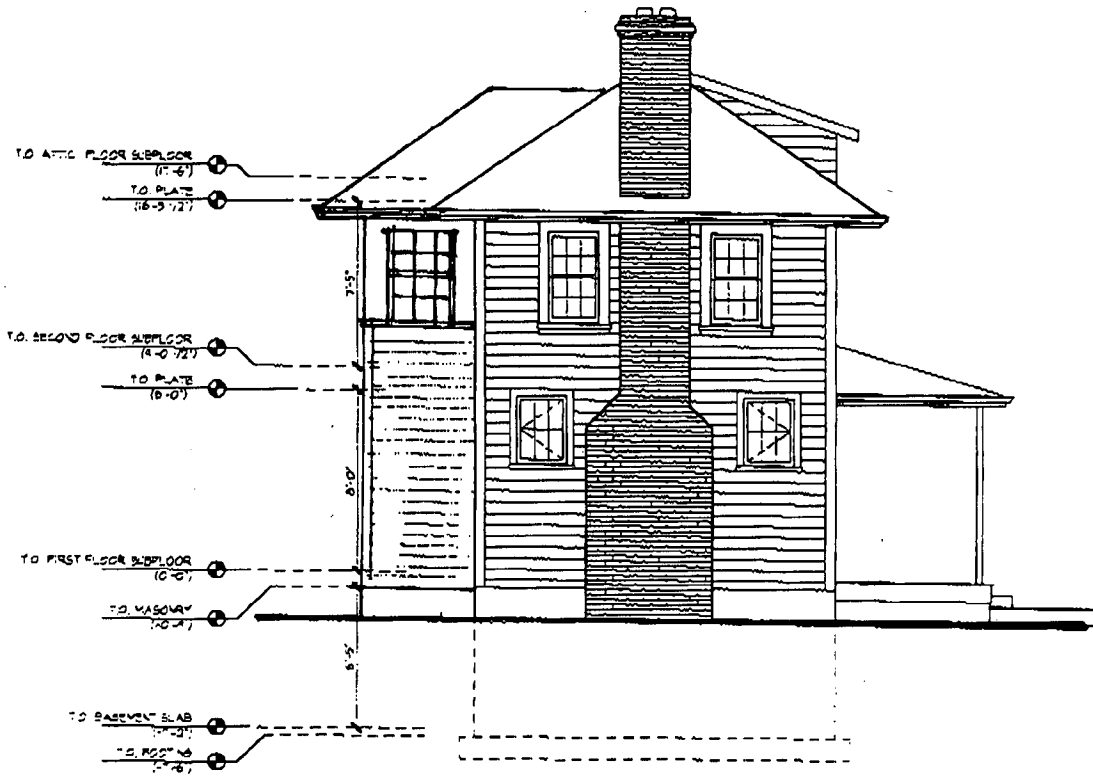
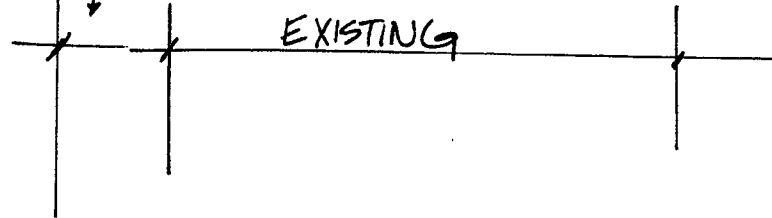
1 EXISTING REAR ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
1/4" = 1'-0"

	645 MARION AVENUE KENSINGTON, MD 20895 PHONE: 301-251-1144	<b>RUBIN/SCOTT RESIDENCE</b>	4011 PROSPECT ST. KENSINGTON, MD. 20895
	<b>EXISTING &amp; PROPOSED ELEVATION</b>		ARCHITECTS

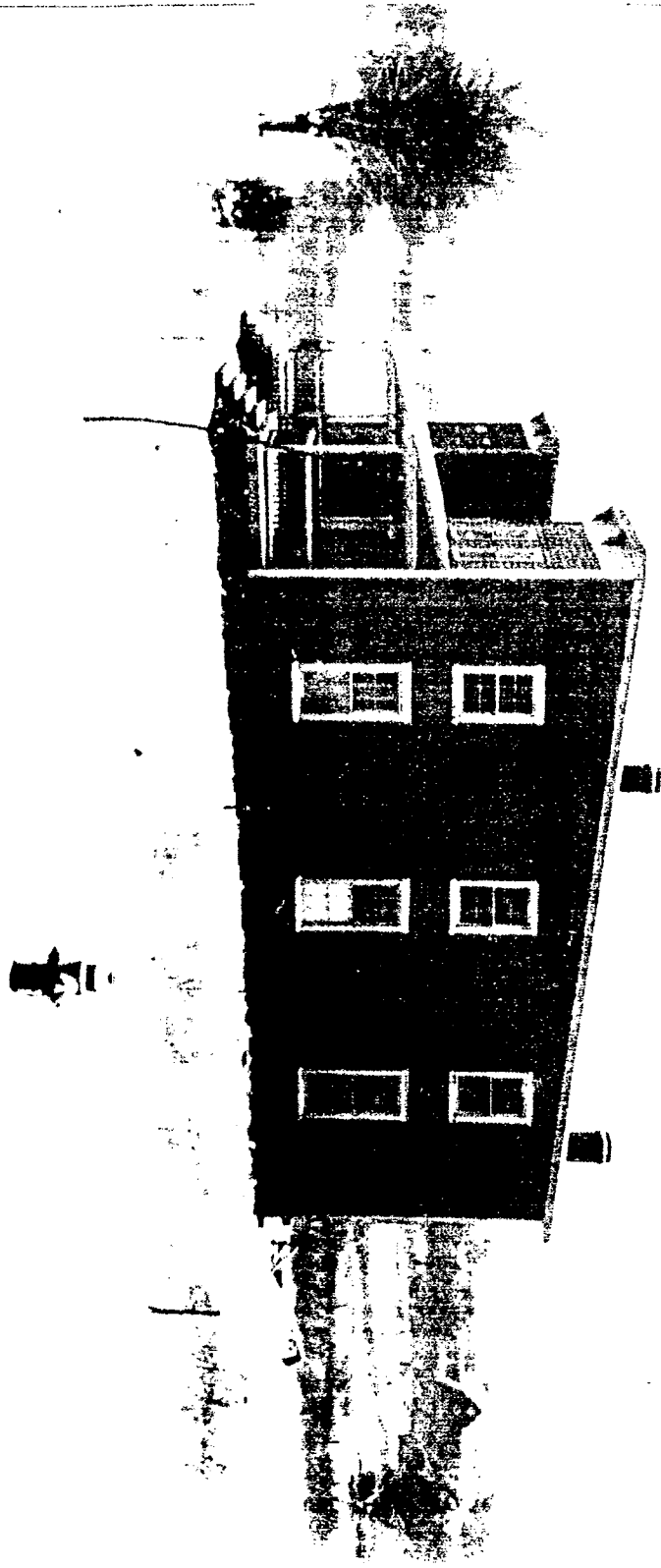
PROPOSED  
ADDITION

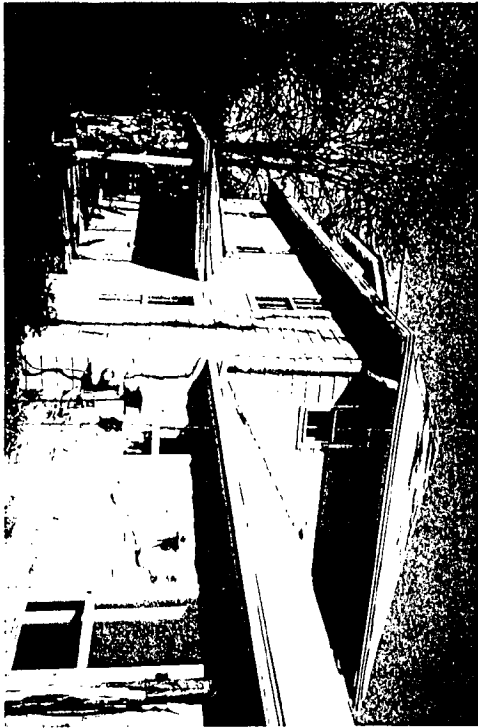


SUMMIT ST. ELEVATION



ORIGINAL STRUCK ME





# GTM ARCHITECTS

10415 Armory Avenue  
Kensington, MD 20895  
(301) 942-9062  
Fax (301) 942-3929  
Toll Free: (877) 942-9062  
www.gtmarchitects.com

RECEIVED  
FEB 8 2000

## FAX

---

**Date:** February 6, 2001

**To:** Montgomery County Historic Preservation Commission  
Robin Zeik  
**Phone:** 301-563-3400  
**Fax:** 391-563-3412

**From:** GTM Architects, Incorporated  
George Myers  
**Phone:** 301-942-9062  
**Extension:** 13  
**Fax:** 301-942-3929

**Pages (including this cover sheet):** 2

**GTM File #:** 2000358

---

**Subject:**

**Robin-**

**Enclosed are revised plans for the Rubin/Scott Residence.**

**Thanks,  
George**

4011 PROSPECT ST.  
 KENNESAW, MD. 20895  
 EXISTING AND PROPOSED  
 FIRST FLOOR PLAN

**RUBIN/SCOTT  
 RESIDENCE**

REVISIONS:


SEAL:

DRAWN BY: DER

CHECKED BY: GTM

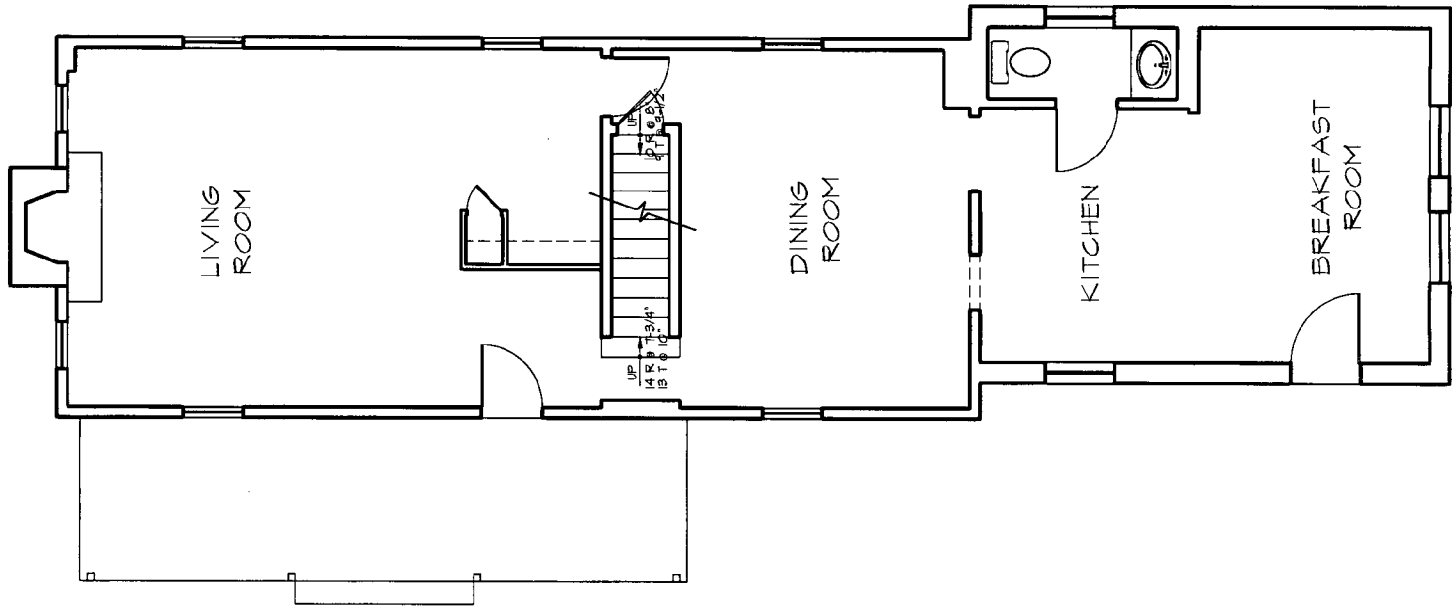
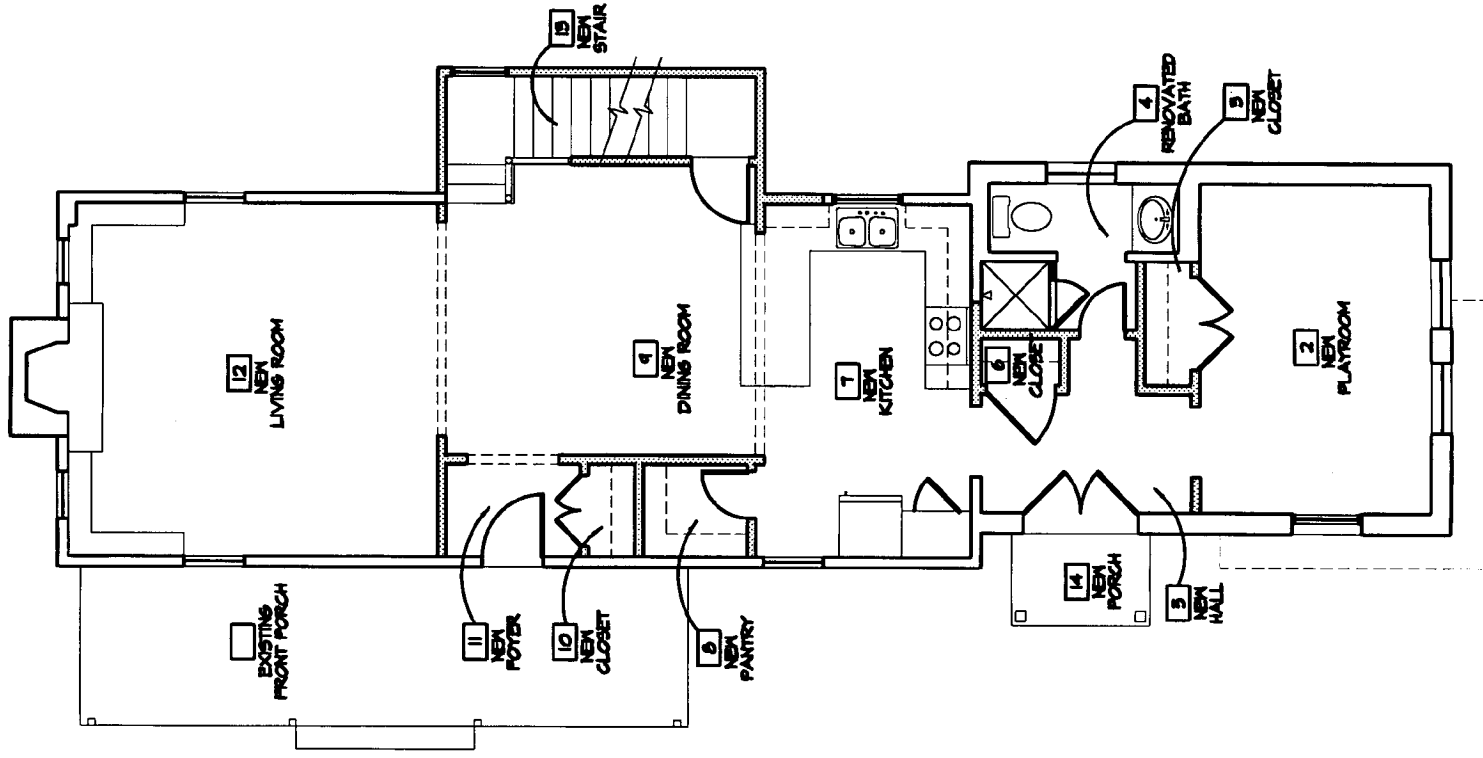
SCALE: AS NOTED

DATE:

PROJECT NO. 00358

DRAWING NO.

**A1.1**





February 13, 2001

George Kousoulas  
Chairman, Montgomery County  
Historic Preservation Commission  
8787 Georgia Avenue  
Silver Spring, MD 20910

Dear Chairman Kousoulas and Members of the Commission:

At a meeting of the Mayor and Council on February 12, 2001, the Council took the following actions on pending Historic Area Work Permits in the Town:

- Case # 31/600Q Retroactive, Sidewalk and Patio Installation at 3802 Washington Street: Council voted in support of the LAP recommendations;
- Case # 31/06-00H, Rear Porch Additions/Alternations at 10312 Armory Avenue: Council voted to support approval of the application;
- \* Case # 31/6-01E, replacement windows, new porch, and second story addition at 4011 Prospect Street: the Council took no position;
- Case # 31/6-01F, enlarge front porch at 10403 Fawcett Street: the Council voted in support of the application;
- Case #31/600Q Retroactive, driveway at 3802 Washington Street: the Council voted in support of HPC's staff's proposal for revision Circle 13.

Thank you for considering our input.

Sincerely,



Kitty L. Raufaste  
Mayor

**KENSINGTON HISTORICAL SOCIETY, INC.**  
**PO BOX 453**  
**KENSINGTON, MD 20895**

February 14, 2001

Historic Preservation Commission  
Maryland-National Capital Park and Planning Commission  
8787 Georgia Avenue  
Silver Spring, Maryland 20910

Dear Commissioners and Staff:

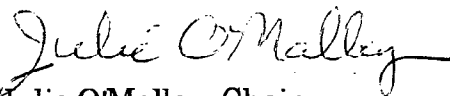
HAWP 31/6-01E is for a primary resource property at 4011 Prospect Street. This property owner should be commended on the minimal impact to his property. The stair addition adds only a minimal amount of lot coverage to this property as a whole. The front yard, a separate buildable lot, should never be considered for separate development as this would place an undue burden on lot 23.

As staff states, the original structure has been substantially altered. The massing of the new total creates a front façade which is 60 feet long. This is not typical of this district. A recent treatment at 10415 Armory Avenue, showed how lowering a portion of the roof line could mitigate the problem of the apparent mass. The location of the house on the property and on the block are helpful in preventing it from appearing too large.

The addition of a rear entrance on the front façade with a full length glass French door accentuates the rear entrance more than the front entry on what could have been considered the "original" entrance.

A particular concern on this HAWP is that the "front yard" may be a separate buildable lot. In that case the front façade to which we're devoting so much attention becomes a side façade, the side of the house on Summit becomes the "front" and the lot coverage on Lot 23 becomes astonishingly large. Are there proactive steps the HPC and the owner can take to deal with this concern.

Sincerely,

  
Julie O'Malley, Chair  
Preservation Committee, KHS

31/6-01D  
Chris & Andrea Murtha  
3802 Washington Street  
Kensington, MD 20895

Louise Slark  
3804 Washington Street  
Kensington, MD 20895

Resident  
3800 Washington Street  
Kensington, MD 20895

Resident  
10100 Hadley Place  
Kensington, MD 20895

Resident  
3803 Washington Street  
Kensington, MD 20895

Kensington LAP (15 copies for  
Louise: 1-30-01 - left message  
for pick up.

10/24-01A  
JAB Joint Venture  
11515 Mountain View Road  
Damascus, MD 20872

Resident  
11525 Mountain View Road  
Damascus, MD 20872

Michael Alan Finn, Agent  
2402 Chain Bridge Road, N.W.  
Washington, DC 20016

Resident  
11507 Mountain View Road  
Damascus, MD 20872

Bradley Construction  
11515 Mountain View Road  
Damascus, MD 20872

Resident  
11420 Mountain View Road  
Damascus, MD 20872

31/6-01C  
Allison & John Oppenheim  
10312 Armory Avenue  
Kensington, MD 20895

Stephen & Anna McHale  
10324 Armory Avenue  
Kensington, MD 20895

Town of Kensington  
3710 Mitchell Street  
Kensington, MD 20895

Spencer & Barbara Harrill  
3810 Warner Street  
Kensington, MD 20895

Cindy & Carleton Conant  
10309 Armory Avenue  
Kensington, MD 20895

Kensington LAP

37/3-01B  
Frank & Mary Rose Nicol  
1000 Tucker Lane  
Ashton, MD 20861

Resident  
7015 Eastern Avenue  
Takoma Park, MD 20912

Sabrina Eaton  
7019 Eastern Avenue  
Takoma Park, MD 20912

Sally Harrell  
7100 Cedar Avenue  
Takoma Park, DM 20912

Douglas Cardin  
7108 Cedar Avenue  
Takoma Park, MD 20912

31/6-01E  
David Rubin & Kristen Scott  
4402 Colchester Drive  
Kensington, MD 20895

Resident  
10311 Summit Avenue  
Kensington, MD 20895

Barbara & Jeff Black  
10304 Summitt Avenue  
Kensington, MD 20895

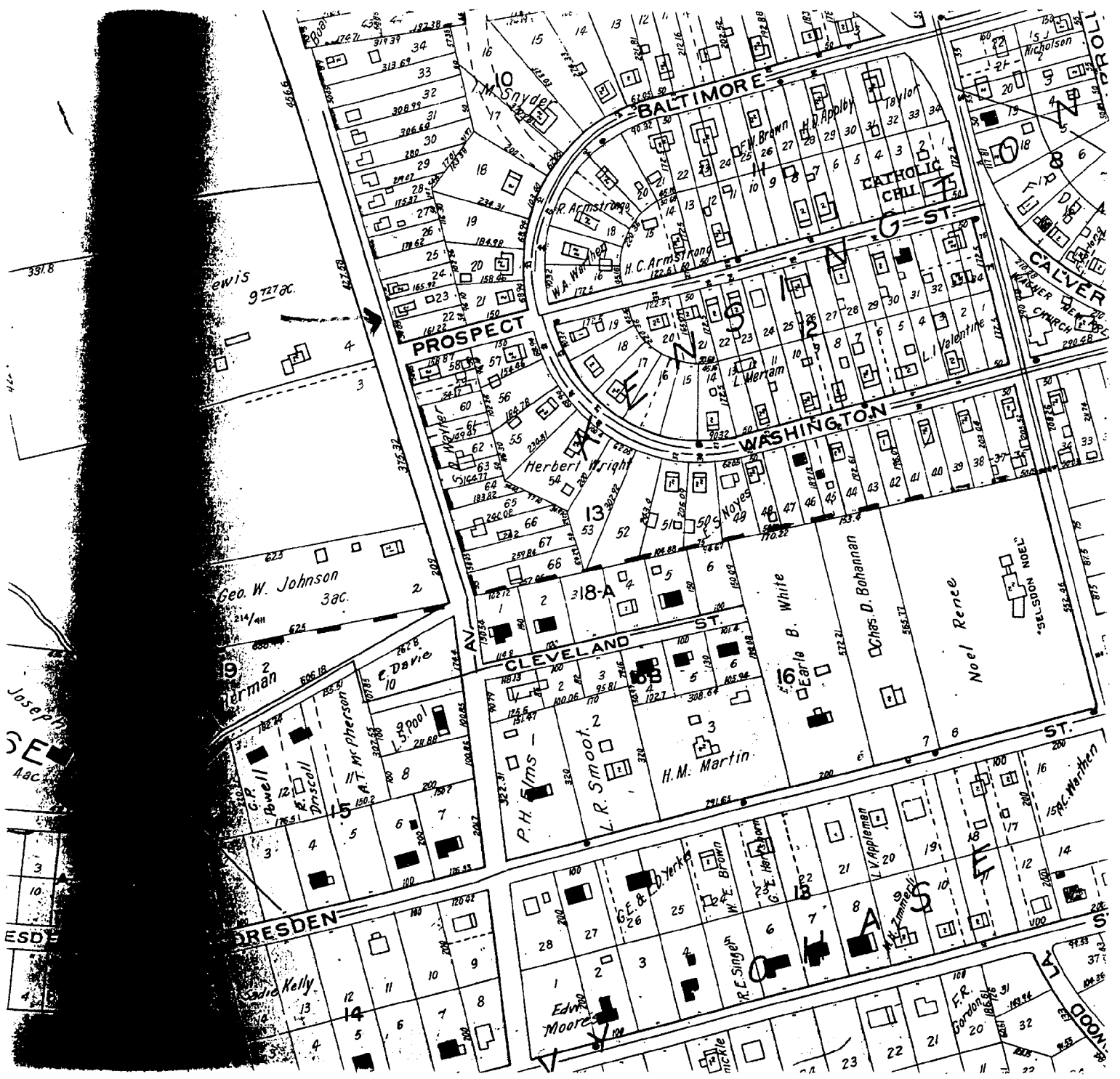
Elizabeth Walter  
Frances Weed  
4010 Prospect Street  
Kensington, MD 20895

Resident  
3951 Baltimore Street  
Kensington, MD 20895

Joseph Rall  
3947 Baltimore Street  
Kensington, MD 20895

Kensington LAP

Staff report to GTM Architects



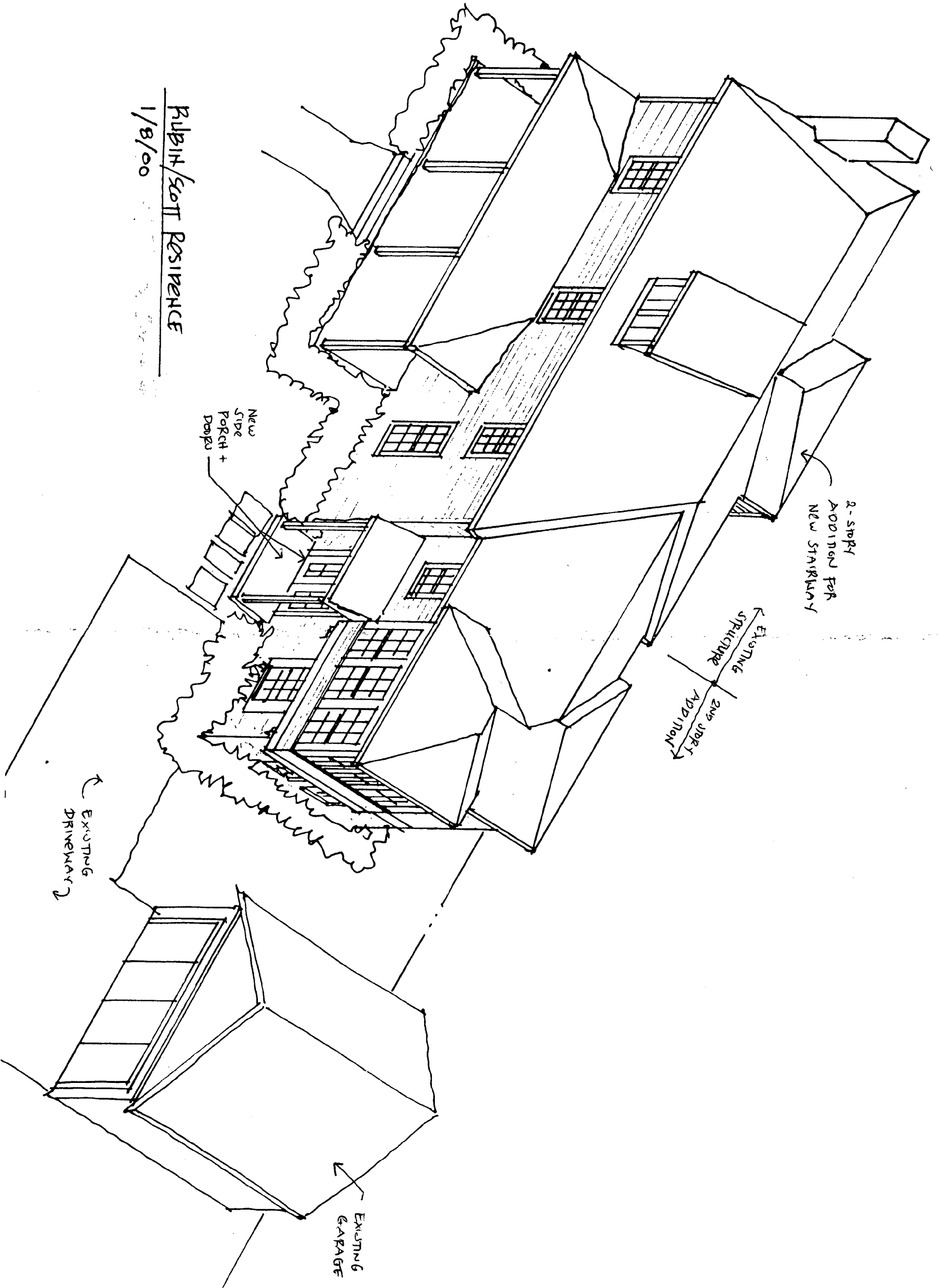
KLINGE MAP 1941

4011 PROSPECT ST.

SCOTT/RUBIN



RUBIN/SCOTT RESIDENCE  
1/8/00



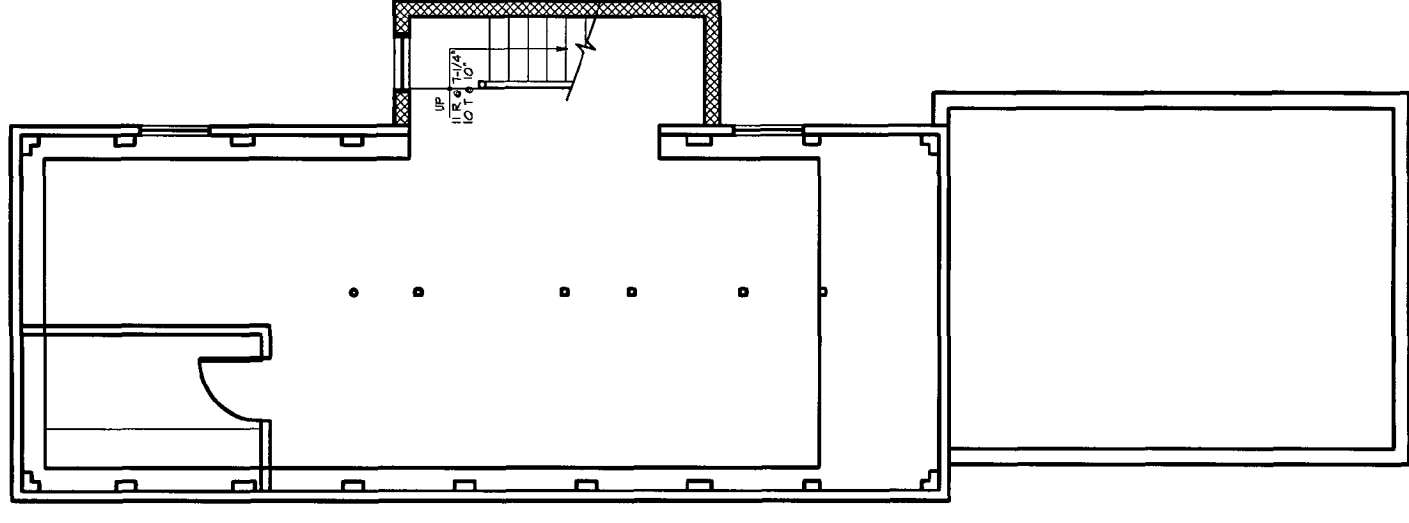
**RUBIN/SCOTT  
 RESIDENCE**

REVISIONS:

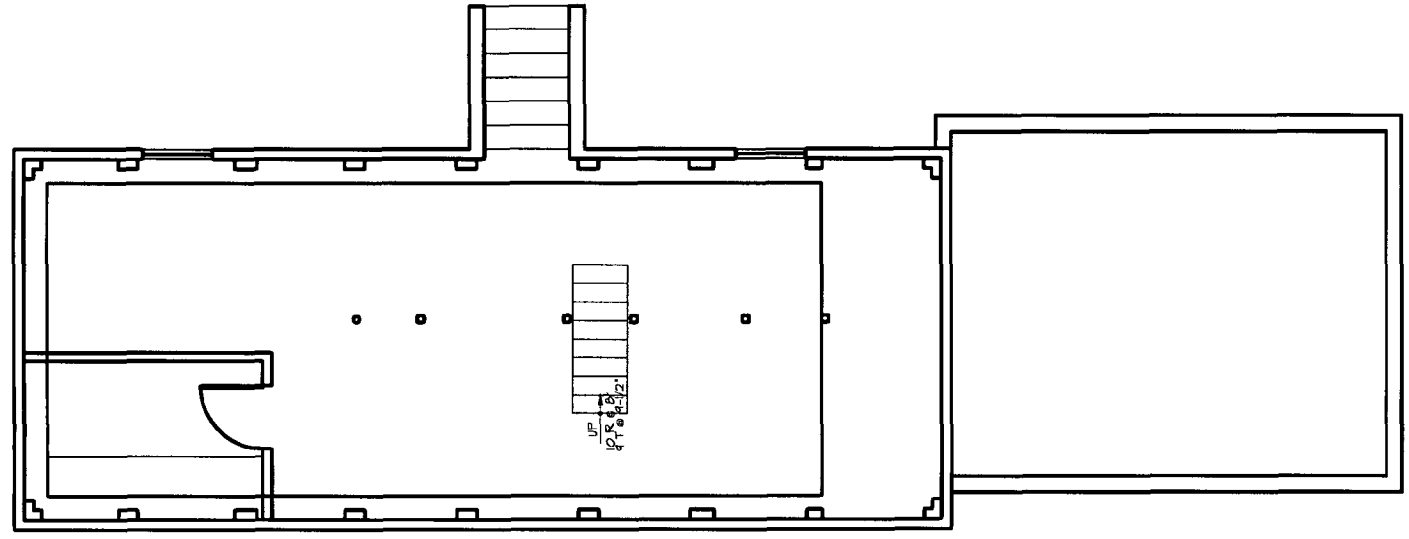
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DRAWN BY:	DER
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	
PROJECT NO:	C0358
DRAWING NO:	

**A1.0**



**2 PROPOSED BASEMENT PLAN**  
 A1.0 SCALE: 1/4"=1'-0"



**1 EXISTING BASEMENT PLAN**  
 A1.0 SCALE: 1/4"=1'-0"

**RUBIN/SCOTT  
 RESIDENCE**

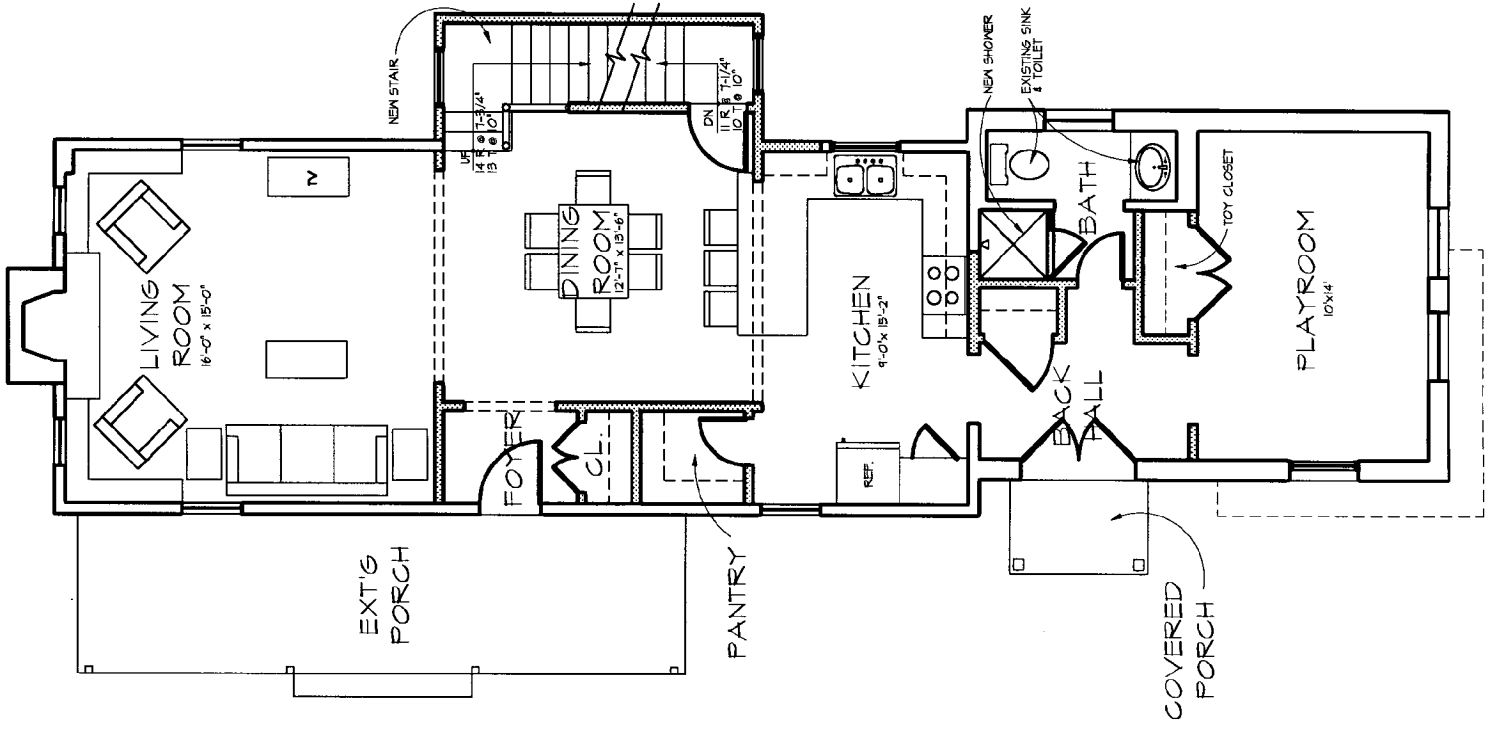
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SEAL:

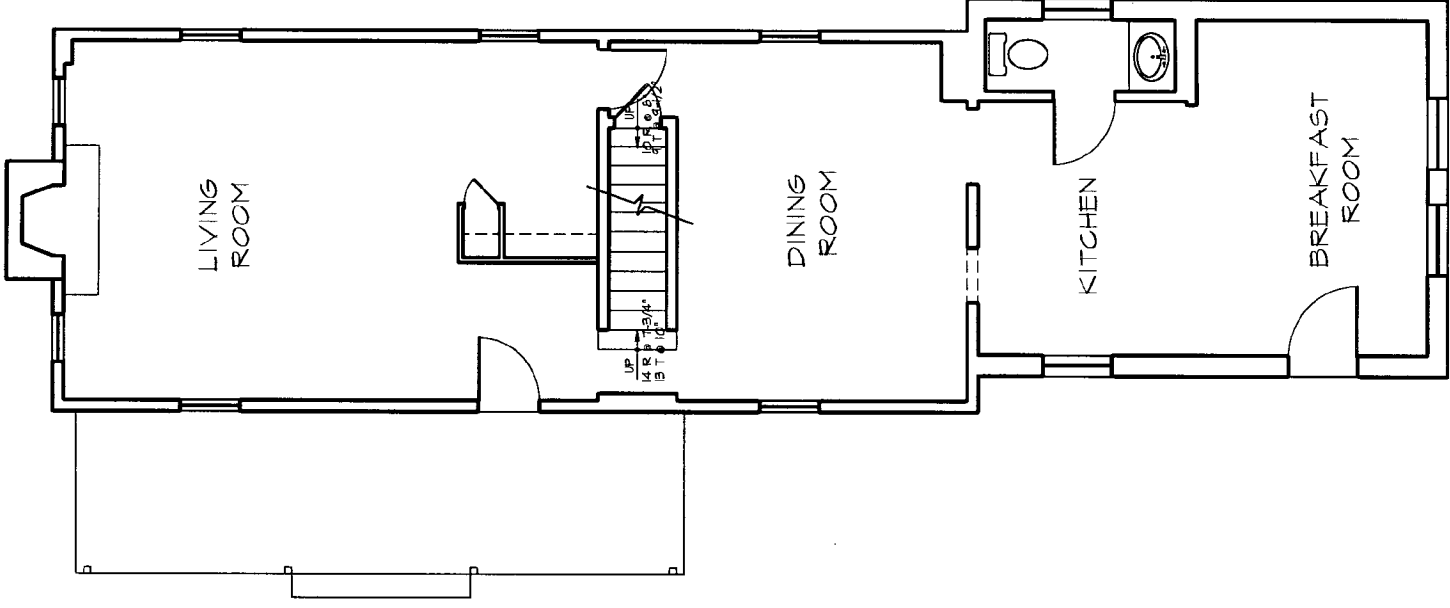
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CHECKED BY:	GTM
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DATE:	

PROJECT NO:	00355B
DRAWING NO:	

**A1.1**



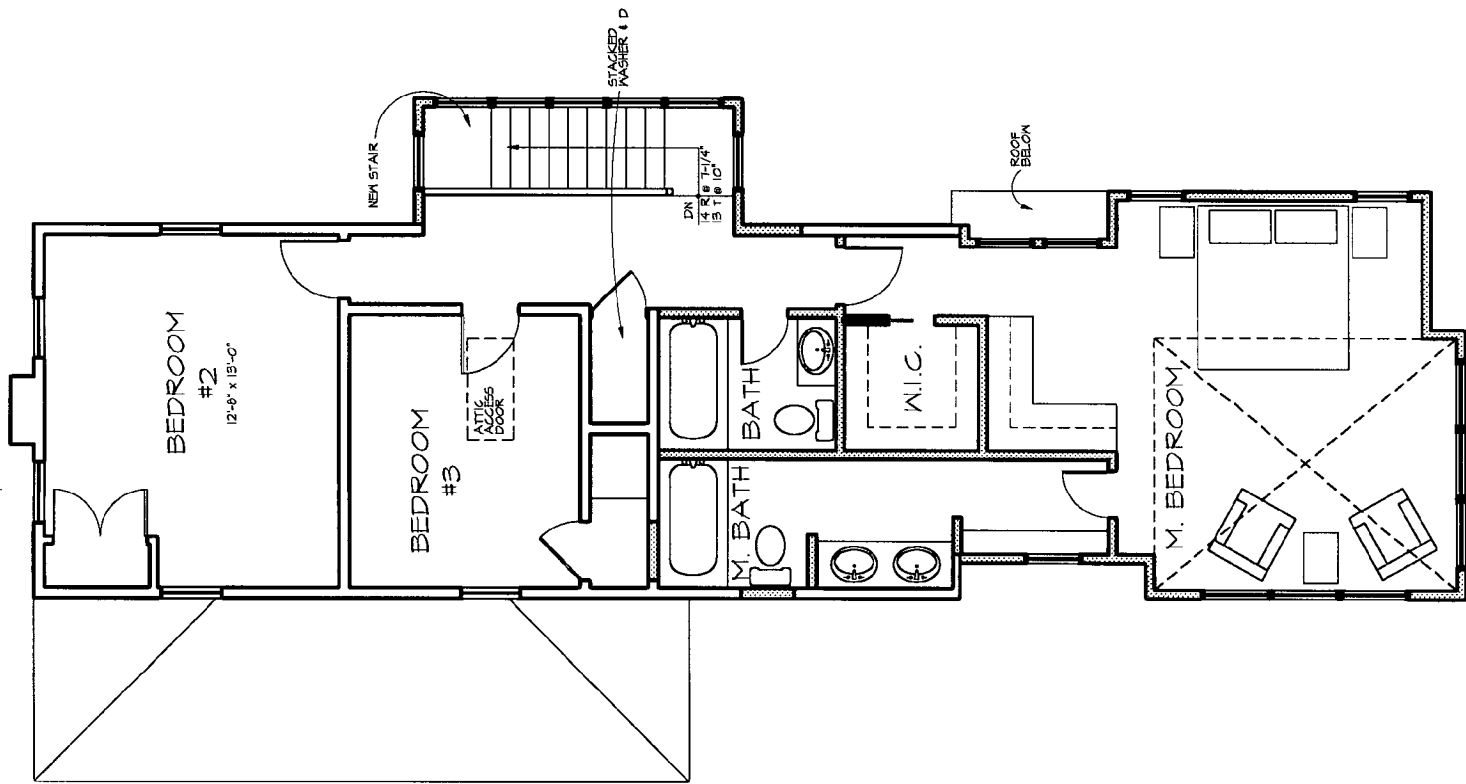
2 PROPOSED FIRST FLOOR PLAN  
 ALL SCALE: 1/4"=1'-0"



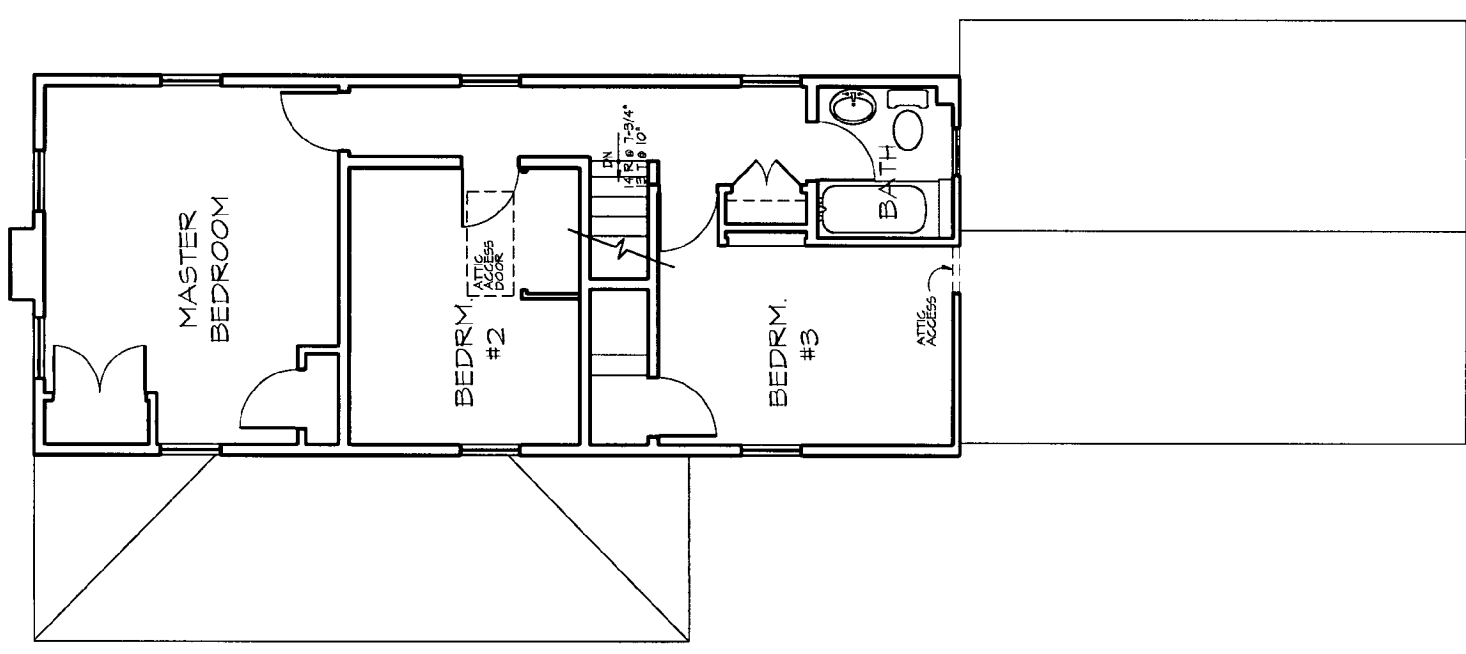
1 EXISTING FIRST FLOOR PLAN  
 ALL SCALE: 1/4"=1'-0"

REVISIONS:	
SEAL:	

DRAWN BY:	DER
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	
PROJECT NO.	00355B
DRAWING NO.	



**2** PROPOSED SECOND FLOOR PLAN  
 SCALE: 1/4"=1'-0"

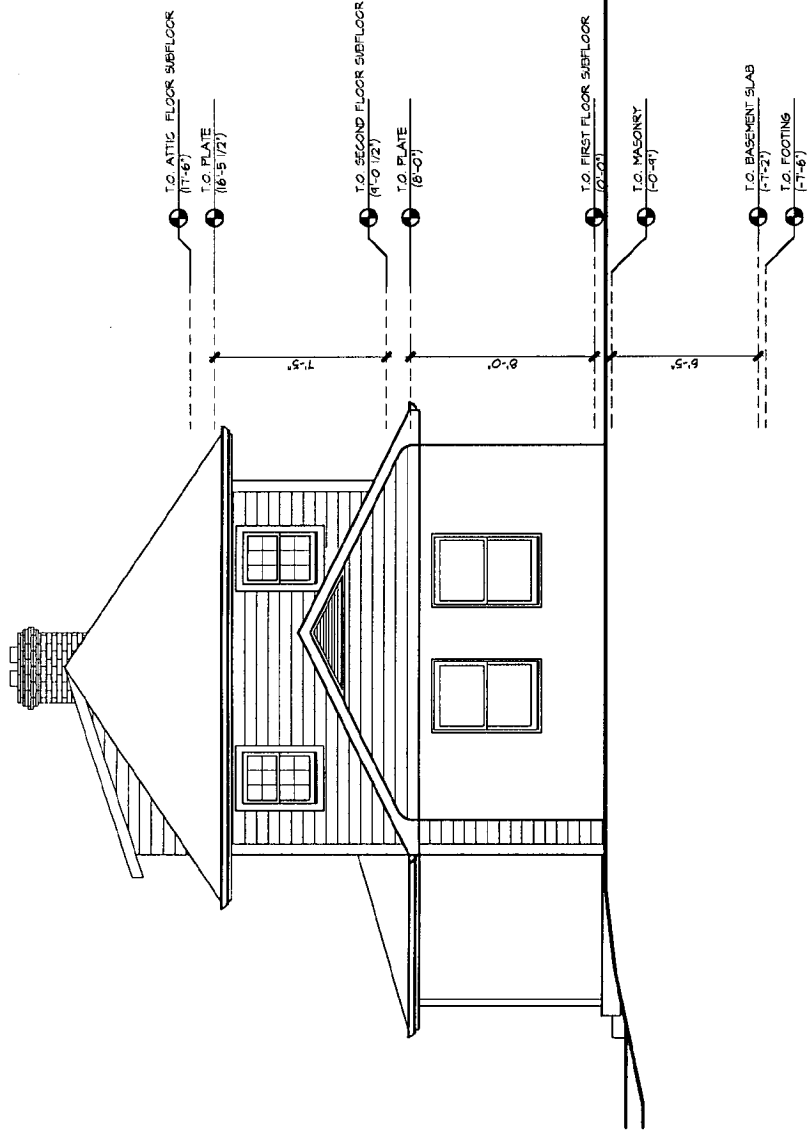


**1** EXISTING SECOND FLOOR PLAN  
 SCALE: 1/4"=1'-0"

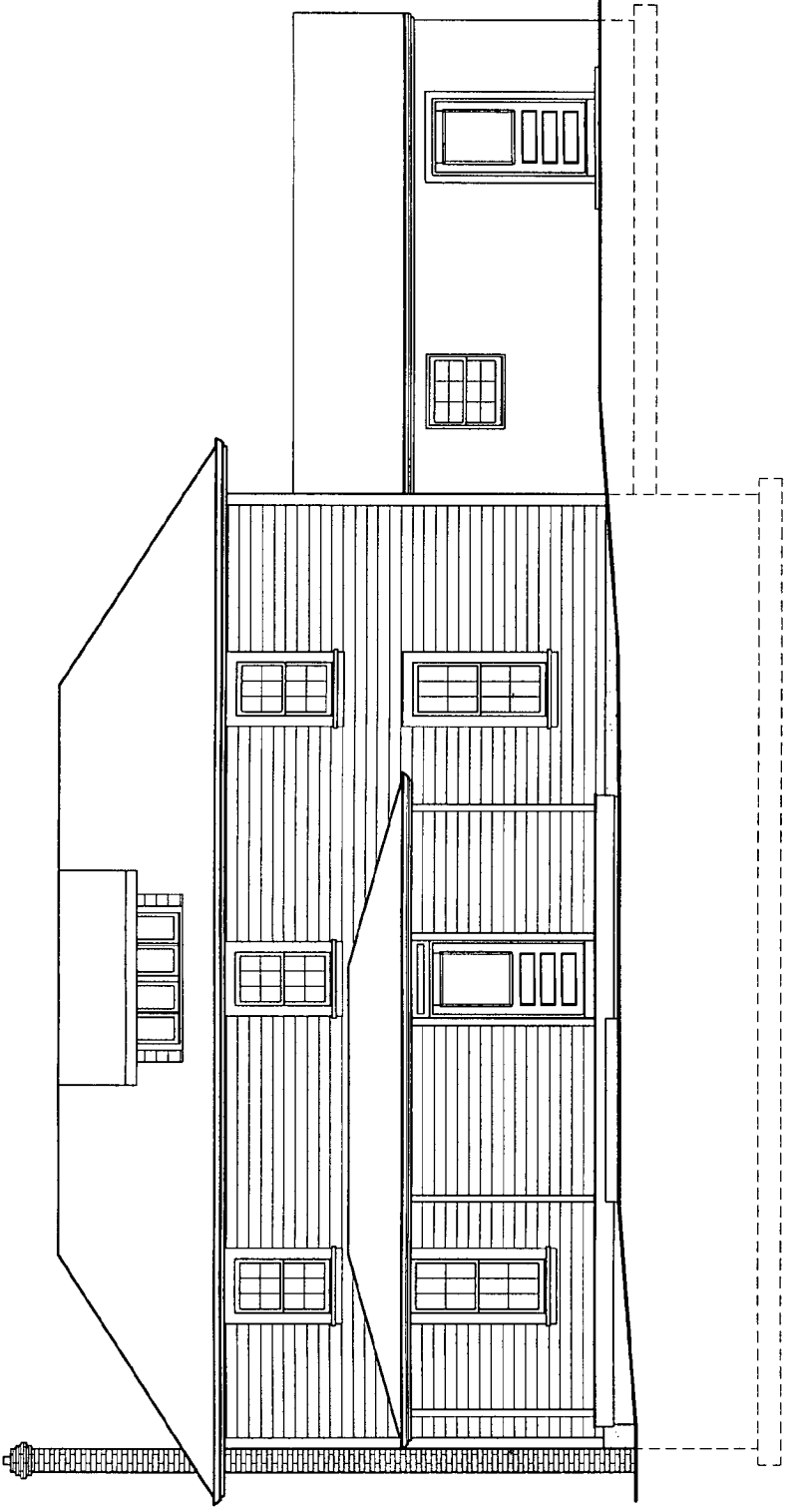
**RUBIN/SCOTT  
RESIDENCE**

REVISIONS:	SCALE:	DRAWN BY: DER	DATE:
		CHECKED BY: GTM	AS NOTED
		PROJECT NO: 00358	
		DRAWING NO:	

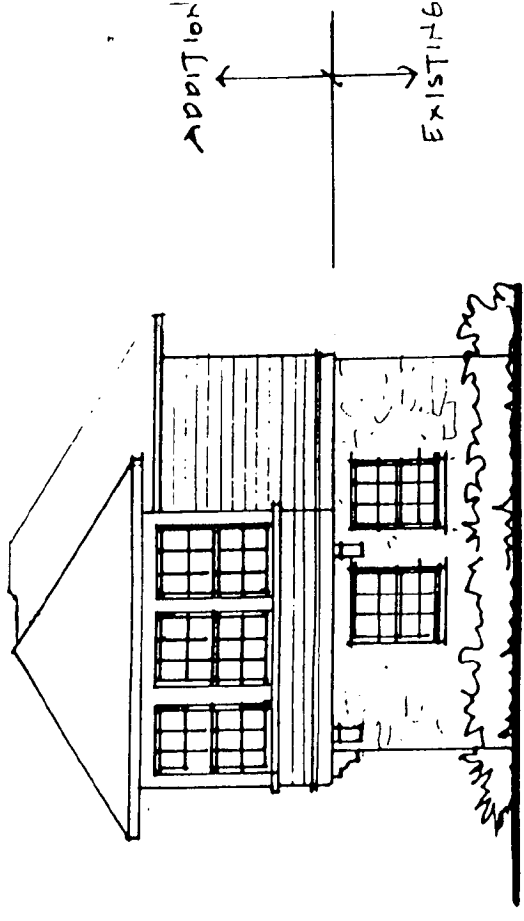
**A2.0**



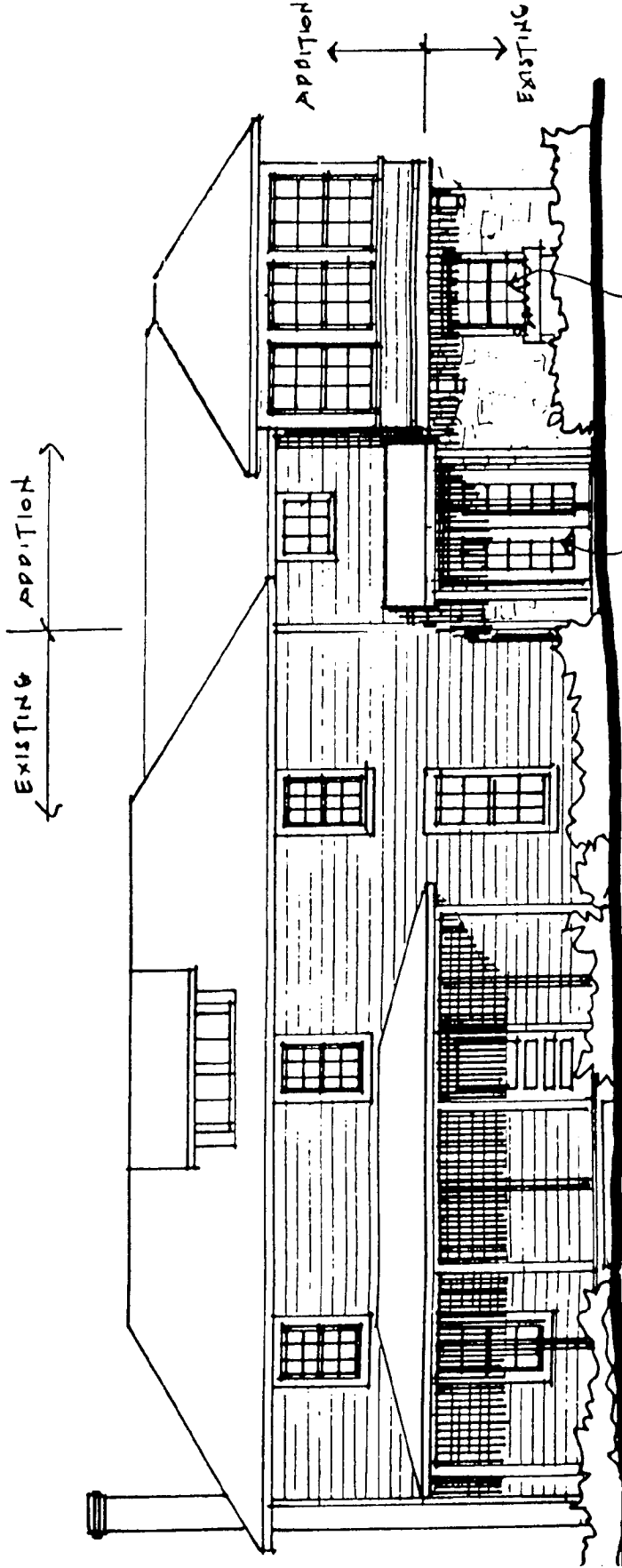
**2 EXISTING RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**1 EXISTING FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**PROPOSED  
SIDE ELEVATION**  
1/4"=1'-0"

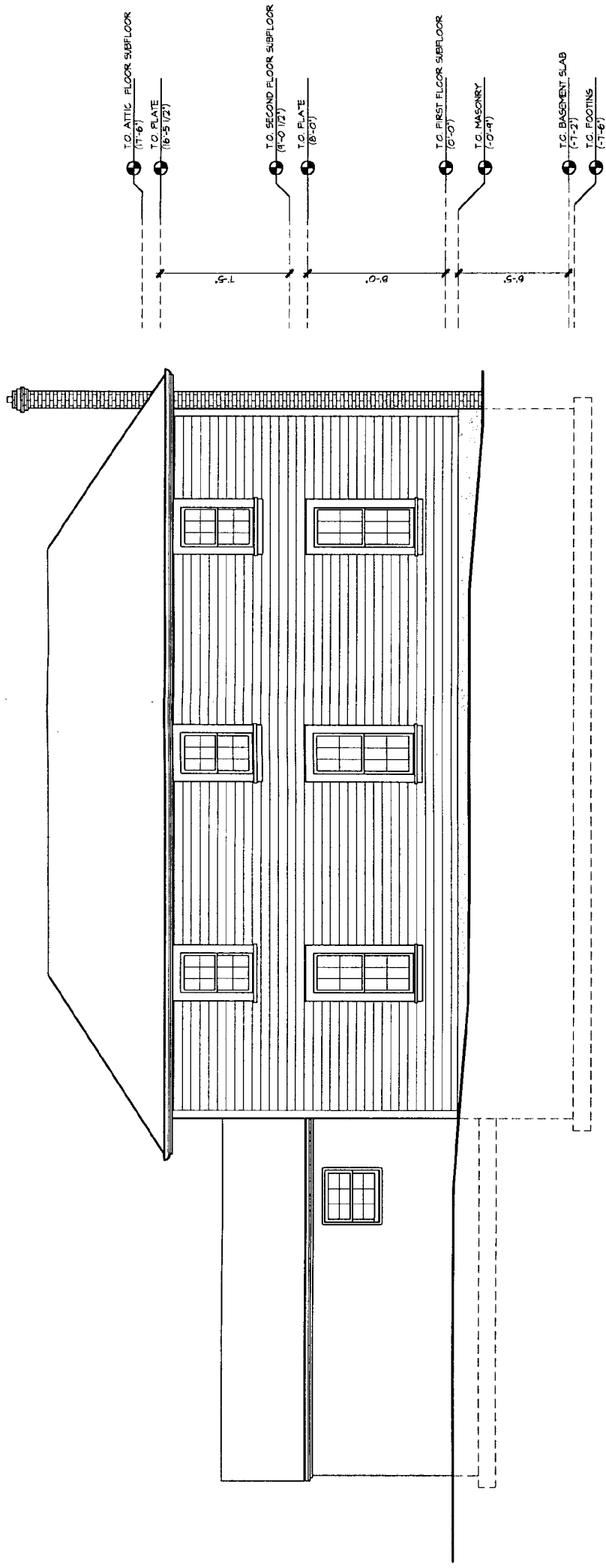


**PROPOSED  
FRONT (PROSPECT ST.) ELEVATION**  
1/4"=1'-0"

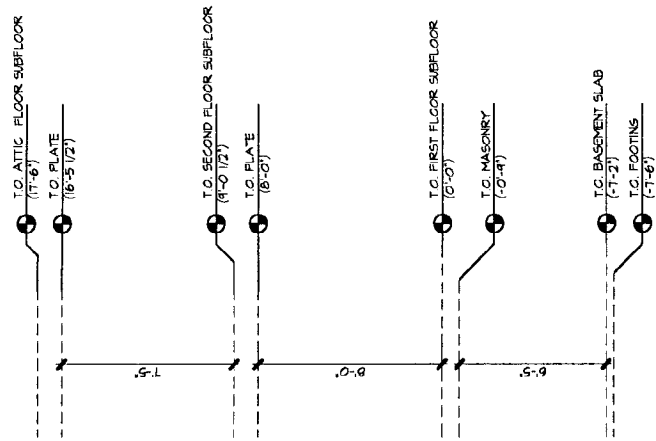
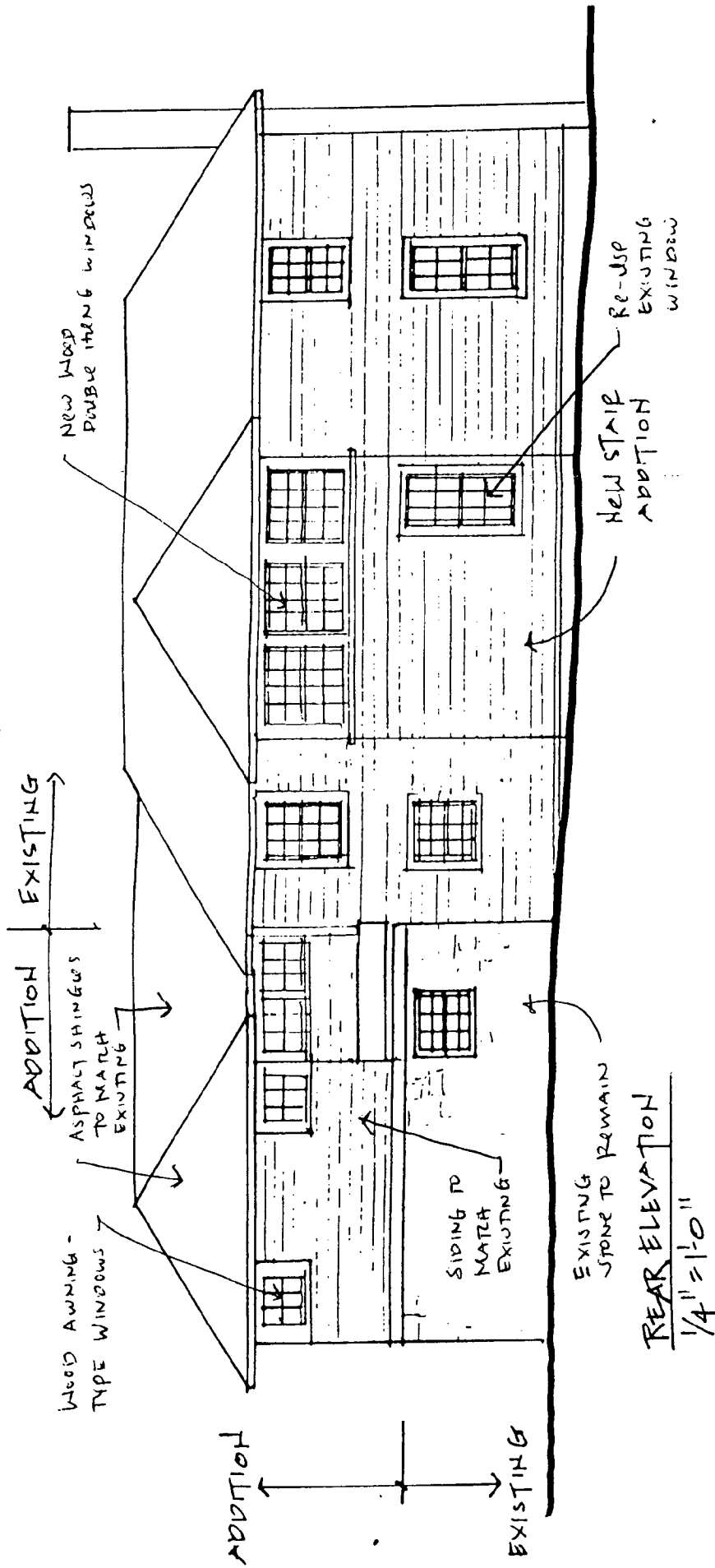
**RUBIN/SCOTT  
 RESIDENCE**

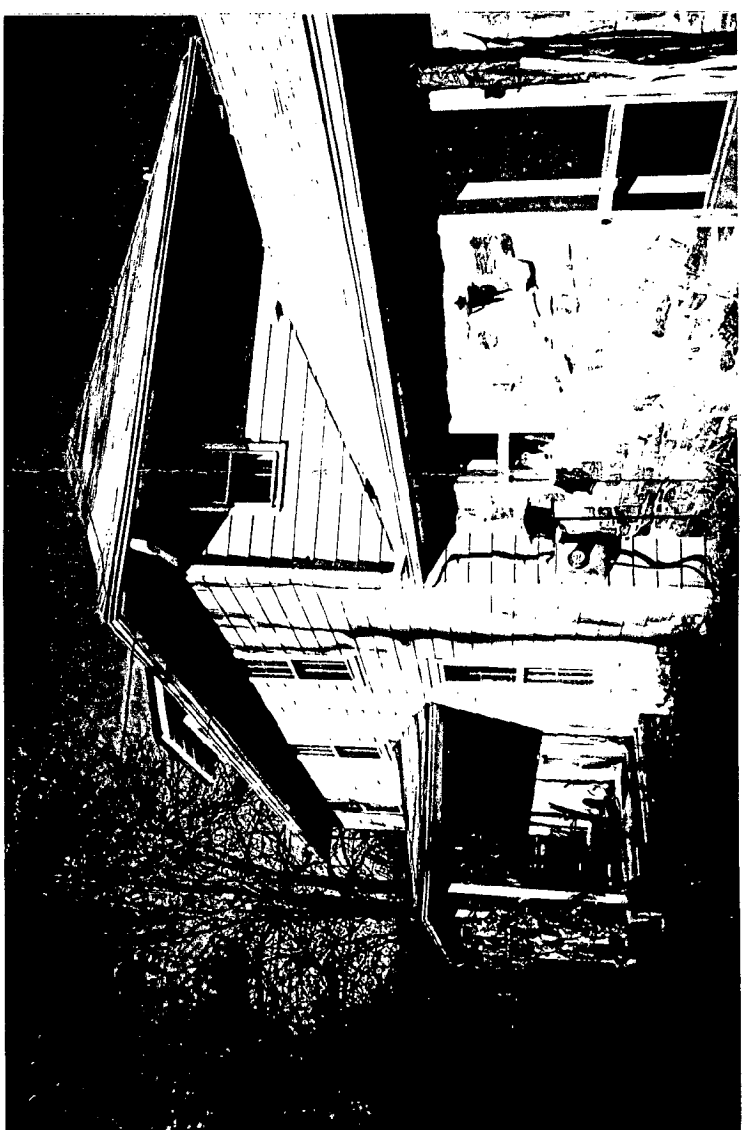
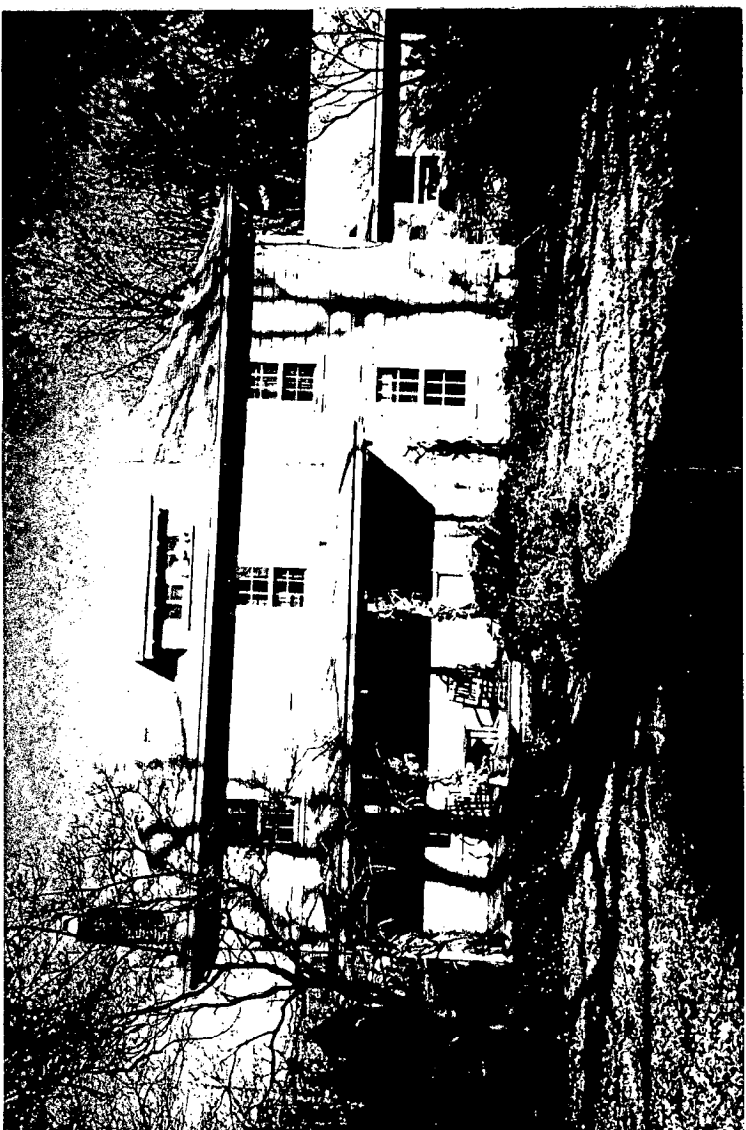
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SEAL:
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CHECKED BY: GTM
SCALE: AS NOTED
DATE:
PROJECT NO. 00358
DRAWING NO.

**A2.1**



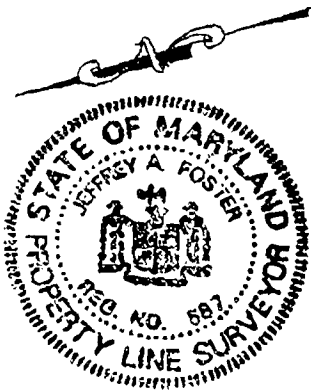
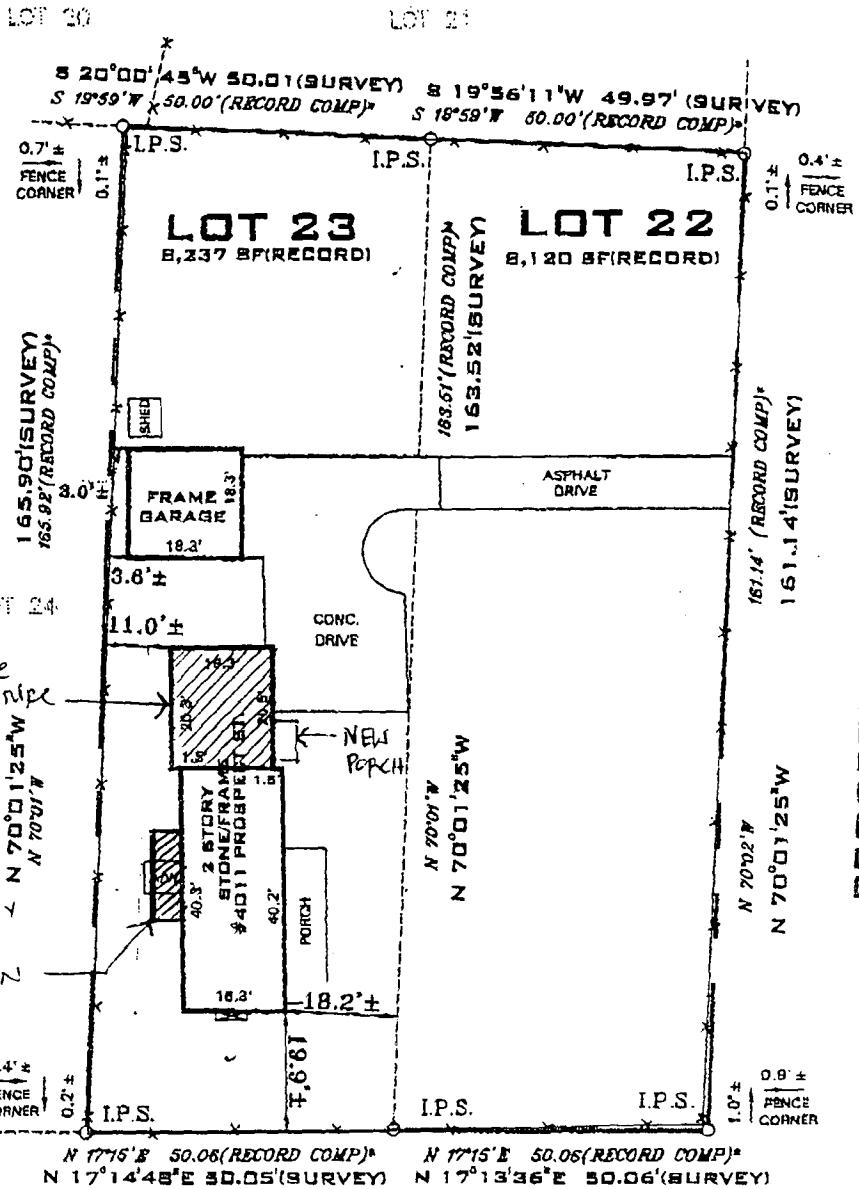
1 EXISTING REAR ELEVATION  
 A2.1 SCALE: 1/4"=1'-0"





**Notes:**

- 1) Flood zone "C" per H.U.D. panel No. 0175C
- 2) All property corners have been recovered or set and verified per field survey performed: AUGUST 21, 23, 24 & 28, 2000
- 3) I.P.F. Indicates iron pipe found. I.P.S. Indicates iron pipe set. P.O.L. Indicates hub set along property line.
- 4) Total area = 16,351 SF(SURVEY)
- 5) Total area = 16,357 SF(RECORD)
- 6) \* Bearings (Comp)-protracted based on plat's north arrow.



**PLAT OF SURVEY**  
**LOTS 22 & 23, BLOCK 10**  
**KENSINGTON PARK**  
 MONTGOMERY COUNTY, MARYLAND

**SUMMIT AVENUE**  
 COUNTY ROAD (PER PLAT)

Building Line and/or Flood Zone Information is taken from Available Sources and is Subject to Interpretation of Originator

<p><b>SURVEYOR'S CERTIFICATE</b></p> <p>I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD SURVEY PURSUANT TO THE DEED OR PLAT OF RECORD. PROPERTY MARKERS HAVE BEEN RECOVERED OR PLACED IN ACCORDANCE WITH THE INFORMATION SHOWN.</p> <p><i>Jeffrey A. Foster</i>                  MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587</p>	<p><b>REFERENCES</b></p> <p>PLAT BK. B</p> <p>PLAT NO. 4</p>		<p><b>SNIDER &amp; ASSOCIATES</b>                  SURVEYORS - ENGINEERS                  LAND PLANNING CONSULTANTS                  2 Professional Drive, Suite 218                  Gaithersburg, Maryland 20879                  301/948-5100, Fax 301/948-1286</p>	
	<p>LIBER 933</p> <p>FOLIO 331</p>		<p><b>DATE OF LOCATIONS</b></p> <p>WALL CHECK:</p> <p>HSE. LOC.: 08-21-2000</p> <p>PROP. CORS.: 08-28-2000</p>	<p>SCALE: 1"=30'</p> <p>DRAWN BY: F.A.</p> <p>JOB NO.: 2000-3647b</p>



PROPERTY OWNERS ADJACENT TO 4011 PROSPECT ST.

RESIDENT

10311 SUMMIT AVENUE  
KENSINGTON, MD. 20895

BARBARA & JEFF BLACK  
10304 SUMMIT AVENUE  
KENSINGTON, MD. 20895

ELIZABETH WALTER  
FRANCES WEED  
4010 PROSPECT ST.  
KENSINGTON, MD. 20895

RESIDENT  
3951 BALTIMORE ST.  
KENSINGTON, MD. 20895

RESIDENT (JOSEPH RALL)  
3947 BALTIMORE ST.  
KENSINGTON, MD. 20895

8/16/00

4011 Prospect St.

Kristin Scott, David Rubin

1901 Prop. 9/10  
10:10  
Robin 4011 Prospect St  
Please call Kristin  
Scott re: 4011 Prospect St  
(lots 22+23)  
301-530-5173.  
Gen Wed message

New addition

Extra lot - Issues.

Architect may be G.T.M.

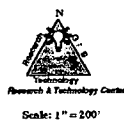
# 4011 PROSPECT

Kristen Scott, David Rubin



Casual User Application

Notice:  
The planimetric, property, and topographic information shown on this map is based on copyrighted Map Products from Montgomery County Department of Park and Planning of the Maryland-National Capital Park and Planning Commission, and may not be copied or reproduced without permission from M-NCPPC. Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:14400 scale aerial photography using stereo photogrammetric methods. This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All map features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended.  
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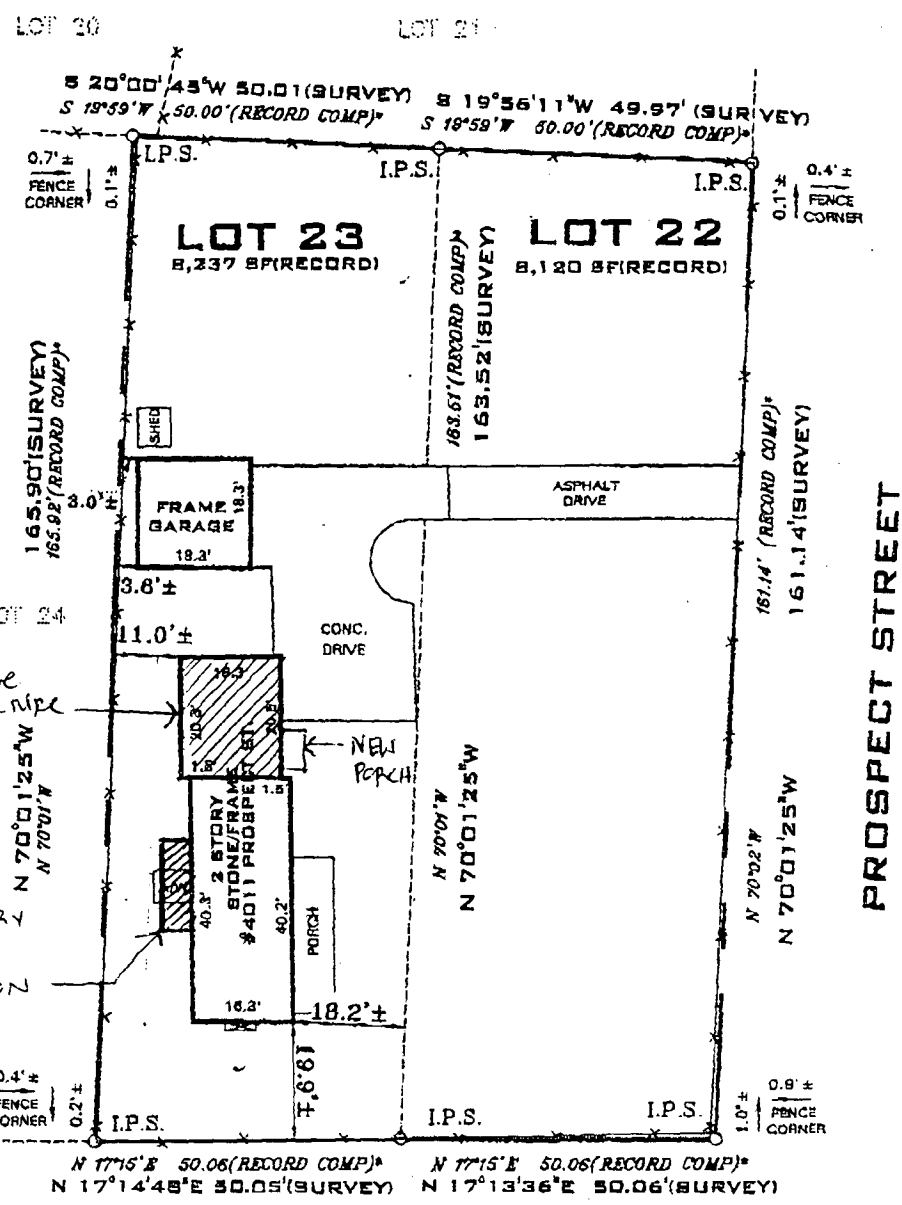


MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue - Silver Spring, Maryland 20910-3760

RJZ

Notes:


- 1) Flood zone "C" per H.U.D. panel No. 0175C
- 2) All property corners have been recovered or set and verified per field survey performed: AUGUST 21, 23, 24 & 28, 2000
- 3) I.P.F. Indicates iron pipe found. I.P.S. Indicates iron pipe set. P.O.L. Indicates hub set along property line.
- 4) Total area = 16,351 SF(SURVEY)
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PLAT OF SURVEY  
**LOTS 22 & 23, BLOCK 10**  
**KENSINGTON PARK**  
 MONTGOMERY COUNTY, MARYLAND

**SUMMIT AVENUE**  
 COUNTY ROAD (PER PLAT)

Building Line and/or Flood Zone Information is taken from Available Sources and is Subject to Interpretation of Originator

<b>SURVEYOR'S CERTIFICATE</b> I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD SURVEY PURSUANT TO THE DEED OR PLAT OF RECORD. PROPERTY MARKERS HAVE BEEN RECOVERED OR PLACED IN ACCORDANCE WITH THE INFORMATION SHOWN.		<b>REFERENCES</b> PLAT BK. B PLAT NO. 4 LIBER 833 FOLIO 331			<b>SNIDER &amp; ASSOCIATES</b> SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 218 Gaithersburg, Maryland 20879 301/948-5100, Fax 301/948-1286	
JEFFREY A. FOSTER MARYLAND PROPERTY LINE SURVEYOR REG. NO. 587		DATE OF LOCATIONS: 08-21-2000 WALL CHECK: 08-21-2000 HSE. LOC.: 08-21-2000 PROP. CORS.: 08-28-2000			SCALE: 1"=30' DRAWN BY: F.A. JOB NO.: 2000-3547b	

PROPERTY OWNERS ADJACENT TO 4011 PROSPECT ST.

RESIDENT

10311 SUMMIT AVENUE  
KENSINGTON, MD. 20895

BARBARA & JEFF BLACK  
10304 SUMMIT AVENUE  
KENSINGTON, MD. 20895

ELIZABETH WALTER  
FRANCES WEED  
4010 PROSPECT ST.  
KENSINGTON, MD. 20895

RESIDENT  
3951 BALTIMORE ST.  
KENSINGTON, MD. 20895

RESIDENT (JOSEPH RALL)  
3947 BALTIMORE ST.  
KENSINGTON, MD. 20895

RUBIN/SCOTT RESIDENCE  
1/8/00

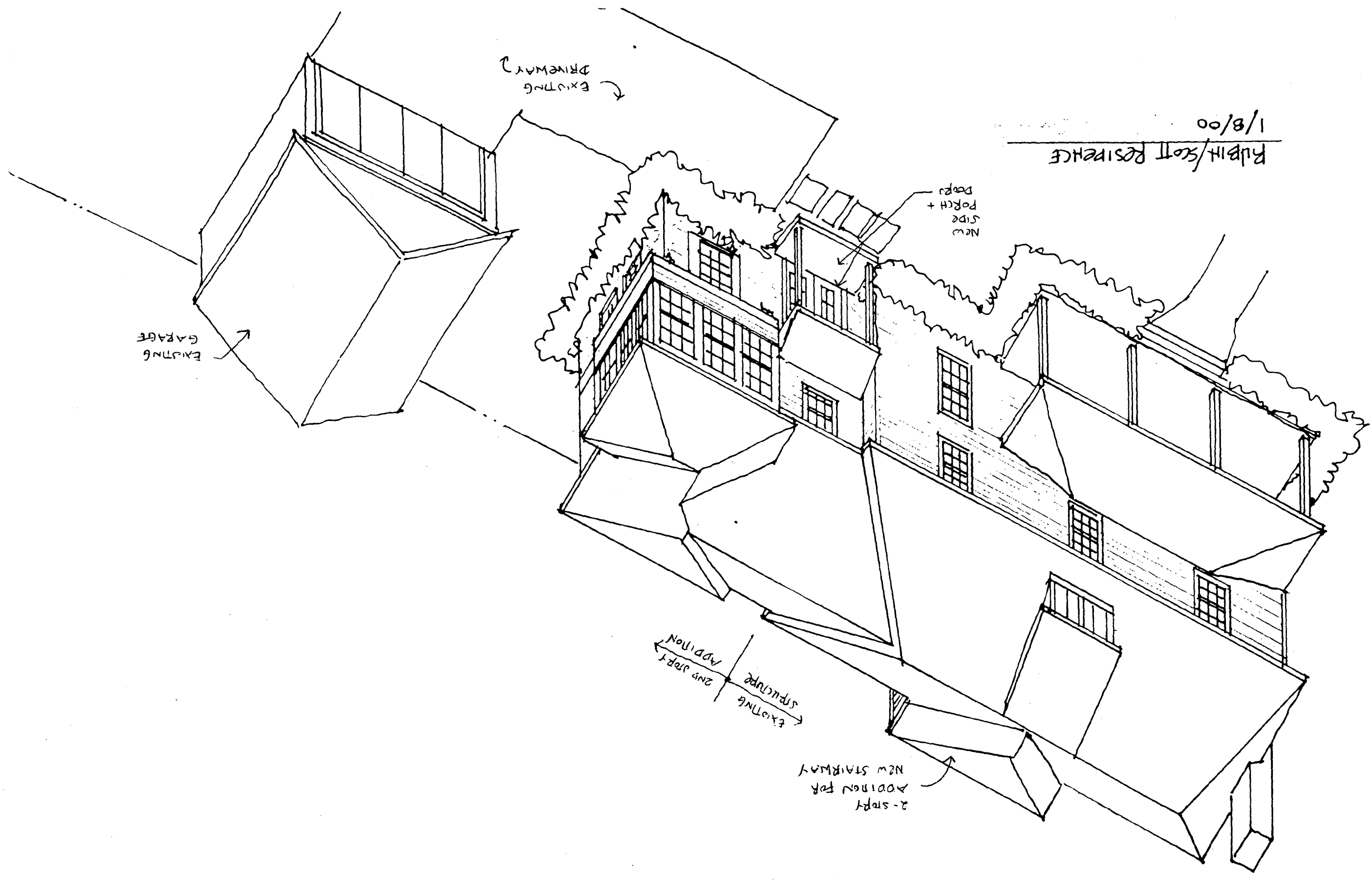
EXISTING GARAGE

EXISTING DRIVEWAY

NEW SIDE PORCH + DECK

EXISTING STRUCTURE AND DECK ADDITION

2-STORY ADDITION FOR NEW STAIRWAY



# RUBIN/SCOTT RESIDENCE

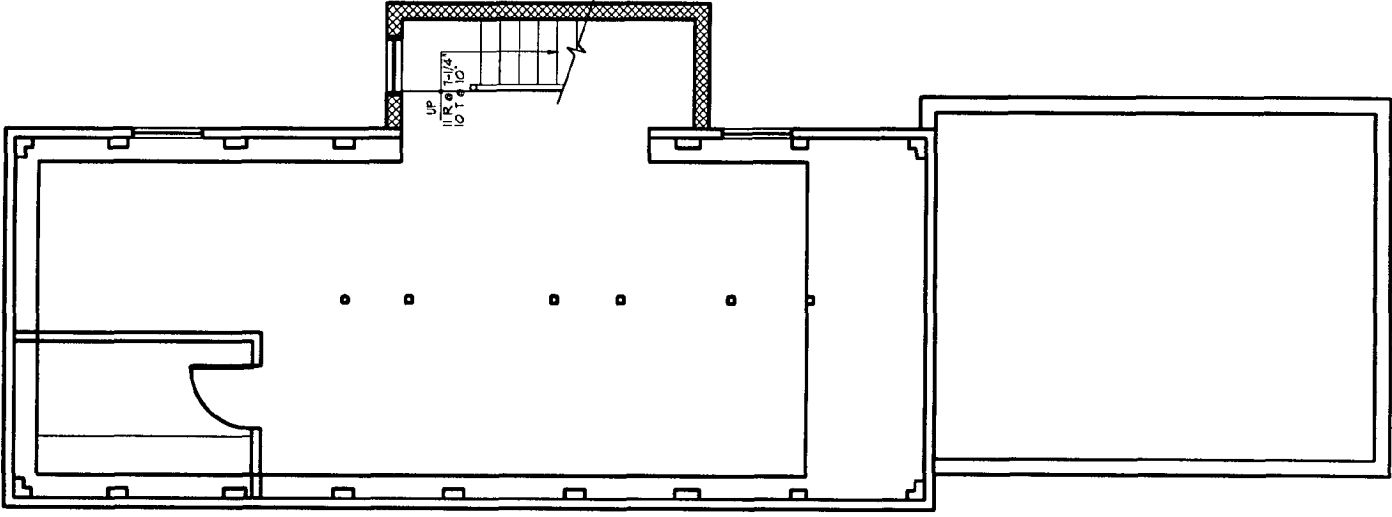
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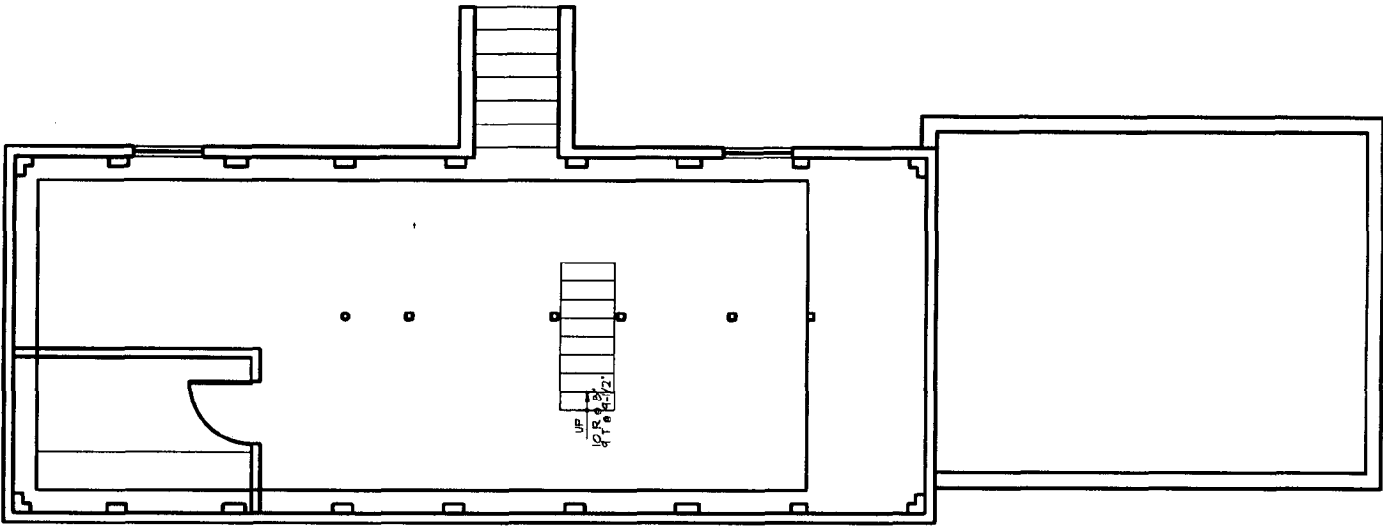
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PROJECT NO. 00350  
DRAWING NO.

## A1.0



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A1.0 SCALE: 1/4"=1'-0"



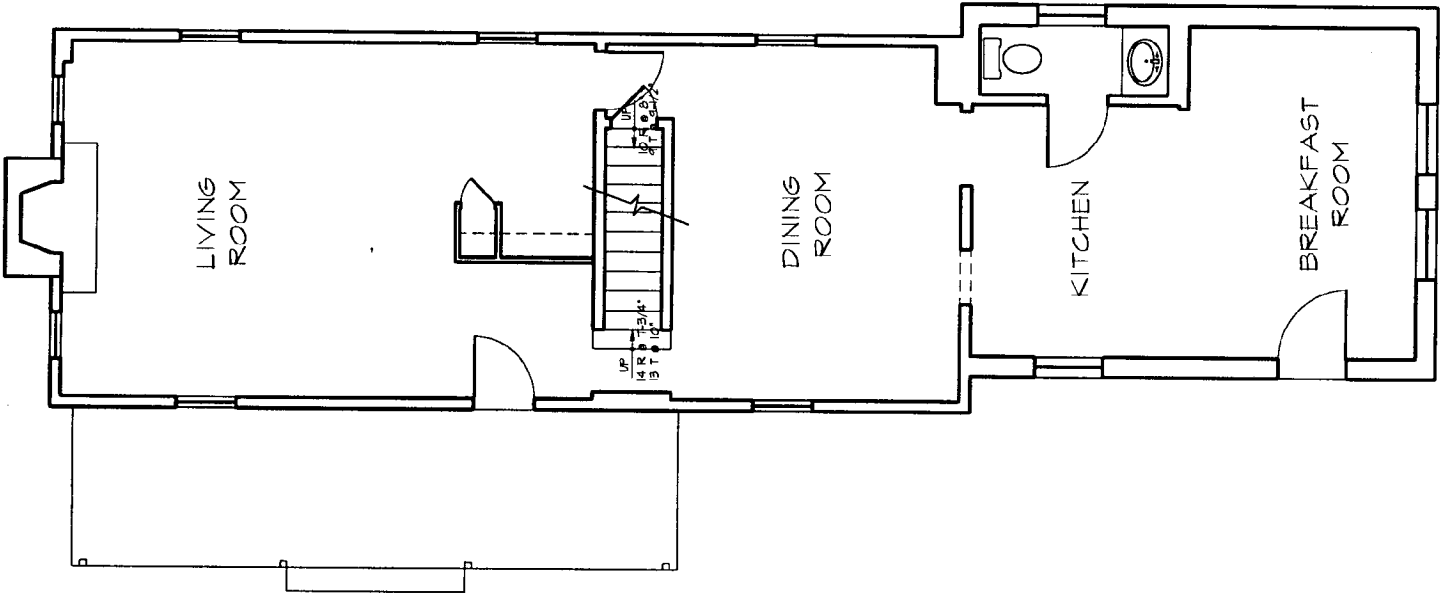
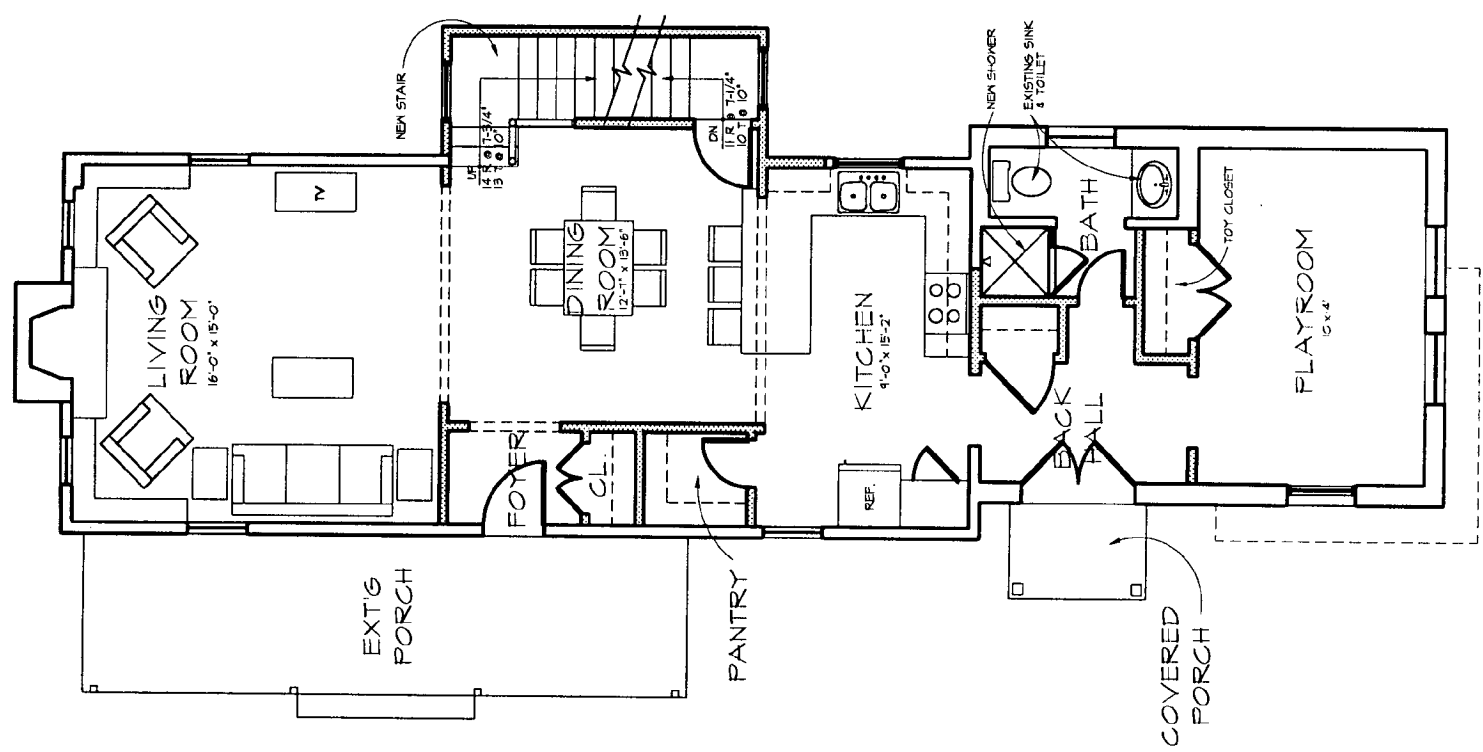
1 EXISTING BASEMENT PLAN  
A1.0 SCALE: 1/4"=1'-0"

**RUBIN/SCOTT  
 RESIDENCE**

REVISIONS:

DRAWN BY:	DIER
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	
PROJECT NO.:	0035B
DRAWING NO.:	

**A1.1**

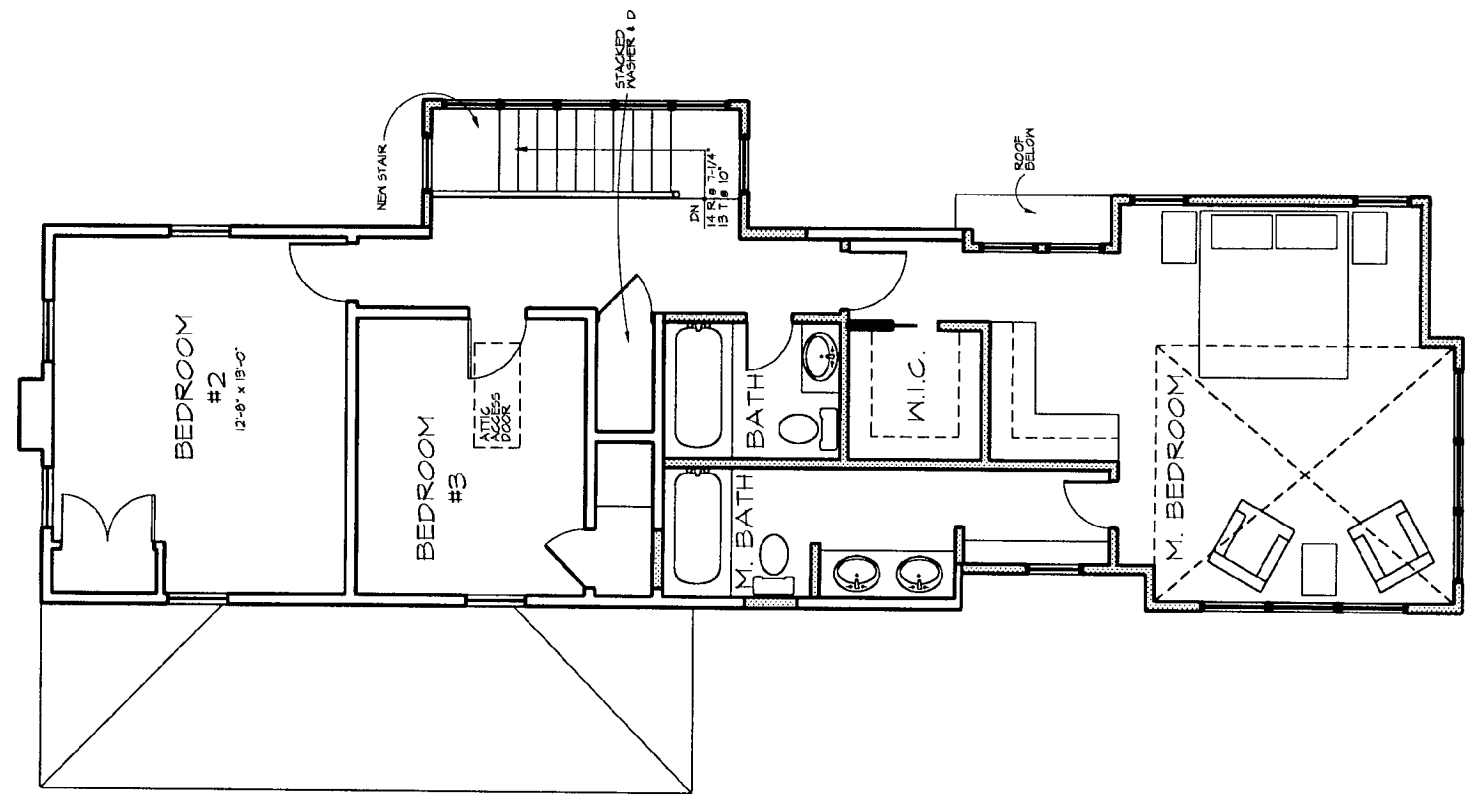




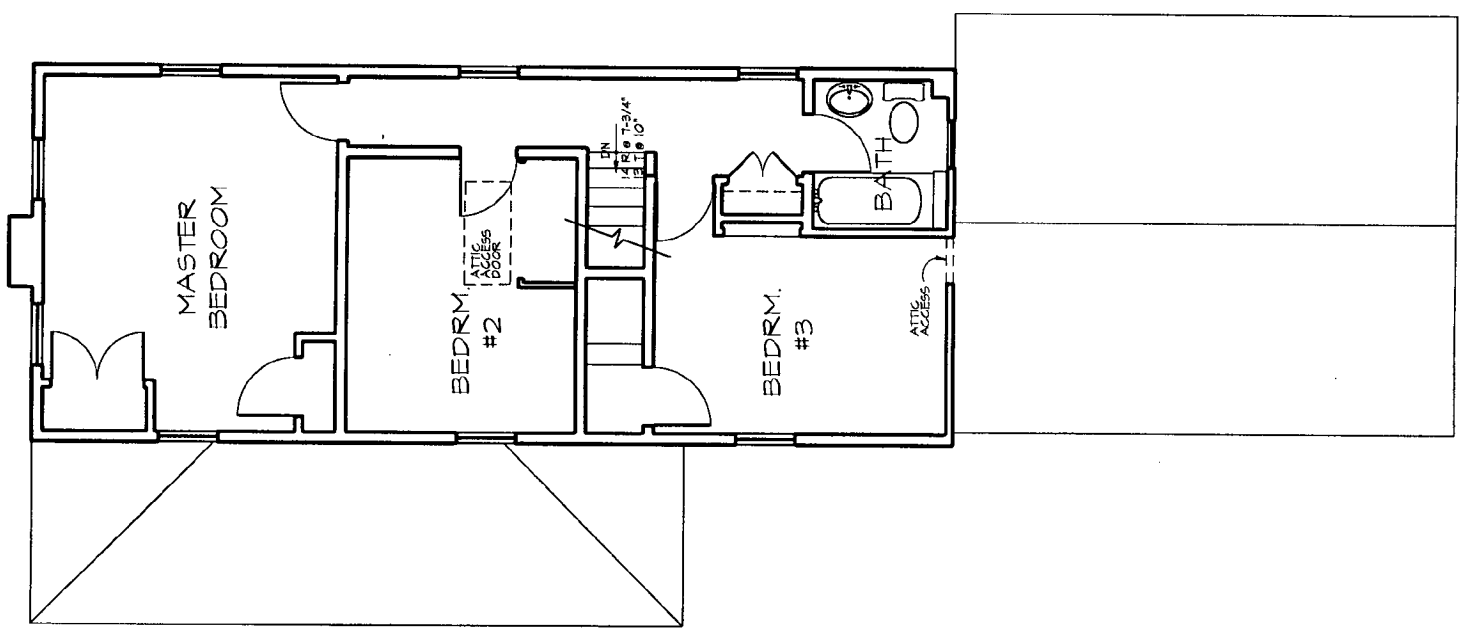
REVISIONS:

SCALE

DRAWN BY:	DER
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	
PROJECT NO.:	00358
DRAWING NO.:	



**2 PROPOSED SECOND FLOOR PLAN**  
 A1.2 SCALE: 1/4"=1'-0"



**1 EXISTING SECOND FLOOR PLAN**  
 A1.2 SCALE: 1/4"=1'-0"

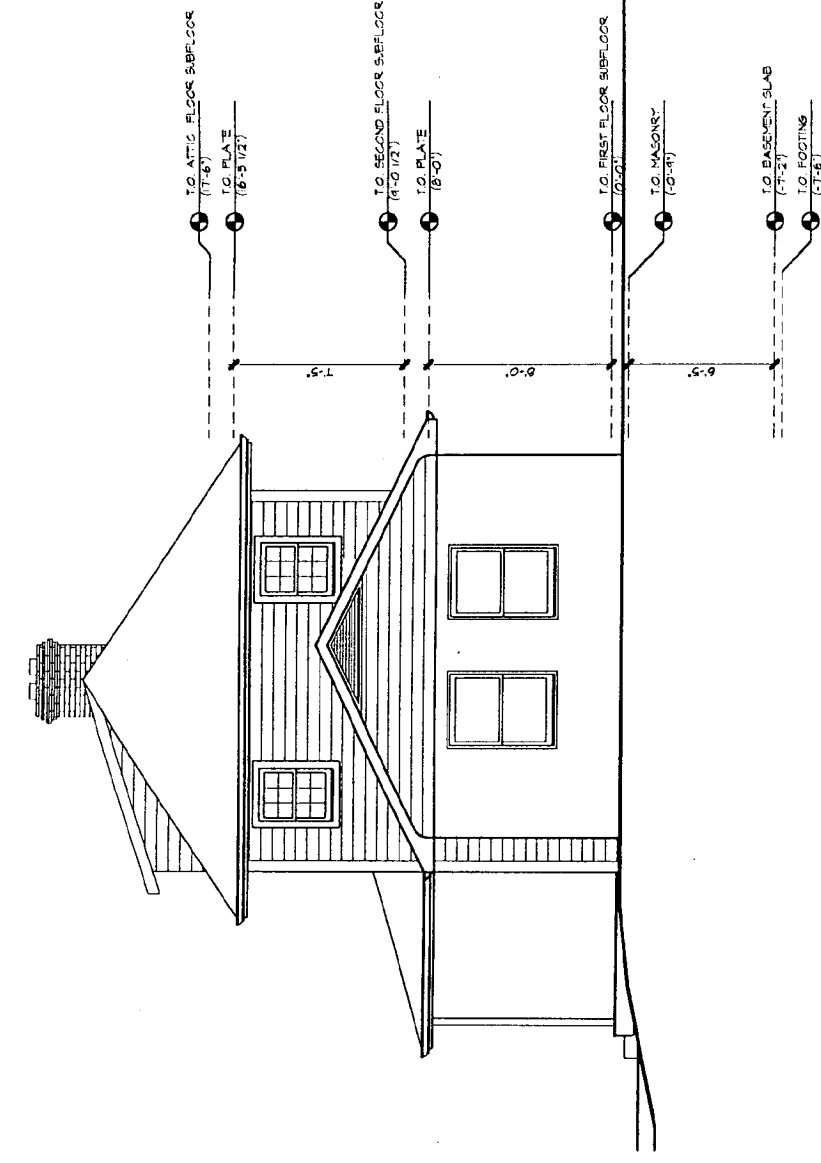
**RUBIN/SCOTT  
RESIDENCE**

REVISIONS:

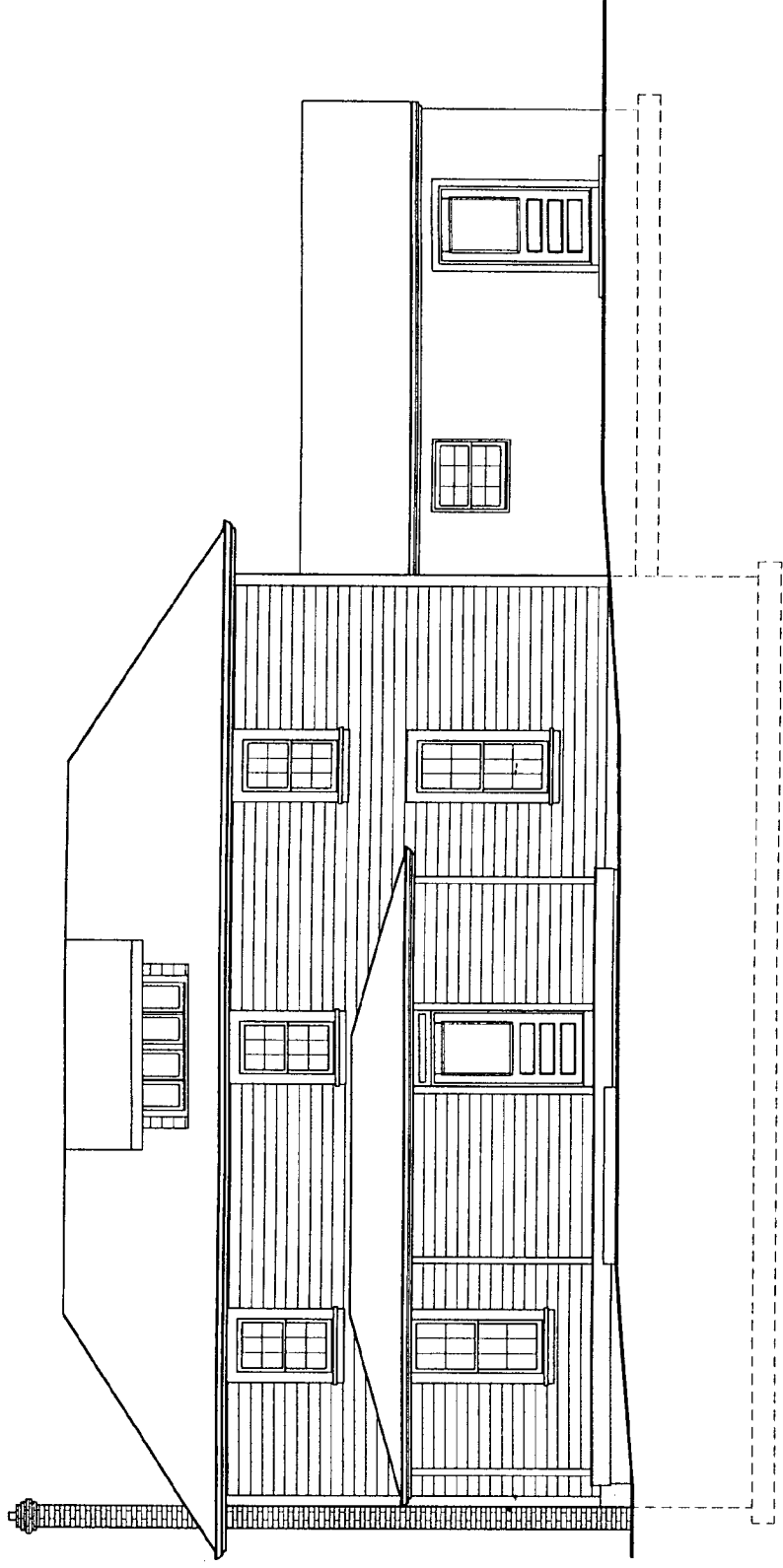
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DRAWN BY: DER  
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DRAWING NO:

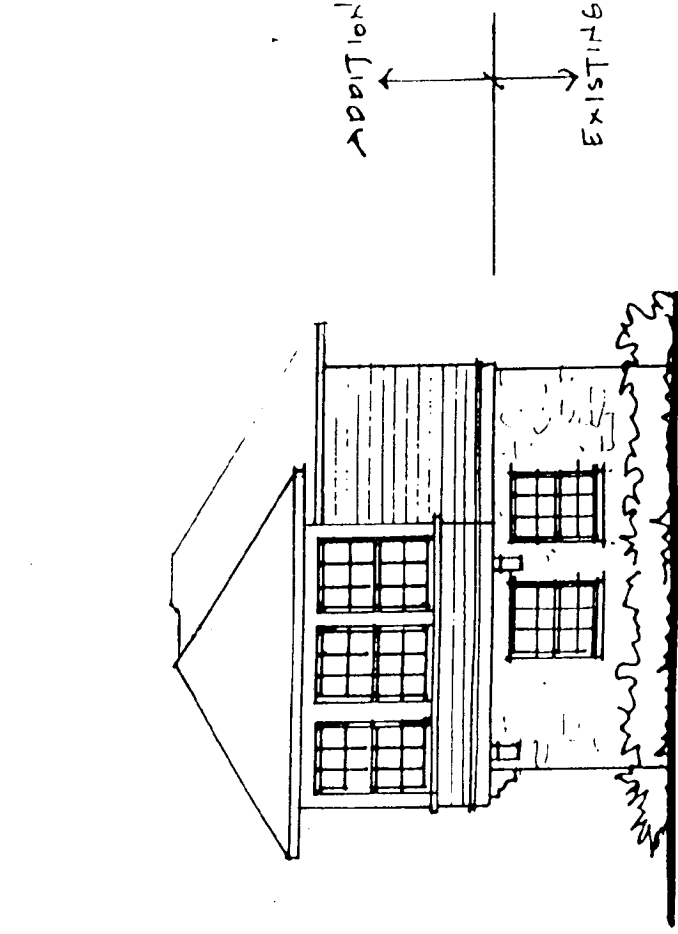
**A2.0**



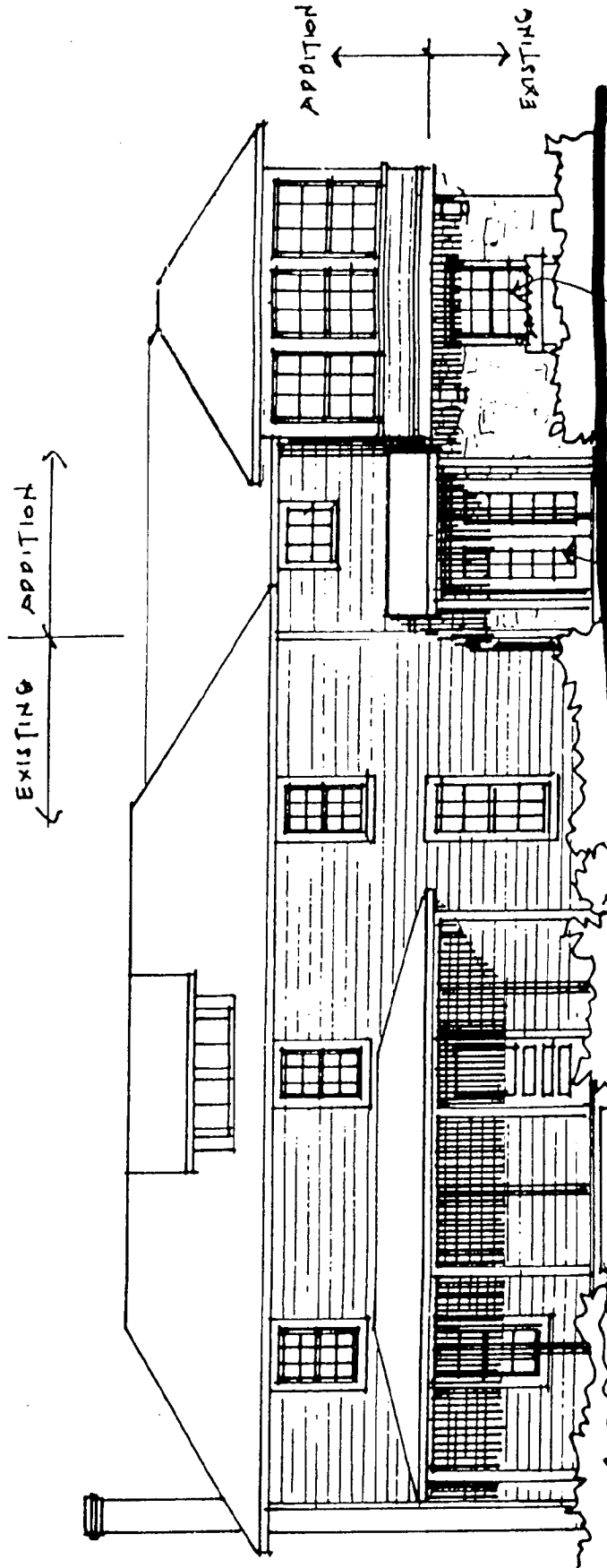
**2 EXISTING RIGHT SIDE ELEVATION**  
A2.0 SCALE: 1/4"=1'-0"



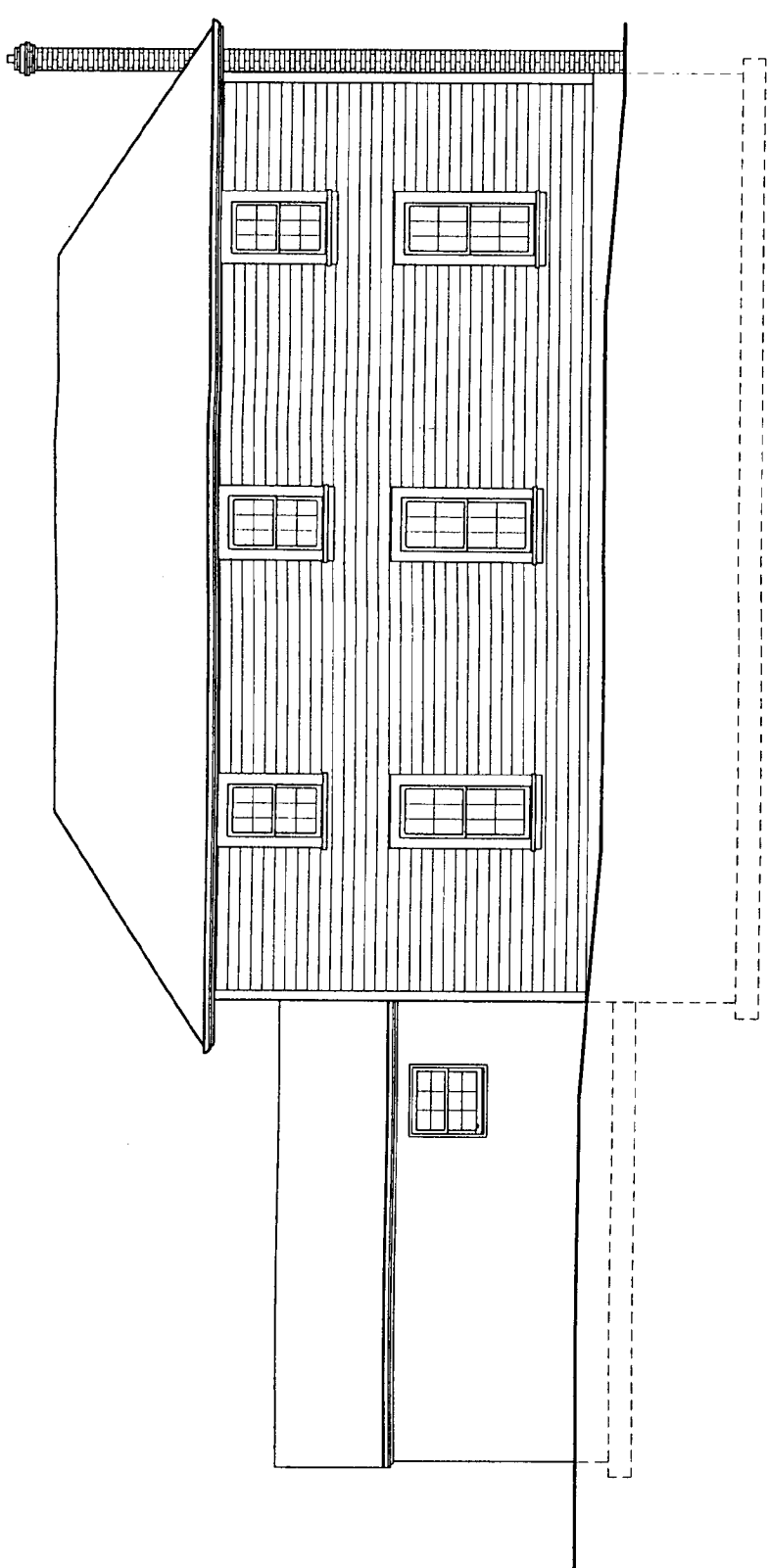
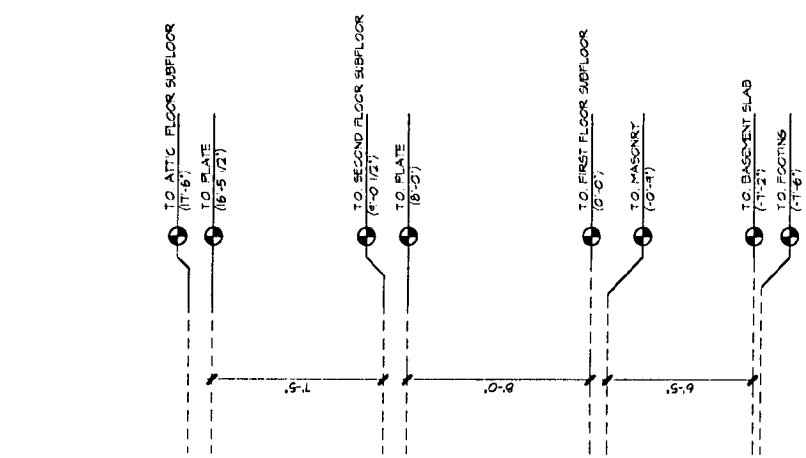
**1 EXISTING FRONT ELEVATION**  
A2.0 SCALE: 1/4"=1'-0"



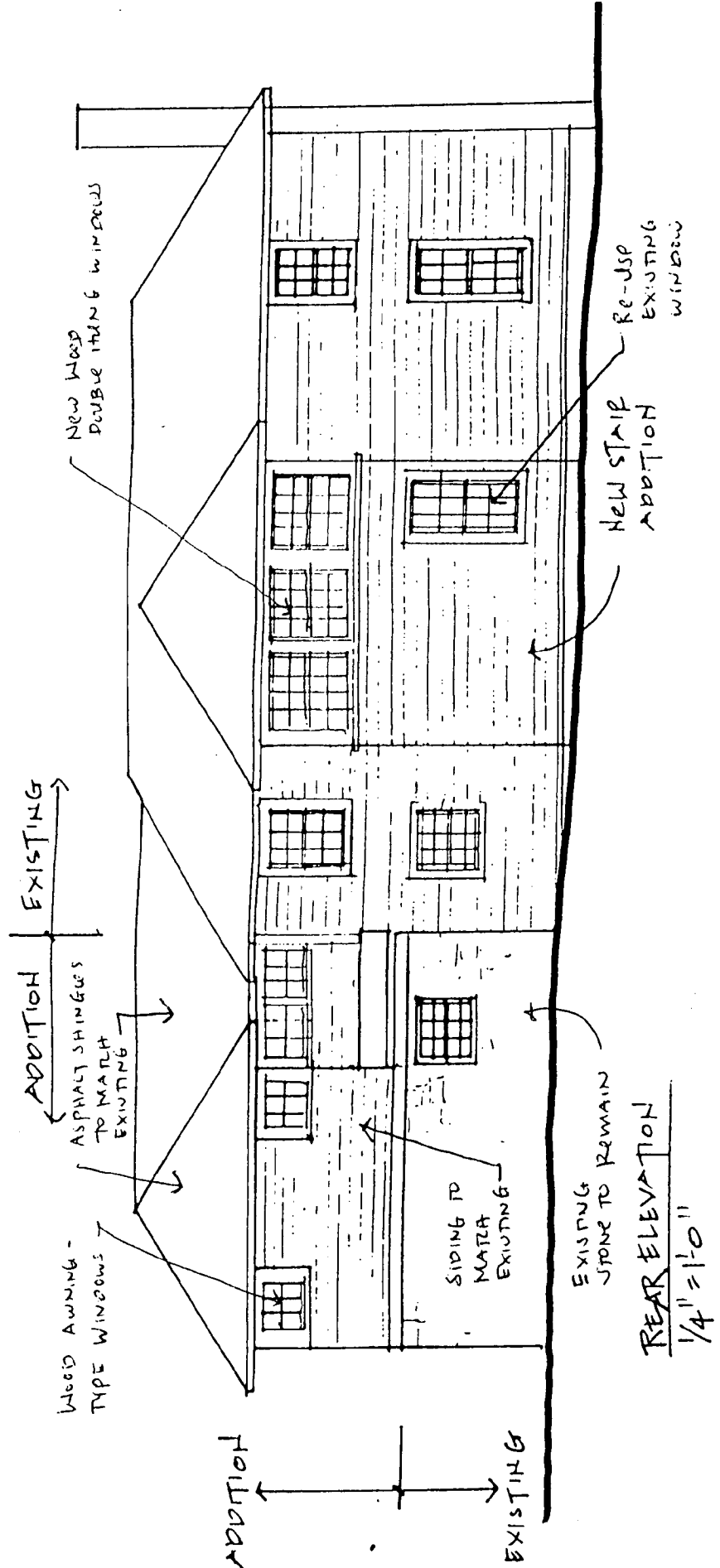
**PROPOSED  
SIDE ELEVATION**  
1/4"=1'-0"

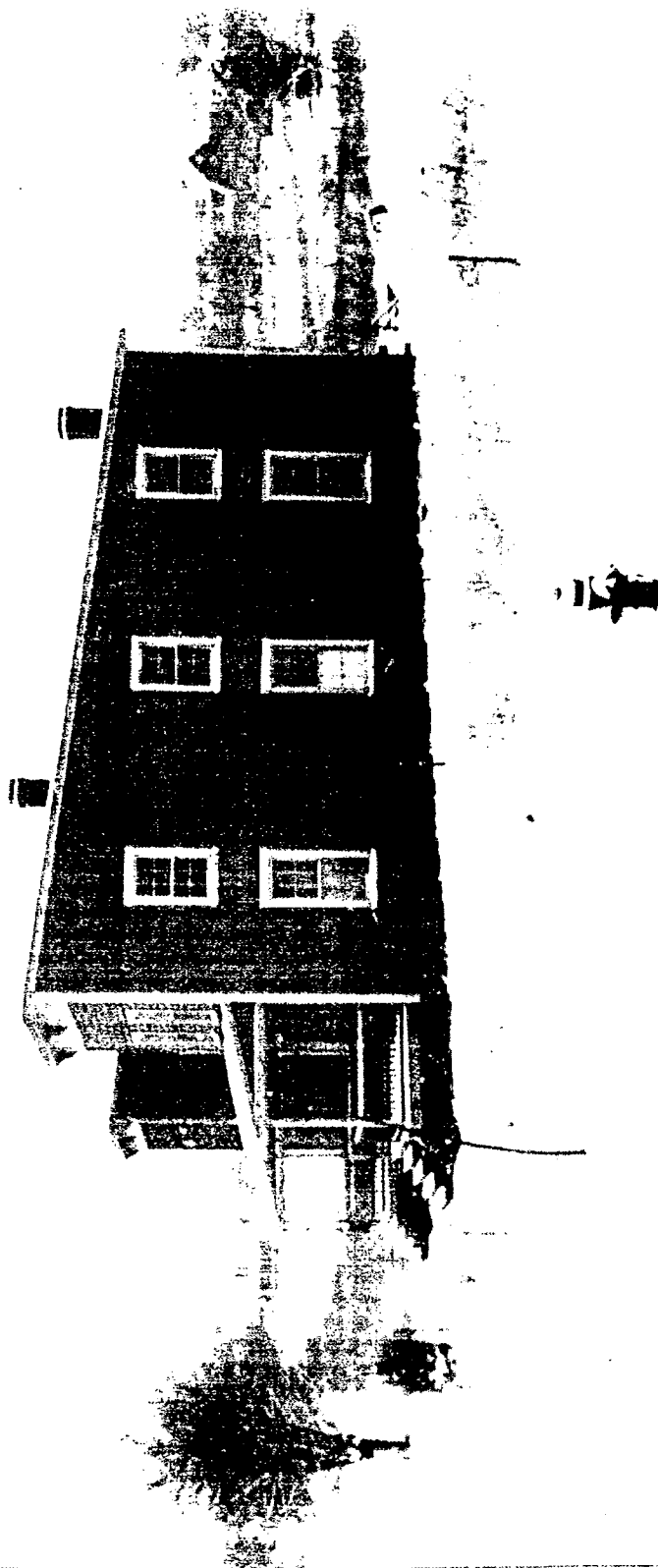


**PROPOSED  
FRONT (PROSPECT ST.) ELEVATION**  
1/4"=1'-0"



1 EXISTING REAR ELEVATION  
 (A2.1) SCALE: 1/4"=1'-0"





ORIGINAL STRUCK OFF

