___10/59-99D 25801 Frederick Rd.__ (Hyattstown Historic District) Phone #5 for 8/11/99
Hyattstown Vol. 9 me Dept.

Augustistown Vol. 9 me Dept.

All # 443-250-0020

Line # 301-31-8392

NICHOLS CONTRACTING, INC.

General Contractor

18623 BROOKE RD.

SANDY SPRING, MD 20860

TEL: 301 924-5258

FAX: 301 924-5245

FAX TRANSMISSION

DATE: 9/20/99 TOTAL PAGES INCLUDING COVER:
TO: Michelle Name COMPANY: MCHP
FAX#: 301-563-3412
FROM: Scott Turner
REFERENCE: Hyattstown Volunteer Fire Station Elevator Addition
MESSAGE:
The brick sample that I showed you
today is "Red Smooth Common Cord"
manufactured by Lee Size is
(
75/8" long, 25/16" High, 33/4" wide.
The montar is manufactured by Flamingo;
C-358.
HARD COPY TO FOLLOW: YES X NO
PLEASE CALL IF YOU HAVE ANY QUESTIONS OR TROUBLE

RECEIVING THIS FAX

file:Fax Cover

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240-777 -6267. Ath: Marghe



TURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE. 2nd FLOOR, ROCKVILLE, MD 2085
301/212, 6370

DPS -#8

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

	Contact Person: JEFF GROSS
	Daytime Phone No.: <u>943</u> 250 0020
Tax Account No.:	H)301 831 8392
Name of Property Owner: Hyothe Lowar Vot. Fine Dyst	Daytime Phone No.: <u>301 831 8248</u>
Address: 2580/ Frederick Rd Clar Street Number	ksbung 100 20871
Street Number City	Staet Zip Code
	Phone No.: 301929 52 58
Contractor Registration No.:	·
Agent for Owner: Scott Turver	Daytime Phone No.:
LOCATION OF BUILDING/PREMISE	· · · · · · · · · · · · · · · · · · ·
House Number: 25801 Frederick Rel Street:	
Town/City: Clant3 being MD Nearest Cross Street:	RT. 109 / old Hundred Rd
Liber: <u>2568</u> Folio: <u>298</u> Parcel:	
PART ONE: TYPE OF PERMIT ACTION AND USE	- <u> </u>
1A. CHECK ALL APPLICABLE: CHECK ALL A	PPLICABLE:
Construct	Slab
	Fireplace Woodburning Stove Single Family
	(Complete Section 4) POther: Elevator
1B. Construction cost estimate: \$ 4/35000.00	
1C. If this is a revision of a previously approved active permit, see Permit #	
TARY THE COLUMN TWO DOES NOT T	
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITION	<u></u>
2A. Type of sewage disposal: 01 WSC 02 [1] Septic	03 [] Other:
✓ 2B. Type of water supply: 01 ☐ WSSC 02 ☐ Well	03
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
3A. Heightfeetinches	
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following	owing locations:
On party line/property line Entirely on land of owner	On public right of way/easement
I hereby costile that I have the authority to make the foreign and licetims that the	
I hereby certify that I have the authority to make the foregoing application, that the approved by all agencies listed and I hereby acknowledge and accept this to be a con	
1 W a U	
Signature of authorized agent	7/27/99
(m)	Late
Approved: X W/Conditions For Chairper	son, Historic Preservation Commission
Disapproved: Signature:	Date: 8-8-99
Application/Permit No.: 9908040083 Date Filed	: SIUI GO Date Issued:

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1.	WRITTEN DESCRIPTION OF PROJECT
~	a. Description of existing structure(s) and environmental setting, including their historical features and significance:
	Bidg cizes 1945, cmu with Brick verses connericully
	zoned Area, as plant parking lot on the west or South
	cides, anss on the east cide, Adjacent bldg on
	the worth.
-	General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:
	Proposed extension o lowater + moching com. Built
	in the center of the east side alexa) . Come +
	IN THE COUNTY OF THE EAST SICE (CENT) & CITY OF
	price vever should have to import on the
	agus cent structures. [reject Height will be Coss
	The Exist BIOG And cannot be Seen me
	RT 3.55.
	ITE PLAN
	ite and environmental setting, drawn to scale. You may use your plat. Your site plan must include:
/	the scale, north arrow, and date;
	. tile scale, north arrow, and date;
•	dimensions of all existing and proposed structures; and
	PLANS AND ELEVATIONS
	ou must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.
/	
	Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and fixed features of both the existing resource(s) and the proposed work.
′	Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, contained and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of facade affected by the proposed work is required.
	MATERIALS SPECIFICATIONS
	eneral description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included or esign drawings.
	<u>HOTOGRAPHS</u>
	. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
	. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be plac the front of photographs.
	REE SURVEY
	you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), yourst file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.
	ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS
	or <u>ALL</u> projects, provide an accurate list of adjacent and confronting property owners (not tenants); including paines, additisses, and zip codes. Th
	hould include the owners of ell lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly acr he street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Stret

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION DN THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY DNTO MAILING LABELS.

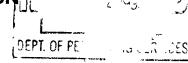
Rockville, (301/279-1355).



RETURN TO:

DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

HISTORIC PRESERVATION COMMISSION 301/563-3400



APPLICATION FOR HISTORIC AREA WORK PERMIT

Tax Account No.:	Daytime Phone No.: 443 250 0020
,,	H)301 831 8392
Name of Property Owner: Harts town Vot. Fine Des	A Daytime Phone No.: 301 831 8248
Address: 25801 Frederick Rd Cla	Jasbung mo 20871
Address: Z580/ Frederick Rd Clar Street Number City Contractor: Nichols Contracting	Staet Zip Code
Contractor: Nichols Contracting	Phone No.: 301924 5258
Contractor Registration No.:	<u> </u>
Agent for Owner: Scott Tunner	Daytime Phone No.: Sane
LOCATION OF BUILDING/PREMISE	
House Number: 2580/ Frederick Rel Street	•
Town/City: Clarks bury MD Nearest Cross Street:	PT 109 / 0/1 1/2 12 01
Lot: Block: Subdivision:	pro 10 / ora manage pa
Liber: 2568 Folio: 298 Parcel:	
LINE	
PART ONE: TYPE OF PERMIT ACTION AND USE	
1A. CHECK ALL APPLICABLE: CHECK ALL	APPLICABLE:
Construct □ Extend → Alter/Renovate □ A/C □	☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed
☐ Move ☐ Install ☐ Wreck/Raze ☐ Solar ☐	☐ Fireplace ☐ Woodburning Stove ☐ Single Family
☐ Revision ☐ Repair ☐ Revocable ☐ Fence/W	Vall (complete Section 4) Other: <u>Eleustos</u>
1B. Construction cost estimate: \$ 4/35000.00	
1C. If this is a revision of a previously approved active permit, see Permit #	0
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONAL COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONAL CONSTRUCTION AND EXTEND/ADDITIONAL CONSTRUCTION AND EXTEND/ADDITIONAL CONSTRUCTION AND EXTEND/ADDITIONAL CONSTRUCTIONAL CONSTRUCTION	ONS
2A. Type of sewage disposal: 01 ✓ WSSC 02 ☐ Septic	
2B. Type of water supply: 01 🗆 WSSC 02 — Well	03
v 2B. Type of water supply.	us 🗆 ouler.
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
3A. Heightinches	
3B. Indicate whether the fence or retaining wall is to be constructed on one of the fo	ollowing locations:
☐ On party line/property line ☐ Entirely on land of owner	On public right of way/easement
I hereby certify that I have the authority to make the foregoing application, that the a approved by all agencies listed and I hereby acknowledge and accept this to be a co	
1 11 0 11	/ /
Jelles Q Gr	7/27/99
Signature of owner or authorized agent	7/27/99 Date
X: W/Assocition (1)	7/27/99 Date
X: W/Amdition (1)	erson, Historic Preservation Commission Date: 8-8-9

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

	Description of existing structure(s) and environmental setting, including their historical features and significance:
	Bidg cines 1945, cmu with Brick verses. connericially
	zoned sees, as plant parking lot on the west or South
	cides, grass on the east side, sagrant bldy on
	The worth.
	Consul description of project and its offset on the biotoxic recovered by the project and the configuration of the
١.	General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:
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	in the center of the east side alexa). Convit
	brick verser should have no impact on the
	Without exist. BIOG and convert be seen the
	RT 355.
1	<u>E PLAN</u>
it	e and environmental setting, drawn to scale. You may use your plat. Your site plan must include:
	the scale, north arrow, and date;
	the scale, north arrow, and date;
	dimensions of all existing and proposed structures; and
	site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.
	·
<u>'L</u>	ANS AND ELEVATIONS
	ANS AND ELEVATIONS I must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.
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MAGe	Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and fixed features of both the existing resource(s) and the proposed work. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, con All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of facade affected by the proposed work is required. INTERIALS SPECIFICATIONS Interial description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included origin drawings. OTOGRAPHS Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed the front of photographs.

For <u>ALL</u> projects, provide an accurate list of adjacent and confronting property owners (not tenants); including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation; 51 Monroe Street, Reckville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS



HISTORIC PRESERVATION COMMISSION 301/563-3400

DEPT. OF FF **APPLICATION FOR HISTORIC AREA WORK PERMIT**

			Contact Person:	A GROSS
			Daytime Phone No.: 94	3 250 0020
Tex Account No.:			Daytime Phone No.: 94	1 831 8392
Name of Property Owner: Hys: #\$	town Vot.	Fine Dyot	Daytime Phone No.: _30	01 831 8248
Address: Z580 Street Number Contractor: Wichols.	ederick	Rd Un	ke bung MD	20871
Street Number	makaju s	City L v	Steet	Zip Code
Contractor: Wichols	Con Ynsex	ing	Phone No.: 3	11924 52.58
Contractor Registration No.:	<u> </u>		- <u> </u>	•
Agent for Owner: Scott	- / wine	er	Daytime Phone No.:	Sane
LOCATION OF BUILDING/PREMISE	3.3	<u> </u>		
House Number: 25801 Fre				
Town/City: Clantsberr	y MD 1	Vearest Cross Street:	RT. 109/	old Hundred Rd
Lot: Block:	O Subdivision: _			
Liber: 256B Folio: 2	298 Percel:			
PART ONE: TYPE OF PERMIT ACTIO	N AND HEE	· · · · · · · · · · · · · · · · · · ·		
1A. CHECK ALL APPLICABLE:	MI AND OOL	CHECK ALL A	PPLICARI F	
	Alter/Renovate		Slab Room Addition	n 🖂 Porch 🗀 Deck 🗀 Shed
	Wreck/Raze		Fireplace	
	Revocable		II (complete Section 4)	
1B. Construction cost estimate: \$			(complete section 4)	Outer. 272025-012
Constitution cost estimate. 1C. If this is a revision of a previously approximate.				
	лочен асиче ренни, зес	s remm. #		
PART TWO: COMPLETE FOR NEW C	ONSTRUCTION AND	EXTENO/ADDITIO	<u>1S</u>	
2A. Type of sewage disposal: 01	wssc Wssc	02 🗆 Septic	03 (Other:	· · · · · · · · · · · · · · · · · · ·
2B. Type of water supply: 01	I □ WSSC	02 Well	03 🗌 Other:	
PART THREE: COMPLETE ONLY FOR	FENCE/RETAINING	WALL		
3A. Height feet	inches			
3B. Indicate whether the fence or retain	— ning wall is to be constru	cted on one of the foll	owing locations:	,
On party line/property line	☐ Entirely on land		On public right of way/eas	ement
I hereby certify that I have the authority t approved by all agencies listed and I her				
4	,			
Meller O. Sh				7/27/99
Signature of owner of	r authorized agent			Date
1:11/2		w		
Approved: \\ \\ \W/Conc	utions)	For Chairper	son, Historic Preservation Comm	mission
Disapproved:	Signature:	Jan	and	Date: 8-8-00
Application/Permit No.: 990	8040083 (Date Filer	. ΧΙϤΙ ν/ ΙΛ Date	Issued:

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

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						•	•		
b.	General description of project	t and its effect on	the historic res	ource(s), the	environmental se	etting, and, whe	ere applicable, the	historic dis	trict:
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PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue Silver Spring, Maryland 20910-3760

MEMORANDUM

DATE: SEPTEMBER 9, 10,00

TO:

Local Advisory Panel/Town Government HTATTSTOWN LAP

FROM:

Historic Preservation Section, M-NCPPC

Robin D. Ziek, Historic Preservation Planner Perry Kephart, Historic Preservation Planner

SUBJECT:

Historic Area Work Permit Application - HPC Decision

The Historic Preservation Commission reviewed this project on 8-8-99.

A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.

G\wp\laphawp.ltr



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue Silver Spring, Maryland 20910-3760

MEMORAL	<u>NDUM</u>	
TO:	Robert Hubbard, Director Department of Permitting Services	
FROM:	Gwen Wright, Coordinator Historic Preservation	
SUBJECT:	Historic Area Work Permit	
_	mery County Historic Preservation Commission has reviewed the attached for an Historic Area Work Permit. This application was:	i.
A _I	pprovedDenied	
A_1	proved with Conditions:	
1 BR	1CK SAMPLES TO BE APPROVED BY	
STA	FF.	
	aff will review and stamp the construction drawings prior to the applicant's applying g permit with DPS; and	
	DING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON CE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).	,
Applicant:_	HYATTSTOWN VOLUNTEER FIRE DEPT (JEFF	GROSS,
Address: 2	25801 FREDERICK PD. HYATTSTOWN; MD.	MAENI
	to the general condition that, after issuance of the Montgomery County Department g Services (DPS) permit, the applicant arrange for a field inspection by calling the	

DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue Silver Spring, Maryland 20910-3760

Date: SEPTEMPER 0, 1009

MEMORANDUM

TO:

Historic Area Work Permit Applicants

FROM:

Gwen Wright, Coordinator Historic Preservation Section

SUBJECT:

Historic Area Work Permit Application - Approval of Application/Release of

Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HAWP for Elevator addition at the Hyattstown Vol. Fire Dept.

Adjacent property owners:

South- Md. Nat'l. Capital Park and Planning Comm. 8787 Georgia Ave. Silver Spring, MD

West- Wash. Suburban Sanitary Comm. 14501 Sweitzer Ln. Laurel, MD

> John Croghan 15300 Croghan Ln. Clarksburg, MD 20871

North- Helen Burdette 22711 Mt. Ephraim Rd. Dickerson, MD 20842

East- Hyatt Recreation 6328 New Haven Ct. Frederick, MD 21703





HYATTSTOWN VOLUNTEER FIRE DEPT., INC.

Emergency Dial 911

Company 9 25801 Frederick Road Clarksburg, Maryland 20871

(301) 972-3398 (301) 831-8499

July 25, 1999

Historic Preservation Commission 8787 Georgia Ave. Silver Spring, MD

RE: Elevator addition to the Hyattstown Vol. Fire Dept.

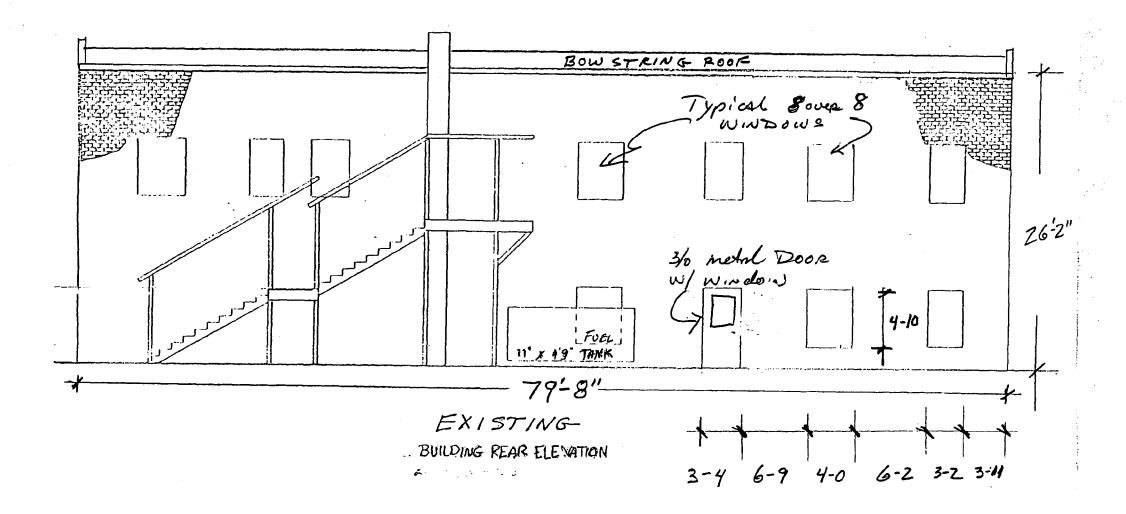
Our building was constructed during World War II and was not completed until 1945.It was never intended to have an elevator and that is why it has an imposing set of stairs. Five years ago our building underwent a substantial renovation and upgade to comply with the A.D.A. code, but that only pertained to the first floor of the building. Since then we have wanted to have our 2nd floor accessable to all.

Our auxiliary has now provided funds to build an elevator that will allow all visitors complete access to our facility. Frequent public meetings, department events and moving supplies upstairs will now be safer, easier and compliant with the code.

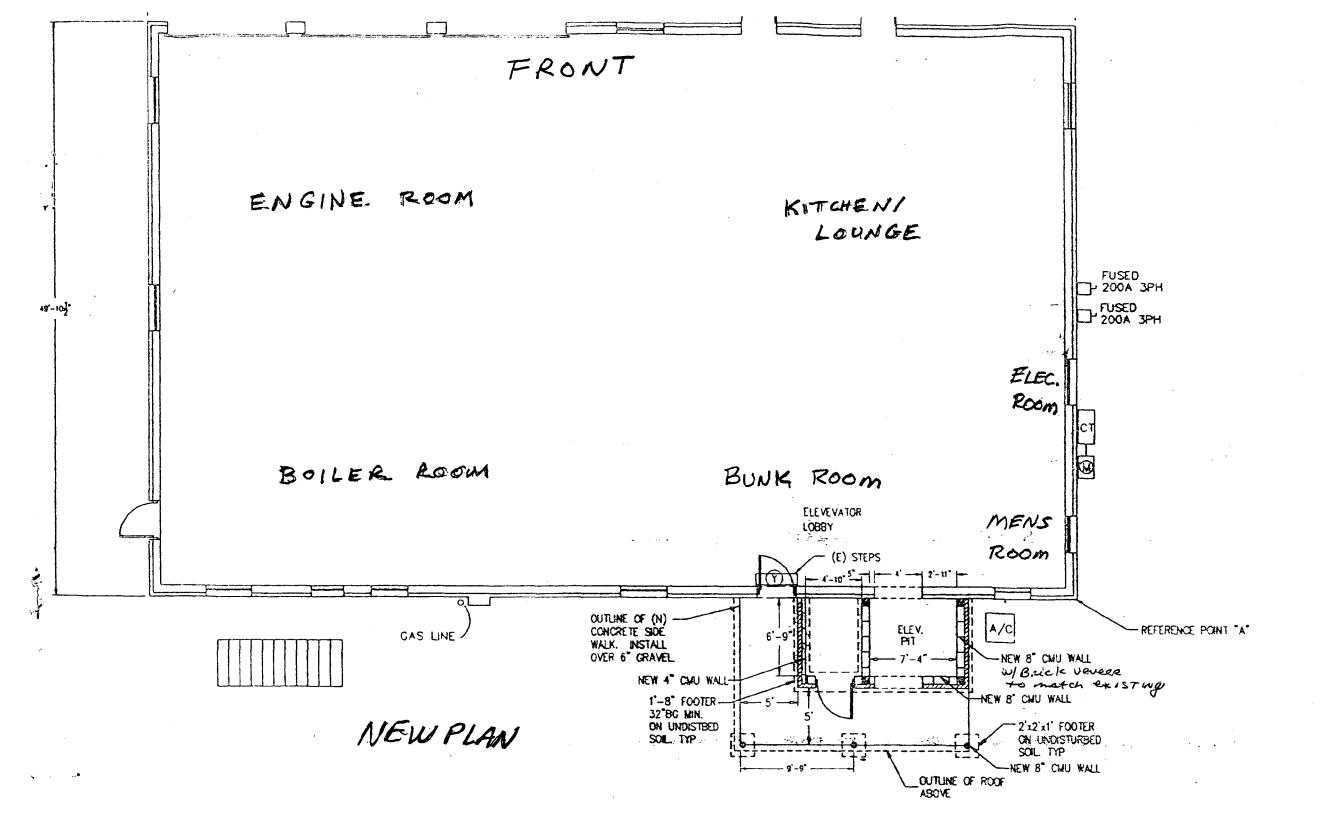
However because the building was not designed to have an elevator inside, we have located and designed one to be placed on the exterior, at the rear of the building. Our goal is to comply with all your requirements and alleviate our problem. We hope that your staff and commission will agree.

Sincerely yours,

Jeffrey C. Gross **Elevator Committee**

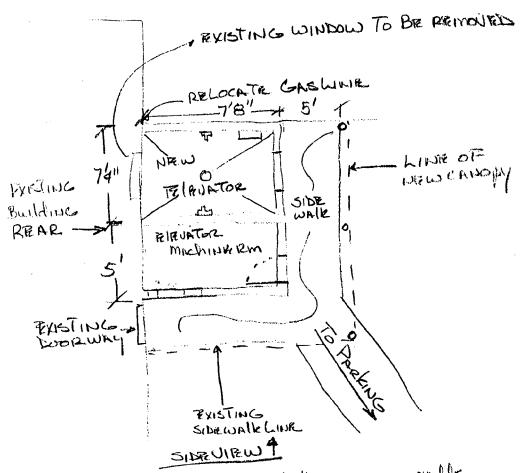


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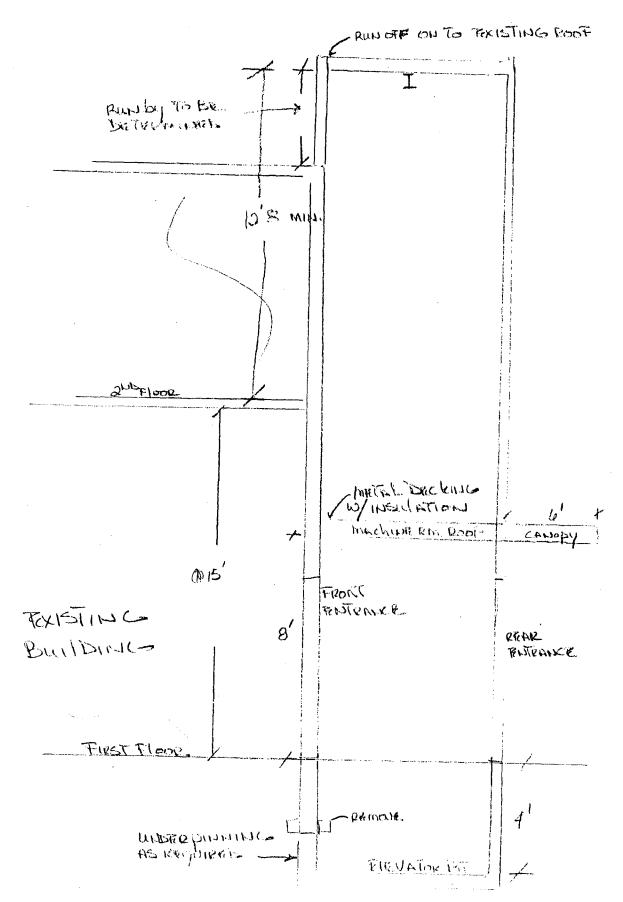
Floor Plan SKRTCH

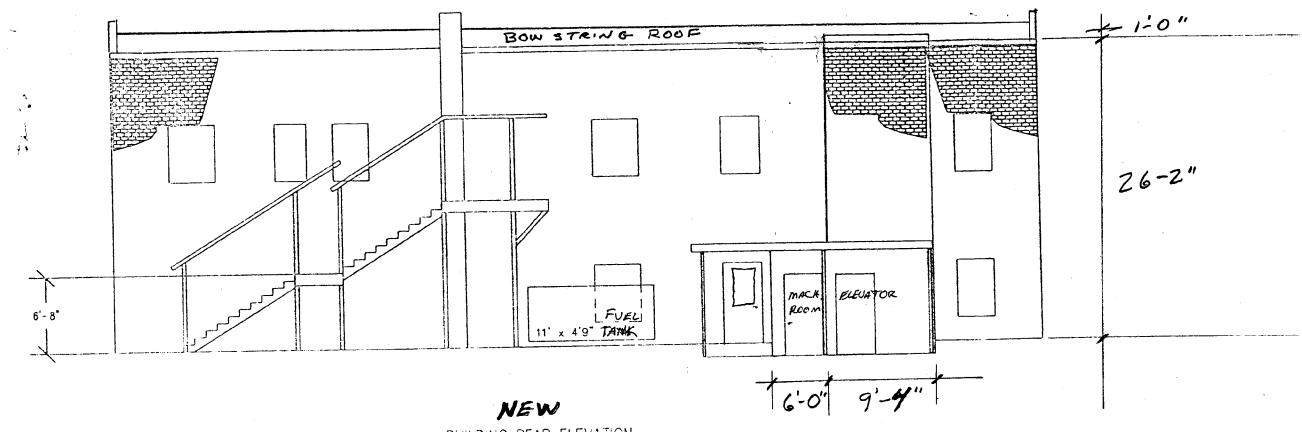


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CLARKSBURG FIREHOUSE CONCEPTUAL FIRENTOR

SIDE VIEW SKRICH





BUILDING REAR ELEVATION SCALE: 1/8" = 1'-0"

Sec. 12



BUILDING AS SCENE FROM HYATTSTOWN MILL ROAD

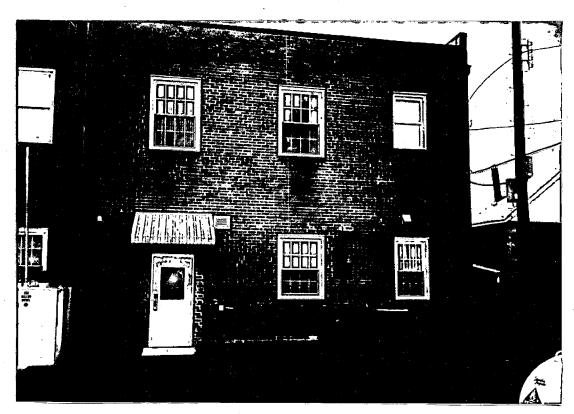


REAR VIEW OF THE FIRE HOUSE AND BURDETTE'S BUILDING



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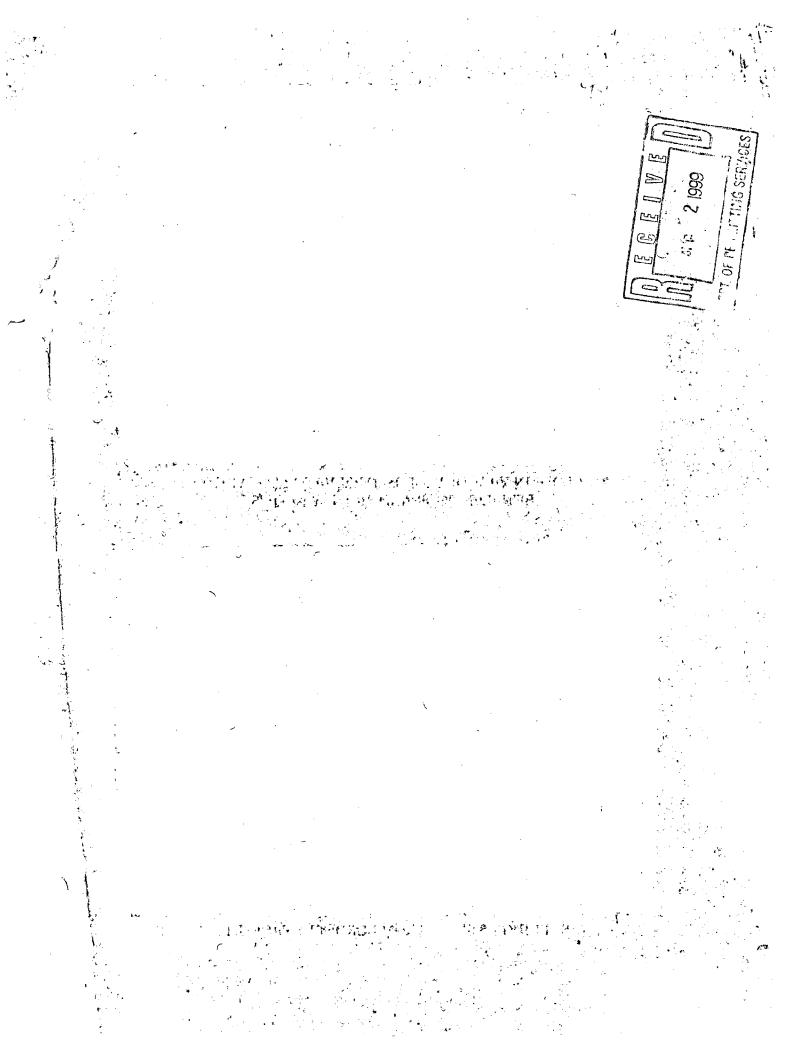
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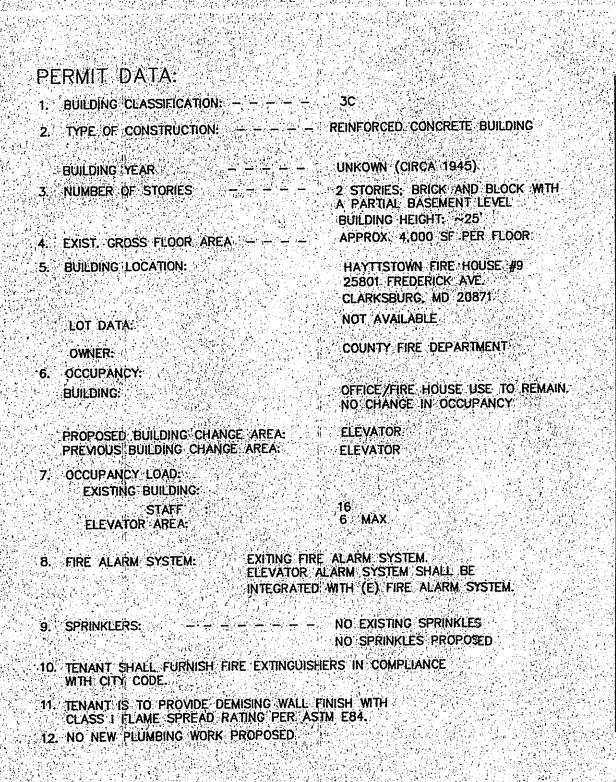


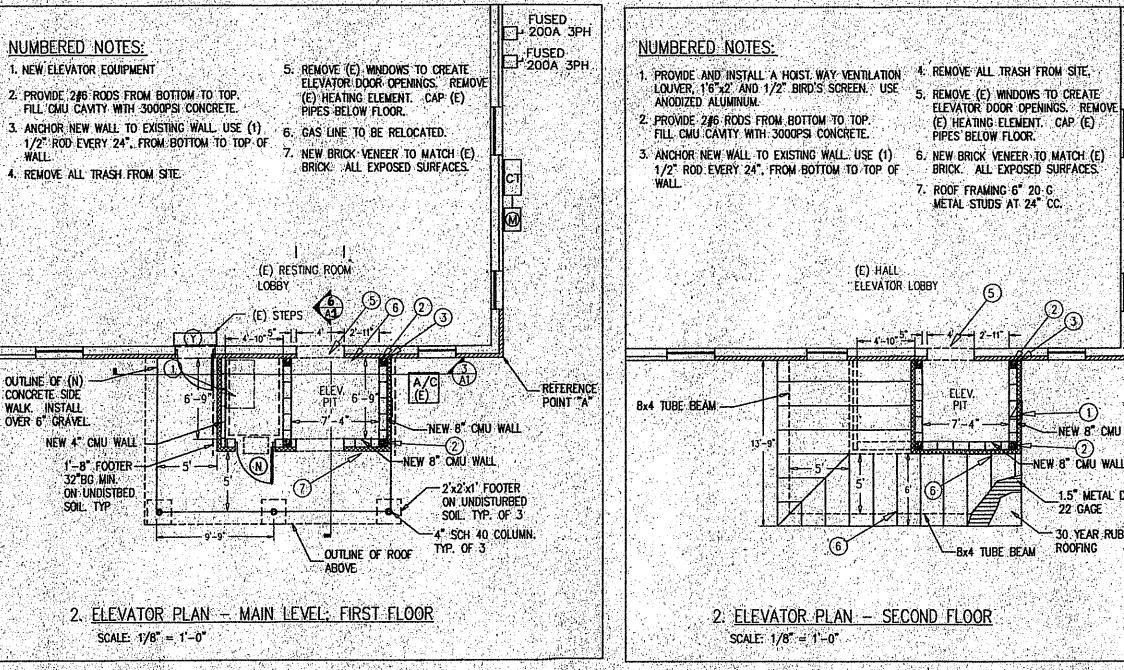
CLOSE-IN VIEW OF PROPOSED ELEVATOR LOCATION (BETWEEN DOOR AND RIGHT WINDOWS)



BUILDING AS SCENE FROM BURDETT'S PROPERTY

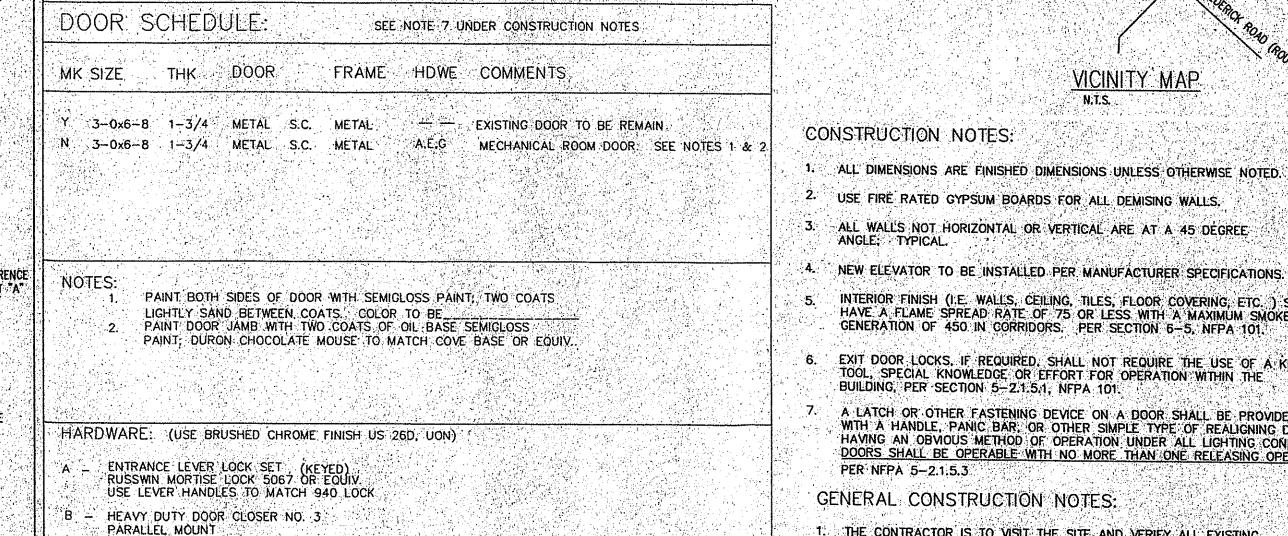


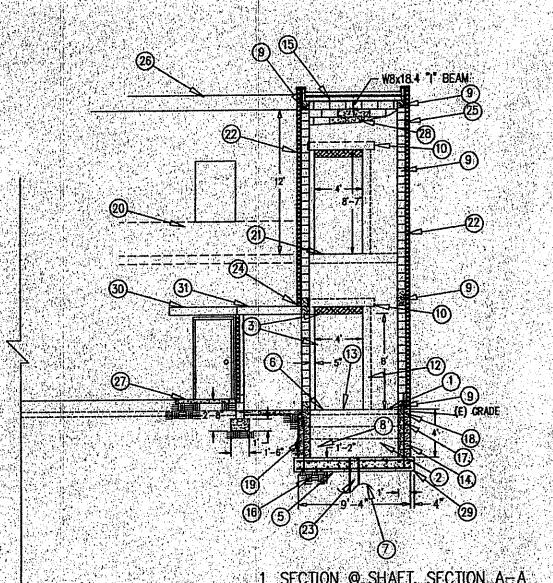




ELEVATOR DOOR OPENINGS. REMOVE -1.5" METAL DECKING - 30 YEAR RUBBER MEMBRANE SCOPE OF WORK INSTALL A NEW ELEVATOR, SHAFT AND ELEVATOR TO SERVICE SECOND FLOOR OF BUILDING

DRAWING LIST A1 - DEMOLITION/CONSTRUCTION PLANS - BUILDING PLAN AND ELEVATION EM1 - POWER AND MECHANICAL PLAN





. <u>SECTION @ SHAFT, SECTION A-A</u> SCALE: 1/8" = 1'-0" STRUCTURAL NOTES ASSUMED SOIL BEARING VALUE: 4000 POUNDS PER SOUARE FOOT UON BACKFILL " BUILDING CODE: 1996 BOCA CODE DACAPILL.
THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO BRACE ALL WALLS WHEN BACKFILING BACKFILING AGAINST WALLS SHALL NOT BE PERRITTED UNTIL SUPPORTING STRUCTURES ARE IN PLACE. THE CONTRACTOR SHALL NOT OVERLOAD THE WALL WITH HEAVY ECHEMENT DURING FLACHENT OF BACKFILL ADJACENT TO THE WALL WITH HEAVY ECHEMENT (A MAXIMUM OF CIVE TON TOTAL WEIGHT) ECHEMENT SHALL BE PERRITTED WITHIN THE CRITICAL ZONE DEFINED AS BECOMING AT THE BASE OF THE WALL AND WIDENING LIPWARD FROM THE BASE ON A 1:1 SLOPE. GENERAL NOTES ALL MATERIALS SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS NOTED IN STRUCTURAL NOTES BASED ON THE FINAL DATE NOTED ON THE CONSTRUCTION DOCUMENTS IT IS THE CONTRACTOR RESPONSEBLITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF TRAKE WORK PRACTICE AND SHORMS. STRUCTURAL COMPACTED FILL ALL DIMENSIONS AND MOTES SHALL SUPERSEDE ALL SCALE REFERENCES ON THE DRAWNISS. CONTRACTOR SHALL HOTEL ENGINEER OF ANY DEFERENCES BETWEEN MOTED DIMENSIONS AND SCALED DIMENSIONS. STRUCTURAL COMPACTED FILL FOR SLAB ON GRADE SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER AND COMPACTED IN 18 LAYERS AND COMPACTED TO AT LIST 95% OF THE MADIMUM DRY DENSITY BASED ON THE STANDARD PROCTOR COMPACTION TEST (ASTM D-698). THE CONTRACTOR SHALL FIELD INSPECTI EXISTING CONDITIONS PRIOR TO BIDDING AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCES. CONTRACTOR RESPONSIBILITIES ALL EXISTING CONDITIONS SHALL BE CHECKED AND YERRIED IN THE FIELD BEFORE EXCAVATION AND IS BECOM. EXISTING UTILITIES SHALL THE FOLLOWING LIST IS NOT INTENDED HE ALL INCLUSIVE BUT MERELY TO PLACE CHIPMANS ON P

NUMBERED NOTES FOR SECTION A-A: 1 EXISTING FLOOR SLAB. 2 REMOVE EXISTING FILL AS NEEDED FOR THE NEW ELEVATOR PIT.

3. PROVIDE A NEW OPENING FOR ELEVATOR DOORS AND PROVIDE

4. PROVIDE NEW ELEVATOR DOOR JAMB, COORDINATE WITH ELEVATOR CONTRACTOR.

5. NEW LOWER CONCRETE PAD POURED OVER UNDISTURBED SOIL PACK ANY LOOSE SOIL TO 2000 PSF AND REINFORCE NEW CONCRETE PAD WITH #5 REBAR 0 12" O.C. EACH WAY IN BOTTOM AND #5 REBAR @ 12 O.C. EACH WAY IN TOP.

PROVIDE NEW ELEVATOR DOOR SILLS. COORDINATE WITH ELEVATOR CONTRACTOR AND/OR MANUFACTURER. COORDINATE ELEVATOR SHAFT AND PIT WITH FLEETWOOD 21-H TYPE ELEVATOR ELEVATOR SHAFT AND PIT.

8. PROVIDE NEW CONCRETE PIT WALL WITH UNDERPINNING, DRY PACK CAVITY BETWEEN NEW WALL AND EXISTING FOOTING WITH NON-SHRINK GROUT. CUT AND REMOVE EXISTING FOOTING.

PROJECTION AS REQUIRED. PROVIDE #8 VERTICAL STEEL REBAR INSERTED INTO DRILLED 8" HOLES WITH EPOXY. PROVIDE ON REBAR PIN EVERY 2 FEET. 9. CONCRETE FILLED BOND BEAM WITH 2 #4 HORIZONTAL RODS.

10. (E) CONCRETE LINTEL ABOVE WINDOW OPENING. EXTEND LINTEL DOWN TO REQUIRED ROUGH IN OPENING. USE METAL STUD AND GYPSUM BOARD FILLER.

11. 4x4 "L" BOLTED TO WALL WITH 1/2" ANCHOR BOLTS AT 16 CC. N/A 12. EXISTING WINDOW ROUGH-IN OPENING (TYP.)

13. EXISTING FLOOR SLAB TO BE REMOVED. N/A

RENFORCING SEEL SHALL CONFORM TO ASTM ABIS, GRADE 60, ALL WELDED WIRE FARRIC SHALL CONFORM TO ASTM ABS. DETABLING SHALL BE IN ACCORDANCE WITH AC MANUAL 315 AND STANDARD 318-89. CONCRETE SHALL BE NORMAL WEIGHT. DESIGN COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3000PS. MIN.

CONCRETE AR CONTENT, SUMP AND WATER RATIOS SHALL BE AS FOLLOWS. UNLESS OTHERWISE MOTED:

AR ENTRANED: 6X +/- 1X OF TOTAL CONCRETE VOLUME
CONCRETE SLUMP: 5" +/- 1"
WATER/CEMENT RATIO: 0.58

HE USE OF ADDITIVES SHALL HOT BE PERMITTED UNLESS SPECIFICALLY

PROVIDE A MINIMUM 4" THICK CONCRETE SLAB REINFORCED WITH 648-WILAAWI.A WELDED WIRE FABRIC ON A CONTINUOUS VAPOR RETARDER OVER 4" POROUS FALL. THE WILDED WIRE FABRIC SHALL BE PLACED AT THE MID-DEPTH OF THE

APPROVED BE THE STRUCTURAL ENGINEER. THE USE OF ADDITIVES OF TANING CALCIUM CHLORIDE SHALL NOT BE PERMITTED. TANING CALCIUM CHLORIDE SHALL NOT BE PERMITTED.

STRUCTURAL CONCRETE

SLAB ON GRADE

14. FILL WITH CONCRETE ALL CONCRETE BLOCKS BELOW GRADE, 15. BUILT-UP ROOF TOP WITH 3" INSULATION OVER 22G 1-1/2" NETAL

17. #8 RODS, VERTICAL AT 24" CC. 18: 2 #6 RODS, HORIZONTAL 19. #8 VERTICAL PINS AT 24" CC 20. NEW FLEVATOR DOOR ROUGH-IN 4'-0"x7'-6" 21. EDGE OF (E) FLOOR 22. NEW BRICK VENEER TO MATCH EXISTING BRICK. 23. ELEVATOR JACK CYLINDER AND CASING. 24. 3"x4"x3/8" L . CONTINUOUS, BOLTED TO CMU BLOCK WITH 3/4"x6" ANCHOR BOLTS AT 16"CC. FILL WITH CONCRETE THE CMU COURSES ON TOP AND ON THE BOTTOM OF THE PLATE. ANCHOR PLATE WITH 1/2" ANCHOR RODS ON 12" CC. 25. PROVIDE AND INSTALL A HOISTWAY VENTILATION LOUVER, 2'x3' AND 1/2" BIRD'S SCREEN. USE INODIZED ALLUMINUM. 26. EXISTING ROOF. 27. (N) SIDE WALK OVER 6" OV GRAYEL" 28. FILL CMU BLOCKS BELOW "1" BEAM WITH 3000PS 29. WATER PROOF THE ELEVEVATOR PIT FOOTING AND FOUNDATION WALLS.

16. UNDISTURBED SOIL MIN. 2000 PSF

MORTAR AND GROUT SHALL CONFORM TO THE RECURREMENTS OF THE ASTM TENTATIVE SPECIFICATIONS FOR MORTAR FOR UNIT MASONRY, ASTM (210. "TYPE'S MORTAR HOLLOW LINTS SHALL BE LAID WITH FULL MORTAR COVERAGE

PROVIDE JOINT RENFORCING DUR-O-WALL OR EQUAL EVERY BLOCK COURSE

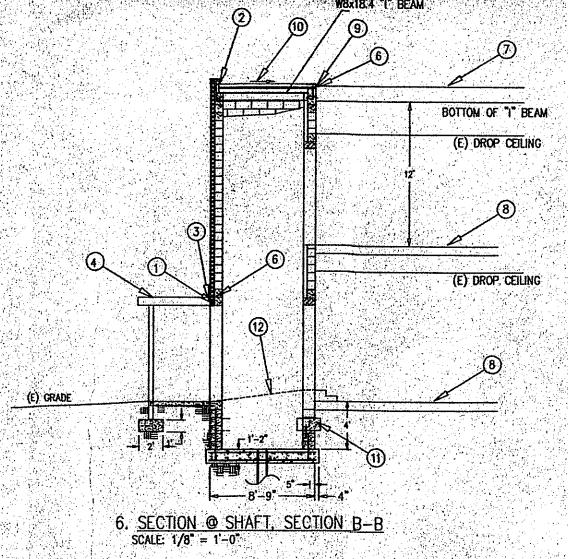
PROVIDE JUNI REINFORCING JUNI-V-WALL OK FEIDOL. EVENT BELOX COURSE
BELOW GRADE AND EVERY OTHER BLOCK COURSE ABOVE GRADE, UNLESS OTHERWISE SHOWN ON ARCHITECTURAL WALL SECTIONS. JUNIT REINFORCING SHALL BE
CONTINUOUS AND SHALL BE PROVIDED IN ALL WALLS WITHOUT EXCEPTION.
MASCHRY JOHN REINFORCING SHALL BE TRUSS TYPE COLD-DRAWN STEEL WITE
CONFORMING TO ASTM ABS AND SHALL BE NOT DIPPED GALVANIZED PER ASTM.

A153 AFTER FABRICATION, WHERE WALLS ABUT EACH DITHER AND AT OUTSIDE

ALL MASONRY WALLS SHALL BE TEMPORABILY BRACED IN AN APPROVED MANNER

ALL OPENINGS IN LOAD-BEARING AND

30. CONAPY BUILT-UP ROOF TOP 22G 1-1/2" METAL 31. MACHINE ROOM BUILT-UP ROOF TOP WITH 3" INSULATION OVER 20G 1-1/2" METAL DECKING.



NUMBERED NOTES FOR SECTION B-B 1. 3"x4"x3/8" L., CONTINUOUS, BOLTED TO CMU BLOCK, WITH 3/4"x6" ANCHOR BOLTS AT 16"CC. FILL WITH CONCRETE THE CMU COURSES ON TOP AND ON THE BOTTOM OF THE PLATE. ANCHOR PLATE WITH 1/2" ANCHOR RODS ON 16" CC. 2. ROOF FLASHING: 12" UP 24" HORIZONTAL ABOVE ROOF MEMBRANE 3. METAL FLASHING SEALED TO BRICK FACING. 4. 1.5" 22G METAL DECKING WITH 1" HARD INSULATION, 1/2" EXTERIOR PLYWOOD, FELT UNDERLAY AND 210LBS ROOF SHINGLES. 5. 3/8"x6" CONTINUOUS BEARING PLATE WITH 1/2" ANCHOR BOLTS EVERY 32" O.C. WELD 1.5" 22G METAL DECKING TO THE BEARING 6. CONCRETE FILLED BOND BEAM WITH 2 44 HORIZONTAL RODS.

7. EXISTING ROOF 8. EXISTING FLOOR. 9. 2' WIDE FLASHING UNDER BUILT-UP ROOF, THE FLASHING IS TO EXTEND A MINIMUM 1.5" OUT FROM THE EDGE OF THE ROOF. 10. 1/8" PER FOOT SLOPE IN THE DIRECTION AS SHOWN.

11. EXITING FOOTING TO BEUNDER PINNED. 12. TOP OF NEW SIDE WALK. MAX SLOPE 1:12. COMPLY WITH ADA REWQUIREMENTS.

LICENSE NO. 10894

ANCONA & ASSOCIATES, Inc. 1686 VILLAGE GREEN CROFTON, MD 21114 Tel. (301) 261-8679

VICINITY MAP

INTERIOR FINISH (I.E. WALLS, CEILING, TILES, FLOOR COVERING, ETC.) SHALL HAVE A FLAME SPREAD RATE OF 75 OR LESS WITH A MAXIMUM SMOKE

GENERATION OF 450 IN CORRIDORS. PER SECTION 6-5, NFPA 101.

TOOL, SPECIAL KNOWLEDGE OR EFFORT FOR OPERATION WITHIN THE

THE CONTRACTOR IS TO VISIT THE SITE AND VERIFY ALL EXISTING

CONDITIONS PRIOR TO SUBMITTING A BID. THE CONTRACTOR IS RES-

PONSIBLE FOR THE COMPLETION OF ALL WORK AS INDICATED IN THE

2. THE CONTRACTOR IS TO CONTACT THE OWNER AND OR ENGINEER PRIOR

DEMOLITION - TO BE PROVIDED BY CONTRACTOR AS REQUIRED COM-PLETELY REMOVE ALL TRASH AND CONSTRUCTION DEBRIS FROM SITE.

COORDINATE WORK EFFORT FOR ELECTRICAL MECHANICAL AND PLUMBING

6. PATCH AND REFINISH - CONTRACTOR TO FULLY PATCH AND REFINISH TO MATCH EXISTING OR PROPOSED ADJACENT SURFACES AS REQUIRED O PROVIDE A FULL AND COMPLETE JOB. ALSO, COMPLETELY EXECUTE OTHER WORK ITEMS AS REQUIRED TO PROVIDE OPERATING SPACES READY AND USABLE FOR OCCUPANCY IE APPLICABLE.

ALL SUBCONTRACTORS MUST BE RESPONSIBLE FOR REMOVING AU TRASH AND DEBRIS GENERATED BY SUBCONTRACTOR WORK. SUB-

CONTRACTOR SHALL BE LIABLE TO CONTRACTOR AND TO OWNER

FOR TRASH AND/OR DEBRIS NOT REMOVED FROM SITE ON A

8. ALL CONCRETE SHALL BE 3,000PSI CONCRETE.

3. CHECK ALL DIMENSIONS ON THE JOB PRIOR TO EXECUTION OF WORK. FIELD VERIFY ALL DIMENSIONS. ALL WORK IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES AND REGULATIONS. CONTRACTOR IS TO PROVIDE, COLOR SELECTION SAMPLES FOR APPROVAL BY ENGINEER, OWNER OR TENANT PRIOR THE EXECUTION OF THE SELECTION.

BUILDING, PER SECTION 5-2.1.5.1. NFPA 101.

PRINTS AND IN THE NOTES ON THE PRINTS.

TO EXECUTION OF ANY WORK IN QUESTION.

EXIT DOOR LOCKS, IF REQUIRED, SHALL NOT REQUIRE THE USE OF A KEY,

A LATCH OR OTHER FASTENING DEVICE ON A DOOR SHALL BE PROVIDED

WITH A HANDLE, PANIC BAR, OR OTHER SIMPLE TYPE OF REALIGNING DEVICE

HAVING AN OBVIOUS METHOD OF OPERATION UNDER ALL LIGHTING CONDITIONS.

DOORS SHALL BE OPERABLE WITH NO MORE THAN ONE RELEASING OPERATION

ANGLE: TYPICAL.

PER NFPA 5-2.1.5.3

WORK AS REQUIRED.

TIMELY MANNER.

HAYTTSTOWN FIRE HOUSE #9 **ELEVATOR ADDITION** 25801 FREDERICK ROAD CLARKSBURG, MD 20871

PRECAST CONCRETE LINTEL SCHEDULE - 6°, AND 12° MASONRY WALLS (UNLESS NOTED OTHERWISE) UP TO 4-0" 6".8" P.C.L WITH 1-43 TIP & BOTTOM 4-0" TO 5-0" 6".8" P.C.L WITH 1-44 TIP & BOTTOM 5-0" TO 5-0" 6".8" P.C.L WITH 1-44 TIP & BOTTOM 6"-0" TO 7-0" 6".8" P.C.L WITH 1-45 TIP & BOTTOM 7-0" TO 8-0" 6".8" P.C.L WITH 1-45 TIP & BOTTOM

1. PROVIDE MULTIPLE LAYELS TO ACCOMMODATE MASONRY WALLS WIDTHS GREATER THAN 6".
2. PROVIDE JOINT RENFORCING AT 8" D.C. FOR TWO COURSES ABOVE ALL LINTELS. EXTEND THE JOINTS REINFORCING 12" BEYOND THE UNITELS AT EACH END OF THE LINTELS.

STRUCTURAL STEEL ALL STEEL SHALL BE IN ACCORDANCE WITH THE AINTH EDITION OF THE MANUAL OF STEEL CONSTRUCTION BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION EXISTING WALL TO BE REMOVED. UON. EXISTING WALL TO REMAIN. UON.

EXISTING BRICK VENEER, UON. NEW BRICK VENEER TO MATCH EXITING BRICK, UON.

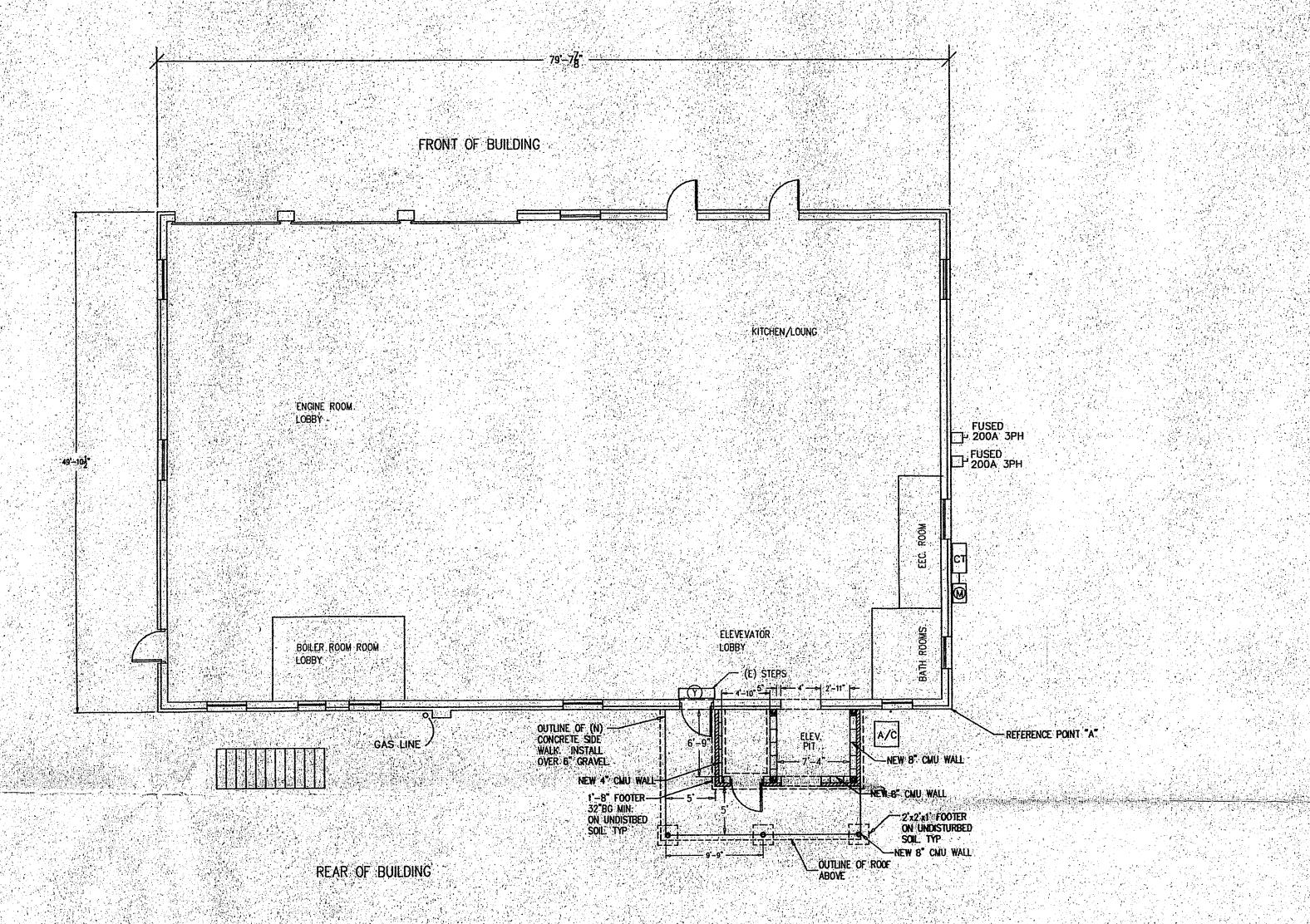
NEW CMU WALL, THICKNESS AS NOTED TOTAL WALL FIRE RATING TO BE 2 HRS, UON.

LEGEND:

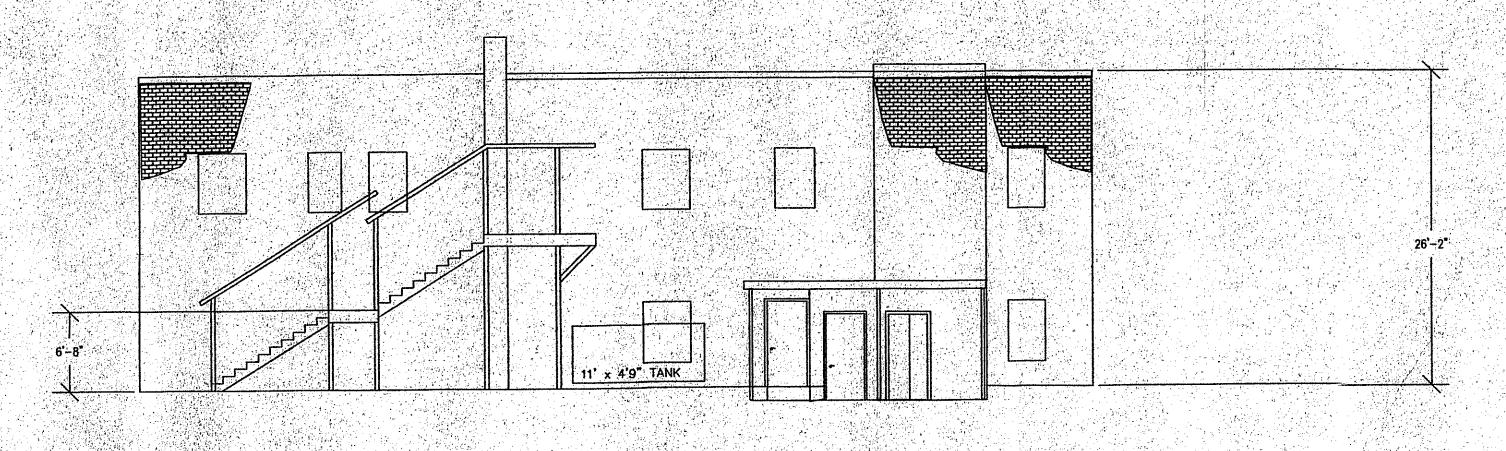
C - 3 HEAVY DUTY HINGES

UON = UNLESS OTHERWISE NOTED

PAR 200 PRO CON 1001 PAR 1001 TAN 1007 PAR 5301 E

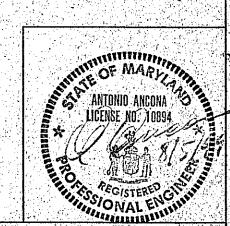


2. <u>BUILDING PLAN</u> SCALE: 1/8" = 1'-0"



2. BUILDING REAR ELEVATION

SCALE: 1/8" = 1'-0"



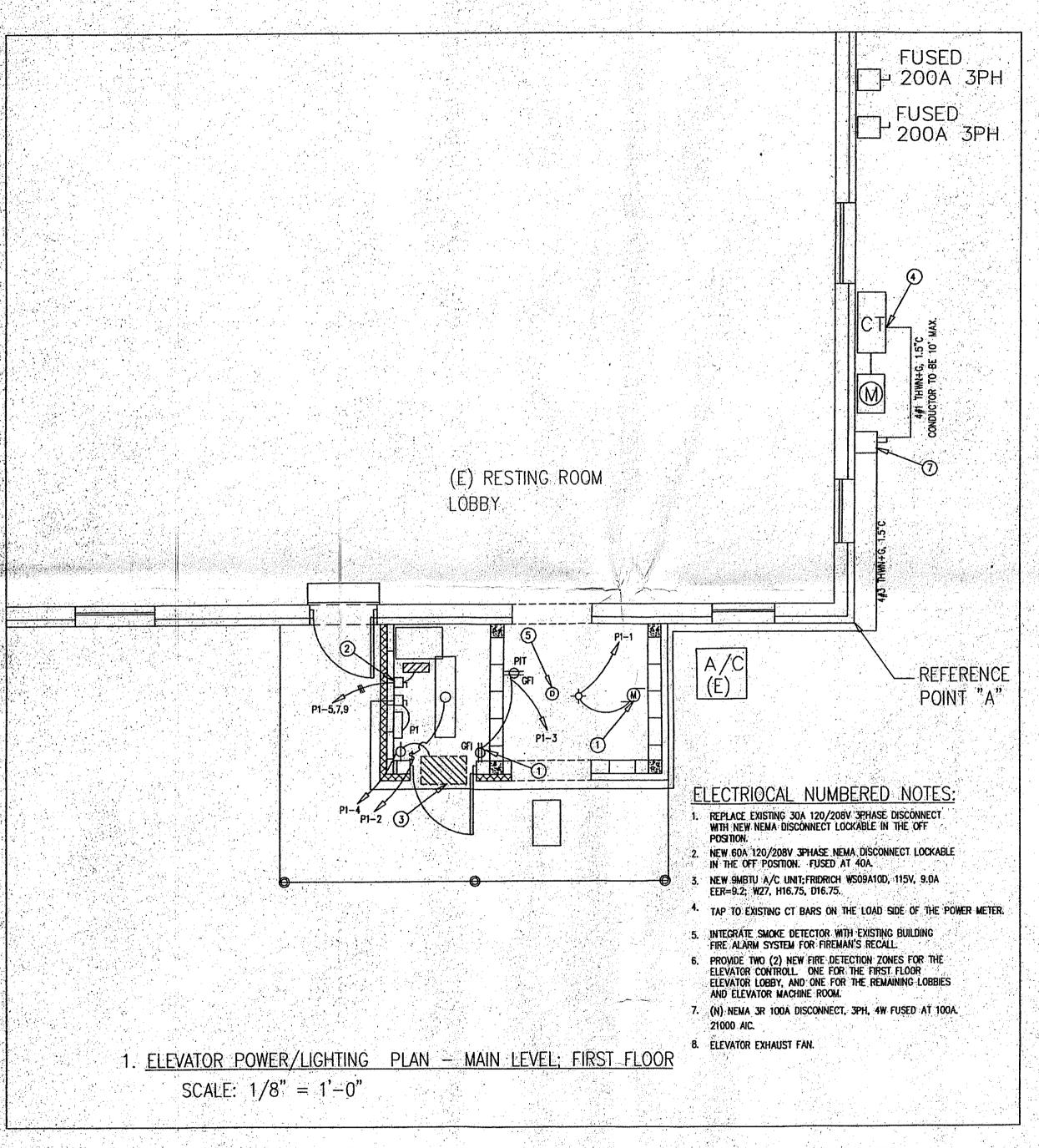
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Tel. (301) 261-8679

HAYTTSTOWN FIRE HOUSE #9
ELEVATOR ADDITION
25801 FREDERICK ROAD
CLARKSBURG, MD 20871

ENGNEER:
ANTONIO ANCONA, P.E. MD. LIC. No. 10894
VA. LIC. No. 18368
DC LIC. No. 7877

BUILDING PLAN AND ELEVATION A2



ELECTRICAL SPECIFICATIONS

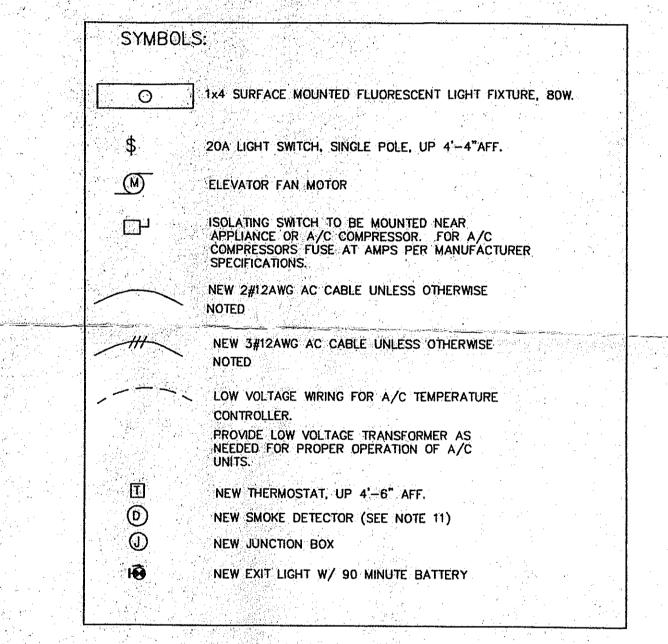
- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT DEVICES, PERMITS AND PAY ALL FEES NECESSARY FOR THE COMPLETE ELECTRICAL SYSTEM INDICATED. INCLUDE ALL WORKS ASSOCIATED WITH EQUIPMENT SHOWN ON ARCHITECTURAL, MECHANICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS.
- COMPLY WITH LATEST NATIONAL ELECTRIC CODE AND WITH ALL OTHER APPLICABLE CODES. ORDINANCES AND REGULATIONS, EXCEPT WHERE PLANS OR SPECIFICATIONS ARE MORE STRICT.
- UPON COMPLETION OF WORK, ADJUST ALL EQUIPMENTS AND TEST ALL SYSTEMS AT THE DIRECTION OF THE ENGINEER. PROVIDE OWNER/ENGINEER WITH FINAL ELECTRICAL INSPECTION CERTIFICATE.
- COORDINATE WORK WITH ELECTRICAL SERVICE COMPANY FOR ADDITIONS TO SERVICE AS SHOWN. PAY ALL COSTS INVOLVED WITH POWER COMPANY WORK OR REQUIREMENTS.
- ALL WIRING SHALL BE WITH COPPER CONDUCTORS FULL RATED FOR LOAD SERVED. MINIMUM WIRE SIZE SHALL BE #12 AWG. CIRCUITS SHALL BE CONNECTED WITH LOADS NOT TO EXCEED 80% OF BREAKER TRIP RATING.
- ALL RECEPTACLE OUTLETS SHALL BE 20A, 125V, GROUNDING TYPE
- FINISH OF DEVICE PLATES AND COLOR OF WIRING DEVICE COVERS SHALL BE PER OWNER SELECTION.
- SAFETY SWITCHES SHALL BE PROVIDED WHERE REQUIRED BY CODE WHETHER SHOWN OR NOT. USE HEAVY DUTY TYPE AS MANUFACTURED BY WESTINGHOUSE, SQUARE D'OR GENERAL ELECTRIC.
- ALL WIRING/CONDUIT SHALL BE ROUTED/CONCEALED IN WALLS, CEILINGS, FLOORS, SERVICE SPACE OR IN APPROVED
- COORDINATE WITH TELEPHONE COMPANY REQUIREMENTS FOR PRE-INSTALLATION OF TELEPHONE EQUIPMENT AND WIRING FOR SHOWN OUTLET COVERAGE. ELECTRICAL CONTRACTOR TO PROVIDE A PULL STRING AT EACH OUTLET. SMOKE DETECTORS TO BE IONIZATION TYPE MANUFACTURED BY FIRE LIGHT INC. OR EQUIVALENT. ALSO SEE ALARM SPECIFICATIONS ON THIS PAGE.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW, OF FIRST CLASS QUALITY AND APPROVED UNDER APPLICABLE STANDARDS. ALL MATERIALS OF TYPES FOR WHICH U.L. LABELING SERVICE IS ESTABLISHED SHALL BEAR U.L. LABEL.
- BE RESPONSIBLE FOR ALL POWER, CONTROL, TEMPERATURE CONTROL AND COMPLETE INTERLOCK WIRING, INSTALL ALL SUCH WIRING AS INDICATED ON APPROVED EQUIPMENT MANUFACTURER'S WIRING DIAGRAMS FOR THE OPERATION
- BIDDERS ARE CAUTIONED TO VISIT THE SITE PRIOR TO THE FINAL PREPARATION OF THEIR BID.
- CONTACTOR SHALL GUARANTEE HIS WORK AND MATERIALS FOR A PREIOD OF ONE (1) YEAR AFTER ACCEPTANCE BY
- THE OWNER/ENGINEER RESERVES THE RIGHT TO REJECT ANY MATERIAL OR WORK IF IN HIS OPINION, IT IS NOT IN STRICT ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- WHERE PERMITTED BY CODE, BRANCH CIRCUIT WIRING RUNS ABOVE SUSPENDED CEILINGS IN STUD PARTITIONS, OR IN FURRED SPACES MAY BE "AC" TYPE ARMORED CABLE WITH THWN TYPE INSULATION. SUPPORT EVERY 4-1/2" AND 12" FROM EVERY OUTLET BOX. NONMETALLIC SHEETED CABLE CAN BE USED WHERE APPROVED BY LOCAL
- PROVIDE APPROPRIATE CONNECTORS FOR DISSIMILAR CONDUCTORS IF APPLICABLE: IE, CONNECTION OF COPPER CONDUCTORS TO ALUMINUM CONDUCTOR.

AND NATIONAL ELECTRIC CODES. ALL WIRING SHALL BE COTED WITH THWN INSULATION.

ROOF						
		0				FROM UTILITY POWER GRID
			SECOND FLOOR		4 #3/0+G 2	5 70
TO CAB ①		LEVATOR			4 #3/0+G 2.5	
LT. & FAN		HAFT		NEMA 3R FUSED	(E)	
3#6+G 1°C	A/C		200A 200A	AT 100A-7		4/#3/0+G 2.5°C
			P-A P-B			
 	ELEVATOR EQUIPMENT		(E) (E)	4(W) C		(E) 4 (E)
	(N)			(N)	(2) 4 #7	(010.250
4#	3+G (N) 1.5°C		MAIN LEVEL	GRADE	4 #1+G 1.5*C	/0+G 2.5"C
GROUND PER NEC ART, 250		PIT				
PROVIDE A 10'	عاا					
GROUND ROD.		<u>ត</u>				
			SEE NOTE 1			
		NOTES				
2.	POWER RISER DIAGRAM		NOT PLACE ANY POWER CO			
	NO SCALE		s lines or other service de or below the elevato			
		P01	MER AND CONTROL WIRING (FOR THE		
		THE	ELEVATOR OPERATION IS:	OK.		
and the second of the second o		2 17 (WAS DETERMINED BY GILLD	CURRENT		

2. IT WAS DETERMINED BY FIELD CURRENT MEASUREMENTS TAKEN ON 6-17-99 THAT THE CT CABINET CAN HANDLE THE NEW LOAD.

3. COORDINATE THE CT CABINET TAP CONNECTION WITH THEW LOCAL POWER COMPANY.



CIRC: BRANCH CIRC. BREAKER RACEWAY CONDUIT NUMBER POLE FRAME TRIP SIZE SIZE DESCRIPTION 70A 20A 2#12+G AC CAB LTS & FAN (N) 4
70A 20A 2#12+G 1/2" GFI DUPLEX (N) 3
70A 60A 3#6+G 1" ELEV POWER CKT. (N) 60 5,7,9 PANEL P1 BLANKS 70A 20A 2#12 ____ 120/208V MACHINE ROOM LT 3¢ 4W, 100A SURF. MOUNT 70A 20A 2#12 1/2 A/C UNIT OUTLET 12 CKTS 2#12 BLANKS 6-12 1 70A 20A TOTAL CONNECTED LOAD 9.6 KW TOTAL/ø 26 LOAD FACTOR DEMAND LOAD 9.6 KW

FIRE ALARM NOTES:

PANEL SCHEDULE:

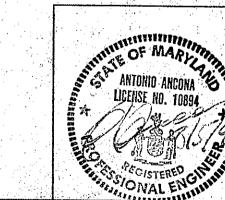
AUDIBLE ALARMS: AUDIBLE EMERGENCY ALARMS SHALL PRODUCE A SOUND THAT EXCEEDS THE PREVAILING EQUIVALENT SOUND LEVEL 2.5 THE FLASH RATE SHALL BE A MINIMUM OF 1 Hz AND A MAXIMUM OF 3 Hz. IN THE ROOM OR SPACE BY AT LEAST 15 DBA OR EXCEEDS ANY WHICH EVERUS LOUDER.

SOUND LEVELS FOR ALRMS SHALL NOT EXCEED 120 DBA. VISUAL ALARMS: VISUAL ALARM SIGNAL APPLIANCES SHALL BE INTEGRATED INTO THE BUILDING OR FACILITY ALARM SYSTEM. IF SINGLE STATION AUDIBLE ALARMS ARE PROVIDED. THEN SINGLE

- STATION VISUAL ALARM SIGNALS SHALL BE PROVIDED. VISUAL ALARM SIGNALS SHALL HAVE THE FOLLOWING MINIMUM PHOTOMETRIC AND LOCATION FEATURES: 2.1 THE LAMP SHALL BE A XENON STROBE TYPE OR EQUIVALENT
- 2.2 THE COLOR SHALL BE CLEAR OR NOMINAL WHITE (i.e. UNFILTERED) OR CLEAR FILTERED WHITE LIGHT). 2.3 THE MAXIMUM PULSE DURATION SHALL BE TWO-TENTHS OF ONE
- SECOND (0.2 SEC.) WITH A MAXIMUM DUTY CYCLE OF 40 PERCENT. THE PULSE DURATION IS DEFINED AS THE TIME OF INTERVAL BETWEEN INITIAL AND FINAL POINTS OF 10 PERCENT OF MAXIMUM
- 2.4 THE INTENSITY SHALL BE A MINIMUM OF 75/15 CANDELA

10000 AIC

- MAXIMUM SOUND LEVEL WITH A DURATION OF 60 SECONDS BY 5 DBA, 2.6 THE APPLIANCE SHALL BE PLACED 80 INCHES (2030mm) ABOVE THE HIGHEST FLOOR LEVEL WITHIN THE SPACE OR 6 INCHES (152mm) BELOW THE CEIING, WHICHEVER IS LOWER.
 - IN GENERAL, NO PLACE IN ANY ROOM OR SPACE REQUIRED TO HAVE A VISUAL SIGNAL APPLIANCE SHALL BE MORE THAN 50 FEET (15m) FROM THE SIGNAL (IN THE HORIZONTAL PLANE). IN LARGE ROOMS AND SPACES EXCEEDING 100 FEET (30m) APART, IN LIEU OF SUSPENDING APPLIANCES FROM THE CEILING. 2.7 NO PLACE IN COMMON CORRIDORS OR HALLWAYS IN WHICH
 - VISUAL ALARM SIGNALLING APPLIANCES ARE REQUIRED SHALL BE MORE THAN 50 FEET (15m) FROM THE SIGNAL. 2.8 FIRE ALARM SYSTEM IS TO BE INTEGRATED WITH SPRINKLER FIRE PROTECTION SYSTEM. SEE SPRINKLER SPECIFICATIONS.
 - 2.9 FIRE ALARM SYSTEM TO COMPLY WITH NFPA 101, NFPA 72A AND ADA. ALARM IS TO BE INTEGRATED WITH SPRINKLER SYSTEM AND SHALL AUTOMATICALLY NOTIFY FIRE DEPARTMENT BY TEL. ALARM CONTRACTOR SHALL OBTAIN A SEPARATE PERMIT



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HAYTTSTOWN FIRE HOUSE #9 **ELEVATOR ADDITION** 25801 FREDERICK ROAD CLARKSBURG, MD 20871

ANTONIO ANCONA, P.E. MD. LIC. No. 10894 VA. LIC. No. 18368 DC LIC. No. 7877

REV. 1: NO CHANGE AA-9937-ME1 REV. NO. 0 DATE: 7-09-99 SCALE: 1/4"=1'-0" <u>8-03-99</u> ELECTRIC/MECHANICAL PLAN ME1

Expedited

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

25801 Frederick Road

Meeting Date:

09/08/99

Resource:

Hyattstown Historic District

Report Date:

08/31/99

Hyattstown Vol. Fire Department

Review:

HAWP

Public Notice:

08/25/99

Case Number:

10/59-99D

Tax Credit: None

Applicant:

Jeff Gross

Staff: Robin Ziek/ Michele Naru

PROPOSAL: Construct an exterior elevator tower and machine room on the rear of the existing

Fire station.

RECOMMEND:

Approve with condition.

PROJECT DESCRIPTION

SIGNIFICANCE:

Contemporary resource in Hyattstown Historic District.

STYLE:

Twentieth Century Brick Firehouse

DATE:

1945.

This two-story brick building, set upon a concrete foundation, is covered with a hanger type roof featuring end walls with stepped parapets. The walls are CMU block with a brick veneer. The three south bays of the east elevation contain a metal staircase leading to the second floor entry.

PROPOSAL

The applicant proposes to construct an exterior elevator tower and mechanical room on the rear (east) elevation.

STAFF DISCUSSION

This proposed new elevator tower will be located at the rear of the property with only a minimal view from Hyattstown Mill Road. The tower would not be visible from Frederick Road. the main artery through the historic district.

The main concern of staff is to clearly differentiate the two periods of construction. The elevator tower will be constructed of CMU block with a brick veneer. Staff would encourage the applicant to use a brick veneer with a slight color differential.

The LAP has not yet responded at the time this report was prepared.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with condition* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #9 and #10:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the condition:

1. The contractor will supply the staff with samples of brick for approval.

with the general condition applicable to all Historic Area Work Permits that the applicant will present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and will arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

HISTORIC AREA WORK PERMIT

Contact Person:

Daytime Phone No.: Tax Account No.: Name of Property Owner: Hatts fow Vol. Fine Dest. Daytime Phone No.: 301 831 Phone No.: Contractor: Contractor Registration No.: Daytime Phone No.: Agent for Owner: LOCATION OF BUILDING/PREMISE Street old Hundred Rd Nearest Cross Street: 27. 109 Block: Subdivision: Folio: Parcel: PART ONE: TYPE OF PERMIT ACTION AND USE 1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE: Alter/Renovate Construct ☐ Extend ☐ A/C ☐ Slab ☐ Room Addition ☐ Porch ☐ Deck ☐ Shed ☐ Solar ☐ Fireplace ☐ Woodburning Stove ☐ Single Family ☐ Install ☐ Wreck/Raze □ Move Dother: Lleuston ☐ Fence/Wall (complete Section 4) □ Revision ☐ Repair ☐ Revocable 35000,00 1B. Construction cost estimate: \$ 1C. If this is a revision of a previously approved active permit, see Permit # PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS 01 WSSC 03
Other: 2A. Type of sewage disposal: 02
Septic 01
WSSC 2B. Type of water supply: 02 Well 03 🗌 Other: PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL inches Height feet Indicate whether the fence or retaining wall is to be constructed on one of the following locations: ☐ On public right of way/easement ☐ On party line/property line ☐ Entirely on land of owner I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit. Signature of owner or authorized agent For Chairperson, Historic Preservation Commission Approved:

Signature:

Disapproved:

HAWP for Elevator addition at the Hyattstown Vol. Fire Dept.

Adjacent property owners:

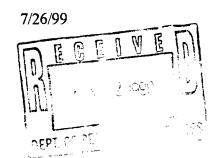
South- Md. Nat'l. Capital Park and Planning Comm. 8787 Georgia Ave. Silver Spring, MD

West- Wash. Suburban Sanitary Comm. 14501 Sweitzer Ln. Laurel, MD

> John Croghan 15300 Croghan Ln. Clarksburg, MD 20871

North- Helen Burdette 22711 Mt. Ephraim Rd. Dickerson, MD 20842

East- Hyatt Recreation 6328 New Haven Ct. Frederick, MD 21703





HYATTSTOWN VOLUNTEER FIRE DEPT., INC.

Emergency Dial 911

Company 9 25801 Frederick Road Clarksburg, Maryland 20871

(301) 972-3398 (301) 831-8499

July 25, 1999

Historic Preservation Commission 8787 Georgia Ave. Silver Spring, MD

RE: Elevator addition to the Hyattstown Vol. Fire Dept.

Our building was constructed during World War II and was not completed until 1945. It was never intended to have an elevator and that is why it has an imposing set of stairs. Five years ago our building underwent a substantial renovation and upgade to comply with the A.D.A. code, but that only pertained to the first floor of the building. Since then we have wanted to have our 2nd floor accessable to all.

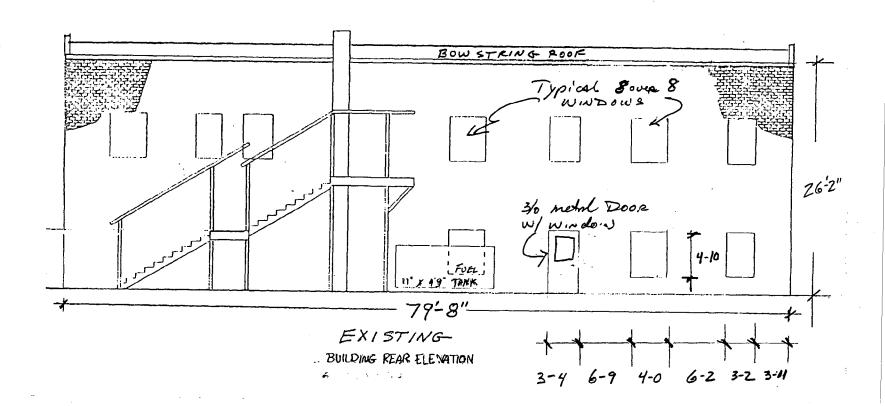
Our auxillary has now provided funds to build an elevator that will allow all visitors complete access to our facility. Frequent public meetings, department events and moving supplies upstairs will now be safer, easier and compliant with the code.

However because the building was not designed to have an elevator inside, we have located and designed one to be placed on the exterior, at the rear of the building. Our goal is to comply with all your requirements and alleviate our problem. We hope that your staff and commission will agree.

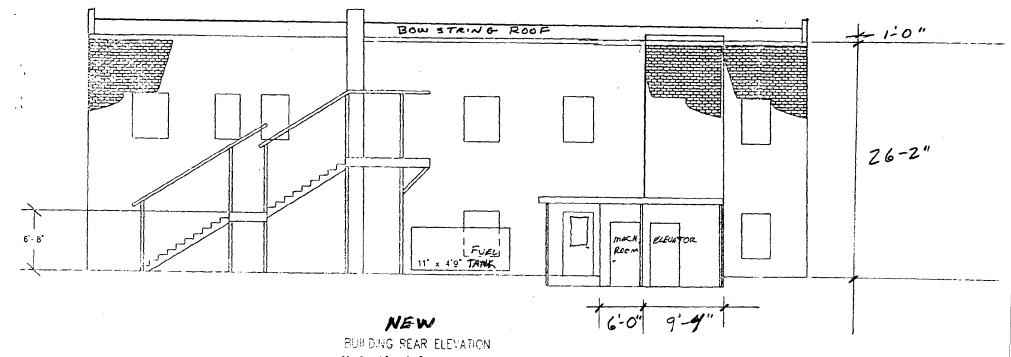
Sincerely yours,

ffrey C. Gross

Elevator Committee



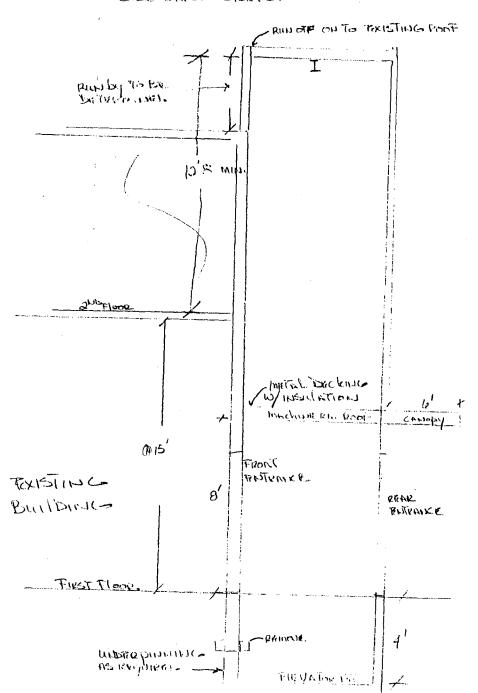
...



\$04.E: 1/8" = 1'-0"

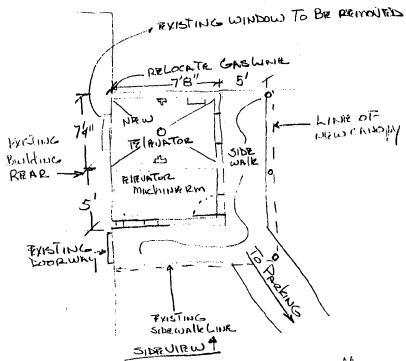
Claursburg Fire House Conceptual FIRVATOR

SIDE VIRW SKRTCH

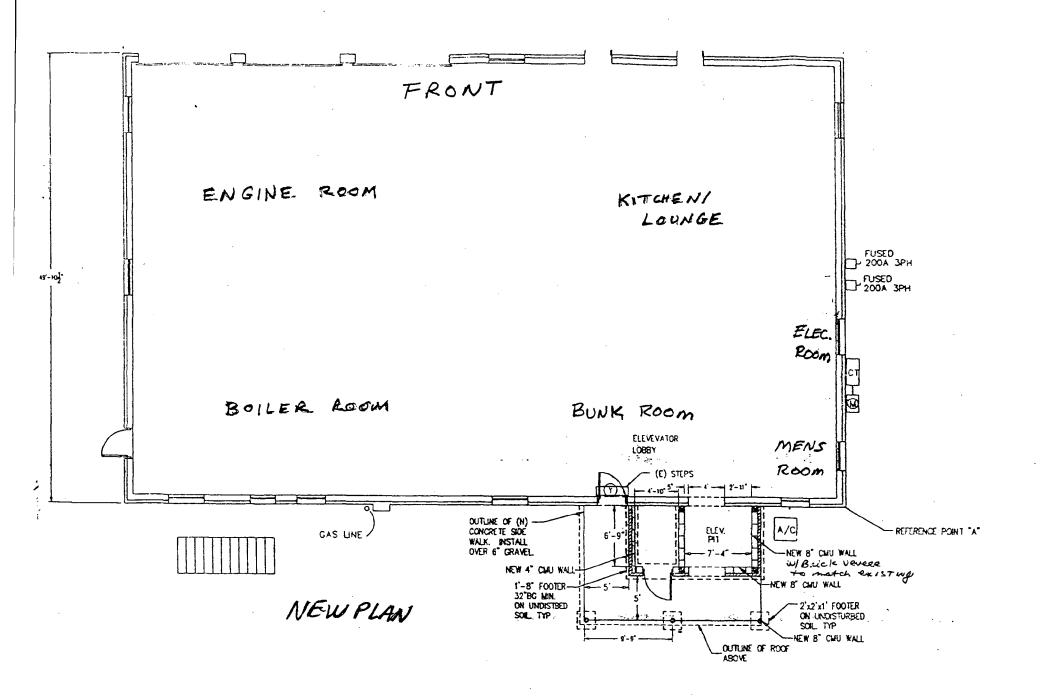


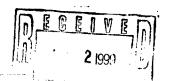
Clarksburg FIRRHOUSE Conceptual Felruator

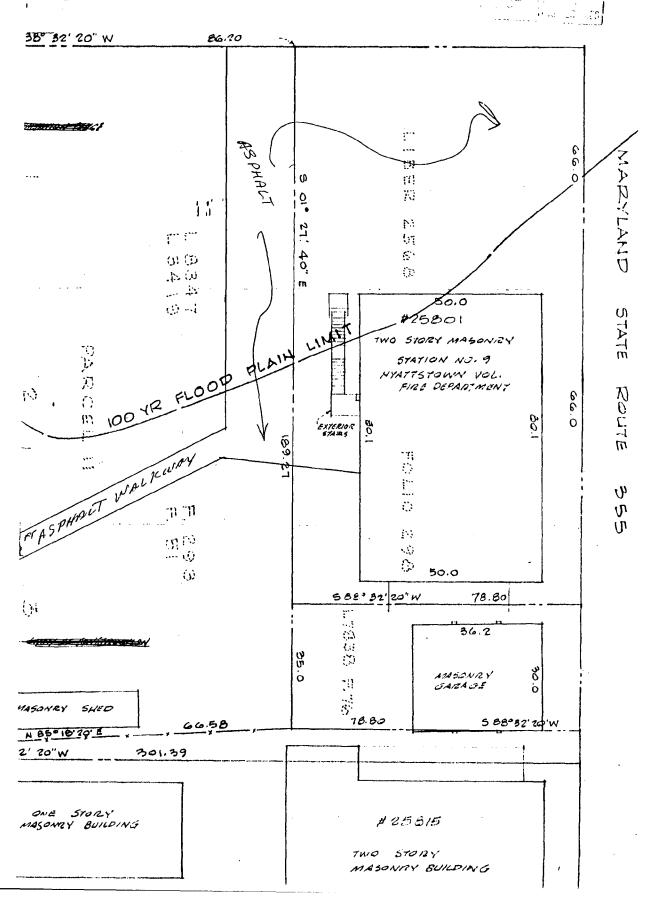
Floor Plan SKRTCH

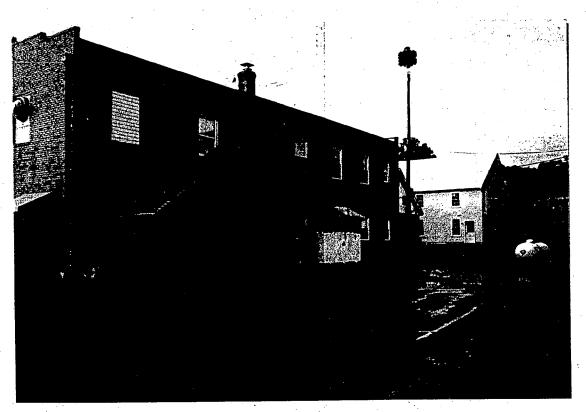


Brick URLKING ON 8"CMLL LYNTE BRICK TO MATCH AS CLOSK AS DOSSIBLE CLADDING AND PAINT TO MATCH AS CLOSK AS DOSSIBLE BOYK RUBBER MINIMURAL ROOTING AT CANOPY THIS SHAFT TEXISTING FINISHES DAMAGED WILLDER LEPPAIRED

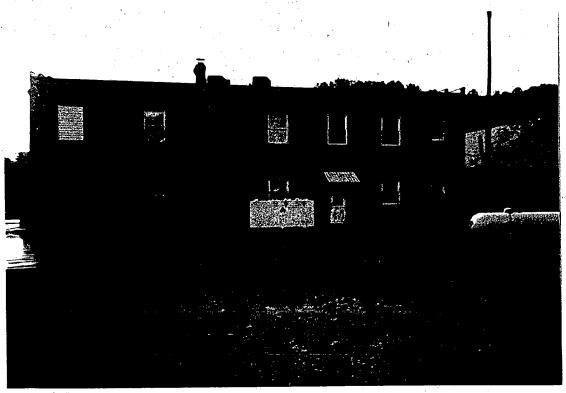




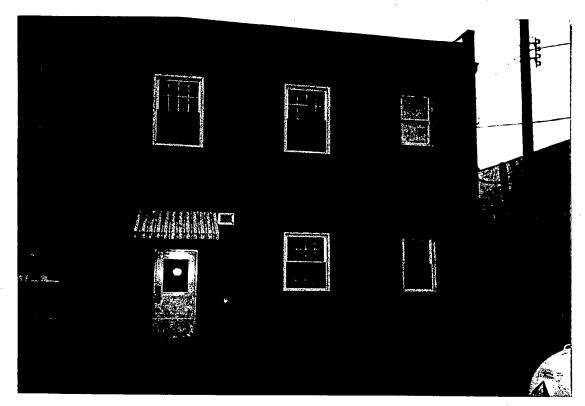




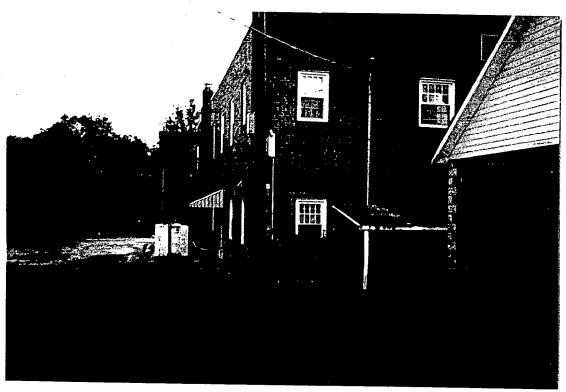
BUILDING AS SCENE FROM HYATTSTOWN MILL ROAD



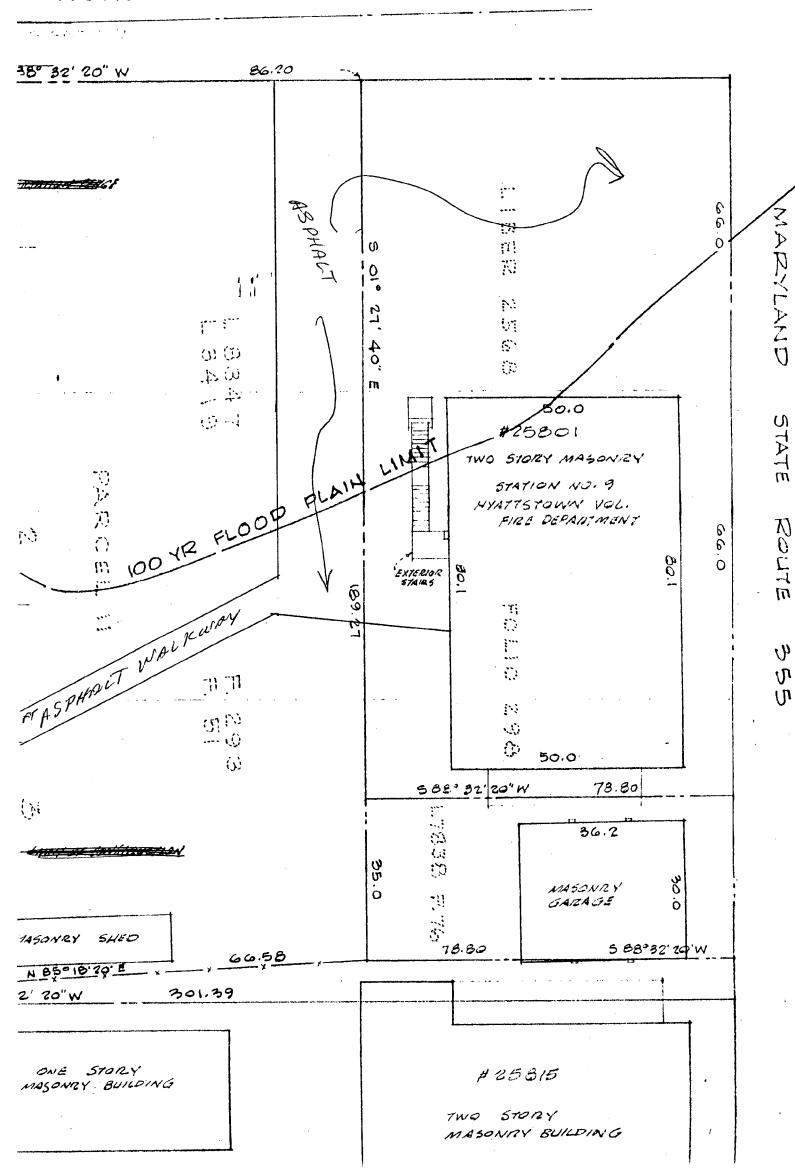
REAR VIEW OF THE FIRE HOUSE AND BURDETTE'S BUILDING



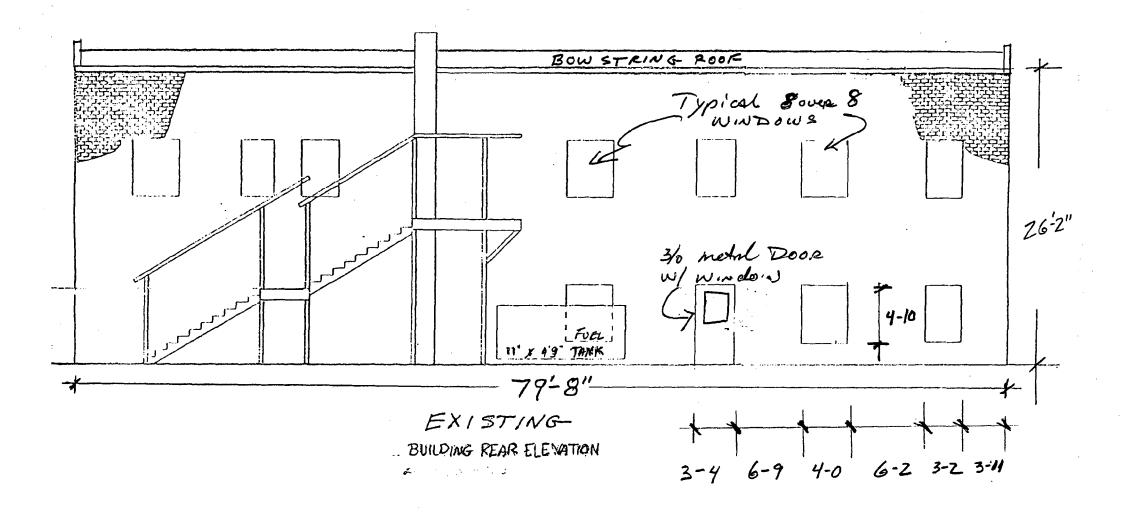
CLOSE-IN VIEW OF PROPOSED ELEVATOR LOCATION (BETWEEN DOOR AND RIGHT WINDOWS)



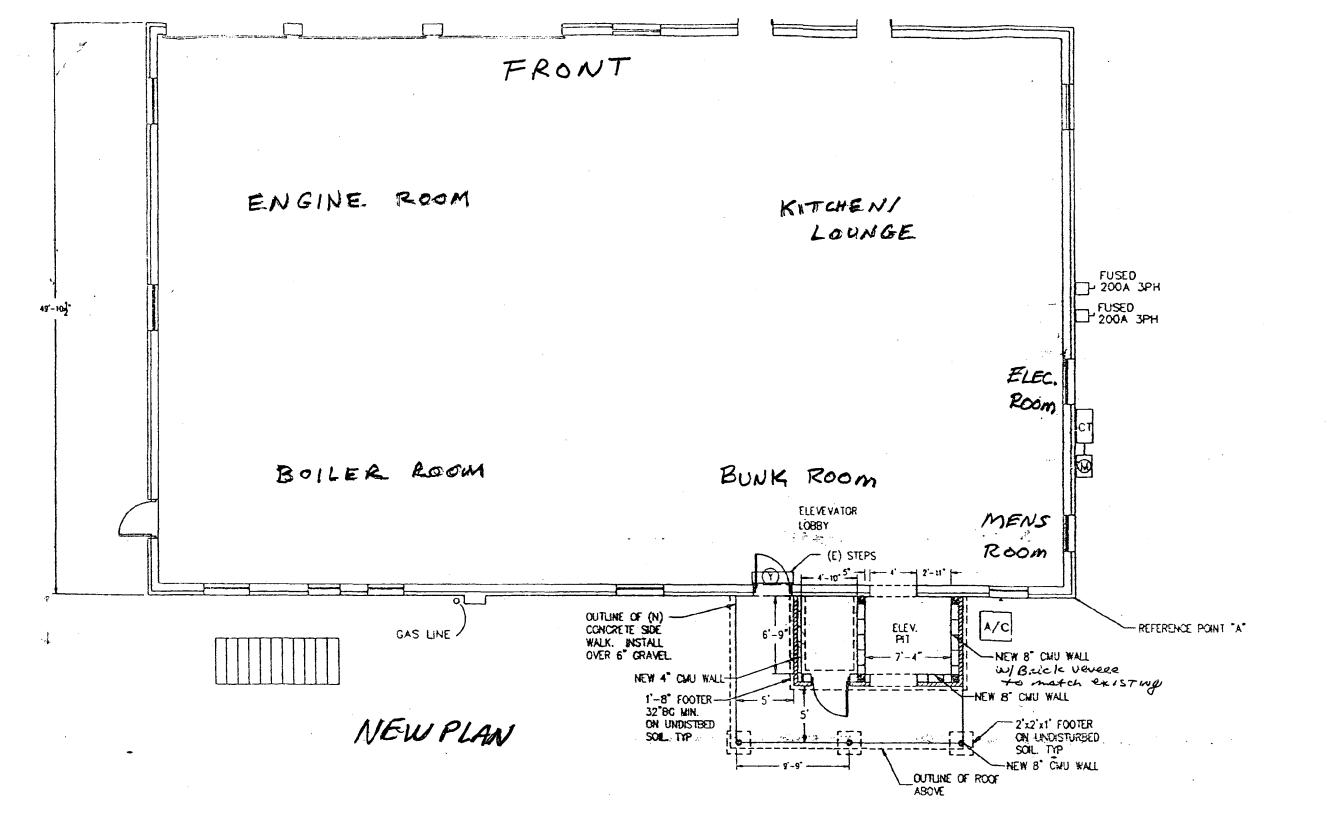
BUILDING AS SCENE FROM BURDETT'S PROPERTY



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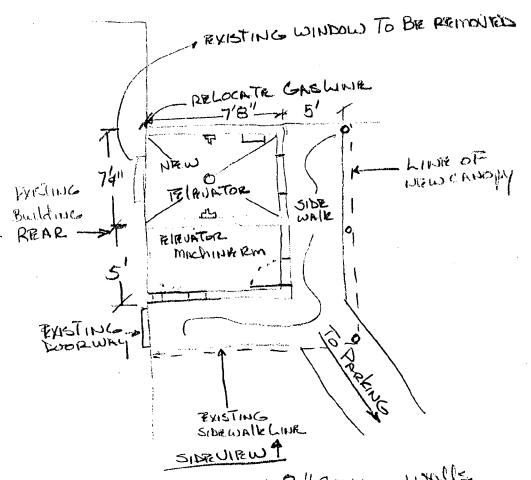


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Clarksburg FIRRHOUSE Conceptual Felruator

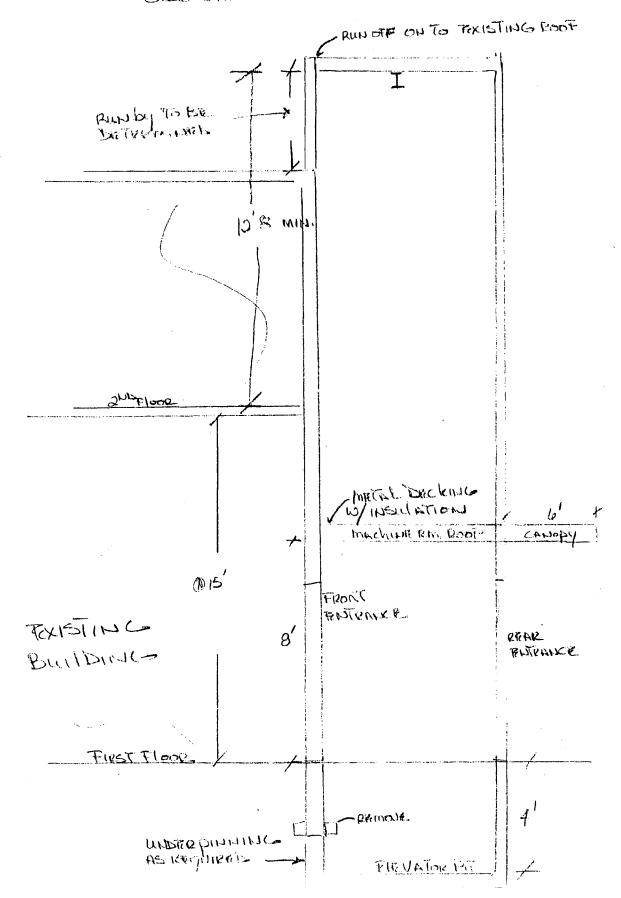
Floor Plan SKRTCH

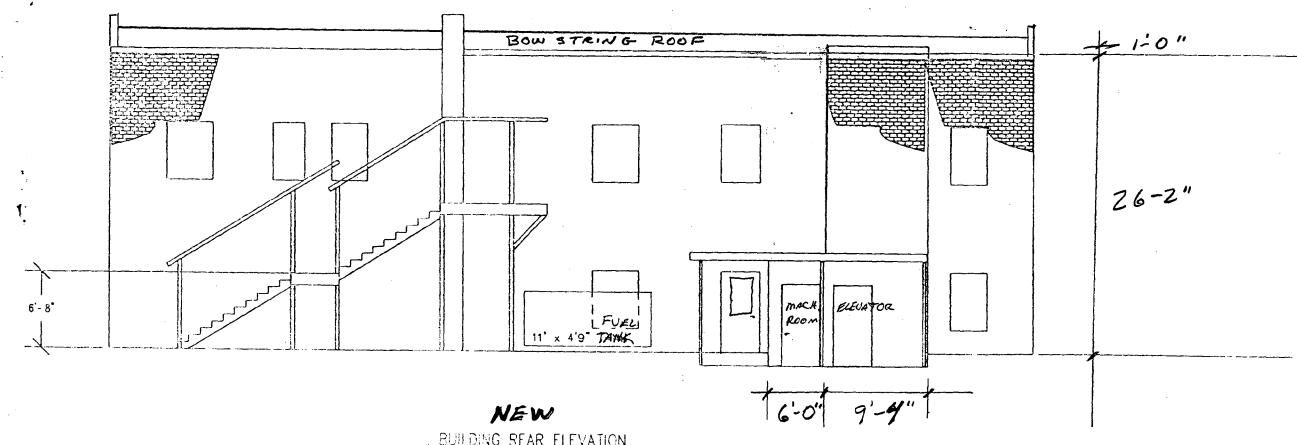


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Clarksburg FIREHOUSE Conceptual FIRUATOR

SIDE VIRWI SKRTCH





. BUILDING REAR ELEVATION SUSLE: 1/8" = 1'-0"