

10/59-99D 25801 Frederick Rd.
(Hyattstown Historic District)

Phone #s for
Hyattstown
F.D. 8/11/99
Robin 4:50

Call Jeff Gross
Hyattstown Vol. Fire Dept.

cell # 443-250-0020

home # 301-~~331~~-8392

J.

NICHOLS CONTRACTING, INC.

General Contractor

18623 BROOKE RD. SANDY SPRING, MD 20860 TEL: 301.924-5258 FAX: 301 924-5245

FAX TRANSMISSION

DATE: 9/20/99 TOTAL PAGES INCLUDING COVER: 1

TO: Michelle Nam COMPANY: MCHP

FAX #: 301-563-3412

FROM: Scott Turner

REFERENCE: Hyattstown Volunteer Fire Station
Elevator Addition

MESSAGE:
The brick sample that I showed you
today is "Red Smooth Common Cord"
manufactured by Lee. Size is
7 5/8" long, 2 5/16" High, 3 3/4" wide.
The mortar is manufactured by Flamingo,
C-358.
Scott

HARD COPY TO FOLLOW: YES NO

PLEASE CALL IF YOU HAVE ANY QUESTIONS OR TROUBLE RECEIVING THIS FAX

file: Fax Cover

approved by
Michelle Nam via
9-20-99 site visit

Very faint header text, possibly containing a title or reference number.

Very faint text block, possibly a date or a specific reference.

Very faint text block, possibly a paragraph of the main document.

Very faint text block, possibly a paragraph of the main document.

Very faint text block, possibly a signature or a closing line.

Very faint text block, possibly a signature or a closing line.

240-777 -

6262

Attn: Margie



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JEFF GROSS
Daytime Phone No.: 443 250 0020
H) 301 831 8392

Tax Account No.: _____
Name of Property Owner: Hyattstown Vol. Fire Dept. Daytime Phone No.: 301 831 8248
Address: 25801 Frederick Rd Clarksburg MD 20871
Street Number City Street Zip Code
Contractor: Nichols Contracting Phone No.: 301 924 5258
Contractor Registration No.: UNK.
Agent for Owner: Scott Turner Daytime Phone No.: same

LOCATION OF BUILDING/PREMISE

House Number: 25801 Frederick Rd Street: _____
Town/City: Clarksburg MD Nearest Cross Street: RT. 109 / old Hundred Rd
Lot: _____ Block: _____ Subdivision: _____
Liber: 256B Folio: 298 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: Elevator

1B. Construction cost estimate: \$ \$135000.00

1C. If this is a revision of a previously approved active permit, see Permit # NO

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jeff Gross Signature of owner or authorized agent Date: 2/27/99
Approved: X w/conditions For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: 8-8-99
Application/Permit No.: 9908040083 Date Filed: 8/4/99 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

✓ 1. **WRITTEN DESCRIPTION OF PROJECT**

- ✓ a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Bldg circa 1945, CMU with brick veneer, commercially zoned area, asphalt parking lot on the west & south sides, grass on the east side, adjacent bldg on the north.

- ✓ b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

proposed exterior elevator & machine room. Built in the center of the east side (rear) a CMU & brick veneer, should have no impact on the adjacent structures. Project height will be less than exist. Bldg and cannot be seen from RT 355.

✓ 2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- ✓ a. the scale, north arrow, and date;
- ✓ b. dimensions of all existing and proposed structures; and
- ✓ c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

✓ 3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- ✓ a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- ✓ b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

✓ 4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

✓ 5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

N/A 6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

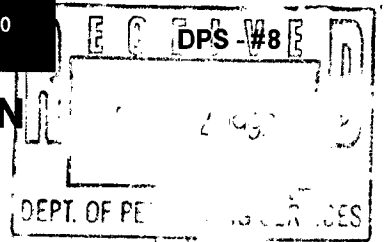
✓ 7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
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RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JEFF GROSS

Daytime Phone No.: 443 250 0020
H) 301 831 8392

Tax Account No.: _____

Name of Property Owner: Hyattstown Vol. Fire Dept. Daytime Phone No.: 301 831 8248

Address: 25801 Frederick Rd Clarksburg MD 20871
Street Number City State Zip Code

Contractor: Nichols Contracting Phone No.: 301924 5258

Contractor Registration No.: UNK.

Agent for Owner: Scott Turner Daytime Phone No.: same

LOCATION OF BUILDING/PREMISE

House Number: 25801 Frederick Rd Street:

Town/City: Clarksburg MD Nearest Cross Street: RT. 109 / Old Hundred Rd

Lot: _____ Block: _____ Subdivision: _____

Liber: 256B Folio: 298 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Elevator

1B. Construction cost estimate: \$ 135000.00

1C. If this is a revision of a previously approved active permit, see Permit # no

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Jeff Gross Signature of owner or authorized agent Date: 2/27/99

Approved: X: w/conditions For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 8-8-99

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DPS #8

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301/563-3400

DEPT. OF FF

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JEFF GROSS

Daytime Phone No.: 443 250 0020
H) 301 831 8392

Tax Account No.: _____

Name of Property Owner: Hypothetical Vol. Fire Dept. Daytime Phone No.: 301 831 8248

Address: 25801 Frederick Rd Clarksburg MD 20871
Street Number City Street Zip Code

Contractor: Nichols Contracting Phone No.: 301924 5258

Contractor Registration No.: UNK

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Jeff Gross Signature of owner or authorized agent 7/27/99 Date

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M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: SEPTEMBER 9, 1999

TO: Local Advisory Panel/Town Government HYATTSSTOWN LAP

FROM: Historic Preservation Section, M-NCPPC

Robin D. Ziek, Historic Preservation Planner
Perry Kephart, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

The Historic Preservation Commission reviewed this project on 8-8-99.
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

G\wp\aphawp.ltr

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

Date: SEPTEMBER 9, 1999

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HAWP for Elevator addition at the Hyattstown Vol. Fire Dept.

7/26/99

Adjacent property owners:

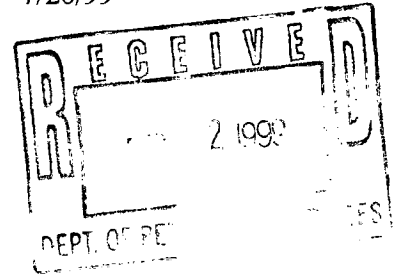
South- Md. Nat'l. Capital Park and Planning Comm.
8787 Georgia Ave.
Silver Spring, MD

West- Wash. Suburban Sanitary Comm.
14501 Sweitzer Ln.
Laurel, MD

John Croghan
15300 Croghan Ln.
Clarksburg, MD 20871

North- Helen Burdette
22711 Mt. Ephraim Rd.
Dickerson, MD 20842

East- Hyatt Recreation
6328 New Haven Ct.
Frederick, MD 21703





HYATTSTOWN VOLUNTEER FIRE DEPT., INC.

Emergency Dial 911

Company 9
25801 Frederick Road
Clarksburg, Maryland 20871

(301) 972-3398
(301) 831-8499

July 25, 1999

Historic Preservation Commission
8787 Georgia Ave.
Silver Spring, MD

RE: Elevator addition to the Hyattstown Vol. Fire Dept.

Our building was constructed during World War II and was not completed until 1945. It was never intended to have an elevator and that is why it has an imposing set of stairs. Five years ago our building underwent a substantial renovation and upgrade to comply with the A.D.A. code, but that only pertained to the first floor of the building. Since then we have wanted to have our 2nd floor accessible to all.

Our auxillary has now provided funds to build an elevator that will allow all visitors complete access to our facility. Frequent public meetings, department events and moving supplies upstairs will now be safer, easier and compliant with the code.

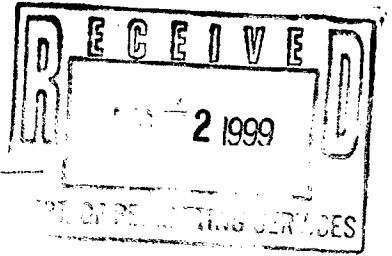
However because the building was not designed to have an elevator inside, we have located and designed one to be placed on the exterior, at the rear of the building. Our goal is to comply with all your requirements and alleviate our problem. We hope that your staff and commission will agree.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Jeffrey C. Gross".

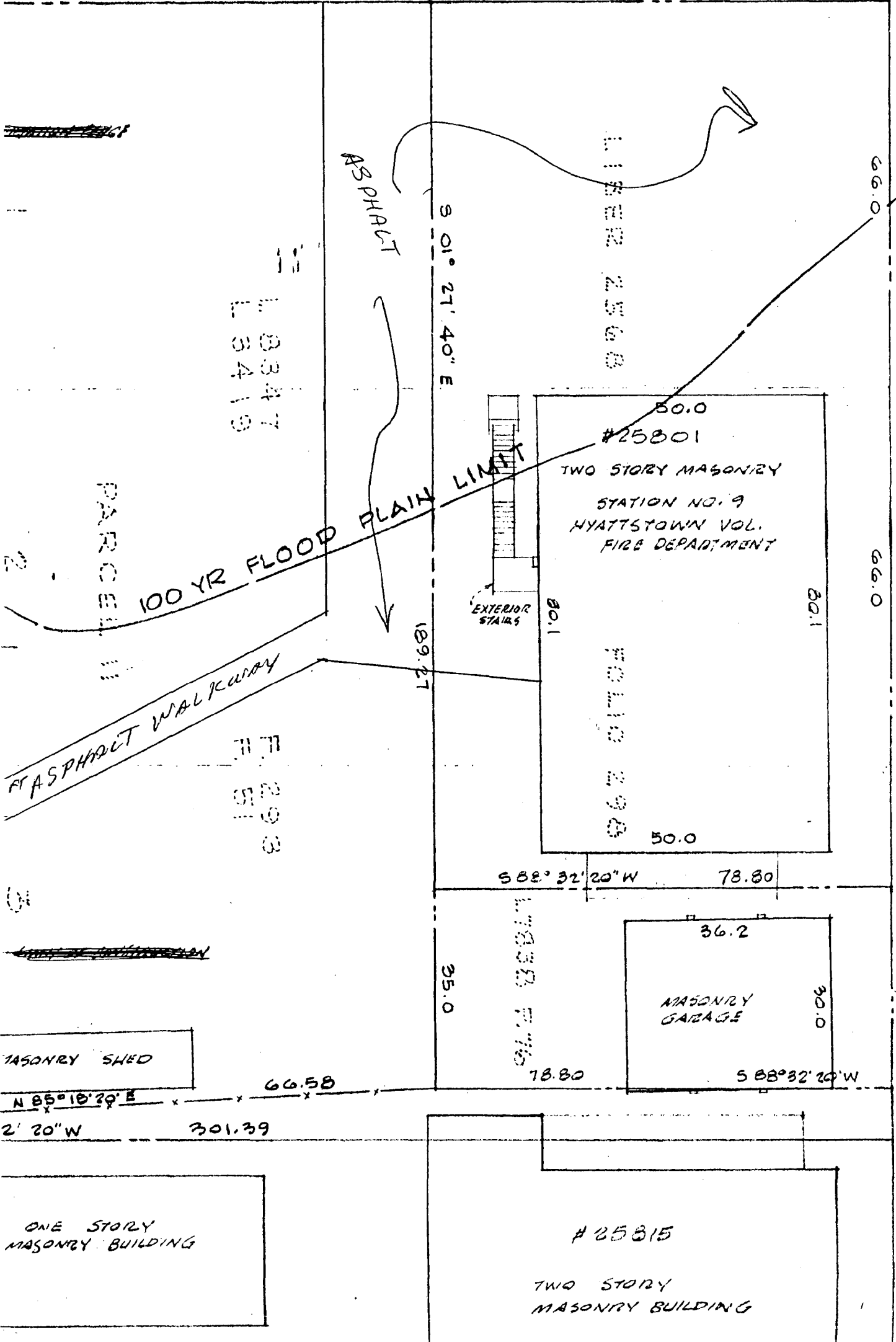
Jeffrey C. Gross
Elevator Committee

ROAD



38° 32' 20" W

86.20



L 83419

PARCEL

100 YR FLOOD PLAIN LIMIT

ASPHALT WALKWAY

L 83419

MASONRY SHED

N 85° 18' 20" E

2' 20" W

ONE STORY MASONRY BUILDING

#25815

TWO STORY MASONRY BUILDING

LIBER 2560

LIBER 2990

50.0 #25801

TWO STORY MASONRY STATION NO. 9 HYATTSTOWN VOL. FIRE DEPARTMENT

LIMIT

EXTERIOR STAIRS

50.0

50.0

S 88° 32' 20" W

78.80

36.2

MASONRY GARAGE

30.0

78.80

S 88° 32' 20" W

66.58

301.39

MARYLAND STATE ROUTE 355

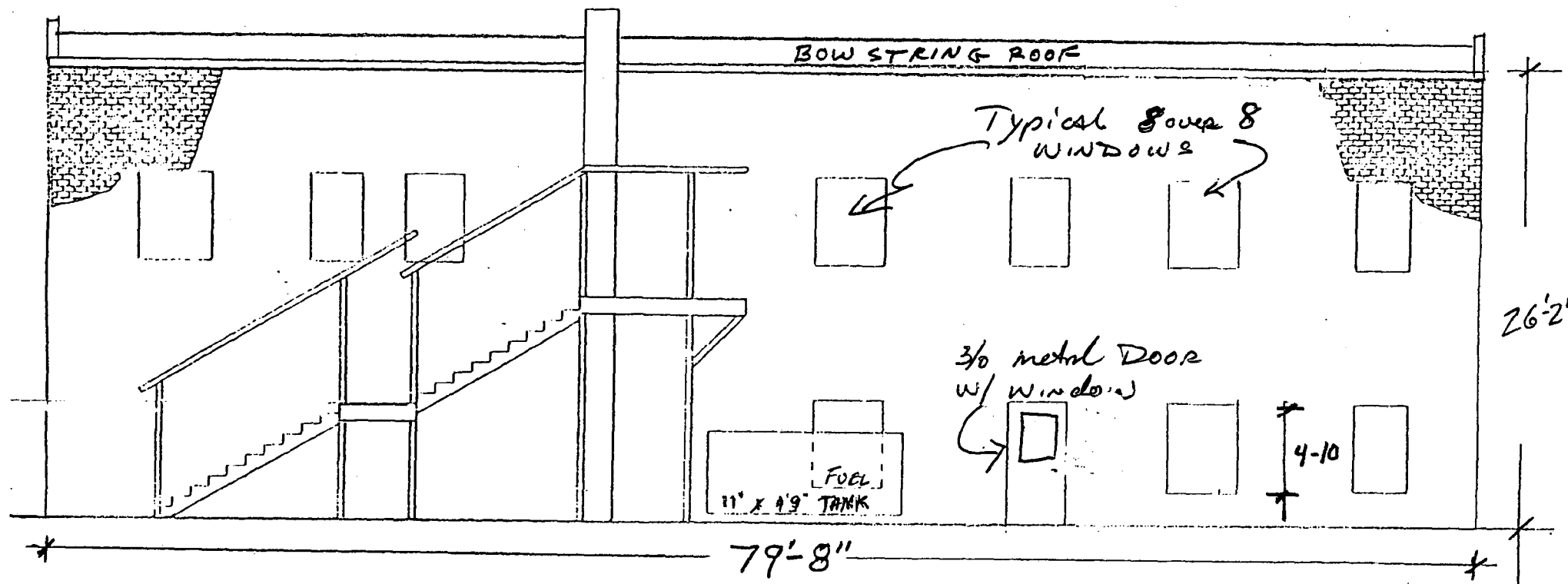
66.0

66.0

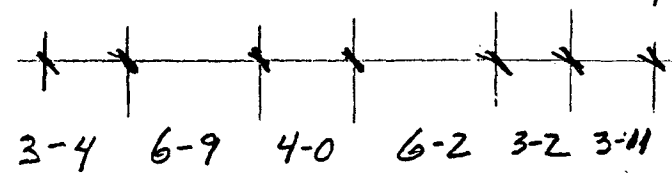
S 01° 21' 40" E

189.27

ASPHALT



EXISTING
 BUILDING REAR ELEVATION



FRONT

ENGINE ROOM

KITCHEN/
LOUNGE

BOILER ROOM

BUNK ROOM

ELEC.
ROOM

MENS
ROOM

FUSED
200A 3PH
FUSED
200A 3PH

49'-10 1/2"

CT
M

ELEVATOR
LOBBY

(E) STEPS

4'-10 5/8" 4' 2'-11"

GAS LINE

OUTLINE OF (N)
CONCRETE SIDE
WALK. INSTALL
OVER 6" GRAVEL

ELEV.
PT

A/C

REFERENCE POINT "A"

NEW 4" CMU WALL

NEW 8" CMU WALL
w/ Brick veneer
to match existing

1'-8" FOOTER
32" BC MIN.
ON UNDISTURBED
SOIL TYP

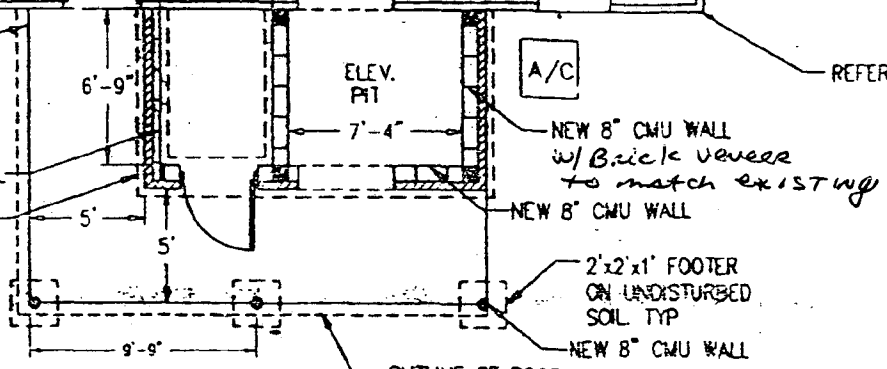
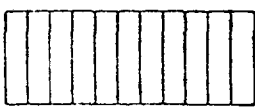
NEW 8" CMU WALL

2'x2'x1' FOOTER
ON UNDISTURBED
SOIL TYP

NEW 8" CMU WALL

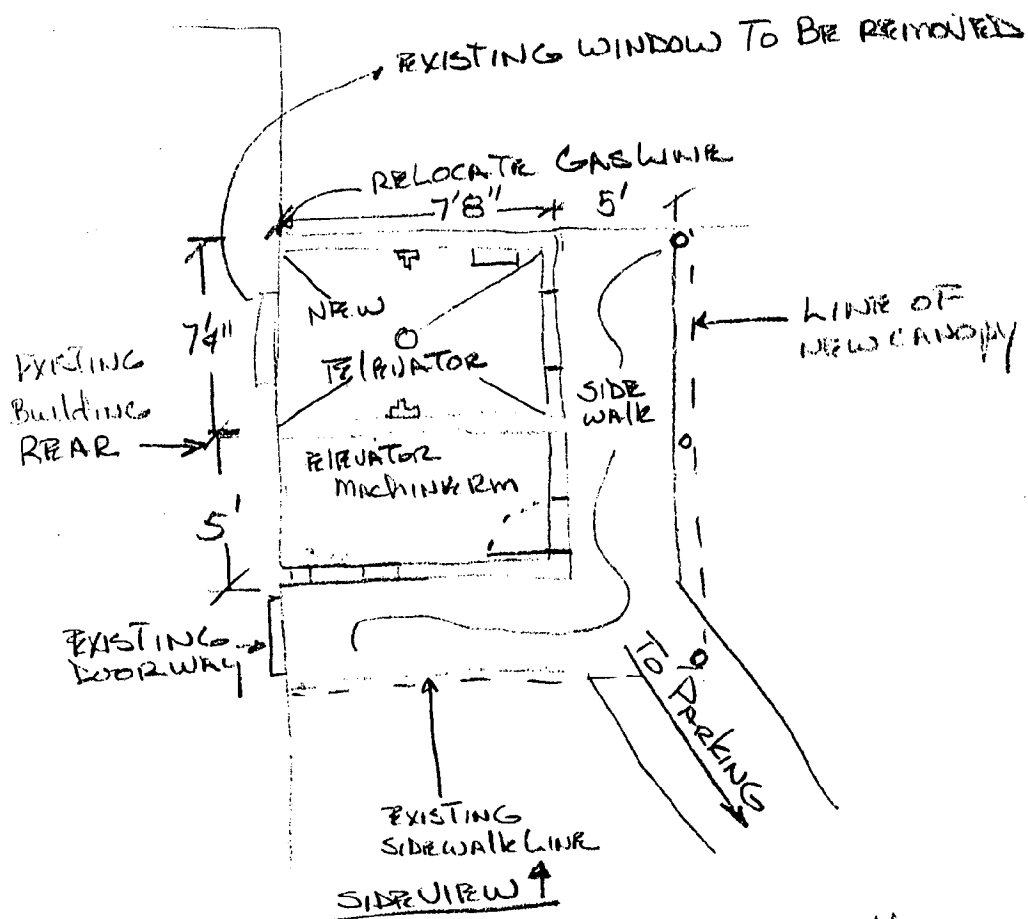
OUTLINE OF ROOF
ABOVE

NEW PLAN



CLARKSBURG FIREHOUSE CONCEPTUAL ELEVATOR

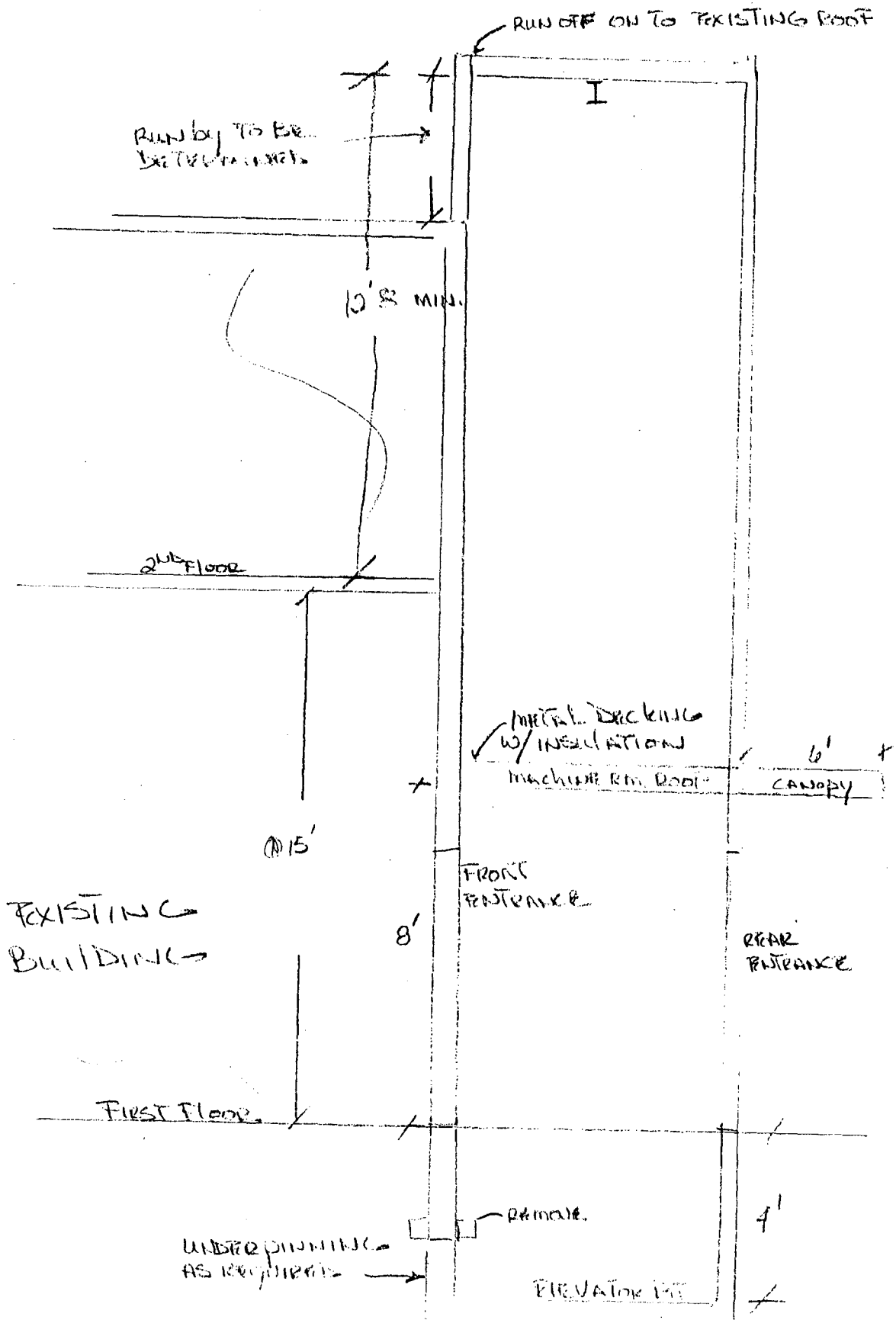
FLOOR PLAN SKETCH

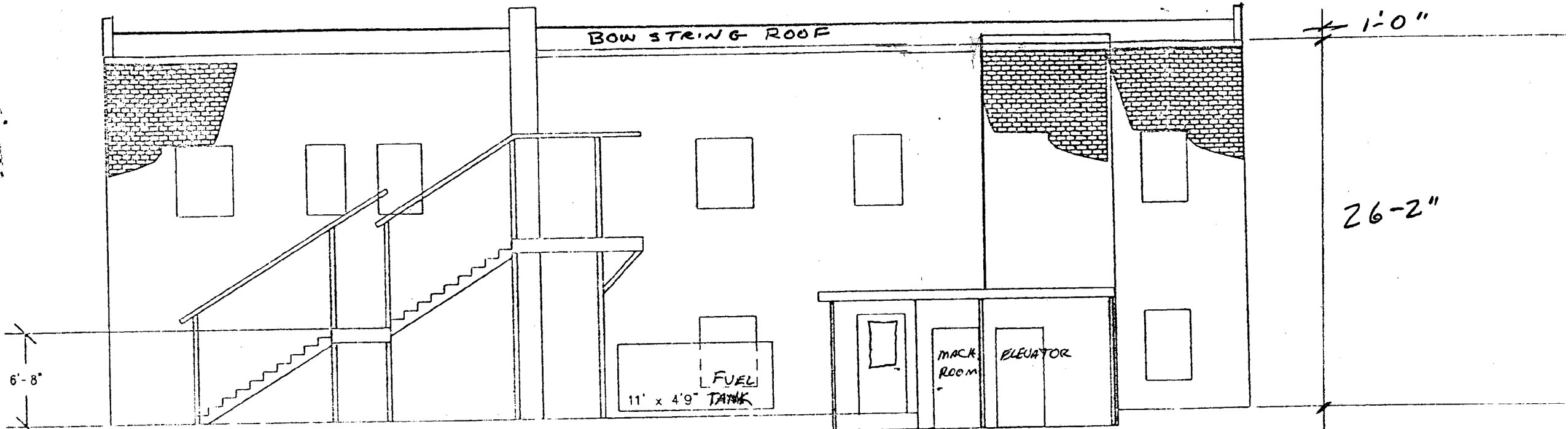


BRICK UPRAKER ON 8" CMU WALLS
 BRICK TO MATCH AS CLOSE AS POSSIBLE
 CLADDING AND PAINT TO MATCH AS CLOSE AS POSSIBLE
 30 YR RUBBER MEMBRANE ROOFING AT CANOPY
 AND SHAFT
 EXISTING FINISHES DAMAGED WILL BE REPAIRED

CLARKSBURG FIRE HOUSE CONCEPTUAL ELEVATOR

SIDE VIEW SKETCH





NEW

BUILDING REAR ELEVATION

SCALE: 1/8" = 1'-0"



BUILDING AS SCENE FROM HYATTSTOWN MILL ROAD

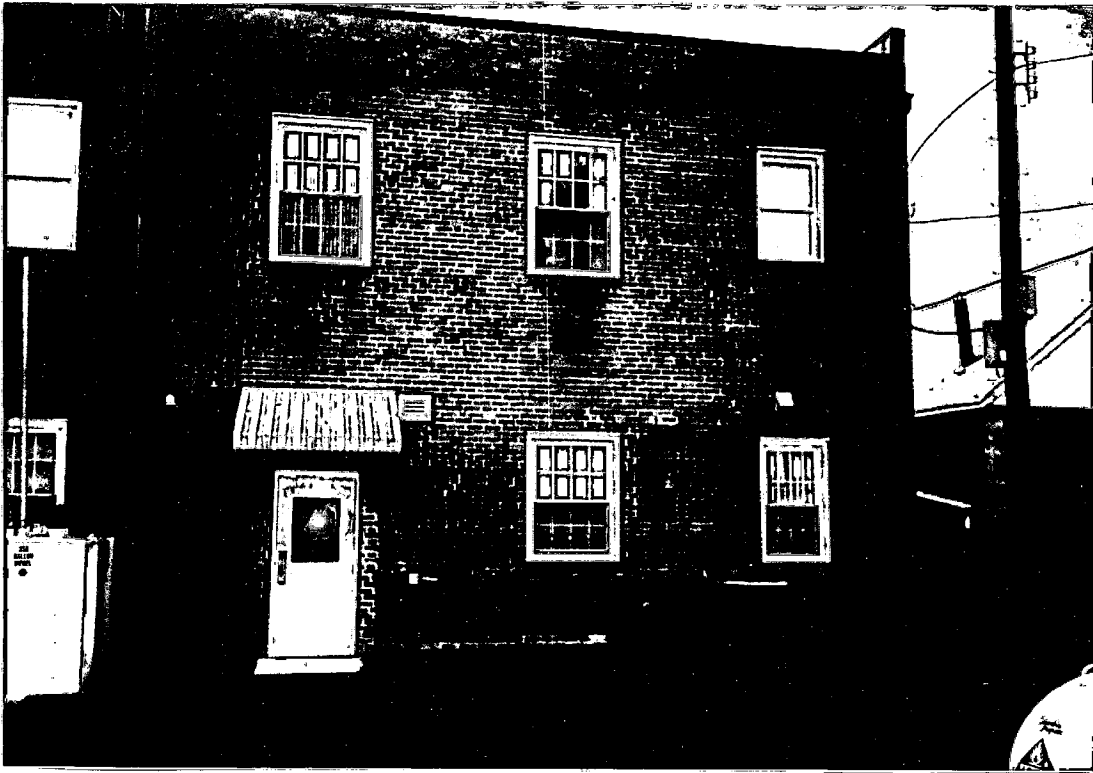


REAR VIEW OF THE FIRE HOUSE AND BURDETTE'S BUILDING

RECEIVED
APR 2 1999
DEPT. OF PERMITTING SERVICES

STATE OF TEXAS
DEPARTMENT OF PERMITTING SERVICES

STATE OF TEXAS
DEPARTMENT OF PERMITTING SERVICES



CLOSE-IN VIEW OF PROPOSED ELEVATOR LOCATION
(BETWEEN DOOR AND RIGHT WINDOWS)

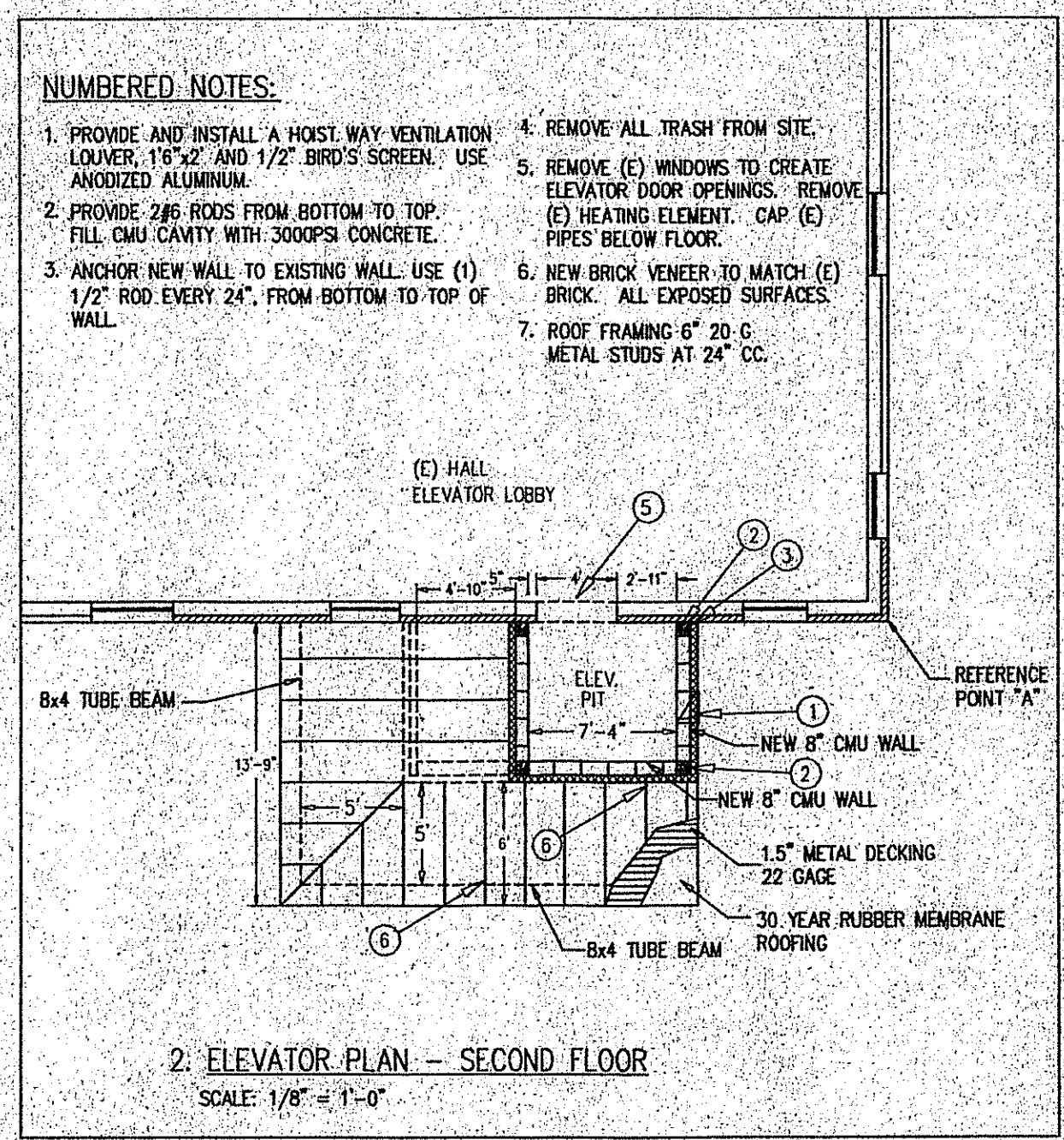
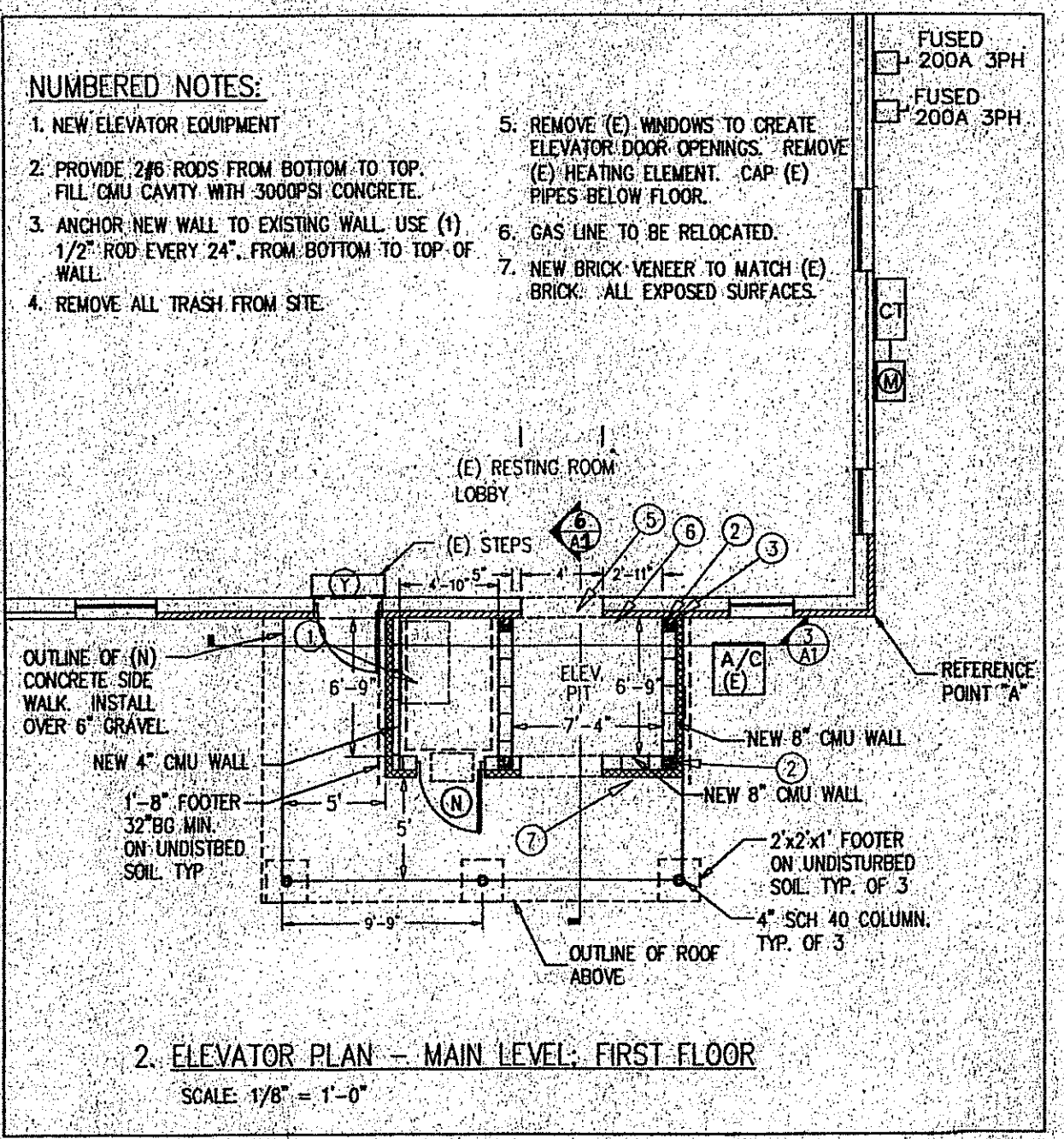


BUILDING AS SCENE FROM BURDETT'S PROPERTY

RECEIVED
SEP 2 1999
DEPT OF PE HATTING SERVICES

PERMIT DATA:

- 1. BUILDING CLASSIFICATION: 3C
2. TYPE OF CONSTRUCTION: REINFORCED CONCRETE BUILDING
3. BUILDING YEAR: UNKNOWN (CIRCA 1945)
4. EXIST. GROSS FLOOR AREA: APPROX. 4,000 SF PER FLOOR
5. BUILDING LOCATION: HAYTSTOWN FIRE HOUSE #9
6. LOT DATA: COUNTY FIRE DEPARTMENT
7. OCCUPANCY: OFFICE/FIRE HOUSE USE TO REMAIN
8. FIRE ALARM SYSTEM: EXITING FIRE ALARM SYSTEM
9. SPRINKLERS: NO EXISTING SPRINKLES
10. TENANT SHALL FURNISH FIRE EXTINGUISHERS
11. TENANT IS TO PROVIDE DEMISING WALL FINISH
12. NO NEW PLUMBING WORK PROPOSED

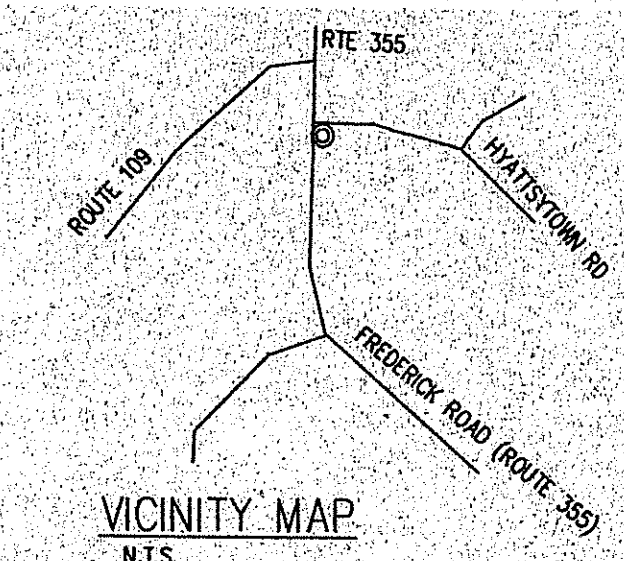


SCOPE OF WORK

INSTALL A NEW ELEVATOR SHAFT AND ELEVATOR TO SERVICE SECOND FLOOR OF BUILDING

DRAWING LIST

- A1 - DEMOLITION/CONSTRUCTION PLANS
A2 - BUILDING PLAN AND ELEVATION
EM - POWER AND MECHANICAL PLAN



DOOR SCHEDULE:

SEE NOTE 7 UNDER CONSTRUCTION NOTES.

Table with columns: MK SIZE, THK, DOOR, FRAME, HDWE, COMMENTS. Includes entries for existing doors to remain and mechanical room doors.

NOTES:

- 1. PAINT BOTH SIDES OF DOOR WITH SEMIGLOSS PAINT, TWO COATS
2. LIGHTLY SAND BETWEEN COATS. COLOR TO BE
3. PAINT DOOR JAMB WITH TWO COATS OF OIL-BASE SEMIGLOSS PAINT; DUREX CHOCOLATE MOUSE TO MATCH COVE BASE OR EQUIV.

HARDWARE: (USE BRUSHED CHROME FINISH US 26D, UON)

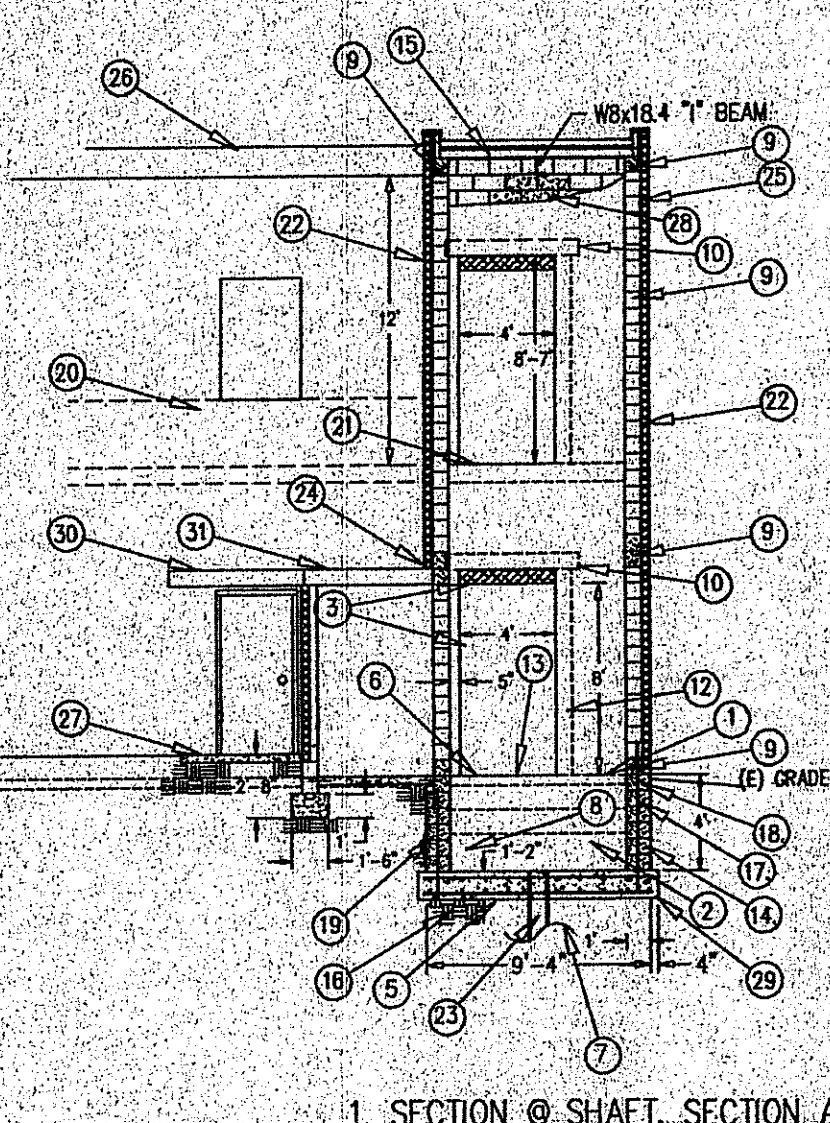
- A - ENTRANCE LEVER LOCK SET (KEYED)
B - HEAVY DUTY DOOR CLOSER NO. 3
C - 3 HEAVY DUTY HINGES

CONSTRUCTION NOTES:

- 1. ALL DIMENSIONS ARE FINISHED DIMENSIONS UNLESS OTHERWISE NOTED.
2. USE FIRE RATED GYPSUM BOARDS FOR ALL DEMISING WALLS.
3. ALL WALLS NOT HORIZONTAL OR VERTICAL ARE AT A 45 DEGREE ANGLE - TYPICAL.
4. NEW ELEVATOR TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.
5. INTERIOR FINISH (I.E. WALLS, CEILING, TILES, FLOOR COVERING, ETC.) SHALL HAVE A FLAME SPREAD RATE OF 75 OR LESS WITH A MAXIMUM SMOKE GENERATION OF 450 IN CORRIDORS.
6. EXIT DOOR LOCKS, IF REQUIRED, SHALL NOT REQUIRE THE USE OF A KEY.
7. A LATCH OR OTHER FASTENING DEVICE ON A DOOR SHALL BE PROVIDED WITH A HANDLE, PANIC BAR, OR OTHER SIMPLE TYPE OF RELEASING DEVICE.

GENERAL CONSTRUCTION NOTES:

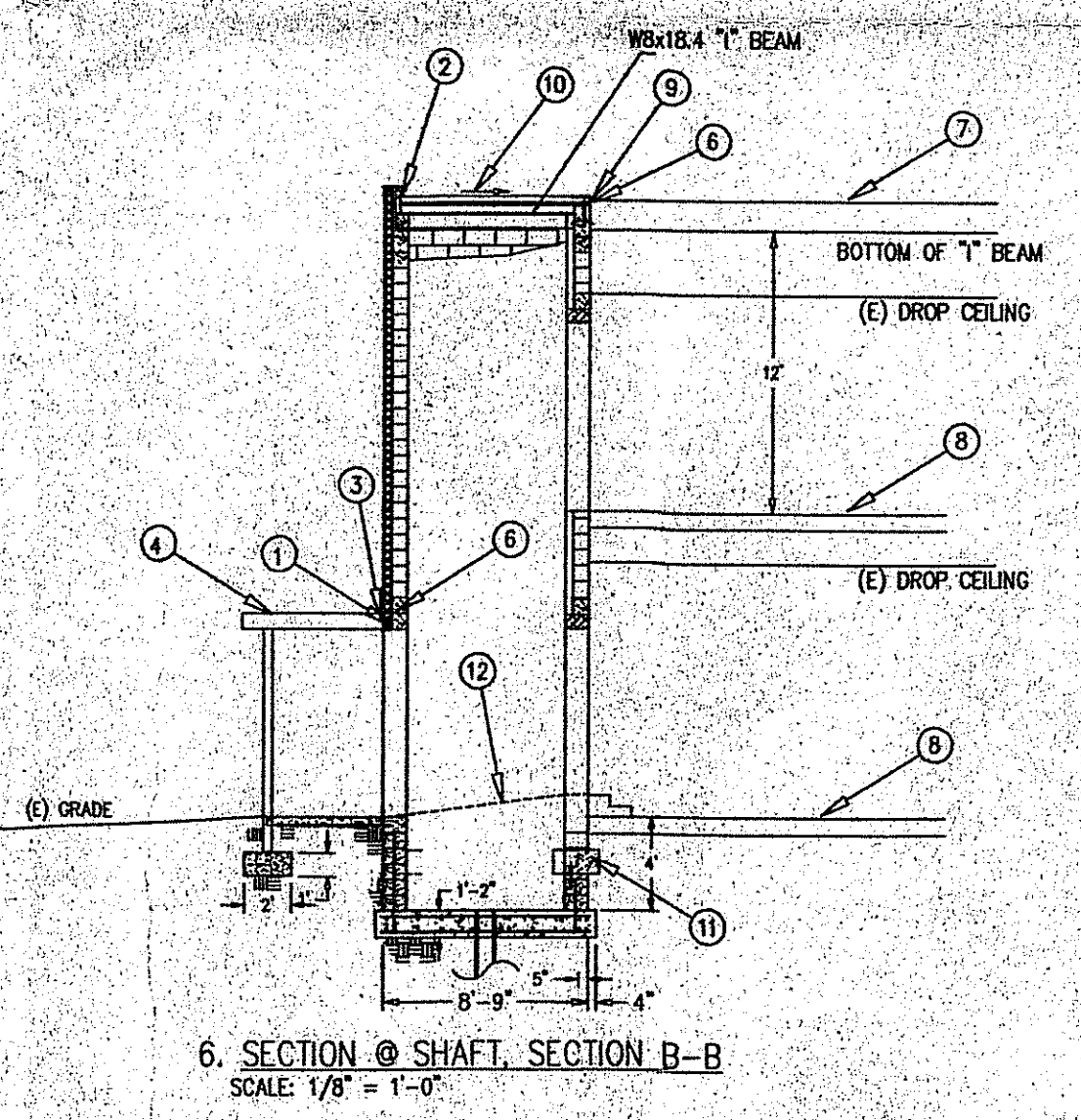
- 1. THE CONTRACTOR IS TO VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING A BID.
2. THE CONTRACTOR IS TO CONTACT THE OWNER AND/OR ENGINEER PRIOR TO EXECUTION OF ANY WORK IN QUESTION.
3. CHECK ALL DIMENSIONS ON THE JOB PRIOR TO EXECUTION OF WORK.
4. DEMOLITION - TO BE PROVIDED BY CONTRACTOR AS REQUIRED.
5. COORDINATE WORK EFFORT FOR ELECTRICAL, MECHANICAL AND PLUMBING WORK AS REQUIRED.
6. PATCH AND REFINISH - CONTRACTOR TO FULLY PATCH AND REFINISH TO MATCH EXISTING OR PROPOSED ADJACENT SURFACES.
7. ALL SUBCONTRACTORS MUST BE RESPONSIBLE FOR REMOVING ALL TRASH AND DEBRIS GENERATED BY SUBCONTRACTOR WORK.
8. ALL CONCRETE SHALL BE 3,000PSI CONCRETE.



NUMBERED NOTES FOR SECTION A-A:

- 1. EXISTING FLOOR SLAB.
2. REMOVE EXISTING FILL AS NEEDED FOR THE NEW ELEVATOR PIT.
3. PROVIDE A NEW OPENING FOR ELEVATOR DOORS AND PROVIDE...
4. PROVIDE NEW ELEVATOR DOOR JAMB, COORDINATE WITH ELEVATOR CONTRACTOR.
5. NEW LOWER CONCRETE PAD POURED OVER UNDISTURBED SOIL...
6. PROVIDE NEW ELEVATOR DOOR SILLS. COORDINATE WITH ELEVATOR CONTRACTOR AND/OR MANUFACTURER.
7. COORDINATE ELEVATOR SHAFT AND PIT WITH FLEETWOOD 21-H TYPE ELEVATOR ELEVATOR SHAFT AND PIT.
8. PROVIDE NEW CONCRETE PIT WALL WITH UNDERPINNING...
9. CONCRETE FILLED BOND BEAM WITH 2 #4 HORIZONTAL RODS.
10. CONCRETE LINTEL ABOVE WINDOW OPENING. EXTEND LINTEL DOWN TO REQUIRED ROUGH-IN OPENING. USE METAL STUD AND GYPSUM BOARD FILLER.
11. 4x4 L-BOLTED TO WALL WITH 1/2" ANCHOR BOLTS AT 16" O.C. N/A
12. EXISTING WINDOW ROUGH-IN OPENING (TYP.)
13. EXISTING FLOOR SLAB TO BE REMOVED. N/A
14. FILL WITH CONCRETE ALL CONCRETE BLOCKS BELOW GRADE.
15. BUILT-UP ROOF TOP WITH 3" INSULATION OVER 22G 1-1/2" METAL DECKING.

- 16. UNDISTURBED SOIL MIN. 2000 PSF
17. #8 RODS, METRIC AT 24" O.C.
18. 2 #6 RODS, HORIZONTAL
19. #8 VERTICAL PINS AT 24" O.C.
20. NEW ELEVATOR DOOR ROUGH-IN 4'-0" X 7'-6"
21. EDGE OF (E) FLOOR
22. NEW BRICK VENEER TO MATCH EXISTING BRICK CONTRACTOR.
23. ELEVATOR JACK CYLINDER AND CASING.
24. 3"x4"x8" L CONTINUOUS, BOLTED TO CMU BLOCK WITH 3/4"x6" ANCHOR BOLTS AT 16" O.C. FILL WITH CONCRETE. THE CMU COURSES ON TOP AND ON THE BOTTOM OF THE PLATE. ANCHOR PLATE WITH 1/2" ANCHOR RODS ON 12" O.C.
25. PROVIDE AND INSTALL A HOISTWAY VENTILATION LOUVER, 2'x3' AND 1/2" BIRD'S SCREEN. USE ANODIZED ALUMINUM.
26. EXISTING RODS.
27. (N) SIDE WALK OVER 6" O.V. GRAVEL.
28. FILL CMU BLOCKS BELOW 1" BEAM WITH 3000PSI CONCRETE.
29. WATER PROOF THE ELEVATOR PIT FOOTING AND FOUNDATION WALLS.
30. COMPANY BUILT-UP ROOF TOP 22G 1-1/2" METAL DECKING.
31. MACHINE ROOM BUILT-UP ROOF TOP WITH 3" STUD AND GYPSUM BOARD FILLER. INSULATION OVER 22G 1-1/2" METAL DECKING.



NUMBERED NOTES FOR SECTION B-B:

- 1. 3"x4"x8" L, CONTINUOUS, BOLTED TO CMU BLOCK WITH 3/4"x6" ANCHOR BOLTS AT 16" O.C. FILL WITH CONCRETE. THE CMU COURSES ON TOP AND ON THE BOTTOM OF THE PLATE. ANCHOR PLATE WITH 1/2" ANCHOR RODS ON 16" O.C.
2. ROOF FLASHING: 12" UP 24" HORIZONTAL ABOVE ROOF MEMBRANE. METAL FLASHING SEALED TO BRICK FACING.
3. 1.5" 22G METAL DECKING WITH 1" HARD INSULATION, 1/2" EXTERIOR PLYWOOD FELT UNDERLAY AND 20LES ROOF SHINGLES.
4. 3/8"x6" CONTINUOUS BEARING PLATE WITH 1/2" ANCHOR BOLTS EVERY 32" O.C. WELD 1.5" 22G METAL DECKING TO THE BEARING PLATE.
5. CONCRETE FILLED BOND BEAM WITH 2 #4 HORIZONTAL RODS.
6. EXISTING ROOF.
7. EXISTING FLOOR.
8. 2" WIDE FLASHING UNDER BUILT-UP ROOF. THE FLASHING IS TO EXTEND A MINIMUM 1.5' OUT FROM THE EDGE OF THE ROOF.
9. 1/8" PER FOOT SLOPE IN THE DIRECTION AS SHOWN.
10. EXISTING FOOTING TO BE UNDER PINNED.
11. TOP OF NEW SIDE WALK. MAX SLOPE: 1:12. COMPLY WITH ADA REQUIRMENTS.

STRUCTURAL NOTES:

FOUNDATION: ASSIGNED SOIL BEARING VALUE: 4000 POUNDS PER SQUARE FOOT MIN BACKFILL. BUILDING CODE: 1996 BOCA CODE. GENERAL NOTES: ALL MATERIALS SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE AISC SPECIFICATIONS...

STRUCTURAL CONCRETE

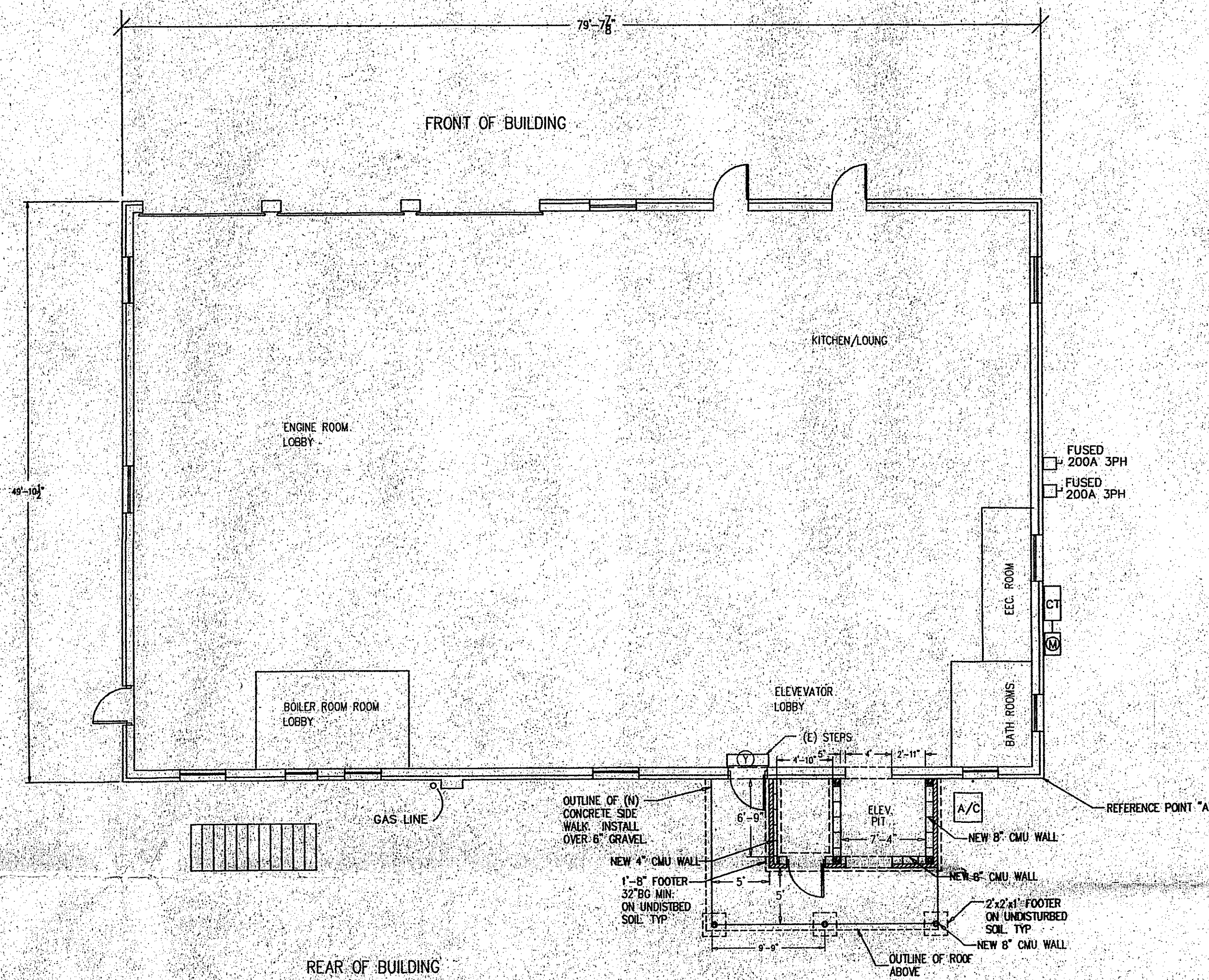
REINFORCING STEEL SHALL CONFORM TO ASTM A618, GRADE 60, ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. DETAILING SHALL BE IN ACCORDANCE WITH ACI MANUAL 905 AND STANDARD 318-88. CONCRETE SHALL BE NORMAL WEIGHT, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000PSI, MIN.

LEGEND:

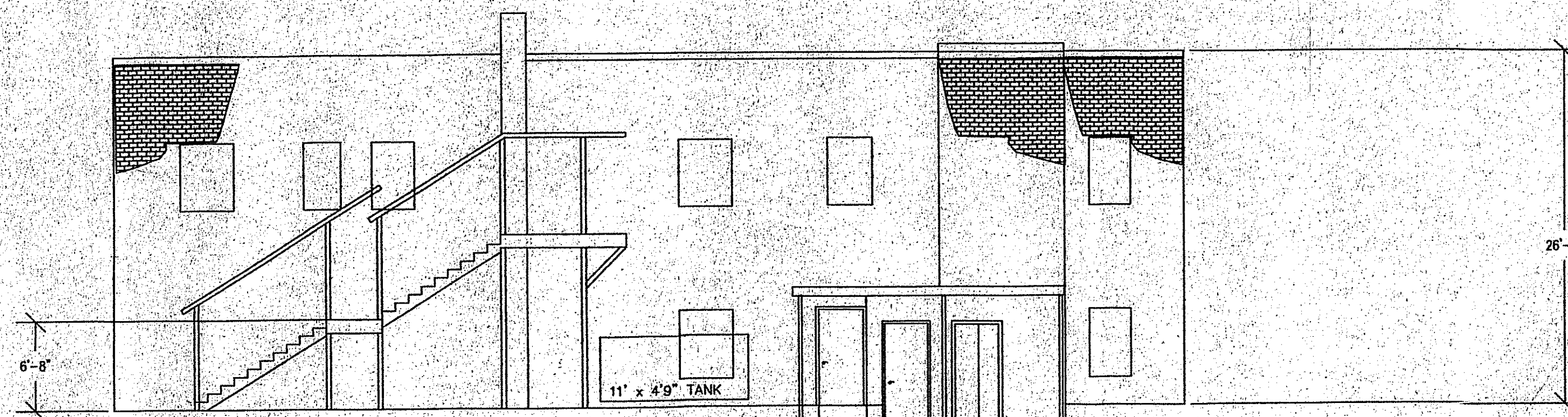
- EXISTING WALL TO BE REMOVED, UON.
EXISTING WALL TO REMAIN, UON.
EXISTING BRICK VENEER, UON.
NEW BRICK VENEER TO MATCH EXISTING BRICK, UON.
NEW CMU WALL, THICKNESS AS NOTED TOTAL WALL FINISHING TO BE 2 HRS, UON.



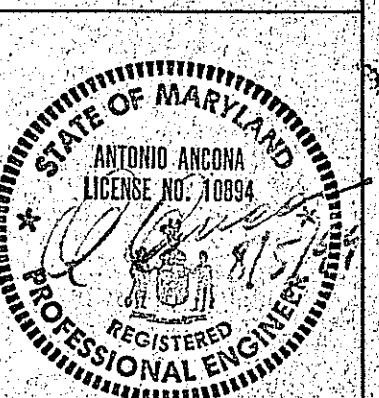
ANCONA & ASSOCIATES, Inc.
1686 VILLAGE GREEN
CROFTON, MD 21114
Tel. (301) 261-8679
PROJECT: HAYTSTOWN FIRE HOUSE #9 ELEVATOR ADDITION
25801 FREDERICK ROAD
CLARKSBURG, MD 20871



2. BUILDING PLAN
SCALE: 1/8" = 1'-0"



2. BUILDING REAR ELEVATION
SCALE: 1/8" = 1'-0"



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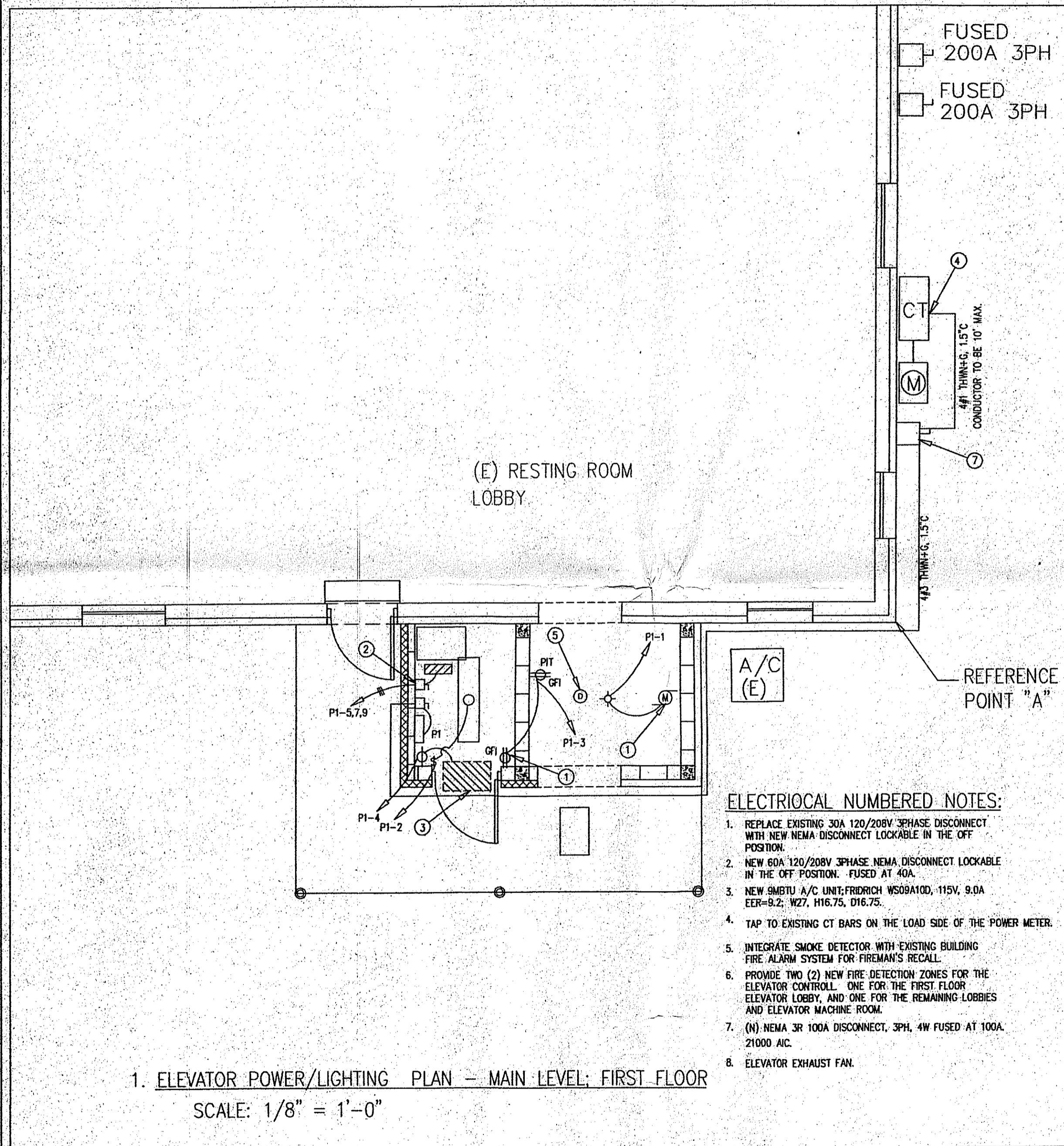
PROJECT:
HAYTTSTOWN FIRE HOUSE #9
ELEVATOR ADDITION
25801 FREDERICK ROAD
CLARKSBURG, MD 20871

ENGINEER:
ANTONIO ANCONA, P.E. MD. LIC. No. 10894
VA. LIC. No. 18368
DC LIC. No. 7877

REV. 1: CORRECT ELEVATOR ELEVATION.

DWG. NO. AA-9937-A1	REV. NO. 0	DATE 7-09-99
SCALE: 1/8" = 1'-0"	1	8-03-99
	2	

BUILDING PLAN AND ELEVATION A2



1. ELEVATOR POWER/LIGHTING PLAN - MAIN LEVEL, FIRST FLOOR

SCALE: 1/8" = 1'-0"

ELECTRICAL NUMBERED NOTES:

1. REPLACE EXISTING 30A 120/208V 3PHASE DISCONNECT WITH NEW NEMA DISCONNECT LOCKABLE IN THE OFF POSITION.
2. NEW 60A 120/208V 3PHASE NEMA DISCONNECT LOCKABLE IN THE OFF POSITION. FUSED AT 40A.
3. NEW SMETU A/C UNIT, FRIEDRICH WS09A100, 115V, 9.0A EER=8.2, W27, H16.75, D16.75.
4. TAP TO EXISTING CT BARS ON THE LOAD SIDE OF THE POWER METER.
5. INTEGRATE SMOKE DETECTOR WITH EXISTING BUILDING FIRE ALARM SYSTEM FOR FIREMAN'S RECALL.
6. PROVIDE TWO (2) NEW FIRE DETECTION ZONES FOR THE ELEVATOR CONTROL. ONE FOR THE FIRST FLOOR ELEVATOR LOBBY, AND ONE FOR THE REMAINING LOBBIES AND ELEVATOR MACHINE ROOM.
7. (N) NEMA 3R 100A DISCONNECT, 3PH, 4W FUSED AT 100A, 21000 AC.
8. ELEVATOR EXHAUST FAN.

ELECTRICAL SPECIFICATIONS

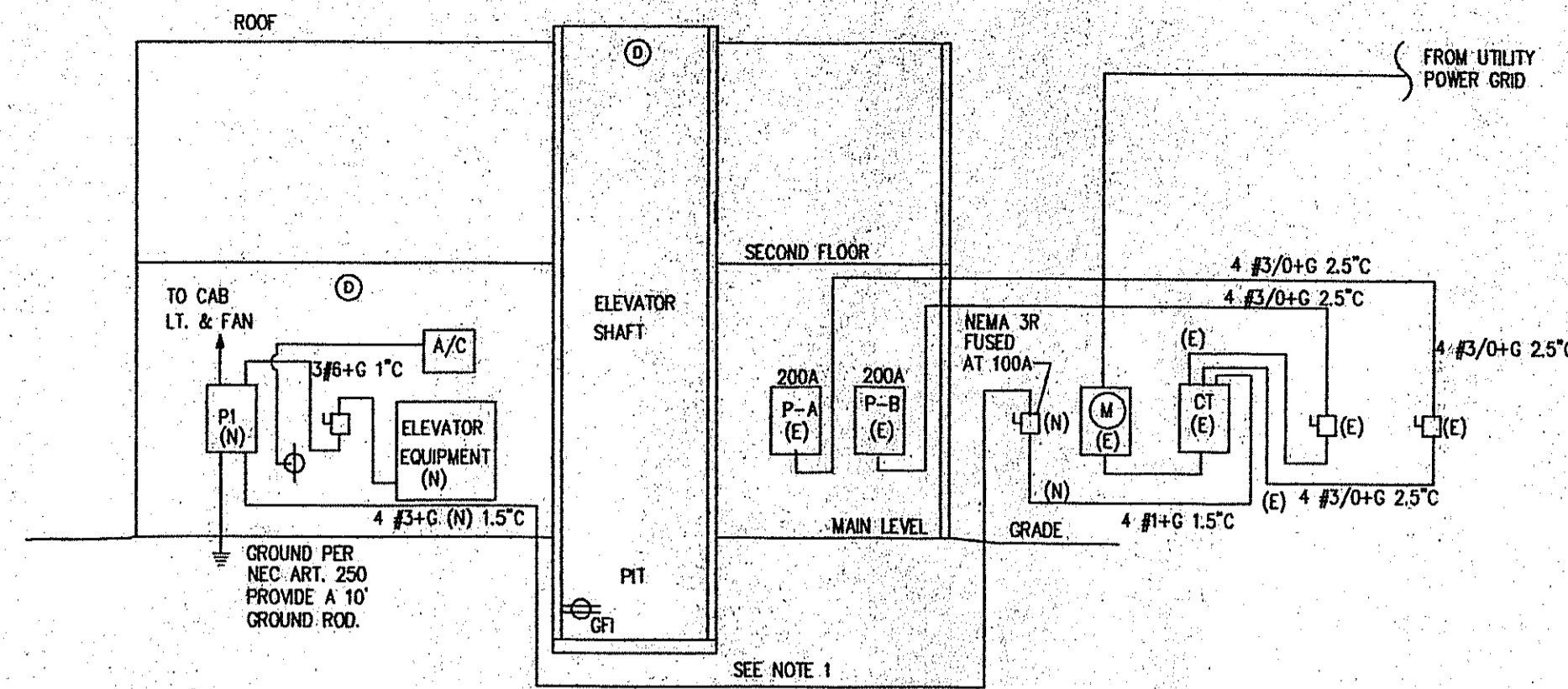
1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT DEVICES, PERMITS AND PAY ALL FEES NECESSARY FOR THE COMPLETE ELECTRICAL SYSTEM INDICATED. INCLUDE ALL WORKS ASSOCIATED WITH EQUIPMENT SHOWN ON ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS.
2. COMPLY WITH LATEST NATIONAL ELECTRIC CODE AND WITH ALL OTHER APPLICABLE CODES, ORDINANCES AND REGULATIONS, EXCEPT WHERE PLANS OR SPECIFICATIONS ARE MORE STRICT.
3. UPON COMPLETION OF WORK, ADJUST ALL EQUIPMENTS AND TEST ALL SYSTEMS AT THE DIRECTION OF THE ENGINEER. PROVIDE OWNER/ENGINEER WITH FINAL ELECTRICAL INSPECTION CERTIFICATE.
4. COORDINATE WORK WITH ELECTRICAL SERVICE COMPANY FOR ADDITIONS TO SERVICE AS SHOWN. PAY ALL COSTS INVOLVED WITH POWER COMPANY WORK OR REQUIREMENTS.
5. ALL WIRING SHALL BE WITH COPPER CONDUCTORS FULL RATED FOR LOAD SERVED. MINIMUM WIRE SIZE SHALL BE #12 AWG. CIRCUITS SHALL BE CONNECTED WITH LOADS NOT TO EXCEED 80% OF BREAKER TRIP RATING.
6. ALL RECEPTACLE OUTLETS SHALL BE 20A, 125V, GROUNDING TYPE.
7. FINISH OF DEVICE PLATES AND COLOR OF WIRING DEVICE COVERS SHALL BE PER OWNER SELECTION.
8. SAFETY SWITCHES SHALL BE PROVIDED WHERE REQUIRED BY CODE WHETHER SHOWN OR NOT. USE HEAVY DUTY TYPE AS MANUFACTURED BY WESTINGHOUSE, SQUARE D OR GENERAL ELECTRIC.
9. ALL WIRING/CONDUIT SHALL BE ROUTED/CONCEALED IN WALLS, CEILINGS, FLOORS, SERVICE SPACE OR IN APPROVED EXPOSED CONDUIT.
10. COORDINATE WITH TELEPHONE COMPANY REQUIREMENTS FOR PRE-INSTALLATION OF TELEPHONE EQUIPMENT AND WIRING FOR SHOWN OUTLET COVERAGE. ELECTRICAL CONTRACTOR TO PROVIDE A PULL STRING AT EACH OUTLET. SMOKE DETECTORS TO BE IONIZATION TYPE MANUFACTURED BY FIRE LIGHT INC. OR EQUIVALENT. ALSO SEE ALARM SPECIFICATIONS ON THIS PAGE.
11. ALL MATERIALS AND EQUIPMENT SHALL BE NEW, OF FIRST CLASS QUALITY AND APPROVED UNDER APPLICABLE STANDARDS. ALL MATERIALS OF TYPES FOR WHICH U.L. LABELING SERVICE IS ESTABLISHED SHALL BEAR U.L. LABEL.
12. BE RESPONSIBLE FOR ALL POWER, CONTROL, TEMPERATURE CONTROL AND COMPLETE INTERLOCK WIRING. INSTALL ALL SUCH WIRING AS INDICATED ON APPROVED EQUIPMENT MANUFACTURER'S WIRING DIAGRAMS FOR THE OPERATION INDICATED.
13. BIDDERS ARE CAUTIONED TO VISIT THE SITE PRIOR TO THE FINAL PREPARATION OF THEIR BID.
14. CONTRACTOR SHALL GUARANTEE HIS WORK AND MATERIALS FOR A PERIOD OF ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER AND ENGINEER.
15. THE OWNER/ENGINEER RESERVES THE RIGHT TO REJECT ANY MATERIAL OR WORK IF IN HIS OPINION, IT IS NOT IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS.
16. WHERE PERMITTED BY CODE, BRANCH CIRCUIT WIRING RUNS ABOVE SUSPENDED CEILINGS IN STUD PARTITIONS, OR IN FURRED SPACES MAY BE "AC" TYPE ARMORED CABLE WITH THIN TYPE INSULATION. SUPPORT EVERY 4'-1/2" AND 12" FROM EVERY OUTLET BOX. NONMETALLIC SHEETED CABLE CAN BE USED WHERE APPROVED BY LOCAL AND NATIONAL ELECTRIC CODES. ALL WIRING SHALL BE COATED WITH THIN INSULATION.
17. PROVIDE APPROPRIATE CONNECTORS FOR DISSIMILAR CONDUCTORS IF APPLICABLE; IE, CONNECTION OF COPPER CONDUCTORS TO ALUMINUM CONDUCTOR.

PANEL SCHEDULE:

PANEL DESCRIPTION	CIRC. NUMBER	BRANCH POLE	CIRC. FRAME	CIRC. BREAKER TRIP	RACEWAY SIZE	CONDUIT SIZE	SERVICING	10000 AIC	TOTAL LOAD AMPS
NEW	1	1	70A	20A	2#12+G	AC	CAB LTS & FAN	(N)	4
PANEL P1	3	1	70A	20A	2#12+G	1/2"	OPT DUPLEX ELEVATOR POWER-CKT	(N)	3
120/208V	5,7,9	1	70A	20A	3#6+G	---	BLANKS	(N)	60
36 4W, 100A SURF. MOUNT 12' CKTS	2	1	70A	20A	2#12	AC	MACHINE ROOM LT. A/C UNIT OUTLET	(N)	2
	4	1	70A	20A	2#12	1/2"	BLANKS	(N)	5
	6-12	1	70A	20A	2#12	---	BLANKS	(N)	0
							CONNECTED LOAD		9.6 KW
							LOAD FACTOR		1
							DEMAND LOAD		9.6 KW
							TOTAL		78
							TOTAL / 6		26

FIRE ALARM NOTES:

1. AUDIBLE ALARMS: AUDIBLE EMERGENCY ALARMS SHALL PRODUCE A SOUND THAT EXCEEDS THE PREVAILING EQUIVALENT SOUND LEVEL IN THE ROOM OR SPACE BY AT LEAST 15 DBA OR EXCEEDS ANY MAXIMUM SOUND LEVEL WITH A DURATION OF 60 SECONDS BY 5 DBA, WHICH EVER IS LOUDER.
2. SOUND LEVELS FOR ALARMS SHALL NOT EXCEED 120 DBA.
- 2.1 THE LAMP SHALL BE A XENON STROBE TYPE OR EQUIVALENT
- 2.2 THE COLOR SHALL BE CLEAR OR NOMINAL WHITE (I.E. UNFILTERED OR CLEAR FILTERED WHITE LIGHT).
- 2.3 THE MAXIMUM PULSE DURATION SHALL BE TWO-TENTHS OF ONE SECOND (0.2 SEC.) WITH A MAXIMUM DUTY CYCLE OF 40 PERCENT. THE PULSE DURATION IS DEFINED AS THE TIME OF INTERVAL BETWEEN INITIAL AND FINAL POINTS OF 10 PERCENT OF MAXIMUM SIGNAL.
- 2.4 THE INTENSITY SHALL BE A MINIMUM OF 75/15 CANDELA
- 2.5 THE FLASH RATE SHALL BE A MINIMUM OF 1 HZ AND A MAXIMUM OF 5 HZ.
- 2.6 THE APPLIANCE SHALL BE PLACED 80 INCHES (2030mm) ABOVE THE HIGHEST FLOOR LEVEL WITHIN THE SPACE OR 6 INCHES (152mm) BELOW THE CEILING, WHICHEVER IS LOWER.
- 2.7 NO PLACE IN COMMON CORRIDORS OR HALLWAYS IN WHICH VISUAL ALARM SIGNALING APPLIANCES ARE REQUIRED SHALL BE MORE THAN 50 FEET (15m) FROM THE SIGNAL.
- 2.8 FIRE ALARM SYSTEM IS TO BE INTEGRATED WITH SPRINKLER FIRE PROTECTION SYSTEM. SEE SPRINKLER SPECIFICATIONS.
- 2.9 FIRE ALARM SYSTEM TO COMPLY WITH NFPA 101, NFPA 72A AND ADA. ALARM IS TO BE INTEGRATED WITH SPRINKLER SYSTEM AND SHALL AUTOMATICALLY NOTIFY FIRE DEPARTMENT BY TEL. ALARM CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT.

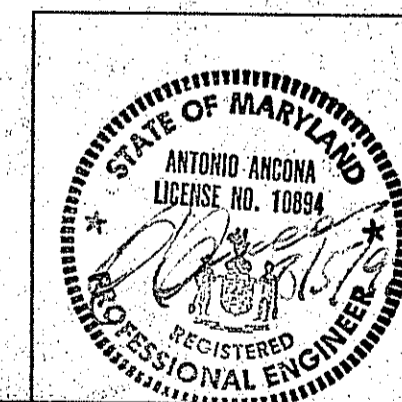


2. POWER RISER DIAGRAM
NO SCALE

- NOTES**
1. DO NOT PLACE ANY POWER CONDUITS, GAS LINES OR OTHER SERVICE PIPING INSIDE OR BELOW THE ELEVATOR SHAFT. POWER AND CONTROL WIRING FOR THE ELEVATOR OPERATION IS OK.
 2. IT WAS DETERMINED BY FIELD CURRENT MEASUREMENTS TAKEN ON 6-17-99 THAT THE CT CABINET CAN HANDLE THE NEW LOAD.
 3. COORDINATE THE CT CABINET TAP CONNECTION WITH THE LOCAL POWER COMPANY.

SYMBOLS:

- 1x4 SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE, 80W.
- 20A LIGHT SWITCH, SINGLE POLE, UP 4-4 AFF.
- ELEVATOR FAN MOTOR
- ISOLATING SWITCH TO BE MOUNTED NEAR APPLIANCE OR A/C COMPRESSOR. FUSE AT AMPS PER MANUFACTURER SPECIFICATIONS.
- NEW 2#12AWG AC CABLE UNLESS OTHERWISE NOTED
- NEW 3#12AWG AC CABLE UNLESS OTHERWISE NOTED
- LOW VOLTAGE WIRING FOR A/C TEMPERATURE CONTROLLER. PROVIDE LOW VOLTAGE TRANSFORMER AS NEEDED FOR PROPER OPERATION OF A/C UNITS.
- NEW THERMOSTAT, UP 4-6 AFF.
- NEW SMOKE DETECTOR (SEE NOTE 11)
- NEW JUNCTION BOX
- NEW EXIT LIGHT W/ 90 MINUTE BATTERY



ANCONA & ASSOCIATES, Inc.
1686 VILLAGE GREEN
CROFTON, MD 21114
Tel. (301) 261-8679

PROJECT:
HAYTTSTOWN FIRE HOUSE #9
ELEVATOR ADDITION
25801 FREDERICK ROAD
CLARKSBURG, MD 20871

ENGINEER:
ANTONIO ANCONA, P.E. MD. LIC. No. 10894
VA. LIC. No. 18368
DC LIC. No. 7877

DWG. NO.:
AA-9937-ME1 REV. NO. 0 DATE: 7-09-99
SCALE: 1/4"=1'-0" 1 8-03-99
2

ELECTRIC/MECHANICAL PLAN ME1

REV. 1: NO CHANGE

HYATTS TOWN FIRE

DEPT

8-99

Expedited

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	25801 Frederick Road	Meeting Date:	09/08/99
Resource:	Hyattstown Historic District Hyattstown Vol. Fire Department	Report Date:	08/31/99
Review:	HAWP	Public Notice:	08/25/99
Case Number:	10/59-99D	Tax Credit:	None
Applicant:	Jeff Gross	Staff:	Robin Ziek/ Michele Naru

PROPOSAL: Construct an exterior elevator tower and machine room on the rear of the existing Fire station.

RECOMMEND: Approve with condition.

PROJECT DESCRIPTION

SIGNIFICANCE: Contemporary resource in Hyattstown Historic District.
STYLE: Twentieth Century Brick Firehouse
DATE: 1945.

This two-story brick building, set upon a concrete foundation, is covered with a hanger type roof featuring end walls with stepped parapets. The walls are CMU block with a brick veneer. The three south bays of the east elevation contain a metal staircase leading to the second floor entry.

PROPOSAL

The applicant proposes to construct an exterior elevator tower and mechanical room on the rear (east) elevation.

STAFF DISCUSSION

This proposed new elevator tower will be located at the rear of the property with only a minimal view from Hyattstown Mill Road. The tower would not be visible from Frederick Road, the main artery through the historic district.

The main concern of staff is to clearly differentiate the two periods of construction. The elevator tower will be constructed of CMU block with a brick veneer. Staff would encourage the applicant to use a brick veneer with a slight color differential.

The LAP has not yet responded at the time this report was prepared.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with condition* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #9 and #10:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the condition:

1. The contractor will supply the staff with samples of brick for approval.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and will arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JEFF GROSS

Daytime Phone No.: 443 250 0020
H) 301 831 8392

Tax Account No.: _____

Name of Property Owner: Hyattstown Vol. Fire Dept. Daytime Phone No.: 301 831 8248

Address: 25801 Frederick Rd Clarksburg MD 20871
Street Number City State Zip Code

Contractor: Nichols Contracting Phone No.: 301 924 5258

Contractor Registration No.: UNK.

Agent for Owner: Scott Turner Daytime Phone No.: same

LOCATION OF BUILDING/PREMISE

House Number: 25801 Frederick Rd Street: _____

Town/City: Clarksburg MD Nearest Cross Street: RT. 109 / Old Hundred Rd

Lot: _____ Block: _____ Subdivision: _____

Liber: 256B Folio: 298 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: Elevator

1B. Construction cost estimate: \$ \$ 135,000.00

1C. If this is a revision of a previously approved active permit, see Permit # no

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jeff Gross
Signature of owner or authorized agent

2/27/99
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

HAWP for Elevator addition at the Hyattstown Vol. Fire Dept.

7/26/99

Adjacent property owners:

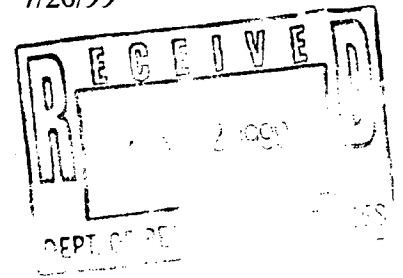
South- Md. Nat'l. Capital Park and Planning Comm.
8787 Georgia Ave.
Silver Spring, MD

West- Wash. Suburban Sanitary Comm.
14501 Sweitzer Ln.
Laurel, MD

John Croghan
15300 Croghan Ln.
Clarksburg, MD 20871

North- Helen Burdette
22711 Mt. Ephraim Rd.
Dickerson, MD 20842

East- Hyatt Recreation
6328 New Haven Ct.
Frederick, MD 21703





HYATTSTOWN VOLUNTEER FIRE DEPT., INC.

Emergency Dial 911

Company 9
25801 Frederick Road
Clarksburg, Maryland 20871

(301) 972-3398
(301) 831-8499

July 25, 1999

Historic Preservation Commission
8787 Georgia Ave.
Silver Spring, MD

RE: Elevator addition to the Hyattstown Vol. Fire Dept.

Our building was constructed during World War II and was not completed until 1945. It was never intended to have an elevator and that is why it has an imposing set of stairs. Five years ago our building underwent a substantial renovation and upgrade to comply with the A.D.A. code, but that only pertained to the first floor of the building. Since then we have wanted to have our 2nd floor accessible to all.

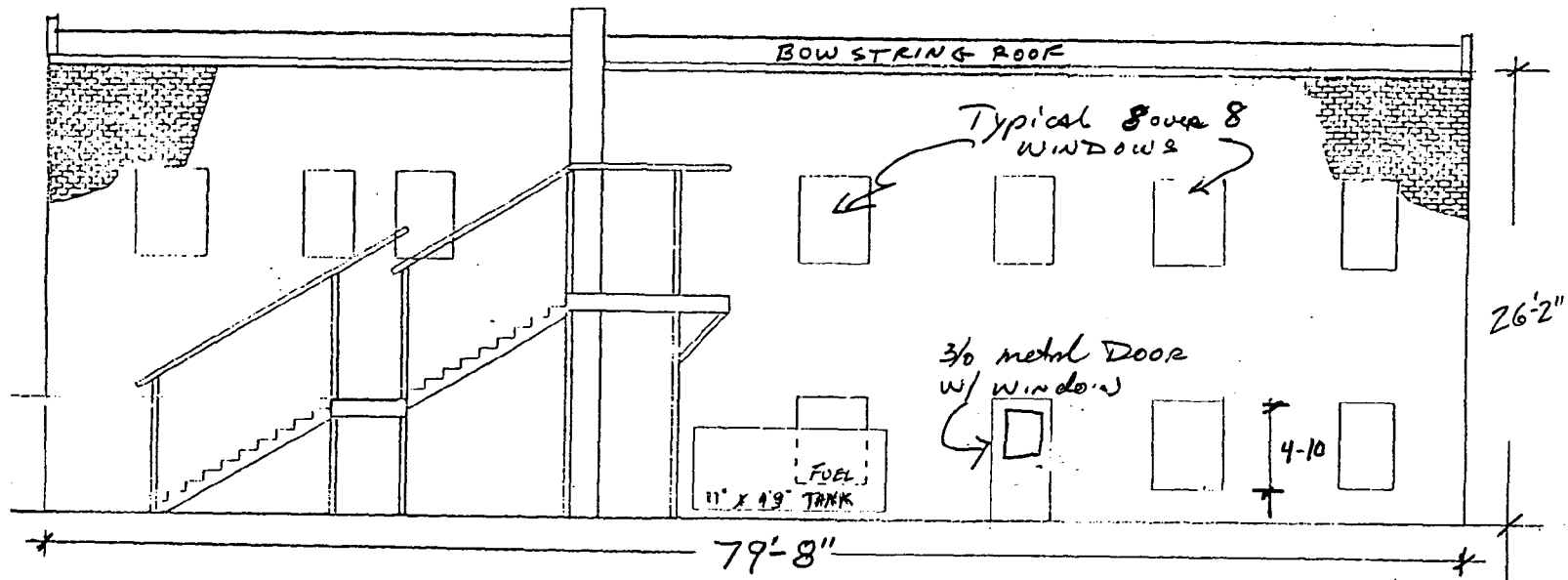
Our auxillary has now provided funds to build an elevator that will allow all visitors complete access to our facility. Frequent public meetings, department events and moving supplies upstairs will now be safer, easier and compliant with the code.

However because the building was not designed to have an elevator inside, we have located and designed one to be placed on the exterior, at the rear of the building. Our goal is to comply with all your requirements and alleviate our problem. We hope that your staff and commission will agree.

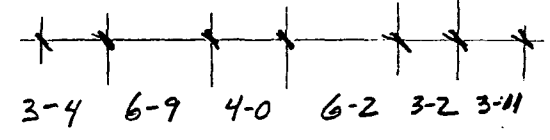
Sincerely yours,

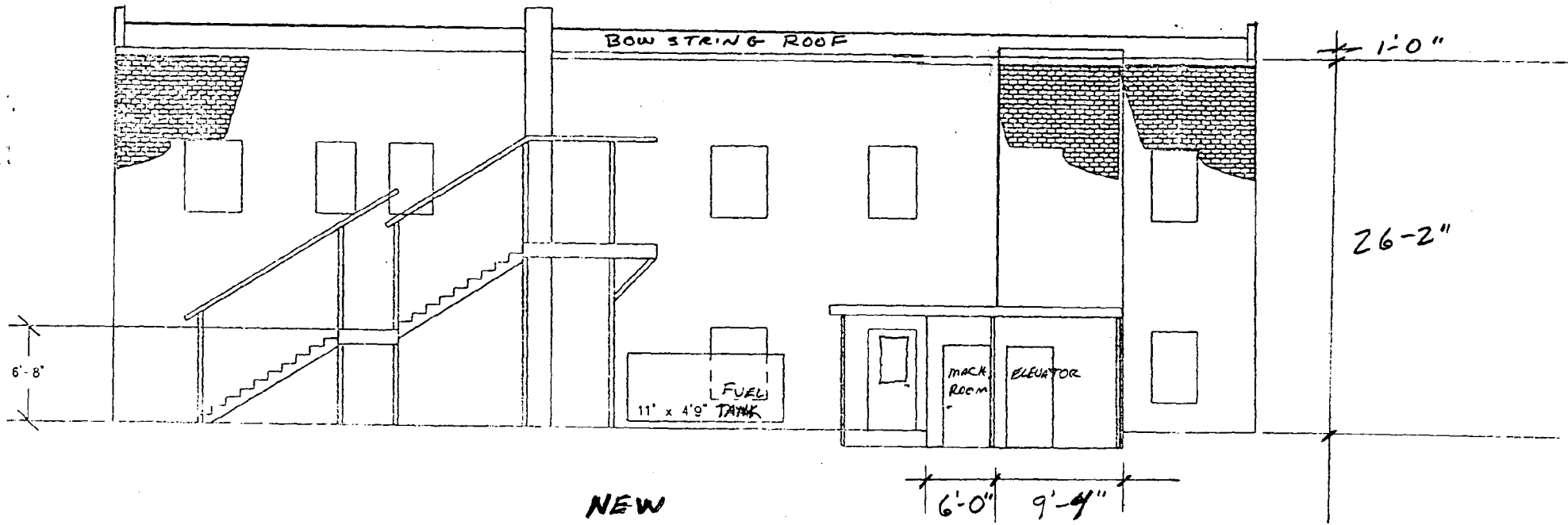
A handwritten signature in black ink, appearing to read "Jeffrey C. Gross".

Jeffrey C. Gross
Elevator Committee



EXISTING
BUILDING REAR ELEVATION

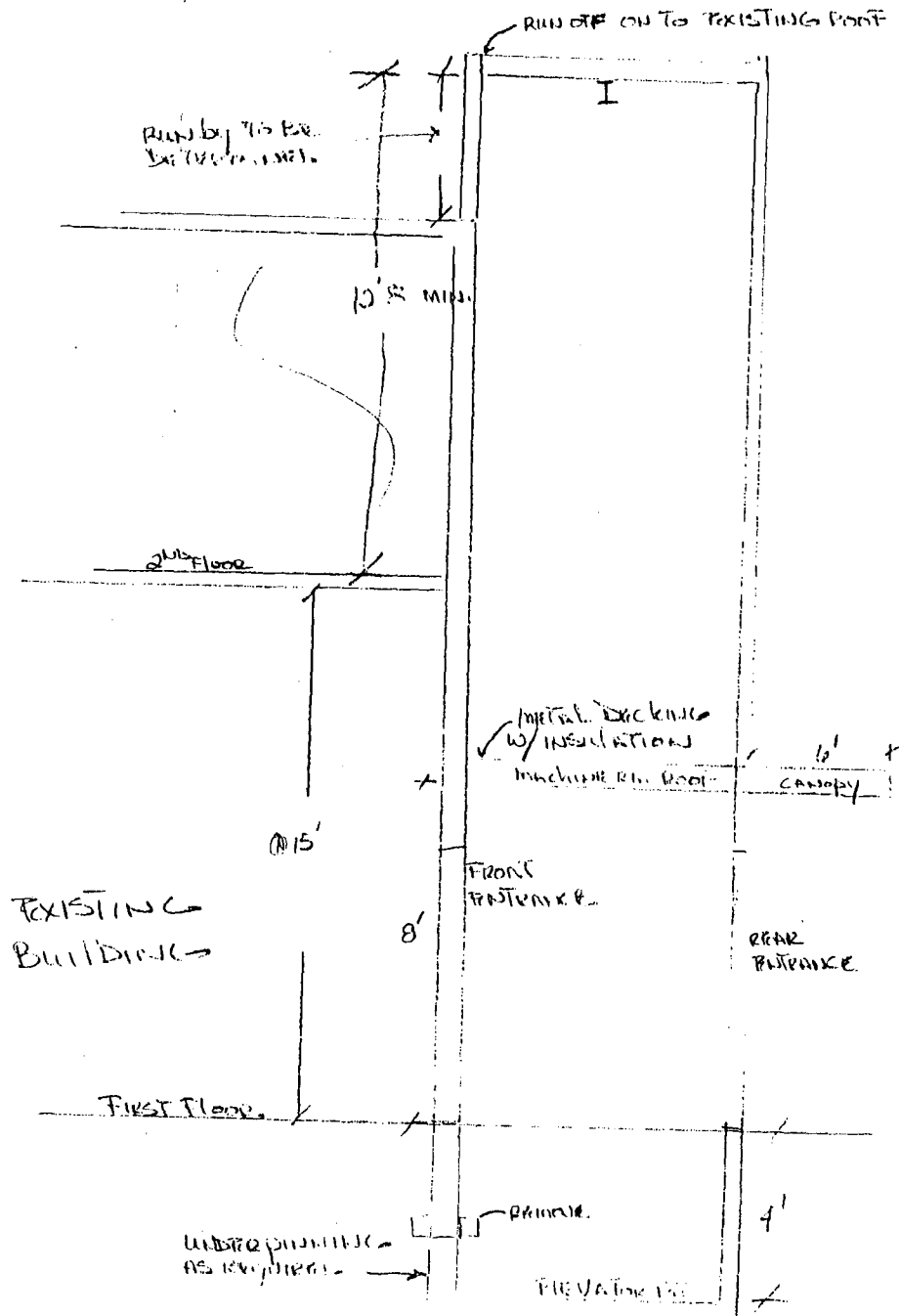




NEW
BUILDING REAR ELEVATION
SCALE: 1/8" = 1'-0"

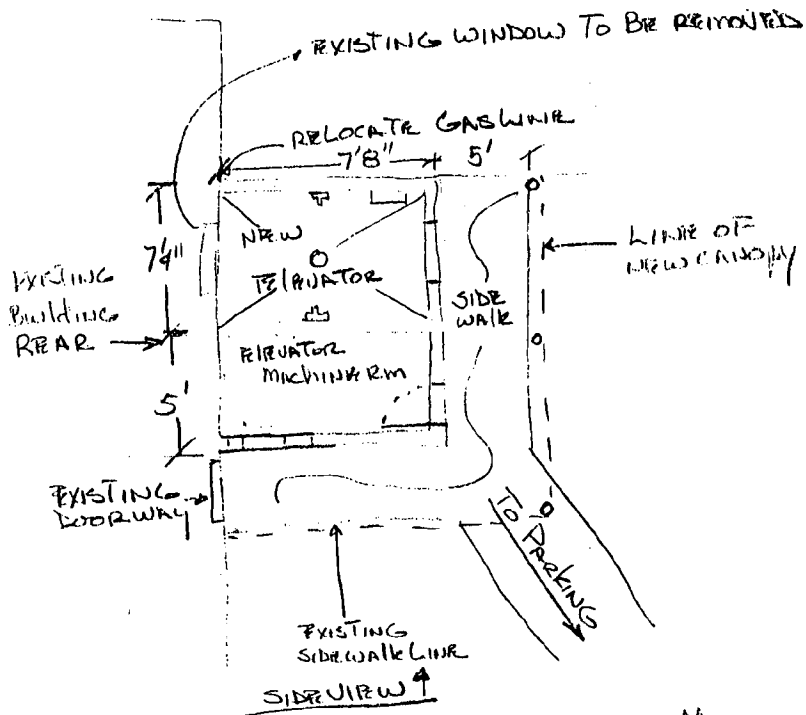
CLARKSBURG FIRE HOUSE CONCEPTUAL ELEVATOR

SIDE VIEW SKETCH

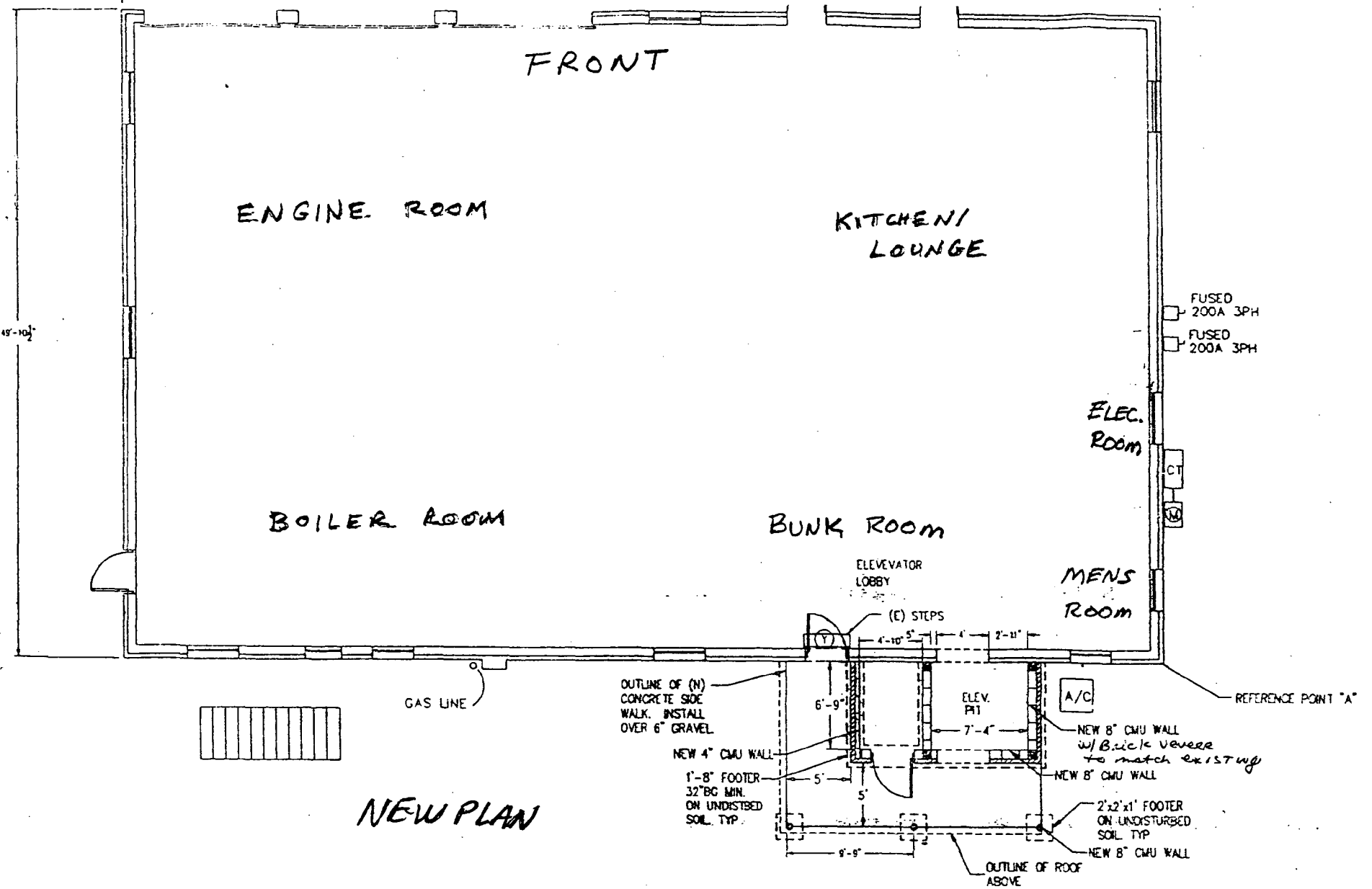


CLARKSBURG FIRE HOUSE CONCEPTUAL ELEVATOR

FLOOR PLAN SKETCH



BRICK UPRISE ON 8" CMU WALLS
 BRICK TO MATCH AS CLOSE AS POSSIBLE
 CLADDING AND PAINT TO MATCH AS CLOSE AS POSSIBLE
 30YR RUBBER MEMBRANE ROOFING AT CANOPY
 AND SHAFT
 EXISTING FINISHES DAMAGED WILL BE REPAIRED



NEW PLAN

FRONT

ENGINE ROOM

KITCHEN/
LOUNGE

BOILER ROOM

BUNK ROOM

ELEC.
ROOM

MENS
ROOM

FUSED
200A 3PH
FUSED
200A 3PH

48'-10 1/2"

CT
M

ELEVATOR
LOBBY

(E) STEPS

4'-10" 5"

4"

2'-11"

GAS LINE

OUTLINE OF (N)
CONCRETE SIDE
WALK. INSTALL
OVER 6" GRAVEL

NEW 4" CMU WALL
1'-8" FOOTER
32" BC MIN.
ON UNDISTURBED
SOIL TYP.

6'-9"

5'

5'

ELEV.
PIT

7'-4"

A/C

NEW 8" CMU WALL
w/ B. side veneer
to match existing

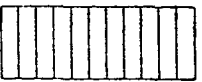
NEW 8" CMU WALL

2'-2 1/2" x 1' FOOTER
ON UNDISTURBED
SOIL TYP.

NEW 8" CMU WALL

REFERENCE POINT "A"

OUTLINE OF ROOF
ABOVE



RECEIVED
2 1999

ROAD

38° 32' 20" W

86.70

~~XXXXXXXXXX~~

L 50419

PARCEL #

100 YR FLOOD PLAIN

ASPHALT

S 01° 21' 40" E

L 1822 2568

66.0

MARYLAND STATE ROUTE 355

50.0
#25801

TWO STORY MASONRY
STATION NO. 9
HYATTSTOWN VOL.
FIRE DEPARTMENT

EXTERIOR
STAIRS

80.1

80.1

66.0

L 1822 2988

50.0

ASPHALT WALKWAY

L 1822 3010

189.21

S 88° 32' 20" W

78.80

01

~~XXXXXXXXXX~~

MASONRY SHED

25.0

L 1822 3116

36.2

MASONRY
GARAGE

30.0

66.58

78.80

S 88° 32' 20" W

N 85° 18' 39" E

2' 20" W

301.39

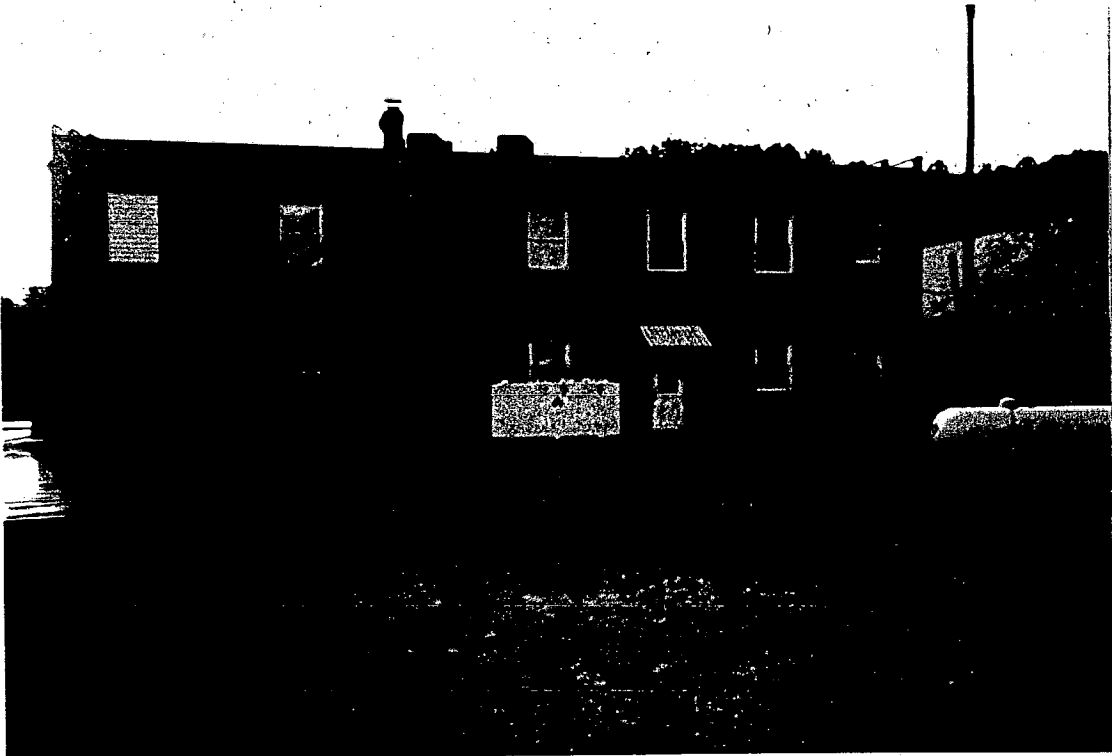
ONE STORY
MASONRY BUILDING

#25815

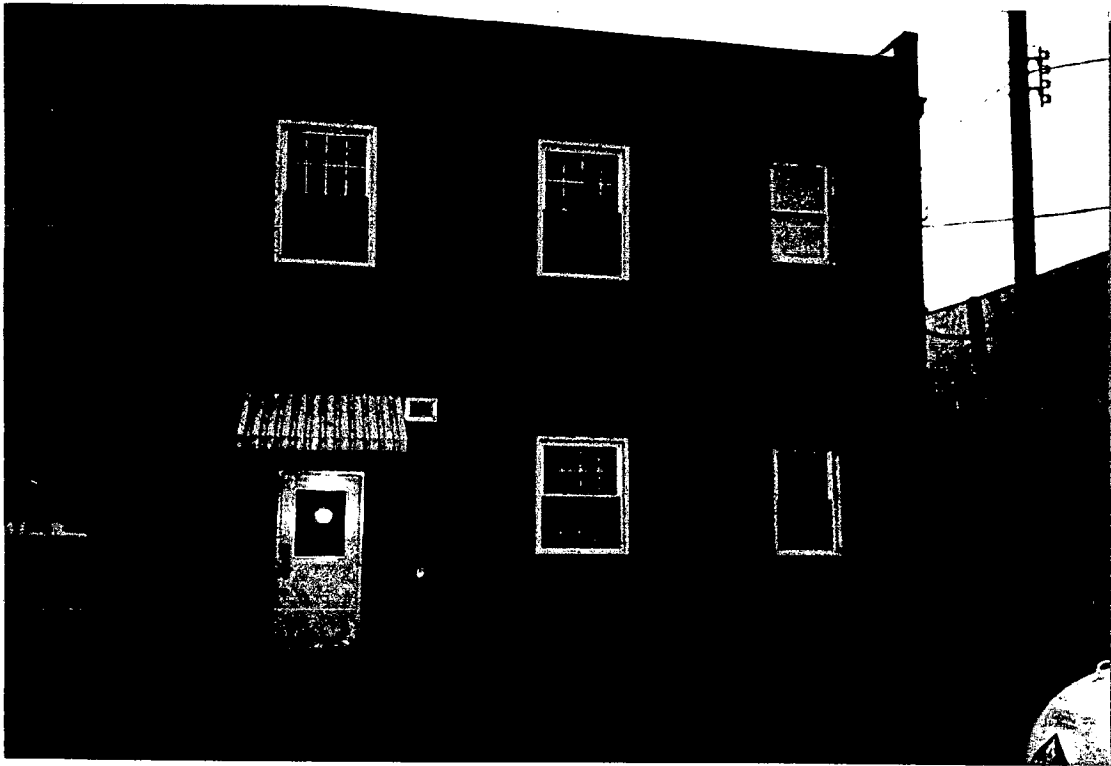
TWO STORY
MASONRY BUILDING



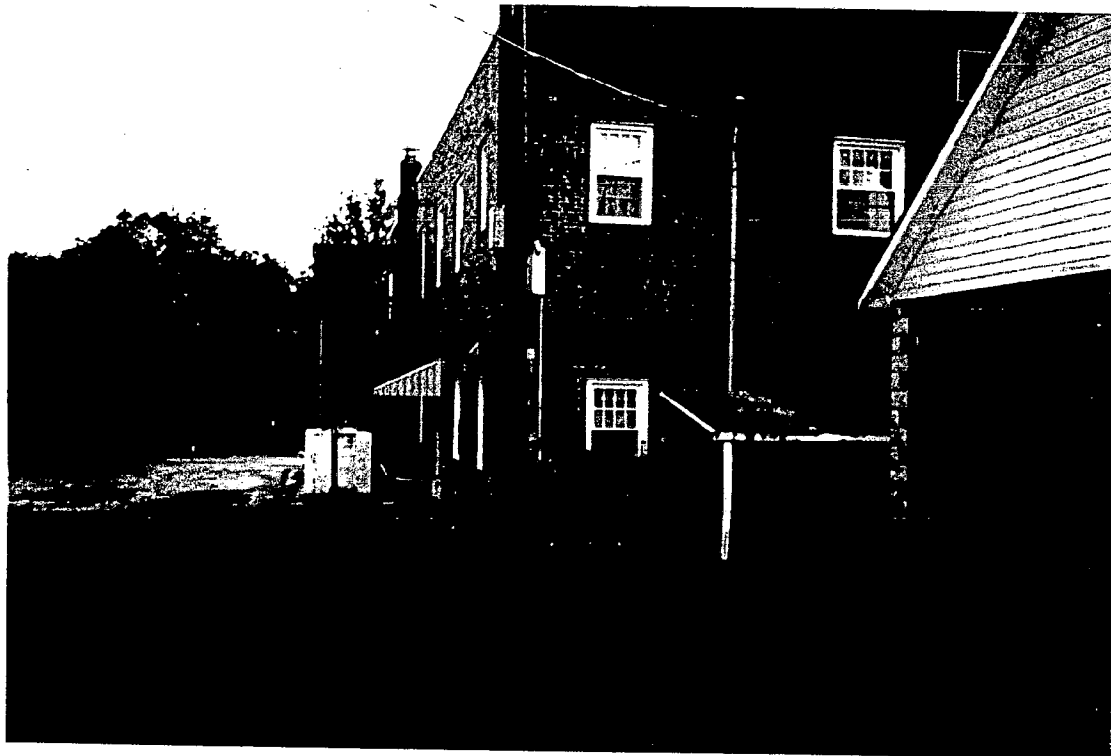
BUILDING AS SCENE FROM HYATTSTOWN MILL ROAD



REAR VIEW OF THE FIRE HOUSE AND BURDETTE'S BUILDING



CLOSE-IN VIEW OF PROPOSED ELEVATOR LOCATION
(BETWEEN DOOR AND RIGHT WINDOWS)



BUILDING AS SCENE FROM BURDETT'S PROPERTY

ROAD

$38^{\circ} 32' 20''$ W

86.70

~~XXXXXXXXXX~~

L
3
3
4
1
9

PARCELS

100 YR FLOOD PLAIN LIMIT

ASPHALT WALKWAY

L
3
3
1
9

~~XXXXXXXXXX~~

MASONRY SHED

$N 85^{\circ} 18' 39''$ E

2' 20" W

301.39

ONE STORY MASONRY BUILDING

ASPHALT

$S 01^{\circ} 21' 40''$ E

189.27

FLAIN LIMIT

EXTERIOR STAIRS

LIBER 2568

50.0
#25801
TWO STORY MASONRY
STATION NO. 9
HYATTSTOWN VOL.
FIRE DEPARTMENT
50.0
FOLIO 298

$S 88^{\circ} 32' 20''$ W

78.80

35.0

LIBER 2776

78.80

36.2
MASONRY GARAGE
30.0

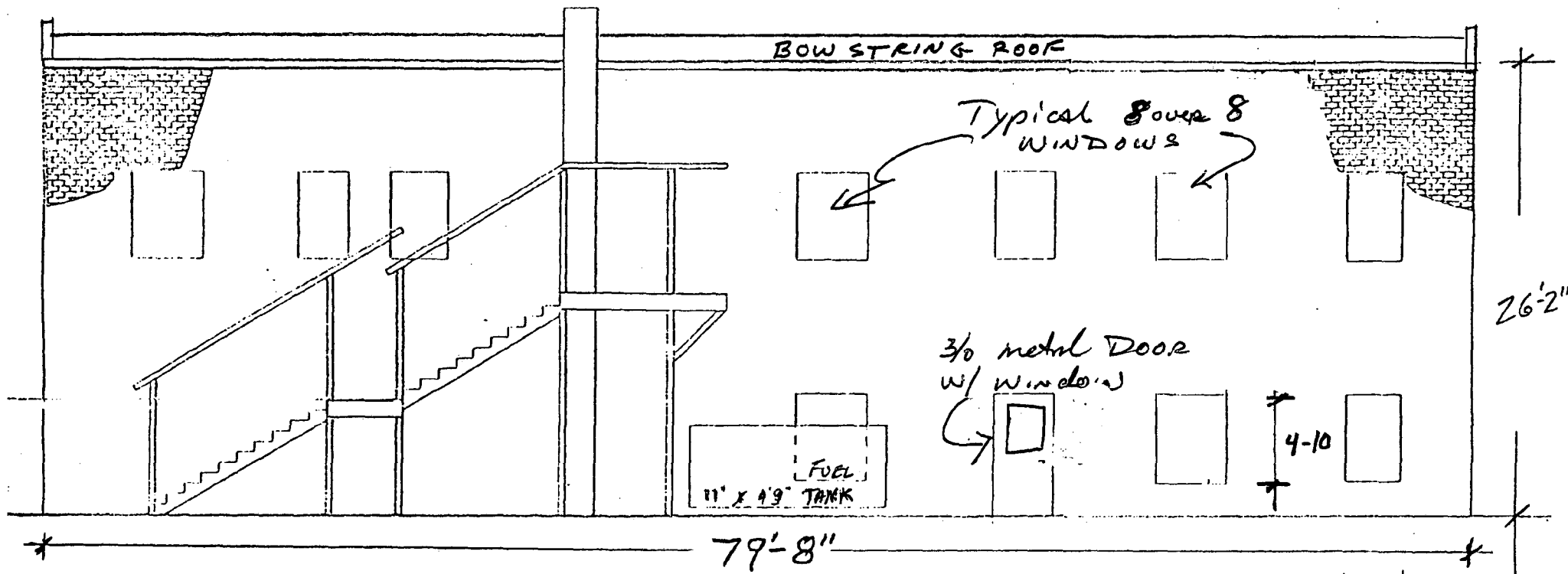
$S 88^{\circ} 32' 20''$ W

#25815
TWO STORY MASONRY BUILDING

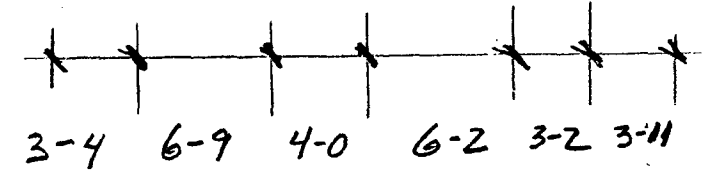
66.0

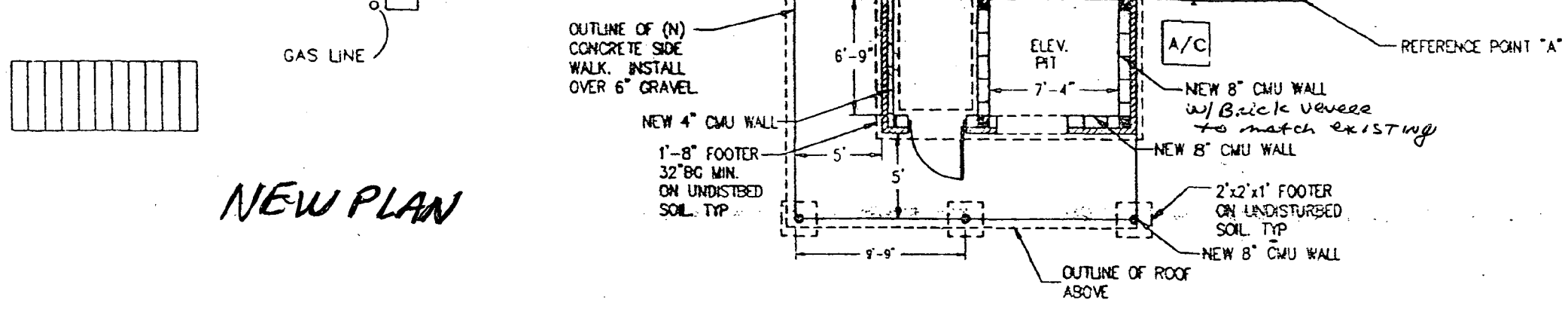
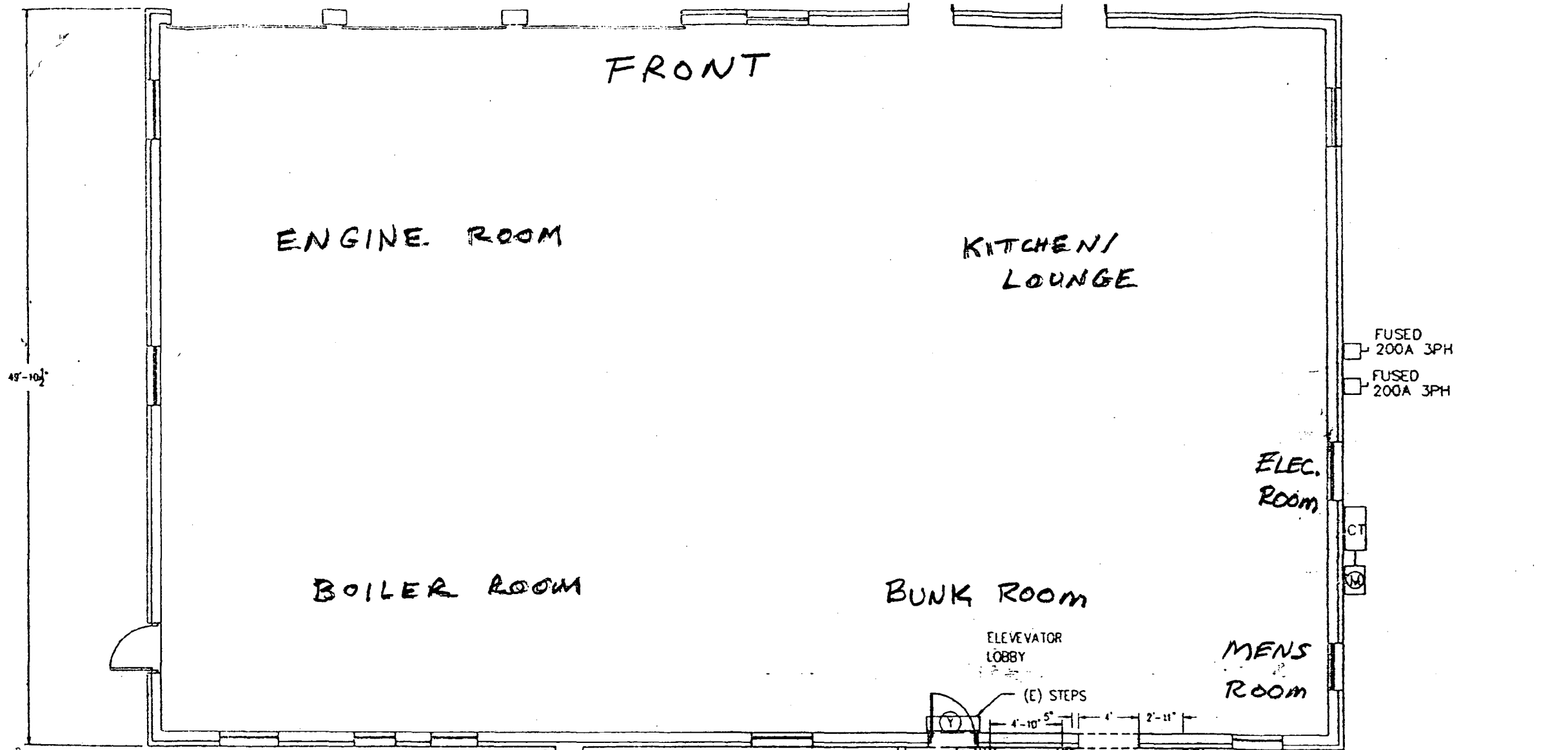
66.0

MARYLAND STATE ROUTE 355



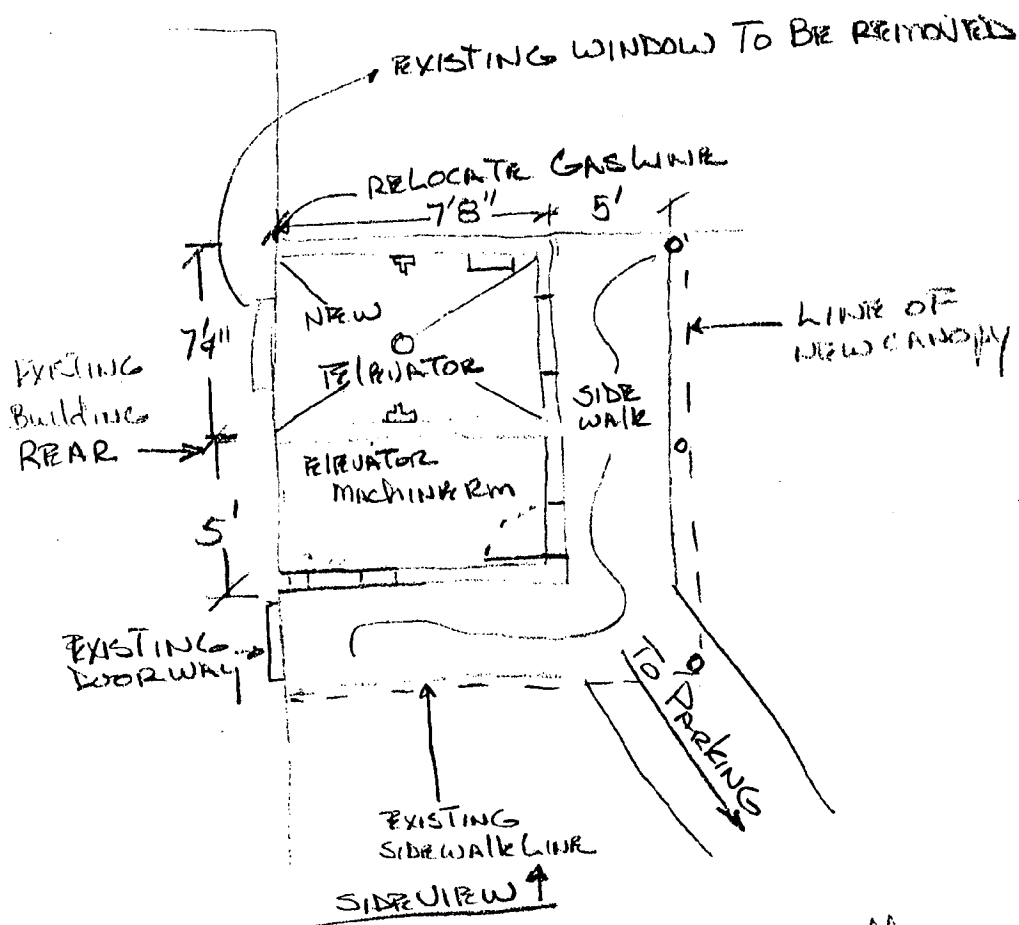
EXISTING
 BUILDING REAR ELEVATION





CLARKSBURG FIRE HOUSE CONCEPTUAL ELEVATOR

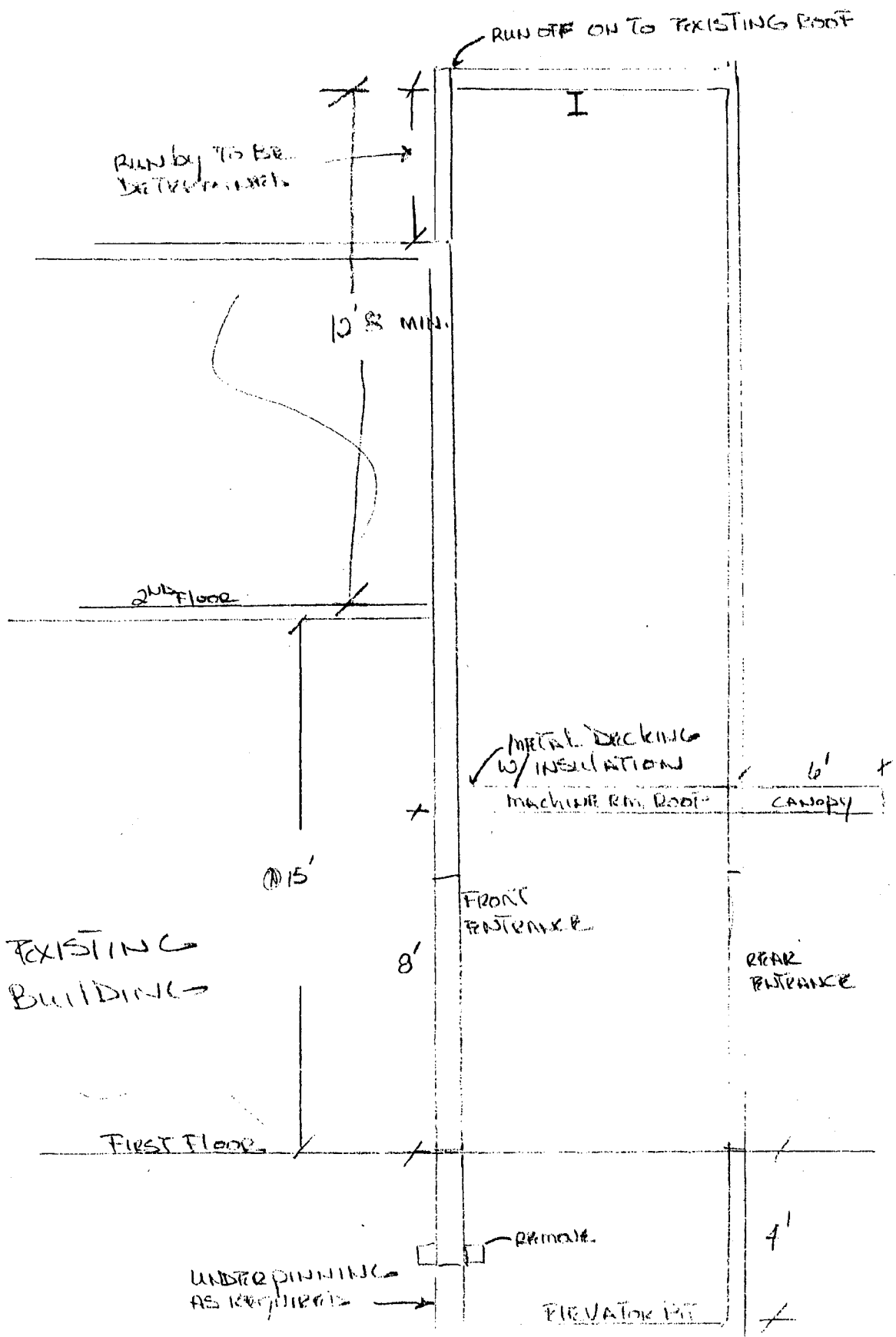
FLOOR PLAN SKETCH

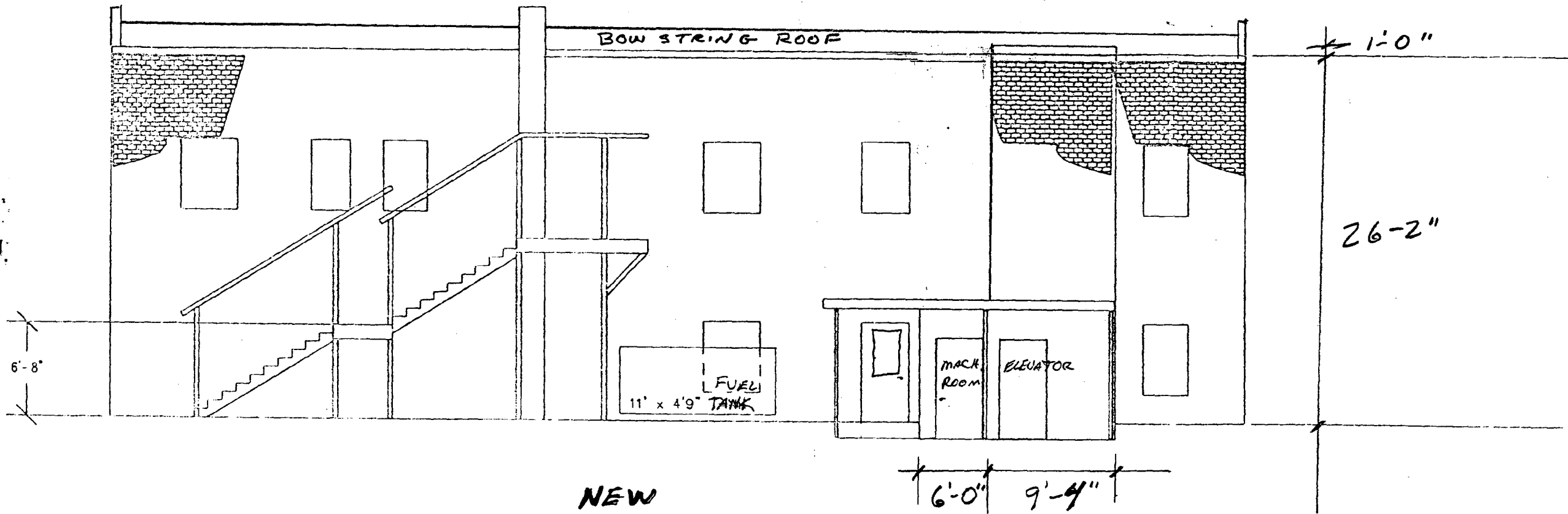


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CLARKSBURG FIRE HOUSE CONCEPTUAL ELEVATOR

SIDE VIEW SKETCH





NEW

BUILDING REAR ELEVATION

SCALE: 1/8" = 1'-0"