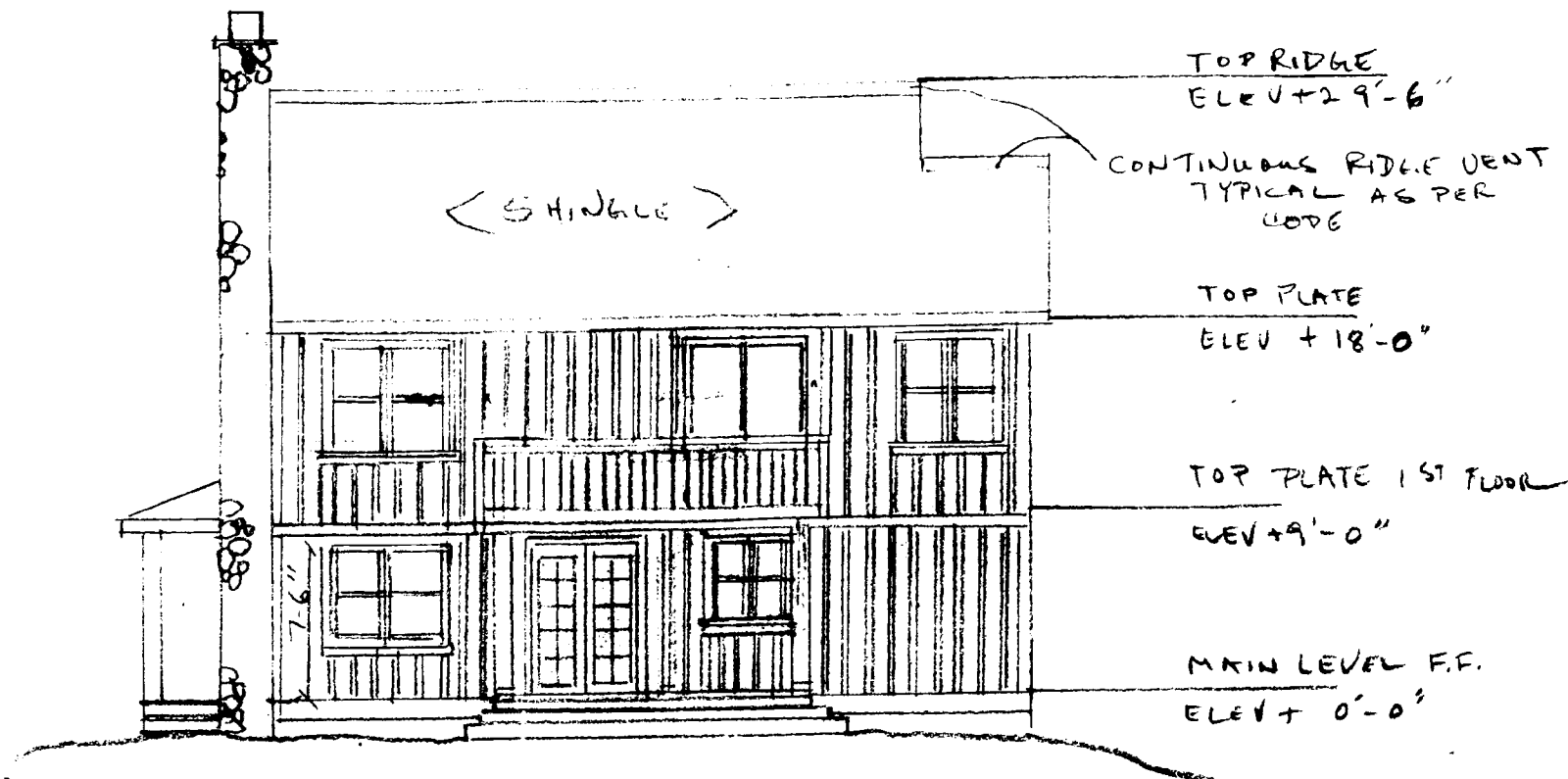


10/59-00C 26101 Frederick Road  
(Hyattstown Historic District)

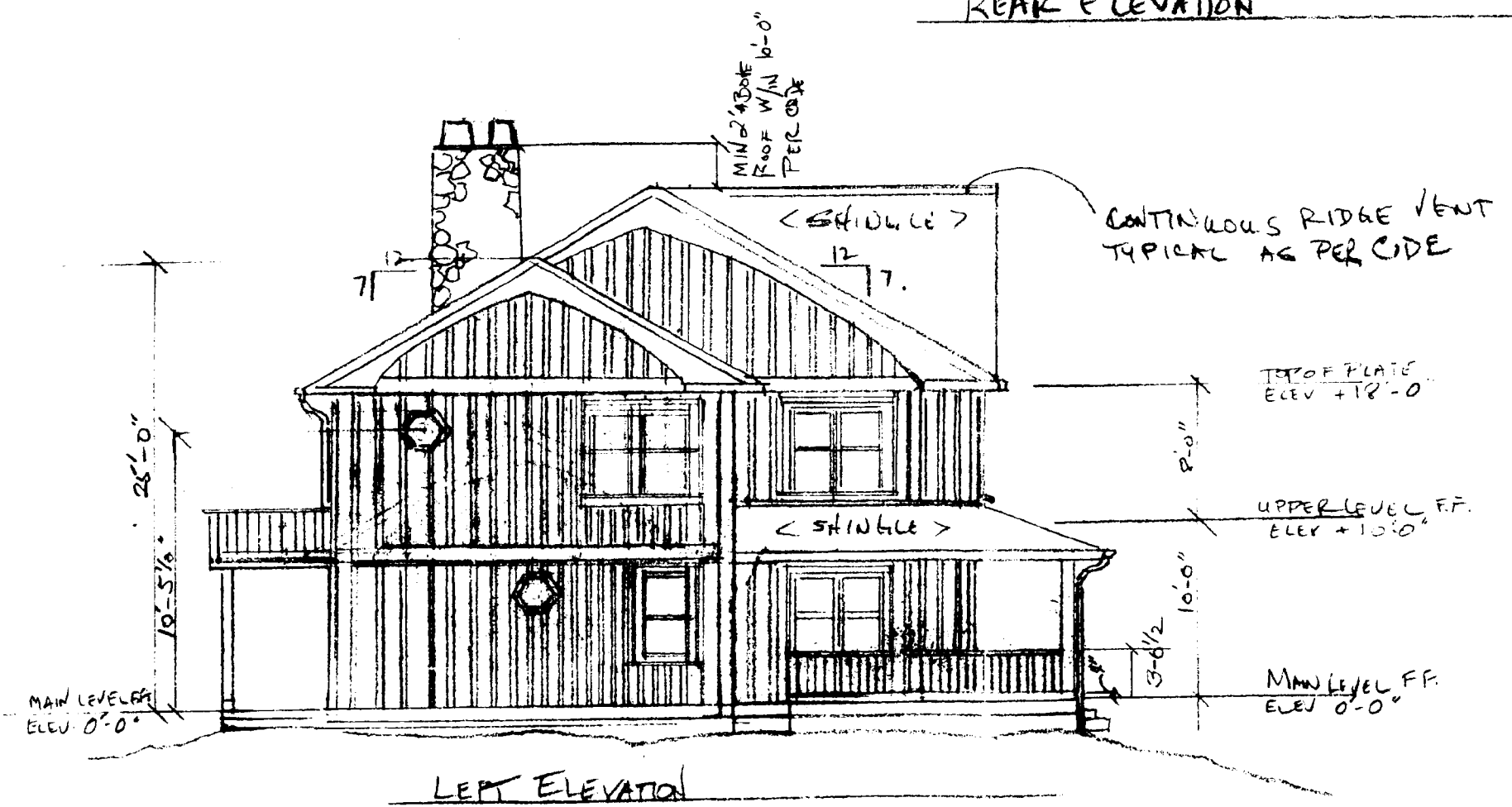
10-59-00C 26101 Frederick Road  
(Hyattstown Historic Dist.) Con't

### Questions for John

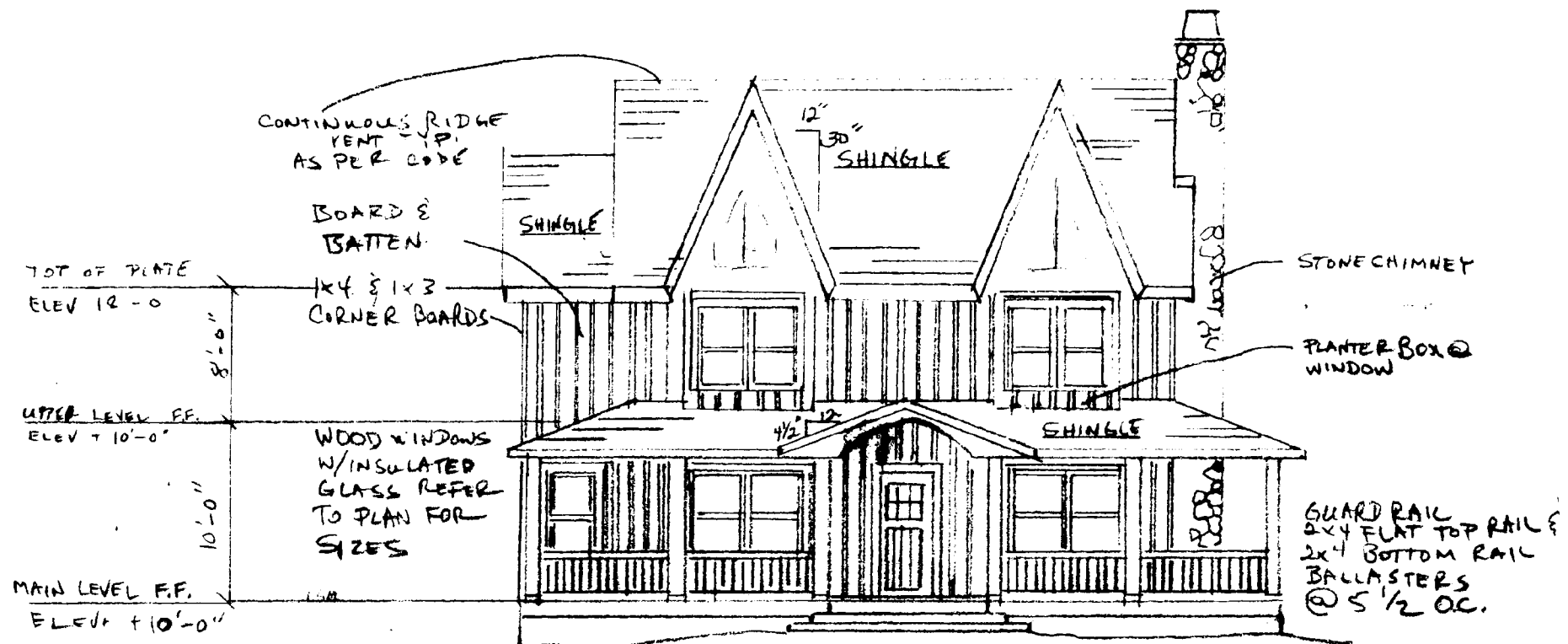
1. What trees to be left? only 4 as shown on the site?
2. Ask about woods on south side of prop. where grading is limited
3. Roosting unacceptable.
4. Columns - 4x4s covered with 1x - ...



REAR ELEVATION



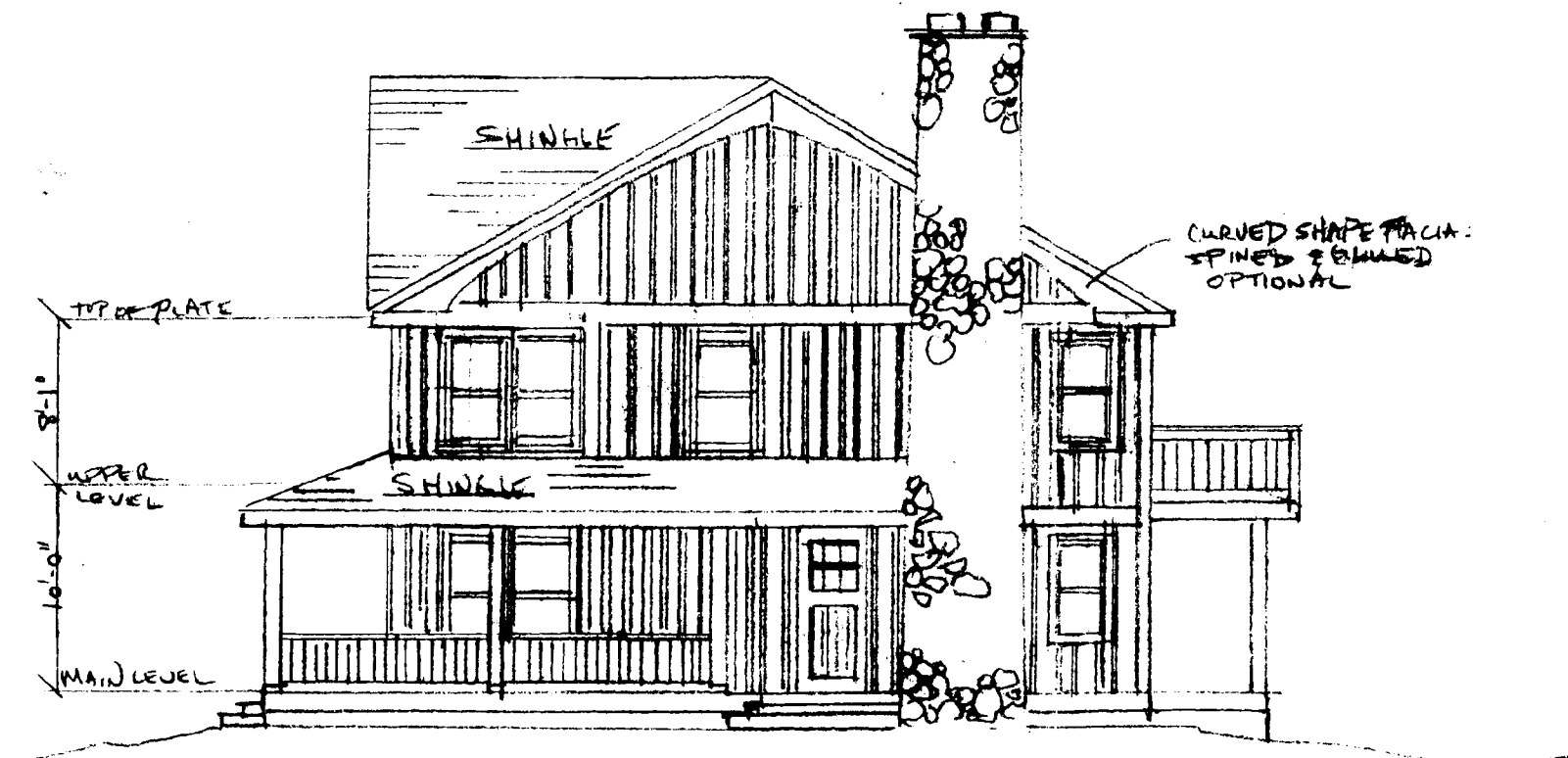
LEFT ELEVATION



FRONT ELEVATION

GUARD RAIL  
2x4 FLAT TOP RAIL  
2x4 BOTTOM RAIL  
BALLASTERS  
@ 5 1/2 OC.

NOTE  
EXTERIOR COLUMNS  
TO BE 4" SQ  
WOOD STOCK (OR  
QUALIFIED EQUAL)



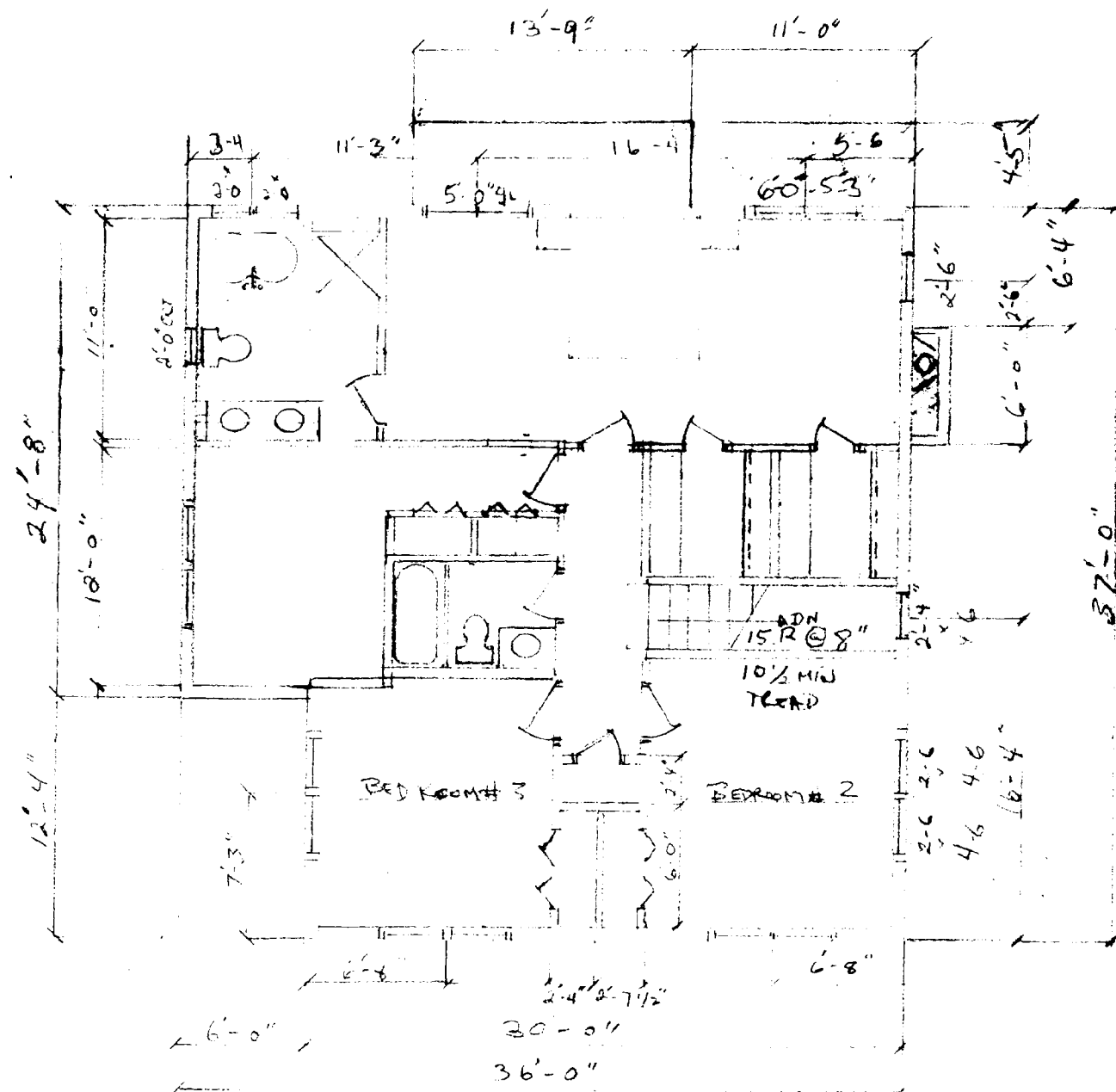
RIGHT ELEVATION

GENERAL NOTES

- 1 SILL & FLASHING TO A 6 MIL VISQUEEN POLYETHYLENE FILM OR EQUAL
- 2 PROVIDE EXPANDING FOAM AND OR CAULK TO ALL EXTERIOR OPENINGS TOWARD A GOAL OF WATER & WEATHER TIGHT
- 3 INSULATION: PROVIDE R19 FIBERGLASS BATT INSULATION @ ALL EXTERIOR WALLS & A MIN R30 IN CEILING
- 4 ALL DOORS COMMON TO GARAGE & RESIDENCE SHALL BE 1-3/4" SOLID CORE 1/20 MIN FIRE RATING.
- 5 PROVIDE TEMPERED GLASS IN ALL SLIDERS & FRENCH DOORS







**SECOND FLOOR PLAN**  
 SCALE 1/4" = 1'-0"

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

February 12, 2002

John De Reggi  
De Reggi Construction Company  
P. O. Box 106  
Boyd's, MD 20841

RE: New construction in Hyattstown, at #26105 and #26101 Frederick Road

Dear Mr. De Reggi:

Thank you for meeting with me at the above properties, to review the new construction. As we noted together, there are numerous revisions to the approved HAWPs which you made at the time of construction, and which still need HPC approval. In addition, there were Conditions of Approval for both projects which haven't been met.

As we discussed, I am sending you an itemized list of the unapproved work with this letter. I am attaching copies of the HPC Approval notices with the itemized Conditions of Approval. The HPC typically reviews such work as Retroactive Revisions to the approved HAWP. The next HPC agenda which you can sign up for is the March 13, 2002 meeting, and the deadline for that meeting is February 20<sup>th</sup>.

Several of the changes have little effect on the district. This includes changes to some of the approved doors and windows. Some of the alterations have a significant effect on the district, including the additional 4' height to the back house (#26105), and the removal of all of the trees along the driveway and the lack of a comprehensive landscape proposal to restore the forest edge both behind the front property (#26101) and between the new construction and adjacent properties.

The HPC discussed the difficulties in approving rear lot construction in Hyattstown, which is a linear town, with the residential construction very close to Frederick Road. Ultimately, they approved the project with the intention that the rear house would not be readily visible from the public right-of way, through a combination of vegetative screening, design and topography. This still remains the goal for completion of both of these projects, to bring them into compliance with the approved HAWP.

### Alterations from existing HAWP at 26105 Frederick Road

- 1 Height of overall building:
  - a. Additional 1' at first floor level;
  - b. Additional 3' at foundation level.
- 2 No landscape plan was received or approved prior to construction:
  - a. Exposure of building to community, both from the road and from the church;
  - b. Removal of all trees along drive.
- 3 Porch roof was not adjusted to reflect the additional 1' at the first floor level, with the result that the 2<sup>nd</sup> story windows look out of proportion.
- 4 The lot lines haven't been erased; and/or, an easement hasn't been provided, which will preclude the construction of a second house on the rear lots.
- 5 The rear doors are full light instead of multi-light.
- 6 On the rear elevation, double windows were put in where a sliding glass door was proposed. A single window was put in where a door was proposed. The interior framing reflects the original proposal, and may be proposed in the future.
- 7 The chimneys were boxed in and sided with board and batten, rather than built of, or veneered with, stone.
- 8 The front porch side steps on the west elevation were deleted.
- 9 A French door (with multiple lights) was installed for the front door, rather than the ½ light solid door.
- 10 The front porch entry piece was not installed as drawn. Instead of the curving verge board, the board is straight to corner blocks.
- 11 The basement is 4' above grade. Project was approved with 3 steps, and now it has 8 steps.
- 12 The basement windows are above grade.
- 13 There is a 6' high board fence along the north boundary.
- 14 Driveway paving was discussed with the applicant, and a formal request should be submitted to the HPC.

**Alterations from existing HAWP at 26101 Frederick Road:**

- 1 Porch railings will be painted with paint or opaque stain.
- 2 A landscape plan was required prior to initiation of construction (see HAWP approval notice), indicating which trees would be preserved along the driveway (none were), and outlining a 20' conservation area at the back of the property.
- 3 The rear elevation is a full level (8') out of the ground. HAWP approved rear grade at ca. 28" from Finished First Floor to grade.
- 4 Full light rear doors were approved on HAWP, and no door was installed.
- 5 Basement door and window installed.
- 6 Driveway wasn't built as drawn and appears to be larger than approved.
7. No front walk has been installed.

Please submit the requested information by February 20<sup>th</sup>, to be able to come before the HPC on March 13<sup>th</sup>. Please provide corrections to the above list, as necessary. Please provide information about reasons for your changes, and a schedule for necessary corrections. If I can be of any assistance, please do not hesitate to call me at 301-563-3408.

Sincerely,



Robin D. Ziek  
Historic Preservation Planner

cc: Pete Hryzak, DPS  
Francis Azbeck, 26101 Frederick Road

File Copy

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

June 15, 2000

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit 10/59-00C CONTINUED  
(DPS Permit #219759)

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved       Denied       **Approved with Conditions:**

1. All exterior wood will be painted with paint or opaque stain.
2. A landscape plan will be submitted for HPC approval **prior to initiation of construction** which indicates the integration of the front sidewalk with the site development, existing trees to be preserved including those along the driveway/access road, and outlines a 20' conservation area at the back of the property which will not be mowed to provide a forested boundary.
3. The porch railings will utilize inset pickets and a molded cap rail.

and subject to the general conditions that 1) **HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS;** and 2) after issuance of Montgomery County Department of Permitting Services (DPS) permit, applicant to arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

**THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).**

Applicant: Francis X. Asbeck (John DeReggi, Agent)  
14715 Old Baltimore Road, Boyds, MD 20841

RE: 26101 Frederick Road, Hyattstown Historic District, *Master Plan #10/59*

MEMORANDUM

8.20.99

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit # 9907270091

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

           Approved

           Denied

X Approved with Conditions: ① The applicant will provide a conservation easement over Lots 76, 77 & Pt of Lot 78 such that only one primary residence can exist here @ a/c  
② This conservation easement should be recorded in records before a certificate of occupancy is issued to the applicant.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Richard & Marcia Wagner

Address: 21111 Seidell Rd. Boyds, MD 20841

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

C:\preserve\hwa\wp\dps\hr

Re: 26105 Frederick Road

approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Christine DeRosa  
Signature of owner or authorized agent

7/26/1999  
Date

Jan 9, 2002

Asbeck

Front property along Frederick Road - Hyattstown

1. No front walk installed
2. No conservation area established.
3. Rear elevation a full level out of grade.
4. Rear elevatn no door @ 1<sup>st</sup> Fl. ~~8~~
5. And basement door & window. 8' exposed.
6. Driveway
7. Landscape plan
- 8.



File Copy

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

June 15, 2000

MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit 10/59-00C CONTINUED  
(DPS Permit #219759)

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved  Denied  **Approved with Conditions:**

1. All exterior wood will be painted with paint or opaque stain.
2. A landscape plan will be submitted for HPC approval **prior to initiation of construction** which indicates the integration of the front sidewalk with the site development, existing trees to be preserved including those along the driveway/access road, and outlines a 20' conservation area at the back of the property which will not be mowed to provide a forested boundary.
3. The porch railings will utilize inset pickets and a molded cap rail.

and subject to the general conditions that **1) HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS;** and 2) after issuance of Montgomery County Department of Permitting Services (DPS) permit, applicant to arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

**THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).**

Applicant: Francis X. Asbeck (John DeReggi, Agent)  
14715 Old Baltimore Road, Boyds, MD 20841

RE: 26101 Frederick Road, Hyattstown Historic District, *Master Plan #10/59*



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD  
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Christine/John DeReggi  
Daytime Phone No.: 240-876-1753/1752

Tax Account No.: 16-02-24040  
Name of Property Owner: FRANCIS X. ASBECK Daytime Phone No.: 301-972-0511  
Address: 14715 OLD BALTIMORE RD, BOYDS MD 20841  
Street Number City State Zip Code  
Contractor: DEREGGI CONSTRUCTION Co. Phone No.: 240-876-1752  
Contractor Registration No.: 3380  
Agent for Owner: John DeReggi Daytime Phone No.: 240-876-1752

**LOCATION OF BUILDING/PREMISE**

House Number: 26101 Street: FREDERICK RD.  
Town/City: CLARKSBURG Nearest Cross Street: 109 E 355  
Lot: 24 Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: 14997 Folio: 352 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 175,000.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03 | | Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03 | | Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] \_\_\_\_\_ 5/24/00 \_\_\_\_\_  
Signature of owner or authorized agent Date

Approved: X w/ Conditions For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 6/15/00  
Application/Permit No.: 219-159 Date Filed: 5/24/00 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EMPTY LOT W/ REMNANTS OF AN OLD FOUNDATION.  
SEVERAL BOX ELDER TREES ON LOT. WE PROPOSE TO BUILD  
A TWO STORY SINGLE FAMILY RESIDENCE WITH A FRONT  
PORCH. IT SHOULD FIT IN WELL WITH NEIGHBORING STRUCTURES.  
FOOTPRINT OF 800 SF

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THIS TWO STORY RESIDENCE SHOULD FIT IN WELL WITH  
NEIGHBORING STRUCTURES. ALL WOOD DOORS, WINDOWS,  
SIDING.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

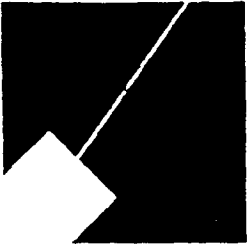
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE:

6/14/00

TO:

Local Advisory Panel/Town Government

*Friends of Hyatt's town*

FROM:

Historic Preservation Section, M-NCPPC  
*RD* Robin D. Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner  
Michele Naru, Historic Preservation Planner

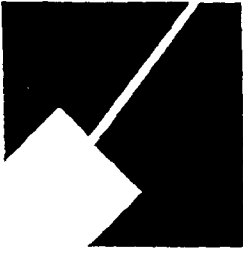
SUBJECT:

Historic Area Work Permit Application - HPC Decision

---

The Historic Preservation Commission reviewed this project on 6/14/00  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.



## MONTGOMERY COUNTY DEPARTMENT OF PARK &amp; PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760Date: 6/14/00MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

---

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

<b>Address:</b>	Lot 24, 26101 Frederick Road	<b>Meeting Date:</b>	06/14/00
<b>Resource:</b>	Hyattstown Historic District	<b>Report Date:</b>	06/7/00
<b>Review:</b>	HAWP	<b>Public Notice:</b>	05/31/00
<b>Case Number:</b>	10/59-2000C CONTINUED	<b>Tax Credit:</b>	No
<b>Applicant:</b>	Francis Asbeck (John and Christine DeReggi, Agents)	<b>Staff:</b>	Robin Ziek

**PROPOSAL:** Construction of New House

**RECOMMEND:** Approval W/CONDITIONS:

1. All exterior wood will be painted with paint or opaque stain.
2. A landscape plan will be submitted for HPC approval **prior to initiation of construction** which indicates the integration of the front sidewalk with the site development, existing trees to be preserved including those along the driveway/access road, and outlines a 20" conservation area at the back of the property which will not be mowed to provide a forested boundary.
3. The porch railings will utilize inset pickets and a molded cap rail.

---

This project came before the HPC at the 3/8/00 meeting and was continued. HPC comments included a concern that the application was incomplete and that more detailed site plan information was required which would address grading and drainage concerns. In addition, there were comments about the house design, a request for a detail of the porch railing, and support for a front sidewalk which was not indicated on the site plan.

**PROJECT DESCRIPTION**

The Hyattstown Historic District is a near town which was designated on the County's *Master Plan for Historic Preservation* in 1983. As noted in the preservation plan, *Vision of Hyattstown* (p.9), "the town was originally platted in 1798, and is significant as one of the largest groupings of relatively unaltered 19<sup>th</sup> century buildings in the county. Located along a single, tree shaded street, the district is a good example of the small roadside towns that sprang up along early highways to service the needs of travelers and nearby farm families."

The subject property (Lots 24, Part of 25, Part of 26) fronts Frederick Road, and was originally part of the yard for the neighboring bungalow. At the rear, the HPC has approved new construction on Lots 76, 77, and 78 for a single-family home with a large garage (August 18, 1999), which will soon be built.

The property slopes down from Frederick Road, and there is a concrete retaining wall supporting the road grade for much of the road frontage. There are two existing foundations, one of which runs along the road frontage north of the retaining wall, and one of which is in the middle of the property. The property drains from NW to SE, and includes an existing drainage culvert at the road's edge. The property is currently overgrown with many small trees, none of which are considered significant by MNCPPC environmental staff, although there are a few substantial trees adjacent to the driveway location.

## PROPOSAL

The applicant proposes to construct a new house on Lot 24, facing Frederick Road. The house is patterned after local vernacular house types (see Circle 17), and will be a 2-1/2 story, front gable house with a wrap-around porch. The house will be clad in board-and batten siding, and the roof will be sheathed in asphalt shingles. The proposed house plan is "Z" shaped, to respond to the diagonal layout of the property lines relative to Frederick Road. This also reflects the HPC's concern, as stated in a Preliminary Consultation for new construction on this property on 5/12/99, that any new house at this lot should face Frederick Road in a similar fashion to the other homes in the historic district.

The footprint of the house is 800 sf (see Circle 16), not including the wrap-around porch. There is no current proposal for a garage or any additional outbuildings, but there is a driveway off of the access driveway from Frederick Road (which will also serve the new house to the rear), with a parking area to be paved.

The concrete retaining wall along Frederick Road will be retained. WSSC will be constructing a storm drain inlet under this retaining wall (see Circle 16), and the applicant is proposing to use the top of this as an entry for steps down to their front walk, leading up to the front porch (see Circle 16). The two existing foundations on the north side of the property will be removed (see "T.B.A. Ex. Foundation" on Circle 14). The drawing on Circle 14 indicates that 4 large trees will be retained on the property. It is staff's understanding that the mature trees along the access drive will also be protected, but this is not indicated on the drawing. The grading appears to be limited along the south side of the property, and perhaps the tree cover in this area will also be retained.

The elevation of the road in the middle of the road frontage is approximately 450'. The finished first floor elevation for the new house is 443.5', with front corner elevations of 442.5' and 442.7' (see Circle 14). The property will be graded to slope evenly down from the road to the back of the property. The surface water will be encouraged to collect at the lowest point on the access drive (445.9') and flow past a storm sewer intake, and any excess water will move along the back of the property as is basically the current condition.

The porch railing has a 2 x 6 cap rail, and 2 x 2 pickets which are nailed directly to the ledgers (see Circle 23). No finishes are indicated, for the railing or for the house itself.

## STAFF DISCUSSION

This new construction will not disrupt the existing pattern of development which defines the character of this rural village. It meets the development standards which are outlined in the *Vision of Hyattstown* (see Circle 15):

1. ***Preservation of significant historic patterns of development.***  
This includes maintaining the existing residential use fronting Frederick Road. The applicants are proposing a 41' front yard set back which is consistent with the 25' to 40' front yard set back typical of the pattern for the existing historic houses fronting the road. A front sidewalk will lead from Frederick Road to the front porch.
2. ***Maintaining the rural village quality in Hyattstown.***  
The applicants are proposing to construct a small new house that is patterned on existing house types found in this historic district. Staff is of the opinion that the small size and modest design will not be intrusive to the Historic District, and will complement the existing house types.
3. ***Preserving and maintaining the trees that contribute to the character of the Historic District.***  
This applies first and foremost to the street trees which line Frederick Road, and then to the wooded lots behind the residences. There are no street trees which will be affected by this new construction. While the proposed new construction will alter the appearance of this wooded lot by clearing much of the small "volunteer" growth, the proposed house will be sited to avoid disturbing any of the mature trees larger than 6" in diameter which fall within the purview of the HPC.

Staff still has some concerns about details of the project, although the overall approach is compatible with the district. The applicant has not resolved the integration of the front sidewalk into the site, as the proposed sidewalk goes right through a 20" locust tree. Staff notes that there may be some new landscape work, but no information has been provided about new trees to be planted, or the general approach to re-landscaping what is a forest-covered lot. In addition, staff notes that the new construction on the back lots "Part of Lot 78", Lot 77 and Lot 76, which was approved by the HPC, would be readily visible from Frederick Road once the subject property is developed. Staff recommends that a conservation area be delineated on the back of this property, spanning all three lots, which would be restricted in terms of mowing. This is typically stipulated by environmental staff as a strategy to allow natural regrowth to take place. Such a conservation area would grow up within a few years and provide a forest backdrop for the Asbeck House, as well as screen the new house in the upper meadow.

Staff notes that, after consideration of the HPC comments, the applicant has not modified the design of the house, noting that additional windows would end up in closets. There is also a discrepancy regarding the height of the house above grade in that only 2 front steps are indicated on the plan (see Circle 19), but 4 steps are shown on the elevations (see Circle 17). Staff notes that the difference in elevation from the finished first floor level (443.5') and grade in front of the porch (442.5') is only 1', so that two steps would be needed at the most in the front of the house. These details should be clarified on the construction documents before the applicant proceeds to the building permit application, as it is expected that the house will be built as approved.

(see Circle 24-27)



## STAFF RECOMMENDATION

Staff recommends that the Commission **approve**, with the following conditions, the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter, and with the *Secretary of the Interior's Standards for Rehabilitation #2*:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and with the *Secretary of the Interior Guidelines #9*:

New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spacial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the *Secretary of the Interior Guidelines #10*:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## CONDITIONS:

1. All exterior wood will be painted with paint or opaque stain.
2. A landscape plan will be submitted for HPC approval **prior to initiation of construction** which indicates the integration of the front sidewalk with the site development, existing trees to be preserved including those along the driveway/access road, and outlines a 20" conservation area at the back of the property which will not be mowed to provide a forested boundary.
3. The porch railings will utilize inset pickets and a molded cap rail.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850  
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Christine/John DeReggi  
Daytime Phone No.: 240-876-1753/1752

Tax Account No.: 16-02-24040  
Name of Property Owner: FRANCIS X. ASBECK Daytime Phone No.: 301-972-0511  
Address: 14715 OLD BALTIMORE RD, BOWDS MD 20841  
Street Number City Street Zip Code  
Contractor: DEREGGI CONSTRUCTION CO. Phone No.: 240-876-1752  
Contractor Registration No.: 3380  
Agent for Owner: John DeReggi Daytime Phone No.: 240-876-1752

### LOCATION OF BUILDING/PREMISE

House Number: 26101 Street: FREDERICK RD.  
Town/City: CLARKSBURG Nearest Cross Street: 109 E 355  
Lot: 24 Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: 14997 Folio: 352 Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 175,000.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] \_\_\_\_\_ 5/24/00 \_\_\_\_\_  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 219-159 Date Filed: 5/21/00 Date Issued: \_\_\_\_\_

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EMPTY LOT W/ REMNANTS OF AN OLD FOUNDATION.  
SEVERAL BOX ELDER TREES ON LOT. WE PROPOSE TO BUILD  
A TWO STORY SINGLE FAMILY RESIDENCE WITH A FRONT  
PORCH. IT SHOULD FIT IN WELL WITH NEIGHBORING STRUCTURES.  
FOOTPRINT OF 800 SF.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THIS TWO STORY RESIDENCE SHOULD FIT IN WELL WITH  
NEIGHBORING STRUCTURES. ALL WOOD DOORS, WINDOWS,  
SIDING.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Address: 26101 Frederick Road

Meeting Date: 3/8/00

Adjacent and confronting Property owners:

Francis Asbeck  
14715 West Old Baltimore Road  
Boys, MD 20841

John & Christine DeReggi  
21000 Clarksburg Road  
Boys, MD 20841

Giselle & Dan Butts  
26029 Frederick Road  
Hyattstown, MD

Paul & T. Hawse  
26111 Frederick Road  
Hyattstown, MD

Patrick & Rosanne Casselman  
26038 Frederick Road  
Hyattstown, MD

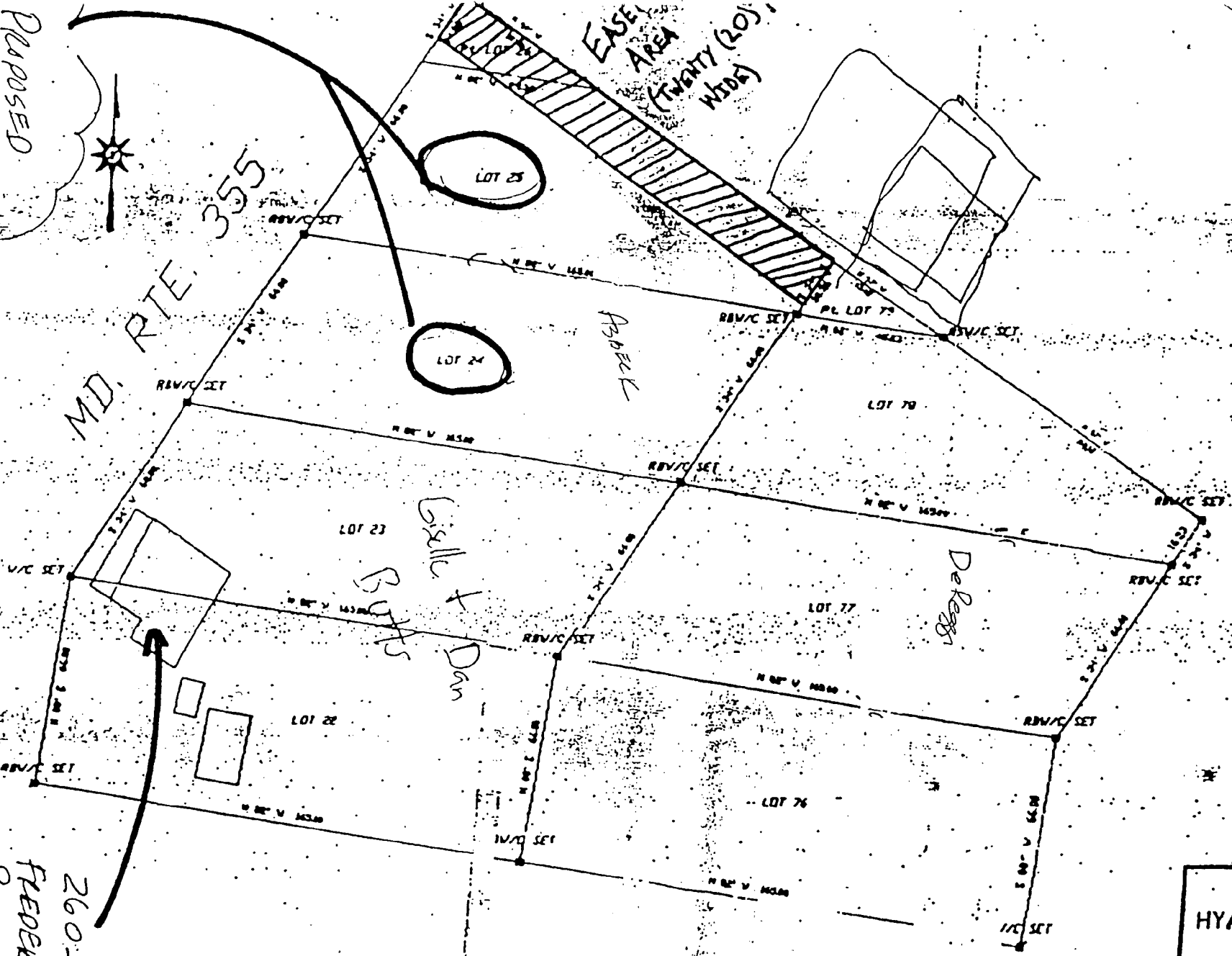


PROPOSED  
SITE  
OTS 24+25

MD. RTE 355

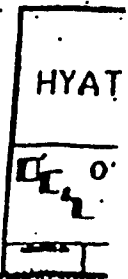
EASE  
AREA  
(TWENTY (20)  
FOOT)

APPENDIX "C"

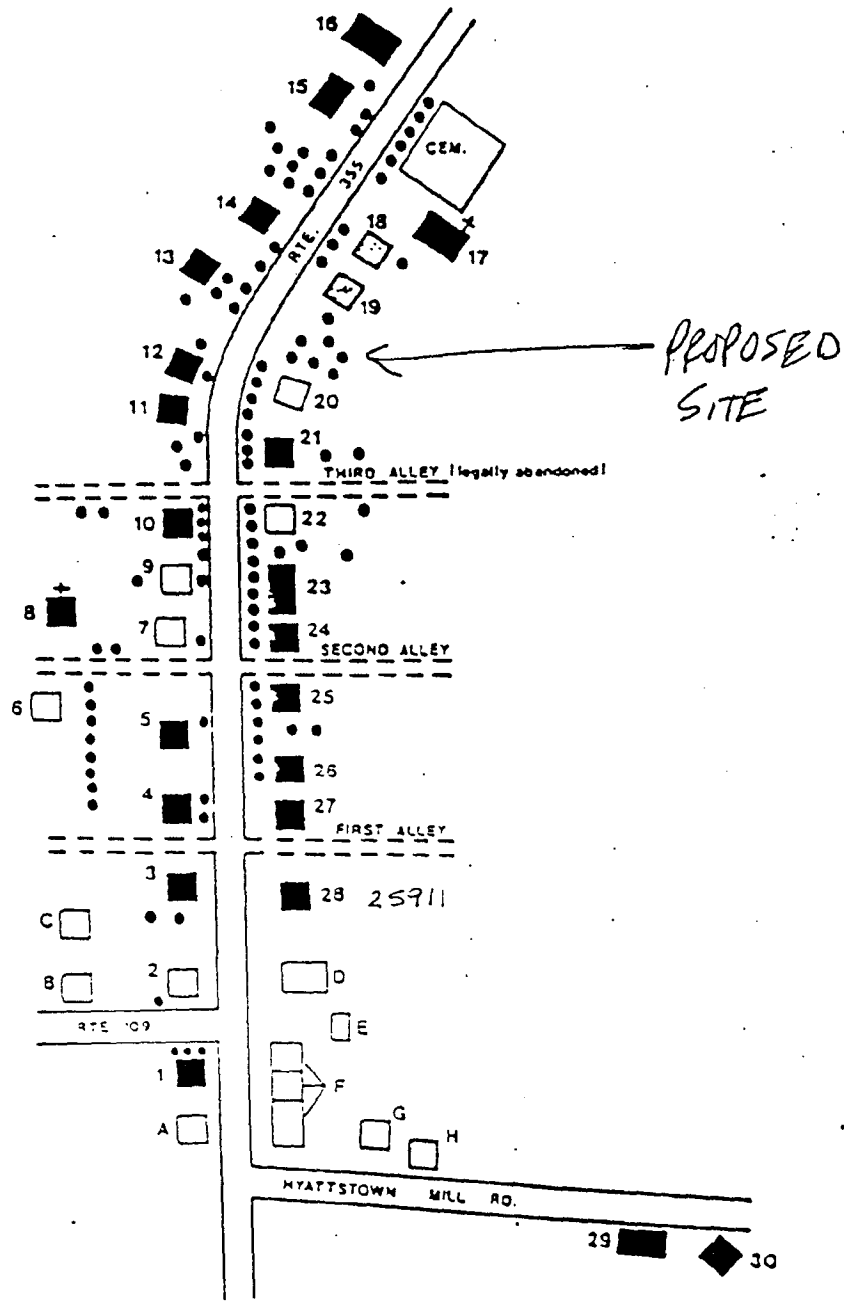
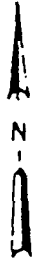


26029  
FREDERICK  
ROAD

9







**District Resources**

- Primary 1810-1890
- Secondary 1890-1940
- Contemporary 1940-1970
- Large Trees Over 12" in Diameter

**YATTSTOWN HISTORIC DISTRICT**

March  
1987

**Fig. 2**

11

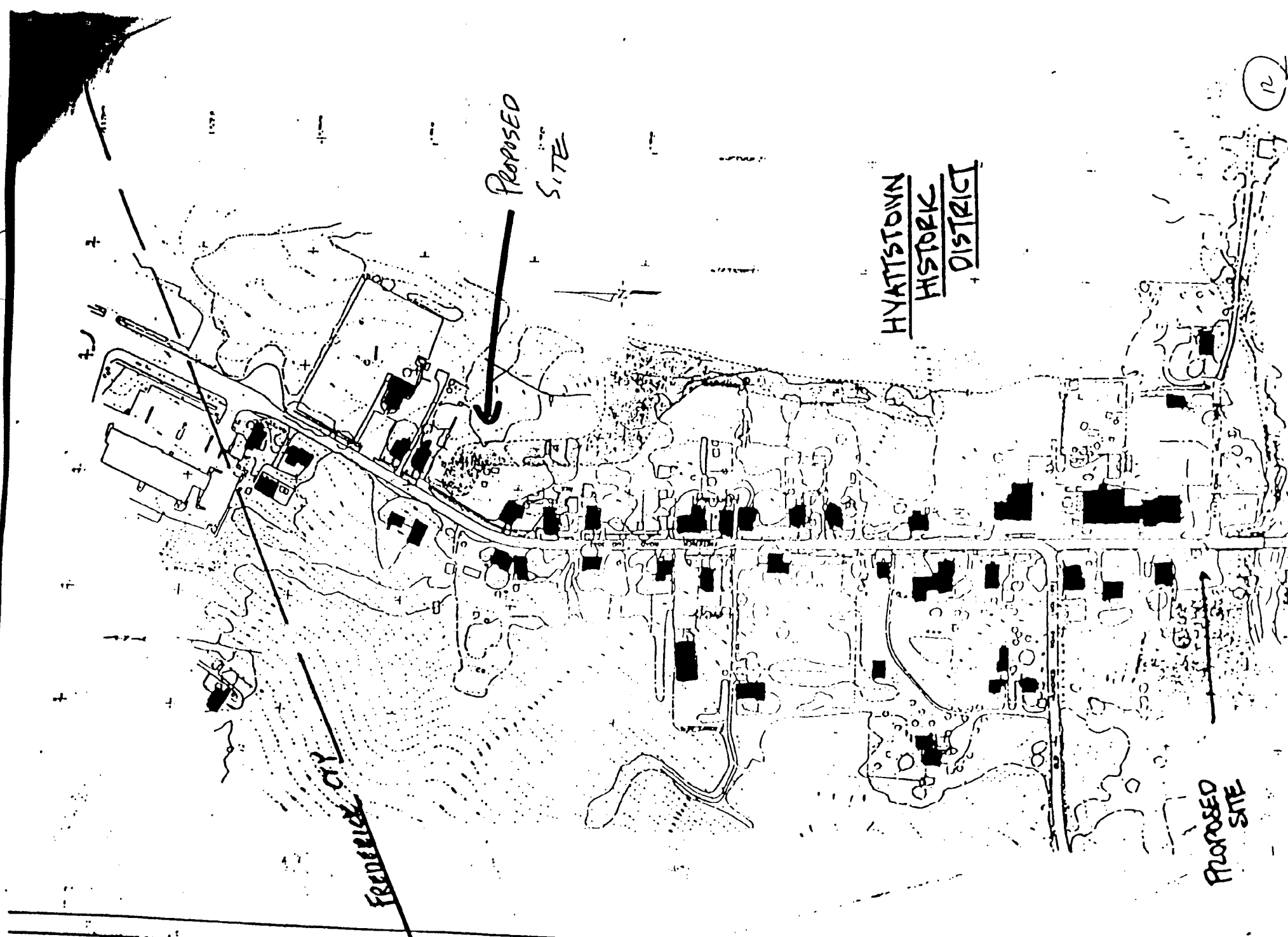


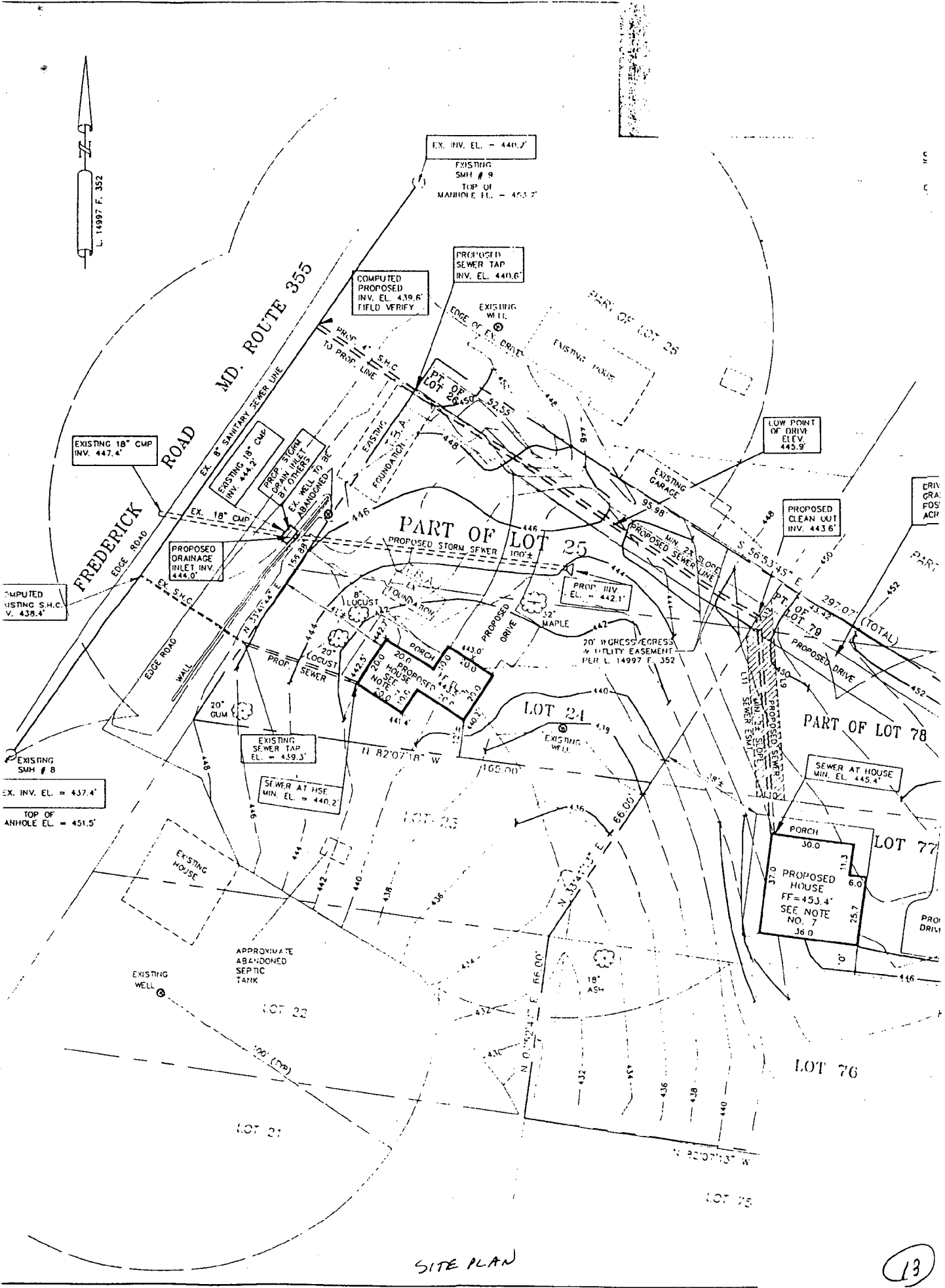
PROPOSED  
SITE

HYATTSTOWN  
HISTORIC  
DISTRICT

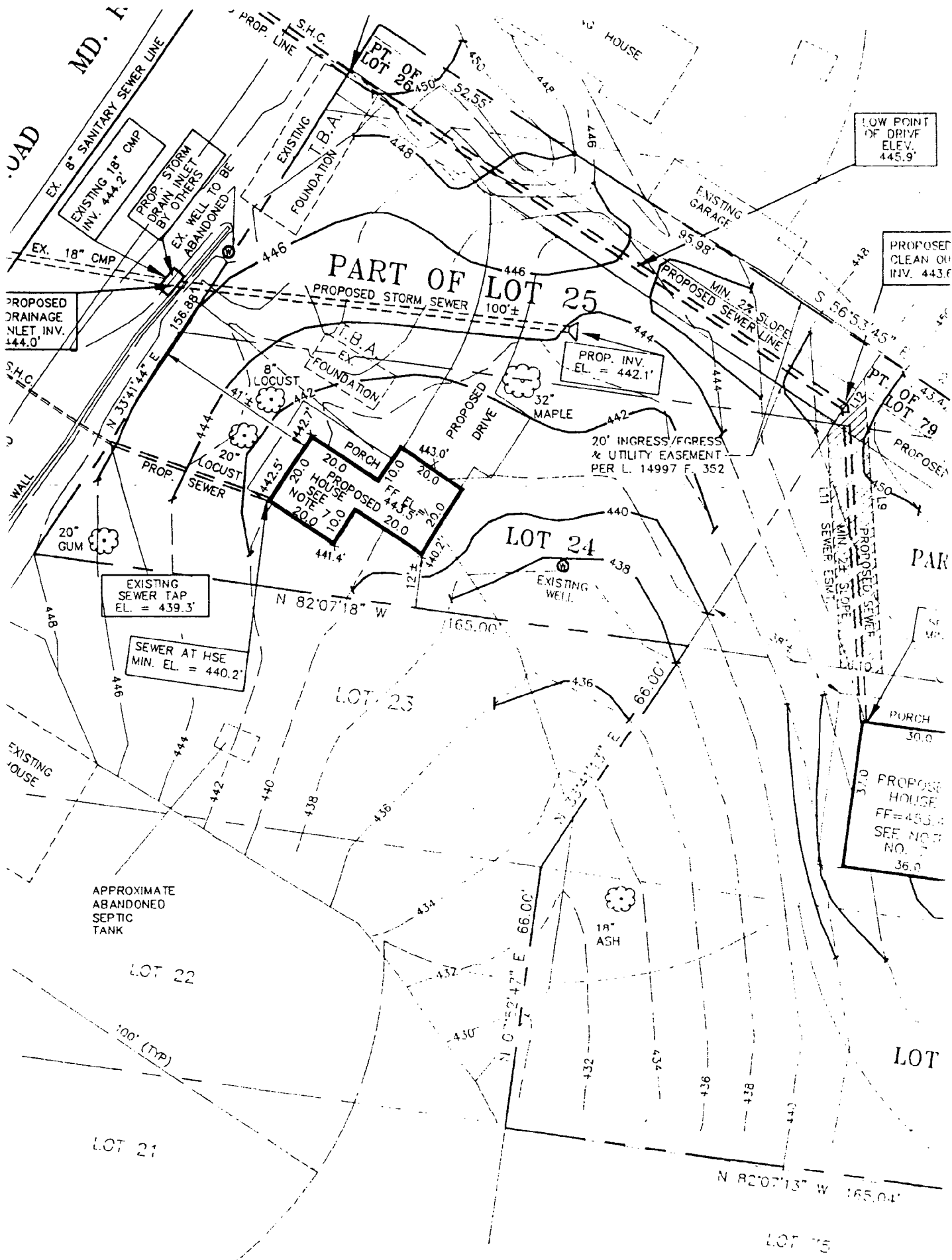
FREDERICK CITY

PROPOSED  
SITE





SITE PLAN



SITE PLAN - DETAIL

## The Historic Residential Core

The Historic Residential Core encompasses the pattern of development which defines the character of this intimate rural village. Within this area there are two different patterns of building siting. One pattern applies to the residential structures along Frederick Road where shallow front yard setbacks on each side of the road are a typical feature which helps to define the intimate village quality of the community. In addition, there is a fairly consistent rhythm of spacing between buildings on both sides of Frederick Road which provides a sense of order and completeness to the community. The other predominant pattern occurs in the siting relationships of churches in the district. Typically, churches in the district are deeply setback from the road providing a break in the streetscape, as well as communal open spaces. Also important to the feeling and character of this area are the existence of large mature trees which help to define the streetscape of the district. Within this area the following strategies are suggested to preserve the characteristics of the district:

Strategy 1.1: Satisfy the minimum conditions for water and sewer to ensure the future viability of the community. The long-range goal should be to supply the district with the level of utility service needed to meet necessary health and safety standards. However, a short-term solution should be found to enable vacant historic resources to be reused to prevent their deterioration. It is suggested that citizens and the County Preservation Staff work with Health officials identify short-term alternatives which will allow historic buildings to be reused without endangering public health and safety.

Strategy 1.2: Preservation of significant patterns of development encourage that any additional development within the Historic Residential Core be compatible with the characteristic pattern of development. Based on the analysis of lot characteristics of primary resources in this area the following criteria are suggested for limiting new residential construction to the extent feasible:

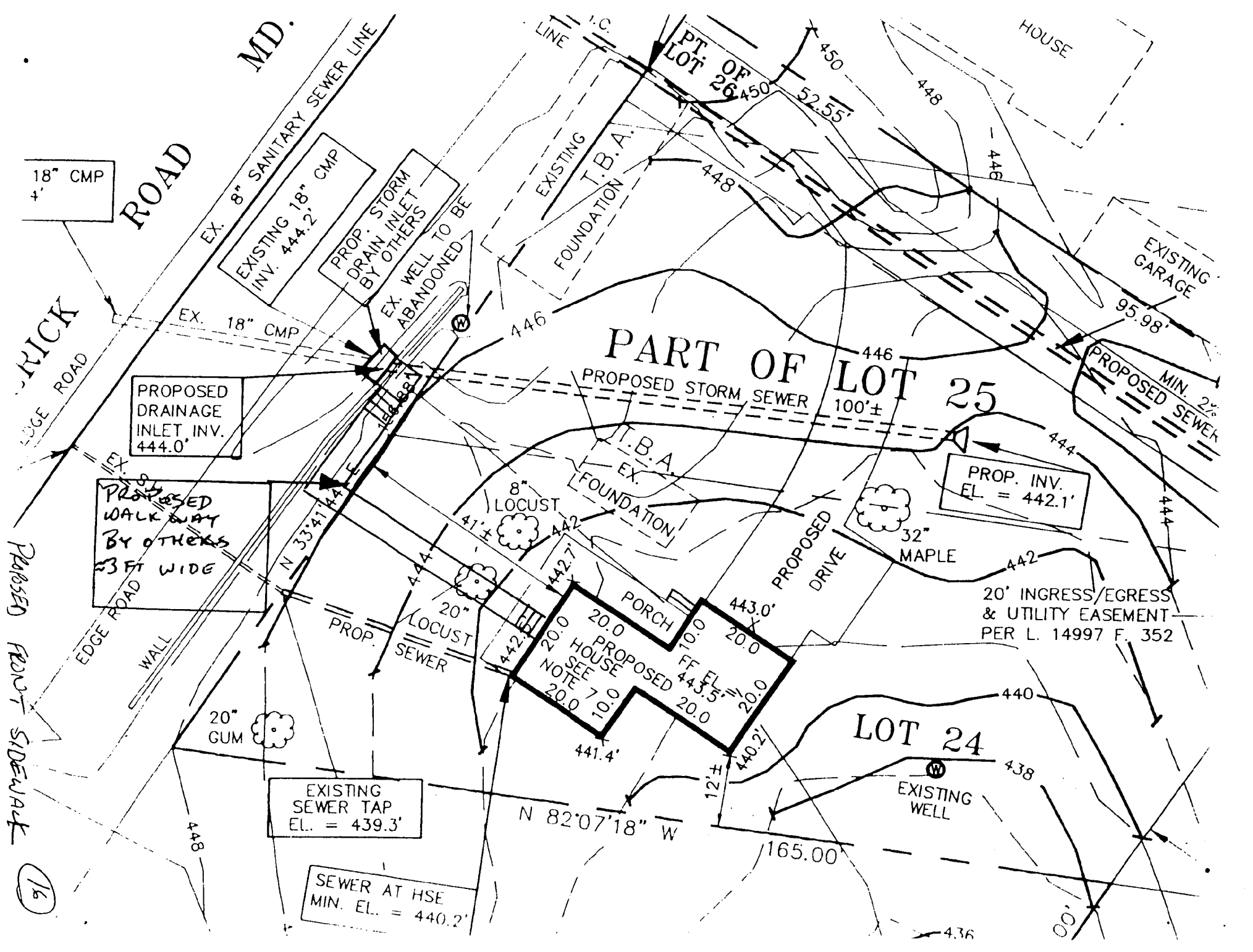
+ Residential uses fronting Frederick Road - front yard setbacks of 25 to 40 feet are typical of the pattern for the existing historic houses fronting the road. New buildings should be sited to fit within this rhythm of building spacing.

+ Institutional uses fronting Frederick Road - as appropriate, new institutional uses should follow the setback relationships exhibited in the siting of the historic churches, characterized by deeper setbacks making these buildings less prominent in the streetscape of the community.

Strategy 1.3: Develop a rehabilitation program to stabilize and improve deteriorating and substandard buildings in the area. The object of such a program should be to prevent the loss of important historic elements within the district. As envisioned, such a program could involve property owners and the County government to overcome the cost impediments to rehabilitation work.

+ Explore the creation of a County assistance program to provide building materials to qualifying owners of historic properties at or near wholesale costs.

+ Develop additional incentives to encourage rehabilitation of deteriorating structures considered important to the District.



18" CMP  
4.2'

ROAD

MD.

EX. 8" SANITARY SEWER LINE  
EXISTING 18" CMP  
INV. 444.2'

PROP. STORM  
DRAIN INLET  
BY OTHERS  
EX. WELL TO BE  
ABANDONED

PROPOSED  
DRAINAGE  
INLET, INV.  
444.0'

PROPOSED  
WALKWAY  
BY OTHERS  
33 FT WIDE

PART OF LOT 25  
100±

PROPOSED STORM SEWER

PROP. INV.  
EL. = 442.1'

PROP. 20"  
LOCUST  
SEWER

20.0' PORCH  
20.0' HOUSE  
20.0' HOUSE  
NOTE SEE 7.0  
20.0'  
PROP. FF EL. = 443.5'  
20.0'

20' INGRESS/EGRESS  
& UTILITY EASEMENT  
PER L. 14997 F. 352

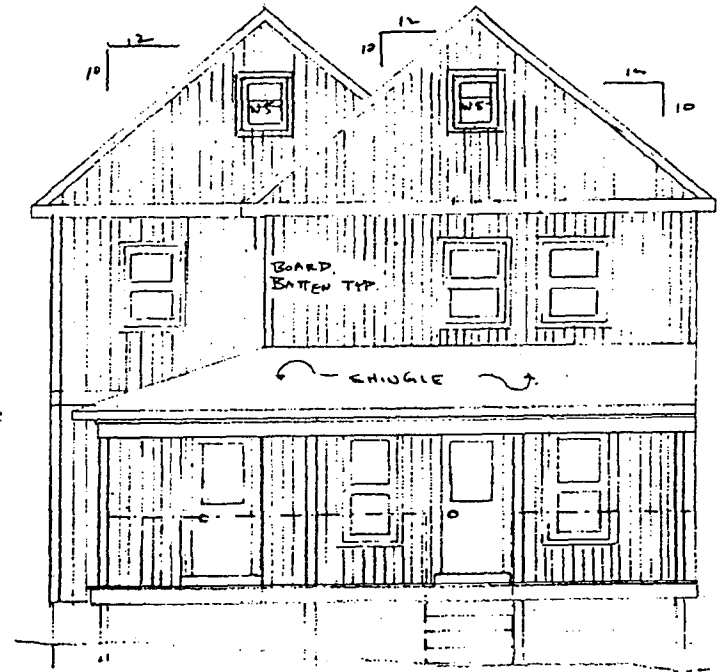
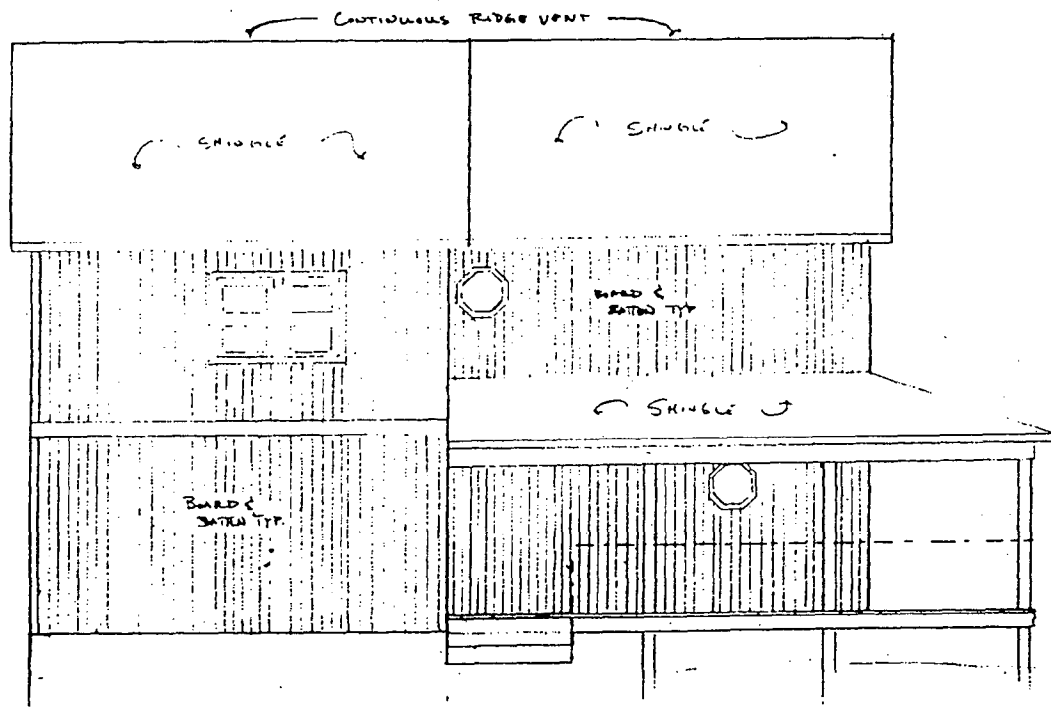
EXISTING  
SEWER TAP  
EL. = 439.3'

SEWER AT HSE  
MIN. EL. = 440.2'

LOT 24

EXISTING  
WELL

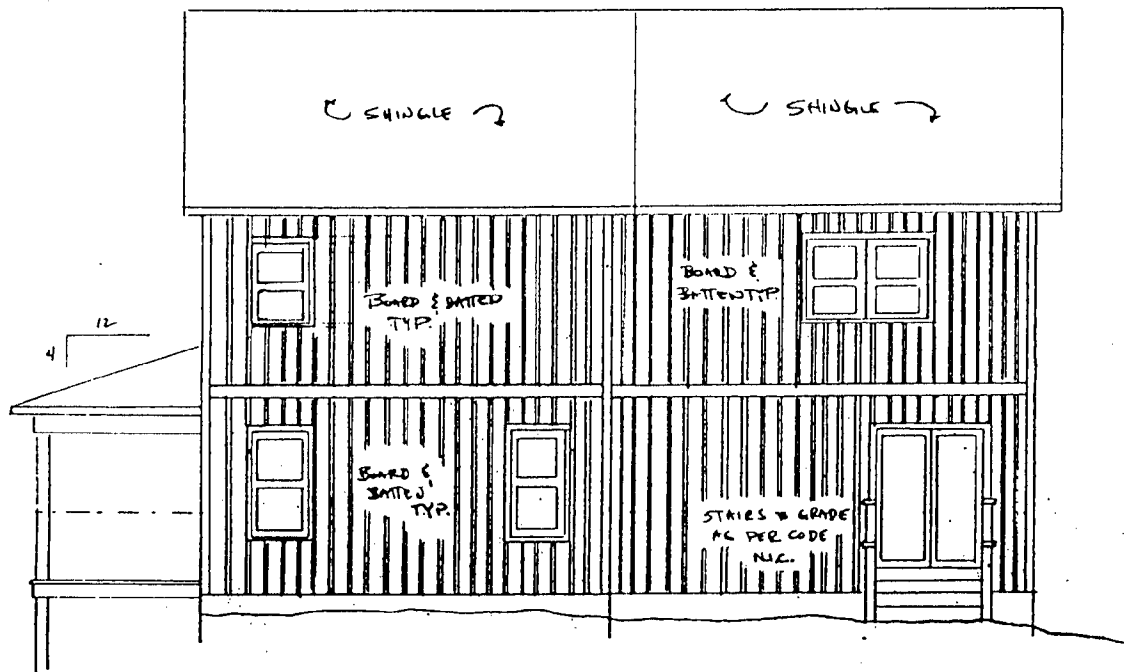
16



FRONT ELEVATION

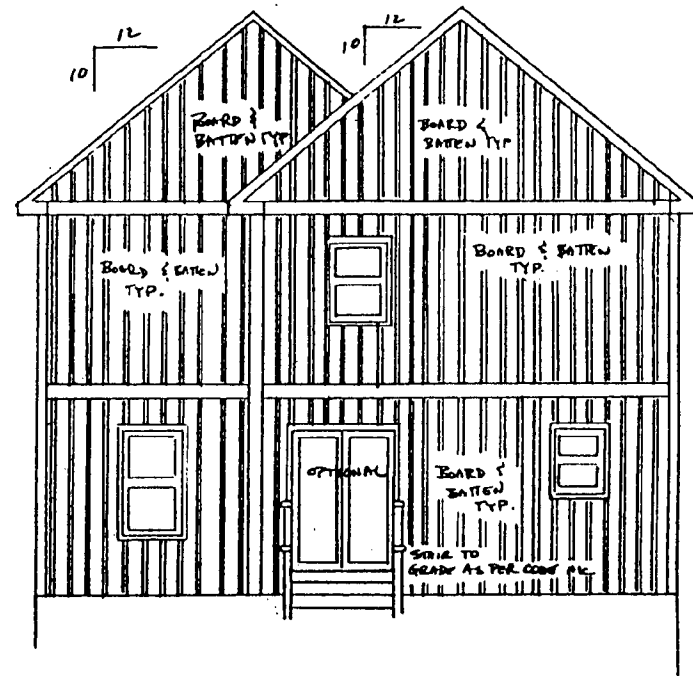
- ALL SIDING TO BE 1" BOARD AND BATTEN
- ALL ROOFING TO BE STANDARD 3 TAB 25 YR SHINGLE
- ALL OUTSIDE CORNER BOARDS TO BE 1 X 6
- ALL FACIA AND RAKE BOARDS TO BE 1 X 6
- ALL DOORS AND WINDOWS TO BE ALL WOOD CONSTRUCTION
- EXTERIOR DOORS TO BE RAKED PANEL W/ INSULATED GLAZES
- GEOMETRICAL PANEL LOCATION TO BE SITUATED IN STRICT CONFORMANCE AREA MEETING ANY NEC LOCAL CODE

ASBOK		
SCALE:	APPROVED BY:	DRAWN BY:
DATE: 12/1/23		REVIEWED:
DEREGGI CONSTRUCTION CO LLC.		
DRAWING NUMBER		A4



RIGHT SIDE ELEVATION

1/4" = 1 FOOT

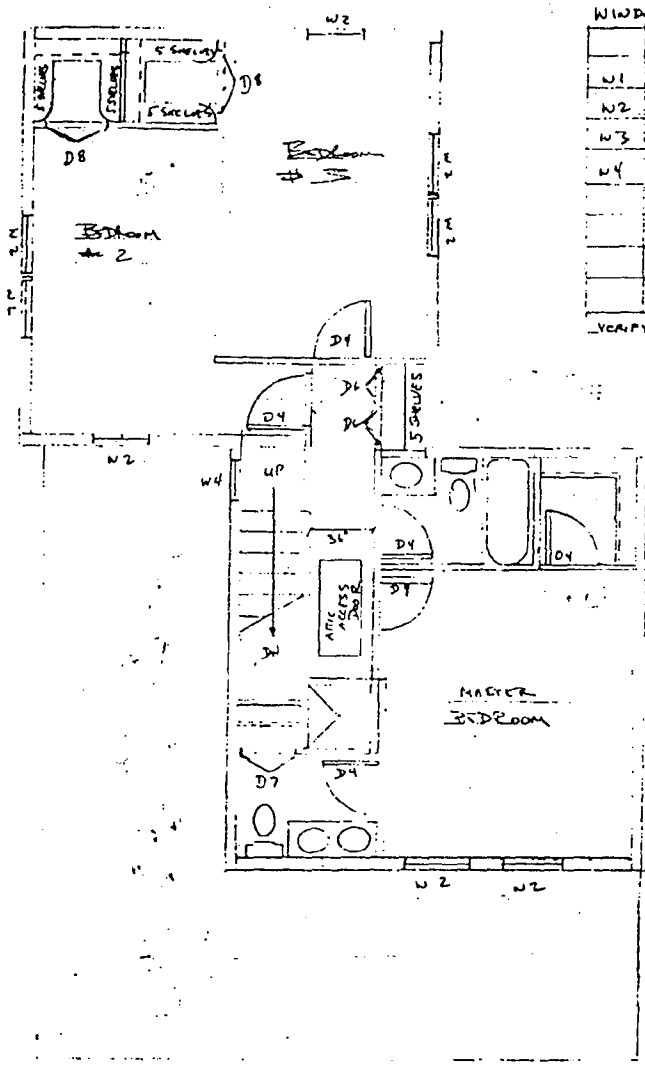


REAR ELEVATION

1/4" = 1 FOOT

ASBECK		
SCALE:	APPROVED BY:	DRAWN BY: <i>JS</i>
DATE: 12/1/99		REVISED:
DIREGGI CONSTRUCTION CO. LLC.		
DRAWING NUMBER		A 5

81

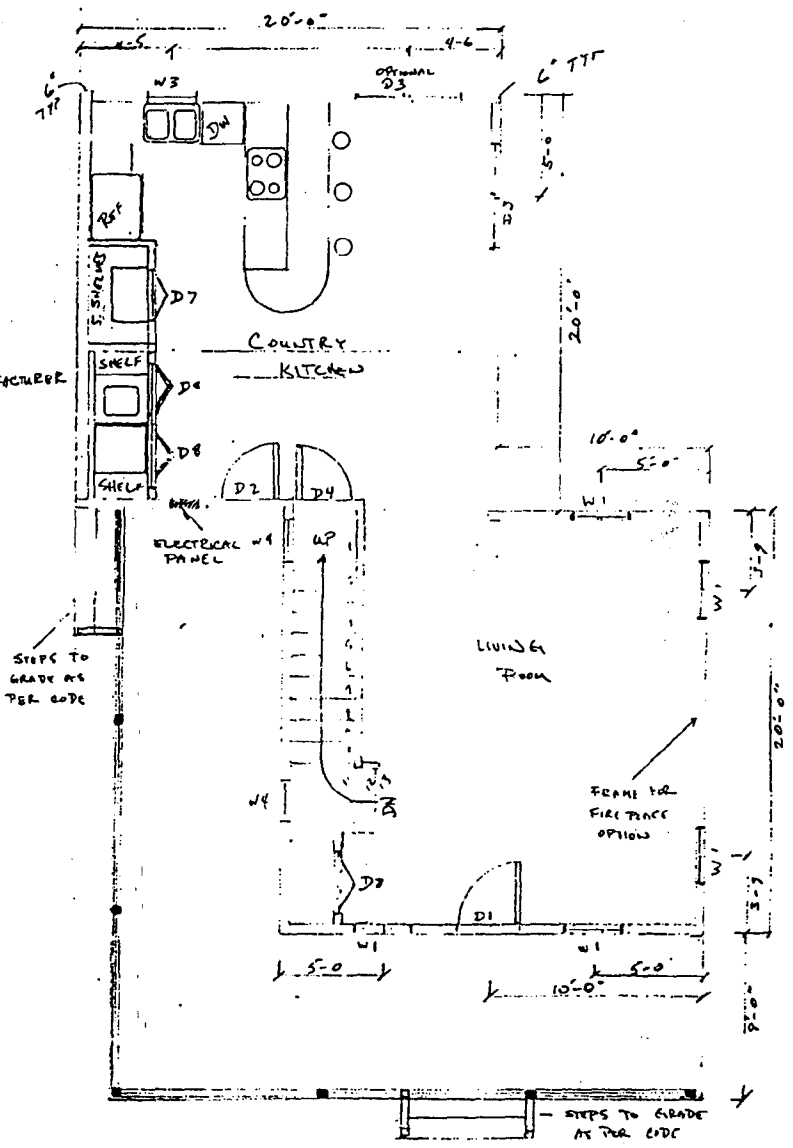


WINDOW & DR SCHEDULE

WINDOW	WINDOW SIZE	DOOR	DOOR SIZE
W1	2-9 x 5-2	D1	3-0 x 6-9 EXT
W2	2-9 x 3-10	D2	2-8 x 6-9 EXT
W3	2-7 x 3-2	D3	5-0 x 6-8 SURE
W4	2-0 x 0-0	D4	2-6 x 6-8 INT
		D5	2-4 x 6-8 INT
		D6	2-0 x 6-8 BIFOLD
		D7	2-6 x 6-8 BIFOLD
		D8	3-0 x 6-8 BIFOLD

VERIFY RUGH OPENINGS AT PERMITS FOR MANUFACTURER

- ALL EXTERIOR WALLS TO BE 3/4" FRAMING
- ALL WALL SHEATHING TO BE 1/2" PLYWOOD W/ TYPICAL
- ALL WINDOW & DOOR H.D.S. TO BE (2) 2x12 TYP
- ALL INTERIOR WALLS ARE TO BE 2x4 TRIMMING
- PORCH POST PER FOOTINGS TO BE 2" B.F.G.
- ALL STEPS TO GRADE TO HAVE AT GRADE FOOTINGS
- ALL PORCH POSTS TO BE 4x4 PT. WRAPPED WITH 1x MAT
- PORCH HEADERS TO BE (2) 2x10 TYP.



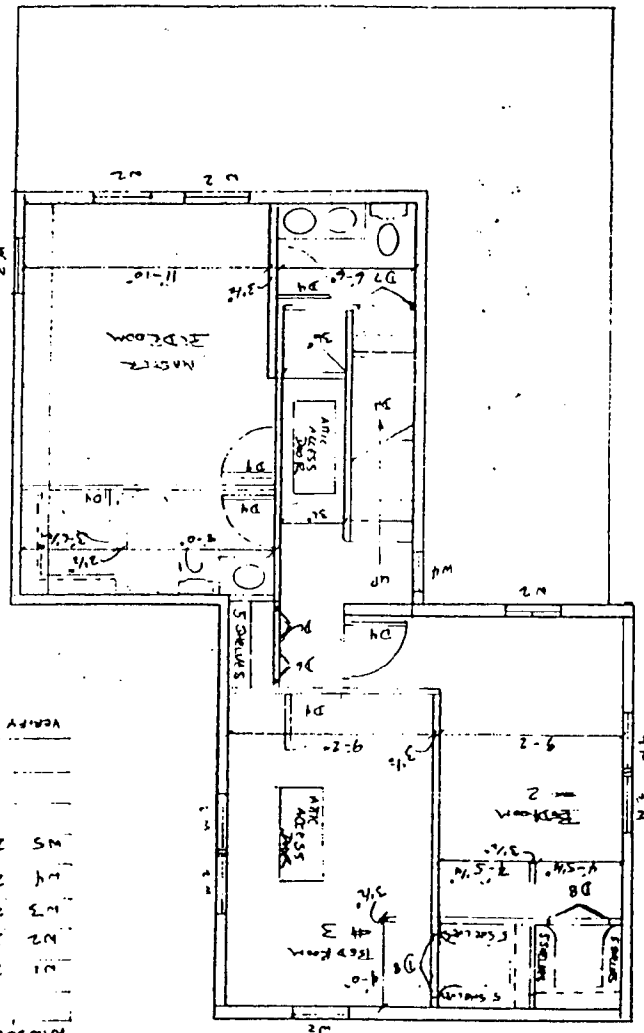
ASBECK		
SCALE:	APPROVED BY:	DRAWN BY: <i>AS</i>
DATE: 12/1/99		REVISED:
DERRICK CONSTRUCTION CO. L.L.C.		
DRAWING NUMBER: A2		

119



PROJECT	RESIDENTIAL
DATE: 12/1/99	SCALE: AS SHOWN
APPROVED BY: [Signature]	DATE: 12/1/99
KREBEK CONSTRUCTION CO. L.L.C.	
42	

Second Floor



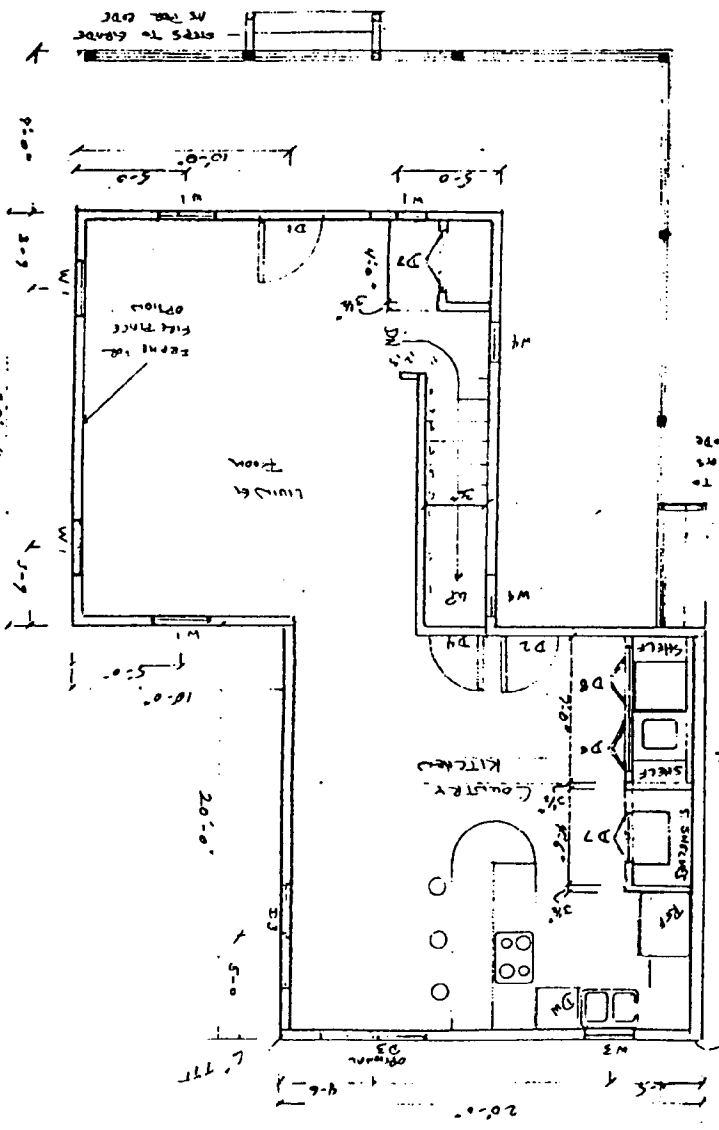
- ALL INTERIOR WALLS TO GC AND FINISH
- ALL WALLS SHEATHING TO RC
- ALL WALLS PLUMB & T/WK
- ALL WINDOWS & DOOR HEADERS TO BE (2) 2x12 w 1/2" PLY TYP
- ALL INTERIOR WALLS AND STAIRS TO GC AND FINISH
- POLY POOR TRIM FOOTINGS TO BE 2x4 BEYOND FINISH GRADE
- ALL STAIRS TO GRADE TO HAVE AT GRADE FOOTING
- ALL POOR POSTS TO BE 4x4 P.T. W/STAYED w/ 1x MATERIAL
- POLY HEADERS TO BE (2) 2x10 TYP

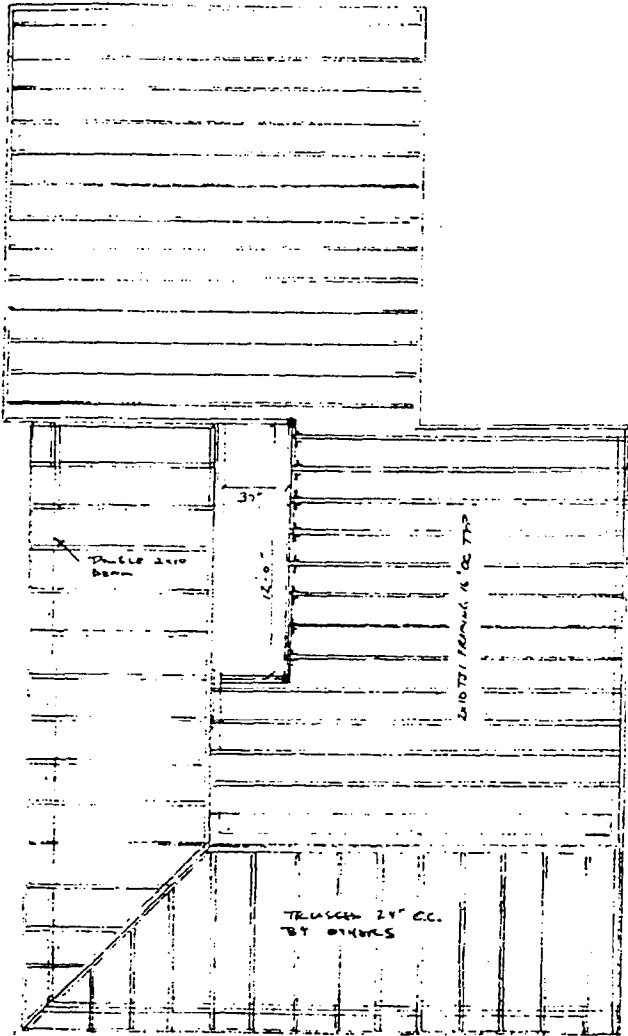
WINDOW & DOOR SCHEDULE

NO.	SIZE	TYPE
W1	2'-6" x 5'-2"	5-0 x 6-9 EXT
W2	2'-0" x 3'-10"	1-8 x 6-9 EXT
W3	2'-4" x 5'-2"	5-0 x 6-9 SHED
W4	2'-0" x 2'-0"	2-6 x 6-8 INT
W5	2'-0" x 2'-6"	2-4 x 6-8 INT
D1	2'-0" x 5'-2"	2-0 x 6-8 EXT
D2	2'-0" x 3'-10"	1-8 x 6-9 EXT
D3	2'-4" x 5'-2"	5-0 x 6-9 SHED
D4	2'-0" x 2'-0"	2-6 x 6-8 INT
D5	2'-0" x 2'-6"	2-4 x 6-8 INT
D6	2'-0" x 6'-8"	2-0 x 6-8 EXT
D7	2'-6" x 6'-8"	2-6 x 6-8 EXT
D8	3'-0" x 6'-8"	3-0 x 6-8 EXT

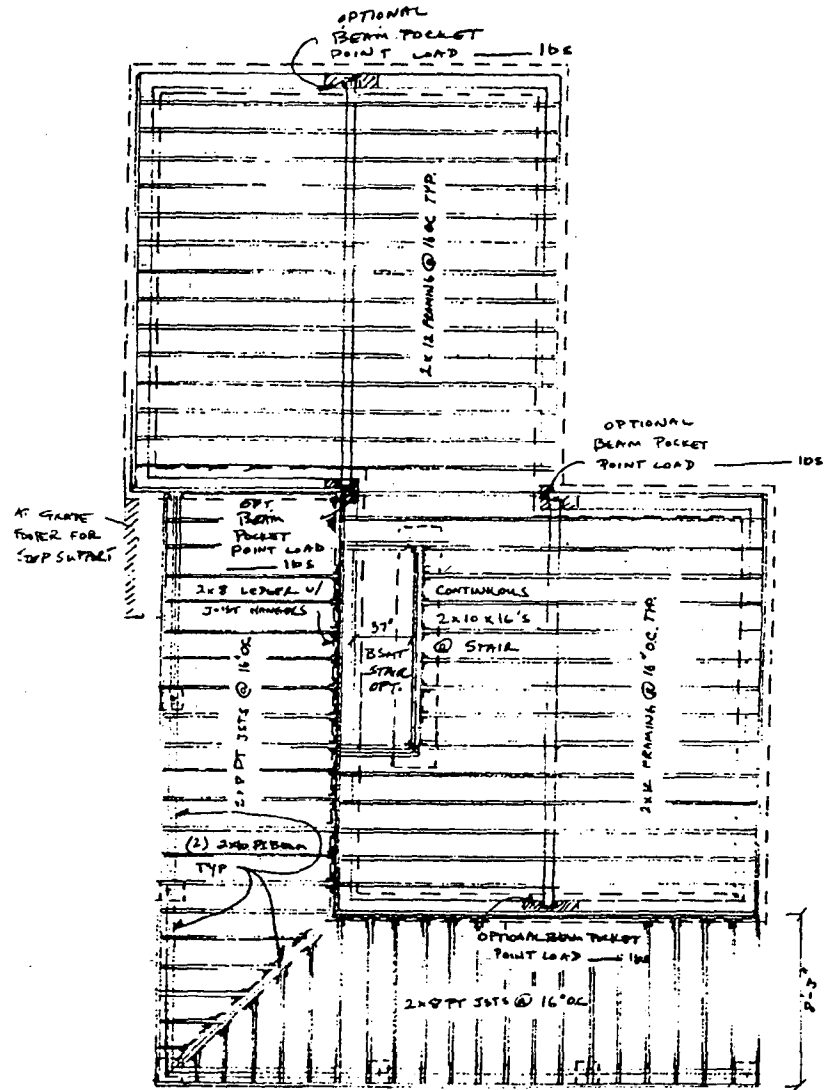
VERIFY ROOM DIMENSIONS AT THE FIELD MARKS

First Floor





SECOND FLOOR  
FRAMING  
1/4" = 1'-0"

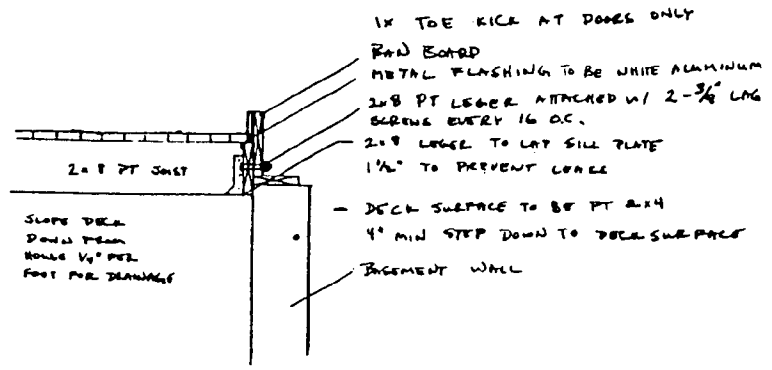


FIRST FLOOR  
FRAMING  
1/4" = 1'-0"

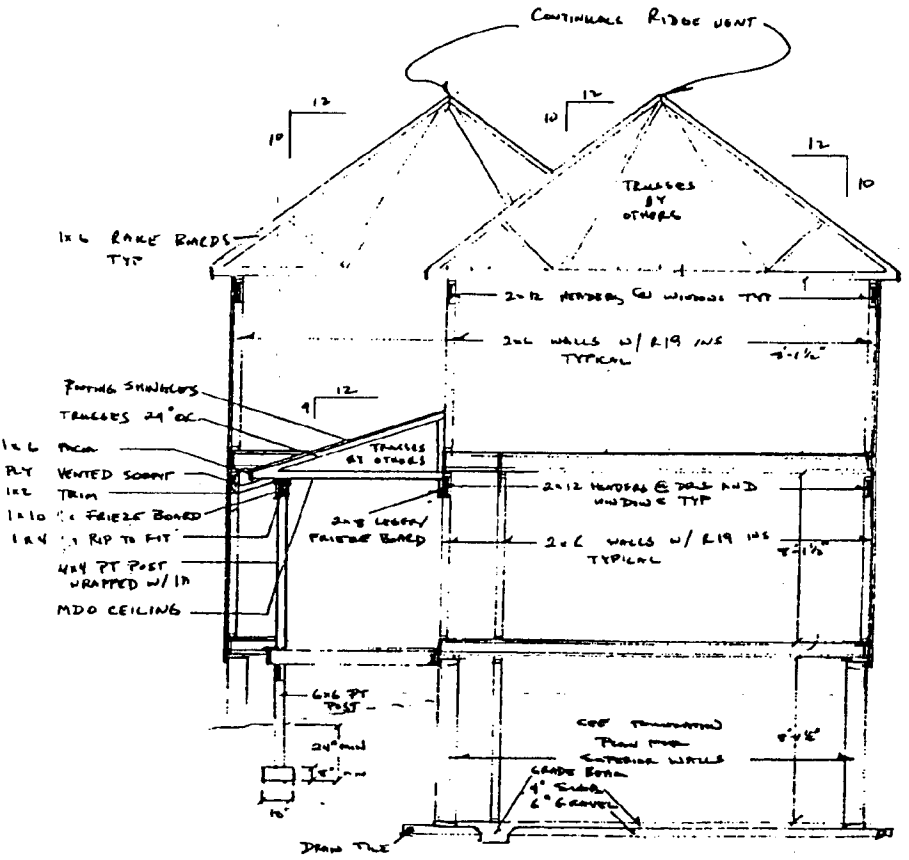
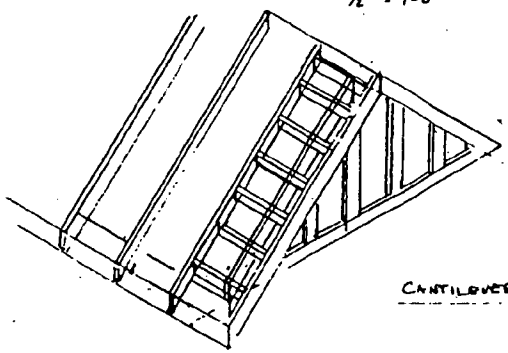
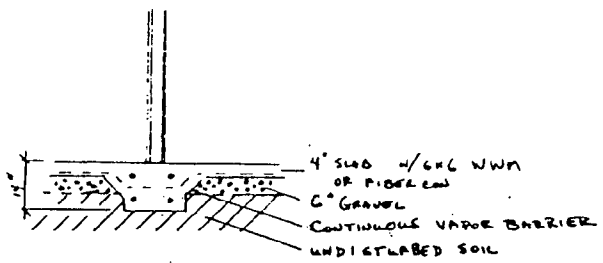
///-GRADE MARK, IN STEP SUPPORT

ASBCK		
SCALE:	APPROVED BY:	DRAWN BY:
DATE: 12/1/77		REVISED:
DEBECHI CONSTRUCTION CO. L.L.C.		
		DRAWING NUMBER A3

21



DECK TO HOUSE  
 1" = 1'-0"



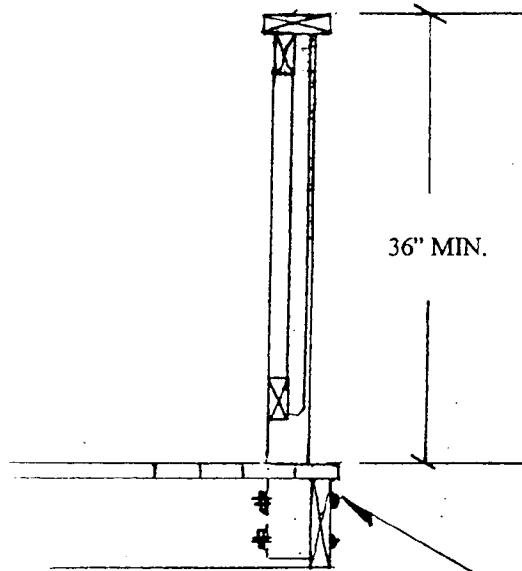
CROSS SECTION  
 1/4" = 1'-0"

ASBECK		
SCALE:	APPROVED BY:	DRAWN BY: AG
DATE: 12/1/97	REVIEWED:	
DE REGG CONSTRUCTION CO. L.L.C.		
DRAWING NUMBER:		AG

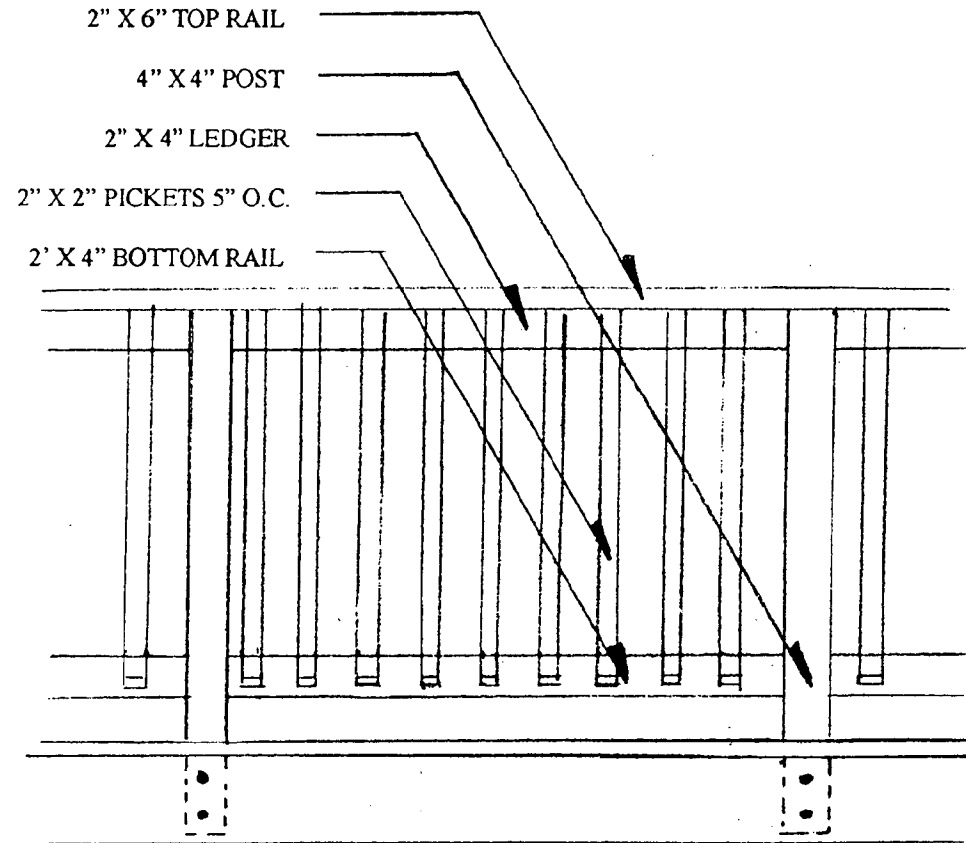
22

GUARDRAILS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT ON PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW. GUARDRAILS ARE REQUIRED ON OPEN SIDES OF STAIRWAYS. RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH WILL NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES IN DIAMETER.

**NOTE:** OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED FROM THE NOSING OR THE TREADS



(2) 1/2" BOLTS AT EACH POST



EITHER PIER FOOTINGS WITH POST AND BEAM SUPPORT OR CONTINUOUS FOOTER WITH CMU WALL AND SILL TO CODE

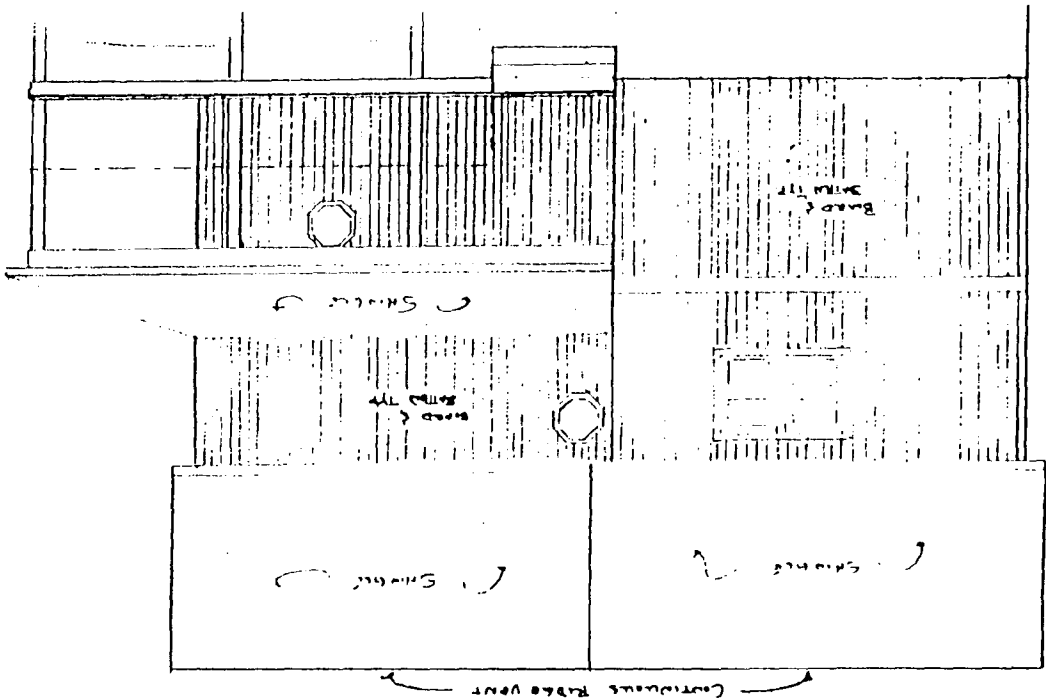
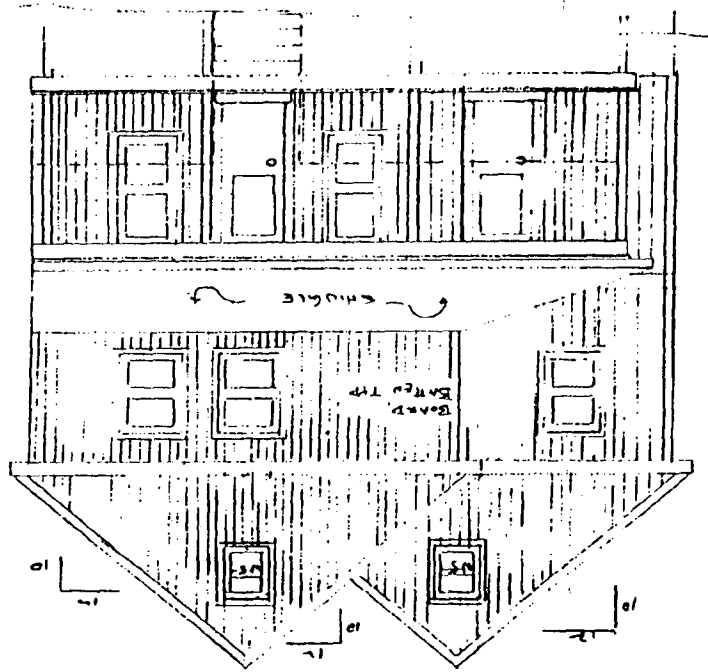
Handwritten initials or signature in a circle.

Submitted for 3/8/00 meeting

24

DATE: 12/11/99	APPROVED BY: [Signature]
DESIGN: DEBEGI CONSTRUCTION CO. L.L.C.	
PROJECT: [Blank]	
SHEET: 24	

FRONT ELEVATION



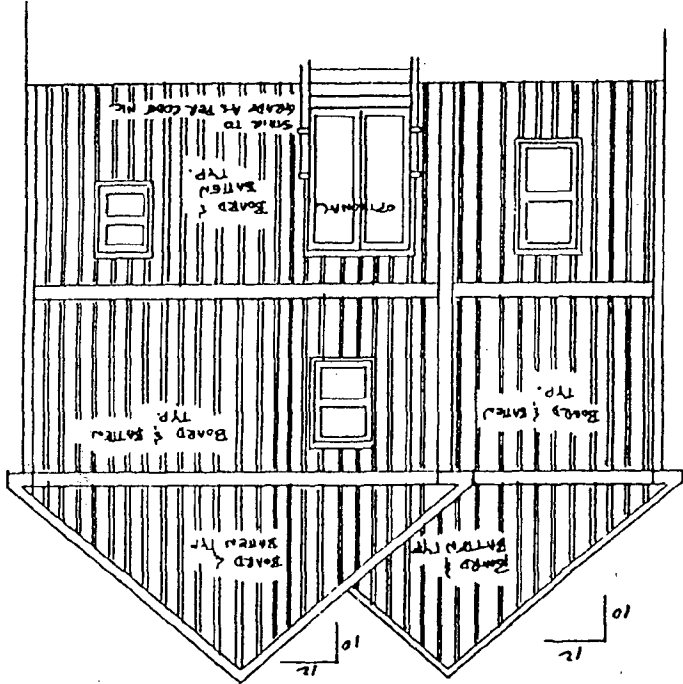
↑ Light enters  
this elevation is  
very bare.

- All siding to be 1" board and batt
- All corners to be shingles 7 and 15 in shingle
- All fascia and rake boards to be 1x6
- All outside corner boards to be 1x6
- All doors and windows to be all wood construction
- Exterior doors to be painted panel w/ insulated gings
- Conforms with meeting and local code

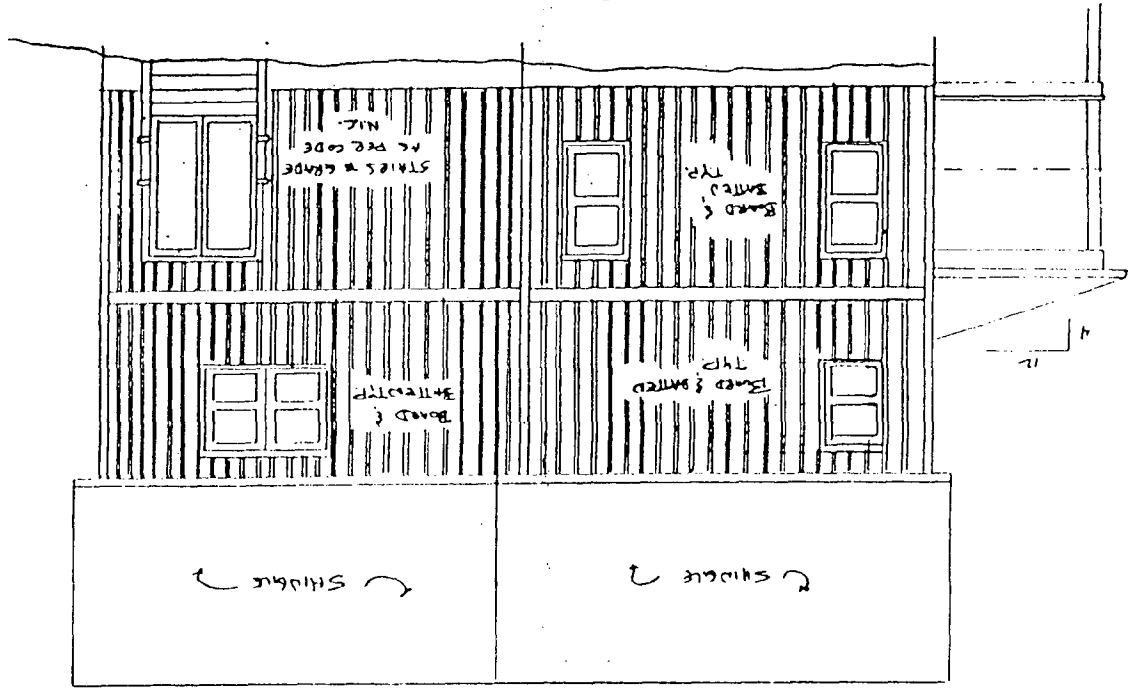
Submitted for 3/8/02 Meeting

DATE: 12/1/99	
DESIGNED BY: [Signature]	CHECKED BY: [Signature]
DRAWN BY: [Signature]	
PROJECT: DEBECKI CONSTRUCTION CO. LLC.	
SHEET: 45	

REAR ELEVATION  
1/4" = 1 FOOT



RIGHT SIDE ELEVATION  
1/4" = 1 FOOT



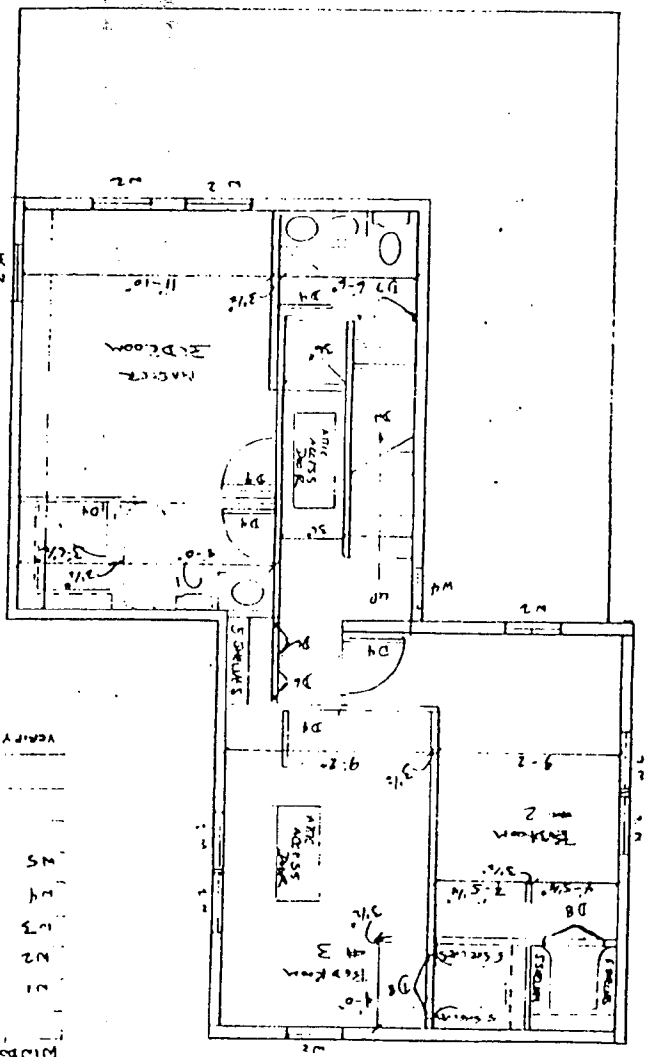


Submitted for 3/8/02 meeting

27  
 27  
 27

DATE: 12/1/99	APPROVED BY: [Signature]
SCALE:	DESIGNED BY: [Signature]
PROJECT: 232661 CONSTRUCTION CO. L.L.C.	
SHEET: 1	

Second Floor

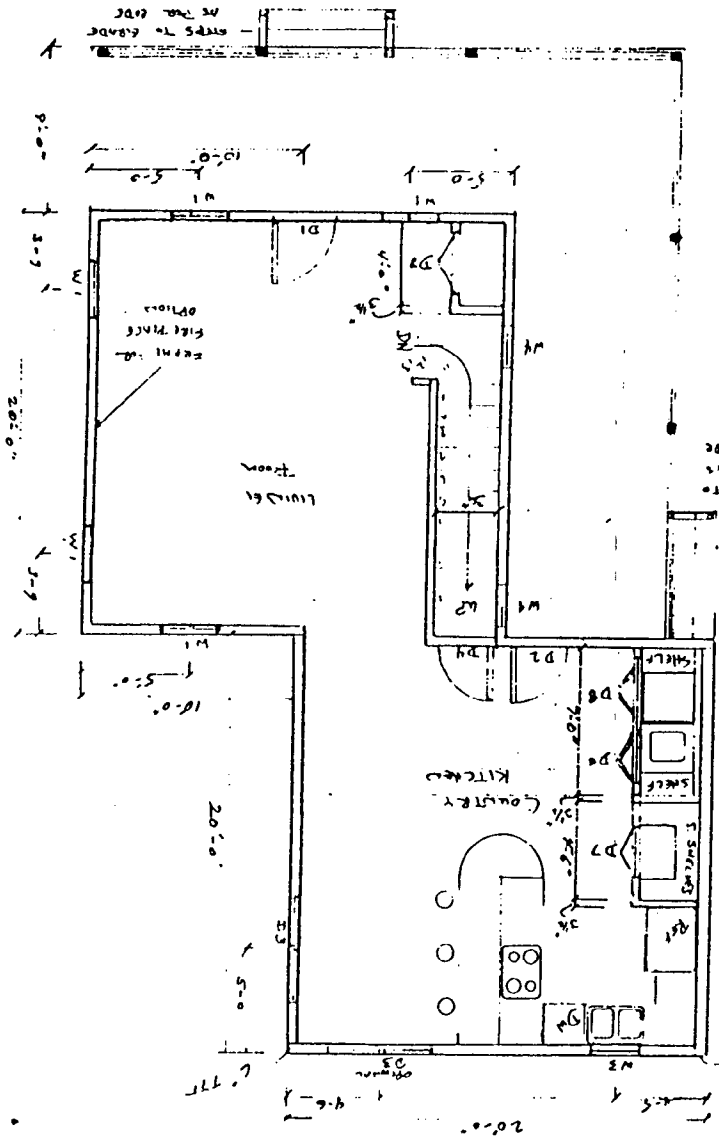


- ALL INTERIOR WALLS TO GC
- ALL WALLS SHEATHING TO RC
- ALL WINDOWS & DE HEADERS TO BE (2) 2x12 w 1/2 ply TYP
- ALL INTERIOR WALLS ARE TO BE 2x4 FRAMING
- POCK POSTS TO BE 2x4 BELOW FINISH GRADE TO HAVE AT LEAST 1x4 WATERLINE
- POCK POSTS TO BE 2x10 TYP

VERIFY EACH ANNOTATION AS PER THE D2 MARKING SHEET

WINDU SITE	D1	3.0x6.6 FIN
WINDU SITE	D2	1.8x6.9 FIN
WINDU SITE	D3	5.0x6.8 SHED
WINDU SITE	D4	2.6x6.8 FIN
WINDU SITE	D5	2.4x6.8 FIN
WINDU SITE	D6	2.0x6.8 FIN
WINDU SITE	D7	2.6x6.8 FIN
WINDU SITE	D8	3.0x6.8 FIN

First Floor





HISTORIC PRESERVATION COMMISSION STAFF REPORT

<b>Address:</b>	Lot 24, 26101 Frederick Road	<b>Meeting Date:</b>	06/14/00
<b>Resource:</b>	Hyattstown Historic District	<b>Report Date:</b>	06/7/00
<b>Review:</b>	HAWP	<b>Public Notice:</b>	05/31/00
<b>Case Number:</b>	10/59-2000C CONTINUED	<b>Tax Credit:</b>	No
<b>Applicant:</b>	Francis Asbeck (John and Christine DeReggi, Agents)	<b>Staff:</b>	Robin Ziek

**PROPOSAL:** Construction of New House

**RECOMMEND:** Approval W/CONDITIONS:

1. All exterior wood will be painted with paint or opaque stain.
2. A landscape plan will be submitted for HPC approval **prior to initiation of construction** which indicates the integration of the front sidewalk with the site development, existing trees to be preserved including those along the driveway/access road, and outlines a 20" 20 conservation area at the back of the property which will not be mowed to provide a forested boundary. FOOT
3. The porch railings will utilize inset pickets and a molded cap rail.

This project came before the HPC at the 3/8/00 meeting and was continued. HPC comments included a concern that the application was incomplete and that more detailed site plan information was required which would address grading and drainage concerns. In addition, there were comments about the house design, a request for a detail of the porch railing, and support for a front sidewalk which was not indicated on the site plan.

**PROJECT DESCRIPTION**

The Hyattstown Historic District is a linear town which was designated on the County's *Master Plan for Historic Preservation* in 1986. As noted in the preservation plan, *Vision of Hyattstown* (p.9), "the town was originally platted in 1798, and is significant as one of the largest groupings of relatively unaltered 19<sup>th</sup> century buildings in the county. Located along a single, tree shaded street, the district is a good example of the small roadside towns that sprang up along early highways to service the needs of travelers and nearby farm families."

The subject property (Lots 24, Part of 25, Part of 26) fronts Frederick Road, and was originally part of the yard for the neighboring bungalow. At the rear, the HPC has approved new construction on Lots 76, 77, and 78 for a single-family home with a large garage (August 18, 1999), which will soon be built.

The property slopes down from Frederick Road, and there is a concrete retaining wall supporting the road grade for much of the road frontage. There are two existing foundations, one of which runs along the road frontage north of the retaining wall, and one of which is in the middle of the property. The property drains from NW to SE, and includes an existing drainage culvert at the road's edge. The property is currently overgrown with many small trees, none of which are considered significant by MNCPPC environmental staff, although there are a few substantial trees adjacent to the driveway location.

## PROPOSAL

The applicant proposes to construct a new house on Lot 24, facing Frederick Road. The house is patterned after local vernacular house types (see Circle 17), and will be a 2-1/2 story, front gable house with a wrap-around porch. The house will be clad in board-and batten siding, and the roof will be sheathed in asphalt shingles. The proposed house plan is "Z" shaped, to respond to the diagonal layout of the property lines relative to Frederick Road. This also reflects the HPC's concern, as stated in a Preliminary Consultation for new construction on this property on 5/12/99, that any new house at this lot should face Frederick Road in a similar fashion to the other homes in the historic district.

The footprint of the house is 800 sf (see Circle 16), not including the wrap-around porch. There is no current proposal for a garage or any additional outbuildings, but there is a driveway off of the access driveway from Frederick Road (which will also serve the new house to the rear), with a parking area to be paved.

The concrete retaining wall along Frederick Road will be retained. WSSC will be constructing a storm drain inlet under this retaining wall (see Circle 16), and the applicant is proposing to use the top of this as an entry for steps down to their front walk, leading up to the front porch (see Circle 16). The two existing foundations on the north side of the property will be removed (see "T.B.A. Ex. Foundation" on Circle 14). The drawing on Circle 14 indicates that 4 large trees will be retained on the property. It is staff's understanding that the mature trees along the access drive will also be protected, but this is not indicated on the drawing. The grading appears to be limited along the south side of the property, and perhaps the tree cover in this area will also be retained.

The elevation of the road in the middle of the road frontage is approximately 450'. The finished first floor elevation for the new house is 443.5', with front corner elevations of 442.5' and 442.7' (see Circle 14). The property will be graded to slope evenly down from the road to the back of the property. The surface water will be encouraged to collect at the lowest point on the access drive (445.9') and flow past a storm sewer intake, and any excess water will move along the back of the property as is basically the current condition.

The porch railing has a 2 x 6 cap rail, and 2 x 2 pickets which are nailed directly to the ledgers (see Circle 23). No finishes are indicated, for the railing or for the house itself.

## STAFF DISCUSSION

This new construction will not disrupt the existing pattern of development which defines the character of this rural village. It meets the development standards which are outlined in the *Vision of Hyattstown* (see Circle 15):

1. ***Preservation of significant historic patterns of development.***  
This includes maintaining the existing residential use fronting Frederick Road. The applicants are proposing a 41' front yard set back which is consistent with the 25' to 40' front yard set back typical of the pattern for the existing historic houses fronting the road. A front sidewalk will lead from Frederick Road to the front porch.
2. ***Maintaining the rural village quality in Hyattstown.***  
The applicants are proposing to construct a small new house that is patterned on existing house types found in this historic district. Staff is of the opinion that the small size and modest design will not be intrusive to the Historic District, and will complement the existing house types.
3. ***Preserving and maintaining the trees that contribute to the character of the Historic District.***  
This applies first and foremost to the street trees which line Frederick Road, and then to the wooded lots behind the residences. There are no street trees which will be affected by this new construction. While the proposed new construction will alter the appearance of this wooded lot by clearing much of the small "volunteer" growth, the proposed house will be sited to avoid disturbing any of the mature trees larger than 6" in diameter which fall within the purview of the HPC.

Staff still has some concerns about details of the project, although the overall approach is compatible with the district. The applicant has not resolved the integration of the front sidewalk into the site, as the proposed sidewalk goes right through a 20" locust tree. Staff notes that there may be some new landscape work, but no information has been provided about new trees to be planted, or the general approach to re-landscaping what is a forest-covered lot. In addition, staff notes that the new construction on the back lots "Part of Lot 78", Lot 77 and Lot 76, which was approved by the HPC, would be readily visible from Frederick Road once the subject property is developed. Staff recommends that a conservation area be delineated on the back of this property, spanning all three lots, which would be restricted in terms of mowing. This is typically stipulated by environmental staff as a strategy to allow natural regrowth to take place. Such a conservation area would grow up within a few years and provide a forest backdrop for the Asbeck House, as well as screen the new house in the upper meadow.

Staff notes that, after consideration of the HPC comments, the applicant has not modified the design of the house, noting that additional windows would end up in closets. There is also a discrepancy regarding the height of the house above grade in that only 2 front steps are indicated on the plan (see Circle 19), but 4 steps are shown on the elevations (see Circle 17). Staff notes that the difference in elevation from the finished first floor level (443.5') and grade in front of the porch (442.5') is only 1', so that two steps would be needed at the most in the front of the house. These details should be clarified on the construction documents before the applicant proceeds to the building permit application, as it is expected that the house will be built as approved.

(see Circle  
24-27)

## STAFF RECOMMENDATION

Staff recommends that the Commission **approve**, with the following conditions, the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,  
and with the *Secretary of the Interior's Standards for Rehabilitation #2*:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and with the *Secretary of the Interior Guidelines #9*:

New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spacial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the *Secretary of the Interior Guidelines #10*:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## CONDITIONS:

1. All exterior wood will be painted with paint or opaque stain.
2. A landscape plan will be submitted for HPC approval **prior to initiation of construction** which indicates the integration of the front sidewalk with the site development, existing trees to be preserved including those along the driveway/access road, and outlines a 20" conservation area at the back of the property which will not be mowed to provide a forested boundary.
3. The porch railings will utilize inset pickets and a molded cap rail.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD  
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Christine/John DeReggi  
Daytime Phone No.: 240-876-1753/1752

Tax Account No.: 16-02-24040  
Name of Property Owner: FRANCIS X. ASBECK Daytime Phone No.: 301-972-0511  
Address: 14715 OLD BALTIMORE RD, BOYDS MD 20841  
Street Number City State Zip Code  
Contractor: DEREGGI CONSTRUCTION Co. Phone No.: 240-876-1752  
Contractor Registration No.: 3380  
Agent for Owner: John DeReggi Daytime Phone No.: 240-876-1752

**LOCATION OF BUILDING/PREMISE**

House Number: 26101 Street: FREDERICK RD.  
Town/City: CLARKSBURG Nearest Cross Street: 109 E 355  
Lot: 2A Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: 14997 Folio: 352 Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 175,000.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] \_\_\_\_\_ 5/24/00 \_\_\_\_\_  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 219759 Date Filed: 3/24/00 Date Issued: \_\_\_\_\_

(5)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EMPTY LOT W/ REMNANTS OF AN OLD FOUNDATION.  
SEVERAL BOX ELDER TREES ON LOT. WE PROPOSE TO BUILD  
A TWO STORY SINGLE FAMILY RESIDENCE WITH A FRONT  
PORCH. IT SHOULD FIT IN WELL WITH NEIGHBORING STRUCTURES.  
FOOTPRINT OF 800 SF.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THIS TWO STORY RESIDENCE SHOULD FIT IN WELL WITH  
NEIGHBORING STRUCTURES. ALL WOOD DOORS, WINDOWS,  
SIDING.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Address: 26101 Frederick Road

Meeting Date: 3/8/00

Adjacent and confronting Property owners:

Francis Asbeck  
14715 West Old Baltimore Road  
Boys, MD 20841

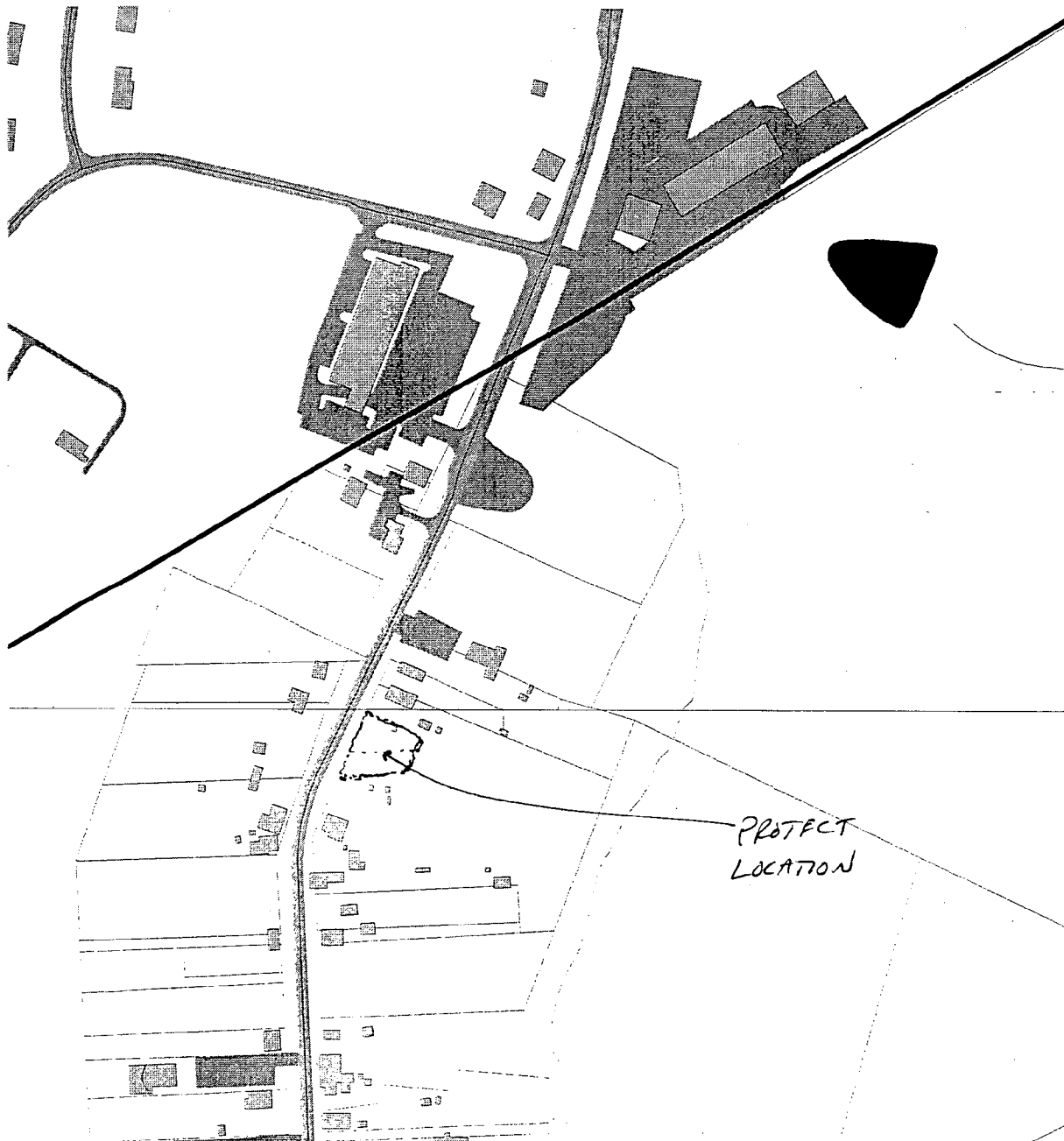
John & Christine DeReggi  
21000 Clarksburg Road  
Boys, MD 20841

Giselle & Dan Butts  
26029 Frederick Road  
Hyattstown, MD

Paul & T. Hawse  
26111 Frederick Road  
Hyattstown, MD

Patrick & Rosanne Casselman  
26038 Frederick Road  
Hyattstown, MD

# NORTH HYATTSTOWN



### Casual User Application

**Notice:**  
 The planimetric, property, and topographic information shown on this map is based on copyrighted Map Products from Montgomery County Department of Park and Planning of the Maryland-National Capital Park and Planning Commission, and may not be copied or reproduced without permission from MNCPPC.  
 Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:14,400 scale aerial photography using stereo photogrammetric methods.  
 This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All map features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended.  
 Copyright © 1998  
 MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING  
 10000 WOODLAND AVENUE, SUITE 100, ROCKVILLE, MARYLAND 20850  
 WWW.MCPC.GOV



### Legend

- Street Centerlines
- Text 3/16" High Text
- 3/16" High
- Buildings
- Green Boundary
- Parking Lot
- Resumes
- Cultural
- Solid Area
- Permanent Highway
- Temporary Highway - Lane
- BVA
- BVA
- Highway - Park
- Beach

Scale: 1" = 270'



9

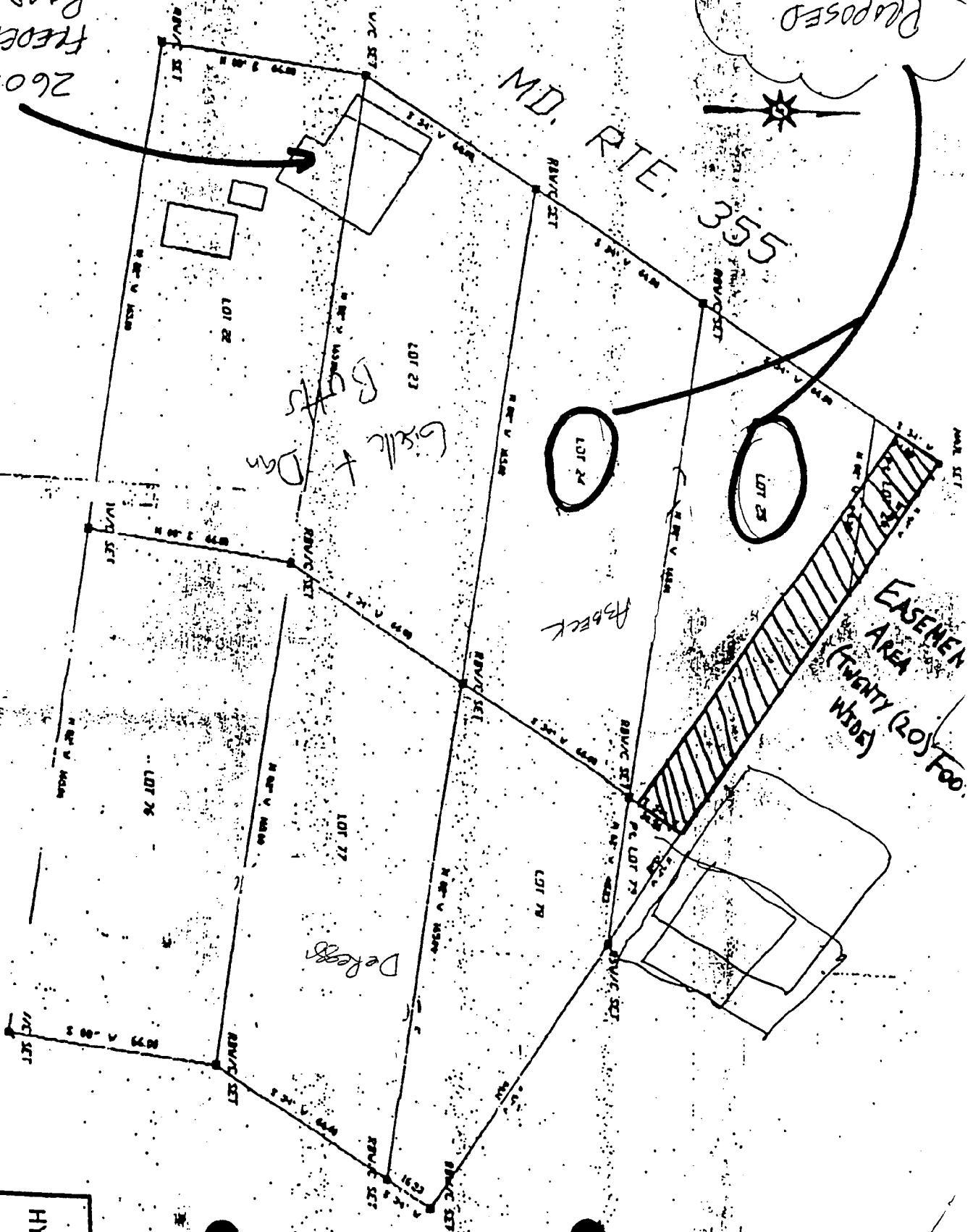
APPENDIX "C"

PROPOSED SITE  
LOTS 24+25



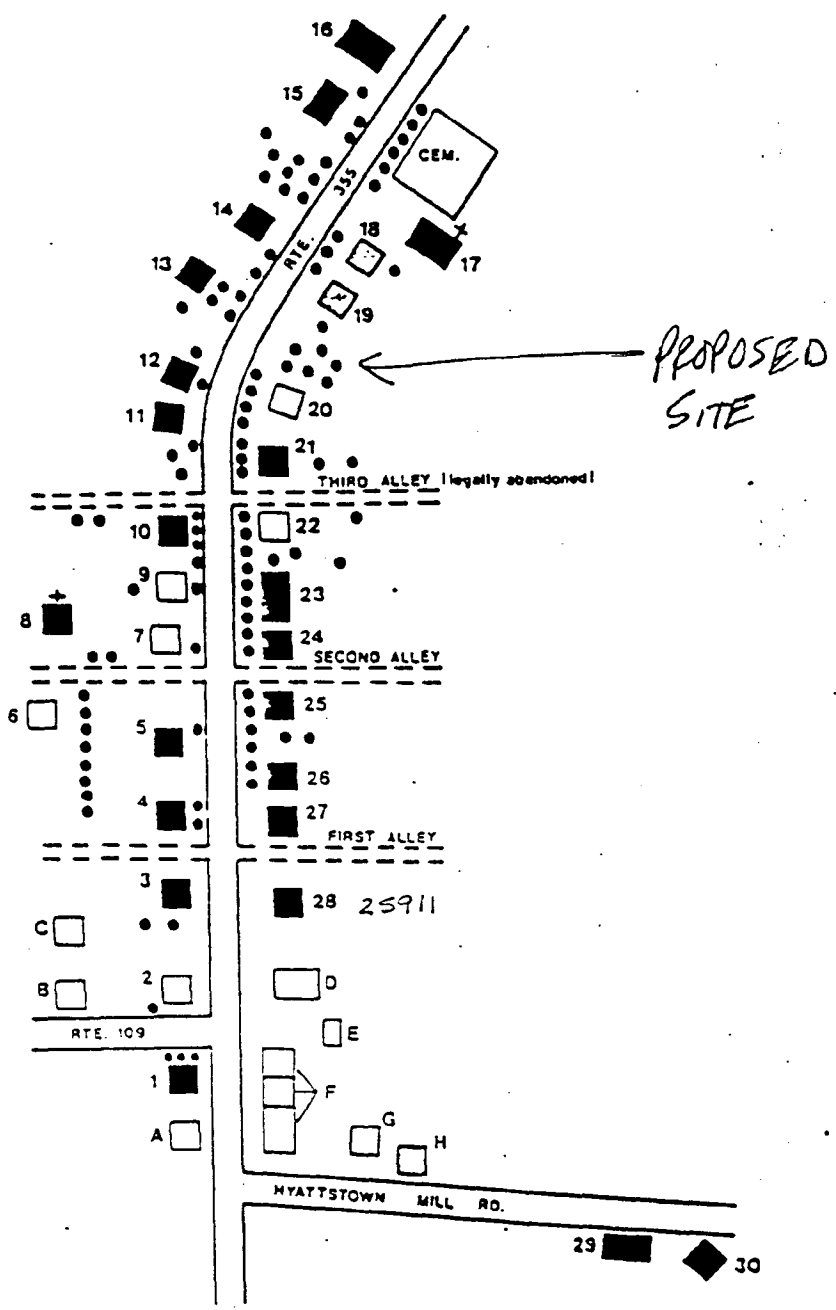
MD. RTE. 355

26029  
FREDRICK ROAD



HYAT	0
0	0
0	0
0	0





**District Resources**

- Primary 1810-1890
- Secondary 1890-1940
- Contemporary 1940-1970
- Large Trees Over 12' in Diameter

**HYATTSTOWN HISTORIC DISTRICT**

March 1987

**Fig. 2**

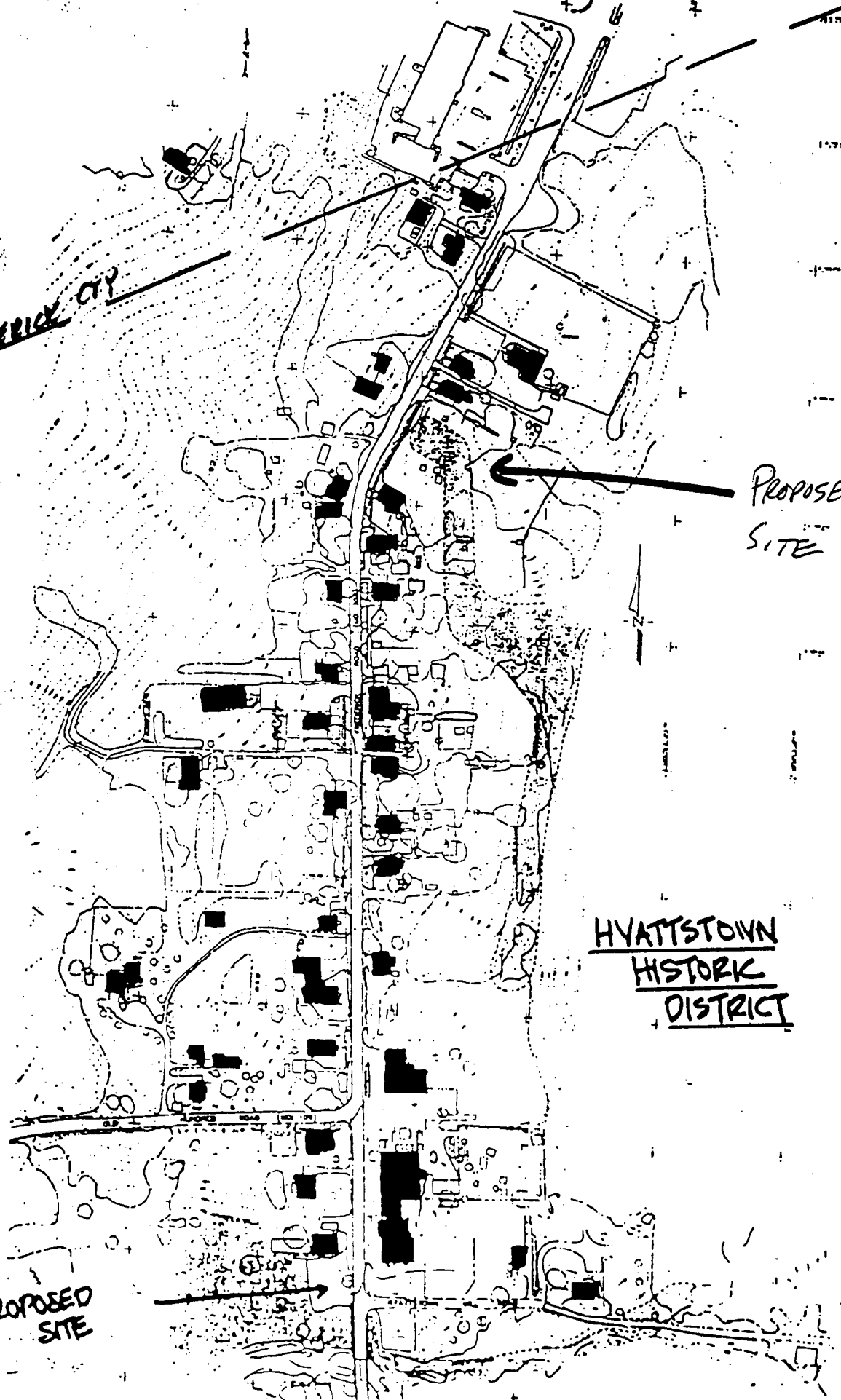
FREDERICK CITY

PROPOSED SITE

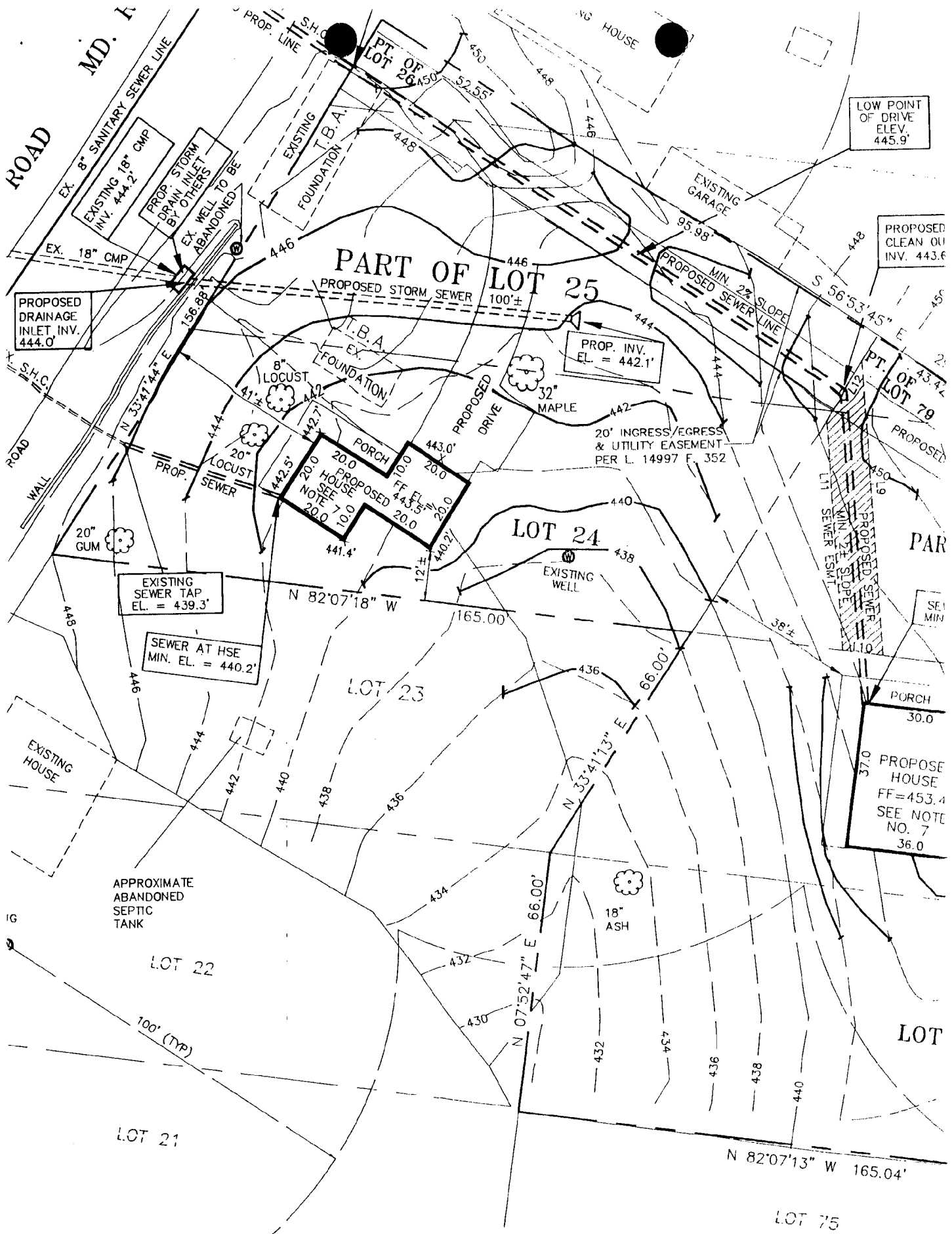
HYATTSTOWN  
HISTORIC  
DISTRICT

PROPOSED SITE

12







SITE PLAN - DETAIL

## The Historic Residential Core

The Historic Residential Core encompasses the pattern of development which defines the character of this intimate rural village. Within this area there are two different patterns of building siting. One pattern applies to the residential structures along Frederick Road where shallow front yard setbacks on each side of the road are a typical feature which helps to define the intimate village quality of the community. In addition, there is a fairly consistent rhythm of spacing between buildings on both sides of Frederick Road which provides a sense of order and completeness to the community. The other predominant pattern occurs in the siting relationships of churches in the district. Typically, churches in the district are deeply setback from the road providing a break in the streetscape, as well as communal open spaces. Also important to the feeling and character of this area are the existence of large mature trees which help to define the streetscape of the district. Within this area the following strategies are suggested to preserve the characteristics of the district:

Strategy 1.1: Satisfy the minimum conditions for water and sewer to ensure the future viability of the community. The long-range goal should be to supply the district with the level of utility service needed to meet necessary health and safety standards. However, a short-term solution should be found to enable vacant historic resources to be reused to prevent their deterioration. It is suggested that citizens and the County Preservation Staff work with Health officials identify short-term alternatives which will allow historic buildings to be reused without endangering public health and safety.

Strategy 1.2: Preservation of significant patterns of development encourage that any additional development within the Historic Residential Core be compatible with the characteristic pattern of development. Based on the analysis of lot characteristics of primary resources in this area the following criteria are suggested for limiting new residential construction to the extent feasible:

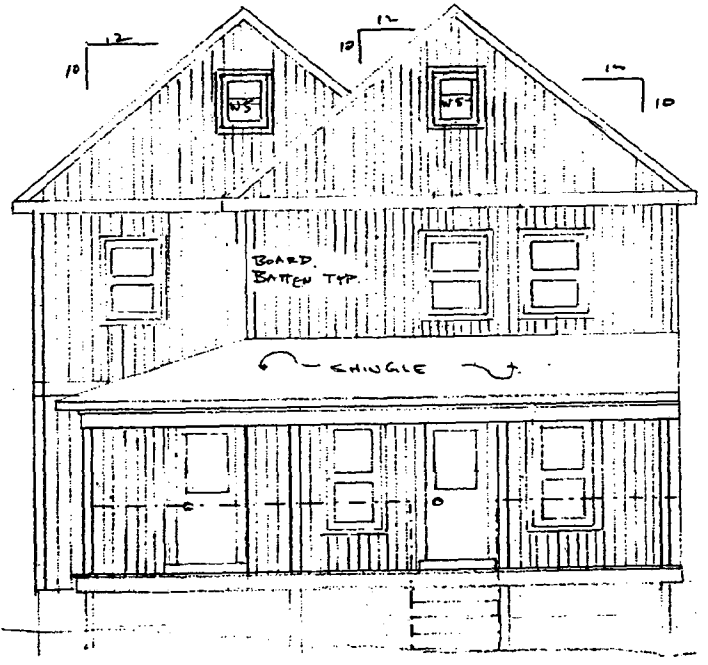
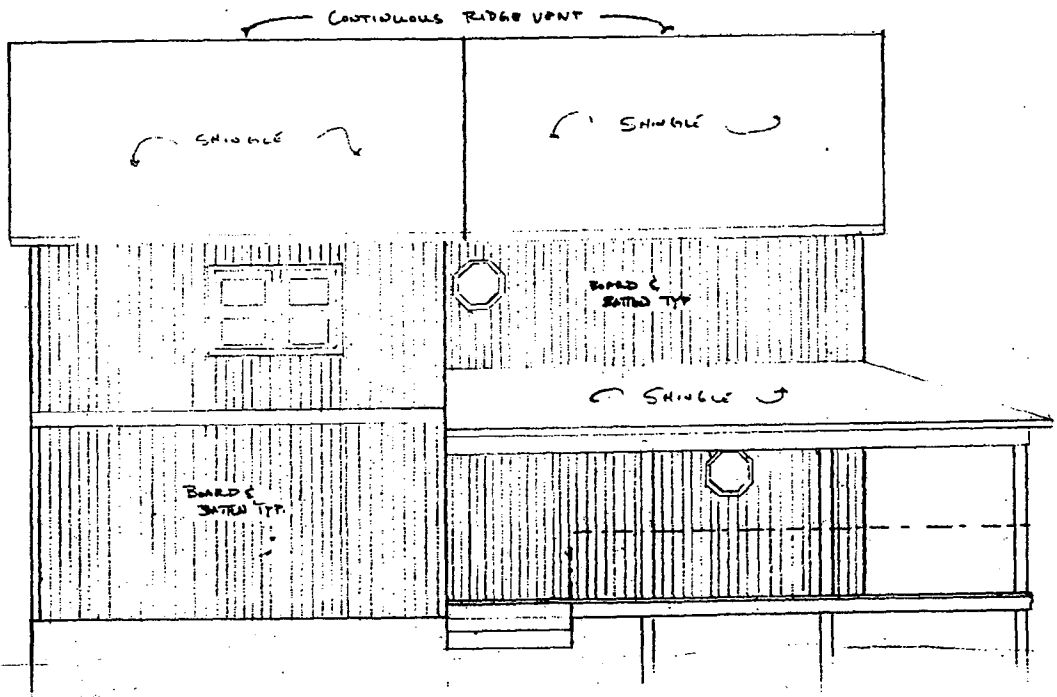
- + Residential uses fronting Frederick Road - front yard setbacks of 25 to 40 feet are typical of the pattern for the existing historic houses fronting the road. New buildings should be sited to fit within this rhythm of building spacing.
- + Institutional uses fronting Frederick Road - as appropriate, new institutional uses should follow the setback relationships exhibited in the siting of the historic churches, characterized by deeper setbacks making these buildings less prominent in the streetscape of the community.

Strategy 1.3: Develop a rehabilitation program to stabilize and improve deteriorating and substandard buildings in the area. The object of such a program should be to prevent the loss of important historic elements within the district. As envisioned, such a program could involve property owners and the County government to overcome the cost impediments to rehabilitation work.

- + Explore the creation of a County assistance program to provide building materials to qualifying owners of historic properties at or near wholesale costs.
- + Develop additional incentives to encourage rehabilitation of deteriorating structures considered important to the District.







FRONT ELEVATION

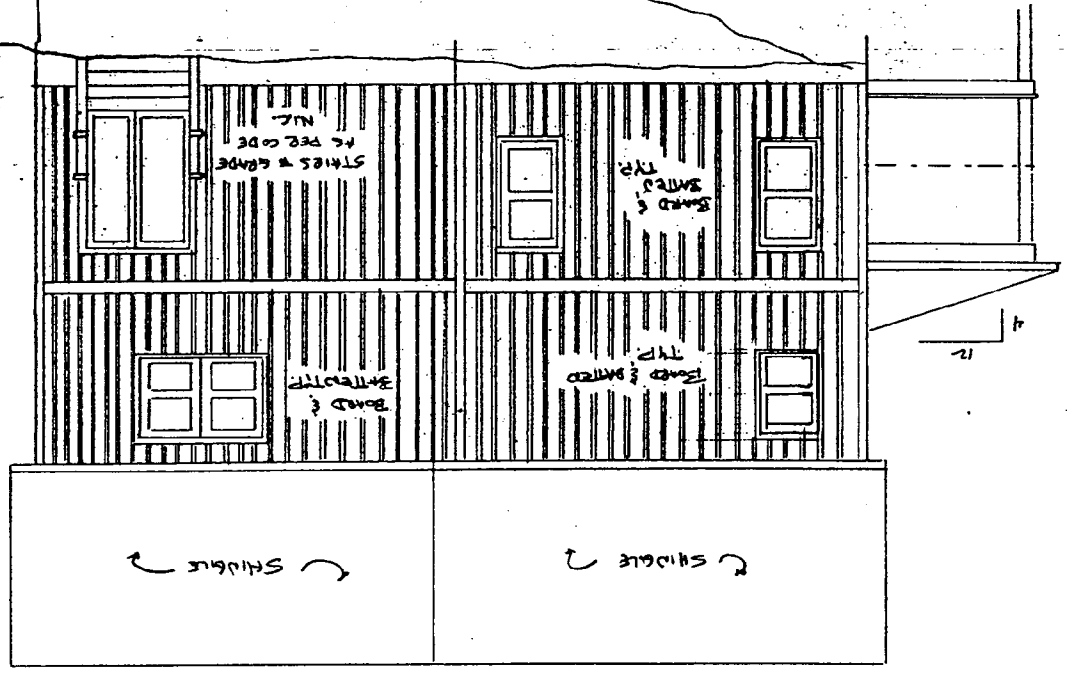
- ALL SIDING TO BE 1" BOARD AND BATTEN
- ALL ROOFING TO BE STANDARD 3 TAB 25 YR SHINGLE
- ALL OUTSIDE CORNER BOARDS TO BE 1 X 6
- ALL EAVE AND RAKE BOARDS TO BE 1 X 6
- ALL DOORS AND WINDOWS TO BE ALL WOOD CONSTRUCTION
- EXTERIOR DOORS TO BE RAISED PANEL W/ INSULATED GLASS
- ELECTRICAL PANEL LOCATION TO BE SITUATED IN LEAST CONSPICUOUS AREA MEETING ANY NEC LOCAL CODE

<b>ASBECK</b>		
SCALE:	APPROVED BY:	DRAWN BY: <i>ASB</i>
DATE: 12/1/99		REVISED:
<b>DEREGGI CONSTRUCTION CO. L.L.C.</b>		
		CONTRACT NUMBER: <b>A4</b>

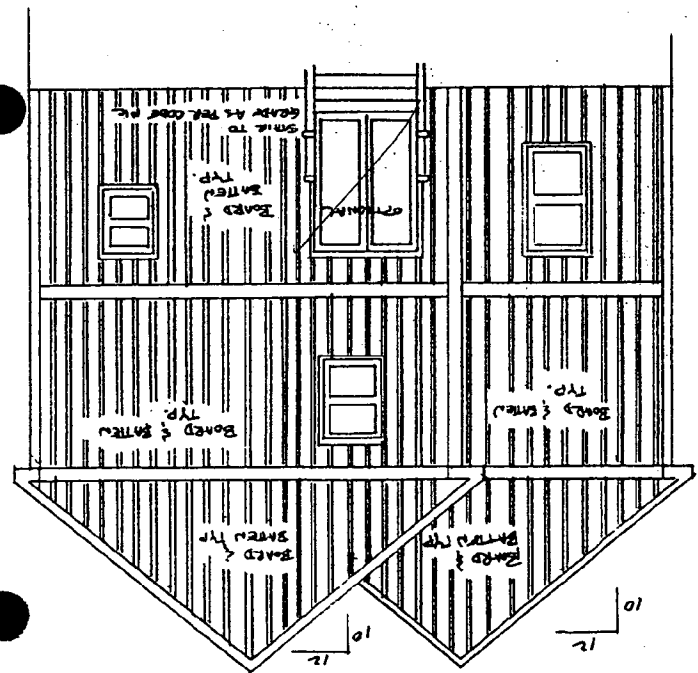
DATE: 12/1/99	PROJECT: 131/99
SCALE: AS SHOWN	DATE: 12/1/99
DERRICK CONSTRUCTION Co. LLC.	
A-S-BECK	

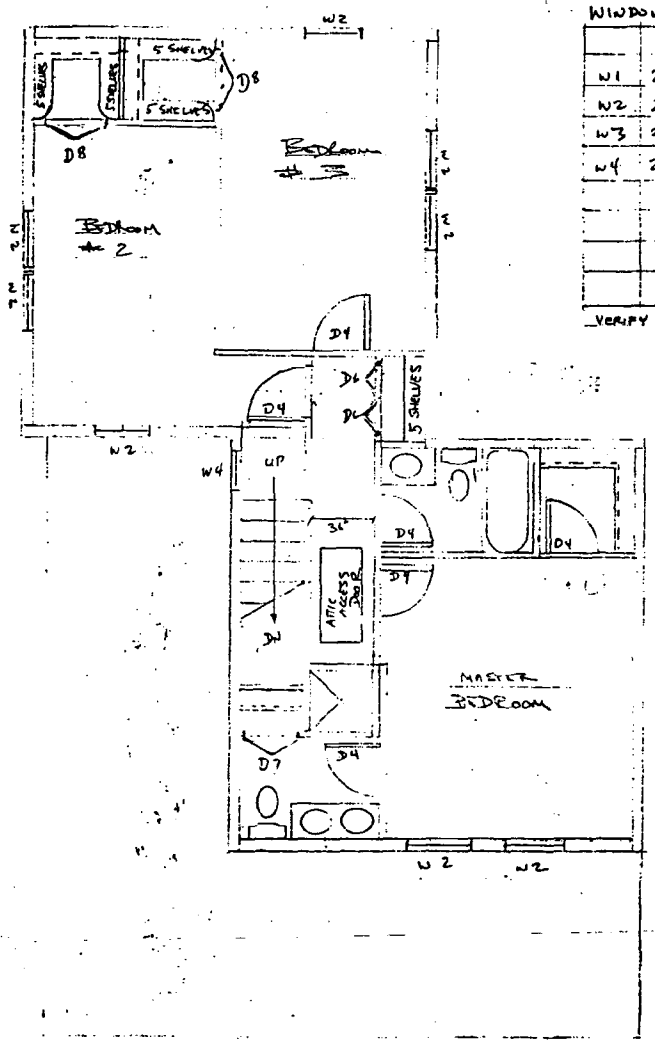
8' expose

RIGHT SIDE ELEVATION 1/4" = 1 FOOT



REAR ELEVATION 1/4" = 1 FOOT





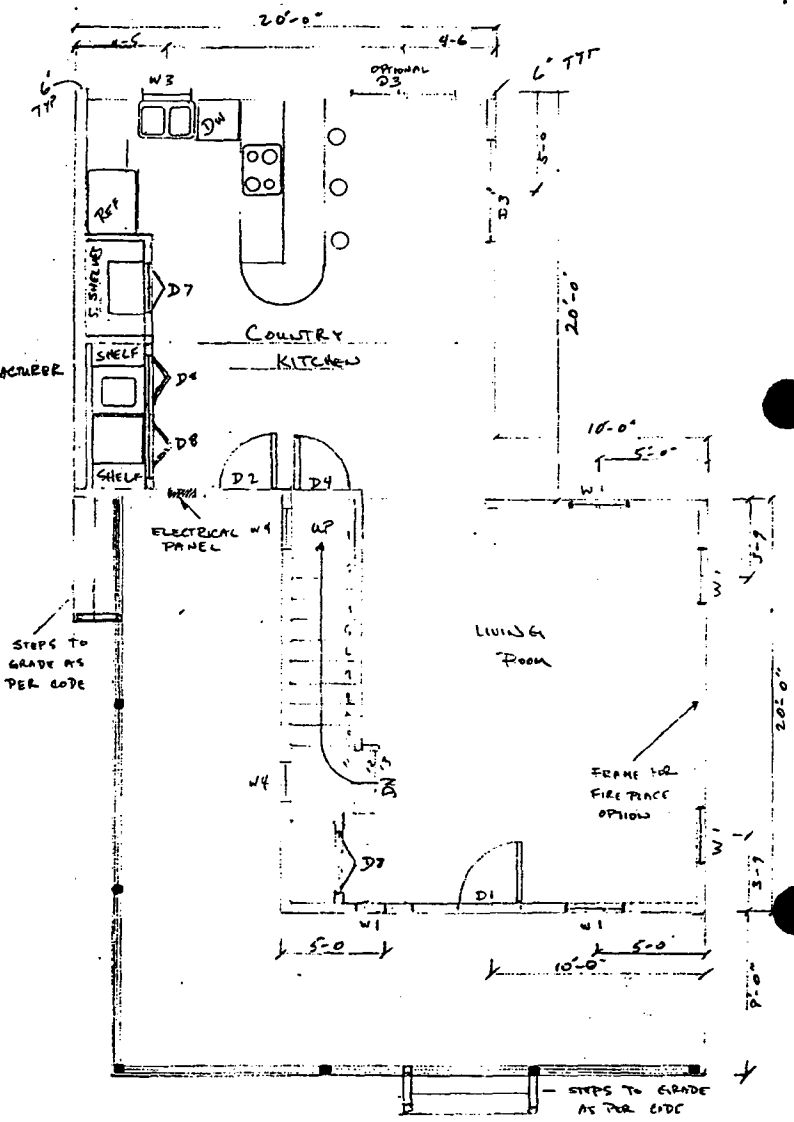
SECOND FLOOR

WINDOW & DR. SCHEDULE

WINDOW	WINDOW SIZE	DOOR	DOOR SIZE
W1	2-8 x 5-2	D1	3-0 x 6-8 EXT.
W2	2-9 x 3-10	D2	2-8 x 6-8 EXT.
W3	2-7 x 3-2	D3	5-0 x 6-8 SUPDL
W4	2-0 x 0-0	D4	2-6 x 6-8 INT.
		D5	2-4 x 6-8 INT.
		D6	2-0 x 6-8 BIFOLD
		D7	2-6 x 6-8 BIFOLD
		D8	3-0 x 6-8 BIFOLD

VERIFY RUGH OPENINGS AS PER PLAN FOR MANUFACTURER

- ALL EXTERIOR WALLS TO BE 2x6 FRAMING
- ALL WALL SHEATHING TO BE 1/2" PLYWOOD W/TYP.
- ALL WINDOW & DOOR H.DRS. TO BE (2) 2x12 TYP.
- ALL INTERIOR WALLS ARE TO BE 2x4 FRAMING
- PORCH POST PER FOOTINGS TO BE 2x4 B.F.G.
- ALL STEPS TO GRADE TO HAVE AT GRADE FOOTINGS
- ALL PORCH POSTS TO BE 4x4 PT. WRAPPED WITH 1x MAT
- PORCH HEADERS TO BE (2) 2x10 TYP.



FIRST FLOOR

ASBECK		
SCALE:	APPROVED BY:	DRAWN BY: <i>[Signature]</i>
DATE: 12/1/99		REVISED:
DEREGG CONSTRUCTION CO. L.L.C.		
DRAWING NUMBER:		A-2

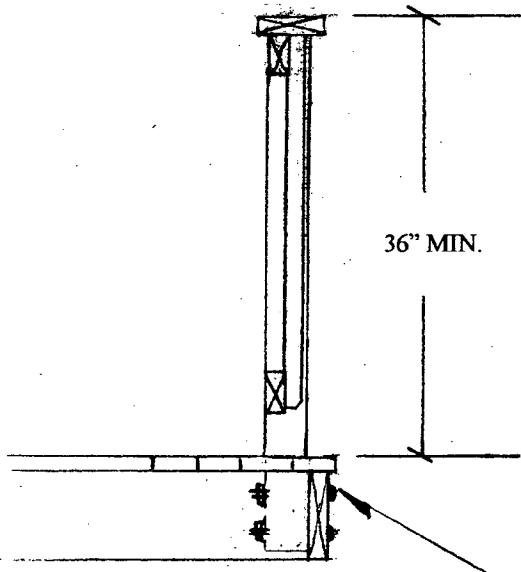




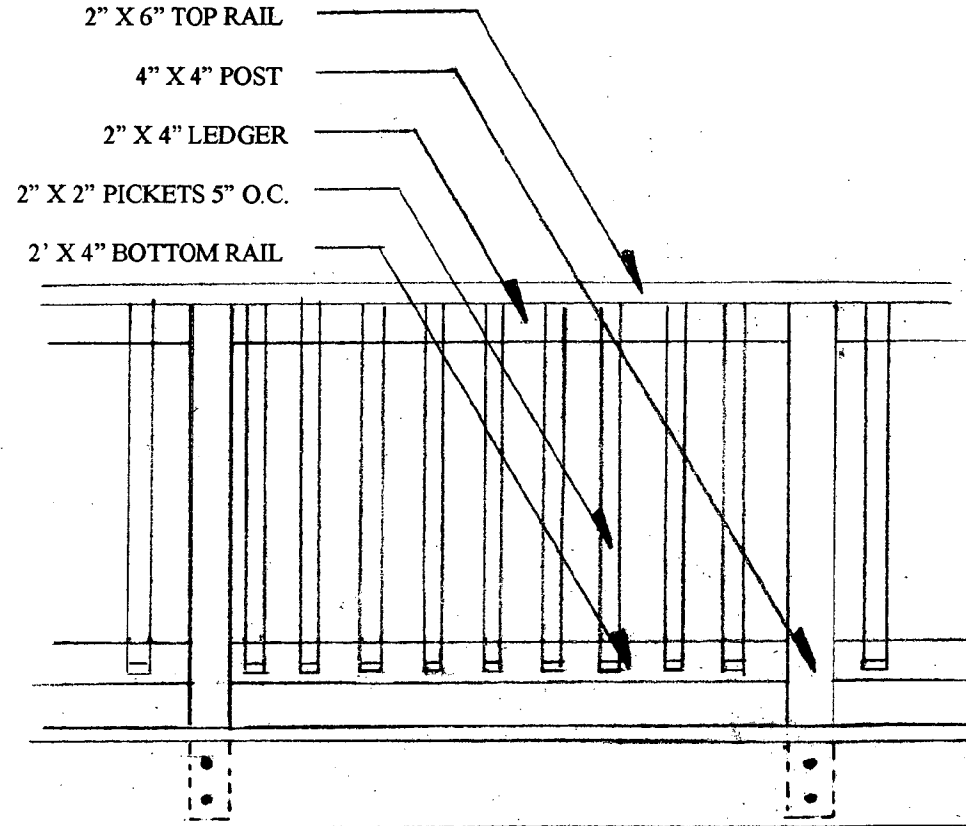


GUARDRAILS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT ON PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW. GUARDRAILS ARE REQUIRED ON OPEN SIDES OF STAIRWAYS. RAISED FLOOR AREAS, BALCONIES AND PORCHES SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES WHICH WILL NOT ALLOW PASSAGE OF AN OBJECT 4 INCHES IN DIAMETER.

NOTE: OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED FROM THE NOSING OR THE TREADS

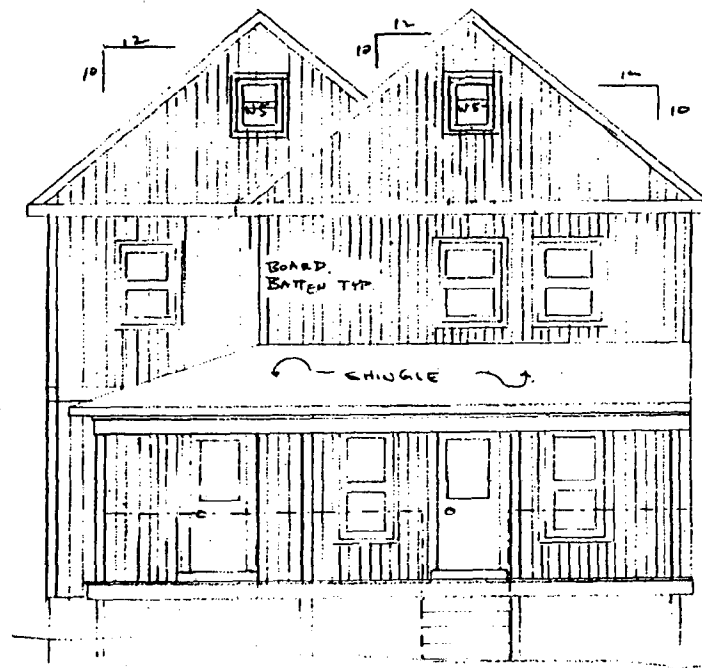
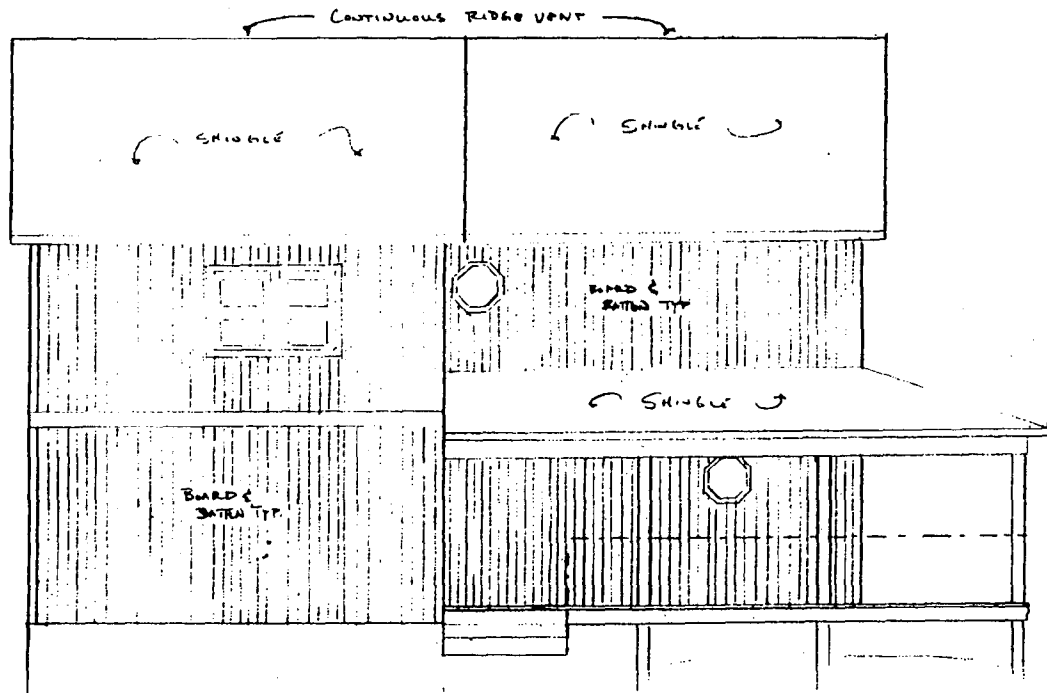


(2) ½" BOLTS AT EACH POST



EITHER PIER FOOTINGS WITH POST AND BEAM SUPPORT OR CONTINUOUS FOOTER WITH CMU WALL AND SILL TO CODE

22



FRONT ELEVATION

- ALL SIDING TO BE 1" BOARD AND BATTEN
- ALL ROOFING TO BE STANDARD 3 TAB 25 YR SHINGLE
- ALL OUTSIDE CORNER BOARDS TO BE 1x6
- ALL FACIA AND RAKE BOARDS TO BE 1x6
- ALL DOORS AND WINDOWS TO BE ALL WOOD CONSTRUCTION
- EXTERIOR DOORS TO BE RAISED PANEL w/ INSULATED GLASS
- ELECTRICAL PANEL LOCATION TO BE SITUATED IN LEAST CONSPICUOUS AREA MEETING ANY NEC LOCAL CODE

↑ Lynn notes  
this elevation is  
very bare.

<b>ASBEX</b>		
SCALE:	APPROVED BY:	DRAWN BY:
DATE: 12/1/99		REVISED:
<b>DEREGGI CONSTRUCTION CO. L.L.C.</b>		
		DRAWING NUMBER <b>A4</b>

~~15~~  
211

Submitted for 3/8/00 meeting

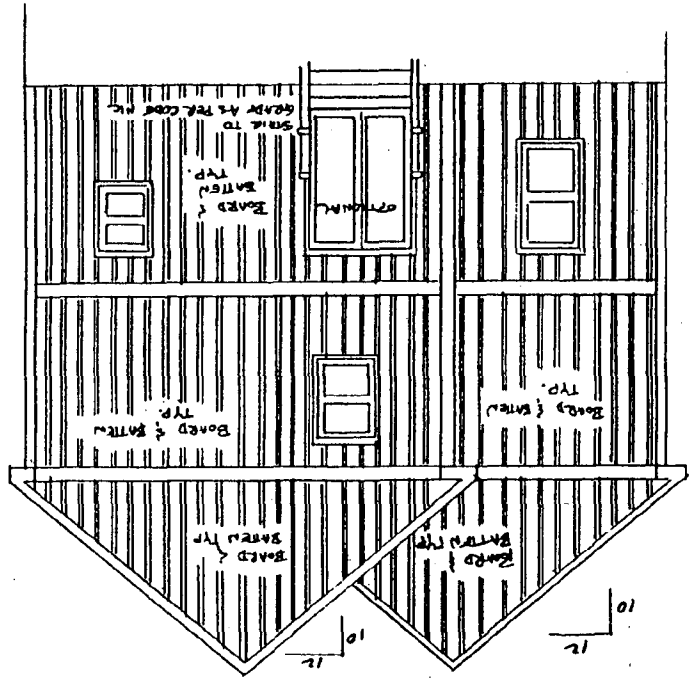


Submitted for 3/8/00 Meeting

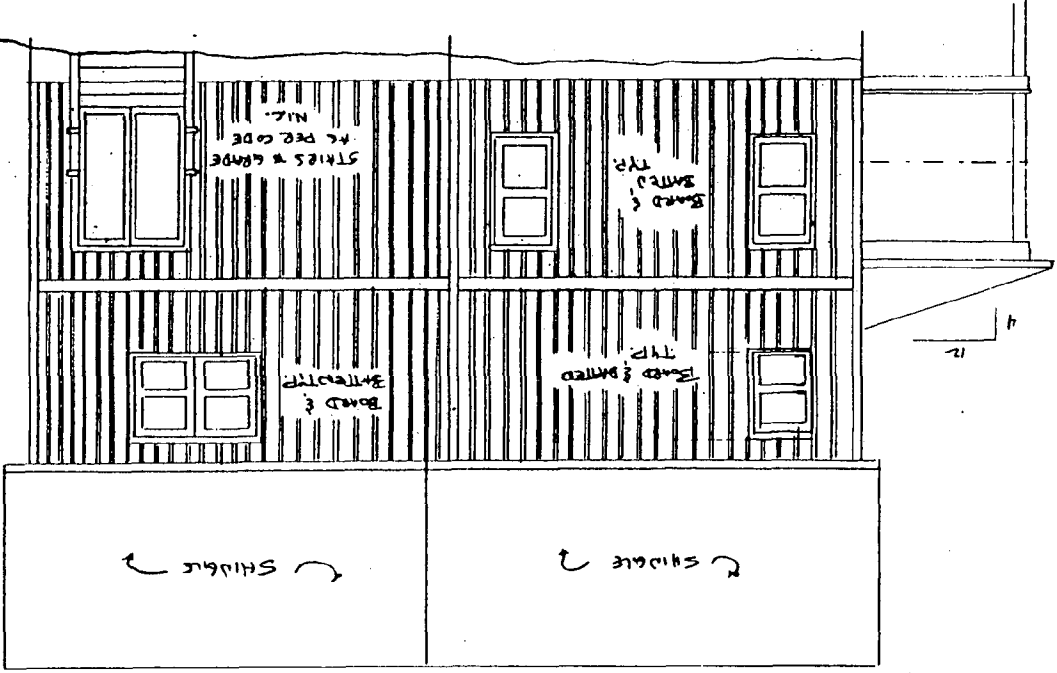
52

DRAWING NUMBER A-5	
DESIGNER DERRICK CONSTRUCTION CO. LLC.	
DATE: 12/1/99	SCALE:
APPROVED BY:	DRAWN BY:
HRSBCK	

REAR ELEVATION  
1/4" = 1 FOOT



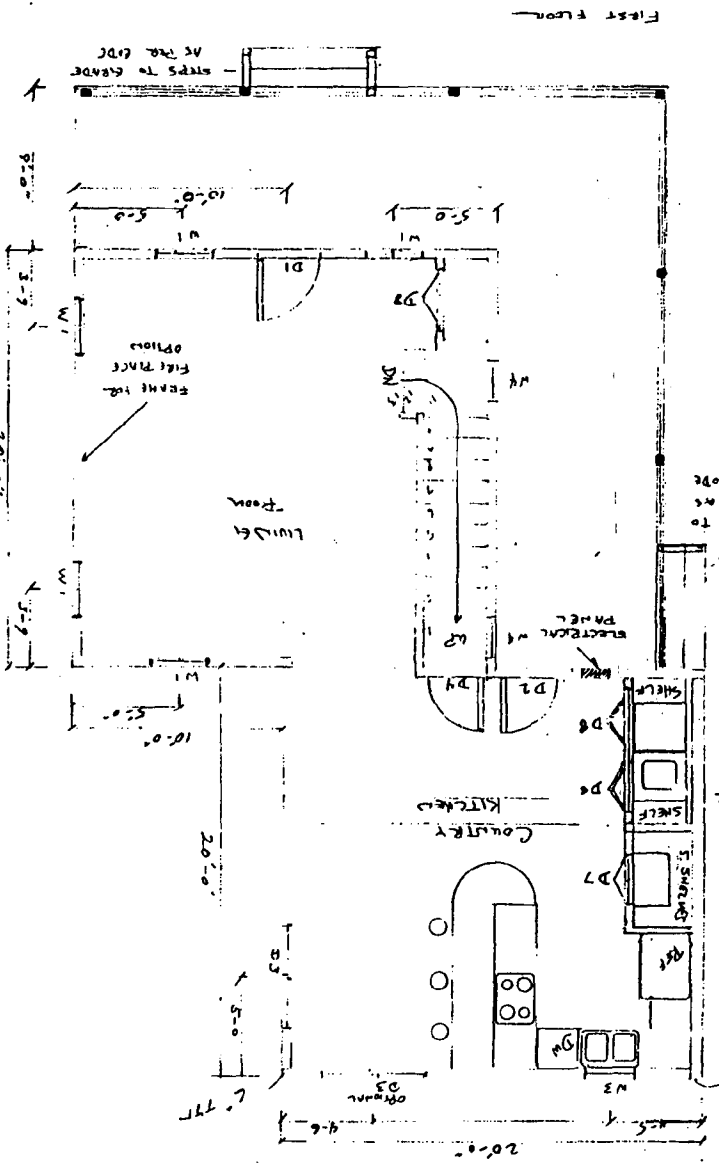
RIGHT SIDE ELEVATION  
1/4" = 1 FOOT



Submitted for 3/8/00 meeting

17  
92

DATE: 12/6/99	APPROVED BY:
SCALE: 1/8" = 1'-0"	DRAWN BY:
JRSBCK	
226661 CONSTRUCTION CO. L.L.C.	
DRAWING NUMBER	
# 2	

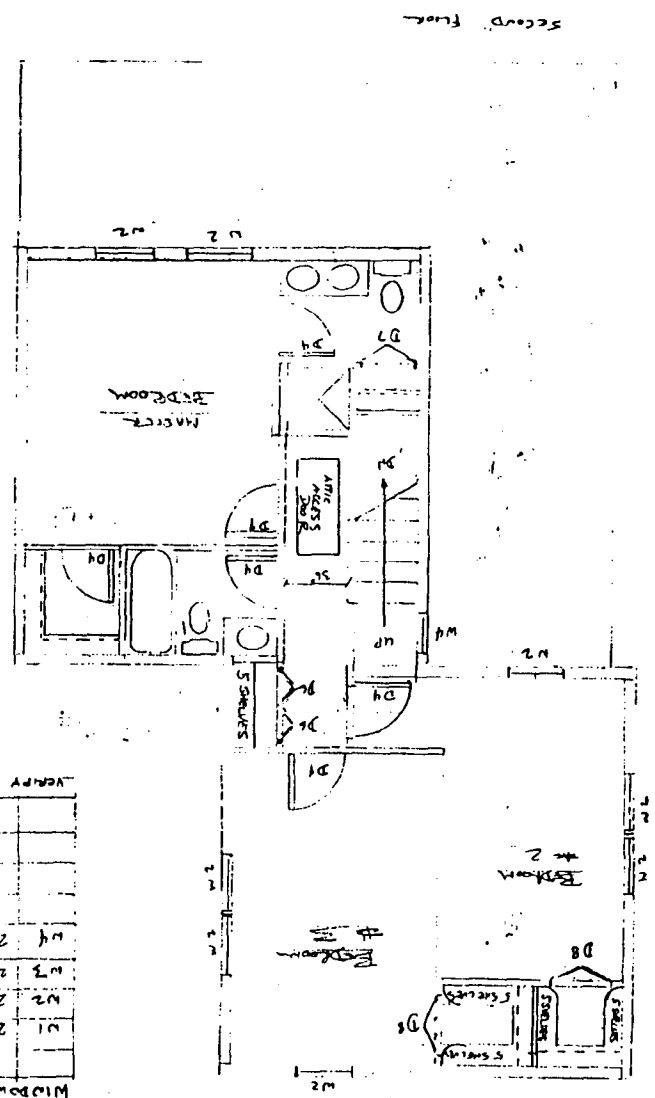


- All exterior walls to be 2" C. Ferrous
- All wall sheathing to be 1/2" Plywood w/ Tyvek
- All window & door H.D.S.
- To be (2) 2x12 TYP
- All interior walls are to be 2x4 framing
- Patch for the footings to be 2" dia.
- All steps to grade to have at grade footings
- All patch posts to be 4x4 PT. wrapped with 1x MAT
- Patch headers to be (2) 2x10 TYP

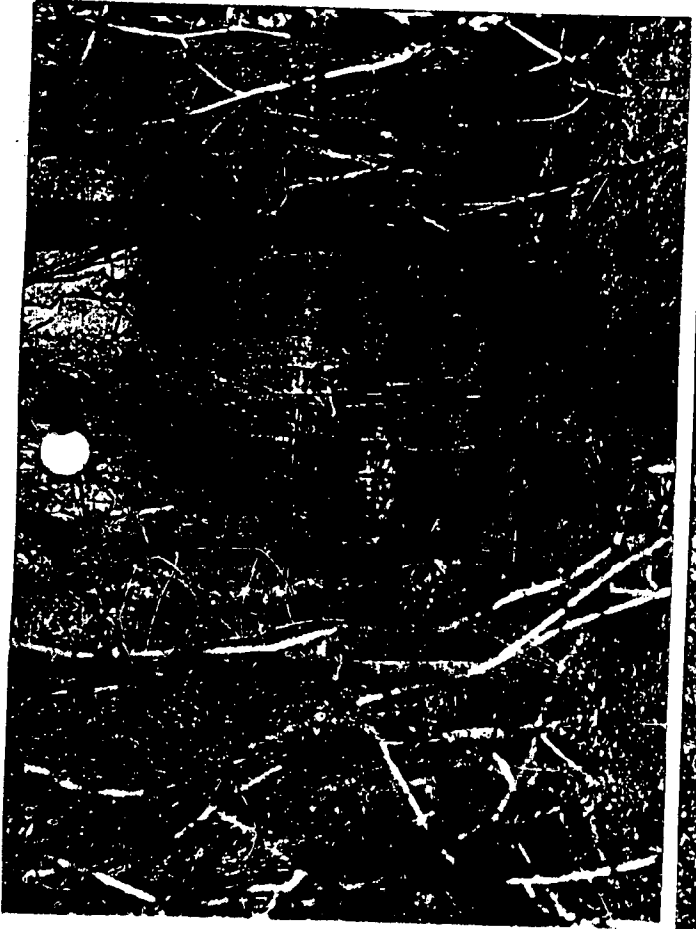
WINDOW & DR. SCHEDULE

Window size	Unit	Material
D1	2'-8" x 5'-2"	5-0 x 6-8 EXT
W2	2'-5" x 3'-10"	2-8 x 6-8 EXT
W3	2'-4" x 3'-2"	5-0 x 6-8 SHED
W4	2'-0" x 0'-0"	2-6 x 6-8 INT
D5	2'-4" x 6'-8" INT	2-6 x 6-8 INT
D6	2'-0" x 8'-6" Field	2-0 x 8-6 Field
D7	2'-6" x 6-8 Field	2-6 x 6-8 Field
D8	3'-0" x 6-8 Field	3-0 x 6-8 Field

VERIFY ROOM #S PROVIDES AS PER PLAN FOR MAIN FLOOR

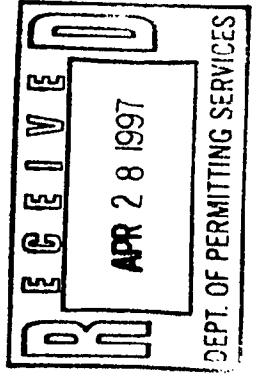






II-H

Coon crib view  
from public  
right of way



Sheds view  
from public  
right of way



Coon crib +  
sheds viewed  
from neighbors

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address: 26101 Frederick Road Meeting Date: 3/8/00  
Applicant: Francis X.Asbeck Report Date: 3/1/00  
(John & Christine DeReggi, Agent)  
Resource: Hyattstown Historic District Public Notice: 2/24/00  
Review: HAWP Tax Credit: No  
Case Number: 10/59-00C Staff: Robin Ziek

**PROPOSAL:** Construction of new house

**RECOMMEND:** Approval w/conditions

---

Adjacent and confronting Property owners:

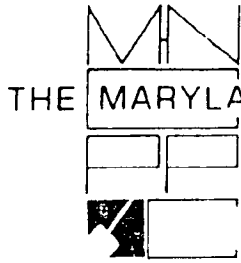
Francis Asbeck  
14715 West Old Baltimore Road  
Boys, MD 20841

John & Christine DeReggi  
21000 Clarksburg Road  
Boys, MD 20841

Giselle & Dan Butts  
26029 Frederick Road  
Hyattstown, MD

Paul & T. Hawse  
26111 Frederick Road  
Hyattstown, MD

Patrick & rosanne Casselman  
26038 Frederick Road  
Hyattstown, MD



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

**MEMORANDUM**

TO: Gene Von Gunten, Environmental Health Specialist  
Montgomery County Health Department

FROM: Subdivision Office  
Development Review Division

Date: March 5, 1997

SUBJECT: OWNER:

Acreage: lot containing 10,890 square feet

Liber: 12265 (n/f) Folio: 448 (n/f)

Tax Plate: DX Parcel Number: 24

*\*\*OK for one singly family residence on entirety of parcel\*\**

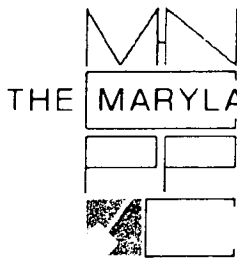
I am writing to advise you that the single family residence which is proposed on the property referenced above, has been reviewed by this office.

Since this request is an exception to the subdivision regulations, no preliminary subdivision plan will be required for the release of a building permit by this office. However, I would point out that any further subdivision of this property will require subdivision approval including full consideration of environmental restrictions and requirements.

This exception does not waive any other legal requirements such as those of the Department of the Environmental Protection, Health Department, or any other governmental agency responsible for review or approval of building permits applications. If you have any questions, please feel free to contact this office at (301) 495-4595.

**NOTE: Health Department may require plat recordation**

  
D. Robinson



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Gene Von Gunten, Environmental Health Specialist  
Montgomery County Health Department

FROM: Subdivision Office  
Development Review Division

Date: March 5, 1997

SUBJECT: OWNER:

Acreage: lot containing 10,890 square feet

Liber: 12265 (n/f) Folio: 448 (n/f)

Tax Plate: DX Parcel Number: 77

*\*\*OK for one singly family residence on entirety of parcel\*\**

I am writing to advise you that the single family residence which is proposed on the property referenced above, has been reviewed by this office.

Since this request is an exception to the subdivision regulations, no preliminary subdivision plan will be required for the release of a building permit by this office. However, I would point out that any further subdivision of this property will require subdivision approval including full consideration of environmental restrictions and requirements.

This exception does not waive any other legal requirements such as those of the Department of the Environmental Protection, Health Department, or any other governmental agency responsible for review or approval of building permits applications. If you have any questions, please feel free to contact this office at (301) 495-4595.

**NOTE: Health Department may require plat recordation**

  
D. Robinson

Postponed to  
April 12,  
pending receipt of  
info. 3/13/00

---



Continued to 3/22/00

III-B

HISTORIC PRESERVATION COMMISSION STAFF REPORT

<b>Address:</b> Lot 24, 26101 Frederick Road	<b>Meeting Date:</b> 03/08/00
<b>Resource:</b> Hyattstown Historic District	<b>Report Date:</b> 03/01/00
<b>Review:</b> HAWP	<b>Public Notice:</b> 02/23/00
<b>Case Number:</b> 10/59-2000C	<b>Tax Credit:</b> None
<b>Applicant:</b> Francis Asbeck (John and Christine DeReggi, Agents)	<b>Staff:</b> Robin Ziek

**PROPOSAL:** Construction of New House

Don Burger speaking for FOH.  
Support this. Supports sidewalk  
~~App~~ Mention storm water issues.

**RECOMMEND:** Approve w/Conditions

PROJECT DESCRIPTION

HPC requests more detailed site plan, detailing where water will go + porch rail detail

The Hyattstown Historic District is a linear town which was designated on the County's Master Plan for Historic Preservation in 1986. As noted in the preservation plan, *Vision of Hyattstown* (p.9), "the town was originally platted in 1798, and is significant as one of the largest groupings of relatively unaltered 19<sup>th</sup> century buildings in the county. Located along a single, tree shaded street, the district is a good example of the small roadside towns that sprang up along early highways to service the needs of travelers and nearby farm families."

The subject property was originally part of a large property associated with the bungalow at 26029 Frederick Road (see Circle 8, 9), which included Lots 22, 23, 24, 25, 76, 77, 78. Lots 22 and 23 are now owned by one owner, Lots 34 and 25 are owned by the Asbecks, and Lots 76, 77, and 78 are now owned by the DeReggis. The HPC has approved new construction on Lots 76, 77, and 78 (the back lots) for a single-family home with a large garage (August 18, 1999).

There are extant foundations on Lot 24 which staff understands are remains of two outbuildings. Lots 24 and 25 are at a substantially lower grade than Frederick Road, and there is a concrete retaining wall along part of the frontage. The property is currently overgrown with many small trees, none of which are considered of importance by MNCPPC environmental staff. There are a few substantial trees adjacent to the driveway location.

PROPOSAL:

The applicant proposes to construct a new house on Lot 24, facing Frederick Road. The house is a unique design patterned after local vernacular house types (see Circle 15). The proposed house would be a 2-1/2 story, front gable house with a wrap-around porch. The house will be clad in board-and batten siding, and the roof will be sheathed in asphalt shingles. The proposed house plan is "Z" shaped, to respond to the diagonal layout of the property lines relative to Frederick Road. This also reflects the HPC's concern, as stated in a Preliminary Consultation

Make sure 3/22 application is ~~added~~ complete.

(J)

for new construction on this property on 5/12/99, that any new house at this lot should face Frederick Road in a similar fashion to the other homes in the historic district.

The house measures 30' across the front elevation, including the wrap-around porch and 48' in depth which includes the 8' allowance for the porch. The footprint of the house is 800 sf (not including the wrap-around porch) (see Circle 17). The applicants are not proposing a garage or any additional outbuildings.

**STAFF DISCUSSION:**

Staff notes that consideration of new construction at this proposed site may be seen as more complex because of the previous approval for new construction at the back lots behind this property. Historically, Hyattstown developed, and was designated, as a linear town along Frederick Road. There has been concern about being able to preserve this building pattern in the light of new development pressures. The back lots historically were utilized for important uses which supported the residents along Frederick Road, such as small barns or sheds for equipment, workshops or animals, or for garden space. Some small outbuildings remain in town, although many have deteriorated including at least two which were located on the subject property.

However, in considering the current proposal, staff turned to the *Vision of Hyattstown: A Long-Range Preservation Plan* ("Vision Plan") which was prepared in 1992 by Traceries and PMA Associates at the request of the HPC to provide guidance in their consideration of new proposals within the historic district. The project meets the development standards which are outlined in the *Vision Plan* (see Circle 14), and would not disrupt the existing pattern of development which defines the character of this rural village. The new construction proposed by the applicant is consistent with the recommended strategies for preserving the characteristics of the district, including :

1. **Preservation of significant historic patterns of development.**

These include maintaining the existing residential uses fronting Frederick Road. The applicants are proposing a 41' front yard set back which is consistent with the 25' to 40' front yard set back typical of the pattern for the existing historic houses fronting the road.

2. **Maintaining the rural village quality in Hyattstown.**

The applicants are proposing to construct a new house in the district that patterns its design on existing house types located in the historic district. Staff is of the opinion that the proposed house design will not be intrusive to the Historic District, yet it will complement the existing house types.

3. **Preserving and maintaining the trees that contribute to the character of the Historic District.**

While the proposed new construction will alter the appearance of this lot which now is essentially forested, the proposed house will be situated on the lot without disturbing any of the mature trees larger than 6" in diameter which fall within the purview of the HPC.

The proposed house will be somewhat unusual because of the low elevation at this location. Probably these lots were service lots because of the drainage which passes through this lot, and which made this less desirable in the past for a residence. The driveway will be shared with the new house at Lots 76 and 77, and this will minimize the development of driveways off of Frederick Road. Staff is concerned, however, that there is no front walk leading up to the front door.

Staff has discussed this with the applicant, and a proposal may be provided at the HPC meeting. Hyattstown is a small town where people know and visit each other walking through town. In order to facilitate this, and to be consistent with the other residential development along Frederick Road, staff feels strongly that a front walk should be provided to the front door, even if the homeowner will park at the rear and enter their home through the back/side door.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with conditions** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #9 and #10:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spacial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **CONDITIONS:**

1. All exterior wood will be painted with paint or opaque stain. *Fine*
2. The applicant will work with staff to develop a front walk from Frederick Road to the front door of the new house.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6210 prior to commencement of work and not more than two weeks following completion of work.



DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850  
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Christine DeReggi  
Daytime Phone No.: 240-876-1753

Tax Account No.: 16-02-24040  
Name of Property Owner: FRANCIS X. ABECK Daytime Phone No.: 301-  
Address: 14715 WEST OLD BALTIMORE RD, BOYDS MD 20841  
Street Number City Street Zip Code  
Contractor: DeReggi Construction Co Phone No.: 301-540-5961  
Contractor Registration No.: 3380  
Agent for Owner: John or Christine DeReggi Daytime Phone No.: 240-876-1752 or 1753

**LOCATION OF BUILDING/PREMISE**

House Number: 26101 FREDERICK RD Street: FREDERICK RD  
Town/City: CLARISBURG Nearest Cross Street: 20871  
Lot: 24 Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 160,000.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent \_\_\_\_\_ Date \_\_\_\_\_

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SMALL SLIGHTLY WOODED LOT. THERE ARE REMNANTS OF WRAPPED/WAZED SHEDS & AN OLD FOUNDATION WHICH WAS PREVIOUSLY ISSUED A HANG TO DEMOLISH

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

A SMALL SINGLE FAMILY HOME THAT WORKS IN THE LOT LINES. IT WILL FILL IN A VOID IN THE ROAD WHERE THERE ARE HOMES VERY CLOSE TOGETHER.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

5

MEMORANDUM

TO: Gene Von Gunten, Environmental Health Specialist  
Montgomery County Health Department

FROM: Subdivision Office  
Development Review Division

Date: March 5, 1997

SUBJECT: OWNER:

Acreage: lot containing 10,890 square feet

Liber: 12265 (n/f) Folio: 448 (n/f)

Tax Plate: DX Parcel Number: 77

*\*\*OK for one singly family residence on entirety of parcel\*\**

I am writing to advise you that the single family residence which is proposed on the property referenced above, has been reviewed by this office.

Since this request is an exception to the subdivision regulations, no preliminary subdivision plan will be required for the release of a building permit by this office. However, I would point out that any further subdivision of this property will require subdivision approval including full consideration of environmental restrictions and requirements.

This exception does not waive any other legal requirements such as those of the Department of the Environmental Protection, Health Department, or any other governmental agency responsible for review or approval of building permits applications. If you have any questions, please feel free to contact this office at (301) 495-4595.

**NOTE: Health Department may require plat recordation**

  
D. Robinson

Address: 26101 Frederick Road

Meeting Date: 3/8/00

Adjacent and confronting Property owners:

Francis Asbeck  
14715 West Old Baltimore Road  
Boys, MD 20841

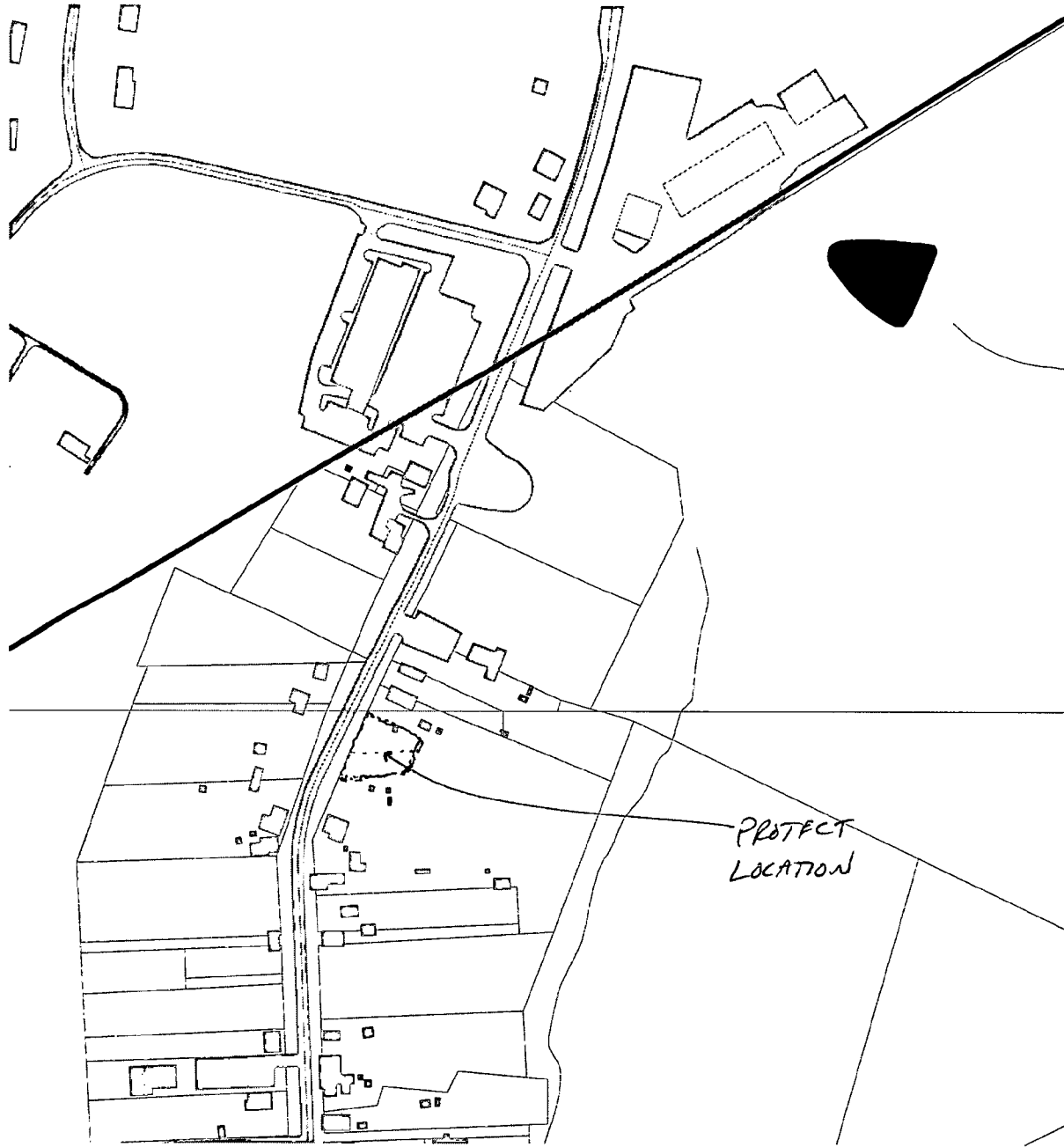
John & Christine DeReggi  
21000 Clarksburg Road  
Boys, MD 20841

Giselle & Dan Butts  
26029 Frederick Road  
Hyattstown, MD

Paul & T. Hawse  
26111 Frederick Road  
Hyattstown, MD

Patrick & Rosanne Casselman  
26038 Frederick Road  
Hyattstown, MD

# NORTH HYATTSTOWN



### Casual User Application

Notice:  
The planimetric, property, and topographic information shown on this map is based on copyrighted Map Products from Montgomery County Department of Park and Planning of the Maryland-National Capital Park and Planning Commission and may not be copied or reproduced without permission from MNCPPC.

Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:14400 scale aerial photography using stereo photogrammetric methods.

This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All map features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended.

Copyright © 1998

MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING  
THE MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
877 George Avenue - Silver Spring, Maryland 20910-3700



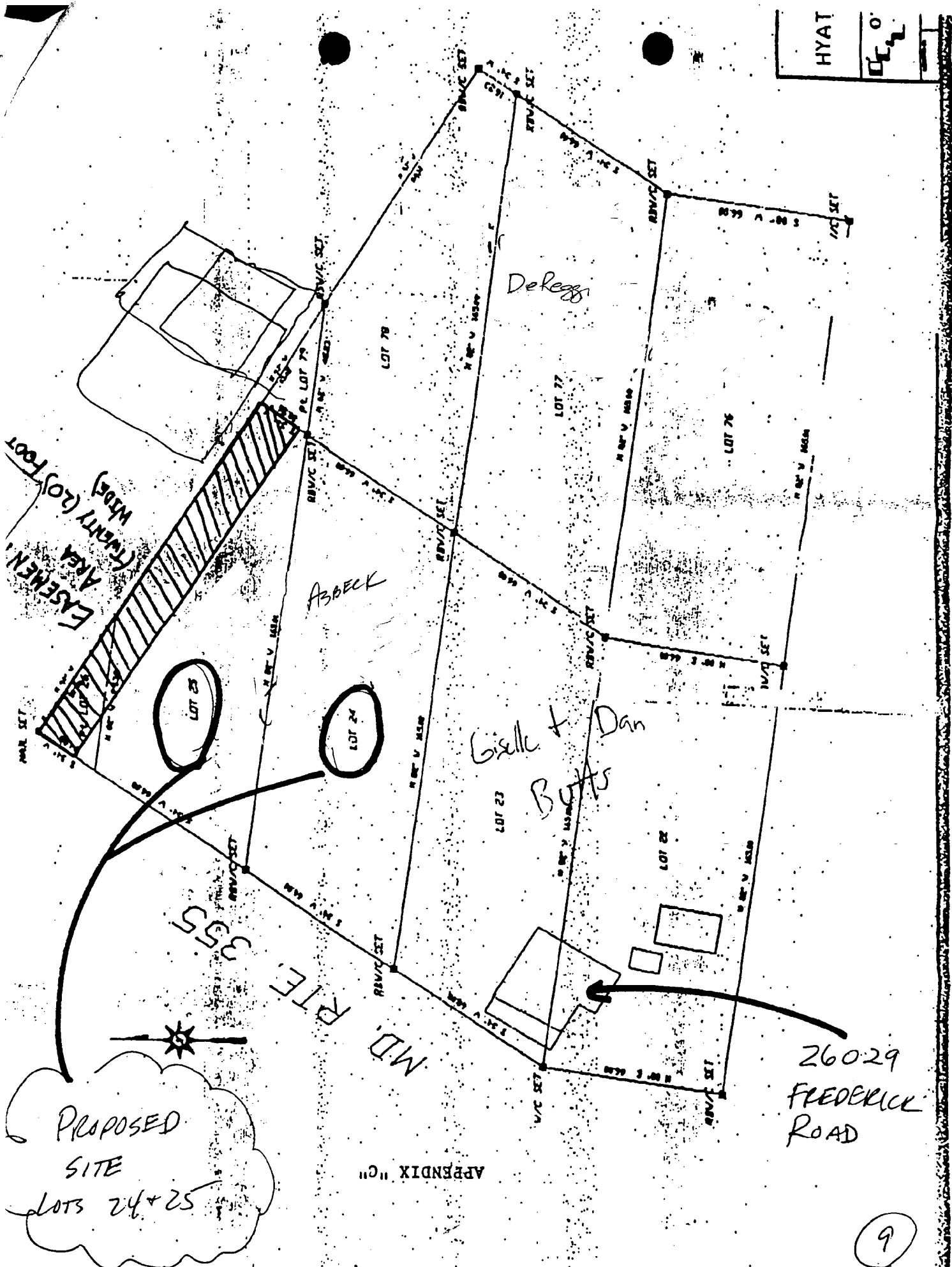
Scale: 1" = 270'

### Legend

- △ Street Centerlines
- ▭ Feet 207 Map Lines
- ▭ 207 Map
- ▭ Buildings
- ▭ Bridges
- ▭ County Boundary
- ▭ Parking Lot
- ▭ Access Drives
- ▭ Culvert
- ▭ Field Court
- ▭ Pool
- ▭ Perimeter Polygon
- ▭ Perimeter
- ▭ Hydrology - Line
- ▭ ROW
- ▭ Hydrology - Poly
- ▭ Parcels

8



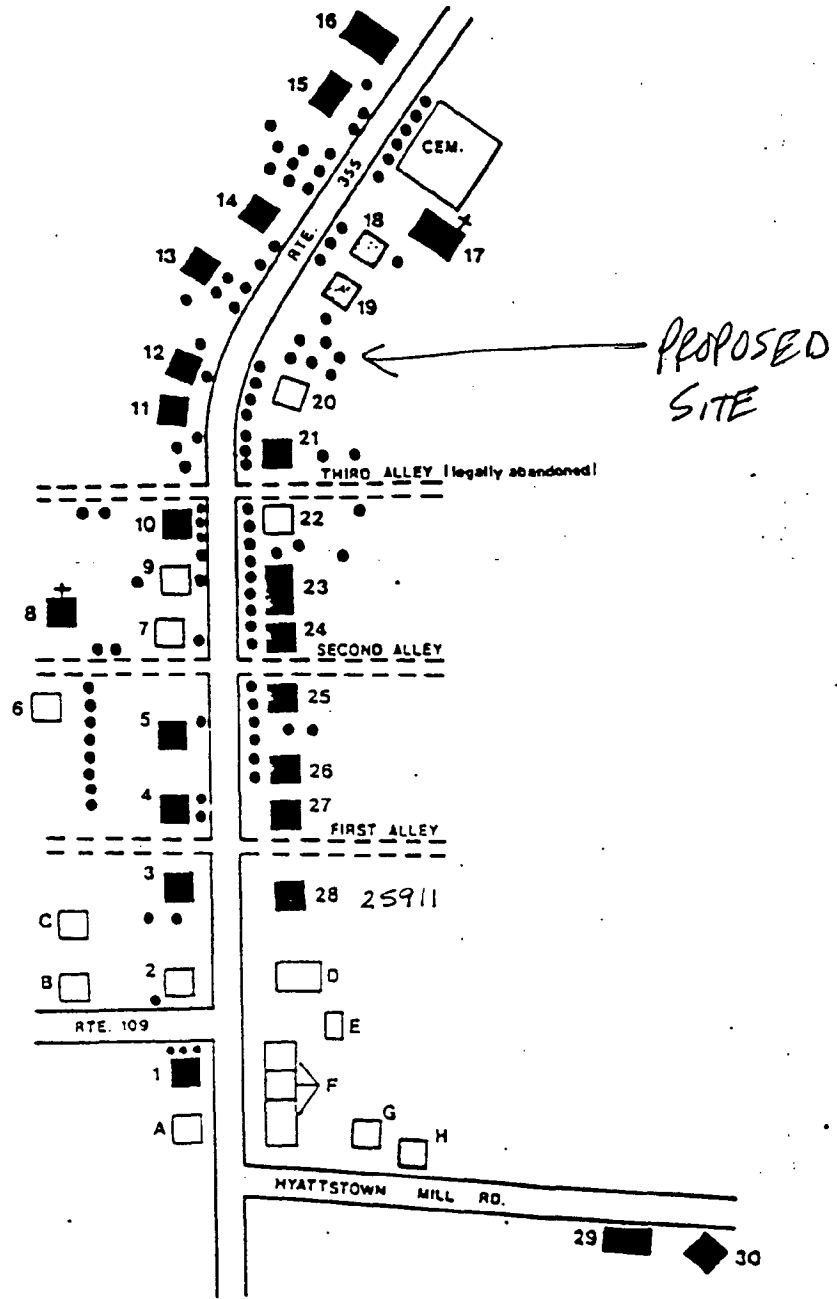


PROPOSED SITE  
LOTS 24+25

26029  
FREDERICK  
ROAD

APPENDIX "C"





**District Resources**

- Primary 1810-1890
- ◻ Secondary 1890-1940
- ◻ Contemporary 1940-1970
- Large Trees Over 12' in Diameter

**HYATTSTOWN HISTORIC DISTRICT**

March  
1987

**Fig. 2**

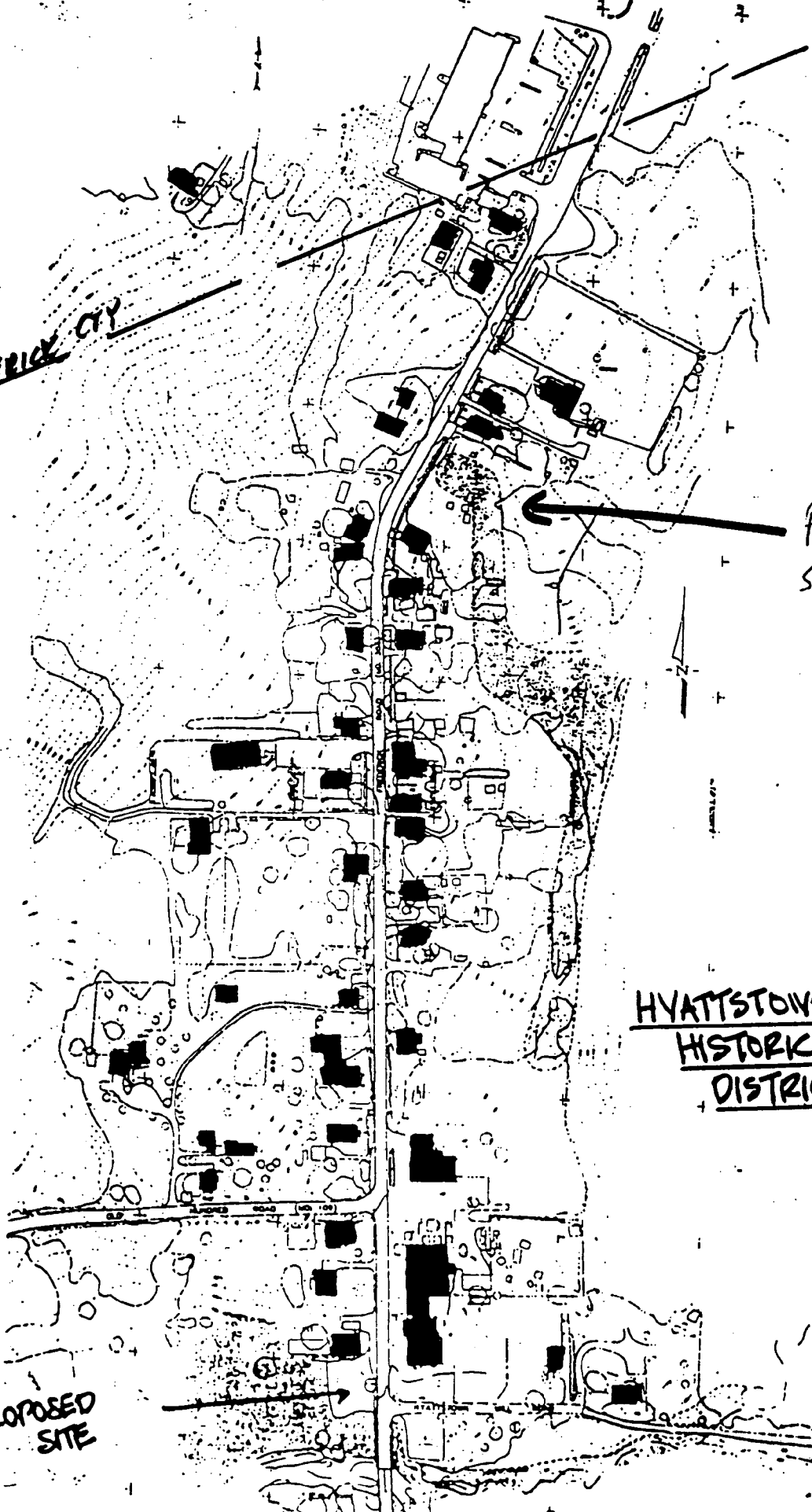
16

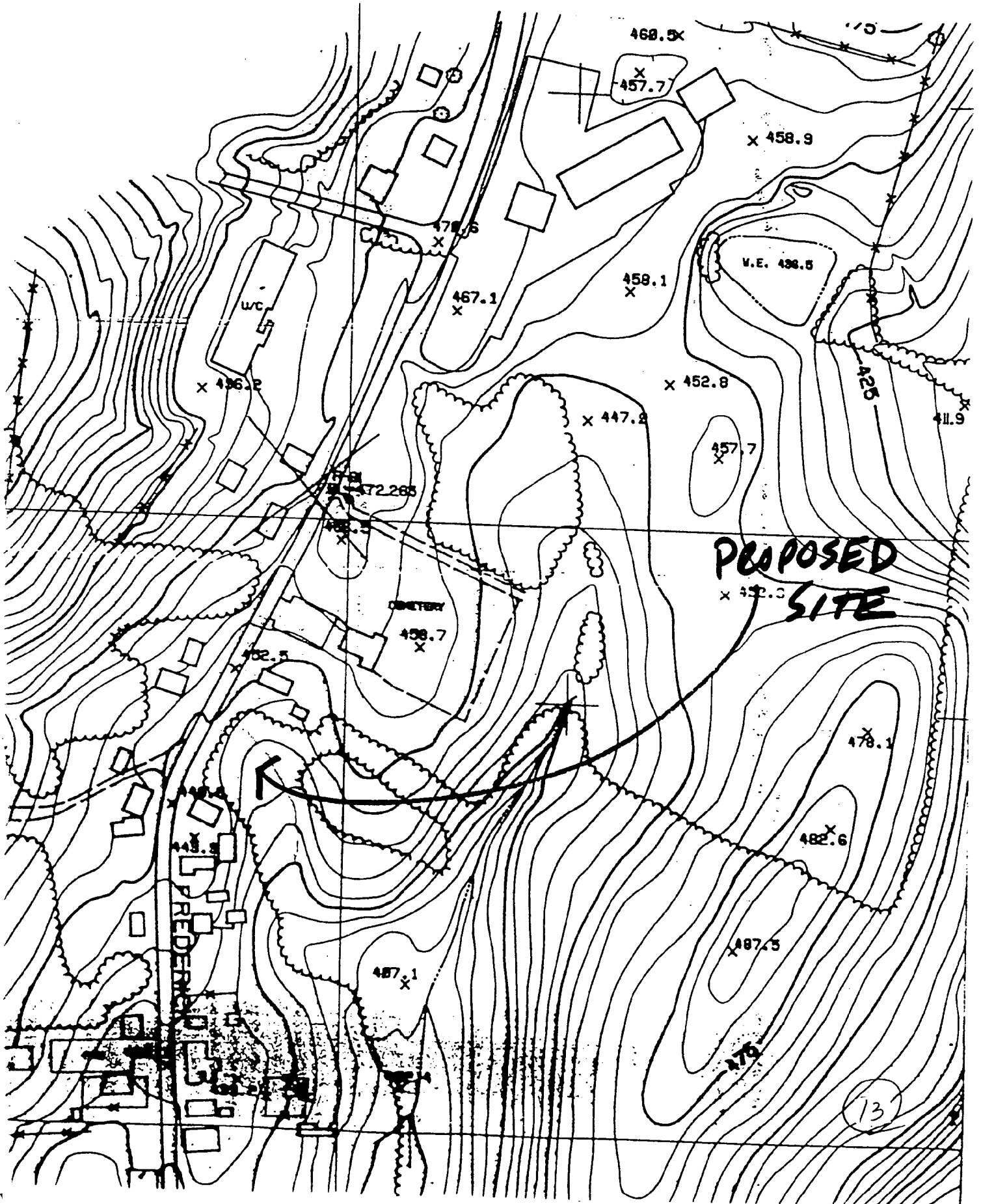
FREDERICK CITY

PROPOSED SITE

HYATTSTOWN  
HISTORIC  
DISTRICT

PROPOSED SITE





## The Historic Residential Core

The Historic Residential Core encompasses the pattern of development which defines the character of this intimate rural village. Within this area there are two different patterns of building siting. One pattern applies to the residential structures along Frederick Road where shallow front yard setbacks on each side of the road are a typical feature which helps to define the intimate village quality of the community. In addition, there is a fairly consistent rhythm of spacing between buildings on both sides of Frederick Road which provides a sense of order and completeness to the community. The other predominant pattern occurs in the siting relationships of churches in the district. Typically, churches in the district are deeply setback from the road providing a break in the streetscape, as well as communal open spaces. Also important to the feeling and character of this area are the existence of large mature trees which help to define the streetscape of the district. Within this area the following strategies are suggested to preserve the characteristics of the district:

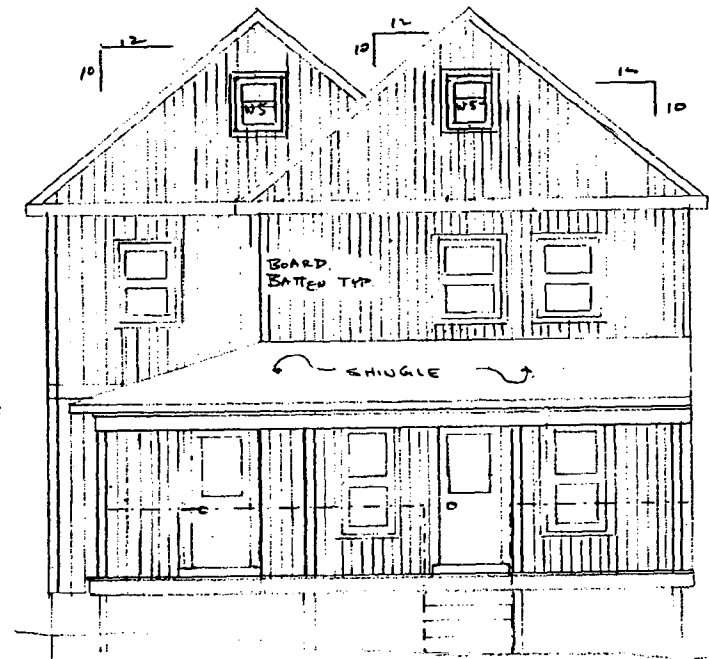
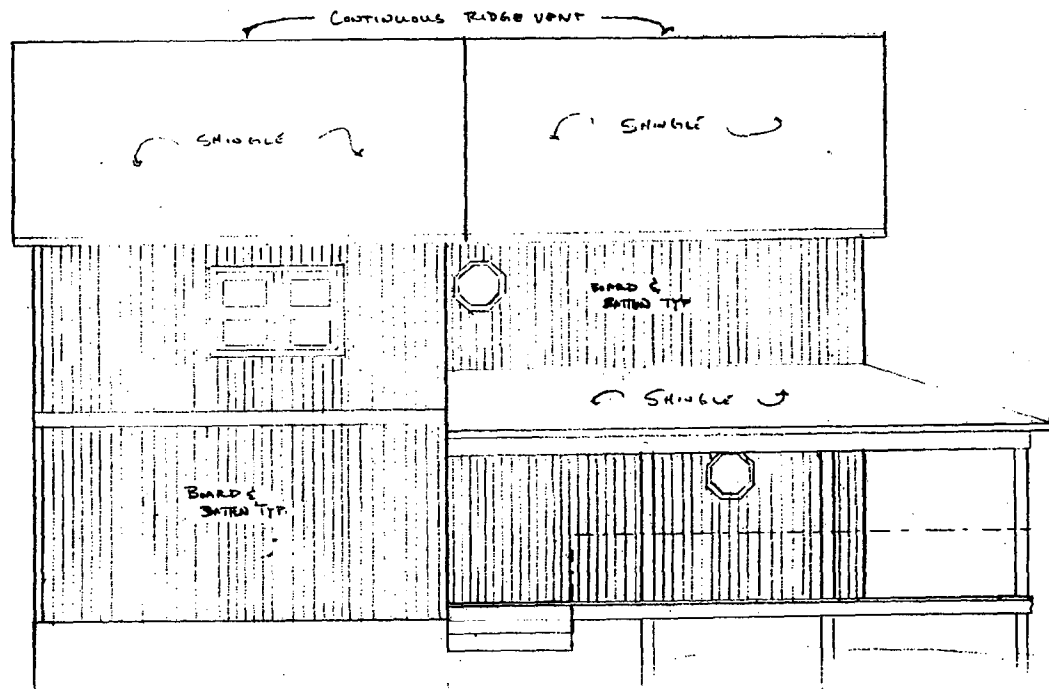
Strategy 1.1: Satisfy the minimum conditions for water and sewer to ensure the future viability of the community. The long-range goal should be to supply the district with the level of utility service needed to meet necessary health and safety standards. However, a short-term solution should be found to enable vacant historic resources to be reused to prevent their deterioration. It is suggested that citizens and the County Preservation Staff work with Health officials identify short-term alternatives which will allow historic buildings to be reused without endangering public health and safety.

Strategy 1.2: Preservation of significant patterns of development encourage that any additional development within the Historic Residential Core be compatible with the characteristic pattern of development. Based on the analysis of lot characteristics of primary resources in this area the following criteria are suggested for limiting new residential construction to the extent feasible:

- + Residential uses fronting Frederick Road - front yard setbacks of 25 to 40 feet are typical of the pattern for the existing historic houses fronting the road. New buildings should be sited to fit within this rhythm of building spacing.
- + Institutional uses fronting Frederick Road - as appropriate, new institutional uses should follow the setback relationships exhibited in the siting of the historic churches, characterized by deeper setbacks making these buildings less prominent in the streetscape of the community.

Strategy 1.3: Develop a rehabilitation program to stabilize and improve deteriorating and substandard buildings in the area. The object of such a program should be to prevent the loss of important historic elements within the district. As envisioned, such a program could involve property owners and the County government to overcome the cost impediments to rehabilitation work.

- + Explore the creation of a County assistance program to provide building materials to qualifying owners of historic properties at or near wholesale costs.
- + Develop additional incentives to encourage rehabilitation of deteriorating structures considered important to the District.



FRONT ELEVATION

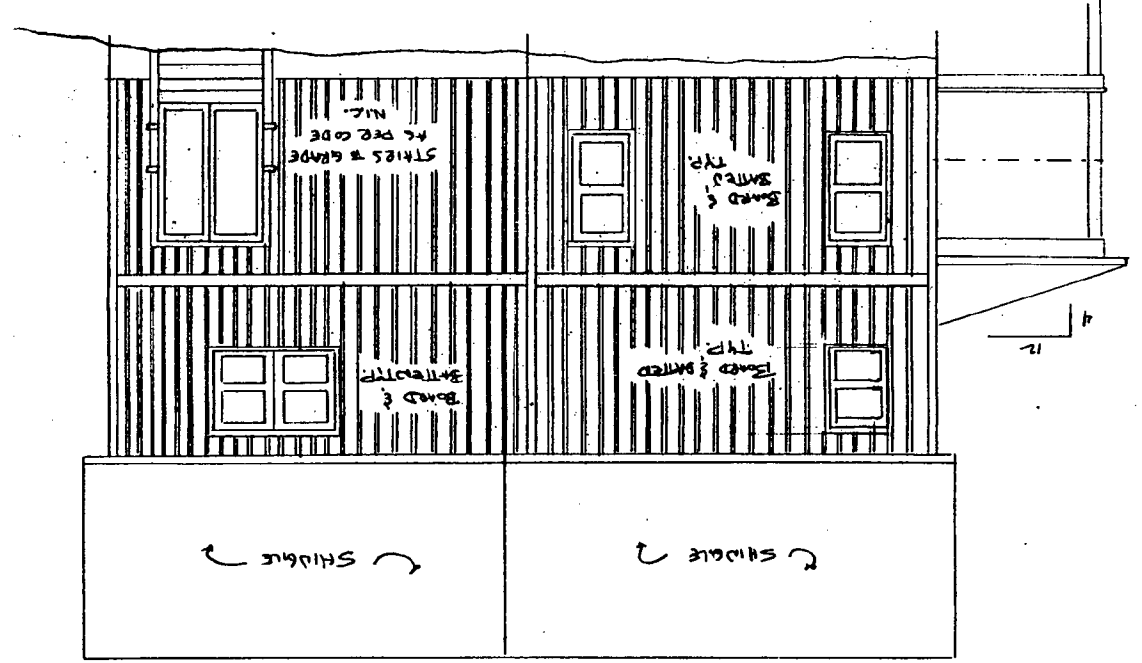
- ALL SIDING TO BE 1" BOARD AND BATTEN
- ALL ROOFING TO BE STANDARD 3 TAB 25 YR SHINGLE
- ALL OUTSIDE CORNER BOARDS TO BE 1 X 6
- ALL FACIA AND RAKE BOARDS TO BE 1 X 6
- ALL DOORS AND WINDOWS TO BE ALL WOOD CONSTRUCTION
- EXTERIOR DOORS TO BE RAISED PANEL W/ INSULATED GLASS
- EXTERIOR PANEL LOCATION TO BE SITUATED IN LEAST CONSPICUOUS AREA MEETING ANY NEC LOCAL CODE

↑ Lynn notes  
this elevation is  
very bare.

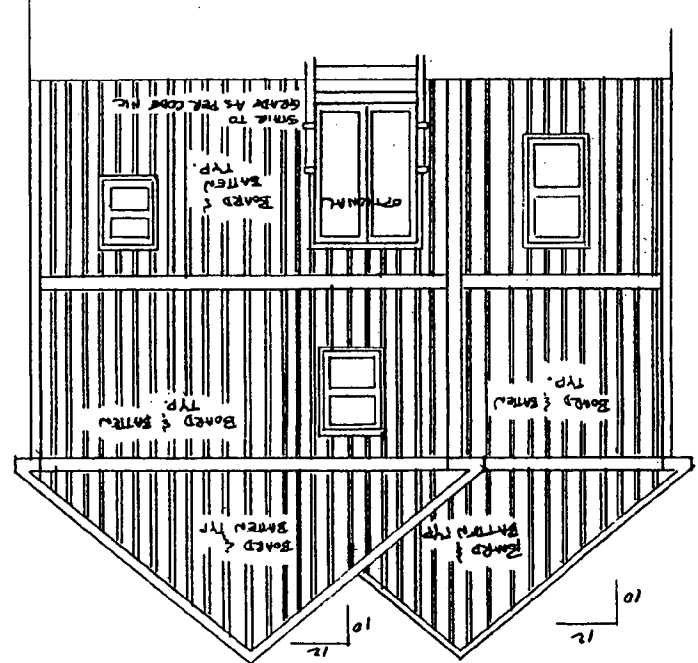
ASBECK		
SCALE:	APPROVED BY:	DRAWN BY:
DATE: 12/1/99		REVISION:
DEREGGI CONSTRUCTION CO L.L.C.		
		DRAWING NUMBER A4

A 5	
DORRICK CONSTRUCTION Co LLC	
DATE: 12/1/19	SCALE:
DESIGNED BY:	APPROVED BY:
H. S. BECK	

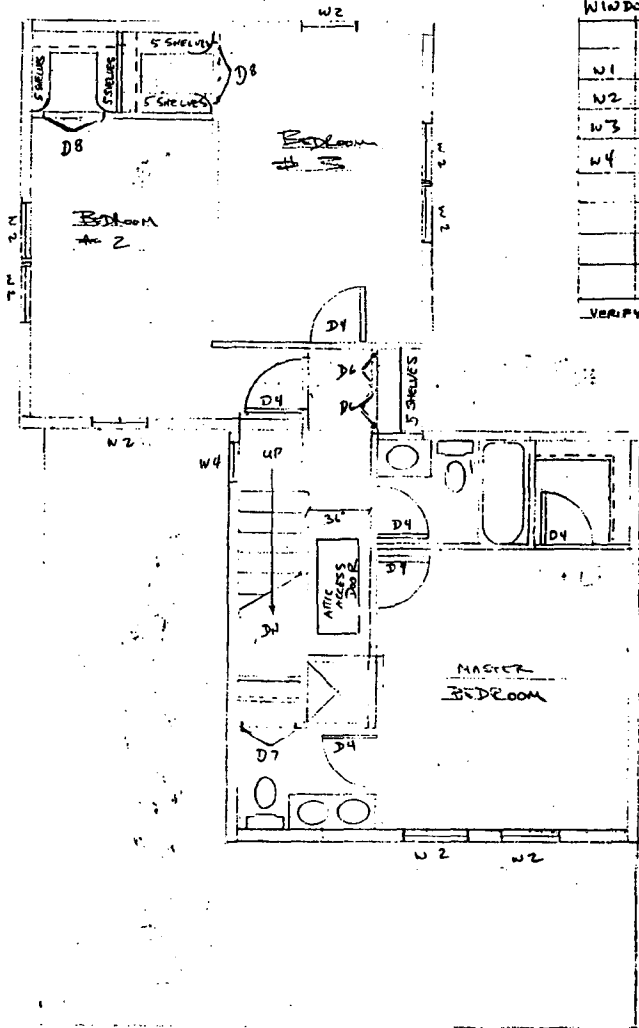
RIGHT SIDE ELEVATION  
1/4" = 1 FOOT



REAR ELEVATION  
1/4" = 1 FOOT







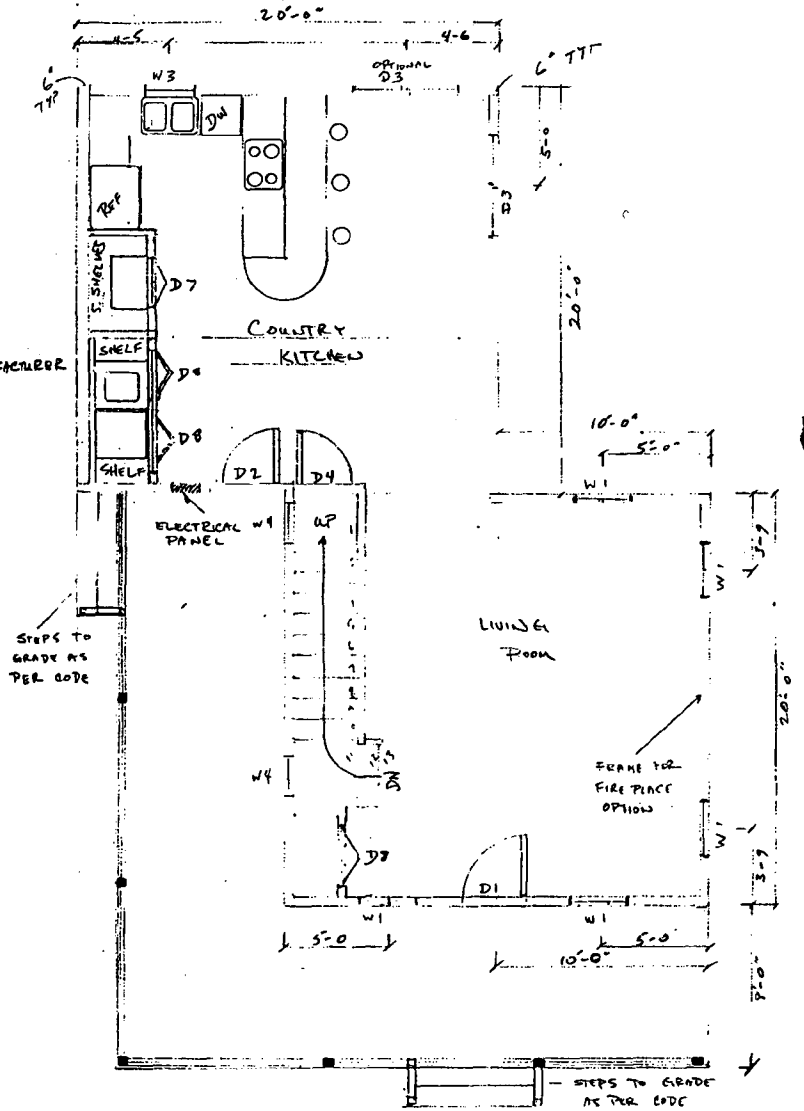
SECOND FLOOR

WINDOW & DR. SCHEDULE

WINDOW	WINDOW SIZE	DOOR	DOOR SIZE
W1	2-8 x 5-2	D1	3-0 x 6-9 EXT.
W2	2-8 x 3-10	D2	2-8 x 6-9 EXT.
W3	2-7 x 3-2	D3	5-0 x 6-9 SLIDE
W4	2-0 x OCT	D4	2-6 x 6-6 INT.
		D5	2-4 x 6-8 INT.
		D6	2-0 x 6-8 BIFOLD
		D7	2-6 x 6-9 BIFOLD
		D8	3-0 x 6-8 BIFOLD

VERIFY DOOR OPENINGS AS PER PLAN FOR MANUFACTURER

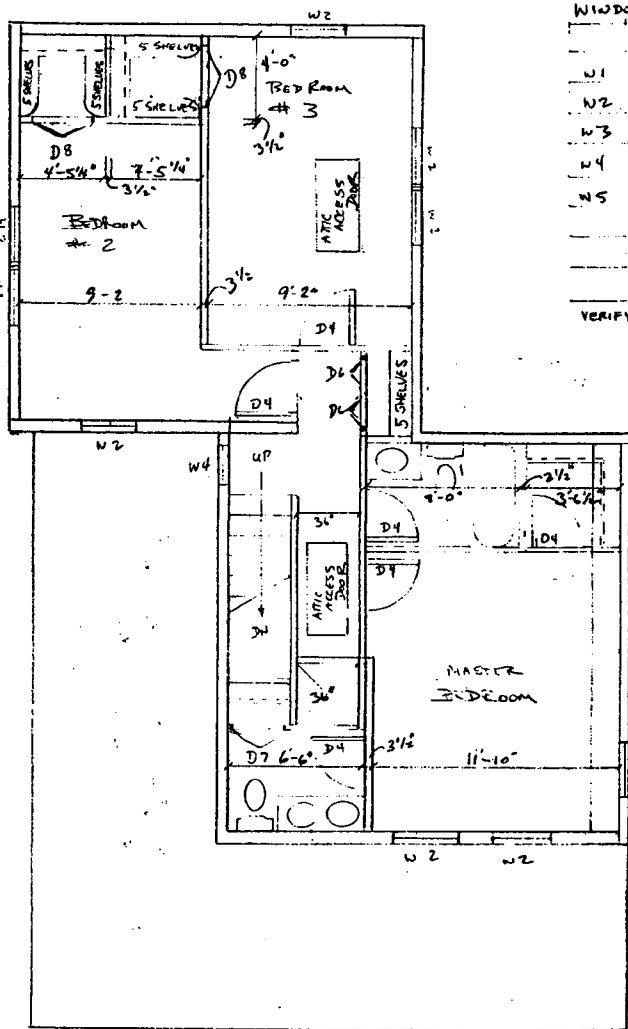
- ALL EXTERIOR WALLS TO BE 2x6 FRAMING
- ALL WALL SHEATHING TO BE 1/2" PLYWOOD W/TYVEK
- ALL WINDOW & DOOR H.DES. TO BE (2) 2x12 TYP.
- ALL INTERIOR WALLS ARE TO BE 2x4 FRAMING
- PORCH POST PER FOOTINGS TO BE 24" B.F.G.
- ALL STEPS TO GRADE TO HAVE AT GRADE FOOTINGS
- ALL PORCH POSTS TO BE 4x4 FT. WRAPPED WITH 1x MAT
- PORCH HEADERS TO BE (2) 2x10 TYP.



FIRST FLOOR

ASBECK		
SCALE:	APPROVED BY:	DRAWN BY: <i>R</i>
DATE: 12/1/99		REVIEWED:
DREGGI CONSTRUCTION CO. L.L.C.		
		DRAWING NUMBER: A-2

17



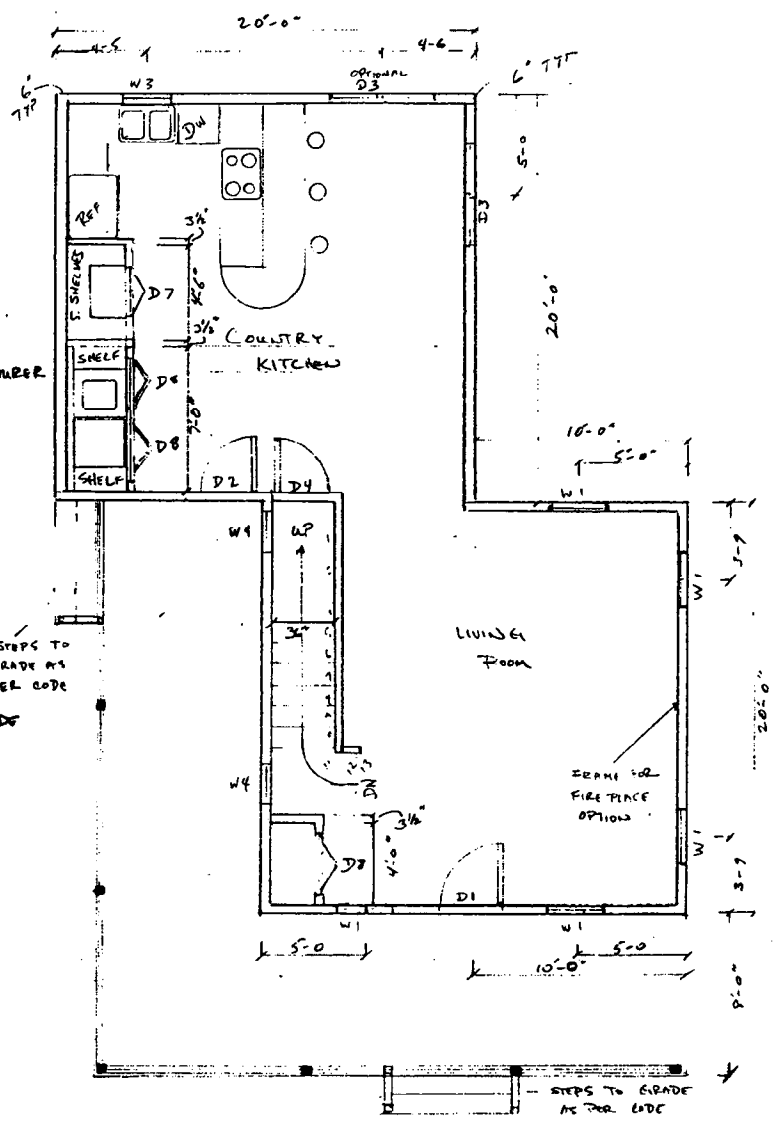
SECOND FLOOR

WINDOW & DR SCHEDULE

WINDOW SIZE	DOOR SIZE
W1 2'-8" x 5'-2"	D1 3'-0" x 6'-8" EXT
W2 2'-9" x 3'-10"	D2 2'-8" x 6'-9" EXT
W3 2'-4" x 3'-2"	D3 5'-0" x 6'-9" SIBRA
W4 2'-0" x OCT	D4 2'-6" x 6'-8" INT
W5 2'-0" x 2'-6"	D5 2'-4" x 6'-8" INT
	D6 2'-0" x 6'-8" BIFOLD
	D7 2'-6" x 6'-8" BIFOLD
	D8 3'-0" x 6'-8" BIFOLD

VERIFY ROUGH OPENINGS AS PER VINYL DR MANUFACTURER

- ALL EXTERIOR WALLS TO BE 2X6 FRAMING
  - ALL WALLS SHEATHING TO BE 1/2" PLYWOOD N/TYUEK
  - ALL WINDOWS & DR HEADERS TO BE (2) 2X12 N 1/2 PLY TYP.
  - ALL INTERIOR WALLS ARE TO BE 2X4 FRAMING
  - PORCH POST PIER FOOTINGS TO BE 24" BELOW FINISH GRADE
  - ALL STAIRS TO GRADE TO HAVE AT GRADE FOOTING L
  - ALL PORCH POSTS TO BE 4X4 P.T. WRAPPED W/ 1X MATERIAL
  - PORCH HEADERS TO BE (3) 2X10 TYP
- STAIRS TO GRADE AS PER CODE



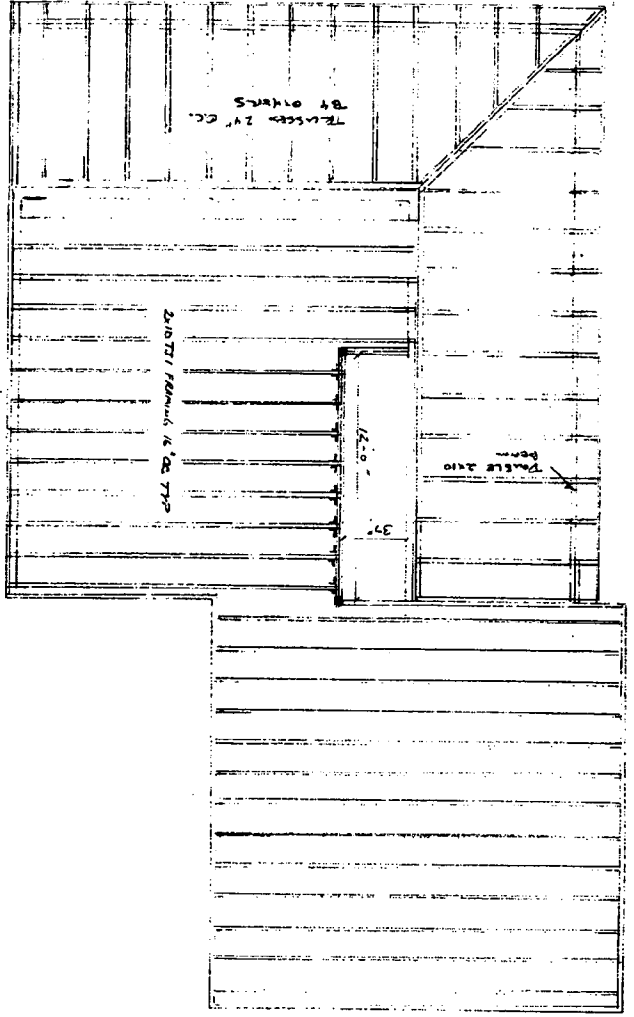
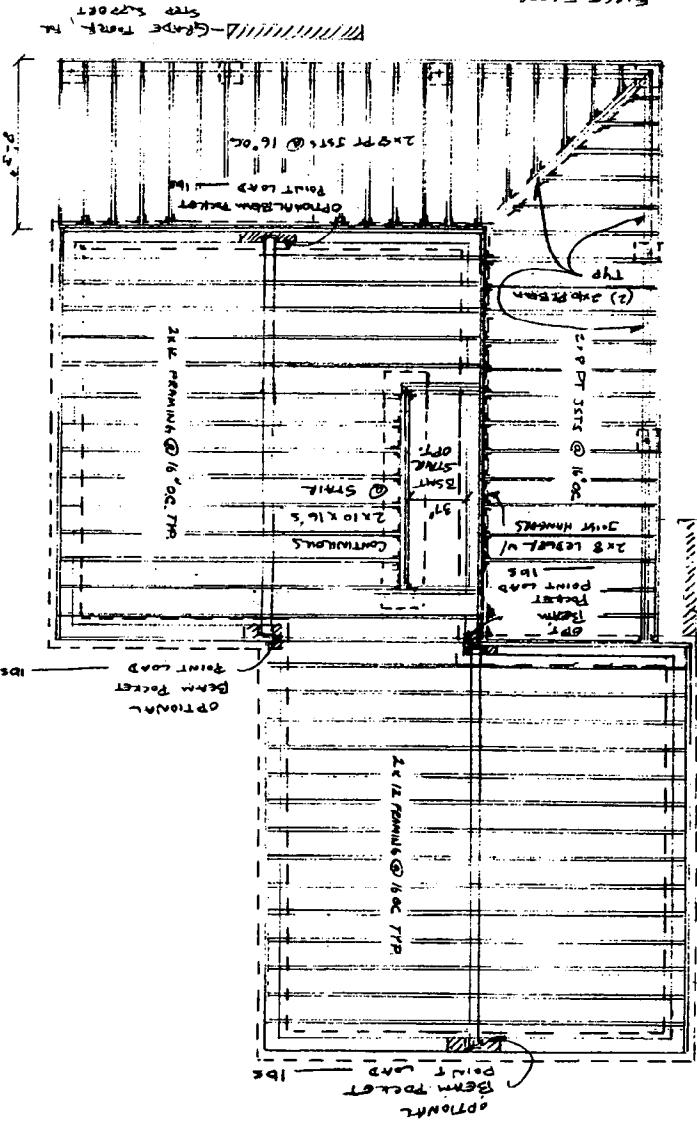
FIRST FLOOR

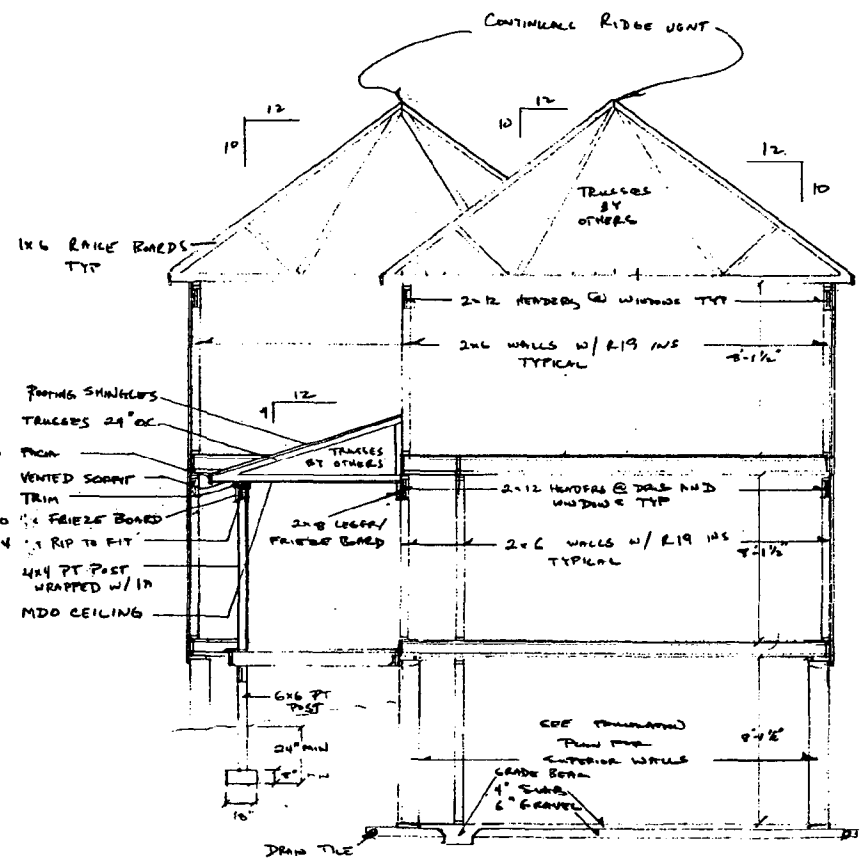
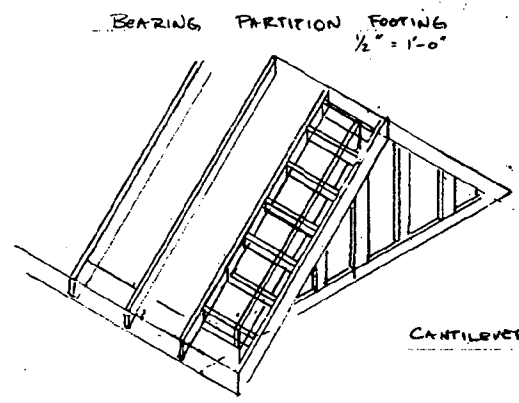
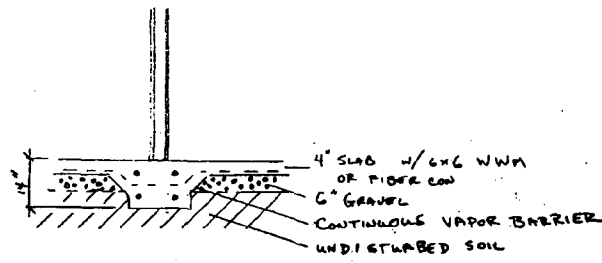
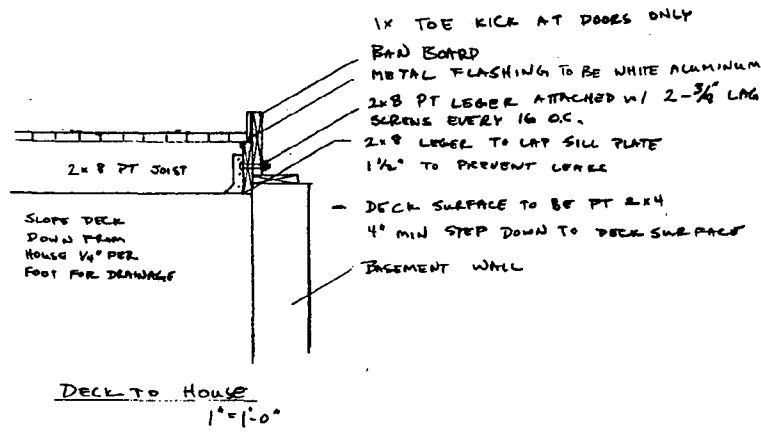
ASBCE		
SCALE:	APPROVED BY:	DRAWN BY: <i>[Signature]</i>
DATE: 12/1/99		REVISED:
DEREGGI CONSTRUCTION CO. L.L.C.		
		DRAWING NUMBER A 2

DRAWING NUMBER	#3
DESIGNED BY	DEBORA CONSTRUCTION CO. L.L.C.
DATE	12/1/99
APPROVED BY	[Signature]
SCALE	AS SHOWN

TEAMWORK  
FIRST FLOOR

SECOND FLOOR  
FRAMING  
1/4" = 1'-0"





ASBECK		
SCALE:	APPROVED BY:	DRAWN BY: <i>AS</i>
DATE: 12/1/99		REVISED:
DE REGGI CONSTRUCTION CO. L.L.C.		
DRAWING NUMBER		A6

50

ASBECK  
CLARKSBURG MD 20871  
26101 FREDRICK RD



ASBECK  
CLARKSBURG MD 20871  
26101 FREDRICK RD

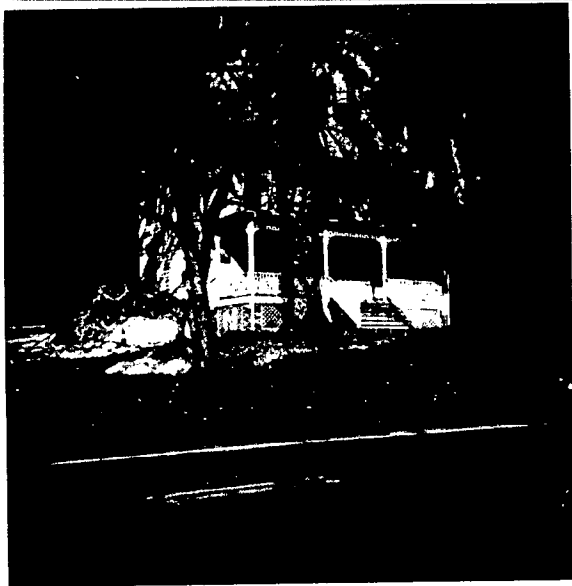




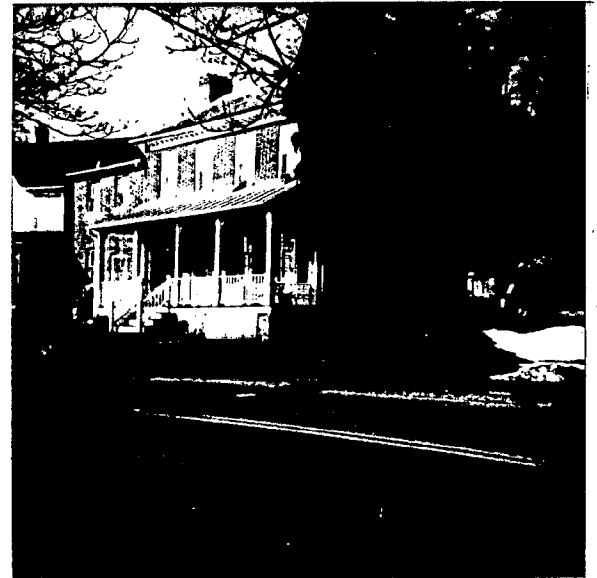
26111 FREDERICK RD  
CLARKSBURG, MD 20871  
P. WAYNE HANSE



26029 FREDERICK RD  
CLARKSBURG MD 20871  
MR & MRS BUTT



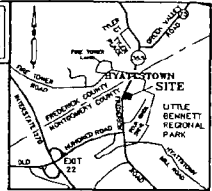
FREDERICK RD  
228 WEST DUFF RD  
CLARKSBURG MD 20871



26054 FREDERICK RD  
CLARKSBURG MD 20871  
R ALLEN WILKINSON

22

Call "Miss Utility" at 1-800-257-7777  
For Utility Location at least 48  
Hours Prior to Beginning Construction.



VICINITY MAP  
45C Map, Pages 2, Grid D-9  
Scale: 1" = 200'

**SURVEYORS CERTIFICATE:**

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREIN IS  
CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

12-1-99  
DATE:

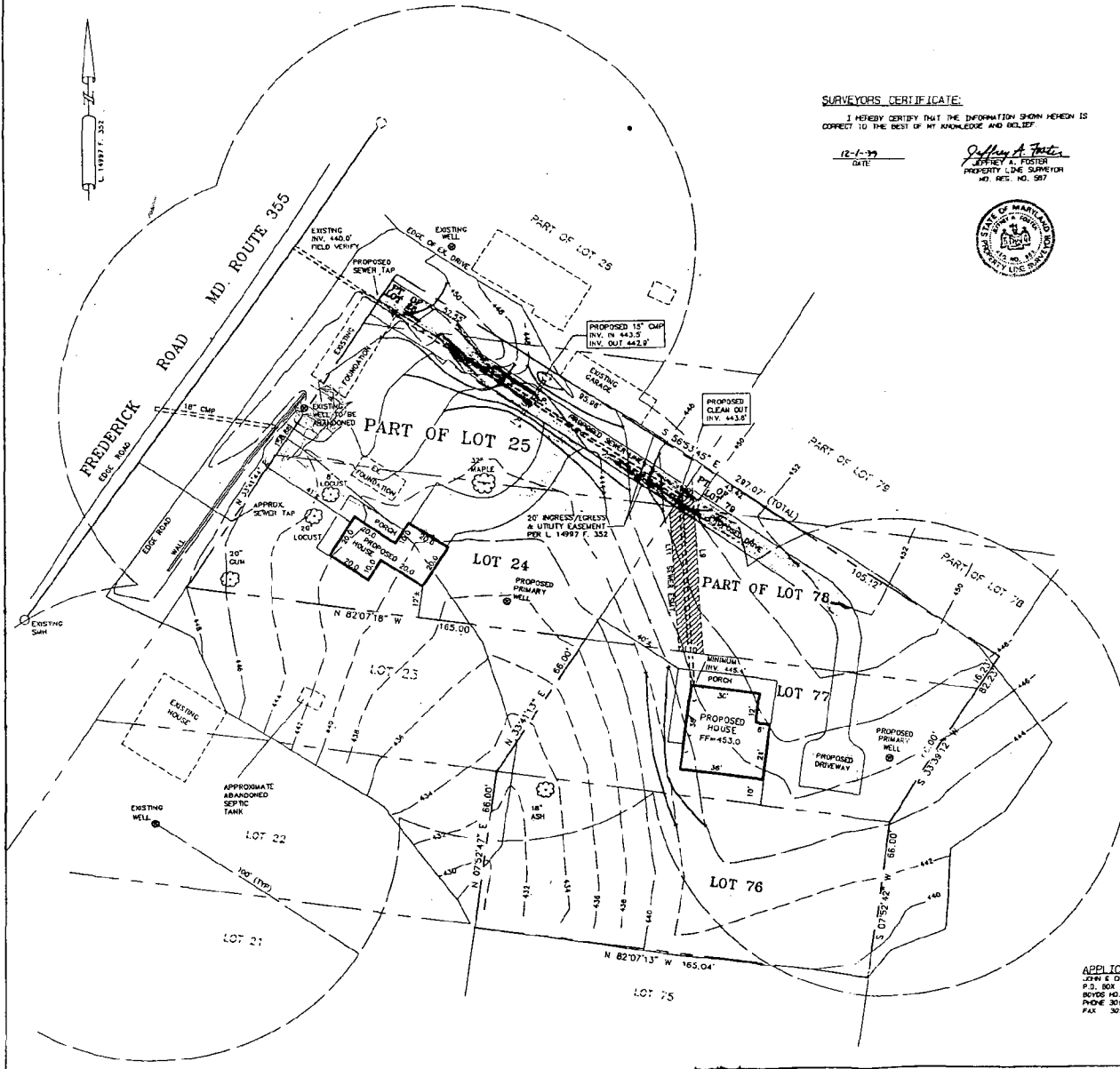
*Jeffrey A. Foster*  
JEFFREY A. FOSTER  
PROSODY LINE SURVEYOR  
NO. REG. NO. 587



LINE TABLE FOR SEWER EASEMENT	
LS	S 03°18'50" E 7.511
LI1	N 82°57'13" W 10.119
LI1	N 03°18'30" W 37.877
LI2	N 33°41'44" E 16.882

**GENERAL NOTES:**

1. CLARENVILLE ZONING: R-200  
FRONT D.P.L.: 40  
REAR D.P.L.: 30  
ONE SIDE B.P.L.: 32  
TOTAL: 132
2. WATER CATEGORY: M-6  
SEWER CATEGORY: S-1
3. PROPERTY SHOWN ON M.S.D.E. 200 SHEET MH-14, 233.  
LITTLE BENNETT WATER-SHED PLANNING AREA.
4. PROPERTY SHOWN ON TAX MAP: D1.
5. FLOOD ZONE "C": PER M.U.D. FIRM MAPS COMMUNITY PANEL  
NO. 240045-050-0.
6. SOLEAGARY INFORMATION: 2" FIELD RUM TOPOGRAPHY, EXISTING STRUCTURES,  
EXISTING WELLS AND ABANDONED SEPTIC SYSTEMS LOCATED BY SURVEY.  
DOTTILED "WELL/SITE PLAN" BY O'CONNELL & LAWRENCE, INC. DATED  
JULY 27, 1999.
7. THE PURPOSE OF THIS SITE PLAN IS TO OBTAIN A WELL PERMIT  
FOR LOT 77 AND LOT 24. THE PROPOSED HOUSE LOCATION FOR  
LOT 77 AND LOT 24 ARE SHOWN HEREIN.
8. PROPOSED SEWER TAP AND LINE SHOWN THIS: =====



**Well Site Plan**

LOT 24, PARTS OF LOTS 25 & 26  
LOTS 76, 77, PARTS OF LOTS 78 AND 79

HYATTSTOWN

R. A. & D. K. PETROCELLI AND  
R. R. WAGNER AND M. E. WAGNER  
PROPERTIES

Clarksburg (2st) Election District  
Montgomery County, Maryland  
Scale: 1" = 20' November, 1999

APPLICANT:  
JOHN & CHRISTINE DE ROSSI  
P.O. BOX 106  
ROUTE NO. 20841  
PHONE 301-540-5961  
FAX 301-540-1907

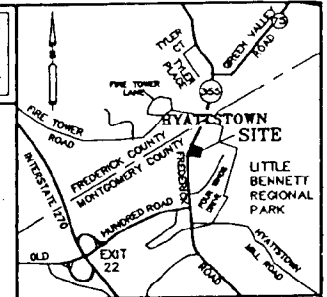
Revisions	
12-1-99	PROPOSED SHOWING HOUSE LOC. WELLS



**SNIDER & ASSOCIATES**  
SURVEYORS - ENGINEERS  
LAND PLANNING CONSULTANTS  
2 Professional Drive, Suite 216  
Gaithersburg, Maryland 20879  
301/948-5100 • Fax 301/948-1288

Drifting	H.A.S.	Engineering
Project	99-0029	Approved J. A. F.

Call "Miss Utility" at 1-800-257-7777  
For Utility Location at least 48  
Hours Prior to Beginning Construction.



VICINITY MAP  
ADC Map Page 2, Grid h-9  
Scale: 1" = 2000'

**SURVEYORS CERTIFICATE:**

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS  
CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

12-1-99  
DATE:

*Jeffrey A. Foster*  
JEFFREY A. FOSTER  
PROPERTY LINE SURVEYOR  
MD. REG. NO. 587



*See notes  
through-out*

LINE TABLE FOR SEWER EASEMENT

L9	S 03°18'50" E	73.11
L10	N 82°07'13" W	10.19
L11	N 03°18'50" W	57.87
L12	N 33°41'44" E	16.82

**GENERAL NOTES:**

- CURRENTLY ZONED: R-200  
FRONT B.R.L. : 40  
REAR B.R.L. : 30  
ONE SIDE B.R.L. : 12  
TOTAL : 25
- WATER CATEGORY : M-6  
SEWER CATEGORY : S-1
- PROPERTY SHOWN ON H.S.S.C. 200 SHEET NH-14, 233.  
LITTLE BENNETT WATER SHED PLANNING AREA.
- PROPERTY SHOWN ON TAX MAP : DX.
- FLOOD ZONE "C" PER H.U.D. FIRM MAPS, COMMUNITY PANEL  
NO. 240049-0050-B.
- BOUNDARY INFORMATION, 2' FIELD RUN TOPOGRAPHY, EXISTING STRUCTURES,  
EXISTING WELLS, AND ABANDONED SEPTIC SYSTEMS LOCATED BY SURVEY -  
ENTITLED "WELL/SITE PLAN" BY O'CONNELL & LAWRENCE, INC. DATED  
JULY 27, 1999.
- THE PURPOSE OF THIS SITE PLAN IS TO OBTAIN A WELL PERMIT  
FOR LOT 77 AND LOT 24. THE PROPOSED HOUSE LOCATION FOR  
LOT 77 AND LOT 24 ARE SHOWN HEREON.
- PROPOSED SEWER TAP AND LINE SHOWN THIS =====

**Well Site Plan**

LOT 24, PARTS OF LOTS 25 & 26  
LOTS 76, 77, PARTS OF LOTS 78 AND 79  
HYATTSTOWN

R. A. & D. K. PETROCELLI AND  
R. R. WAGNER AND M. E. WAGNER  
PROPERTIES

Clarksburg (2st) Election District  
Montgomery County, Maryland  
Scale: 1" = 20' November, 1999

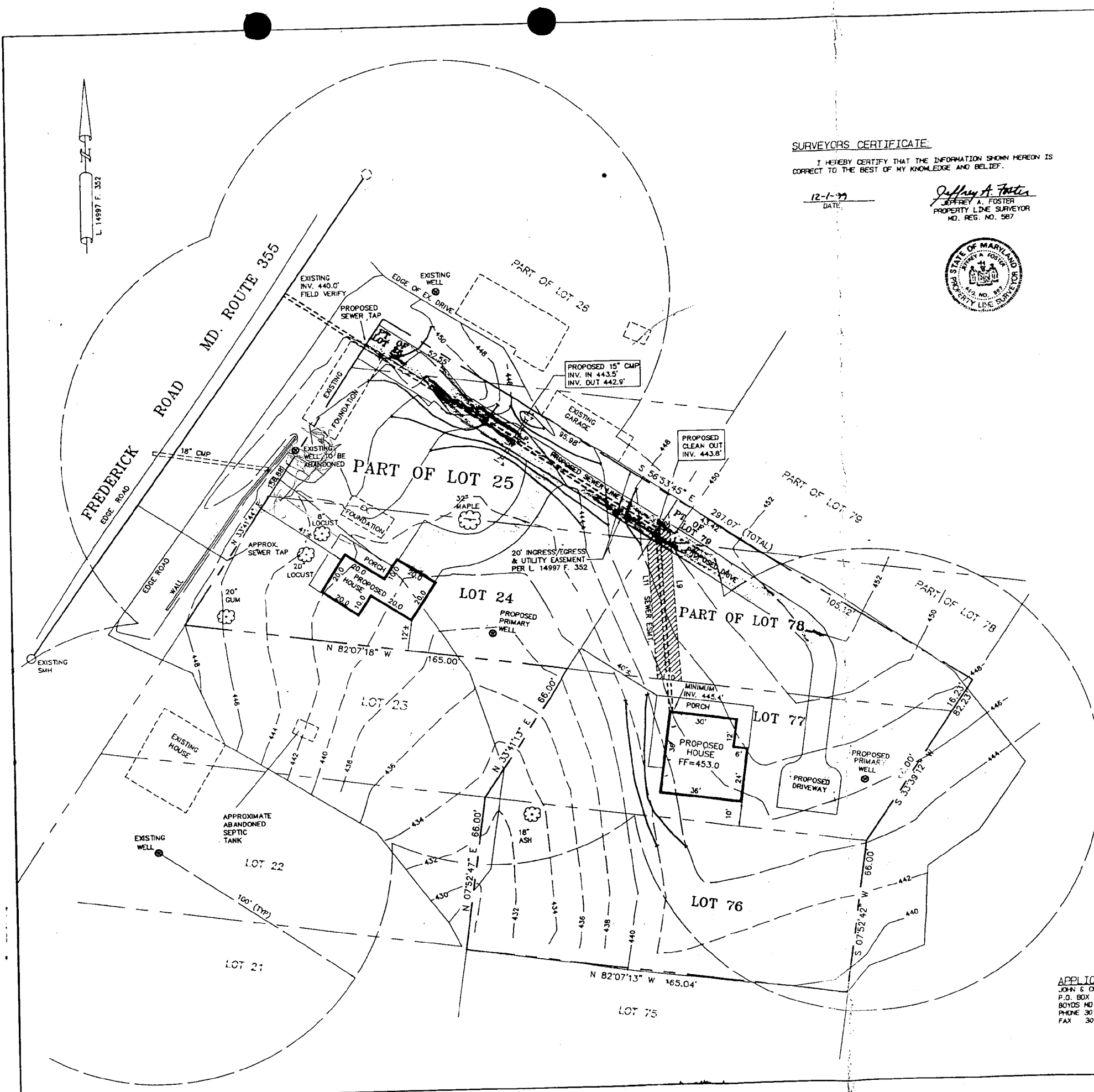
APPLICANT:  
JOHN & CRISTINE DE REGGI  
P.O. BOX 106  
BOYDS MD. 20841  
PHONE 301-540-5961  
FAX 301-540-1407

Revisions	
12-1-99	PROPOSED DRIVEWAY HOUSE LOC. WELLS



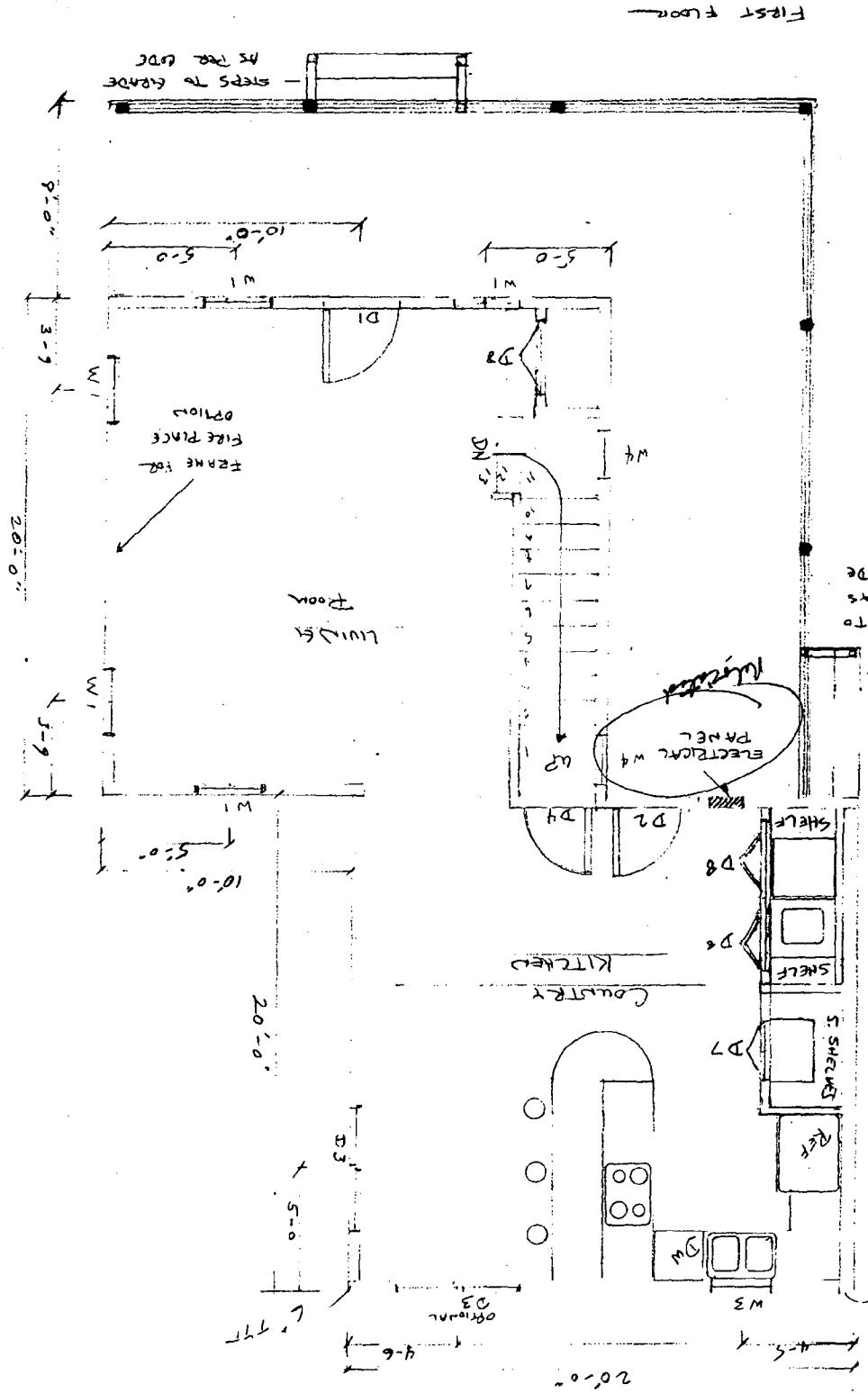
**SNIDER & ASSOCIATES**  
SURVEYORS - ENGINEERS  
LAND PLANNING CONSULTANTS  
2 Professional Drive, Suite 216  
Gaithersburg, Maryland 20879  
301/948-5100 • Fax 301/948-1286

Drafting	M.A.S.	Engineering	J. A. F.
Project	99-9069	Approval	





DRAWING NUMBER A-2	
PROJECT DEFE661 CONSTRUCTION CO L.L.C.	
DATE: 12/1/99	SCALE:
DRAWN BY: [Signature]	APPROVED BY: [Signature]
T.S.BECK	

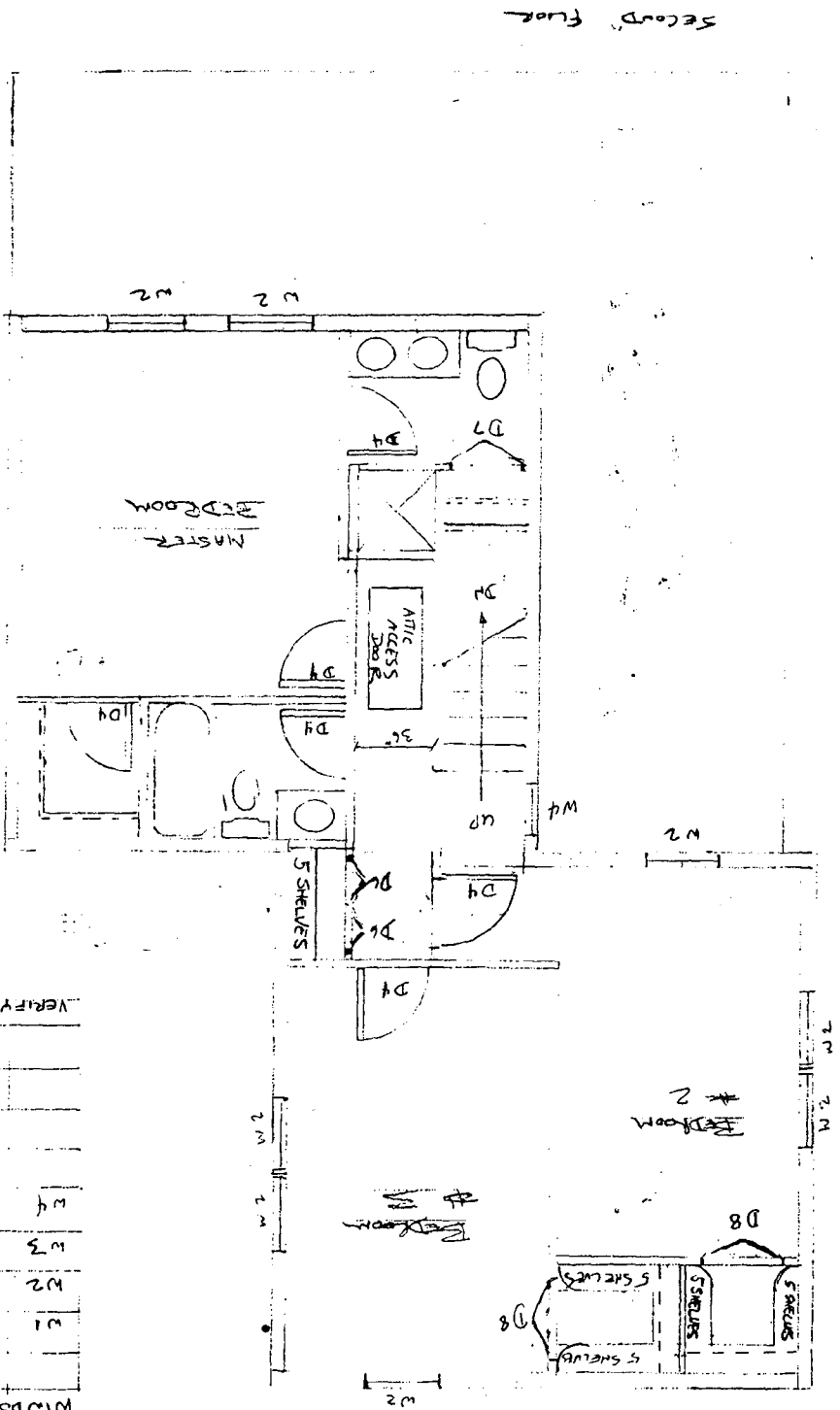


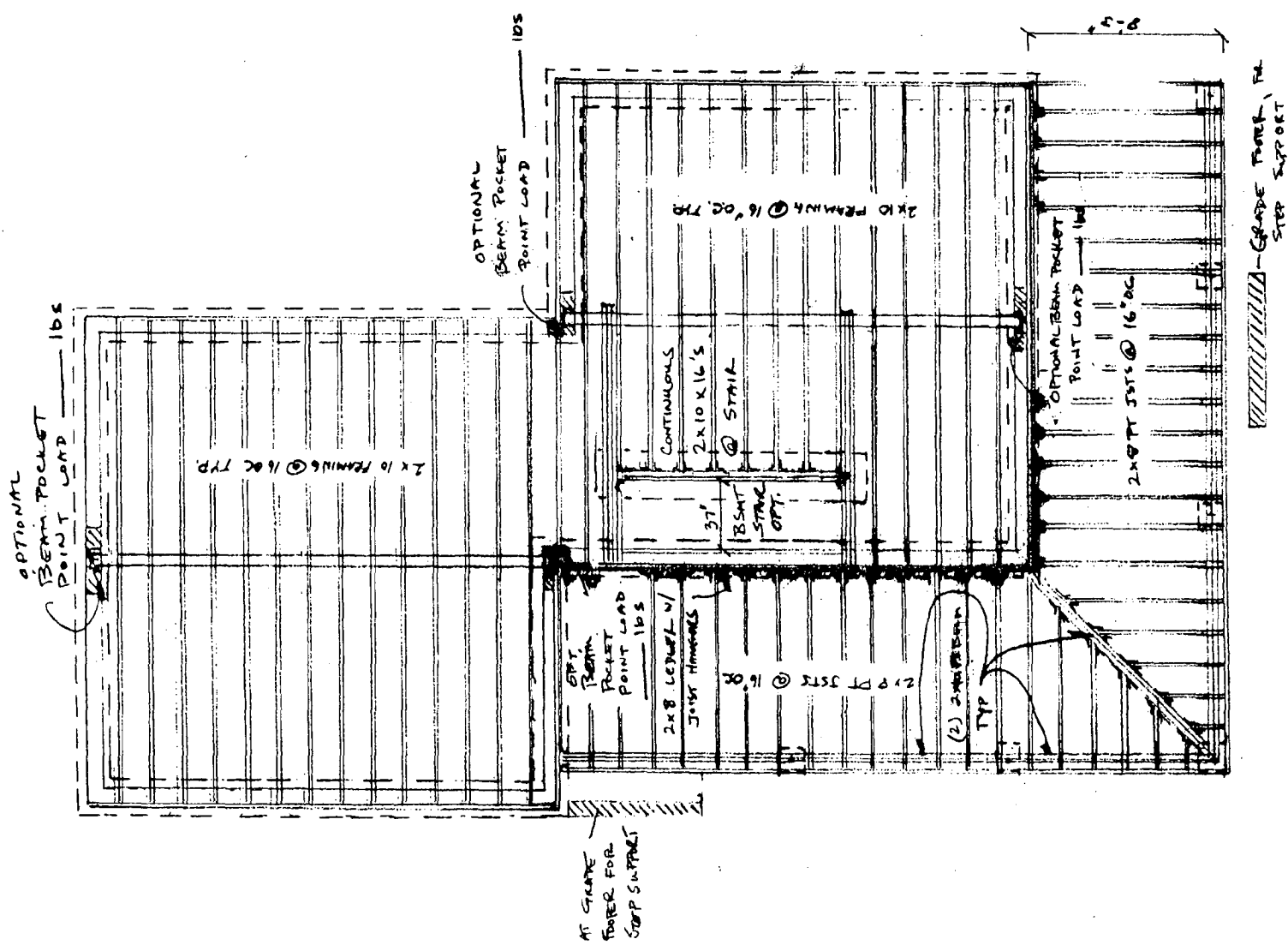
- ALL EXTERIOR WALLS TO BE 2x6 FRAMING
- ALL WALL SHEETING TO BE 1/2" PLY WOOD W/TIEBACK
- ALL WINDOW & DOOR H.D.S. TO BE (2) 2x12 TYP
- ALL INTERIOR WALLS ARE TO BE 2x4 FRAMING
- PORCH POST RIER FOOTINGS TO BE 24" B.F.G.
- ALL STEPS TO GRADE TO HAVE AT GRADE FOOTINGS
- ALL PORCH TO CTS TO BE 4x4 FT. WRAPPED WITH 1x MAT
- PORCH HEADERS TO BE (2) 2x10 TYP

WINDOW & DR SCHEDULE

Window Site	Window Size	Window Schedule
W1	2-8 x 5-2	D1 3-0 x 6-8 EXT
W2	2-5 x 3-10	D2 2-8 x 6-8 EXT
W3	2-4 x 3-2	D3 5-0 x 6-8 SIDE
W4	2-0 x 0-2	D4 2-6 x 6-8 INT
D5	2-4 x 6-8 INT	D5 2-4 x 6-8 INT
D6	2-0 x 6-8 B.F.O.D	D6 2-0 x 6-8 B.F.O.D
D7	2-6 x 6-8 B.F.O.D	D7 2-6 x 6-8 B.F.O.D
D8	3-0 x 6-8 B.F.O.D	D8 3-0 x 6-8 B.F.O.D

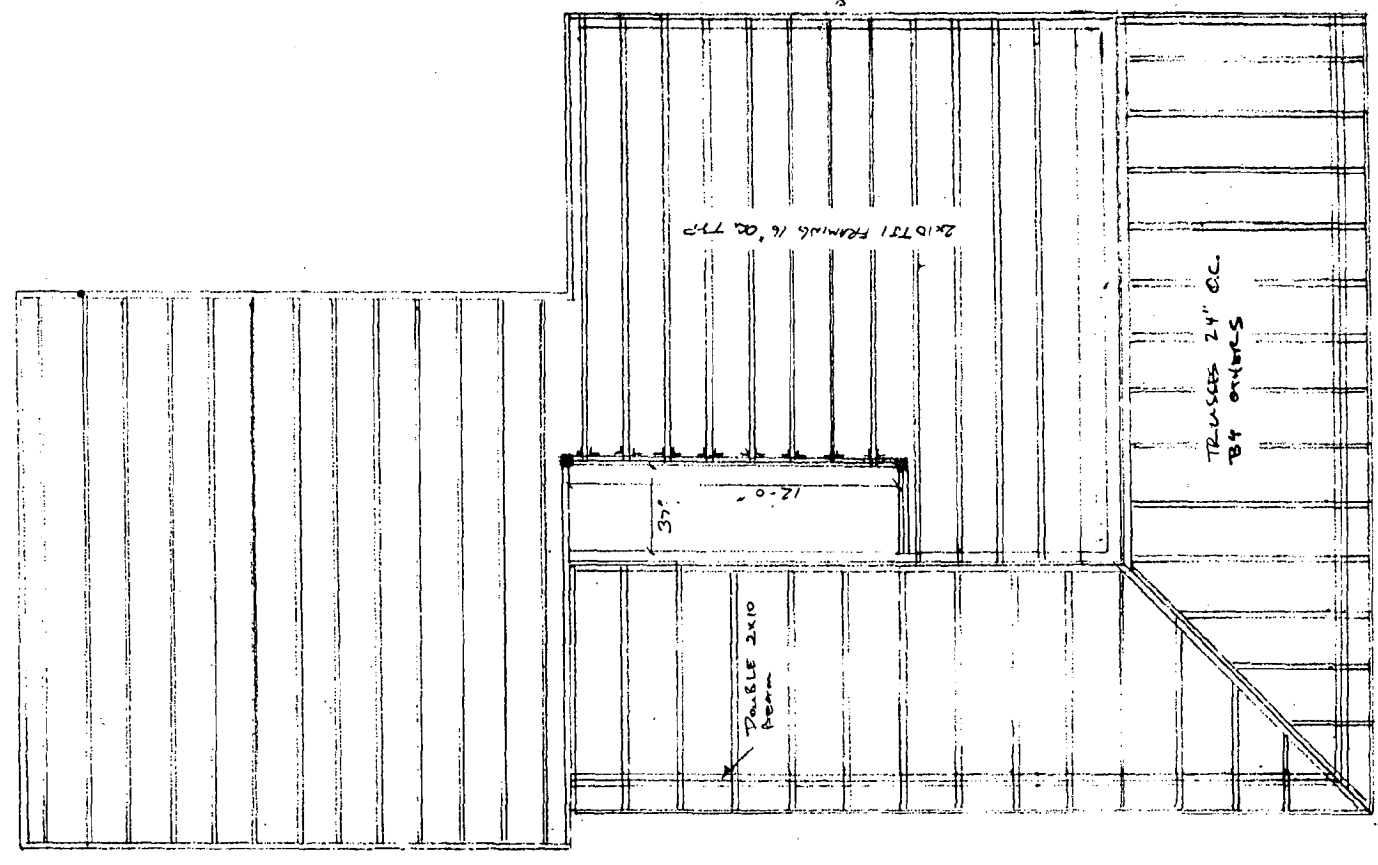
VERIFY ROOM H. OPENINGS AC PER WIND & DR MANUFACTURER.





FIRST FLOOR  
FRAMING  
1/4" = 1'-0"

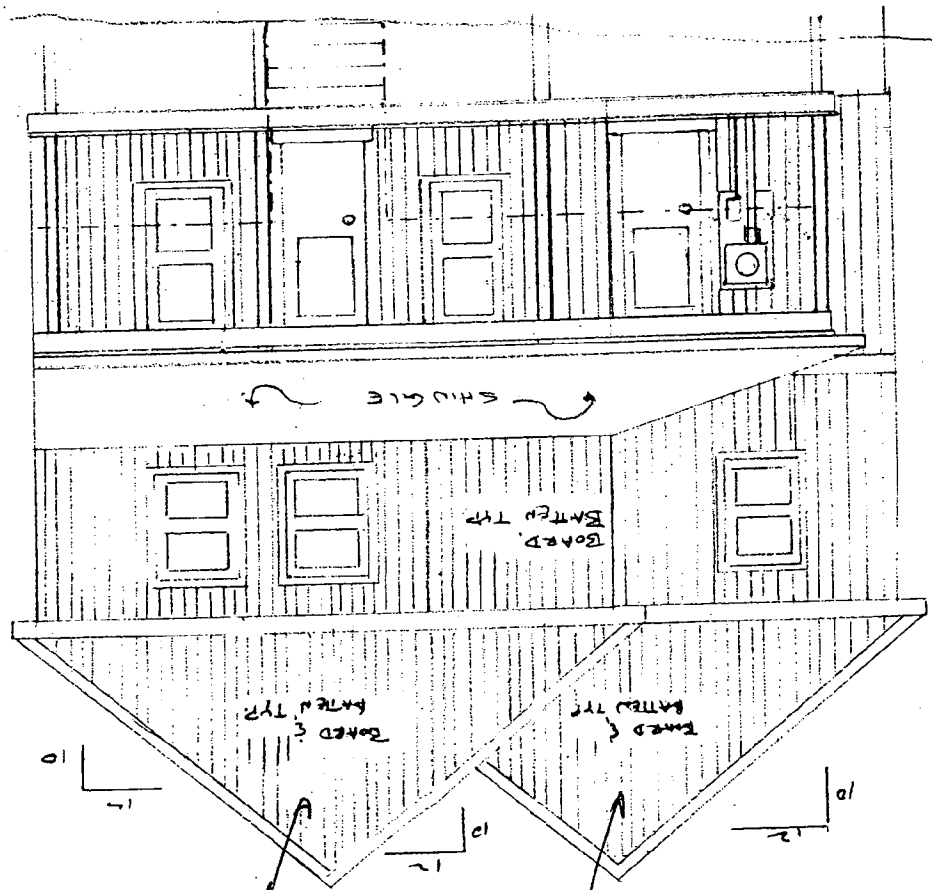
SCALE:	APPROVED BY:	DRAWN BY:
DATE: 12/1/92	REVISED	
ASRBECK		
DEBECKI CONSTRUCTION Co. L.L.C.		DRAWING NUMBER
		A-3



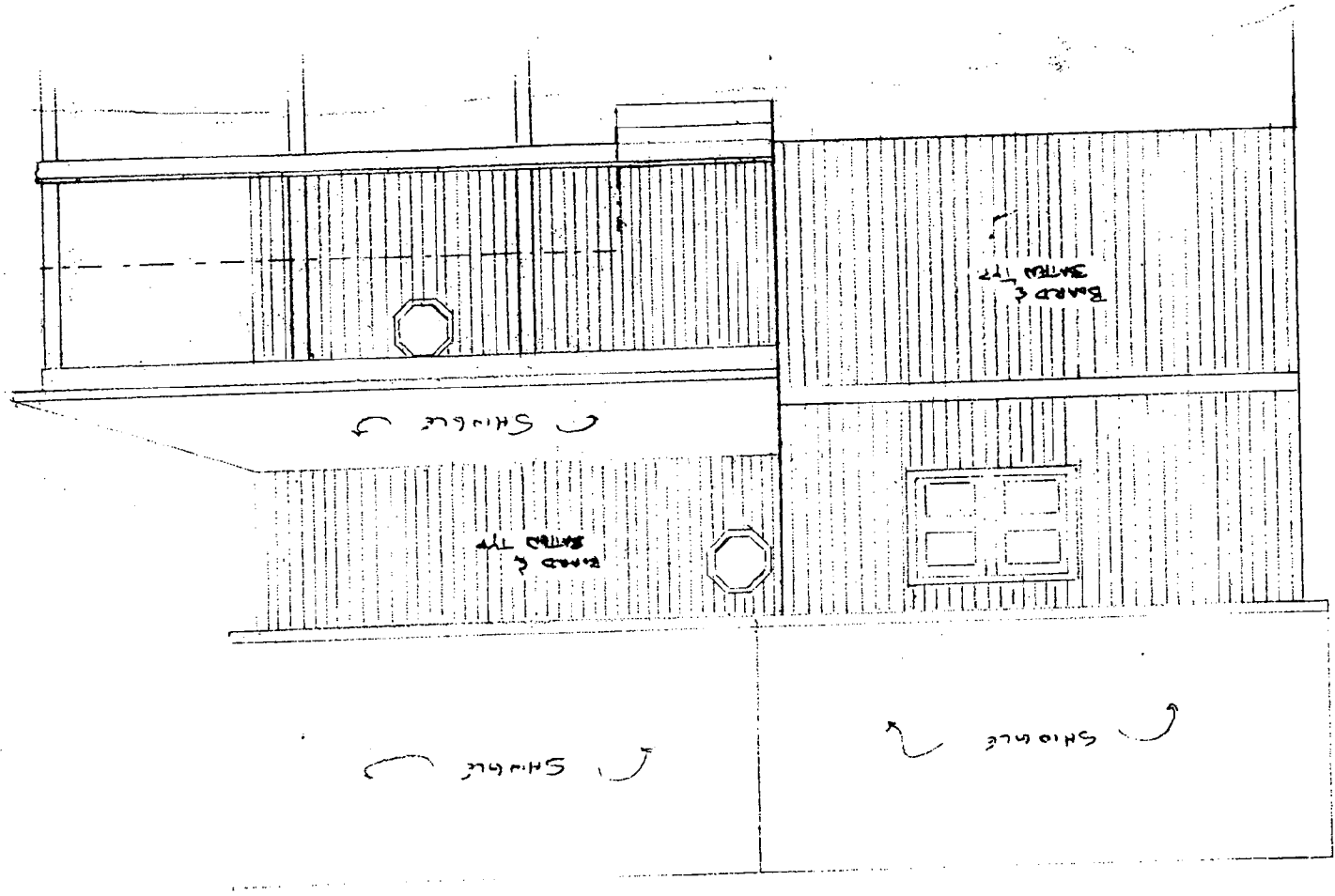
SECOND FLOOR  
FRAMING  
1/4" = 1'-0"

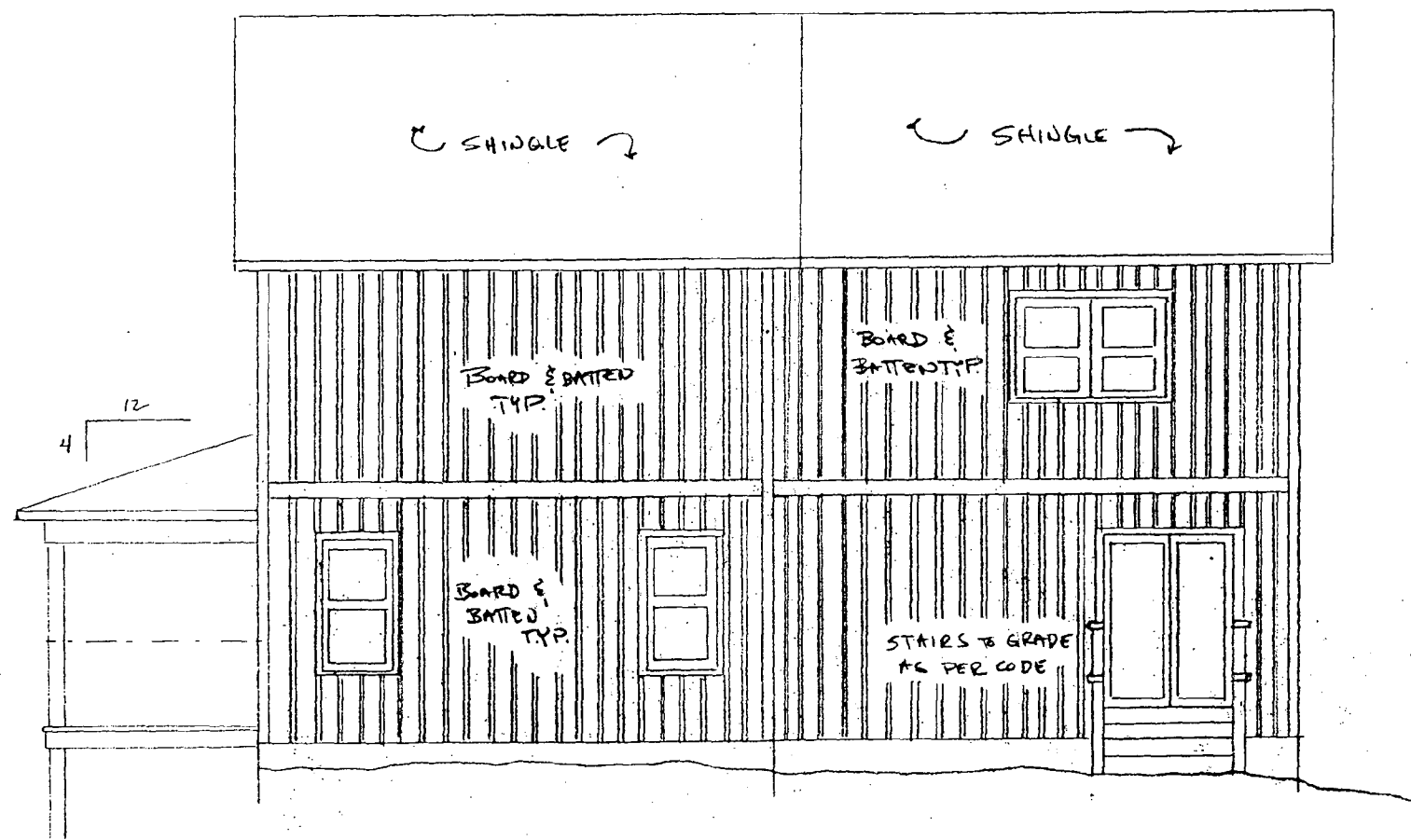
DRAWING NUMBER A4	
DEJEGGI CONSTRUCTION CO. L.L.C.	
DATE: 12/1/73	SCALE:
REVISIONS	APPROVED BY:
DRAWN BY: [Signature]	ASBCK

FRONT ELEVATION

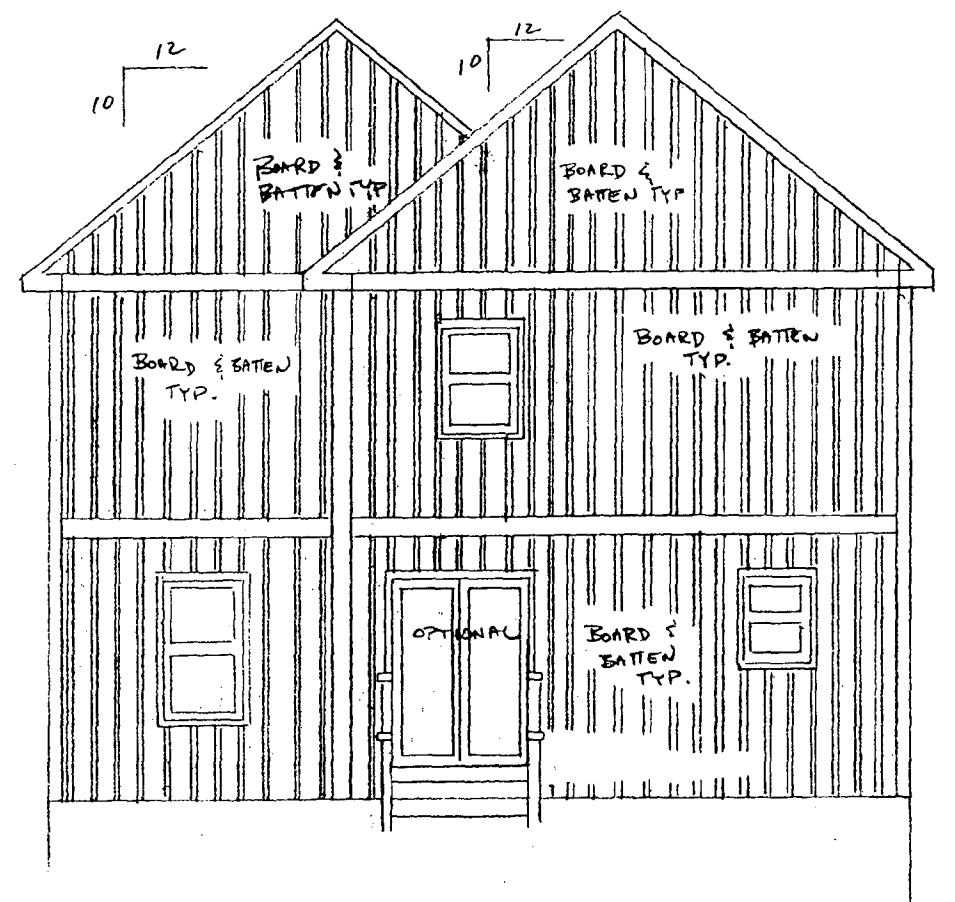


Windows added





RIGHT SIDE ELEVATION  
 $\frac{1}{4}'' = 1 \text{ FOOT}$

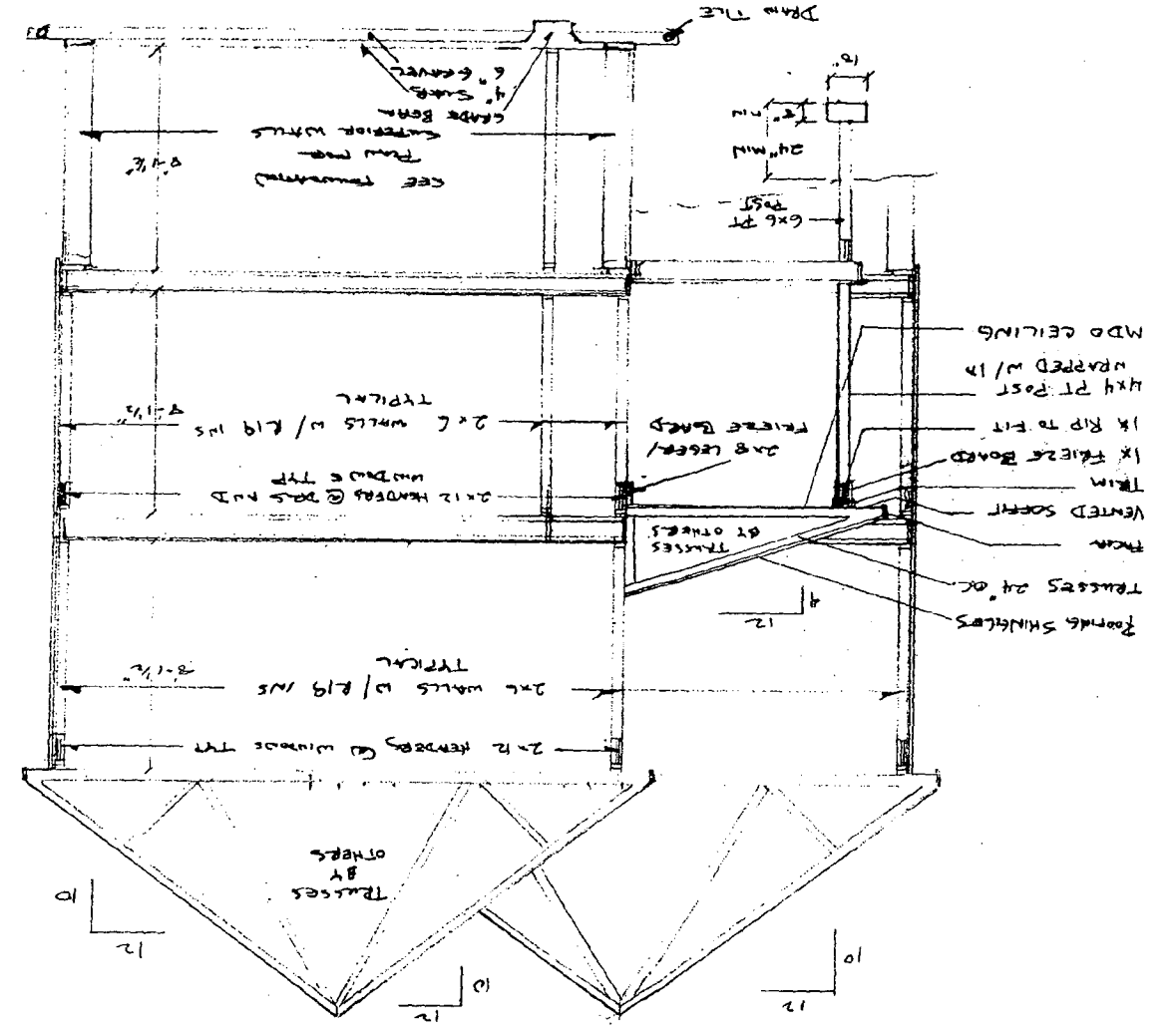


REAR ELEVATION  
 $\frac{1}{4}'' = 1 \text{ FOOT}$

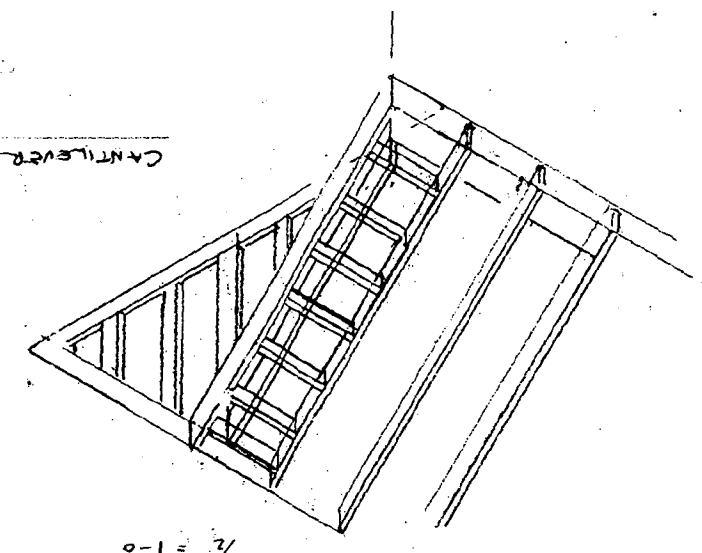
ASBECK		
SCALE:	APPROVED BY:	DRAWN BY: <i>SD</i>
DATE: 12/1/99		REVISED:
DEREGGI CONSTRUCTION CO LLC.		
DRAWING NUMBER		A 5

46	DRAWING NUMBER
DE REGGI CONSTRUCTION CO. L.L.C.	
DATE: 12/1/99	SCALE:
APPROVED BY:	SCALE:
DRAWN BY:	SCALE:
ASBCK	

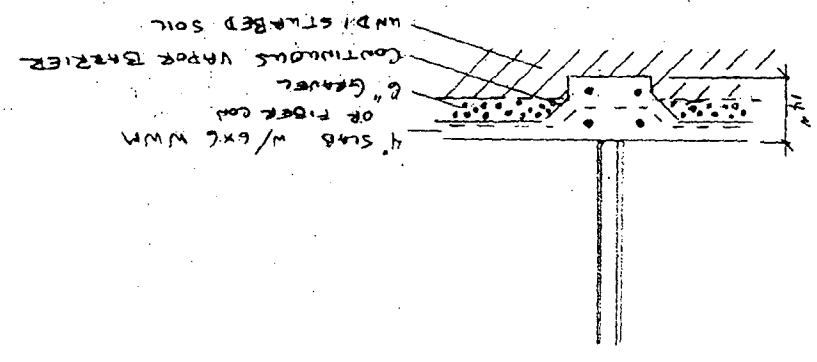
CROSS SECTION 1/4" = 1'-0"



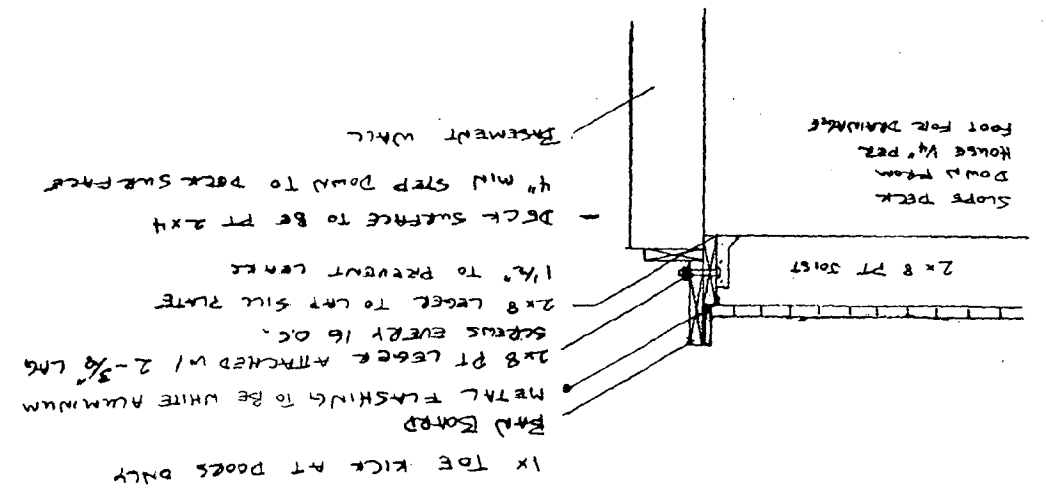
CANTILEVER FINE EOPHT 1/2" = 1'-0"



BEARINGS PARTITION FOOTING 1/2" = 1'-0"



DECK TO HOUSE 1/4" = 1'-0"



## HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: Lots 24 & Lots 25 (Formerly  
associated with 26029 Frederick Road)

Meeting Date: 5/12/99

Resource: Hyattstown Historic District

Review: PRELIMINARY  
CONSULTATION

Case Number: 10/59

Tax Credit: No

Public Notice: 4/28/99

Report Date: 5/5/99

Applicant: Christine DeReggi

Staff: Robin D. Ziek

PROPOSAL: New Construction

RECOMMEND: Revise and Proceed to  
HAWP

---

RESOURCE: Lot in Hyattstown Historic District

The Hyattstown Historic District is a linear town which was designated on the County's *Master Plan for Historic Preservation* in 1986. As noted in the preservation plan, *Vision of Hyattstown* (p. 9), "the town was originally platted in 1798 (see Circle 4), and is significant as one of the largest groupings of relatively unaltered 19th-century buildings in the county. Located along a single, tree-shaded street (see Circle 5), the district is a good example of the small roadside towns that sprang up along early highways to service the needs of travelers and nearby farm families."

The subject property was original part of the property associated with 26029 Frederick Road (see Circle 9). There are extant foundations on Lot 24 and 25 which staff understands were probably for outbuildings - barn, and shed. The house at 26029 Frederick Road has been sold with Lot 22 and Lot 23. The applicants are considering buying Lots 24 and 25 to construct one new residence. The other lots associated with 26029 Frederick Road (Lots 26, 27, 28, part of 29) are located to the rear of the lots fronting on Frederick Road, with an easement for access across Lot 25. There have been some calls about new construction on Lots 26, 27, 28, and part of 29, and staff has indicated that this may be problematic in terms of compatibility with the historic building pattern (see strategies for preservation in preservation plan, Circle 20-22).

Lots 24 and 25 lie at an oblique angle to Frederick Road (see Circle 9). There is a low area through the site which is wet and protected with trees (see Circle 6).

### PROJECT DESCRIPTION

The applicant proposes to construct a new house on Lot 24, parallel to the lot lines, so that the new house would sit at an oblique angle to Frederick Road. The house is a pre-designed model which draws on A. J. Downing's picturesque cottages and villas for stylistic inspiration (see Circle 18, 19). The proposed house would be 2-1/2 stories, side-gable with two large decorative dormers over paired windows (2/1). The house has a center-hall plan, with a manufactured stone foundation and board-and-batten siding on both floors (as per a note on Circle 15).

(1)

The house measures 41'-6" across the front elevation, including a wrap-around porch, wrapping to both sides of the main block of the house. The footprint is given at 1270 sf, but this probably does not include the porch area.

The applicant proposes to do some grading at the rear to accommodate a walkout basement. Some of the changes to the model house which the owners propose include eliminating the attached garage, eliminating the front chimney, and siding the house completely with board-and-batten. There are no other outbuildings proposed at this time.

### **STAFF DISCUSSION**

The proposed house appears to have some promise, although staff feels that some alterations should be made before the project goes forward.

It is important that the house be sited to squarely face Frederick Road. The lot layout is the anomaly, and historically, it was more important for houses to relate to the road than to follow lot lines. This is graphically illustrated with the siting of 26029 Frederick Road across lot lines to include Lot 22 and Lot 23. At the very least, the proposed new house should be re-positioned to lay square to Frederick Road, even if it means crossing lot lines for Lot 24 and Lot 25.

In general, staff would suggest that the house be simplified. The proposal is somewhat more elaborate than is typical in the historic district. For example, the prominent front dormers are wholly decorative, in the pointed Gothic style. Another solution would be to have one central dormer which includes a window. This would simplify the front elevation and offer light and ventilation to the attic space. Staff notes that the proposed dormers are significantly steeper than the main roof, and it might be better to bring them closer in pitch.

Another issue which affects the district is the proposed scale of the house. This can be simplified and reduced if the front porch were redesigned as a full-width porch instead of a wrap-around. Neither side of the porch leads to a door in the house, and the apparent width of the house could be reduced by approximately 11' without affecting the interior living space.

Finally, the proposed house presents a strong stylistic affiliation with the mid-19th century picturesque movement. This could be seen as appropriate because, stylistically, Hyattstown includes many mid-19th century structures with similar features and proportions, such as steep dormers in a side-gable structure, decorative brackets on porches, and wood siding. The only examples, as far as staff knows, of buildings with board-and-batten siding in Hyattstown are outbuildings. However, the proposed use of board-and-batten for the house siding is consistent with 19th-century architectural pattern books, and staff feels that this should be given due consideration.

An issue for discussion is that the house is so derivative of the historical styles. New construction in a historic district has to meet a middle ground to meet the test of compatibility. Something too modern and bold, while meeting the test of "being of its own time", might not harmonize with the streetscape. Something too derivative of historical styles may not be seen as "of its own time". Staff feels that, by simplifying the proposal and adapting the design for both function and beauty, the structure would harmonize better with the historic district and meet the middle ground.

### **STAFF RECOMMENDATION**

Staff recommends that the applicant revise the proposal, and proceed to the HAWP application.

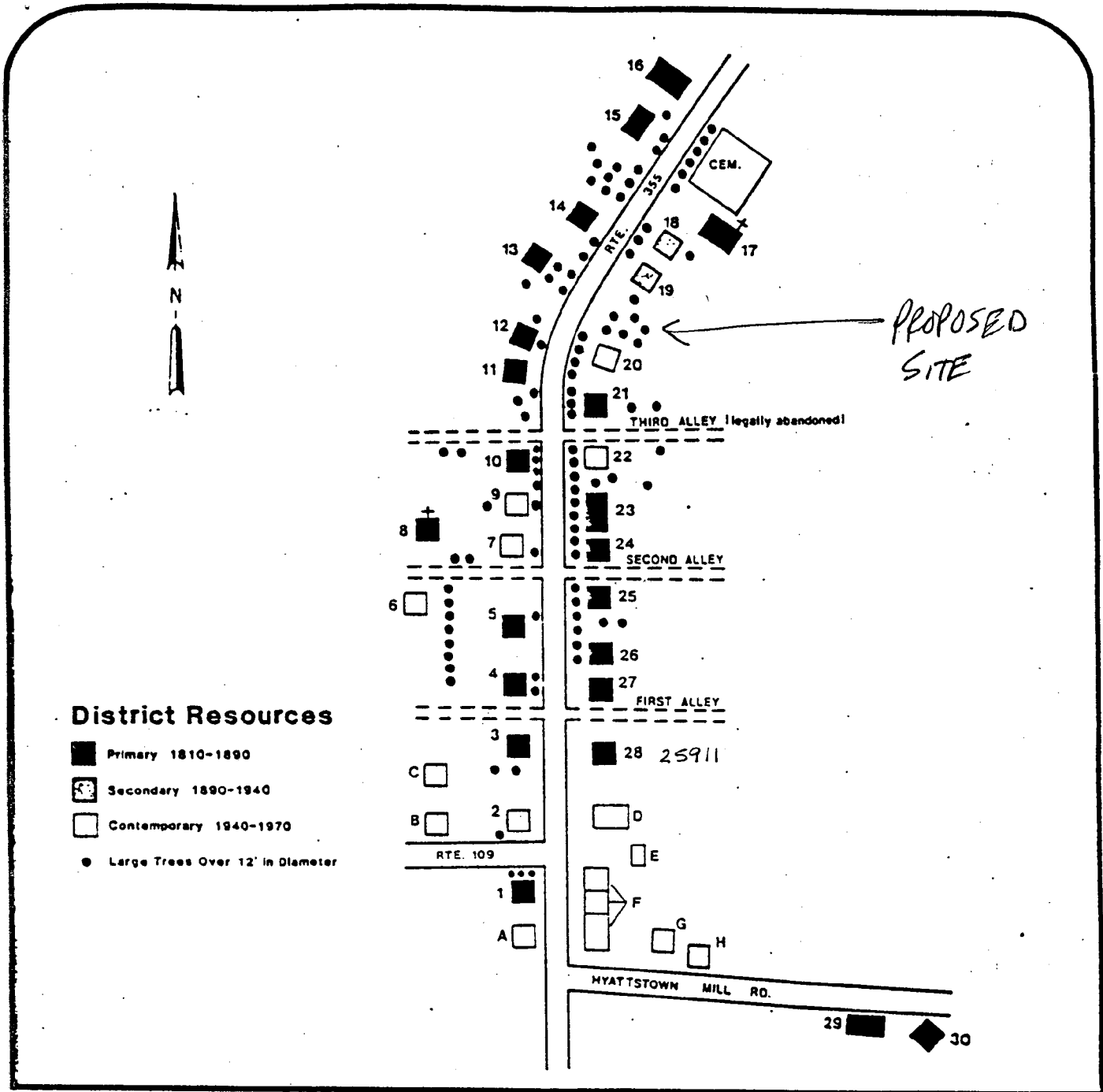
TO: HISTORIC PRESERVATION  
COMMISSION

FROM: CHRISTINE DEREGGI  
PO BOX 106  
BOYDS, MD 20841  
301.540.4491

INFORMATION REGARDING  
PROPOSED HOUSE IN HISTORIC  
HYATTSTOWN







**HYATTSTOWN HISTORIC DISTRICT**

March 1987

**Fig. 2**

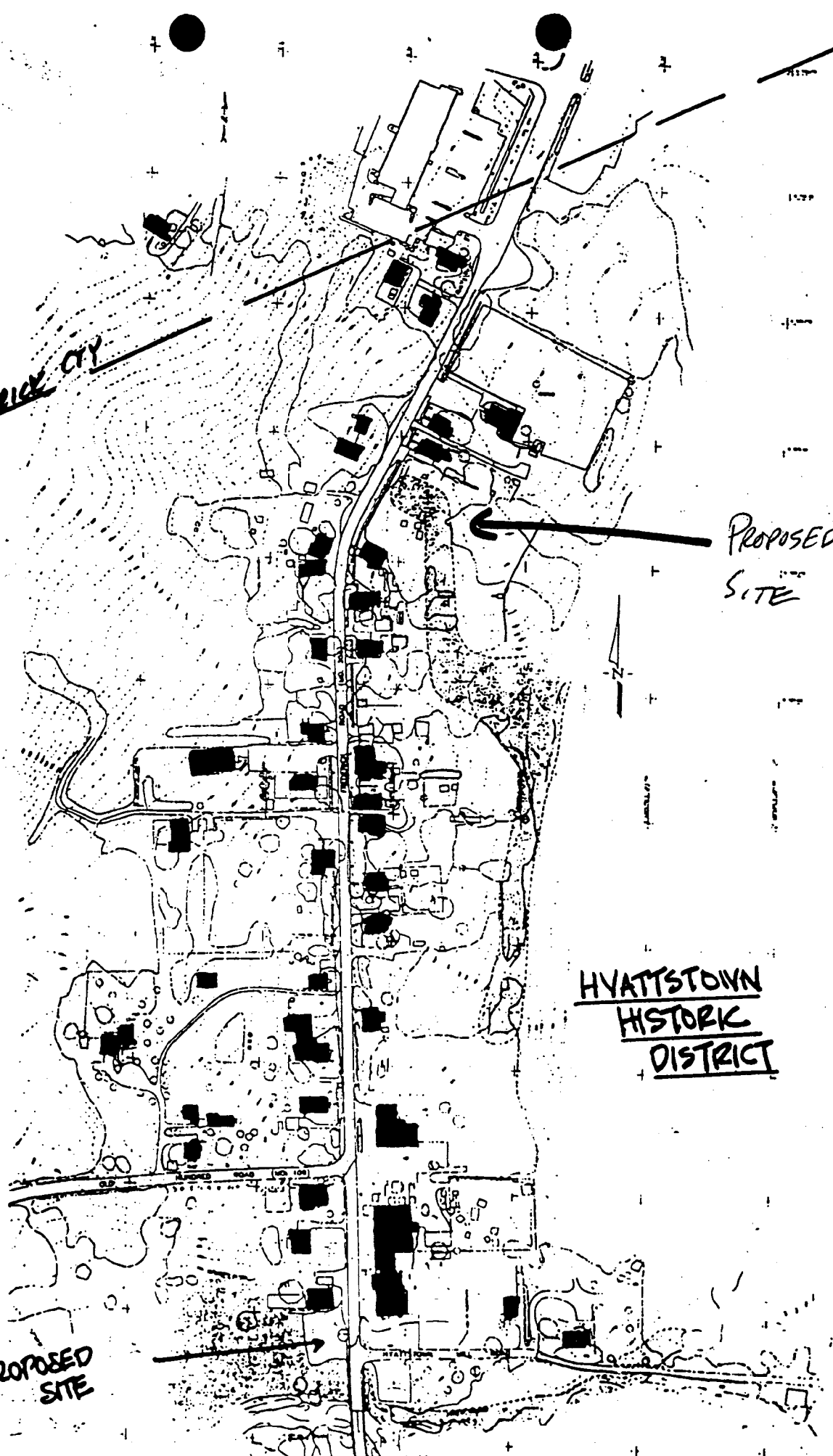
(5)

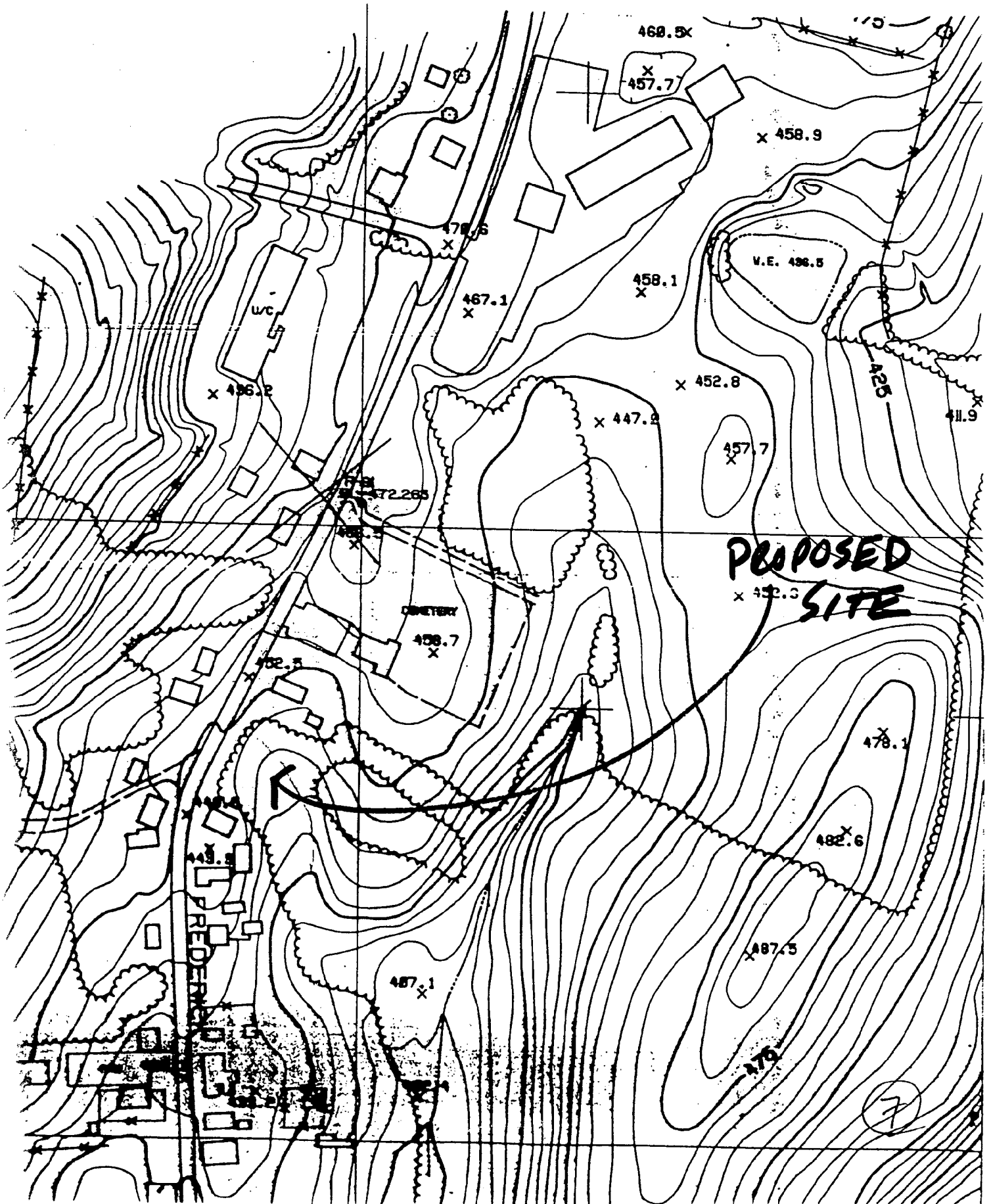
FREDERICK CITY

PROPOSED  
SITE

HYATTSTOWN  
HISTORIC  
DISTRICT

PROPOSED  
SITE





468.5x

X 457.7

X 458.9

478.5

V.E. 496.5

467.1

458.1

X 486.2

X 452.8

X 447.8

457.7

472.268

**PROPOSED SITE**

X 452.3

CEMETERY

456.7

452.5

478.1

482.6

FREDERICK

X 487.5

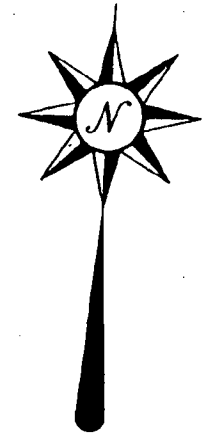
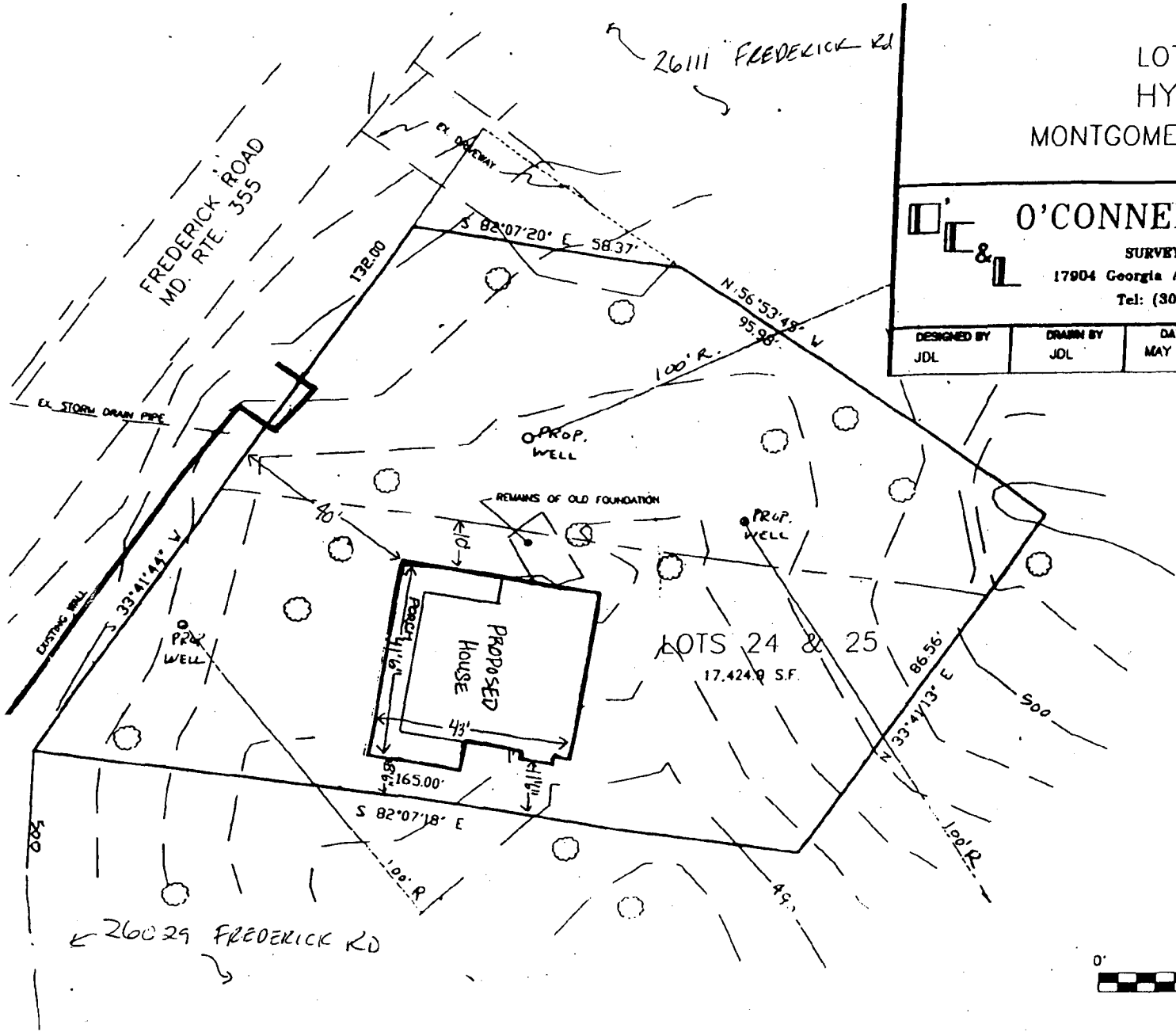
457.1

7

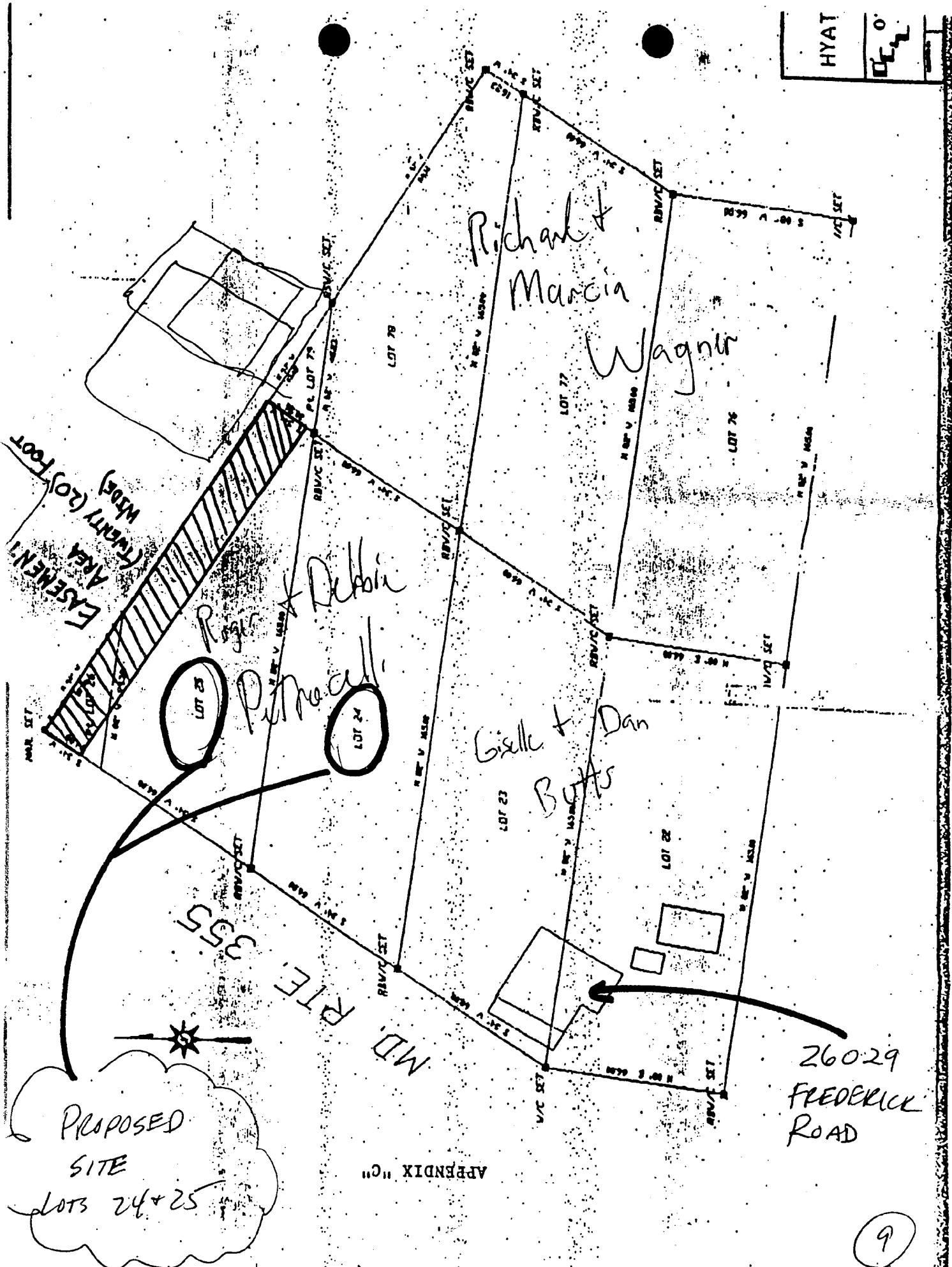
SITE PLAN  
 LOTS 24 & 25  
 HYATTSTOWN  
 MONTGOMERY COUNTY, MARYLAND

**O'CONNELL & LAWRENCE, INC**  
 SURVEYORS, ENGINEERS & LAND PLANNERS  
 17904 Georgia Avenue, Suite 302, Olney, Maryland 20832  
 Tel: (301) 924-4570 • Fax: (301) 924-5872

DESIGNED BY JDL	DRAWN BY JDL	DATE MAY 1997	SCALE 1" = 20'	PROJECT/JOB NO. 22-199	SHEET 1 OF 1
--------------------	-----------------	------------------	-------------------	---------------------------	-----------------



8

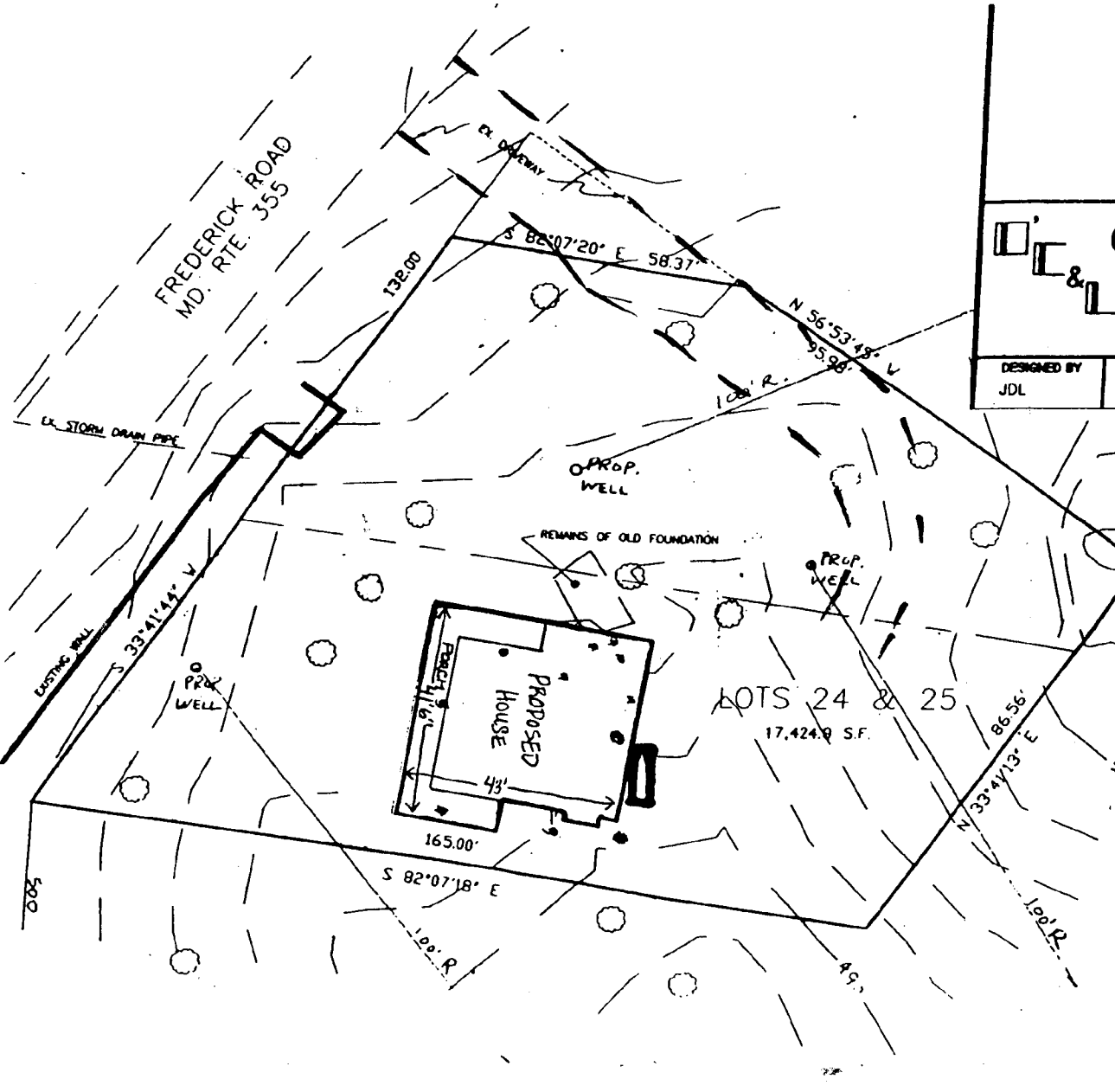


APPENDIX "C"

SITE PLAN  
 LOTS 24 & 25  
 HYATTSTOWN  
 MONTGOMERY COUNTY, MARYLAND

**O'CONNELL & LAWRENCE, INC**  
 SURVEYORS, ENGINEERS & LAND PLANNERS  
 17904 Georgia Avenue, Suite 302, Olney, Maryland 20832  
 Tel: (301) 924-4570 • Fax: (301) 924-5872

DESIGNED BY	DRAWN BY	DATE	SCALE	PROJECT/JOB NO.	SHEET
JDL	JDL	MAY 1997	1" = 20'	22-199	1 OF 1



OLD FOUNDATION TO BE REMOVED

PROPOSED DRIVEWAY

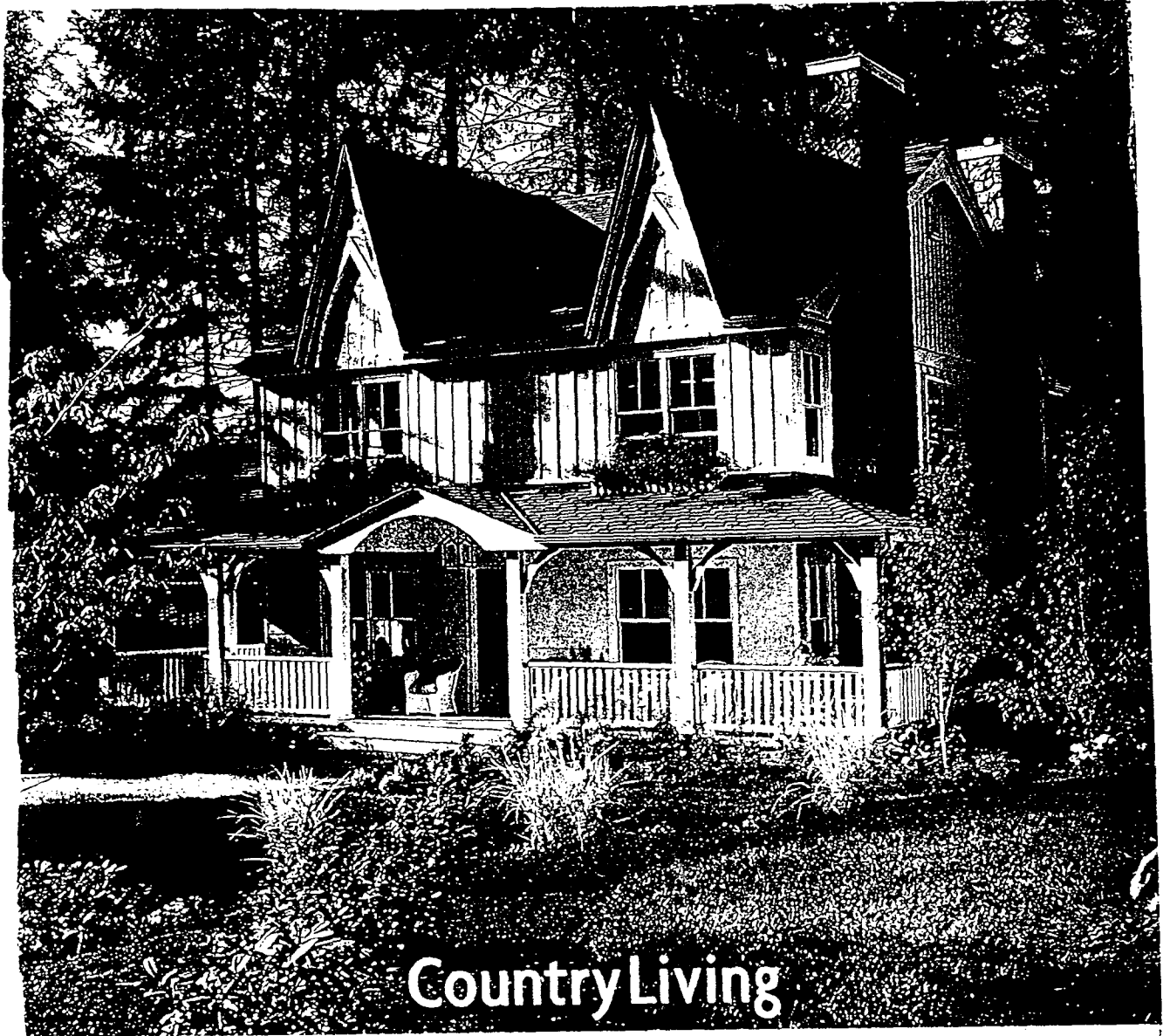
THESE TREES NEED TO BE REMOVED

- #1-18" OAK
- #2-16" OAK
- #3-10" OAK
- #4-7"
- #5-7"
- #6-7"
- #7-7"
- #8-10" OAK
- #9-10" OAK
- #10-10" OAK
- #11-7"

SHED TO BE REMOVED, RICK WAGNER  
 ALREADY GOT HUMP TO REMOVE IT BUT DID NOT



10



Country Living

F E B R U A R Y 1 9 9 3

# Our House of the Year



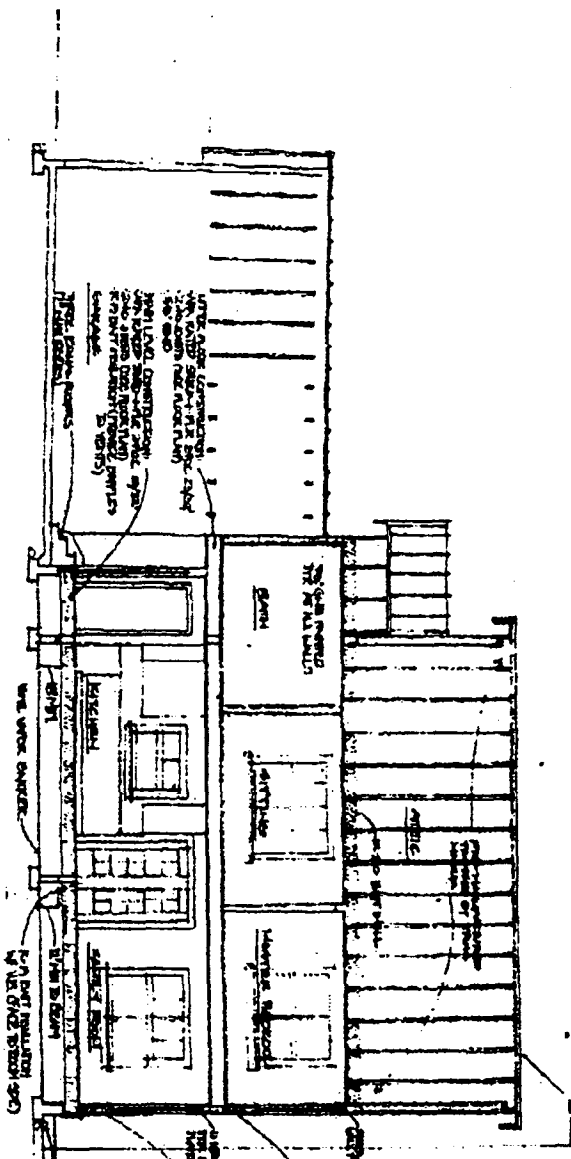




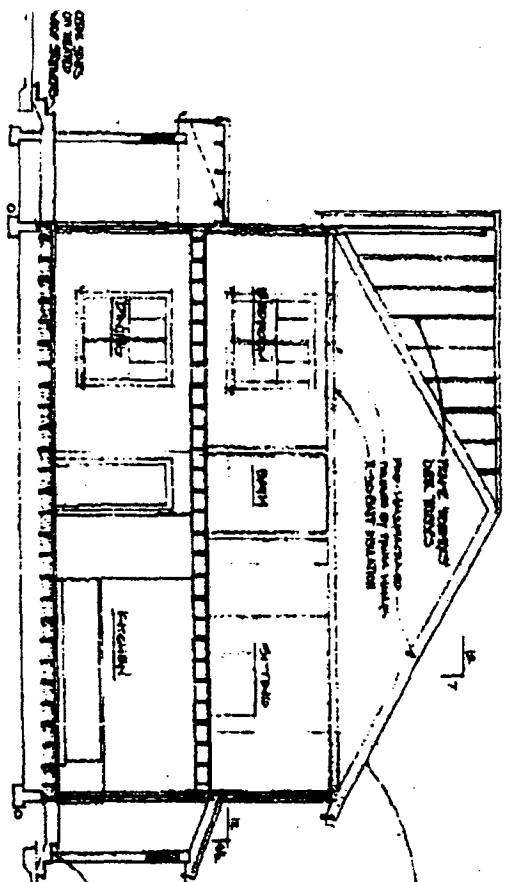
BY LIVING HOUSES

61

BUILDING SECTION B-B



BUILDING SECTION A-A



THIS SECTION IS A CROSS SECTION THROUGH THE BUILDING FROM THE FRONT PORCH TO THE REAR PORCH. IT SHOWS THE ROOF, FLOOR, WALLS, AND CEILING. THE STAIRS ARE SHOWN IN THE CENTER OF THE BUILDING. THE FRONT PORCH IS ON THE LEFT AND THE REAR PORCH IS ON THE RIGHT.

THIS SECTION IS A CROSS SECTION THROUGH THE BUILDING FROM THE FRONT PORCH TO THE REAR PORCH. IT SHOWS THE ROOF, FLOOR, WALLS, AND CEILING. THE STAIRS ARE SHOWN IN THE CENTER OF THE BUILDING. THE FRONT PORCH IS ON THE LEFT AND THE REAR PORCH IS ON THE RIGHT.



29'6" + BASEMENT. THIS COULD BRING THE HOUSE UP TO 34'6". THERE IS A SLIGHT SLOPE TOWARDS THE BACK OF THE PROPERTY SO SOME SMALL GRADING MAY NEED TO BE DONE FOR A WALKOUT BASEMENT

FOOTPRINT 1270 LF  
 SQUARE FOOTAGE IS 2540

THIS WILL ALSO BE BOARD & BATTEN

15

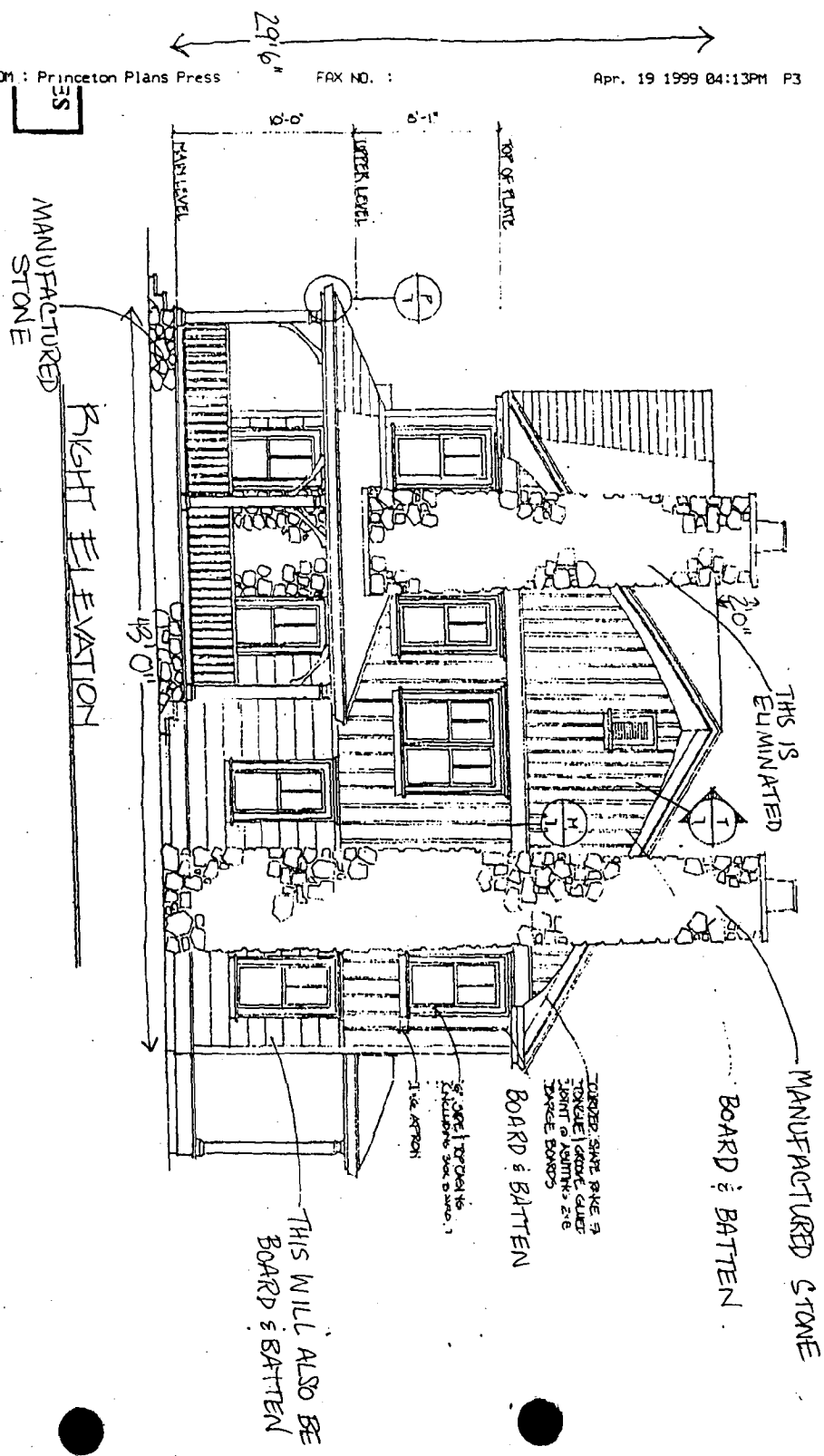


17

FROM : Princeton Plans Press

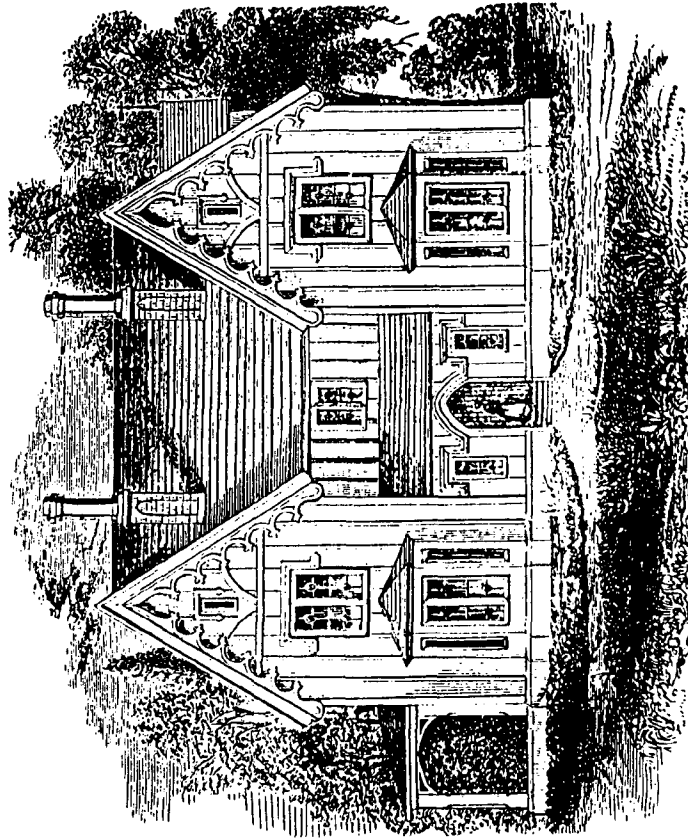
FAX NO. :

Apr. 19 1999 04:13PM P3



the character of the building must so much depend upon the scenery, the requirements of the builder, and upon other local causes.

Where a high pitched roof is admissible, the style that the accompanying design exhibits will, I think, be found suitable.



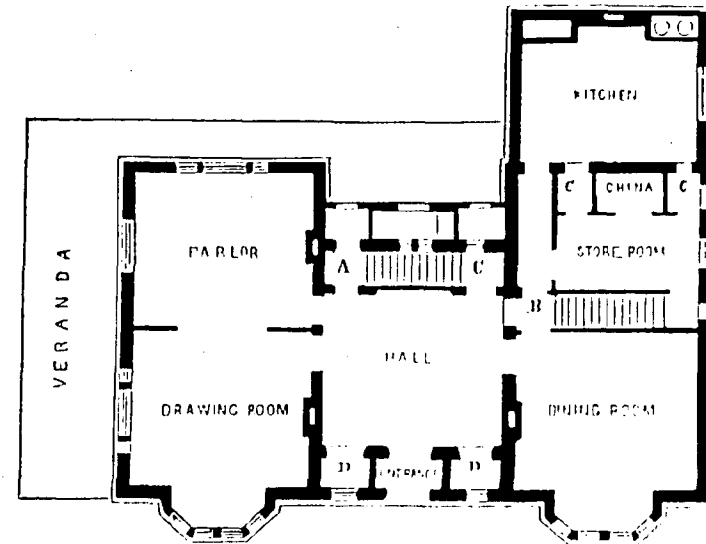
[Fig. 130. Plain Timber Cottage-Villa.]

This is essentially *real*. Its character is given by simplicity and fitness of construction, and no attempt is made with inch

(87)

board finery, to dress up and *make* Gothic what would otherwise appear a very plain house.

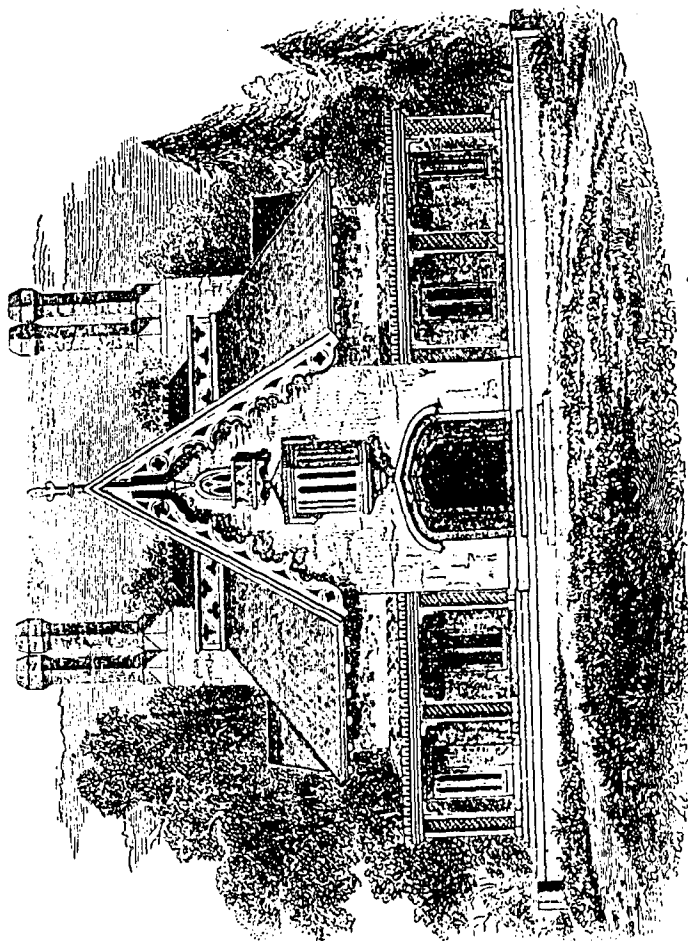
The building is slightly modified from one erected by the writer at Brunswick, in Maine, at a cost not exceeding \$2800. The size and arrangement of the rooms, the spacious hall, and the picturesque exterior, point it out as the residence of a gentleman; and simple and inexpensive as it is, it really better meets the requirements of those who wish to build *well*, than many buildings that have cost more than twice the money.



[Fig. 131. Principal Floor.]

The construction itself, though simple, is somewhat peculiar. It is *framed*, but in such a manner as that on the exterior the construction shows, and gives additional richness and character to the composition.

At the corners are heavy posts, roughly dressed and cham-

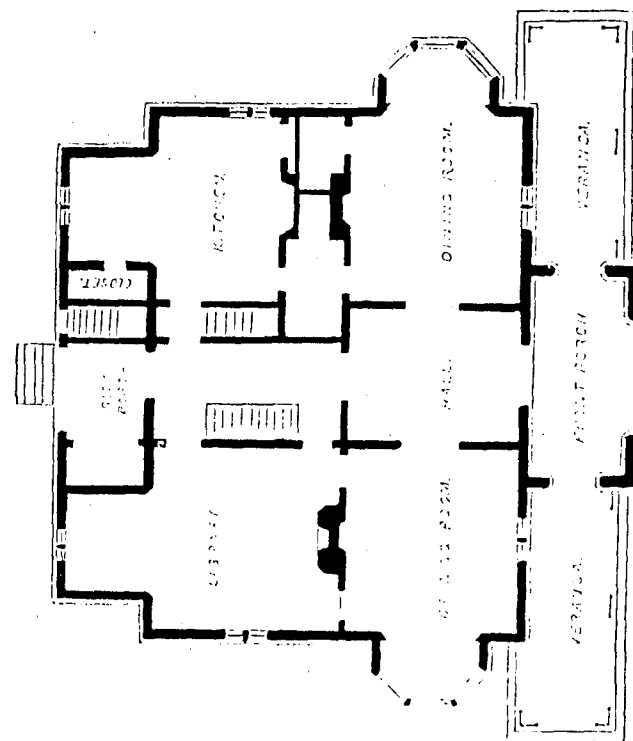


[Fig. 128. Cottage-Villa in the Rural Gothic style.]

19

In the rear hall is the principal staircase, and in a smaller entry, between this hall and the kitchen, is the back stair.

The library is a pleasant and retired apartment, 20 by 21 feet, exclusive of the deep alcove, about 10 feet square. The kitchen is 14 by 20 feet, with a corresponding recess, 10 feet square (which might be partitioned off for a scullery). In the



[Fig. 129. Principal Floor.]

dining-room is a china-closet. Between the kitchen and dining-room is a pantry. In the kitchen itself are two closets. In a space partitioned off from the back porch is the cellar stair.

**CONSTRUCTION.** This cottage should be built with hollow



## STRATEGIES FOR MAINTAINING HISTORIC CHARACTER

The Historic Residential Core comprising properties north of Old Hundred Road is the character defining of the section of the Hyattstown Historic District, and areas to the south as the Commercial Core of the district. Preservation strategies are put forward for each area in the following section.

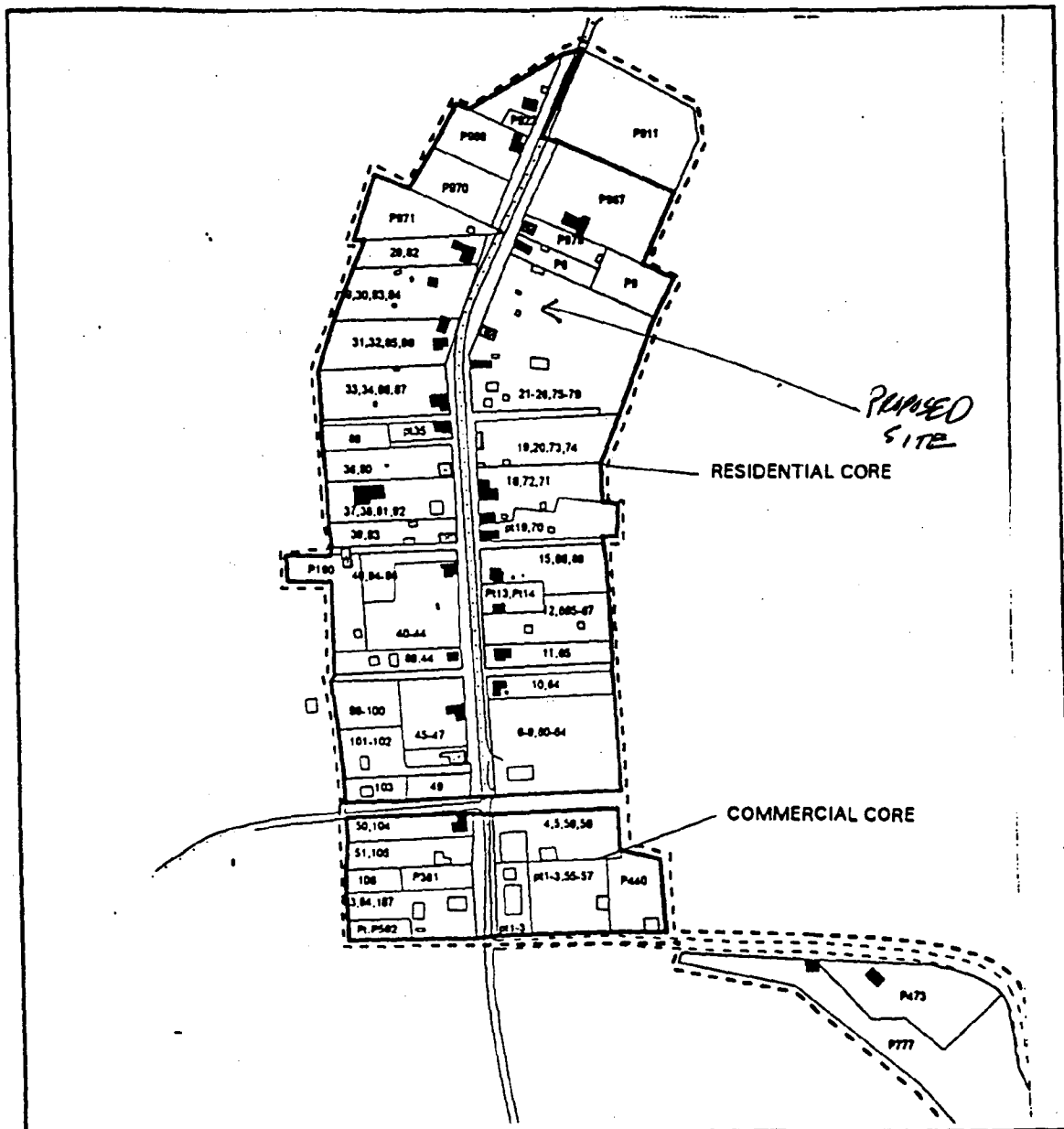


Figure 33: Preservation Planning Areas in Hyattstown

## The Historic Residential Core

The Historic Residential Core encompasses the pattern of development which defines the character of this intimate rural village. Within this area there are two different patterns of building siting. One pattern applies to the residential structures along Frederick Road where shallow front yard setbacks on each side of the road are a typical feature which helps to define the intimate village quality of the community. In addition, there is a fairly consistent rhythm of spacing between buildings on both sides of Frederick Road which provides a sense of order and completeness to the community. The other predominant pattern occurs in the siting relationships of churches in the district. Typically, churches in the district are deeply setback from the road providing a break in the streetscape, as well as communal open spaces. Also important to the feeling and character of this area are the existence of large mature trees which help to define the streetscape of the district. Within this area the following strategies are suggested to preserve the characteristics of the district:

Strategy 1.1: Satisfy the minimum conditions for water and sewer to ensure the future viability of the community. The long-range goal should be to supply the district with the level of utility service needed to meet necessary health and safety standards. However, a short-term solution should be found to enable vacant historic resources to be reused to prevent their deterioration. It is suggested that citizens and the County Preservation Staff work with Health officials identify short-term alternatives which will allow historic buildings to be reused without endangering public health and safety.

Strategy 1.2: Preservation of significant patterns of development encourage that any additional development within the Historic Residential Core be compatible with the characteristic pattern of development. Based on the analysis of lot characteristics of primary resources in this area the following criteria are suggested for limiting new residential construction to the extent feasible:

- + Residential uses fronting Frederick Road - front yard setbacks of 25 to 40 feet are typical of the pattern for the existing historic houses fronting the road. New buildings should be sited to fit within this rhythm of building spacing.
- + Institutional uses fronting Frederick Road - as appropriate, new institutional uses should follow the setback relationships exhibited in the siting of the historic churches, characterized by deeper setbacks making these buildings less prominent in the streetscape of the community.

Strategy 1.3: Develop a rehabilitation program to stabilize and improve deteriorating and substandard buildings in the area. The object of such a program should be to prevent the loss of important historic elements within the district. As envisioned, such a program could involve property owners and the County government to overcome the cost impediments to rehabilitation work.

- + Explore the creation of a County assistance program to provide building materials to qualifying owners of historic properties at or near wholesale costs.
- + Develop additional incentives to encourage rehabilitation of deteriorating structures considered important to the District.

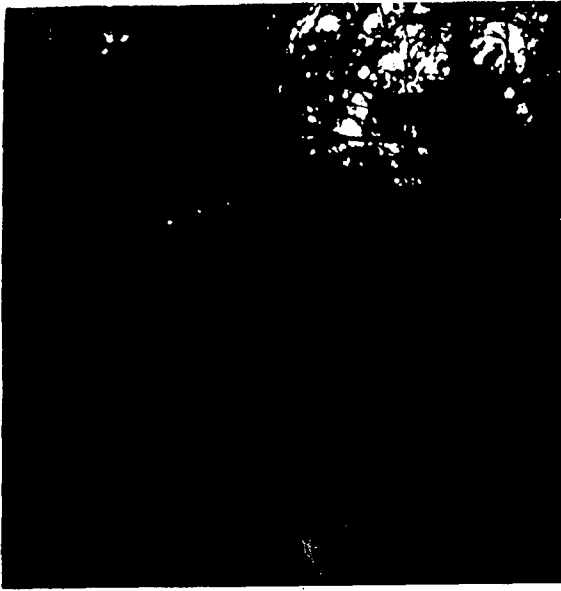
**Strategy 1.4:** Develop architectural guidelines for the rural context which address the rural vernacular architecture of the area, issues of the rural village quality present in Hyattstown, elements of the rural streetscape, and rural signage.

**Strategy 1.5:** A long-range tree preservation and maintenance plan should be developed to ensure that trees which contribute to the character of the historic district are: (1) considered in reviewing applications for work in the district, (2) maintained in good health, and (3) replaced with appropriate varieties when needed.

**Strategy 1.6:** Enhance the pedestrian environment of Hyattstown through improvements to existing sidewalks, and use of appropriate street lighting

**Strategy 1.7:** Maintain a perimeter buffer area around the historic district to isolate the community from traffic and future perimeter development.





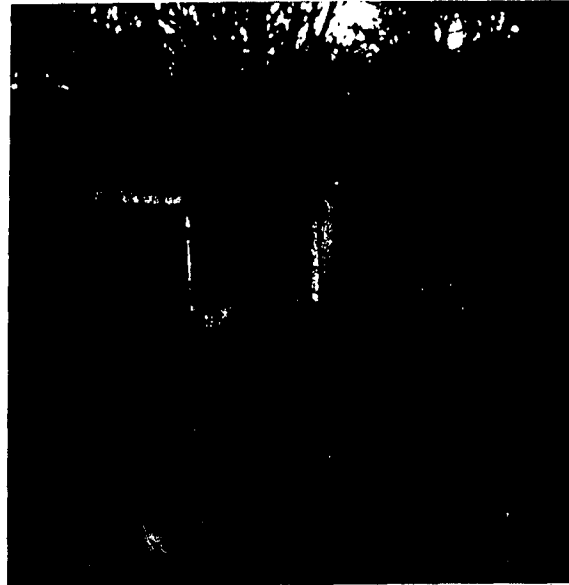
VIEW FROM BUTT PROPERTY



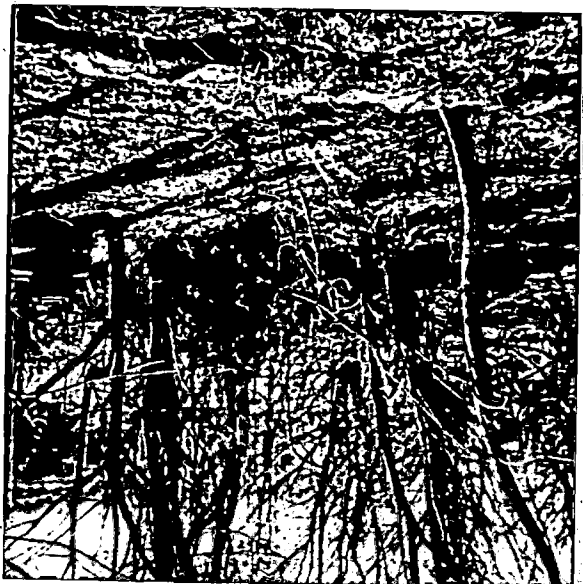
VIEW FROM HAWSE  
PROPERTY



(he)  
OLD FOUNDATION TO BE  
REMOVED



SHED TO BE REMOVED. RICK  
WAGNER ALREADY GOT HAND TO  
TEAR DOWN



26101 FREDERICK RD  
CLARKSBURG MD 20871  
ASBECK

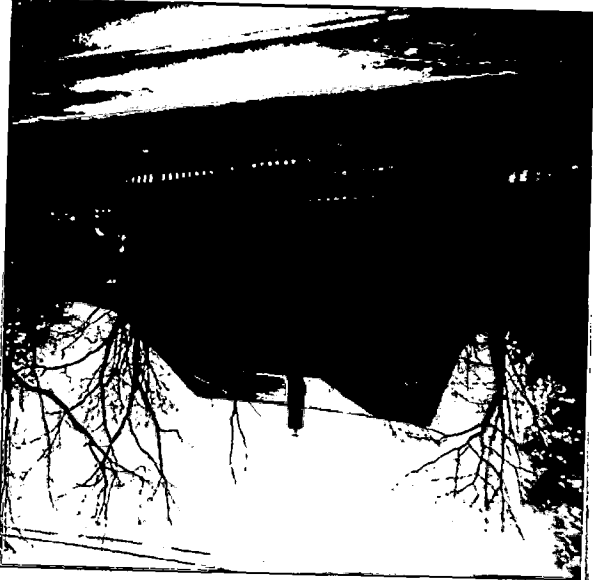


26101 FREDERICK RD  
CLARKSBURG MD 20871  
ASBECK

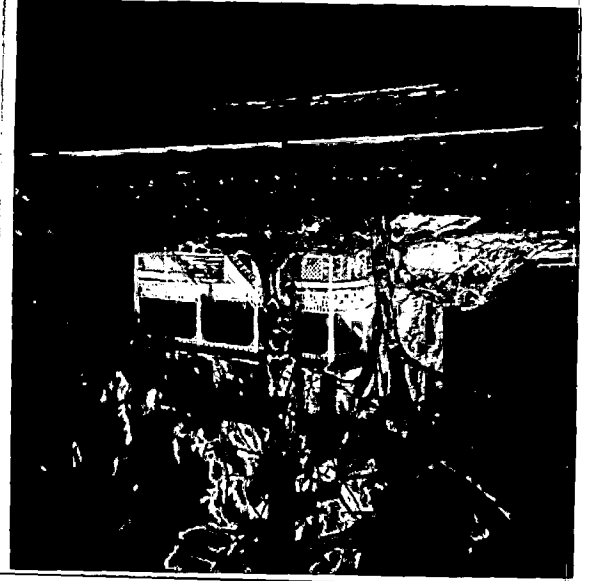
26034 FREDERICK RD  
CLARKSBURG MD 20871  
R ALLEN WILKINSON



26029 FREDERICK RD  
CLARKSBURG MD 20871  
MR & MRS BUTT



FREDERICK RD  
228 WEST DEER PARK RD  
CLARKSBURG MD 20871  
DAVE BRADLEY

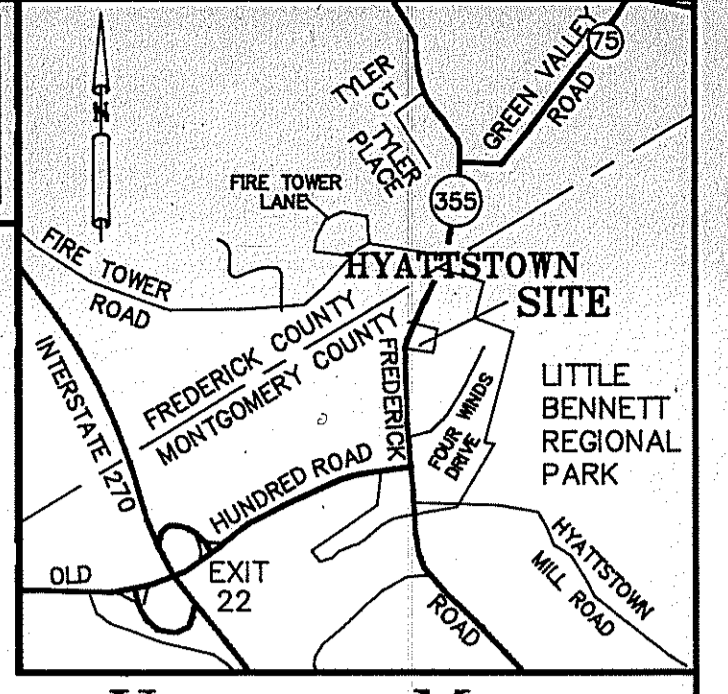


26111 FREDERICK RD  
CLARKSBURG MD 20871  
R WAYNE HANSE





Call "Miss Utility" at 1-800-257-7777  
 For Utility Location at least 48  
 Hours Prior to Beginning Construction.



VICINITY MAP  
 ADC Map Page 2, Grid h-9  
 Scale: 1" = 2000'

**SURVEYORS CERTIFICATE:**

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS  
 CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

May 16, 2000  
 DATE

*Jeffrey A. Foster*  
 JEFFREY A. FOSTER  
 PROPERTY LINE SURVEYOR  
 MD. REG. NO. 587



LINE TABLE FOR SEWER EASEMENT

L9	S 03°18'30" E	73.11
L10	N 82°07'13" W	10.19
L11	N 03°18'30" W	57.87
L12	N 33°41'44" E	16.62

**GENERAL NOTES:**

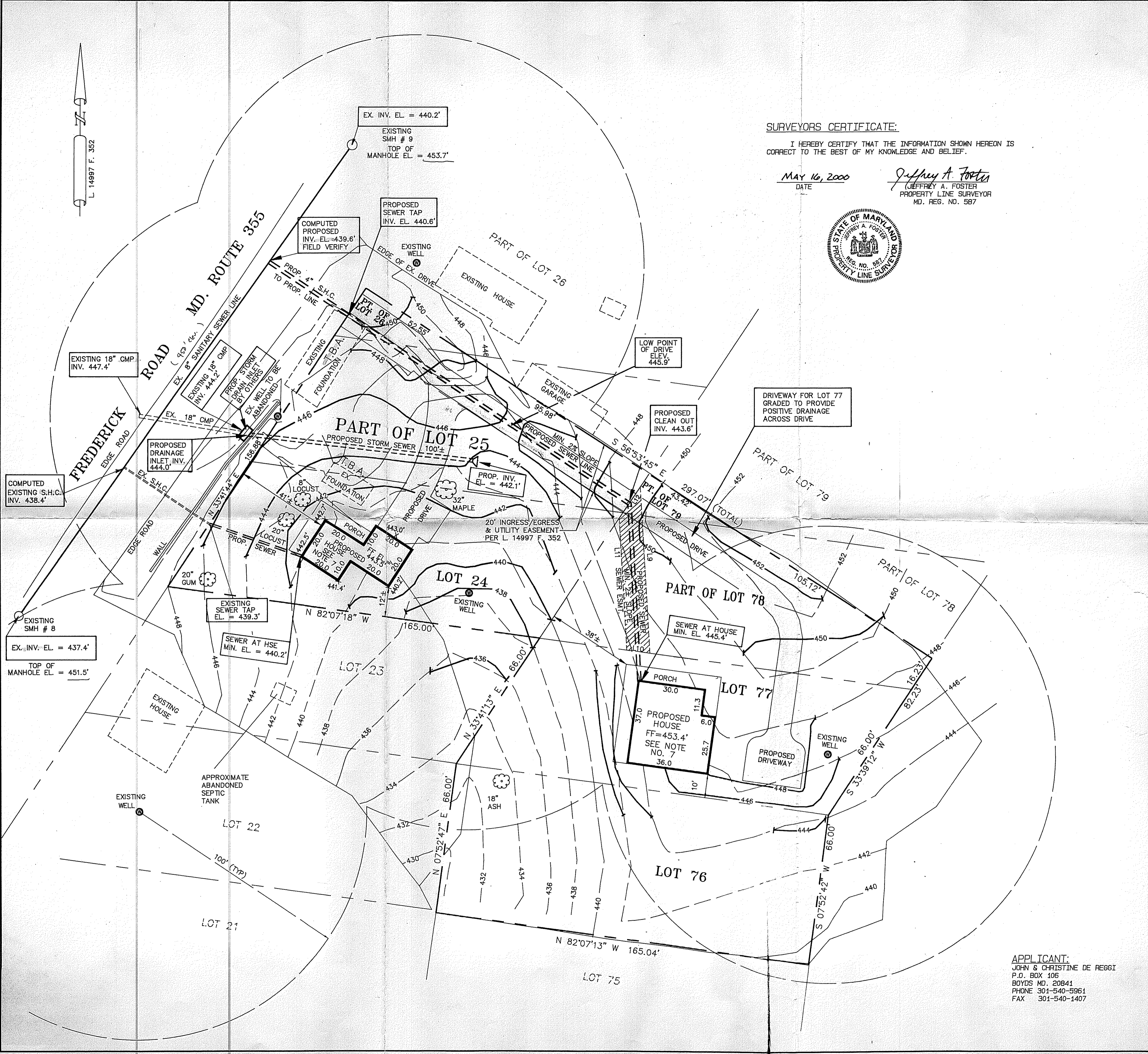
- CURRENTLY ZONED: R-200  
 FRONT B.R.L. : 40  
 REAR B.R.L. : 30  
 ONE SIDE B.R.L. : 12  
 TOTAL : 25
- WATER CATEGORY : W-6  
 SEWER CATEGORY : S-1
- PROPERTY SHOWN ON W.S.S.C. 200 SHEET NW-14, 233.  
 LITTLE BENNETT WATER SHED PLANNING AREA.
- PROPERTY SHOWN ON TAX MAP : DX.
- FLOOD ZONE, "C" PER H.U.D. FIRM MAPS, COMMUNITY PANEL  
 NO. 240049-0050-B.
- BOUNDARY INFORMATION, 2' FIELD RUN TOPOGRAPHY, EXISTING STRUCTURES,  
 EXISTING WELLS, AND ABANDONED SEPTIC SYSTEMS LOCATED BY SURVEY  
 ENTITLED "WELL/SITE PLAN" BY O'CONNELL & LAWRENCE, INC., DATED  
 JULY 27, 1999.
- BASEMENT PLUMBING WILL REQUIRE AN EJECTOR PUMP.
- PROPOSED SEWER TAP AND LINE SHOWN THUS: =====
- T.B.A. - TO BE ABANDONED/REMOVED

ex. inv. el. = existing invert elevation where the pipe  
 comes up into the manhole cover...  
 S.H.C. = Sewer house connection  
 CMP = type of pipe corrugated metal pipe for storm drainage  
 T.B.A. = to be abandoned or removed.

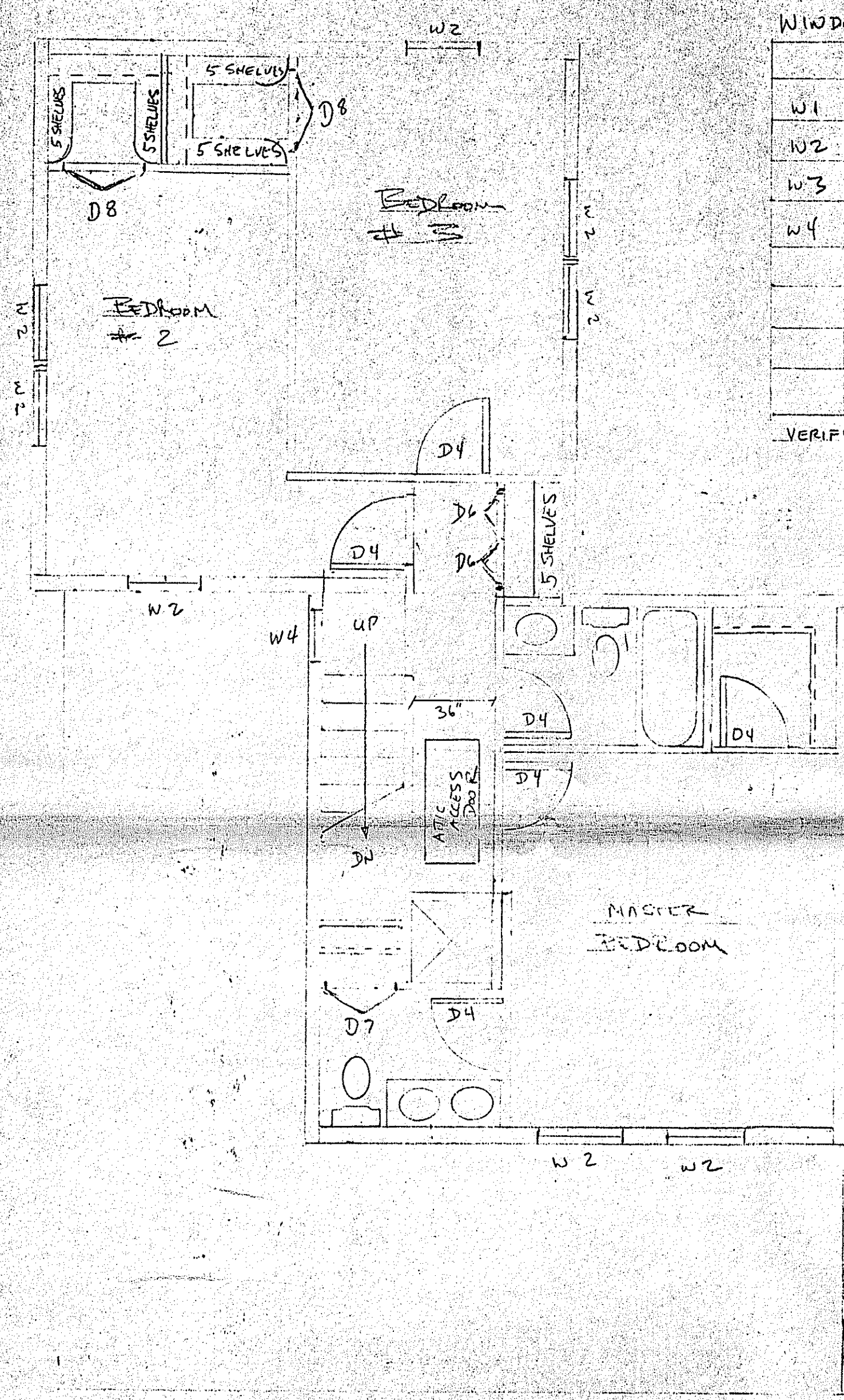
**Site Plan**  
 LOT 24, PARTS OF LOTS 25 & 26  
 LOTS 76, 77, PARTS OF LOTS 78 AND 79  
 HYATTSTOWN  
 R.A. & D.K. PETROCELLI AND  
 J.M. & C.I. DEREGGI  
 PROPERTIES  
 Clarksburg (2st) Election District  
 Montgomery County, Maryland  
 Scale: 1" = 20' May, 2000

APPLICANT:  
 JOHN & CHRISTINE DE REGGI  
 P.O. BOX 106  
 BOYDS MD. 20841  
 PHONE 301-540-5961  
 FAX 301-540-1407

Revisions			<b>SNIDER &amp; ASSOCIATES</b> SURVEYORS • ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 216 Gaithersburg, Maryland 20879 301/948-5100 • Fax 301/948-1286	
Drafting	M.A.S.		Engineering	J. A. F.
Project	99-9069	Approval		







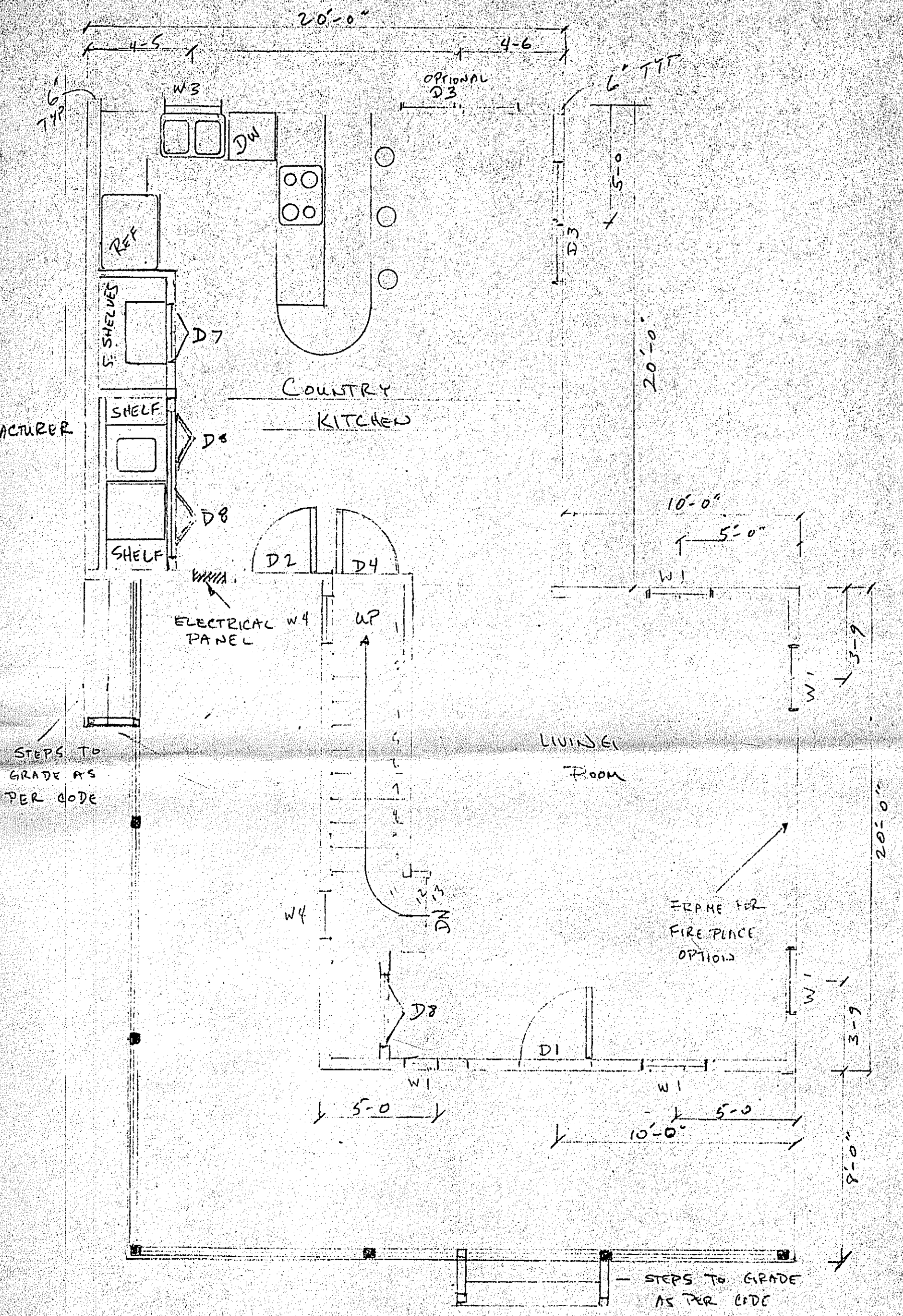
SECOND FLOOR

WINDOW & DR SCHEDULE

	WINDOW SIZE		DOOR SIZE
W1	2-8 x 5-2	D1	3-0 x 6-8 EXT
W2	2-8 x 3-10	D2	2-8 x 6-8 EXT
W3	2-4 x 3-2	D3	5-0 x 6-8 SLIPDR
W4	2-0 x 0-0	D4	2-6 x 6-8 INT
		D5	2-4 x 6-8 INT
		D6	2-0 x 6-8 BIFOLD
		D7	2-6 x 6-8 BIFOLD
		D8	3-0 x 6-8 BIFOLD

VERIFY ROUGH OPENINGS AS PER WIN. & DR MANUFACTURER

- ALL EXTERIOR WALLS TO BE 2x6 FRAMING
- ALL WALL SHEATHING TO BE 1/2" PLYWOOD W/TYVEK
- ALL WINDOW & DOOR HEADS TO BE (2) 2x12 TYP
- ALL INTERIOR WALLS ARE TO BE 2x4 FRAMING
- PORCH POST PIER FOOTINGS TO BE 24" B.F.G.
- ALL STEPS TO GRADE TO HAVE AT GRADE FOOTINGS
- ALL PORCH POSTS TO BE 4x4 PT. WRAPPED WITH 1x MAT
- PORCH HEADERS TO BE (2) 2x10 TYP.



FIRST FLOOR

ASBECK

SCALE: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_

DATE: 12/1/99 \_\_\_\_\_ REVISED: \_\_\_\_\_

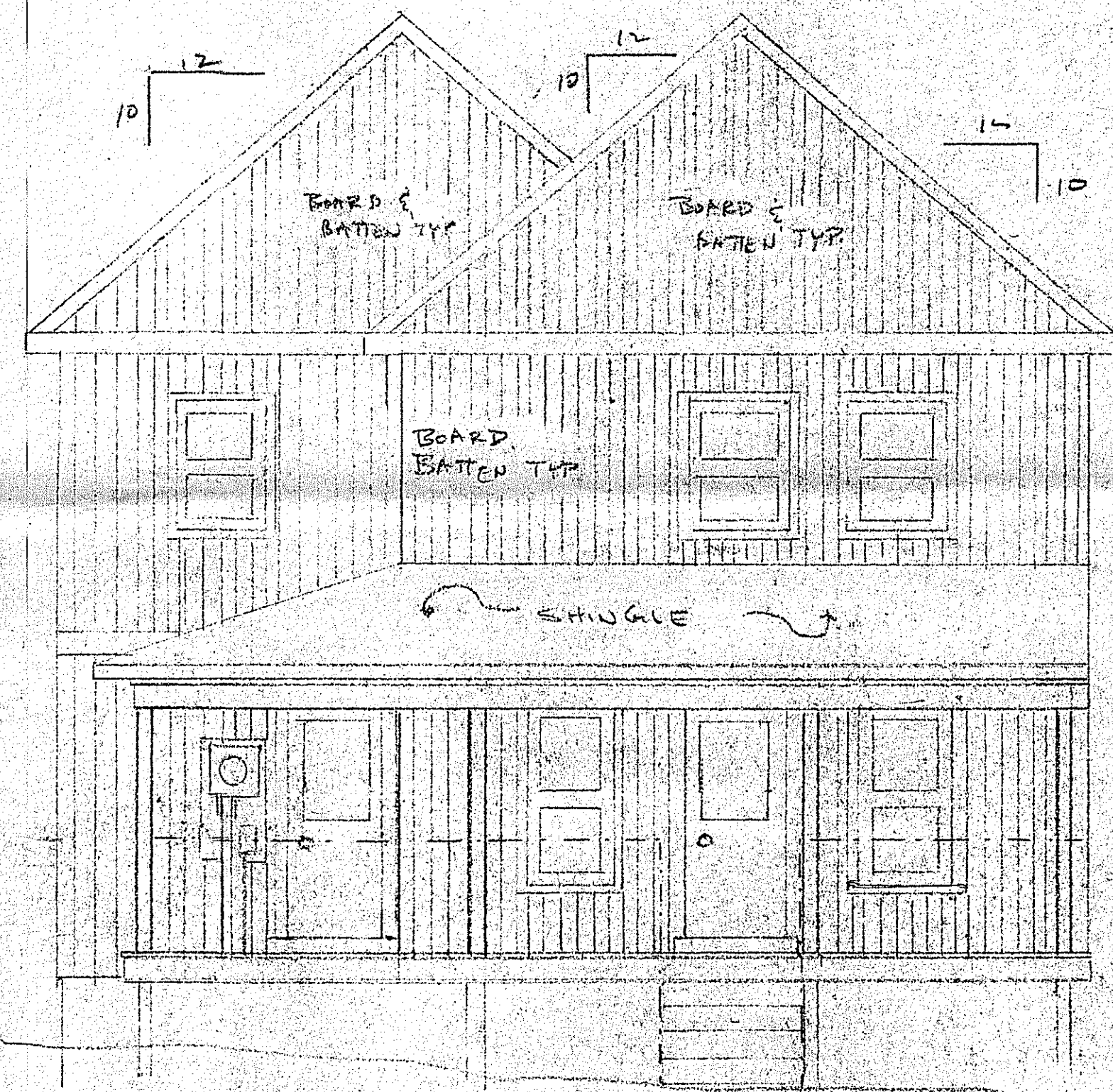
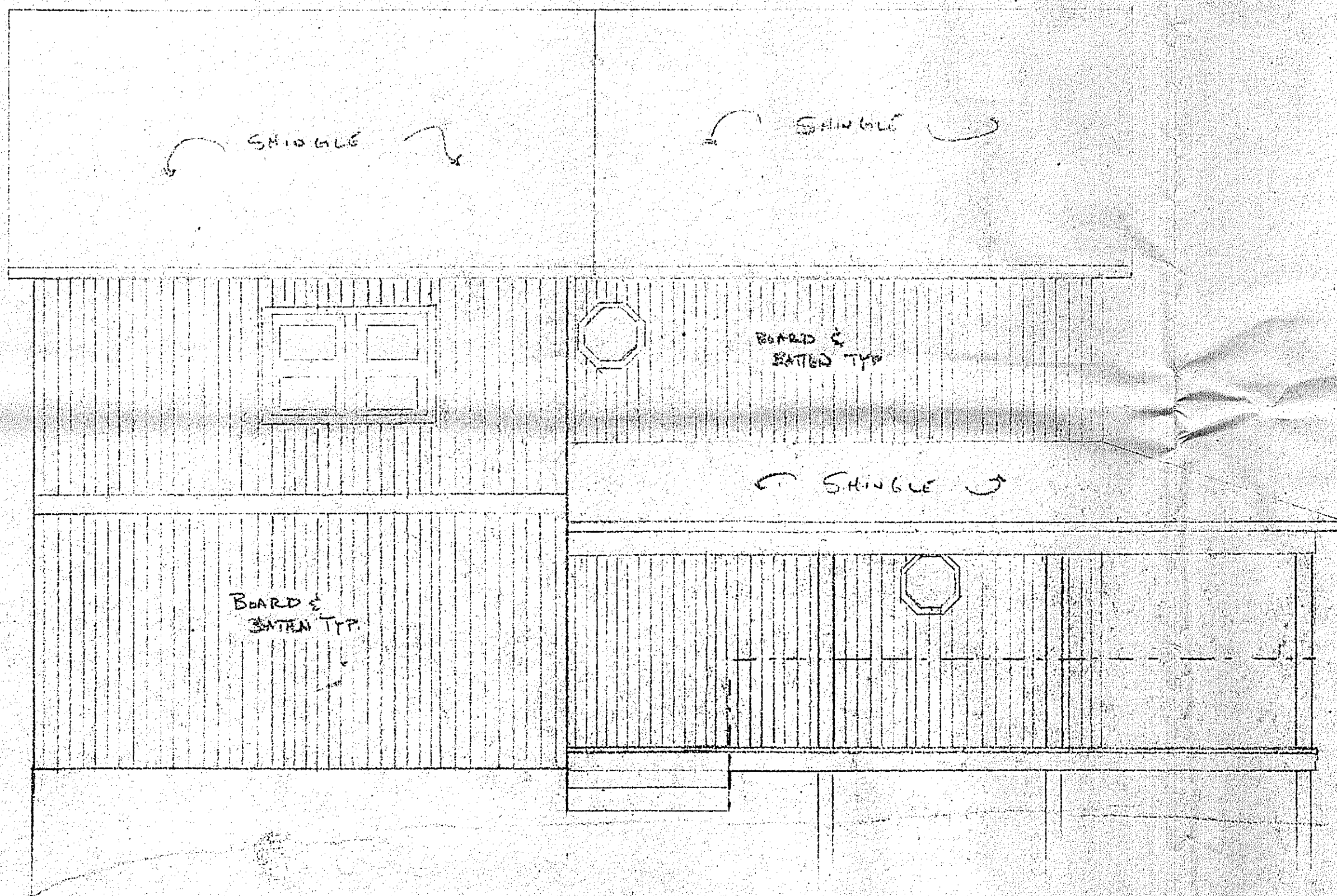
DEREGGI CONSTRUCTION CO. L.L.C.

DRAWING NUMBER: A-2





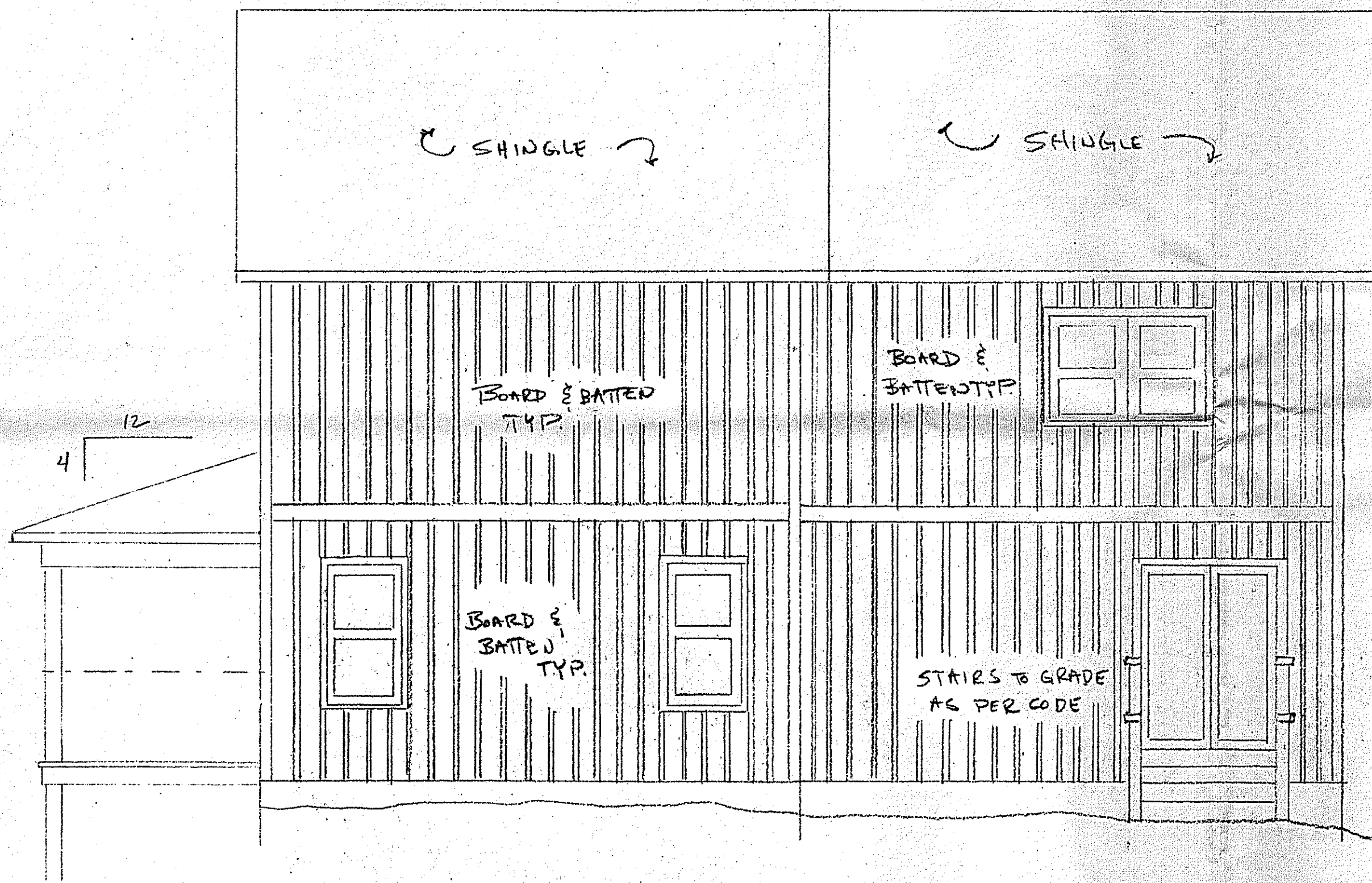




FRONT ELEVATION

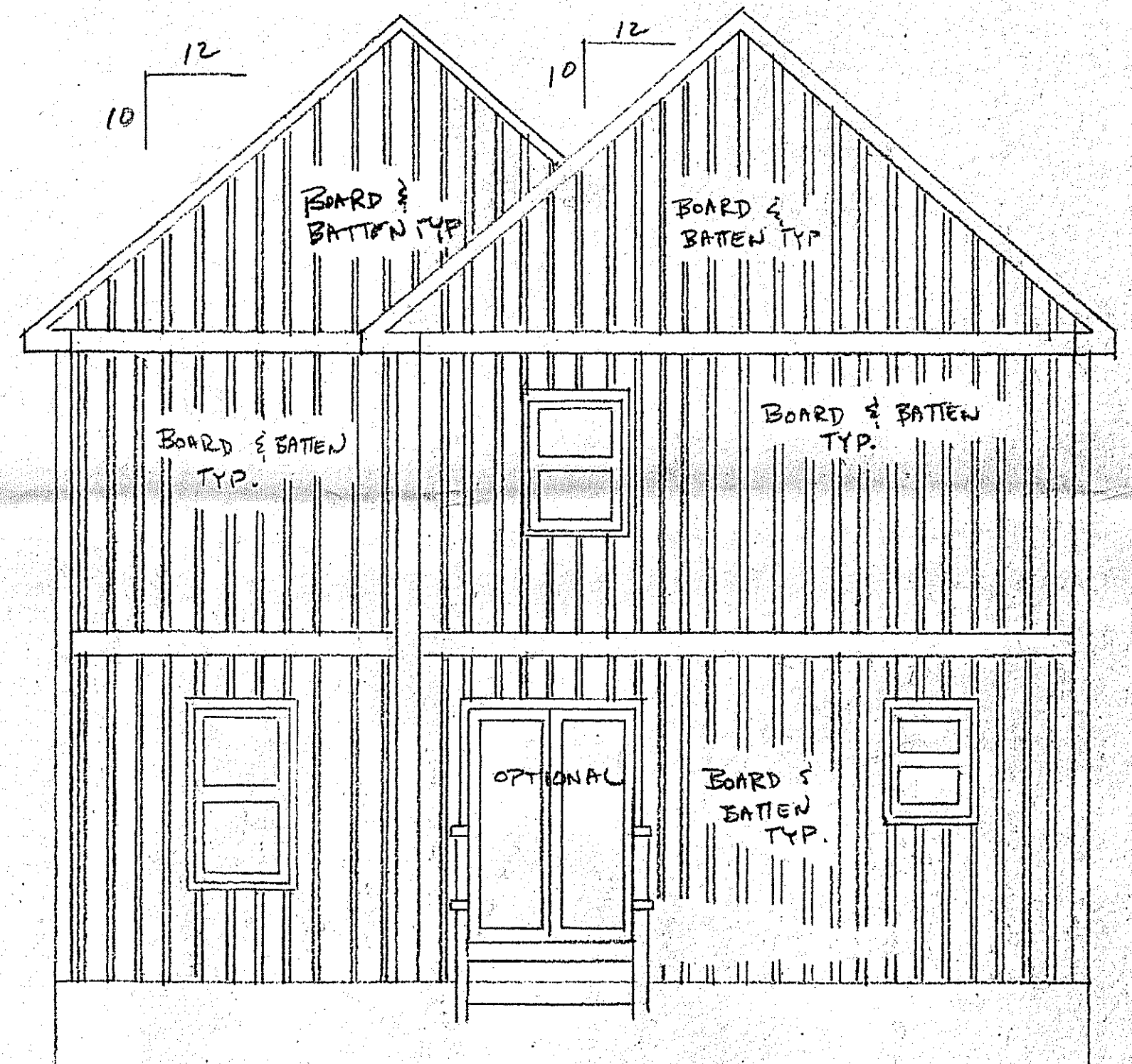
ASBECK		
SCALE:	APPROVED BY:	DRAWN BY: <i>[Signature]</i>
DATE: 12/1/93		REVISED:
DEREGGI CONSTRUCTION CO. LLC.		
		DRAWING NUMBER A4





RIGHT SIDE ELEVATION

1/4" = 1 FOOT

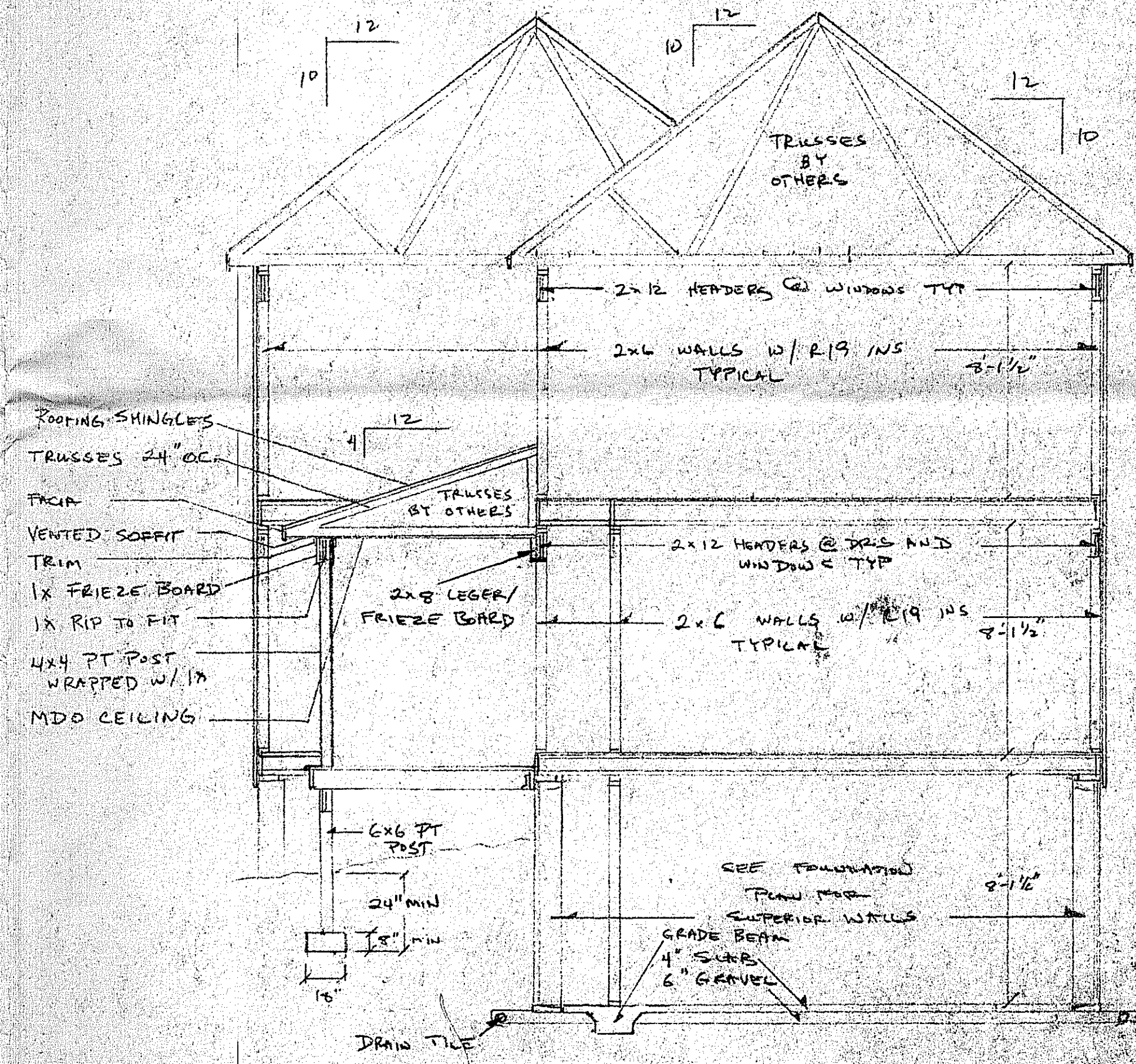
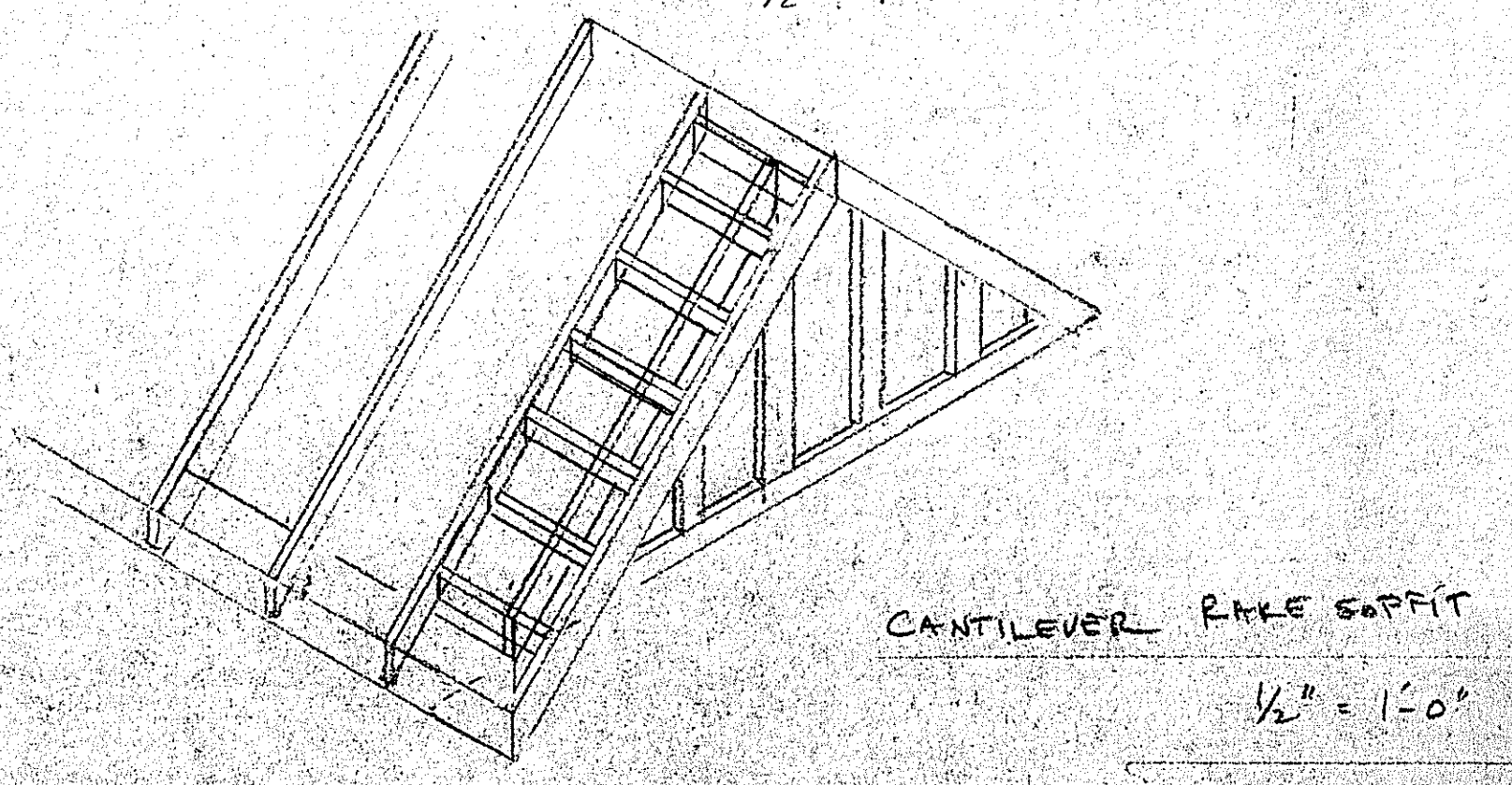
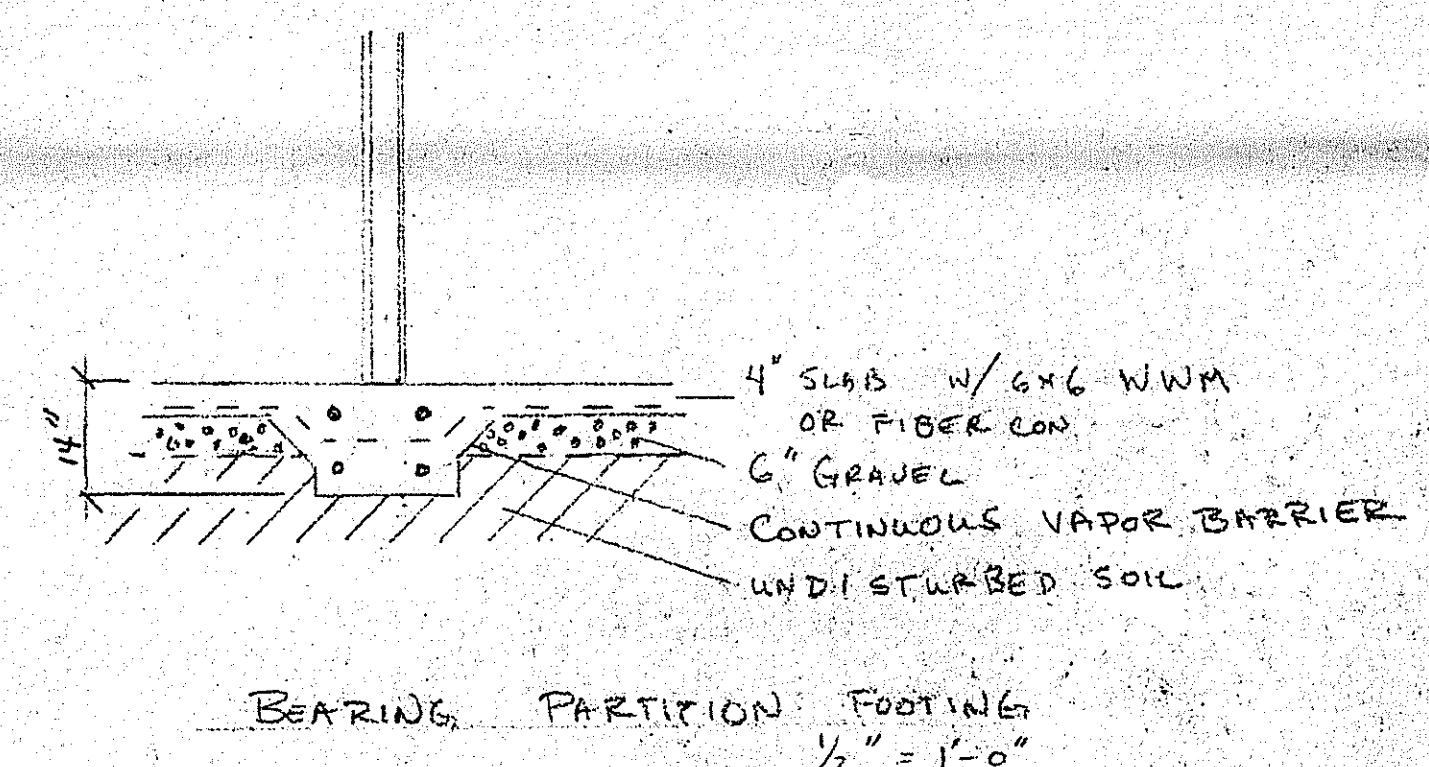
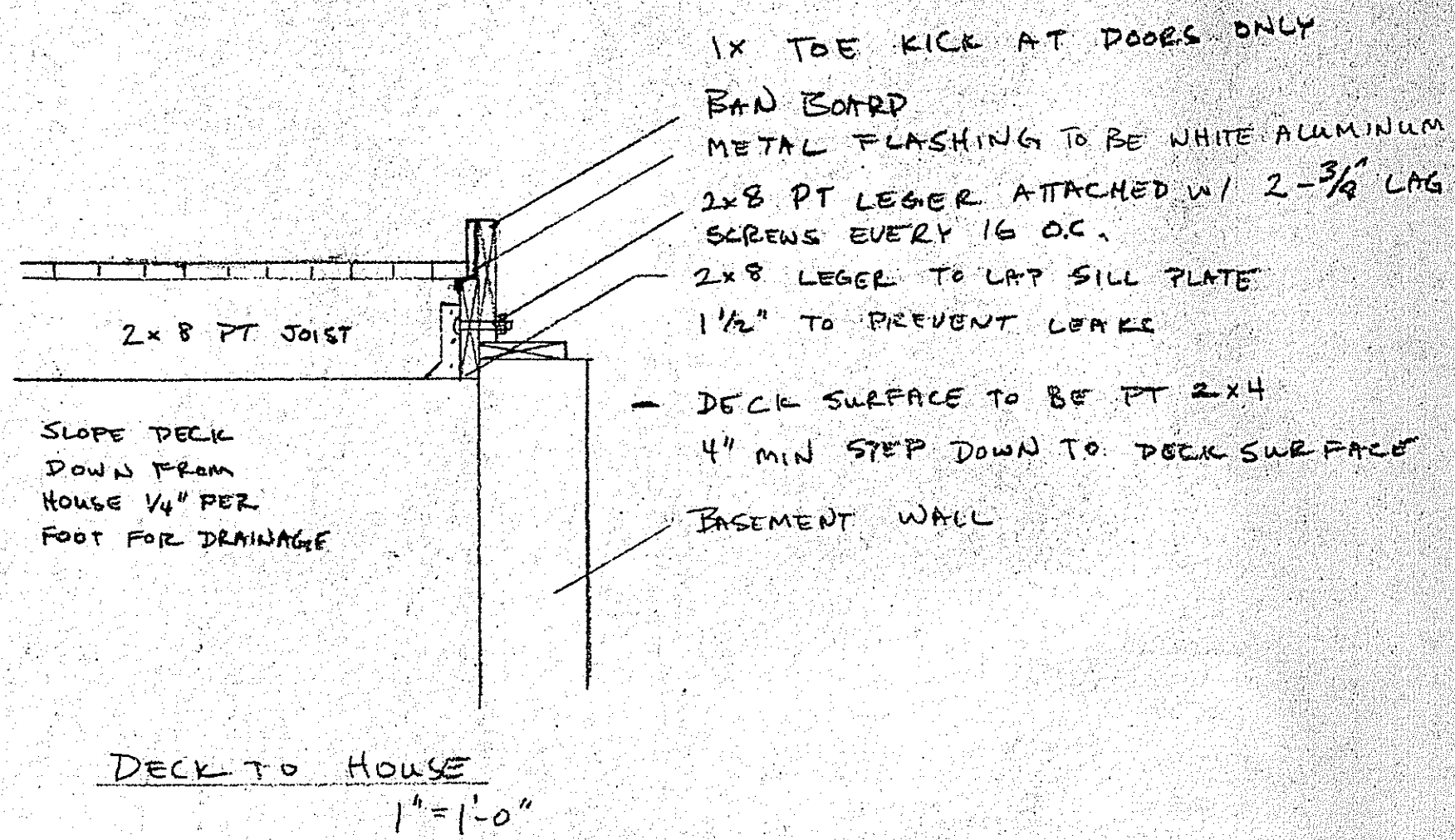


REAR ELEVATION

1/4" = 1 FOOT

ASBECK		
SCALE:	APPROVED BY:	DRAWN BY: <i>AS</i>
DATE: 12/1/99		REVISED:
DEREGGI CONSTRUCTION CO LLC.		
DRAWING NUMBER:		A5

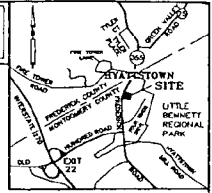




ASBECK		
SCALE:	APPROVED BY:	DRAWN BY: <i>AG</i>
DATE: 12/1/99		REVISED:
DEREGGI CONSTRUCTION CO LLC		
DRAWING NUMBER:		AG



Call "Miss Utility" at 1-800-257-7777  
For Utility Location at least 48  
Hours Prior to Beginning Construction



VICINITY MAP  
ADC Map Page 2, Grid 4-8  
Scale: 1" = 2000'

**SURVEYORS CERTIFICATE:**

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS  
CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

12-1-99  
DATE

*Jeffrey A. Foster*  
JEFFREY A. FOSTER  
PROPERTY LINE SURVEYOR  
NO. REG. NO. 587



LINE TABLE FOR SEWER EASEMENT	
L9	S 037°50' E 23.11
L10	N 82°07'13" W 16.19
L11	N 037°50' W 57.87
L12	N 33°14'4" E 16.92

**GENERAL NOTES:**

1. CORNERLY JENSEN #=200  
FRONT B.R.L. : 40  
REAR B.R.L. : 30  
ONE SIDE B.R.L. : 12  
TOTAL : 82
2. WATER CATEGORY : W-6  
SEWER CATEGORY : S-1
3. PROPERTY SHOWN ON M.S.S.C. 200 SHEET AN-14 230.  
LITTLE BENNETT WATER SHED PLANNING AREA.
4. PROPERTY SHOWN ON TAX MAP : DX.
5. FLOOD ZONE "C" PER H.A.D. FROM MAPS, COMMUNITY PANEL  
NO. 240049-0050-B.
6. BOUNDARY INFORMATION, 2' FIELD RUN TOPOGRAPHY, EXISTING STRUCTURES,  
EXISTING WELLS AND ABANDONED SEPTIC SYSTEMS LOCATED BY SURVEY -  
ENTITLED "WELL/SITE PLAN" BY O'DONNELL & LAWRENCE, INC., DATED  
JULY 27, 1999.
7. THE PURPOSE OF THIS SITE PLAN IS TO OBTAIN A WELL PERMIT  
FOR LOT 77 AND LOT 24. THE PROPOSED HOUSE LOCATION FOR  
LOT 77 AND LOT 24 ARE SHOWN HEREON.
8. PROPOSED SEWER TAP AND LINE SHOWN THIS: =====

**Well Site Plan**

LOT 24, PARTS OF LOTS 25 & 26  
LOTS 76, 77, PARTS OF LOTS 78 AND 79

**HYATTSTOWN**

**R. A. & D. K. PETROCELLI AND  
R. R. WAGNER AND M. E. WAGNER  
PROPERTIES**

Clarksburg (2st) Election District  
Montgomery County, Maryland  
Scale: 1" = 20' November, 1999

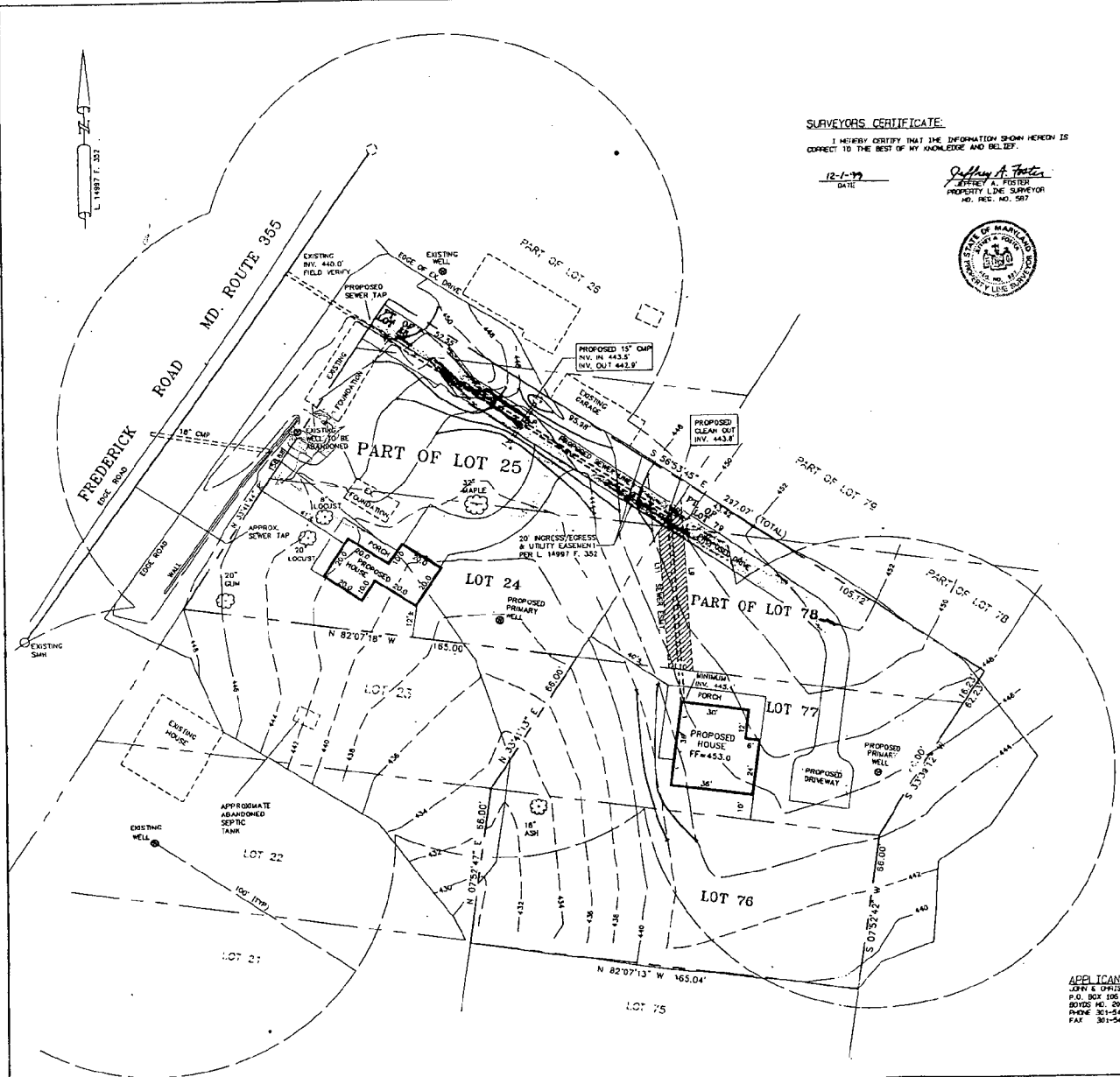
**APPLICANT:**  
JOHN & CHRISTINE DE RENZI  
P.O. BOX 106  
8070 RD. #2041  
PHONE 301-540-5961  
FAX 301-540-1407

Revisions  
12-1-99 PROPOSED  
DRAINWAY  
HOUSE LOC.  
WELLS

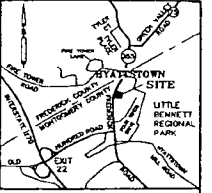


**SNIDER & ASSOCIATES**  
SURVEYORS - ENGINEERS  
LAND PLANNING CONSULTANTS  
2 Professional Drive, Suite 210  
Gaithersburg, Maryland 20878  
301/948-5100 - Fax 301/948-1288

Drafting	R.A.S.	Engineering	J. A. F.
Project	99-0029	Approval	



Call "Miss Utility" at 1-800-257-7777  
For Utility Location at least 48  
Hours Prior to Beginning Construction.



VICINITY MAP  
ADC Map Page 2, Grid 5-9  
Scale: 1" = 2000'

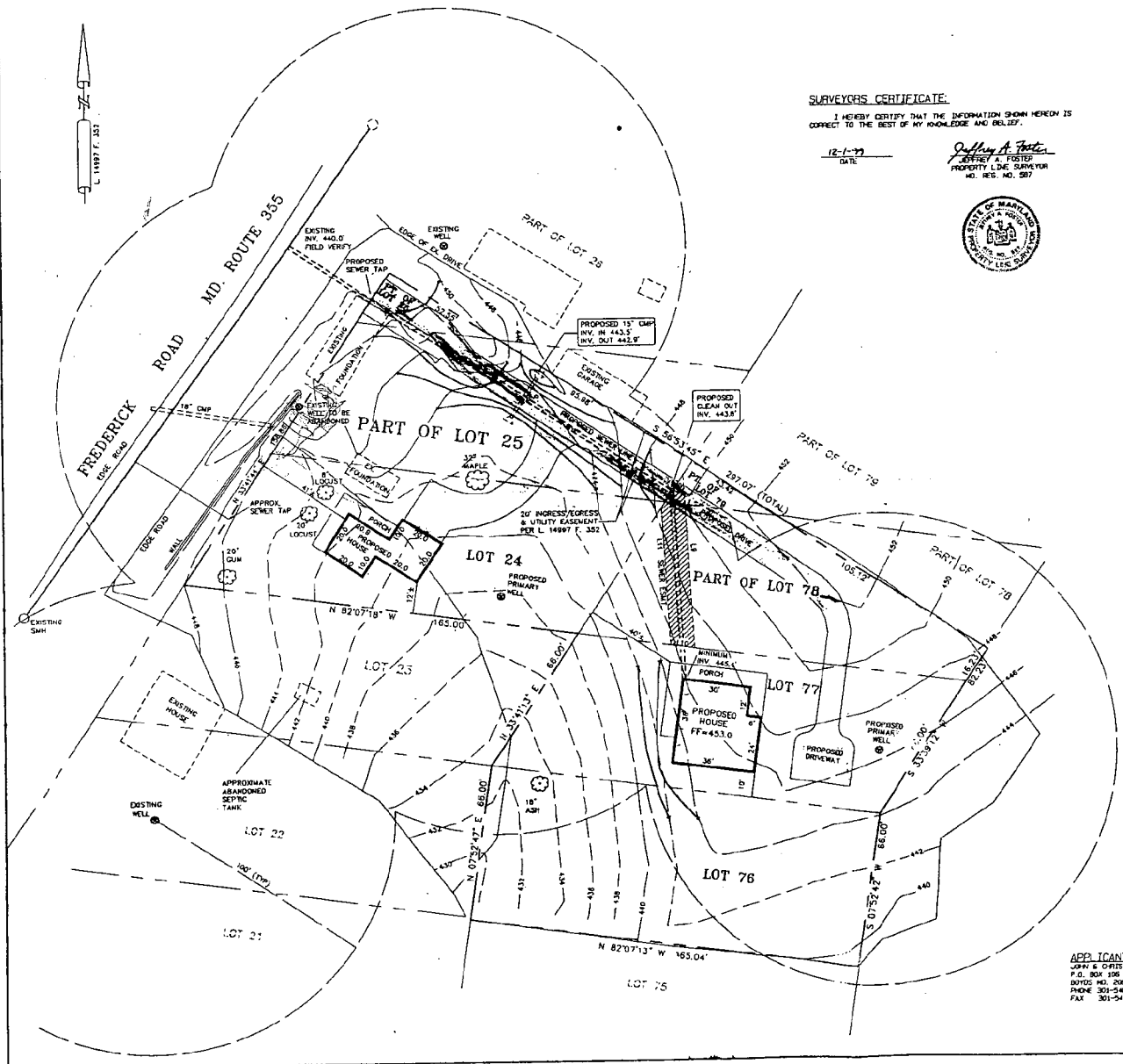
**SURVEYORS CERTIFICATE:**  
I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS  
CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

12-1-99  
DATE  
*Jeffrey A. Foster*  
JEFFREY A. FOSTER  
PROPERTY LINE SURVEYOR  
NO. REG. NO. 587



LINE TABLE FOR SEWER EASEMENT	
L8	S 03°43'00" E 73.31
L10	N 82°07'13" W 16.19
L11	N 03°18'30" W 37.87
L12	N 33°14'44" E 18.92

- GENERAL NOTES:**
- DIFFERENTLY ZONED: R-200  
FRONT B.S.L. : 40  
REAR B.S.L. : 30  
ONE SIDE B.S.L. : 32  
TOTAL : 25
  - WATER CATEGORY : 4-5  
SEWER CATEGORY : 5-1
  - PROPERTY SHOWN ON M.S.S.C. 200 SHEET MM-14 239.  
LITTLE BENNETT WATER SHED PLANNING AREA.
  - PROPERTY SHOWN ON TAX MAP : OX  
NO. 240049-0050-0.
  - FLOOD ZONE "1" PER M.I.D. FROM MAPS COMMUNITY PANEL  
NO. 240049-0050-0.
  - BOUNDARY INFORMATION 2' FIELD RUN TOPOGRAPHY, EXISTING STRUCTURES,  
EXISTING WELLS AND ABANDONED SEPTIC SYSTEMS LOCATED BY SURVEY -  
ENTITLED "WELL/SITE PLAN" BY O'DONNELL & LAWRENCE, INC., DATED  
JULY 27, 1999.
  - THE PURPOSE OF THIS SITE PLAN IS TO OBTAIN A WELL PERMIT  
FOR LOT 77 AND LOT 24. THE PROPOSED HOUSE LOCATION FOR  
LOT 77 AND LOT 24 ARE SHOWN HEREON.
  - PROPOSED SEWER TAP AND LINE SHOWN THUS: =====



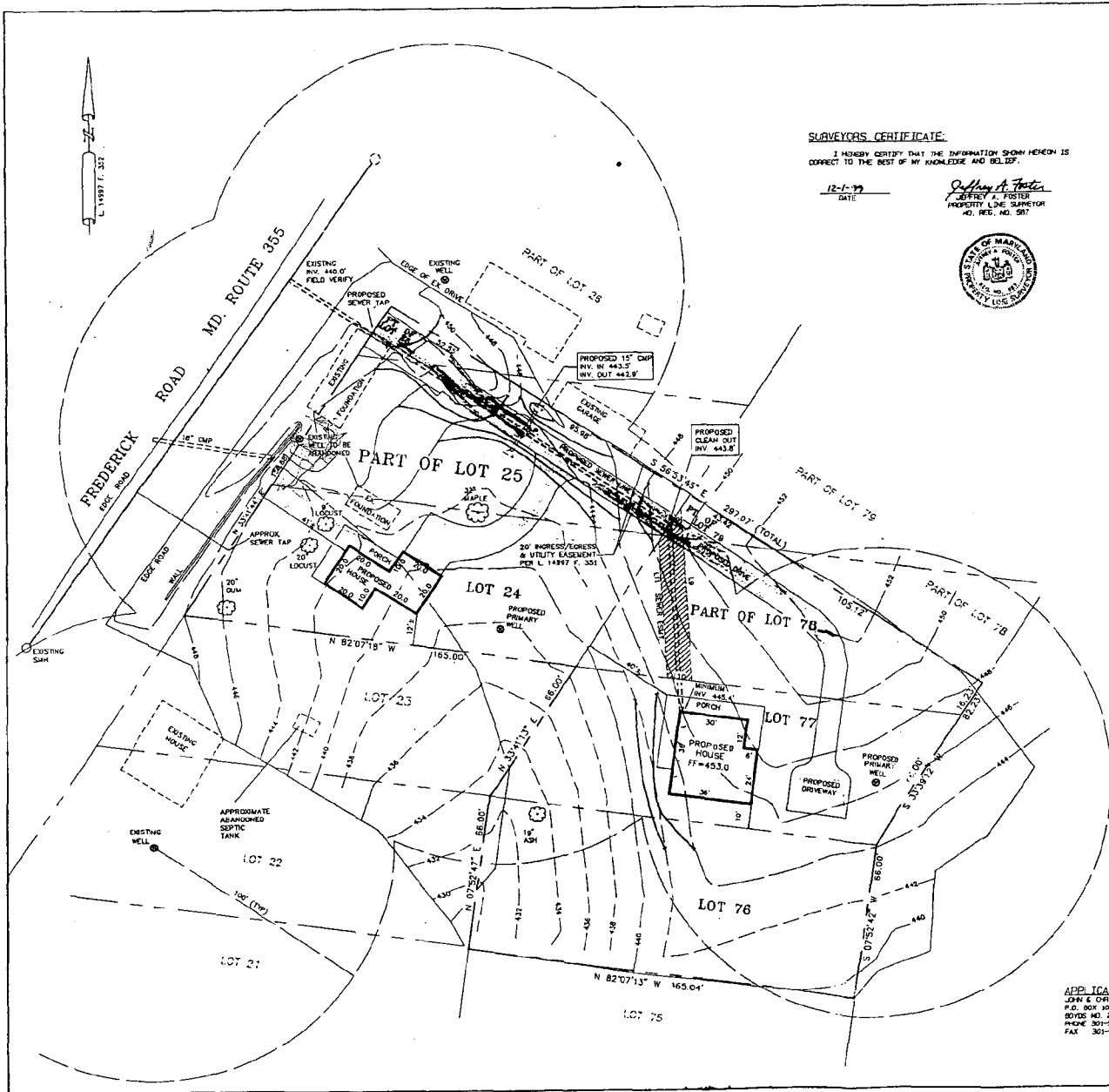
**Well Site Plan**  
LOT 24, PARTS OF LOTS 25 & 26  
LOTS 76, 77, PARTS OF LOTS 78 AND 79

HYATTSTOWN  
R. A. & D. K. PETROCELLI AND  
R. R. WAGNER AND M. E. WAGNER  
PROPERTIES

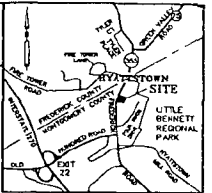
Clarkburg (2st) Election District  
Montgomery County, Maryland  
Scale: 1" = 20' November, 1999

APPLICANT:  
JOHN & CHRISTINE DE FEOZ  
P.O. BOX 155  
BOXES NO. 20841  
PHONE 301-540-5961  
FAX 301-540-1407

	12-1-99 PROPOSED DRIVEWAY HOUSE LOC. WELLS	<b>SNIDER &amp; ASSOCIATES</b> SURVEYORS • ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 210 Gaithersburg, Maryland 20878 301/948-5100 • Fax 301/948-1248
	Drafting Project: 99-0909	



Call "Miss Utility" at 1-800-257-7777  
For Utility Location at least 48  
Hours Prior to Beginning Construction.



VICINITY MAP  
ADC Map Page 2, Grid 1-9  
Scale: 1" = 2000'

**SURVEYORS CERTIFICATE:**  
I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS  
CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

12-1-99  
DATE  
Jeffrey A. Foster  
JEFFREY A. FOSTER  
PROPERTY LINE SURVEYOR  
AD. REG. NO. 587



LINE TABLE FOR SEWER EASEMENT	
L1	S 03°10'55" E 73.11
L10	N 82°07'13" W 10.19
L11	N 03°19'30" W 37.87
L12	N 33°41'44" E 16.62

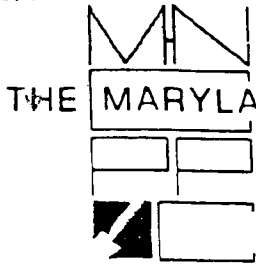
- GENERAL NOTES:**
- CURRENTLY ZONED R-200  
FRONT B.P.L. : 40  
REAR B.P.L. : 35  
ONE SIDE B.P.L. : 25  
TOTAL : 100
  - WATER CATEGORY : W-5  
SEWER CATEGORY : S-1
  - PROPERTY SHOWN ON H.S.S.C. 200 SHEET NO. 14, 235.  
LITTLE BENNETT WATER SPEED PLANNING AREA.
  - PROPERTY SHOWN ON TAX MAP : D1.
  - FLOOD ZONE "C" PER H.U.D. FIRM MAPS, COMMUNITY PANEL  
NO. 240043-000-9.
  - BOUNDARY INFORMATION 2' FIELD PLAN TOPOGRAPHY, EXISTING STRUCTURES,  
EXISTING WELLS AND ABANDONED SEPTIC SYSTEMS LOCATED BY SURVEY -  
ENTITLED "WELL/SITE PLAN" BY O'DONNELL & LAWRENCE, INC. DATED  
JAN. 27, 1999.
  - THE PURPOSE OF THIS SITE PLAN IS TO OBTAIN A WELL PERMIT  
FOR LOT 77 AND LOT 24. THE PROPOSED HOUSE LOCATION FOR  
LOT 77 AND LOT 24 ARE SHOWN HEREIN.
  - PROPOSED SEWER TAP AND LINE SHOWN THUS =====

Well Site Plan  
LOT 24, PARTS OF LOTS 25 & 28  
LOTS 76, 77, PARTS OF LOTS 78 AND 79  
HYATTSTOWN  
R. A. & D. K. PETROCELLI AND  
R. R. WAGNER AND M. E. WAGNER  
PROPERTIES  
Clarksburg (2st) Election District  
Montgomery County, Maryland  
Scale: 1" = 20'  
November, 1999

APPLICANT:  
JOHN & CHRISTINE DE REBO  
P.O. BOX 100  
80100 RD. 20841  
PHONE 301-540-3961  
FAX 301-540-1407

Revisors 12-1-99 PROPOSED DRIVEWAY HOUSE LOC. WELLS		<b>SNIDER &amp; ASSOCIATES</b> SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 216 Gaithersburg, Maryland 20879 301/948-5100 • Fax 301/948-1298
Drafting Project R.A.S. 20-0009		Engineering Approved J. A. F.





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Teresa Asbeck Gross  
26101 Frederick Rd

FAX TRANSMITTAL SHEET

Historic Preservation Office  
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: Pete Hrycak FAX NUMBER: 240.777.6241

FROM: Robin Zeck

DATE: 6/18/02

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 6

NOTE:

Here is the info on De Reggi - <sup>c 26103</sup>  
Thanks - Robin

July 17, 2002. Zeck goes out w/ Pete Hrycak to look at the 2 houses  
and Pete will issue ~~the~~ the citation. Goal: ~~get~~ come back  
to HPC

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

February 12, 2002

John De Reggi  
De Reggi Construction Company  
P. O. Box 106  
Boys, MD 20841

RE: New construction in Hyattstown, at #26105 and #26101 Frederick Road

Dear Mr. De Reggi:

Thank you for meeting with me at the above properties, to review the new construction. As we noted together, there are numerous revisions to the approved HAWPs which you made at the time of construction, and which still need HPC approval. In addition, there were Conditions of Approval for both projects which haven't been met.

As we discussed, I am sending you an itemized list of the unapproved work with this letter. I am attaching copies of the HPC Approval notices with the itemized Conditions of Approval. The HPC typically reviews such work as Retroactive Revisions to the approved HAWP. The next HPC agenda which you can sign up for is the March 13, 2002 meeting, and the deadline for that meeting is February 20<sup>th</sup>.

Several of the changes have little effect on the district. This includes changes to some of the approved doors and windows. Some of the alterations have a significant effect on the district, including the additional 4' height to the back house (#26105), and the removal of all of the trees along the driveway and the lack of a comprehensive landscape proposal to restore the forest edge both behind the front property (#26101) and between the new construction and adjacent properties.

The HPC discussed the difficulties in approving rear lot construction in Hyattstown, which is a linear town, with the residential construction very close to Frederick Road. Ultimately, they approved the project with the intention that the rear house would not be readily visible from the public right-of way, through a combination of vegetative screening, design and topography. This still remains the goal for completion of both of these projects, to bring them into compliance with the approved HAWP.

## Alterations from existing HAWP at 26105 Frederick Road

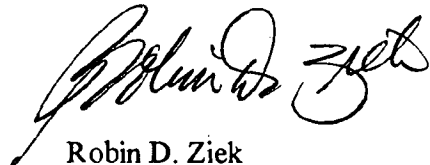
- 1 Height of overall building:
  - a. Additional 1' at first floor level;
  - b. Additional 3' at foundation level.
- 2 No landscape plan was received or approved prior to construction:
  - a. Exposure of building to community, both from the road and from the church;
  - b. Removal of all trees along drive.
- 3 Porch roof was not adjusted to reflect the additional 1' at the first floor level, with the result that the 2<sup>nd</sup> story windows look out of proportion.
- 4 The lot lines haven't been erased; and/or, an easement hasn't been provided, which will preclude the construction of a second house on the rear lots.
- 5 The rear doors are full light instead of multi-light.
- 6 On the rear elevation, double windows were put in where a sliding glass door was proposed. A single window was put in where a door was proposed. The interior framing reflects the original proposal, and may be proposed in the future.
- 7 The chimneys were boxed in and sided with board and batten, rather than built of, or veneered with, stone.
- 8 The front porch side steps on the west elevation were deleted.
- 9 A French door (with multiple lights) was installed for the front door, rather than the ½ light solid door.
- 10 The front porch entry piece was not installed as drawn. Instead of the curving verge board, the board is straight to corner blocks.
- 11 The basement is 4' above grade. Project was approved with 3 steps, and now it has 8 steps.
- 12 The basement windows are above grade.
- 13 There is a 6' high board fence along the north boundary.
- 14 Driveway paving was discussed with the applicant, and a formal request should be submitted to the HPC.

**Alterations from existing HAWP at 26101 Frederick Road:**

- 1 Porch railings will be painted with paint or opaque stain.
- 2 A landscape plan was required prior to initiation of construction (see HAWP approval notice), indicating which trees would be preserved along the driveway (none were), and outlining a 20' conservation area at the back of the property.
- 3 The rear elevation is a full level (8') out of the ground. HAWP approved rear grade at ca. 28" from Finished First Floor to grade.
- 4 Full light rear doors were approved on HAWP, and no door was installed.
- 5 Basement door and window installed.
- 6 Driveway wasn't built as drawn and appears to be larger than approved.
7. No front walk has been installed.

Please submit the requested information by February 20<sup>th</sup>, to be able to come before the HPC on March 13<sup>th</sup>. Please provide corrections to the above list, as necessary. Please provide information about reasons for your changes, and a schedule for necessary corrections. If I can be of any assistance, please do not hesitate to call me at 301-563-3408.

Sincerely,



Robin D. Ziek  
Historic Preservation Planner

cc: Pete Hryzak, DPS  
Francis Azbeck, 26101 Frederick Road

File Copy

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

June 15, 2000

MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit 10/59-00C CONTINUED  
(DPS Permit #219759)

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved  Denied  **Approved with Conditions:**

1. All exterior wood will be painted with paint or opaque stain.
2. A landscape plan will be submitted for HPC approval **prior to initiation of construction** which indicates the integration of the front sidewalk with the site development, existing trees to be preserved including those along the driveway/access road, and outlines a 20' conservation area at the back of the property which will not be mowed to provide a forested boundary.
3. The porch railings will utilize inset pickets and a molded cap rail.

and subject to the general conditions that **1) HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS;** and 2) after issuance of Montgomery County Department of Permitting Services (DPS) permit, applicant to arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

**THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).**

Applicant: Francis X. Asbeck (John DeReggi, Agent)  
14715 Old Baltimore Road, Boyds, MD 20841

RE: 26101 Frederick Road, Hyattstown Historic District, *Master Plan #10/59*

MEMORANDUM

8.20.99

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit # 9907270091

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

\_\_\_\_\_ Approved

\_\_\_\_\_ Denied

X Approved with Conditions: ① The applicant will provide a conservation easement over Lots 76, 77 & PE of lot 78 such that only one primary residence can exist here @ a  
② This conservation easement should be recorded in records before a certificate of occupancy is issued to the applicant.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Richard + Marcia Wagner

Address: 21111 Slidell Rd. Boyds, MD 20841

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.

C:\preserve\hpc\wp\dps\tr

re: 26105 Frederick Road

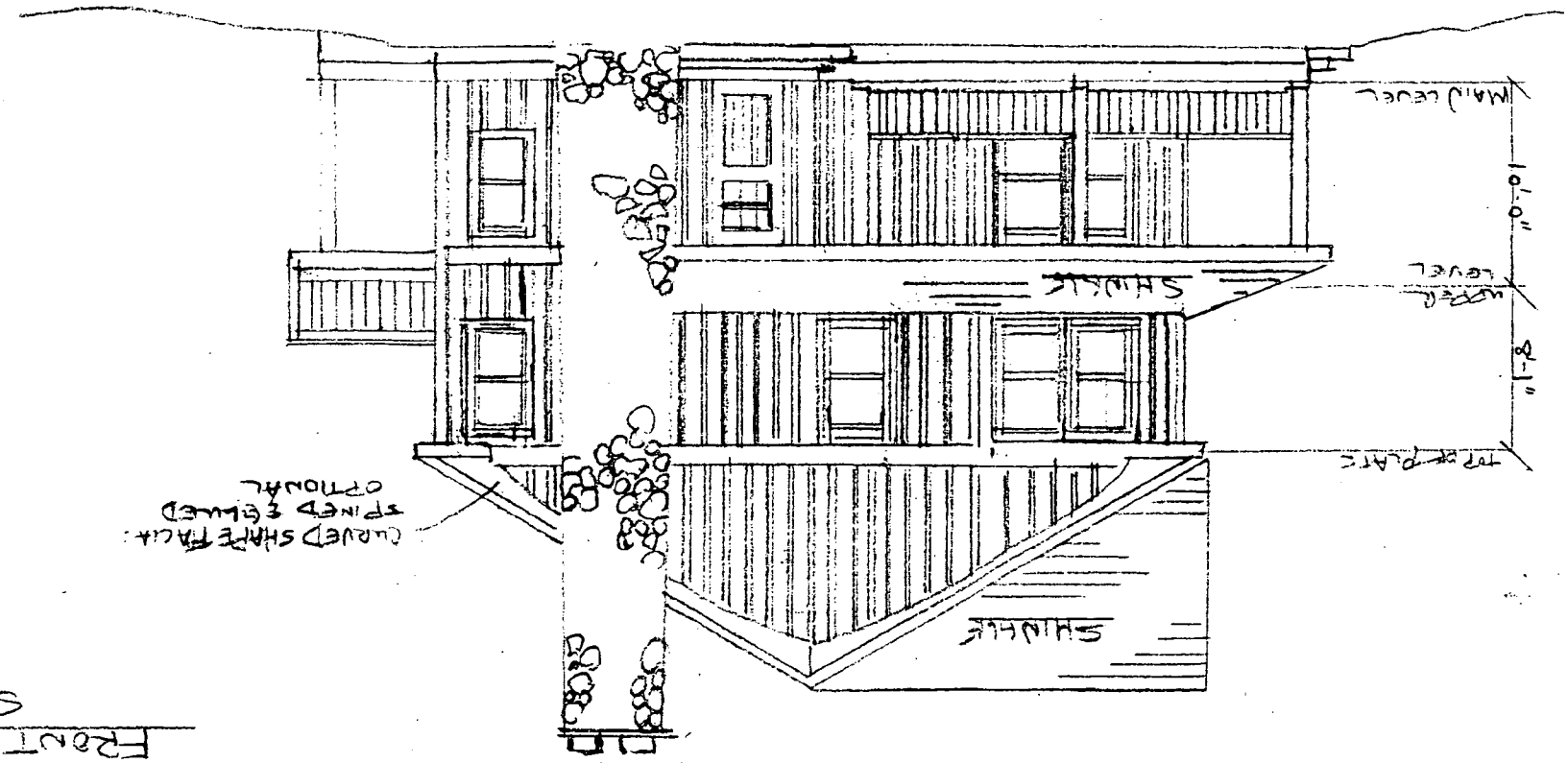
approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Christine DeRuffo  
Signature of owner or authorized agent

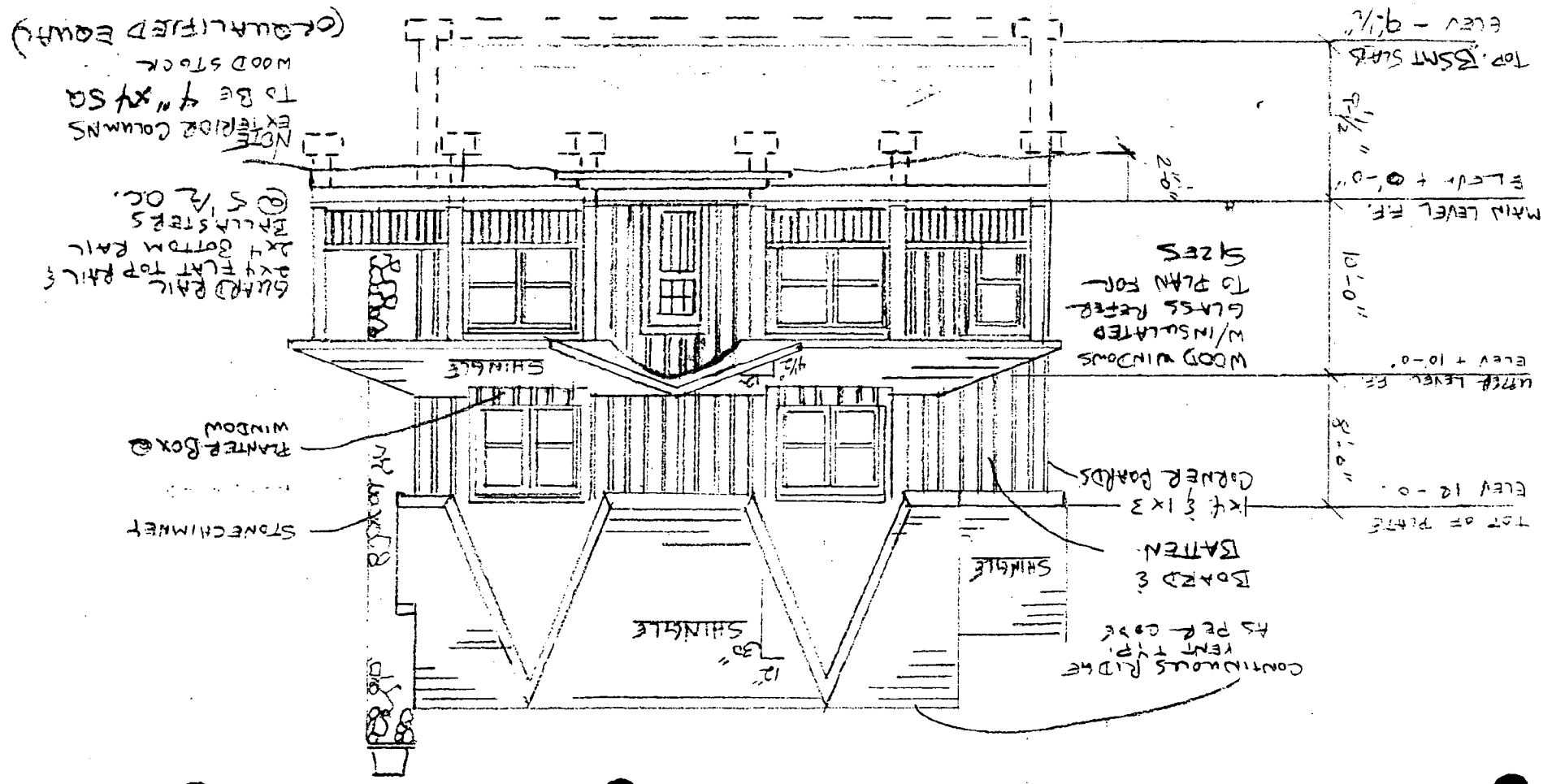
7/26/1999  
Date

DATE 6/1/99  
SCALE 1/8" = 1'-0"

RIGHT ELEVATION



FRONT ELEVATION  
SCALE 1/8" = 1'-0"



GENERAL NOTES  
 1. ALL E-FLASHING TO A 6 MIL VISQUEEN POLYETHYLENE FILM OF EQUAL LEAD PROVIDE EXPANDING FOAM AND OIL DRUCK TO ALL EXTENDED OPENINGS TOWARD A GOUL OF WATER & VENTHED LIGHT INSULATION: PROVIDE R19 @ ALL EXTERIOR WALLS & ALL DOORS COMMON TO GARAGE & RESIDENCE SHALL BE 1-3/4" RATING. 5. PROVIDE TEMPERED GLASS IN ALL GLIDERS & FRENCH DOORS

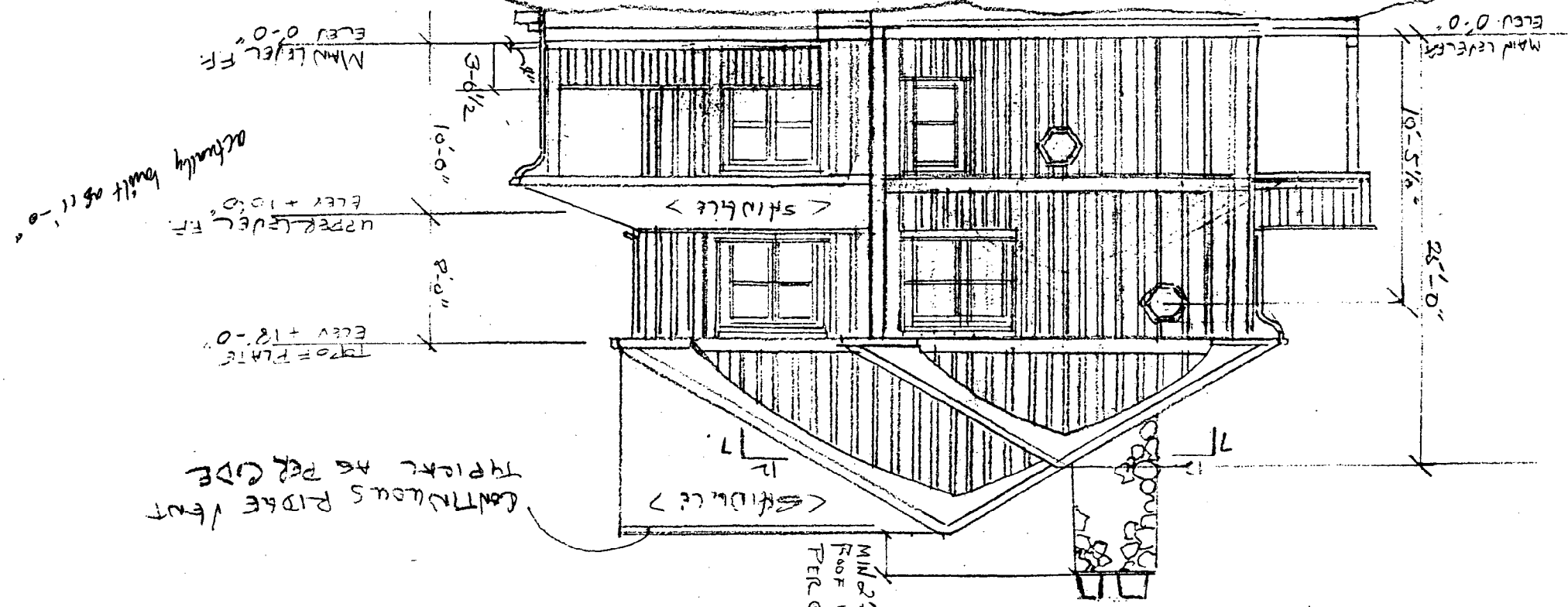
- All Porch Post-Pier Footings 2'-0" BFG TYP
- BSMT FINISH CEILING HEIGHT TO BE 8'-0"
- All Steps to Grade TO HAVE AT GRADE FOOTING

SHT AS

DATE 6/1/99

LEFT ELEVATION

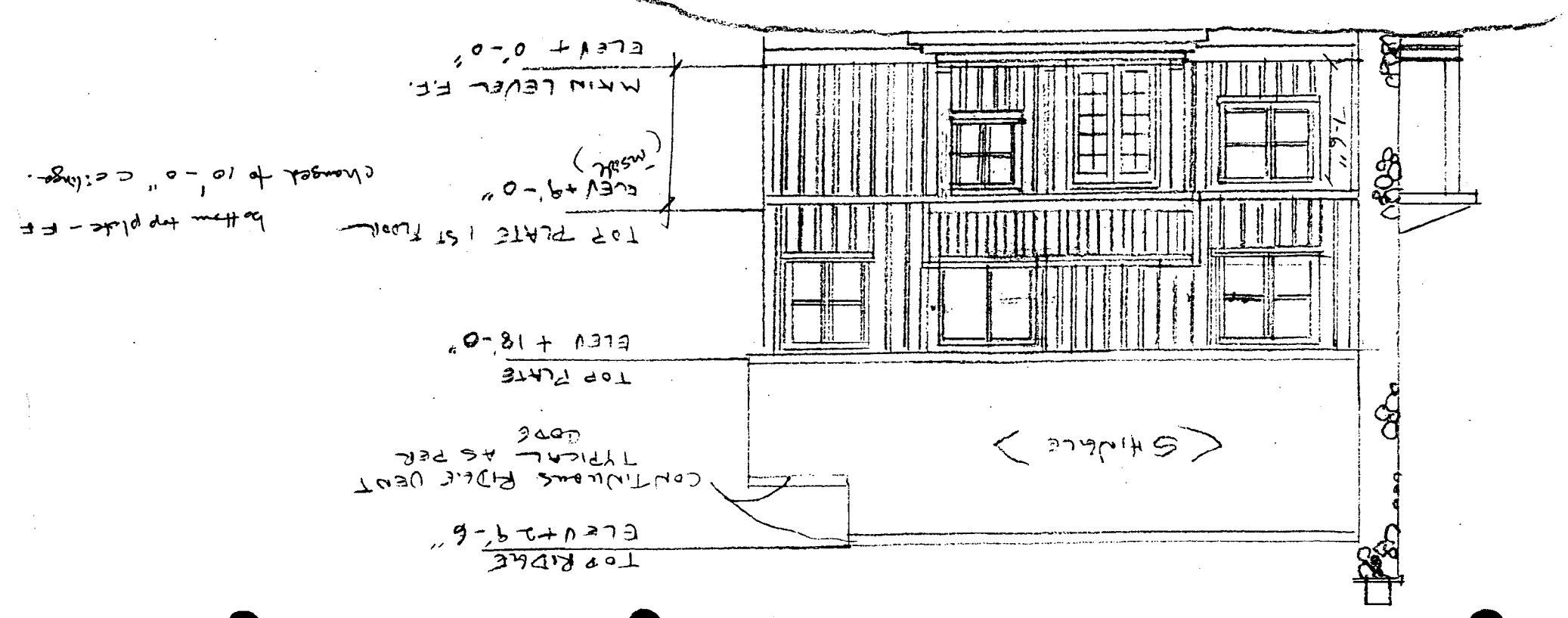
SCALE 1/8" = 1'-0"



DATE 6/1/99

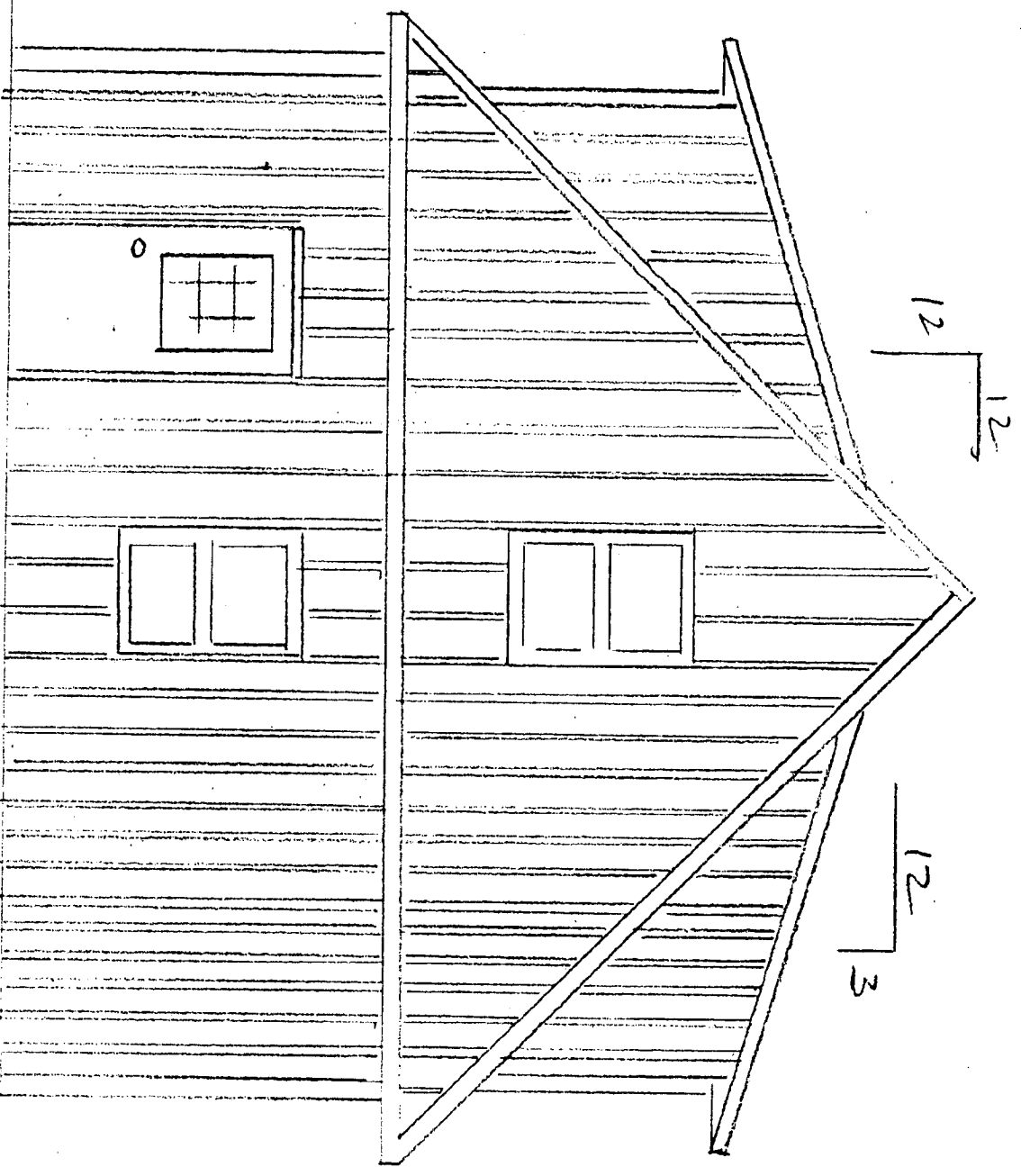
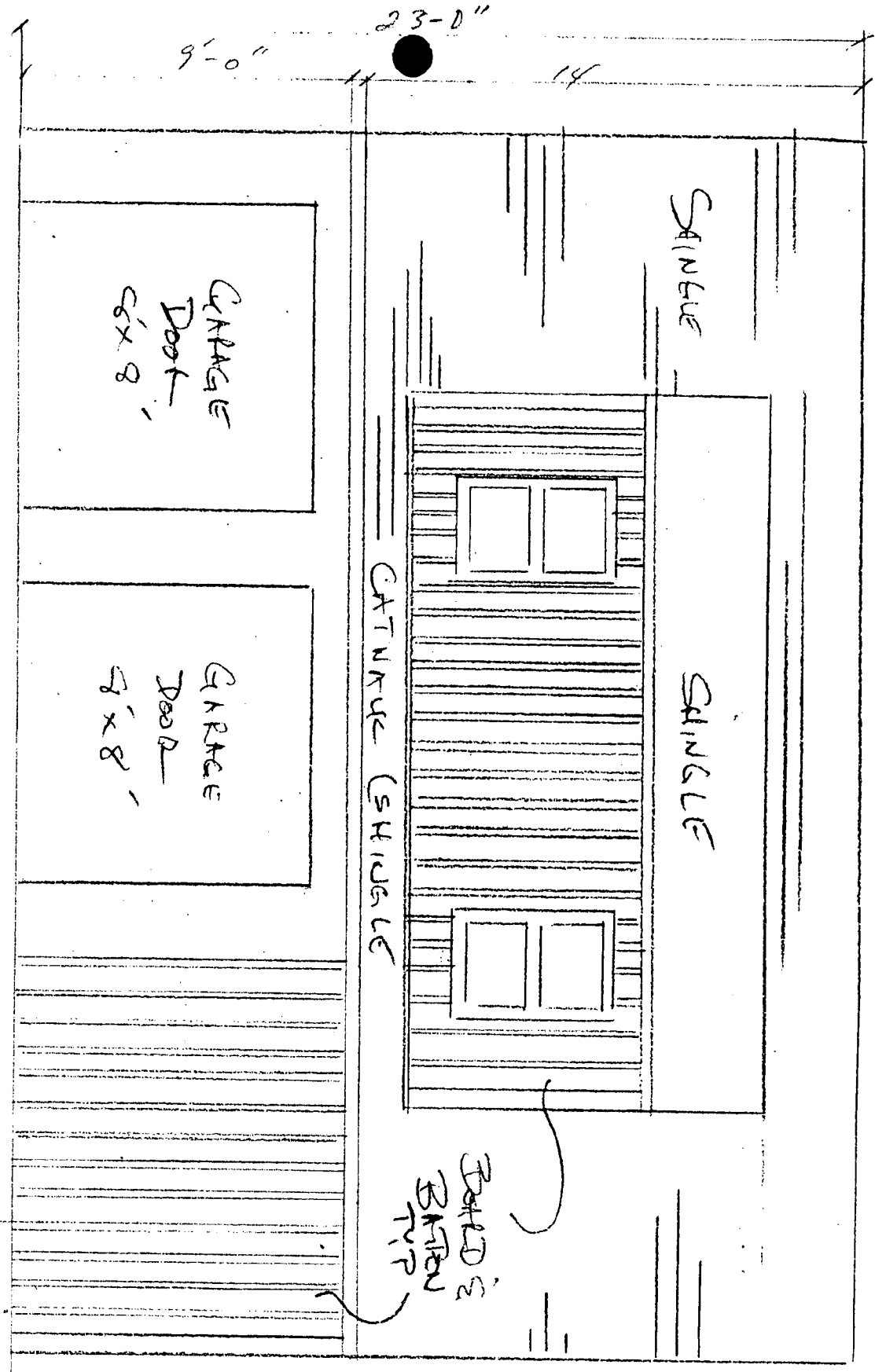
REAR ELEVATION

SCALE 1/8" = 1'-0"





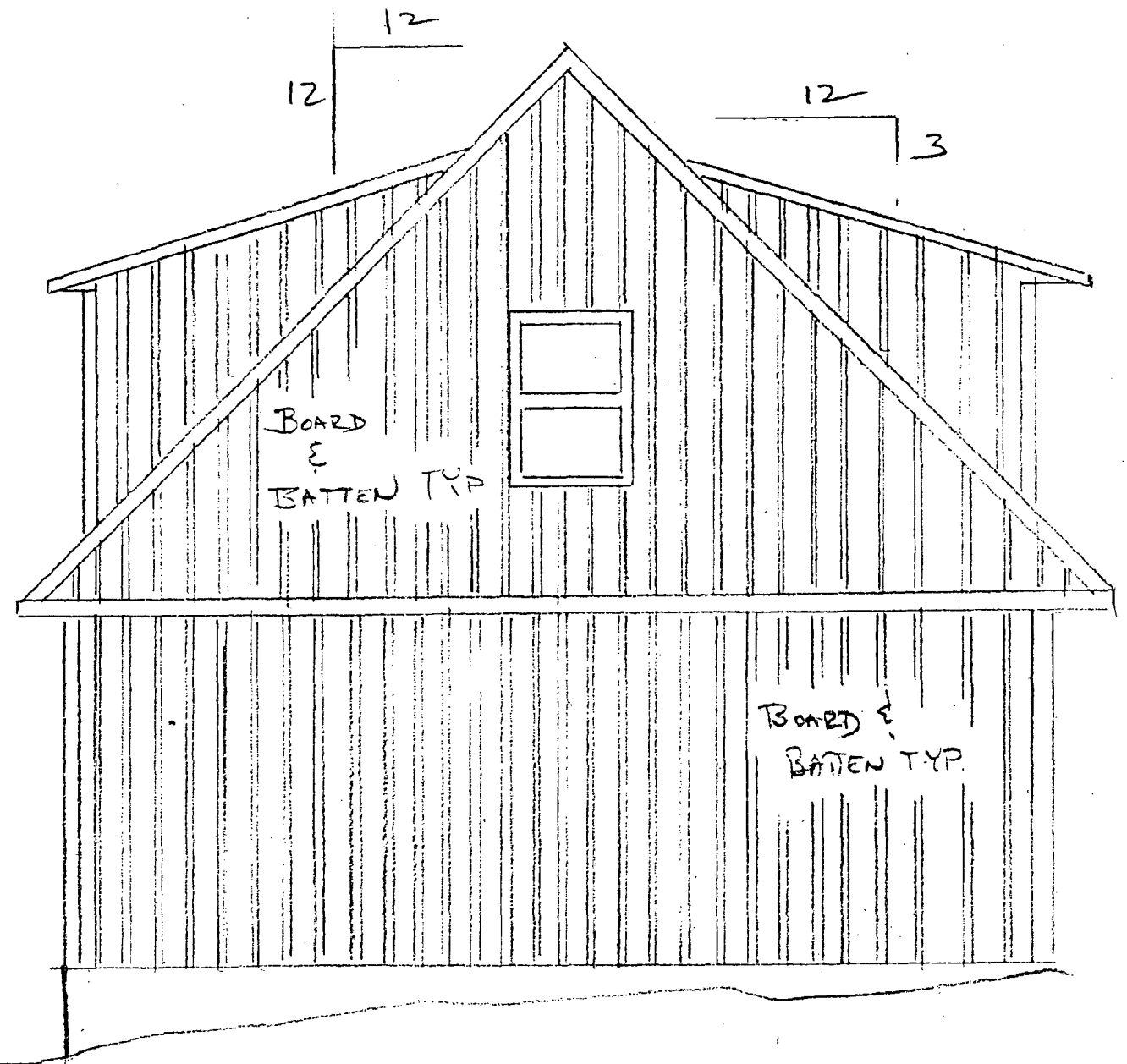
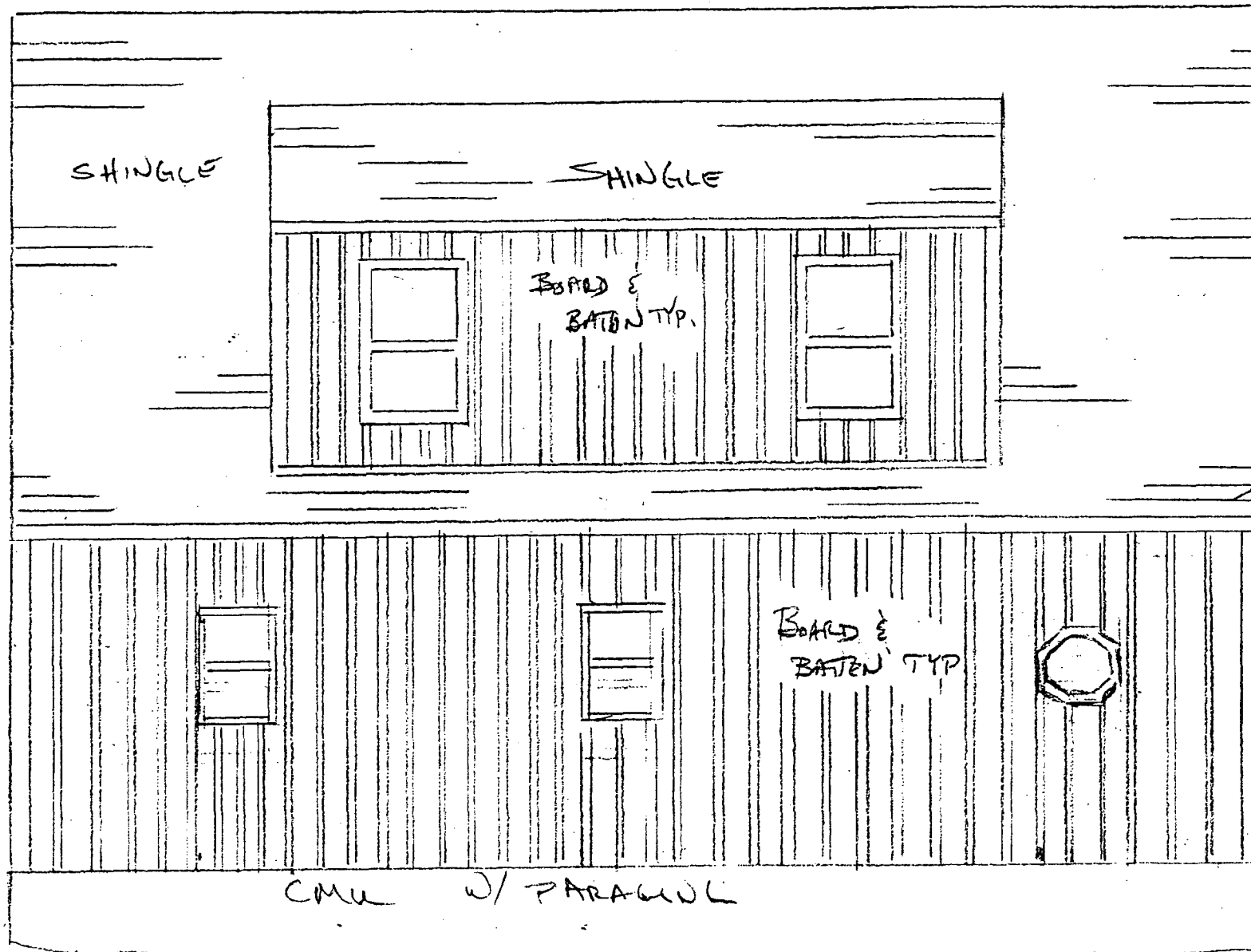




DRAWING B1  
 DEBELCI CONSTRUCTION CO LLC  
 PO Box 106, ESTERD, MD 20841  
 DATE 6/1/98

NORTH (FRONT FACE)  
 ELEVATION  
 GARAGE APT  
 SCALE 1/4" = 1'-0"

WEST FACE  
 (RIGHT SIDE)  
 SHT A7  
 CROWN / PARAPETS



ORIGINAL PLANS OUT OF  
 COUNTRY LIVING HOUSES  
 Box 622, PRINCETON, NEW JERSEY 08540

SOUTH FACE  
 ELEVATION  
 SCALE 1/4" = 1 FOOT

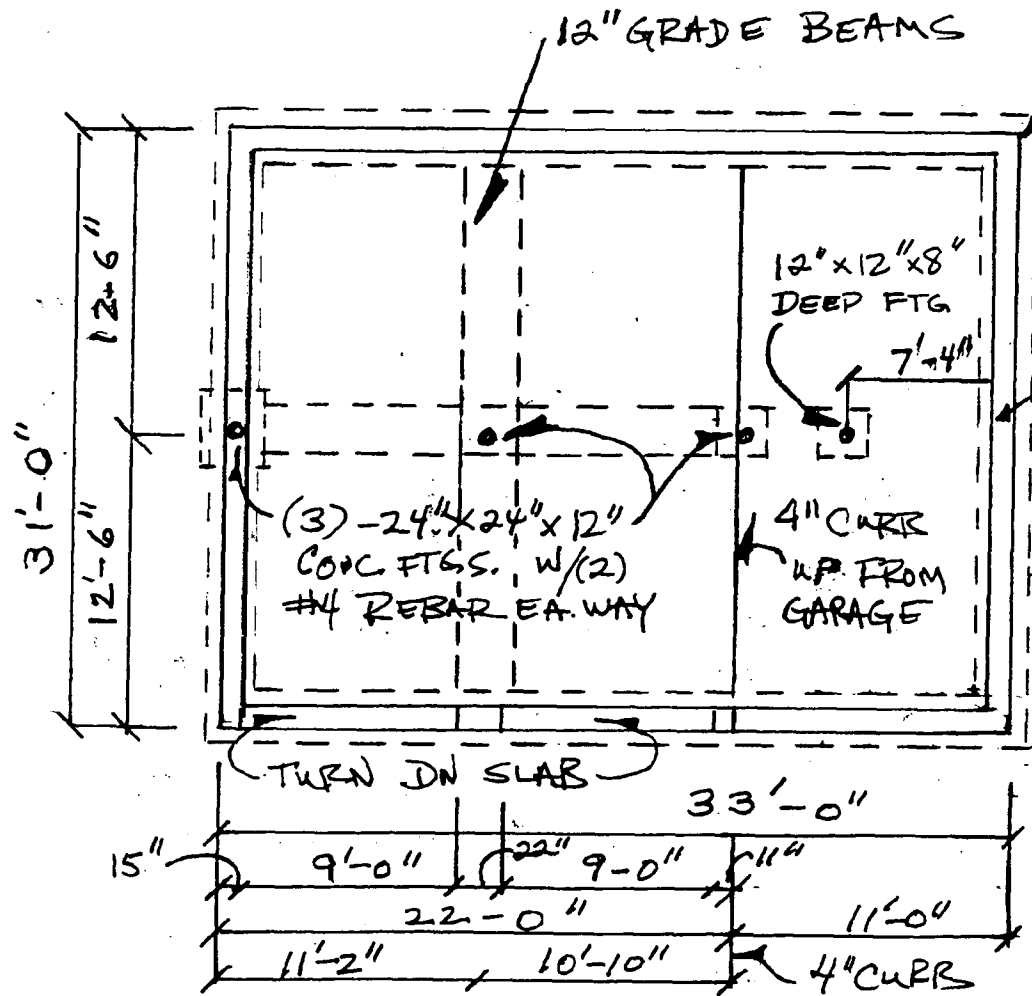
EAST FACE  
 ELEVATION  
 DATE 6/1/99  
 SHT. A8

REVISED BY  
 DEREGG CONSTRUCTION CO LLC  
 PO Box 106, BOYDS MD 20841

4" CONCRETE SLAB W/6x6  
10/10 WWM. ON 6 MIL. POLY  
ON 4" GRAVEL BASE

TYP PORCH COL. -  
4x4 T.W. ON TECO FTR  
ON 24" Ø X 12" CONC FTG  
MIN 24" B.F.G.

TYP BSMT SLAB  
4" CONC. W 6x6  
10/10 WWM. ON  
6 MIL POLY V.P. ON  
4" GRAVEL BASE  
(W/ SUB SLAB VENT SYS)

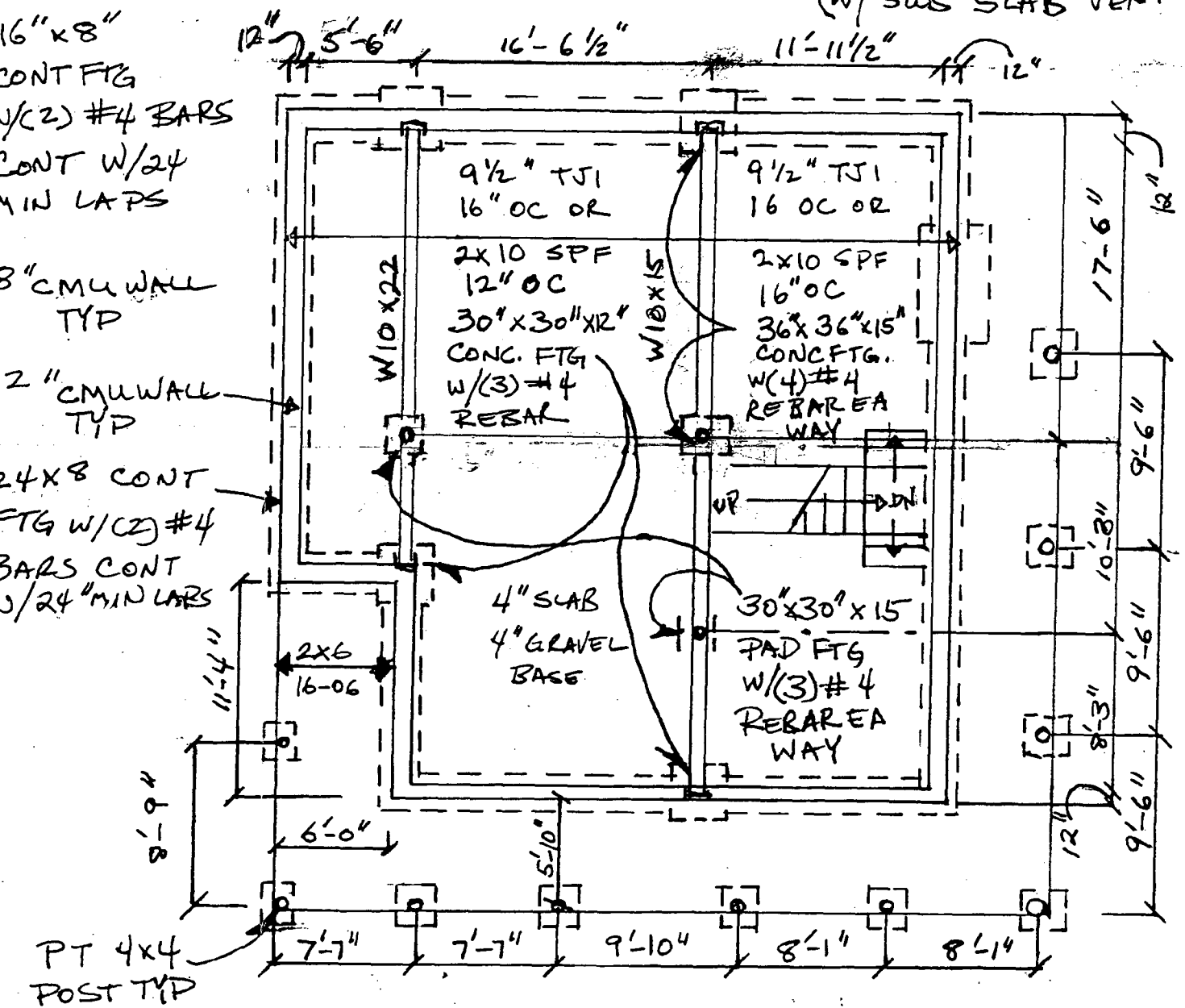


16" x 8" CONT FTG  
W/(2) #4 BARS  
CONT W/24  
MIN LAPS

8" CMU WALL  
TYP

12" CMU WALL  
TYP

24x8 CONT  
FTG W/(2) #4  
BARS CONT  
N/24" MIN LAPS

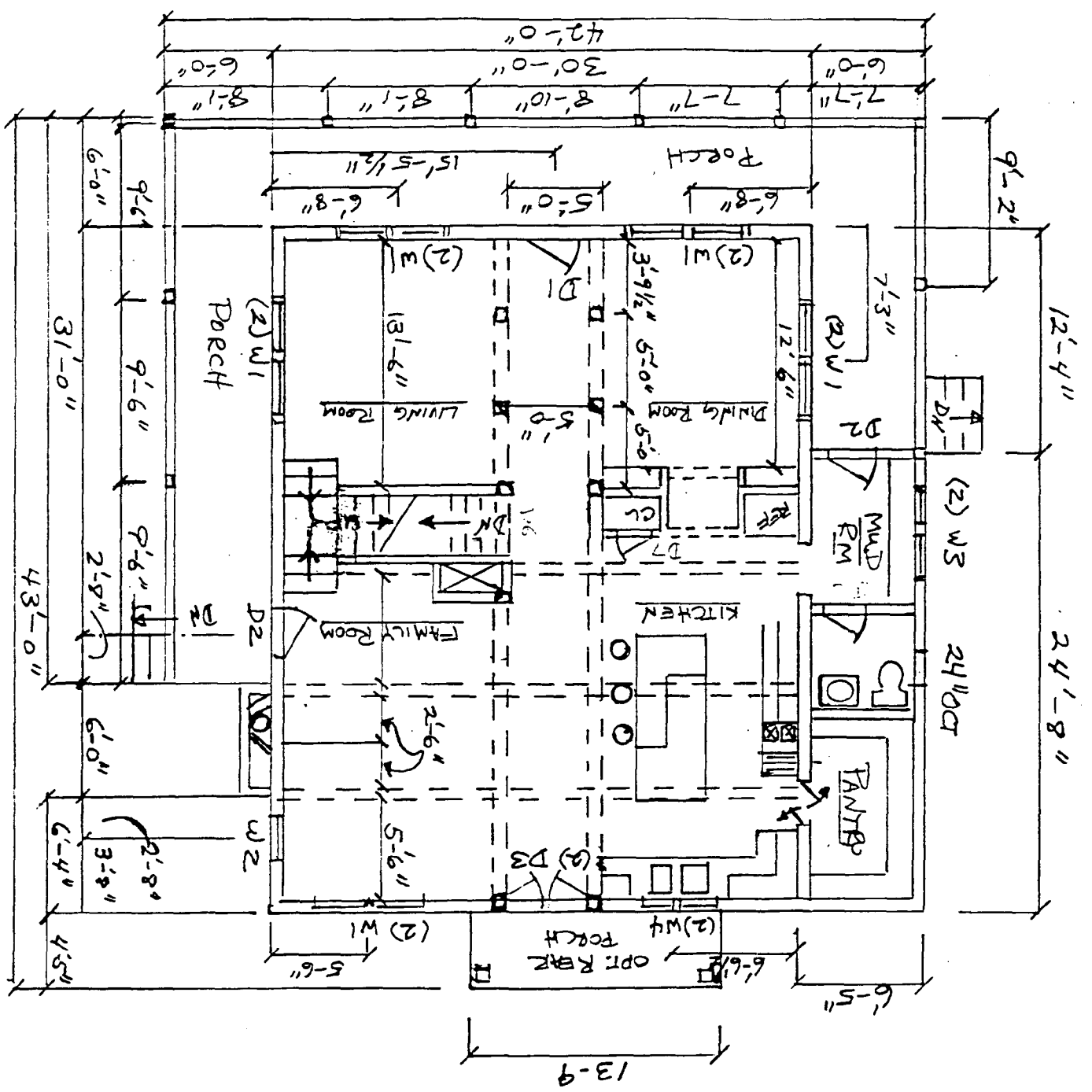


HOUSE FOUNDATION PLAN &  
FIRST FLOOR FRAMING  
SHT A1

GARAGE FOUNDATION PLAN  
BY DEREGGI CONSTRUCTION CO LLC  
6/1/99 . SCALE 1/8" = 1'-0"

DRAWINGS BY  
 DEEGGI CONSTRUCTION CO LLC  
 PO BOX 106, BOWDS, MD 20841  
 DATE 6/1/99

FIRST FLOOR PLAN  
 SCALE 1/8" = 1'-0"

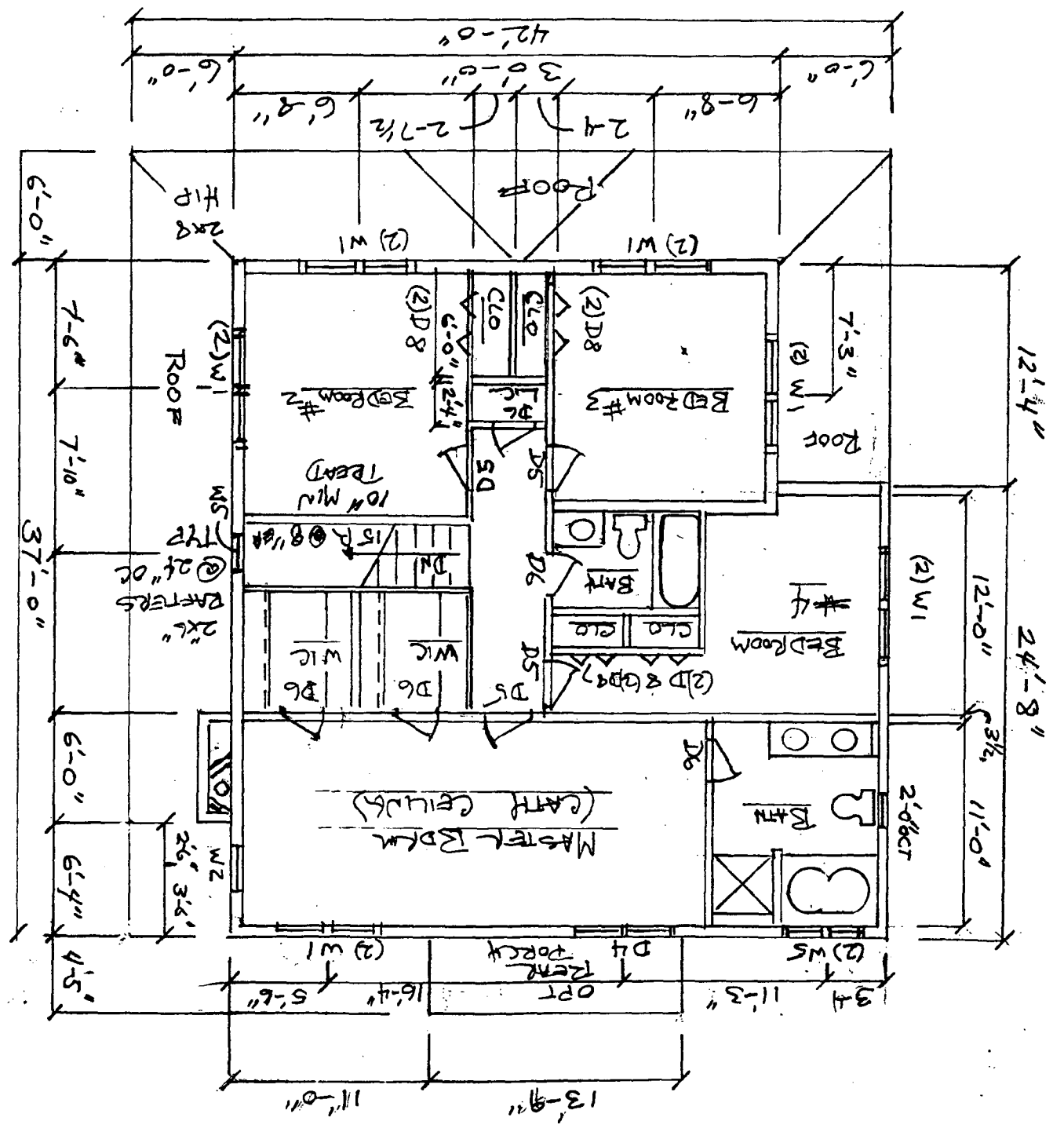


WINDOW & DOOR SCHEDULE

W1	3'-0" x 5'-2"	D1	3'-0" x 6'-8" EXT
W2	2'-8" x 5'-2"	D2	2'-8" x 6'-8" EXT
W3	2'-8" x 3'-10"	D3	2'-4" x 6'-8" EXT
W4	2'-4" x 3'-2"	D4	5'-0" x 6'-8" SUBR
W5	2'-0" x 3'-10"	D5	2'-6" x 6'-8" INT
W6	2'-0" OCT	D6	2'-4" x 6'-8" INT
		D7	2'-0" x 6'-8" INT
		D8	BIFOLD

- ALL WINDOW & DOOR HDRS. TO BE (2) 2"x12" TYP
- STEPS TO GRADE AS PER CODE ALL 4 SIDES
- ALL WALL SHEATHING 1/2" PLY W/ TRNK
- PORCH POSTS TO BE 4x4 PT. WRAPPED W/ 1x MAT
- PORCH HDRS TO BE (2) 2"x10

SECOND FLOOR PLAN  
 SCALE 1/8" = 1'-0"  
 DATE 6/1/99  
 SH# 3



→ TRUSSE BY OTHERS -  
 24" OC W/ 12" OVERHANG TYP  
 - WINDOW & DOOR HDKS -  
 (2) 2x12 1 TYP