

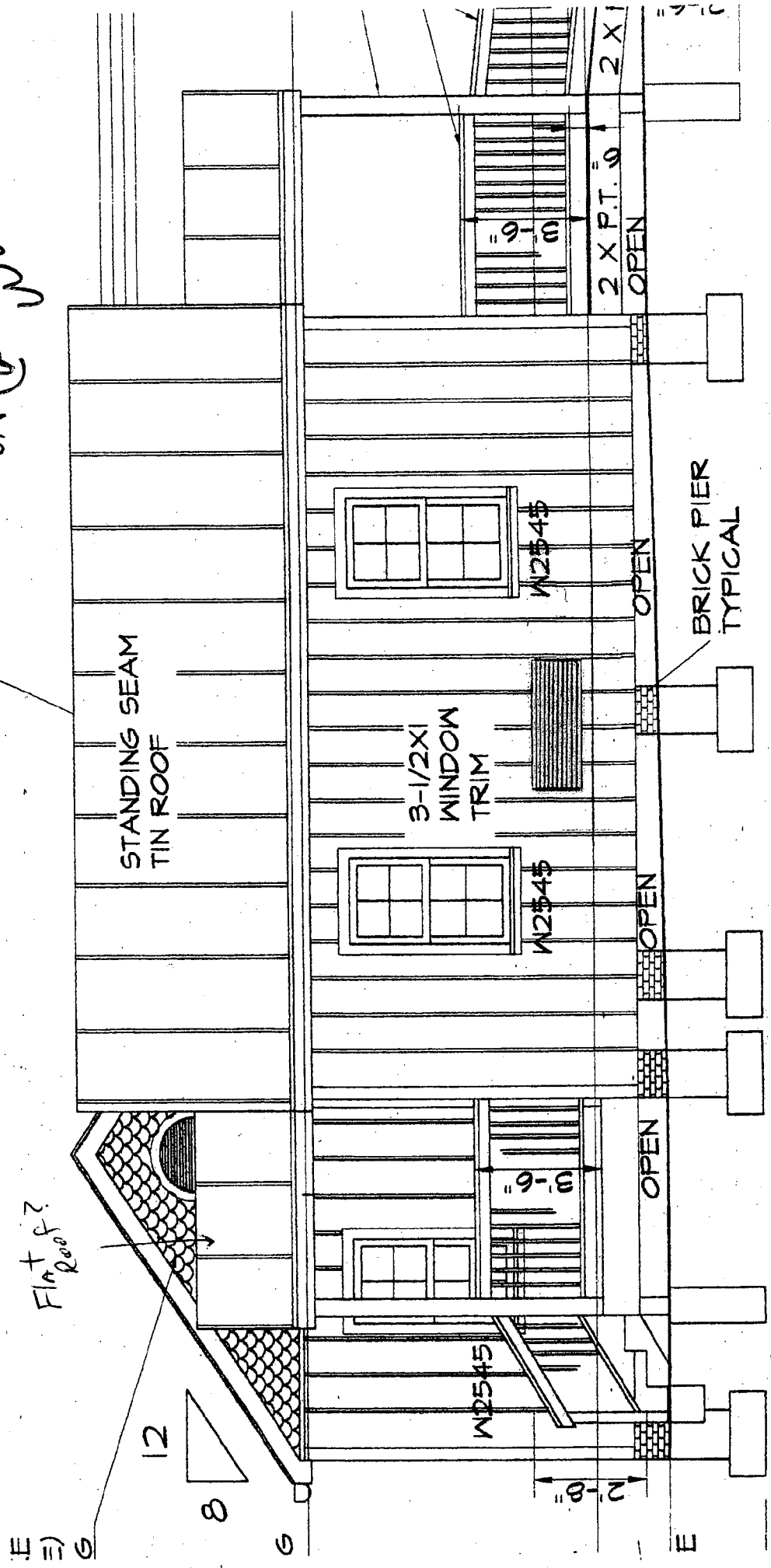
14/41-98A 8410 Brink Road  
(MP #14/41 Goshen Mennonite Ch.)

EXISTING BUILDING BEYOND

STAFF ITEM

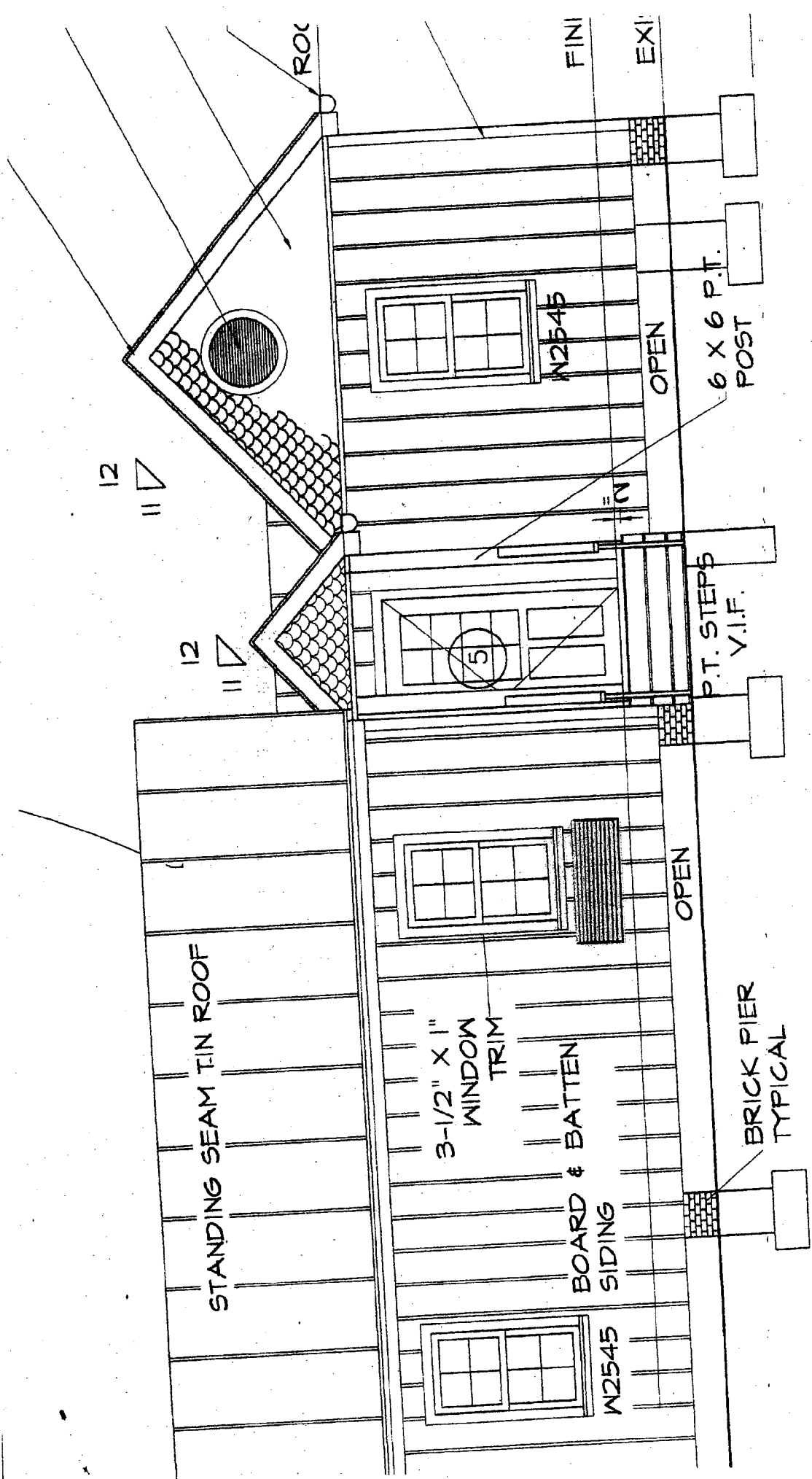
#1  
1' on side  
1' on back

HPC would like to see plan  
app @ 1/4/05



42' W  
19' D  
16' H

N



12  
11"

12  
11"

STANDING SEAM TIN ROOF

ROOF

3-1/2" X 1"  
WINDOW  
TRIM

BOARD & BATTEN  
BOARD & BATTEN  
SIDING

W2545

W2545

5

W2545

FINI

EXI

OPEN

OPEN

P.T. STEPS  
V.I.F.

6 X 6 P.T.  
POST

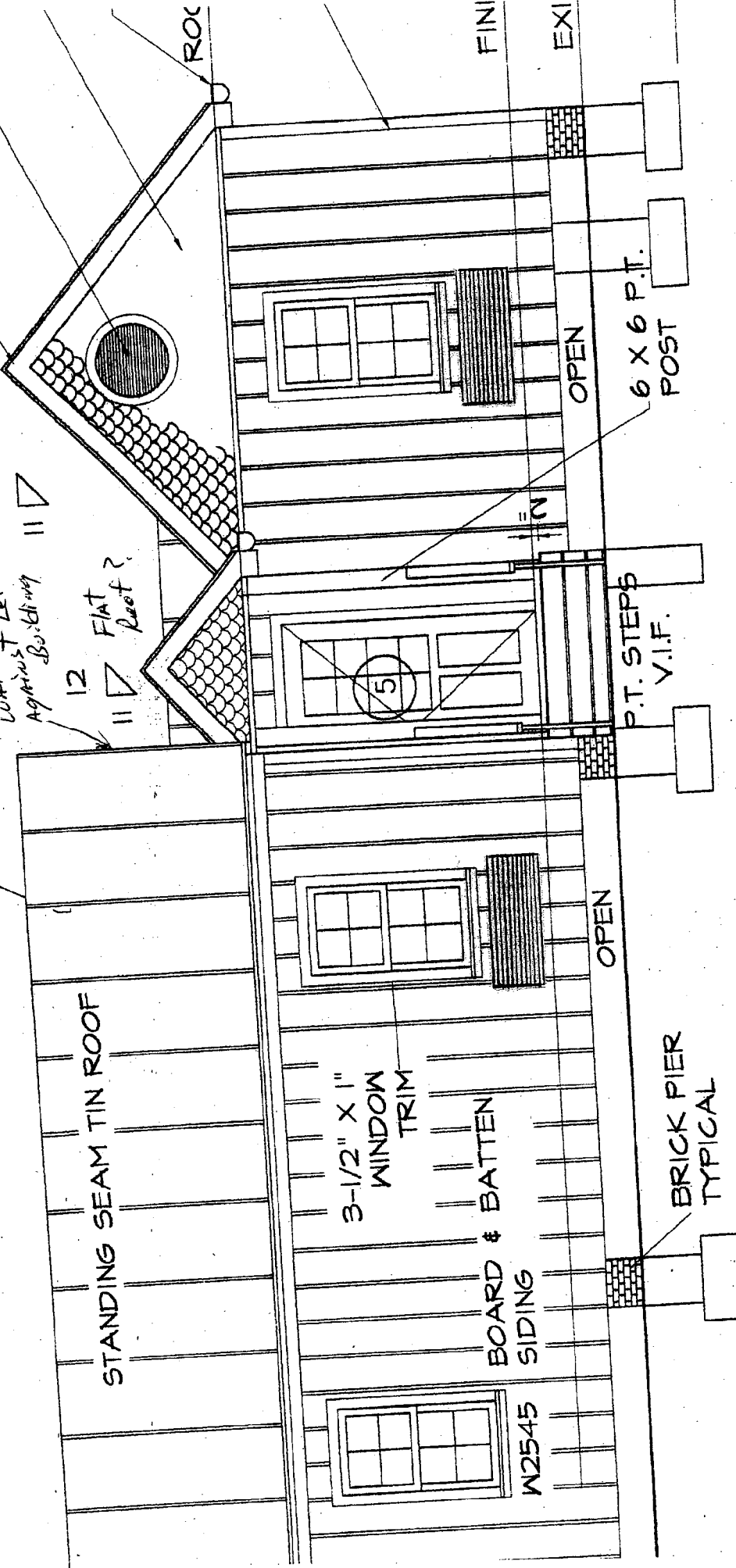
BRICK PIER  
TYPICAL

J



Both in Back #2

Water Left  
Against Building 12  
12  
FLAT  
Roof?



42 1/2 W  
19 3/8 D  
16 1/4 H



Heat Pumps

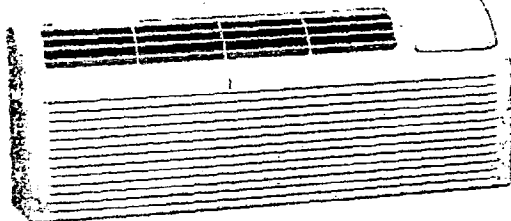
Call Click Stop By



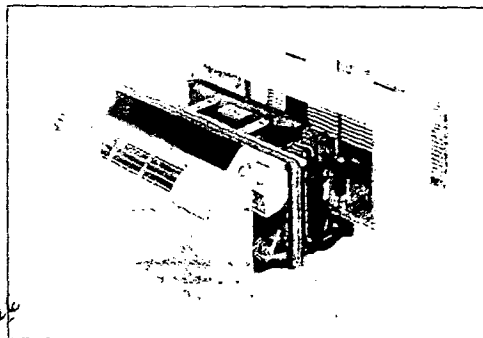
Repair Parts Available  
1-800-323-0620



INSIDE



No. 1VG79



No. 1VG79 shown with No. 3EC13 wall case and No. 4E758 exterior grille

3500 Deluxe  
534H  
2326  
4XE37  
1165

Heat pumps save more energy and cost less to operate than units with electric resistance heaters as the only heat source. Can operate in the heat pump mode down to around 25°F. Multistage thermostats react to the indoor temperature as well as the outdoor temperature in determining the heat source to provide comfortable room conditions and energy savings. All Zoneline units include the exclusive G.E. Superseal system that reduces air infiltration. Upfront air filters provide ease of cleaning. Two permanently lubricated fan motors are quiet and provide higher efficiency. Fan only setting, 2 speed. Rotary compressor is quiet and dependable. Consistent wall case dimensions 42 1/4" x 16 1/4" fit all G.E. Zoneline wall cases manufactured since 1961. For new installations, a wall case and grille are required.

Note: The Coefficient of Performance (COP) refers to relative efficiency of reverse cycle operation versus resistance heat. A COP rating of 3.0 produces 3 times as much heat at rating point of 47°F outdoor temperature as the same output wattage used for resistance heat.

Note: See page 3495 for outdoor terminal air conditioners. See page 3497 for accessories.

3500 DELUXE SERIES

Utilizes microcomputer controls and rotary knobs. 230/208 volt units have time cord attached. 265 volt units have junction box. Nos. 1VG79, 1VG84, 1VG89, 1VG87 and 1VG87 are corrosion-resistant models for installation close to a seacoast or highly corrosive industrial environments

5500 PREMIUM SERIES

Heat pump with simultaneous electric resistance heat. Microcomputer touch control with LED. Universal heaters (power cord required), reverse cycle heat pump defrost system, and self-diagnostics. Uses power connector kits sold as an accessory.

G.E. 1-YEAR FULL WARRANTY

1st year all parts and labor. 2nd through 5th year sealed system parts and labor. Limited parts-only warranty 2nd through 5th year. See "Manufacturers' Warranties" on page opposite inside back cover.

Power Supply	Ivory Receptacle Stock No.
20A	52833
30A	52895

RECEPTACLE ORDERING GUIDE

Voltage	Power Supply	BtuH	Heating KW	Amps	BtuH Cooling	EER	Reverse Cycle Heat BtuH	Heat COP	GE Model	Stock No.	Each	Shp. Wt.
<b>3500 DELUXE SERIES</b>												
230/208	20A	11,700/9,600	3.45/2.82	15.0/13.6	9,000/8,800	11.3/11.3	3,400/8,200	3.5/3.5	AZ35H09D38	1VG78	\$1102.00	115.5
230/208	20A	11,700/9,600	3.45/2.82	15.0/13.6	9,000/8,800	11.3/11.3	3,400/8,200	3.5/3.5	AZ35H09D3C	1VG79	\$1149.00	115.5
230/208	30A	17,000/13,900	5.0/4.09	21.7/19.7	9,000/8,800	11.3/11.3	3,400/8,200	3.5/3.5	AZ35H09D58	1VG80	\$1102.00	115.5
230/208	20A	11,700/9,600	3.45/2.82	15.0/13.6	11,700/11,500	10.7/10.7	10,900/10,700	3.3/3.3	AZ35H12D38	1VG83	\$1137.00	126.5
230/208	20A	11,700/9,600	3.45/2.82	15.0/13.6	11,700/11,500	10.7/10.7	10,900/10,700	3.3/3.3	AZ35H12D3C	1VG84	\$1184.00	127.5
230/208	30A	17,000/13,900	5.0/4.09	21.7/19.7	11,700/11,500	10.7/10.7	10,900/10,700	3.3/3.3	AZ35H12D58	1VG85	\$1137.00	124.5
230/208	20A	11,700/9,600	3.45/2.82	15.0/13.6	14,500/14,300	9.6/9.6	13,400/13,200	3.1/3.1	AZ35H15D38	1VG88	\$1222.00	135.5
230/208	20A	11,700/9,600	3.45/2.82	15.0/13.6	14,500/14,300	9.6/9.6	13,400/13,200	3.1/3.1	AZ35H15D3C	1VG89	\$1266.00	137.5
230/208	30A	17,000/13,900	5.0/4.09	21.7/19.7	14,500/14,300	9.6/9.6	13,400/13,200	3.1/3.1	AZ35H15D58	1VG90	\$1221.00	135.5
265	20A	12,600	3.7	14.3	9,000	11.3	8,400	3.5	AZ35H09E48	1VG81	\$1109.00	124.5
265	20A	12,600	3.7	14.3	9,000	11.3	8,400	3.5	AZ35H09E4C	1VG82	\$1155.00	115.5
265	20A	12,600	3.7	14.3	11,700	10.7	11,900	3.3	AZ35H12E48	1VG86	\$1139.00	127.5
265	20A	12,600	3.7	14.3	11,700	10.7	11,900	3.3	AZ35H12E4C	1VG87	\$1187.00	127.5
<b>5500 PREMIUM SERIES</b>												
230/208	15A†	8,600/7,000	2.53/2.09	11.1/10.0	9,000/8,800	11.3/11.3	3,400/8,200	3.5/3.5	AZ55H09DAB	1VG91	\$1273.00	121.5
230/208	20A†	11,700/9,600	3.45/2.82	15.0/13.6	11,800/11,500	10.7/10.7	10,900/10,700	3.3/3.3	AZ55H12DAB	1VG92	\$1328.00	130.5
230/208	30A†	17,000/13,900	5.0/4.09	21.7/19.7	14,700/14,400	10.0/10.0	15,400/13,200	3.1/3.1	AZ55H15DAB	1VG93	\$1420.00	145.5

(†) Heating capacity is determined by amperage of line cord ordered; see accessories for premium series model on page 3497.

HVAC

No. Steel

Make life easy  
Click on grainger.com

A/C & Refrigeration

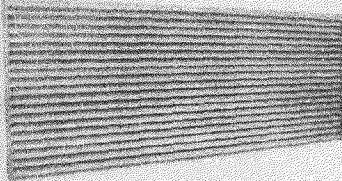
Air Conditioner & Heat Pump Accessories



Repair  
Parts Available  
1-800-323-0620



outside



No. 4YN01  
Exterior Grille



No. 4YN04  
Sub-base



No. 3EC13  
Fiberglass  
Wall Case



No. 4YM98  
Steel Wall Case

### Packaged Terminal Air Conditioner Accessories

#### EXTERIOR GRILLES

Protects coils, fan, and other components while blending architectural finish to building's outside appearance. Three styles available: the standard stamped aluminum grille No. 4E758, the molded architectural louvered (Lexan) grilles Nos. 4E759 (beige), 4E760 (maple), and 4E761 (dark brown), and the extruded aluminum architectural louvered grille No. 4YN01.

#### DRAIN ADAPTER KIT

Can be field installed to drain condensate water from the wall case. Kit can be used for draining condensate to inside or outside.

- Drain tube is 1/2" O.D. copper

#### SUB BASE

Made of heavy-gauge steel to provide support of the wall case. Full base enclosure with break-away side channels, and 4-point leveling legs. Will adapt to service conduit, circuit breakers and receptacles up to 30 amps. Used when units are hard wired or when line cord needs to be concealed.

#### FIBERGLASS WALL CASE

Molded SMC fiberglass-reinforced polyester compound. Measures 42 1/4" W x 13 3/4" D x 16 1/4" H. Minimum wall opening is 1/4" larger than the case dimensions. No. 4YM99 Fiberglass Wall Case sold in pack of 4. No. 3EC13 is sold in packages of 1.

#### STEEL WALL CASE

Heavy-gauge galvanized steel, with insulation. Measures 42" W x 13 3/4" D x 16" H. Minimum wall opening is 1/4" larger than the case dimensions.

- Priced and sold in packs of 4

#### PREMIUM 5500 SERIES POWER CONNECTOR KITS

Power connector kits required for 5500 series. See page 3496 for 5500 series units. Line cord type, 230/208V, No. 4NW85 is 15 amps, 6-15p plug, No. 4NW86 is 20 amps, 6-20p plug, No. 4NW87 is 30 amps, 6-30p plug.

#### DIGITAL NONPROGRAMMABLE THERMOSTATS

These thermostats offer an economical remote control solution for single-stage heat/cool and multi-stage heat pump applications. System includes Heat, Cool, or Off mode in addition to Fan On or Fan Auto selections. Units include a temperature safety circuit and backlight display. F or C compatible; 24V AC/DC compatible. No batteries are required for general operation. No. 3GY94 is for electric heat. No. 3GY65 is for heat pumps. 7-Day programmable thermostats can be ordered from Grainger at 1-800-323-0620.

Description	General Electric Model	Stock No.	Each	Shpg. Wt.
Exterior Grille-Stamped Aluminum	RAG60	4E758	\$24.49	4.8
Exterior Grille-Beige, Lexan Louvered	RAG61	4E759	67.60	5.0
Exterior Grille-Maple, Lexan Louvered	RAG62	4E760	67.60	5.0
Exterior Grille-Dark Brown, Lexan Louvered	RAG63	4E761	67.60	5.6
Exterior Grille-Extruded Aluminum Louvered	RAG67	4YN01	64.20	6.0
Drain Adapter Kit	RAD10	4E768	9.97	0.4
Sub base	RAK204U	4YN04	59.85	11.0
Fiberglass Wall Case	PAB77G1	3EC13	87.80	28.0
Fiberglass Wall Case (pack of 4)	PAB77G4	4YM99	332.25	28.0
Steel Wall case (pack of 4)	RAB71	4YM98	376.50	115.0
Premium 5500 Series Power Connector Kit (15 Amp)	PAK3182	4NW85	26.45	1.0
Premium 5500 Series Power Connector Kit (20 Amp)	PAK3202	4NW86	28.10	1.3
Premium 5500 Series Power Connector Kit (30 Amp)	PAK3302	4NW87	34.65	1.5
Digital Thermostat-Electric Heat	RAK163D1	3GY64	39.55	0.7
Digital Thermostat-Heat Pump	RAK147D1	3GY65	47.80	0.4

☞ = Shipped Directly from Manufacturer    ✓ = Extended Warranty Available    ★ = New Item


GRAINGER 3497



**STACY DYER**  
Permitting Services Specialist  
Division of Building Construction

Department of Permitting Services  
255 Rockville Pike, 2nd Floor  
Rockville, Maryland 20850-4166  
240/777-6209 • FAX: 240/777-6241  
TTY: 240/777-6256

[stacy.dyer@montgomerycountymd.gov](mailto:stacy.dyer@montgomerycountymd.gov)

<http://permits.emontgomery.org> 

code  
consultation  
mtg  
set-up



Tues - Fri  
next week

left  
msg of Stacy  
on 5/11/05

left msg of  
Hadi on  
9/12/05.

Stacey Dyer - Plan reviewer  
ramp requirements

Hadi Mansouri - gave approval  
for mod of Doors as  
per the attached drawing.

Sharahan.

258  
+603  
801

underpinning - structural engineer  
< 50 - DO NOT NEED EXIT. that's

Area of refuse -  
10' / 1 hr  
Fire wall

Needs a modification

architect drafting fire

- brick wall rating  
certify Separation Rating 001

- architect needs  
to make into 2 sep  
use - existing assembly  
addition - ~~business~~  
business/mercantile use

- separated mix-use

- come for a revision  
- go back to org plan for bathrooms

- brick/stone w/  
new rear door =  
penetrated wall.  
↳ barrier assembly

- separation btwn 2 uses

- 1 accessible ramp

separated mixed-use

Q1

an area of refuge

# MD 20882

50 FT ADDITION!  
801 SF

352384  
3/21/12

ADDITION

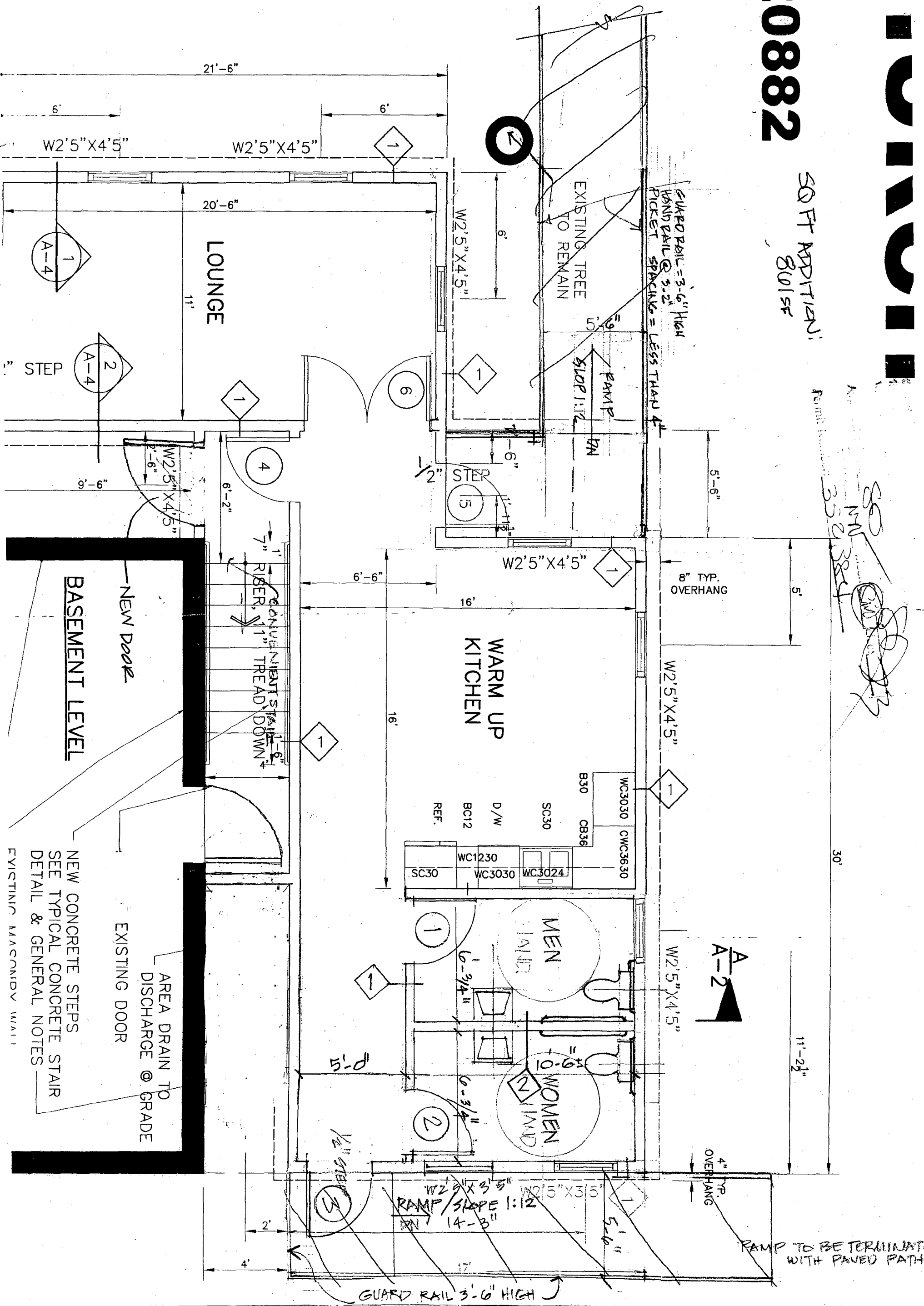
A-3  
VB  
Y ALLOWED)

787 SF  
F ALLOWED)

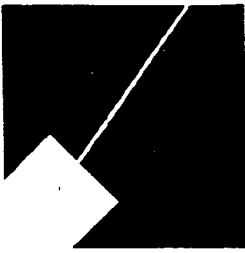
R

) HOUR  
) HOUR  
) HOUR  
) HOUR  
) HOUR

LOADING CODES:



M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 3/25/98

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator *RW*  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

           Approved

           Denied

X Approved with Conditions: \_\_\_\_\_

- (1) Replacement doors & windows will not utilize Snap-n-grills.
- (2) The addition will be painted
- (3) Additional landscaping or a revised plan will be made to  
Screen the new building from neighbors across the  
Street @ the NE corner area.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Goshen Cemetery Camp. Inc - Lee E. Mummall

Address: 6001 Conklyn Road, Leesville, MD 20882

\*\*\*THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING DPS/FIELD SERVICES (217-6240) FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.

Re: Goshen Mennonite Church # 14/41.



RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

**Historic Preservation Commission**  
 (301) 495-4570

**APPLICATION FOR  
 HISTORIC AREA WORK PERMIT**

TAX ACCOUNT # Dist 01 00003218 CONTACT PERSON Richard Metzger  
 DAYTIME TELEPHONE NO. (301) 831-7570  
 NAME OF PROPERTY OWNER Goshen Cemetery Comp Inc DAYTIME TELEPHONE NO. (301) 253-9449  
 ADDRESS 10001 Griffith Rd Laytonsville Md 20882  
CITY STATE ZIP CODE  
 CONTRACTOR Richard Metzger TELEPHONE NO. (301) 831-7570  
 CONTRACTOR REGISTRATION NUMBER 41370  
 AGENT FOR OWNER Goshen Monuments Church DAYTIME TELEPHONE NO. (301) 831-7628  
LEE MUMMAU Pastor

14/41

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 8410 STREET Brink Rd.  
 TOWN/CITY Laytonsville NEAREST CROSS STREET Brink & Goshen Hunt Ln  
 LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBDIVISION 1  
 LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL 6-11 P266

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: (A/C) Slab Room Addition  
 Construct  Extend  Alter/Renovate  Repair  Move  Porch  Deck  Fireplace  Shed  Solar  Woodburning Stove  
 Wreck/Raze  Install  Revocable  Revision  Fence/Wall (complete Section 4)  Single Family  Other \_\_\_\_\_  
 1B. CONSTRUCTION COST ESTIMATE \$ 48,691 because of in house contractor, cost will be less  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # 00

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL 01 ( ) WSSC 02 ( ✓ ) SEPTIC 03 ( ✓ ) OTHER see Bio  
 2B. TYPE OF WATER SUPPLY 01 ( ) WSSC 02 ( ✓ ) WELL 03 ( ) OTHER \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Lee E. Mummau Signature of owner or authorized agent 3/4/98 Date

APPROVED X w/conditions For Chairperson, Historic Preservation Commission

DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

APPLICATION/PERMIT NO: \_\_\_\_\_ DATE FILED: \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The structure is a brick church build in 1870. It is 4 1/2 x 3.  
It sits in trees skirted with a cemetery on the  
east and south.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

this project is to provide inside restrooms & a  
couple classrooms. 3. A counter, wood stove, sink, and siding.  
All handicaps accessible. Now we have outside Outhouse  
in Monty Co. (2)

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.

# NEW ADDITION TO GOSHEN MENNONITE CHURCH

8410 BRINK RD., LAYTONSVILLE, MD 20882

## SCOPE OF WORK

THIS IS A RESUBMISSION OF A PREVIOUSLY SUBMITTED PERMIT APPLICATION NUMBER 314668 REMOVED FROM THE MONTGOMERY COUNTY PERMITTING SERVICES SYSTEM IN SEPTEMBER 2003, ASSUMED TO BE INACTIVE. THE OWNER REPRESENTATIVE AND THE ARCHITECT OF RECORD MET AND CONSULTED WITH MR. HADI MANSOURI AND MR. THOMAS GIRONDA OF THE MONTGOMERY COUNTY PERMITTING OFFICE ON APRIL 27, 2004. AFTER REVIEWING THE PREVIOUSLY SUBMITTED DRAWINGS, MR. MANSOURI RECOMMENDED THE OWNER TO RESUBMIT THE PREVIOUSLY SUBMITTED DRAWINGS WITH A NEW COVER SHEET. THE NEW COVER SHEET SUBMITTED HERewith INCLUDES UPDATED CODE ANALYSIS AND REVISIONS RESPONDING TO ALL OF MR. MANSOURI'S COMMENTS. THE CONSTRUCTION SCOPE OF WORK INCLUDES THE CONSTRUCTION OF A NEW 887 SQUARE FEET, ONE-STORY WOOD FRAMED, ADDITION TO THE EXISTING BUILDING. NEW ELECTRICAL SERVICE, PLUMBING, HEATING AND VENTILATION WILL BE PROVIDED IN THE NEW ADDITION.

## GENERAL NOTES

- TYPICAL STAIR REQUIREMENTS:
  - RISER SHALL BE 7" MAXIMUM WITH 1 1/2" NOSING.
  - TREAD SHALL BE 11" MINIMUM.
  - HANDRAIL SHALL BE 1 1/4" DIAMETER MOUNTED AT 34" ABOVE NOSING. EXTEND HANDRAIL 24" HORIZONTALLY AT BOTTOM LANDING AND 12" AT TOP LANDING.

## CODE ANALYSIS

USE	EXISTING BUILDING CHURCH ASSEMBLY	NEW ADDITION CHURCH BUSINESS
IBC OCCUPANCY CLASSIFICATION	A-3	A-3
TYPE OF CONSTRUCTION	VB	VB
NUMBER OF STORIES ABOVE GRADE	1	1 (1 STORY ALLOWED)
HIGHRISE (Y/N)	N	N
COVERED MALL (Y/N)	N	N
FULLY SPRINKLERED (Y/N)	N	N
FLOOR AREA OF RENOVATION	1250 SF	787 SF (6000 SF ALLOWED)

## FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

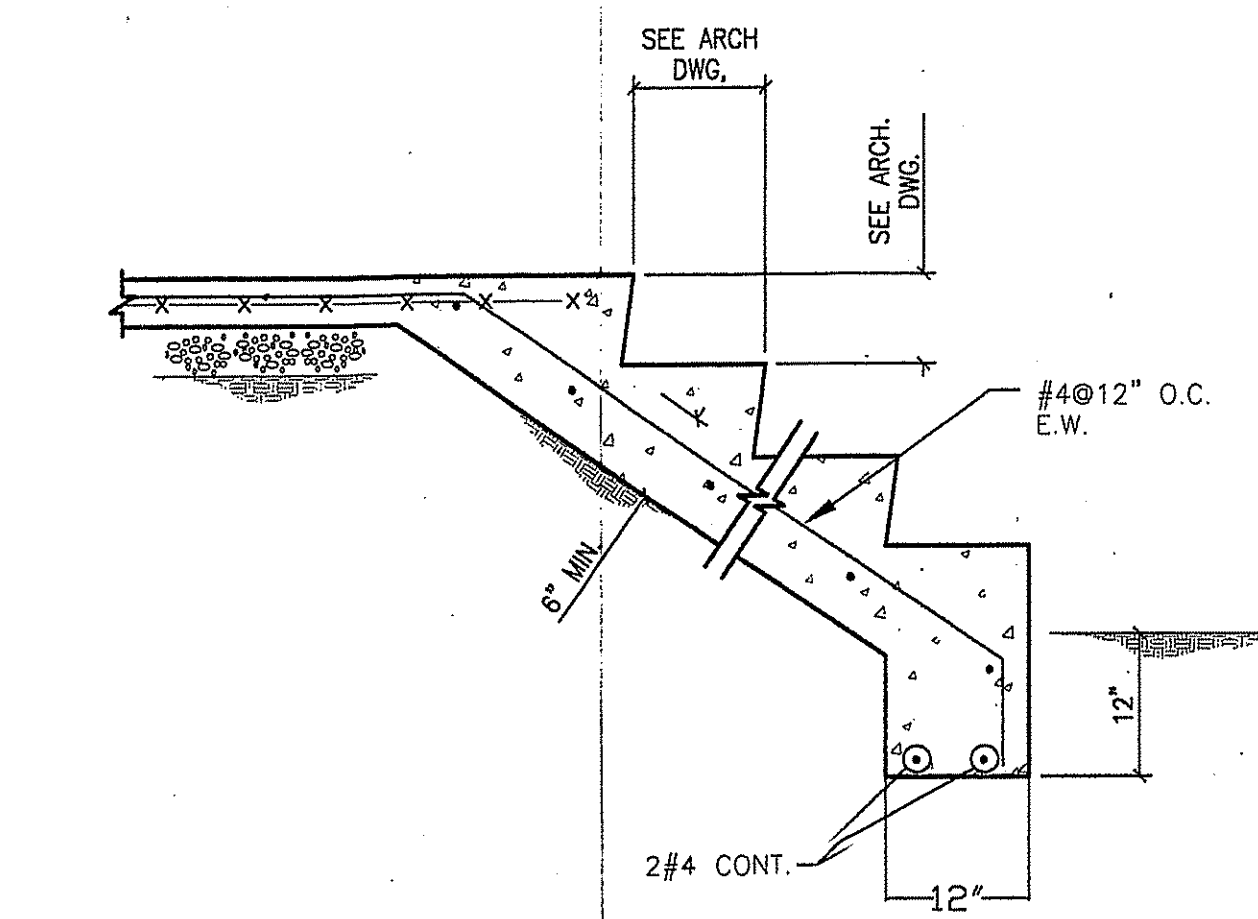
STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS, TRUSSES	0 HOUR
BEARING WALLS; EXTERIOR, INTERIOR	0 HOUR
NONBEARING WALLS AND PARTITIONS; EXTERIOR, INTERIOR	0 HOUR
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS	0 HOUR
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0 HOUR

## APPLICABLE BUILDING CODES

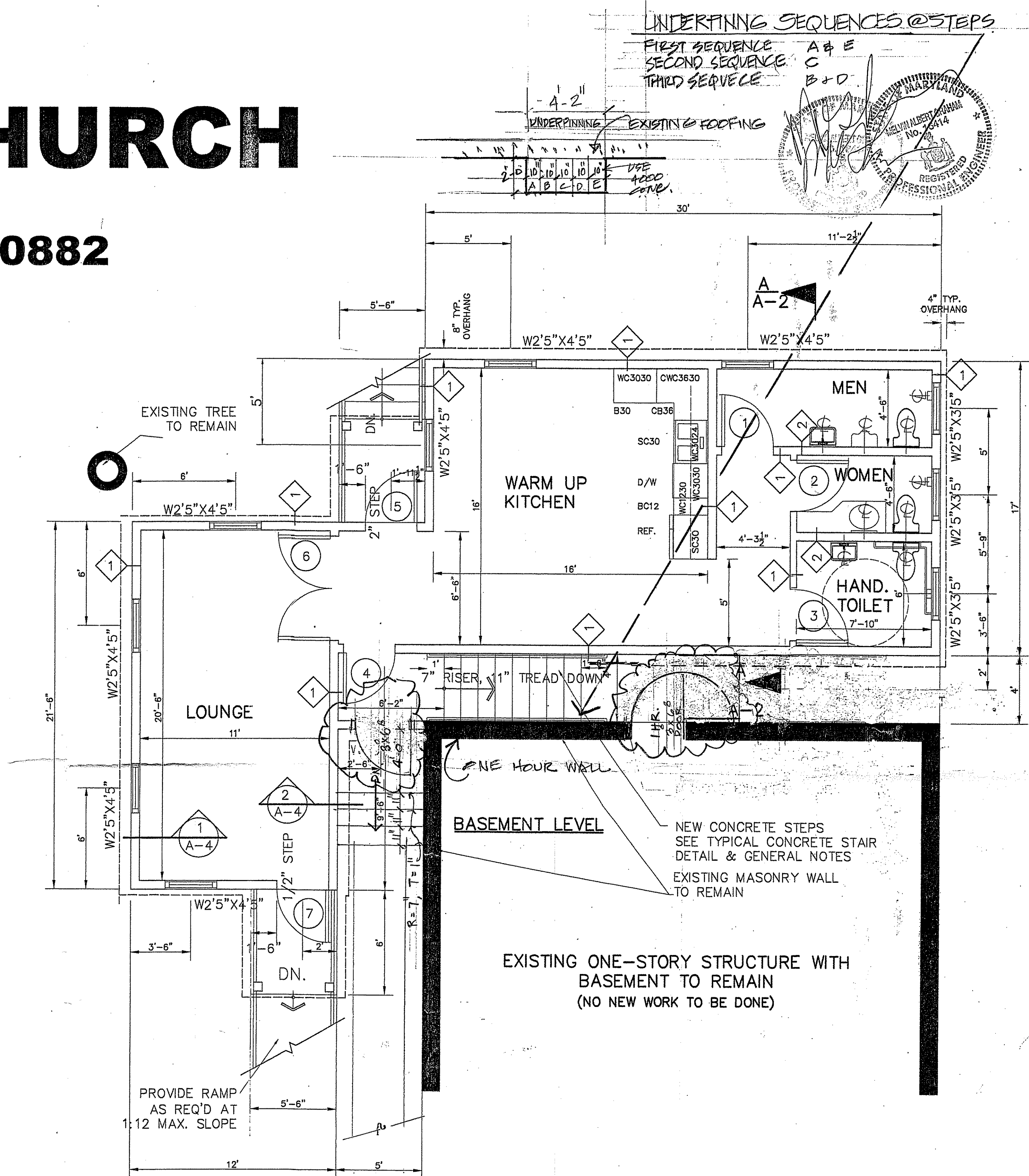
ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE FOLLOWING BUILDING CODES:  
 ICC INTERNATIONAL BUILDING CODE/2000 WITH LOCAL AMENDMENTS  
 MBRC MARYLAND BUILDING REHABILITATION CODE  
 NATIONAL ELECTRICAL CODE/1996 WITH LOCAL AMENDMENTS  
 ICC INTERNATIONAL MECHANICAL CODE/2000 WITH LOCAL AMENDMENTS  
 ICC INTERNATIONAL FUEL GAS CODE/2000  
 WSSC PLUMBING CODE  
 LIFE-SAFETY CODE NFPA - 101, 1997  
 FIRE ALARM NFPA - 72, 1996  
 SPRINKLER CODE NFPA - 13, 1996  
 ACCESSIBILITY COMAR 05.02.02  
 ENERGY CONSERVATION ICC INTERNATIONAL ENERGY CONSERVATION CODE

## DOOR SCHEDULE

DOOR NO.	SIZE	MATERIAL	FIRE RATING	REMARKS
1	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
2	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
3	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
4	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
5	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
6	(2)3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
7	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
8	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER



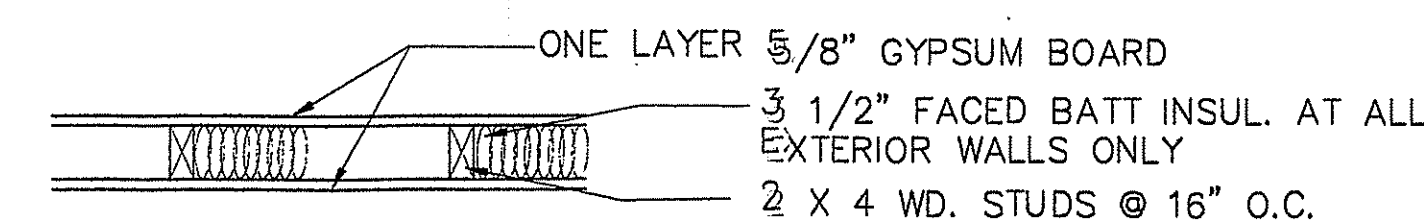
TYPICAL CONCRETE STAIR DETAIL  
SCALE: 3/4" = 1'-0"



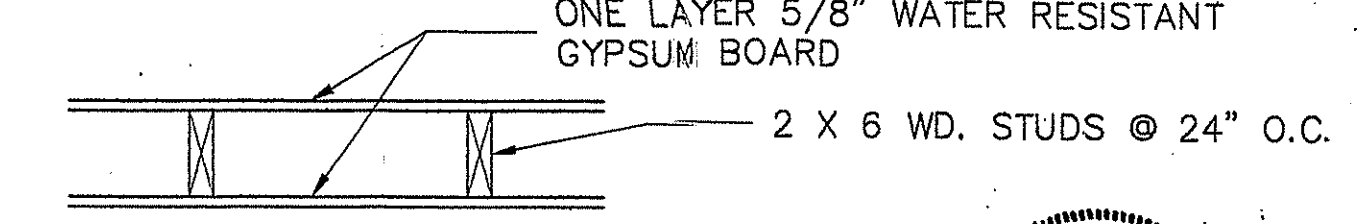
## FLOOR PLAN

SCALE: 1/4" = 1'-0"

## WALL TYPES



WALL TYPE 1



WALL TYPE 2

per DPS  
Revised mfg for accessibility  
APPROVED  
Montgomery County  
Historic Preservation Commission  
June 21, 2005



14505 BRIARWOOD TERRACE  
ROCKVILLE, MD 20853  
(301) 460-9232

es on inc. ARCHITECTURE PLANNING INTERIORS MANAGEMENT

NEW ADDITION TO  
GOSHEN MENNONITE CHURCH  
8410 BRINK RD., LAYTONSVILLE, MD 20882

COVER SHEET & FLOOR PLAN

SCALE: 1/4" = 1'-0"  
DATE: 05/03/04  
DRAWN: KV  
CHECKED: KV

REVISIONS:  
05/03/04 PERMIT

BY: [Signature]  
per DPS  
accessibility

A-1



# NEW ADDITION TO GOSHEN MENNONITE CHURCH

8410 BRINK RD., LAYTONSVILLE, MD 20882

## SCOPE OF WORK

THIS IS A RESUBMISSION OF A PREVIOUSLY SUBMITTED PERMIT APPLICATION NUMBER 314668 REMOVED FROM THE MONTGOMERY COUNTY PERMITTING SERVICES SYSTEM IN SEPTEMBER 2003, ASSUMED TO BE INACTIVE. THE OWNER REPRESENTATIVE AND THE ARCHITECT OF RECORD MET AND CONSULTED WITH MR. HADI MANSOURI AND MR. THOMAS GIRONDA OF THE MONTGOMERY COUNTY PERMITTING OFFICE ON APRIL 27, 2004. AFTER REVIEWING THE PREVIOUSLY SUBMITTED DRAWINGS, MR. MANSOURI RECOMMENDED THE OWNER TO RESUBMIT THE PREVIOUSLY SUBMITTED DRAWINGS WITH A NEW COVER SHEET. THE NEW COVER SHEET SUBMITTED HEREWITH INCLUDES UPDATED CODE ANALYSIS AND REVISIONS RESPONDING TO ALL OF MR. MANSOURI'S COMMENTS. THE CONSTRUCTION SCOPE OF WORK INCLUDES THE CONSTRUCTION OF A NEW 887 SQUARE FEET, ONE-STORY WOOD FRAMED, ADDITION TO THE EXISTING BUILDING. NEW ELECTRICAL SERVICE, PLUMBING, HEATING AND VENTILATION WILL BE PROVIDED IN THE NEW ADDITION.

## CODE ANALYSIS

	EXISTING BUILDING	NEW ADDITION
IBC OCCUPANCY CLASSIFICATION	A-3	A-3
TYPE OF CONSTRUCTION	VB	VB
NUMBER OF STORIES ABOVE GRADE	1	1 (1 STORY ALLOWED)
HIGHRISE (Y/N)	N	N
COVERED MALL (Y/N)	N	N
FULLY SPRINKLERED (Y/N)	N	N
FLOOR AREA OF RENOVATION	1250 SF	787 SF (6000 SF ALLOWED)

## FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS

STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS, TRUSSES	0 HOUR
BEARING WALLS; EXTERIOR, INTERIOR	0 HOUR
NONBEARING WALLS AND PARTITIONS; EXTERIOR, INTERIOR	0 HOUR
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS	0 HOUR
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0 HOUR

## APPLICABLE BUILDING CODES

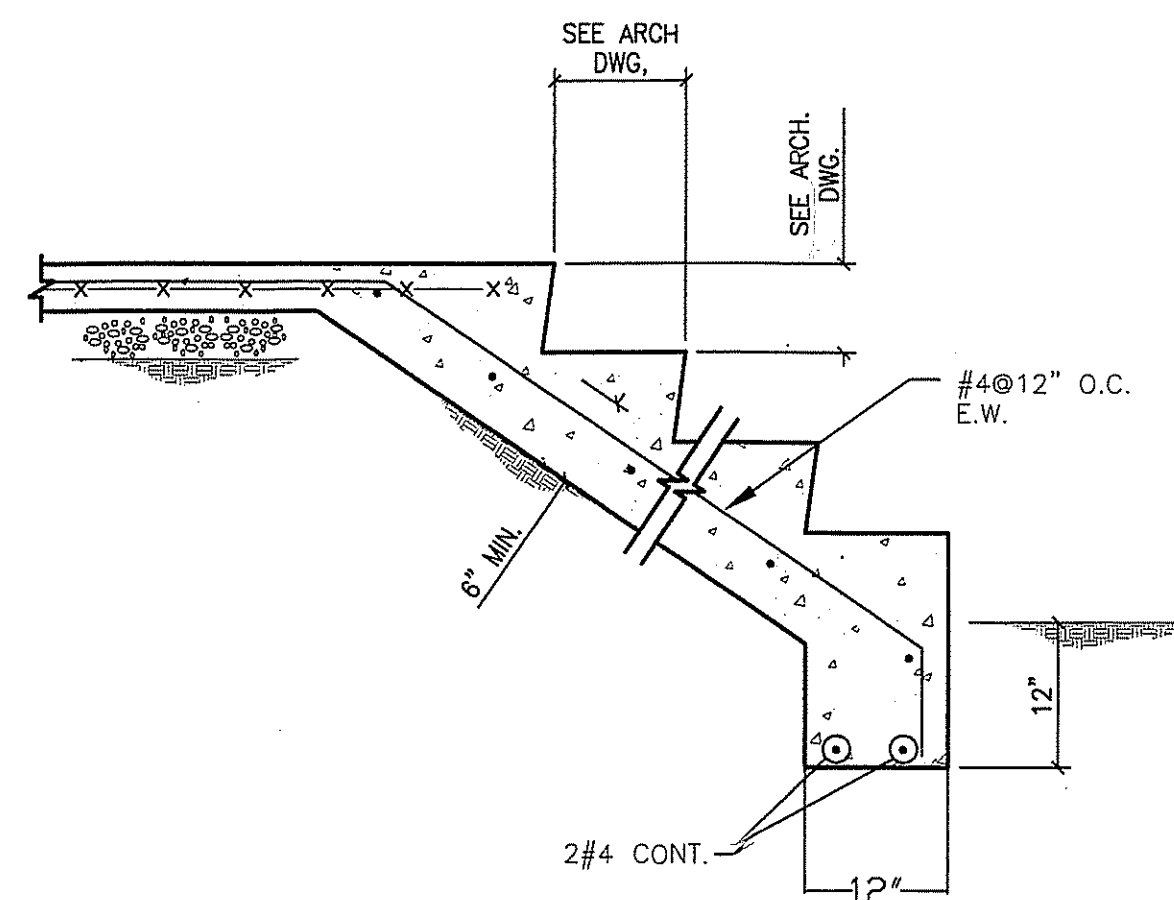
ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE FOLLOWING BUILDING CODES:  
 ICC INTERNATIONAL BUILDING CODE/2000 WITH LOCAL AMENDMENTS  
 MBRC MARYLAND BUILDING REHABILITATION CODE  
 NATIONAL ELECTRICAL CODE/1996 WITH LOCAL AMENDMENTS  
 ICC INTERNATIONAL MECHANICAL CODE/2000 WITH LOCAL AMENDMENTS  
 ICC INTERNATIONAL FUEL GAS CODE/2000  
 WSSC PLUMBING CODE  
 LIFE-SAFETY CODE NFPA - 101, 1997  
 FIRE ALARM NFPA - 72, 1996  
 SPRINKLER CODE NFPA - 13, 1996  
 ACCESSIBILITY COMAR 05.02.02  
 ENERGY CONSERVATION ICC INTERNATIONAL ENERGY CONSERVATION CODE

## GENERAL NOTES

- TYPICAL STAIR REQUIREMENTS:
  - RISER SHALL BE 7" MAXIMUM WITH 1 1/2" NOSING.
  - TREAD SHALL BE 11" MINIMUM.
  - HANDRAIL SHALL BE 1 1/4" DIAMETER MOUNTED AT 34" ABOVE NOSING. EXTEND HANDRAIL 24" HORIZONTALLY AT BOTTOM LANDING AND 12" AT TOP LANDING.

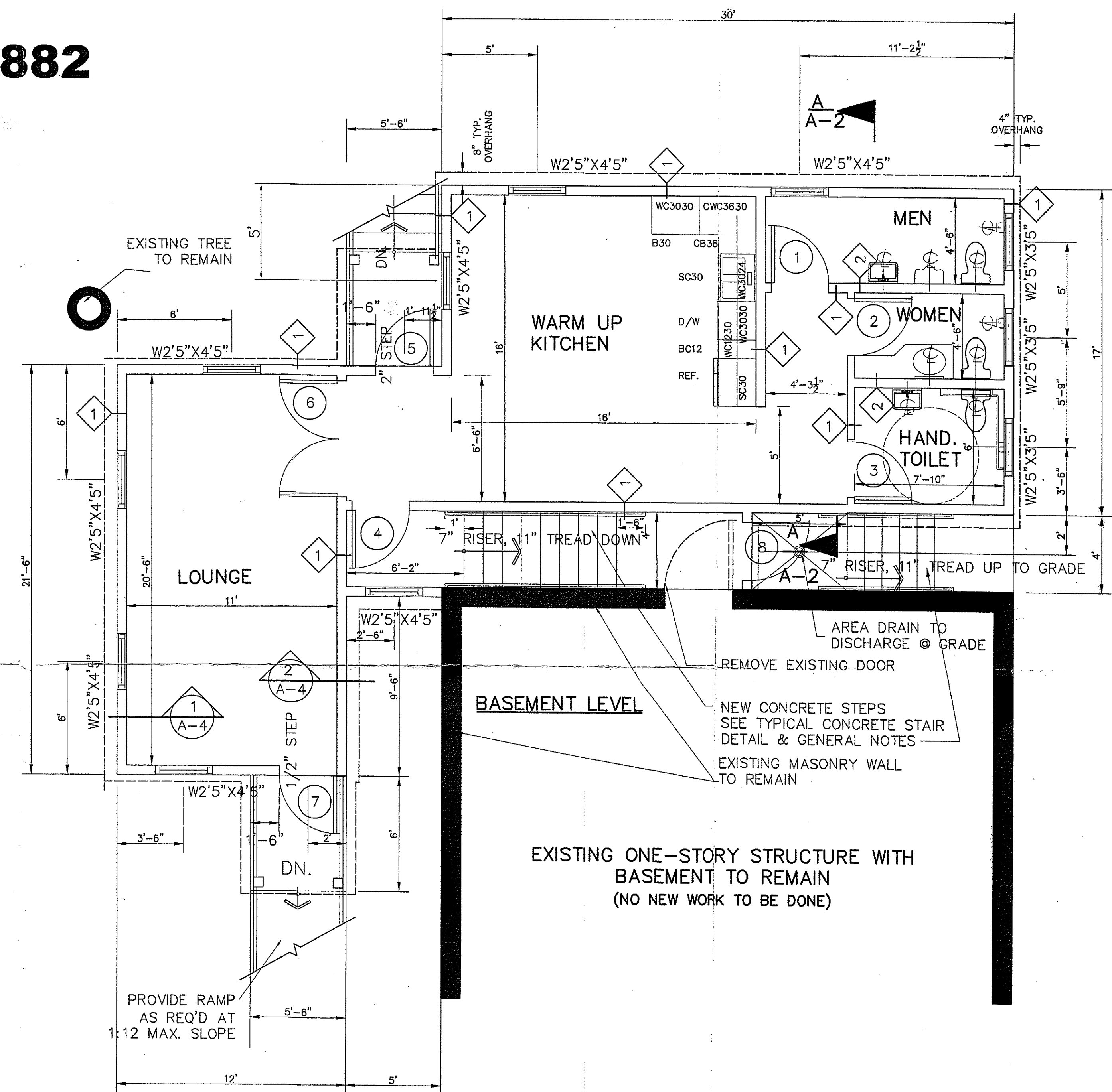
## DOOR SCHEDULE

DOOR NO.	SIZE	MATERIAL	FIRE RATING	REMARKS
1	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
2	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
3	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
4	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE </td <td>PROVIDE CLOSER</td>	PROVIDE CLOSER
5	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
6	(2)3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
7	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER
8	3'-0"x6'-8"x1 3/4"	SOLID CORE WD.	NONE	PROVIDE CLOSER



TYPICAL CONCRETE STAIR DETAIL

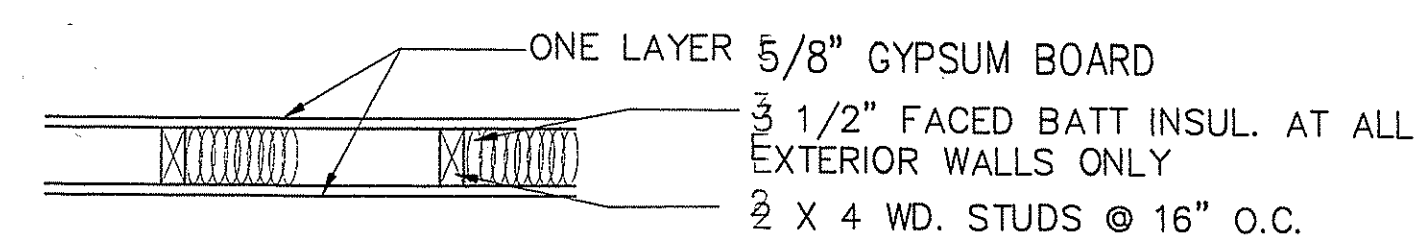
SCALE: 3/4" = 1'-0"



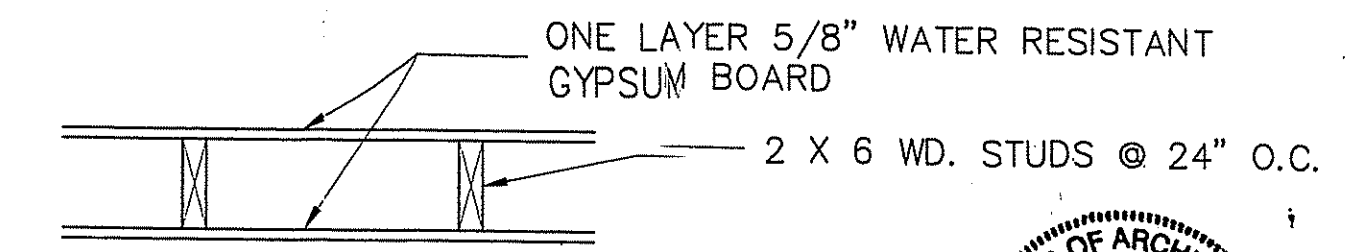
FLOOR PLAN

SCALE: 1/4" = 1'-0"

## WALL TYPES

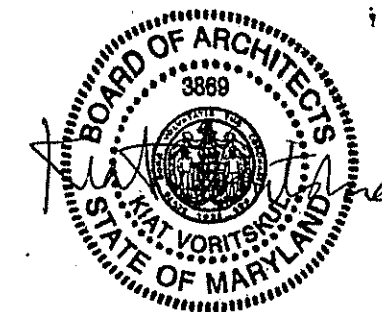
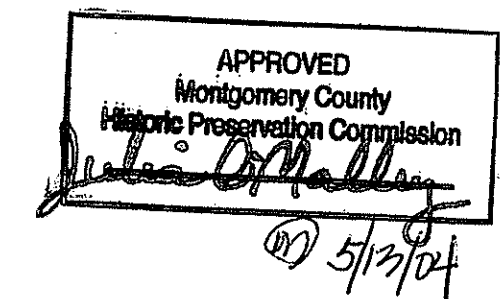


WALL TYPE 1

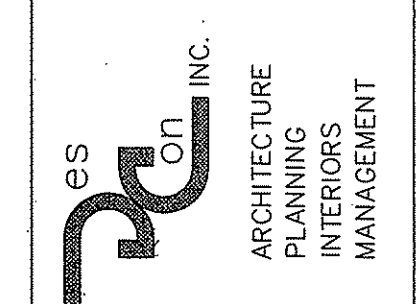


WALL TYPE 2

Revised



14505 BRIARWOOD TERRACE  
 ROCKVILLE, MD 20853  
 (301) 460-7838 Fax (301) 460-9232



NEW ADDITION TO  
 GOSHEN MENNONITE CHURCH  
 8410 BRINK RD., LAYTONSVILLE, MD 20882

COVER SHEET & FLOOR PLAN

SCALE: 1/4" = 1'-0"  
 DATE: 05/03/04  
 DRAWN: KV  
 CHECKED: KV

REVISIONS:  
 05/03/04 PERMIT

A-1

# NEW ADDITION TO GOSHEN MENNONITE CHURCH

8410 BRINK RD., LAYTONSVILLE, MD 20882

## BUILDING CODE SYNOPSIS

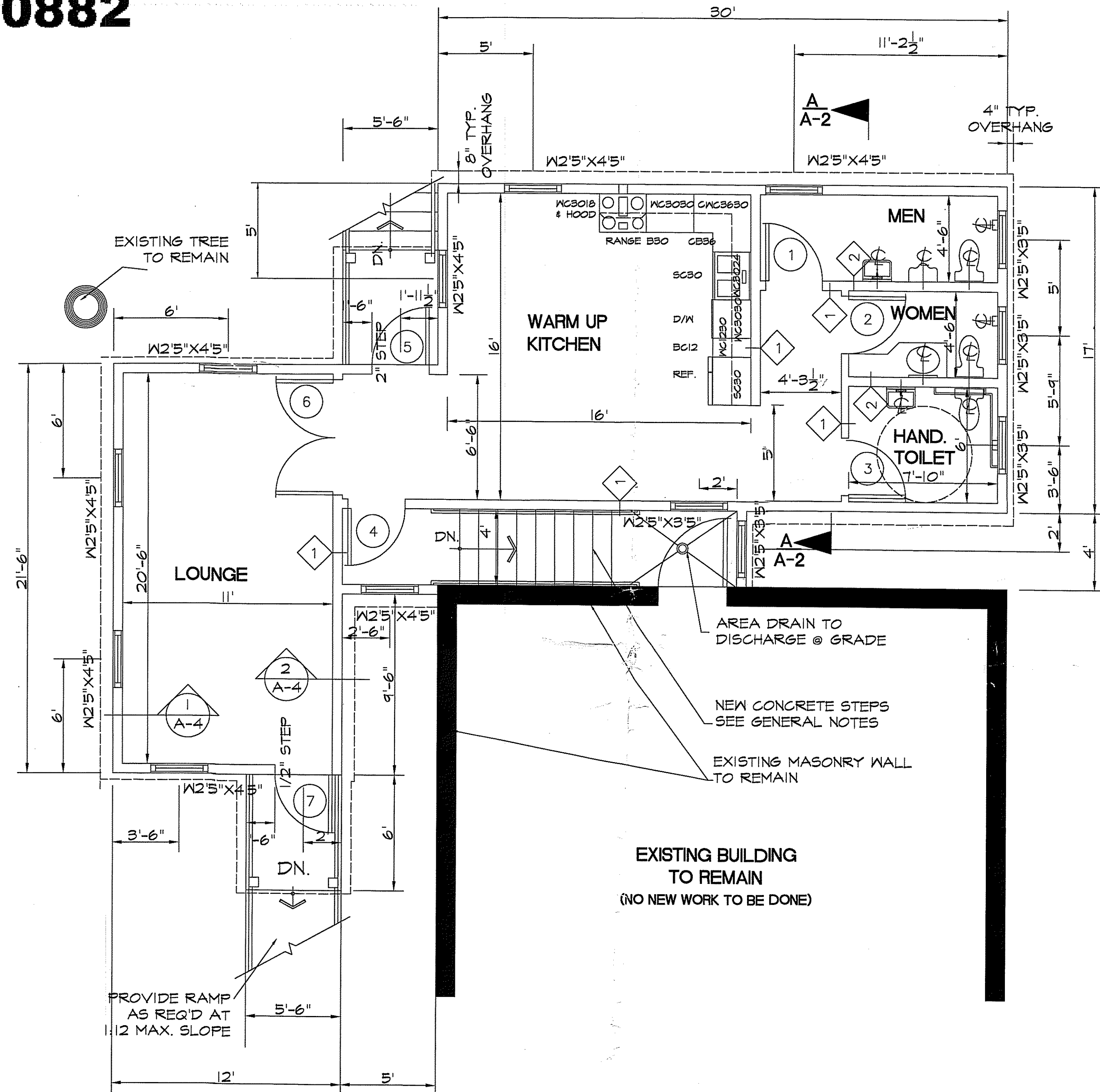
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH PREVAILING BUILDING CODES AND REGULATIONS OF THE MONTGOMERY COUNTY, MARYLAND
- USE GROUP CLASSIFICATION: A-4
- CONSTRUCTION CLASSIFICATION: 5B  
ALLOWABLE AREA & STORY: T200 SF, 1 STORY  
ACTUAL AREA & STORY: 887 SF, 1 STORY
- FIRE RESISTANCE RATING OF STRUCTURE (IN HOURS)
 

EXTERIOR WALLS	0
FIRE WALLS AND PARTY WALLS	2
FIRE CLOSURE OF EXITS	1
SHAFTS	1
EXIT CORRIDORS	0
INTERIOR WALLS	0
STRUCTURAL MEMBERS SUPPORTING WALLS	0
FLOOR CONSTRUCTION INCLUDING BEAMS	0
ROOF CONSTRUCTION & STRUCTURAL MEMBERS	0

## GENERAL NOTES:

- TYPICAL STAIRS REQUIREMENTS:
  - 7" MAXIMUM RISER
  - 11" MINIMUM TREAD
  - 1 1/2" MINIMUM NOSING
  - 1 1/4" HANDRAIL @ 32" ABOVE NOSING
  - EXTENDED HANDRAIL HORIZONTALLY 24" AT BOTTOM LANDING AND 12" AT TOP LANDING
- NEW CONSTRUCTION SHALL NOT BE STRUCTURALLY ATTACHED TO THE EXISTING BUILDING. PROVIDE FLASHING AND COUNTER FLASHING BETWEEN NEW ROOF AND EXISTING BUILDING.

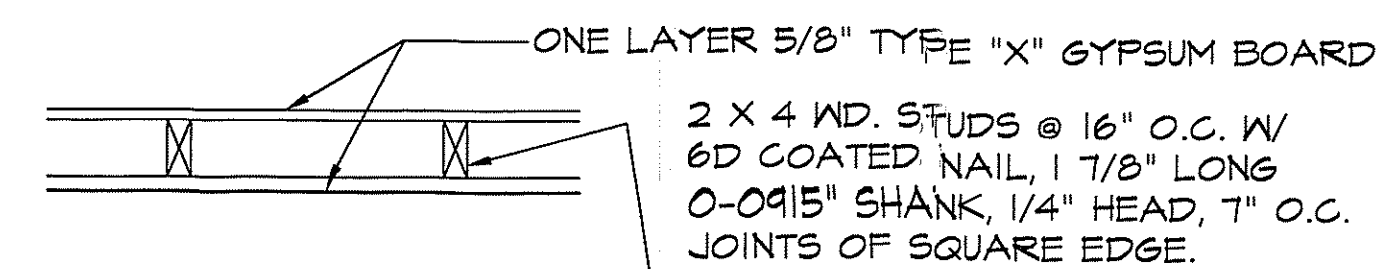
DOOR SCHEDULE				
DOOR NO.	SIZE	MATERIAL	LABEL	REMARKS
1	3'-0" X 6'-8"	SOLID CORE WOOD	C	PROVIDE CLOSER
2	3'-0" X 6'-8"	SOLID CORE WOOD	C	PROVIDE CLOSER
3	3'-0" X 6'-8"	SOLID CORE WOOD	C	PROVIDE CLOSER
4	3'-0" X 6'-8"	SOLID CORE WOOD	C	PROVIDE CLOSER
5	3'-0" X 6'-8"	SOLID CORE WOOD		PROVIDE CLOSER
6	2'-3'-0" X 6'-8"	SOLID CORE WOOD	C	PROVIDE CLOSER
7	3'-0" X 6'-8"	SOLID CORE WOOD		PROVIDE CLOSER



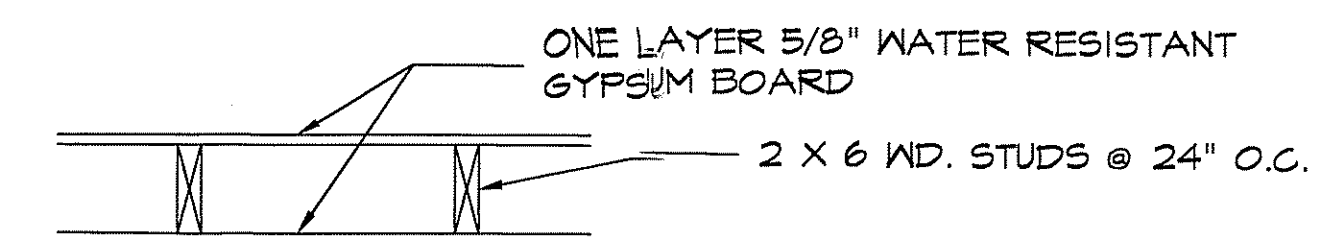
FLOOR PLAN

SCALE: 1/4" = 1'-0"

## WALL SCHEDULE



WALL TYPE 1 | HOUR RATED - UL # U305



WALL TYPE 2

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
10/24/21

14505 BRIARWOOD TERRACE  
ROCKVILLE, MD 20853  
(301) 460-7838 Fax (301) 460-9232

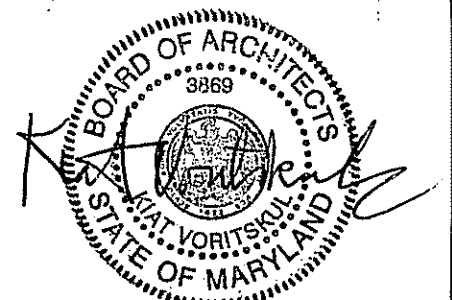
es on inc.  
ARCHITECTURE  
PLANNING  
INTERIORS  
MANAGEMENT

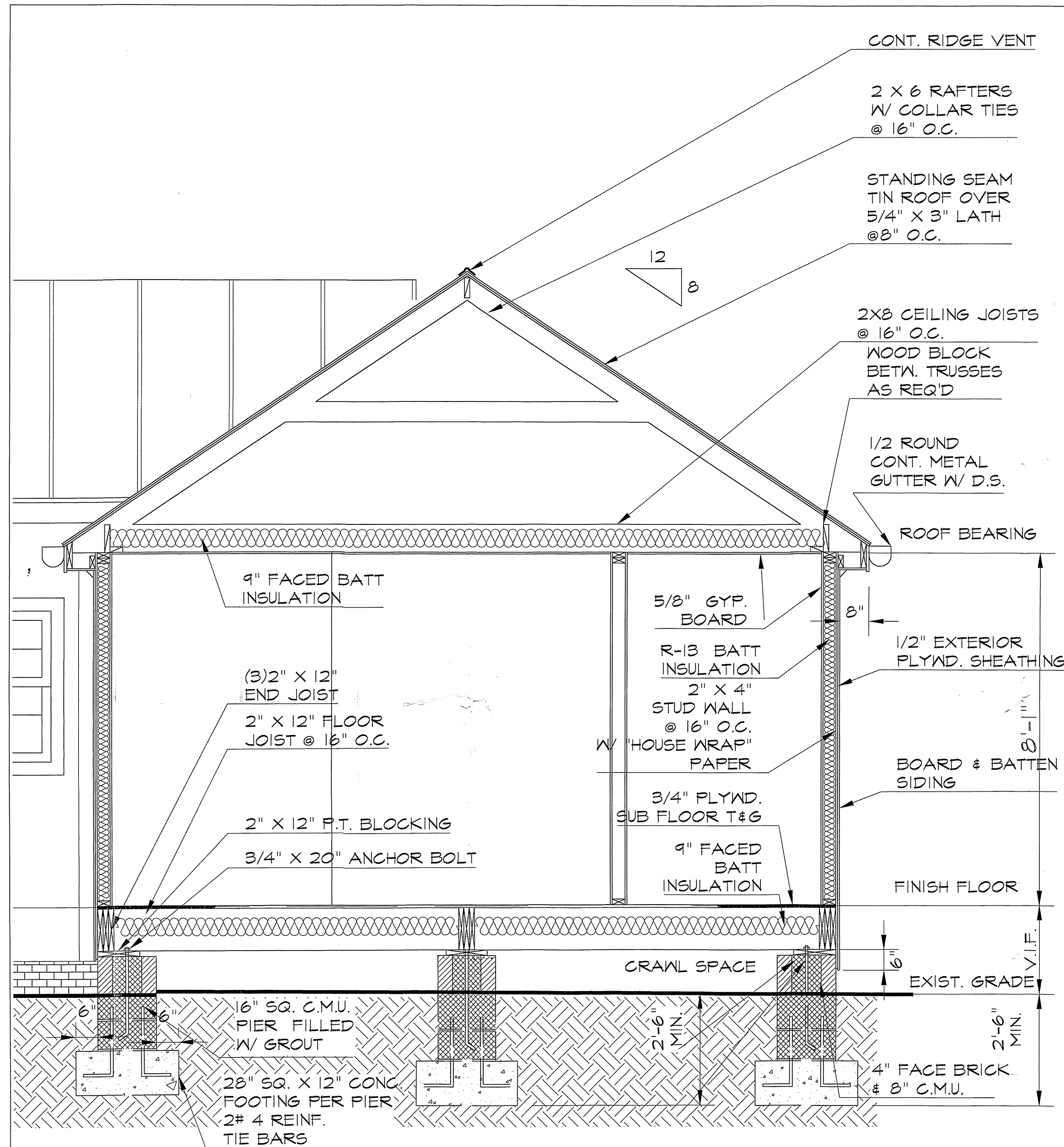
NEW ADDITION TO  
GOSHEN MENNONITE CHURCH  
8410 BRINK RD., LAYTONSVILLE, MD 20882

SCALE: 1/4" = 1'-0"  
DATE: 2/23/01  
DRAWN: I.M.G.  
CHECKED: K.V.

BY:  
REVISIONS:

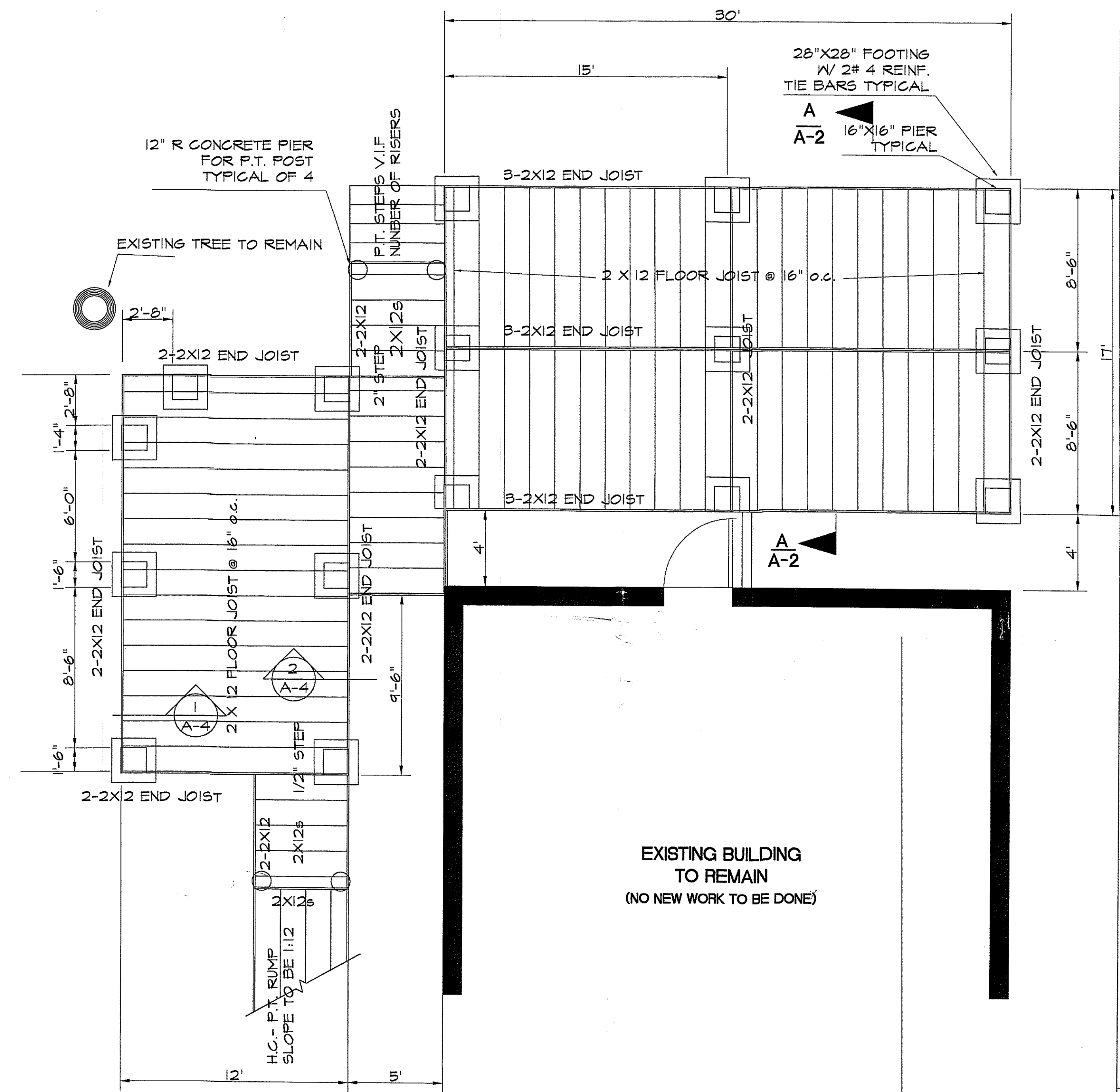
FLOOR PLAN  
A-1





**A-A CROSS SECTION**

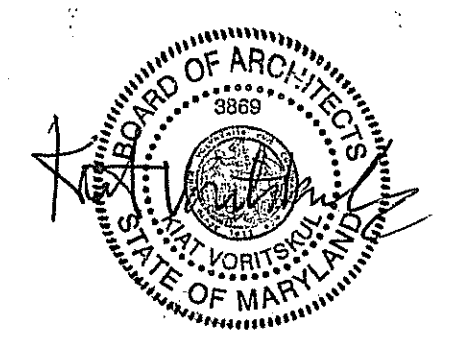
SCALE: 1/2" = 1'-0"



**FOUNDATION AND FIRST FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
10/24/01



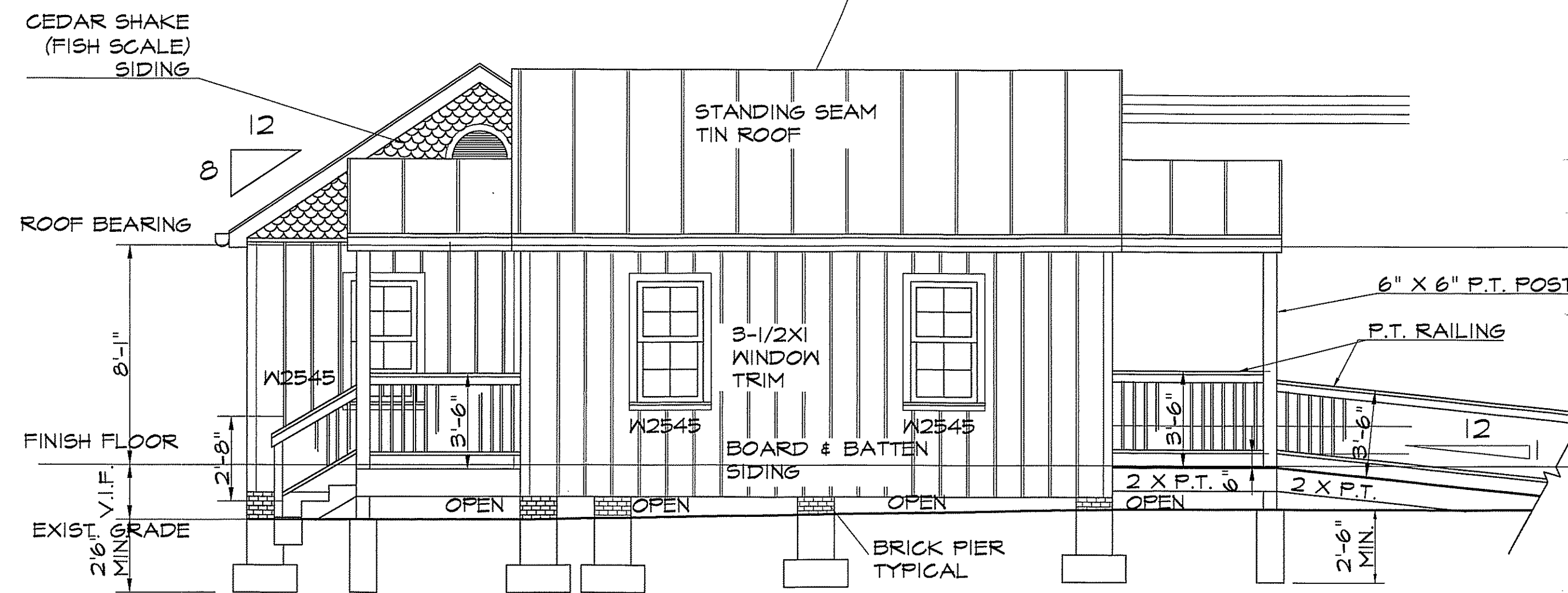
14505 BRIARWOOD TERRACE  
ROCKVILLE, MD 20853  
(301) 460-7838 Fax (301) 460-9232

**es on inc.**  
ARCHITECTURE  
PLANNING  
INTERIORS  
MANAGEMENT

NEW ADDITION TO  
GOSHEN MENNONITE CHURCH  
8410 BRINK RD. LAYTONSVILLE, MD 20882  
**FOUNDATION AND FRAMING PLAN**

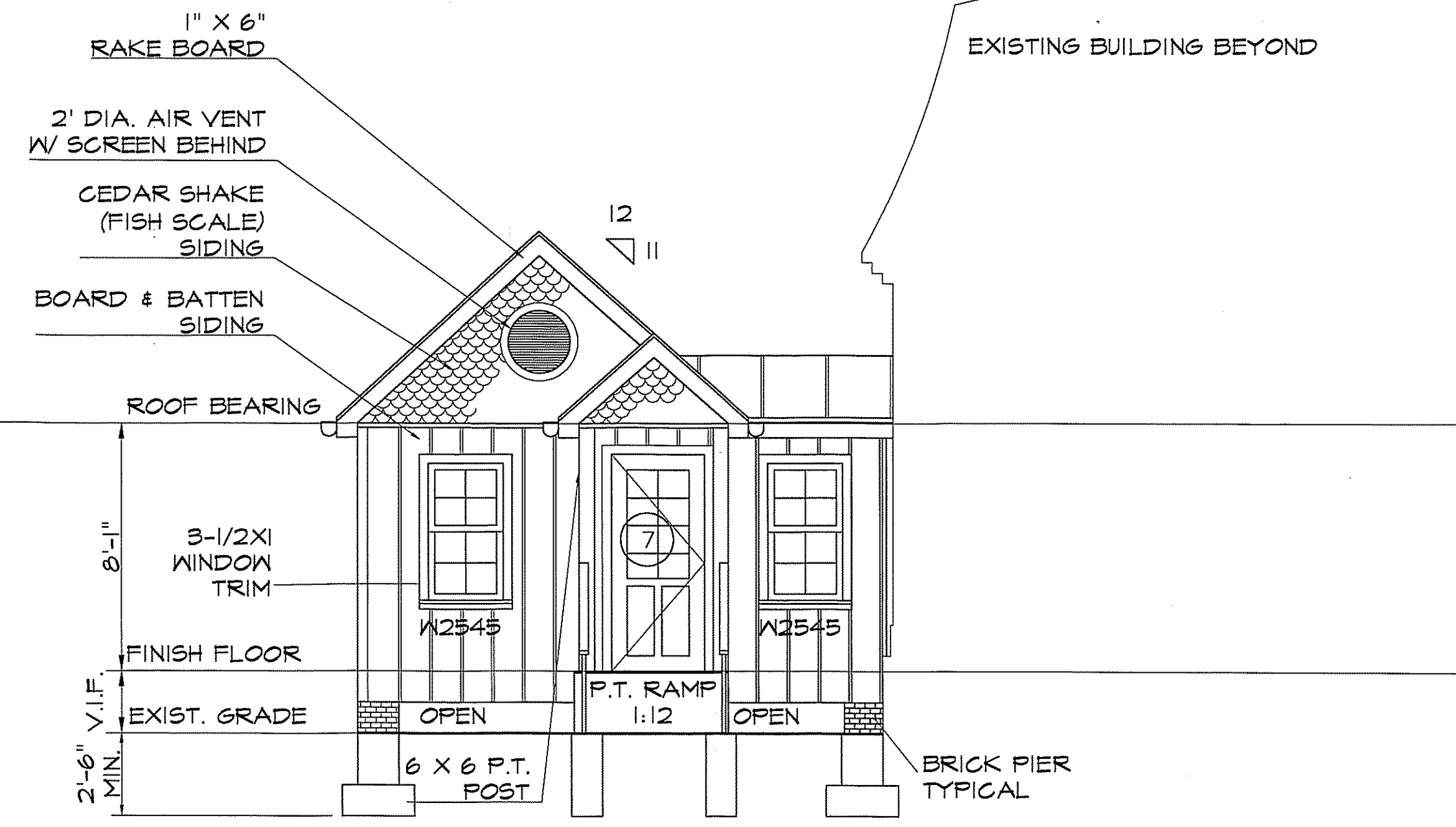
REVISIONS:	BY:	SCALE: 1/4" = 1'-0"
	DATE: 02/29/01	DRAWN: IMG.
	CHECKED: K.V.	

**A-2**



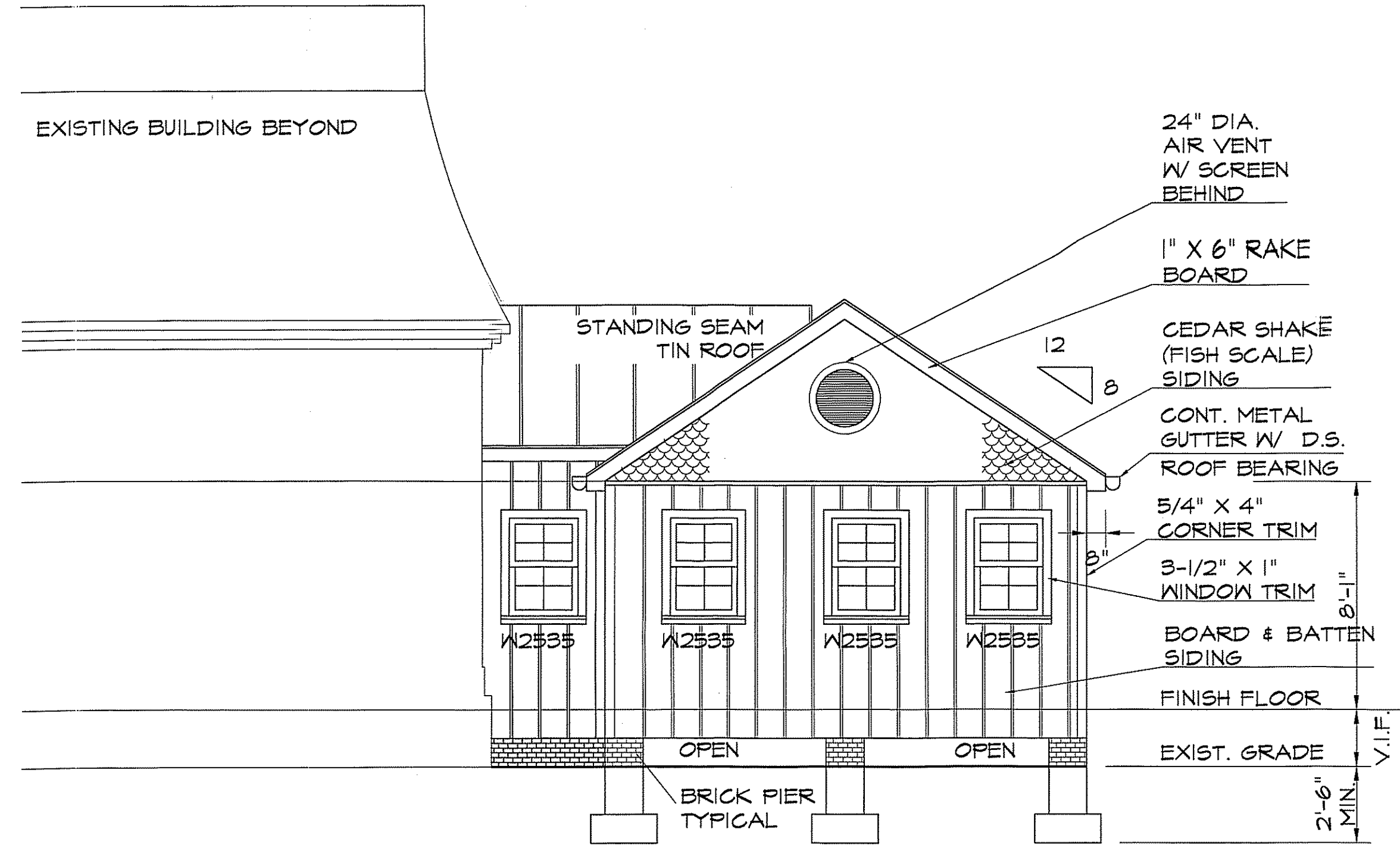
**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



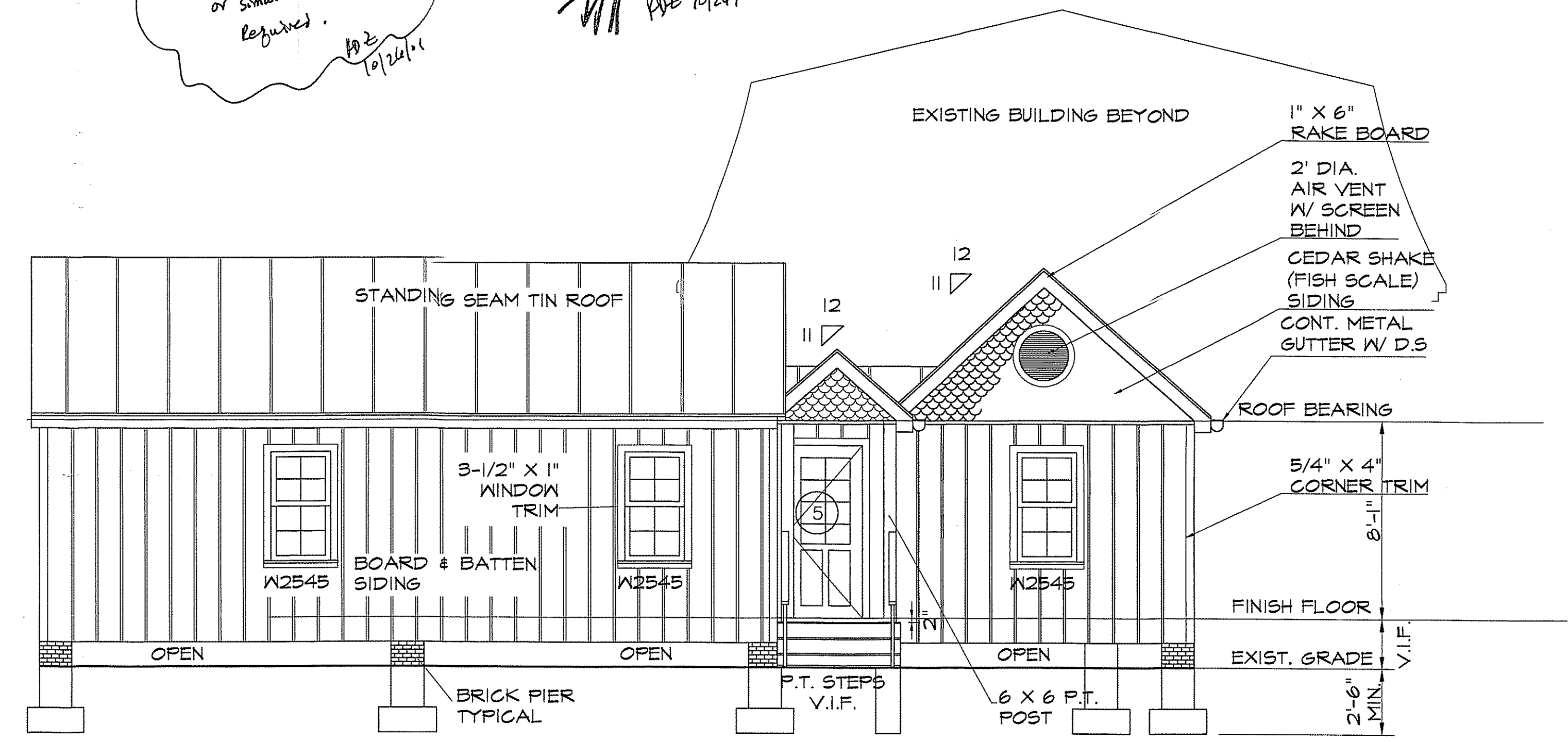
**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

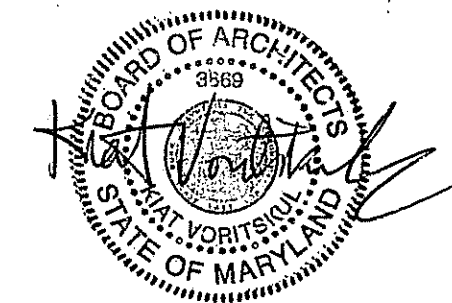


**SOUTH ELEVATION**

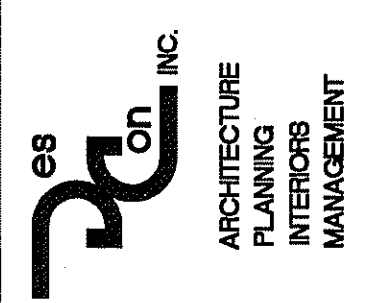
SCALE: 1/4" = 1'-0"

Wood sash  
True-divided light (row)  
or simulated TDL  
required.  
10/2/24/11

APPROVED  
Montgomery County  
Historic Preservation Commission  
10/2/24/11



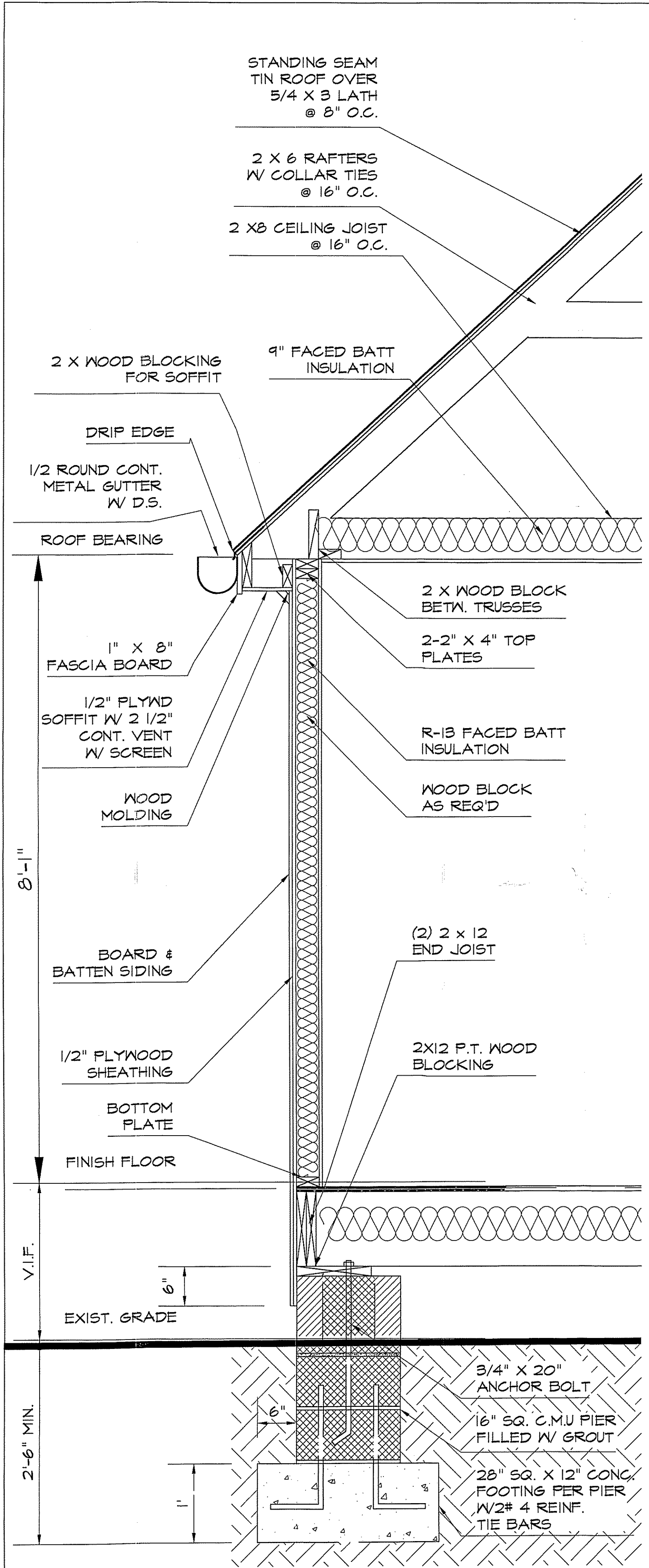
14505 BRIARWOOD TERRACE  
ROCKVILLE, MD 20853  
(301) 460-7838 Fax (301) 460-9232



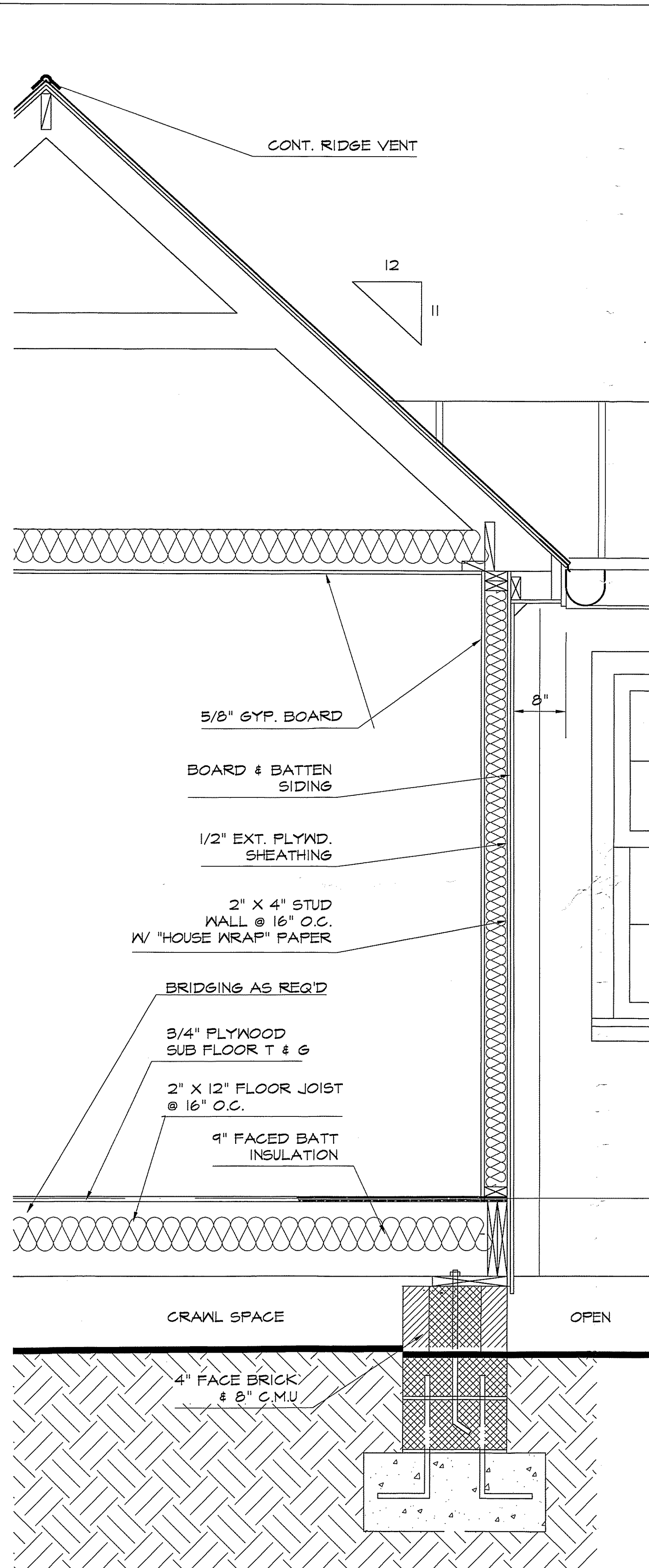
NEW ADDITION TO  
GOSHEN MENNONITE CHURCH  
8410 BRINK RD. LATONSVILLE, MD 20882

SCALE: 1/4" = 1'-0"  
DATE: 2/23/01  
DRAWN: IMG.  
CHECKED: KV.

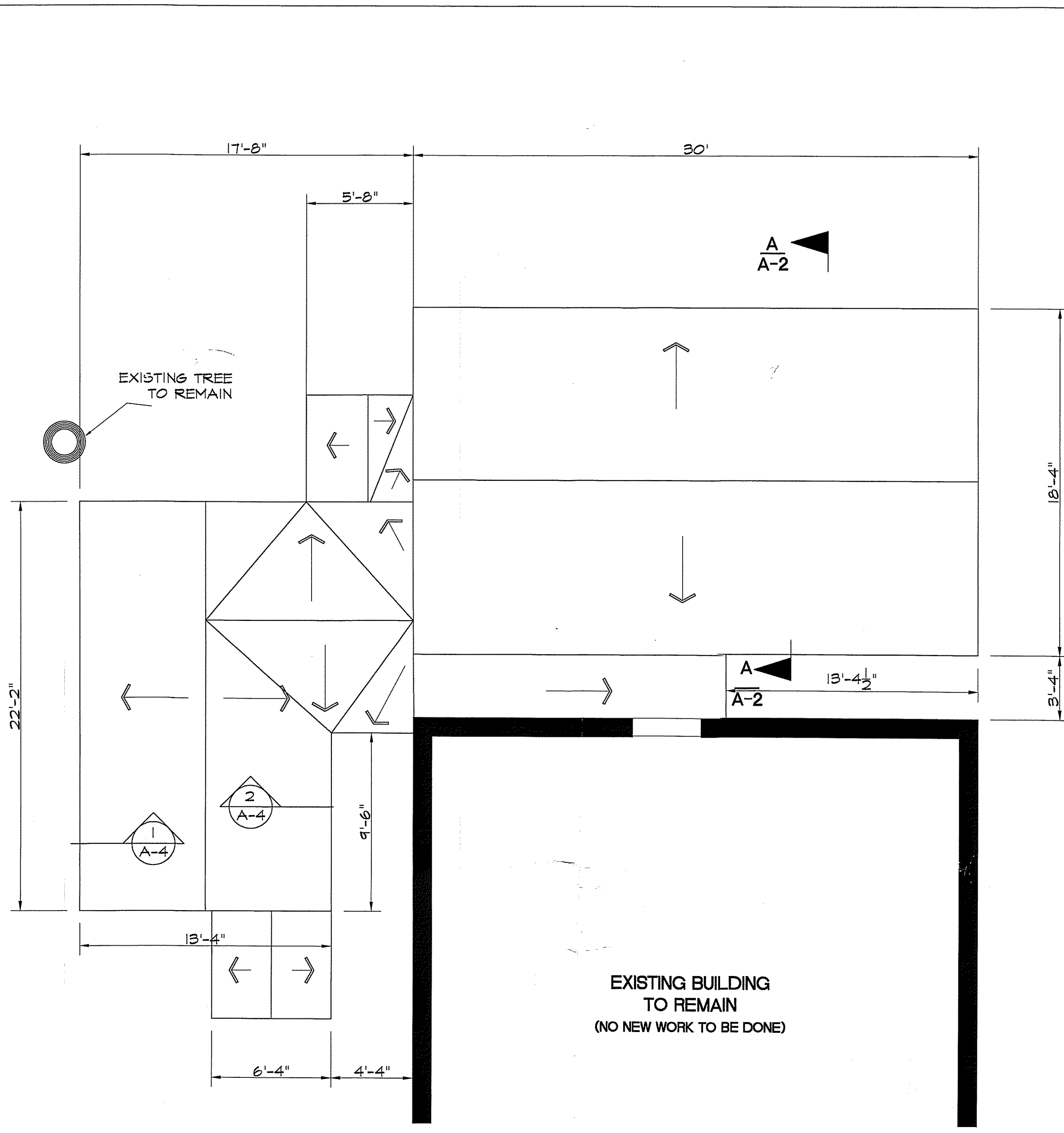
REVISIONS:



**1 WALL SECTION**  
A-4 SCALE: 1" = 1'-0"



**2 WALL SECTION**  
A-4 SCALE: 1" = 1'-0"



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
10/26/01



14505 BRIARWOOD TERRACE  
ROCKVILLE, MD 20853  
(301) 460-7838 Fax (301) 460-9232

**es on inc.**  
ARCHITECTURE  
PLANNING  
INTERIORS  
MANAGEMENT

NEW ADDITION TO  
GOSHEN MENNONITE CHURCH  
8410 BRINK RD. LAYSTONVILLE, MD 20882

ROOF PLAN AND WALL SECTIONS

SCALE:	1/4" = 1'-0"
DATE:	02/23/01
DRAWN:	IMG.
CHECKED:	K.V.

REVISIONS:

**A-4**

faxed 10/23  
A.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Section  
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301) 563-3412

TO: MALCOLM SHANNAHAN FAX NUMBER: 301. 495. 1306

FROM: ROBIN ZIEGLER

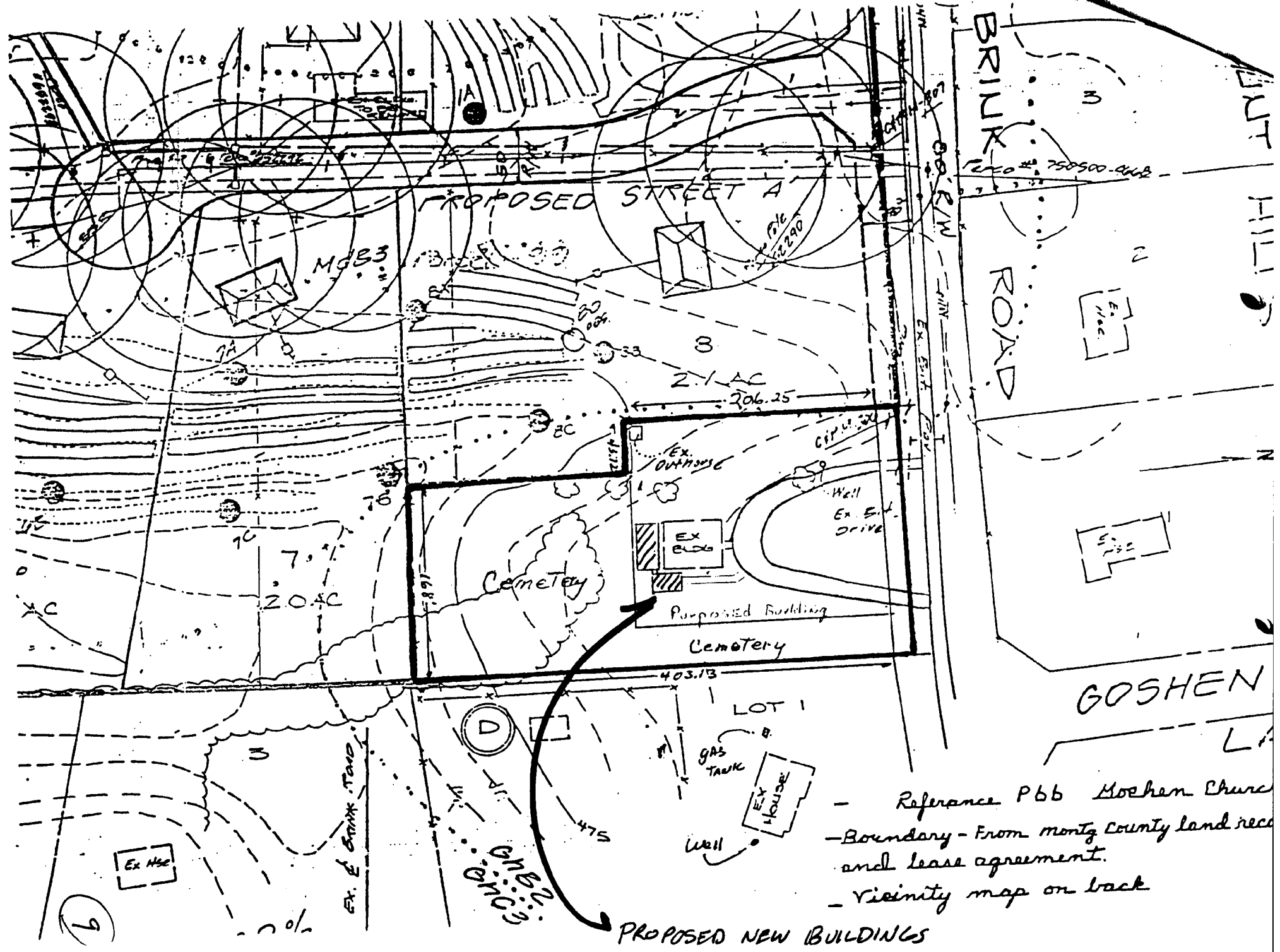
DATE: 10. 23. 99

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 3 / 9

NOTE: Many HP projects!

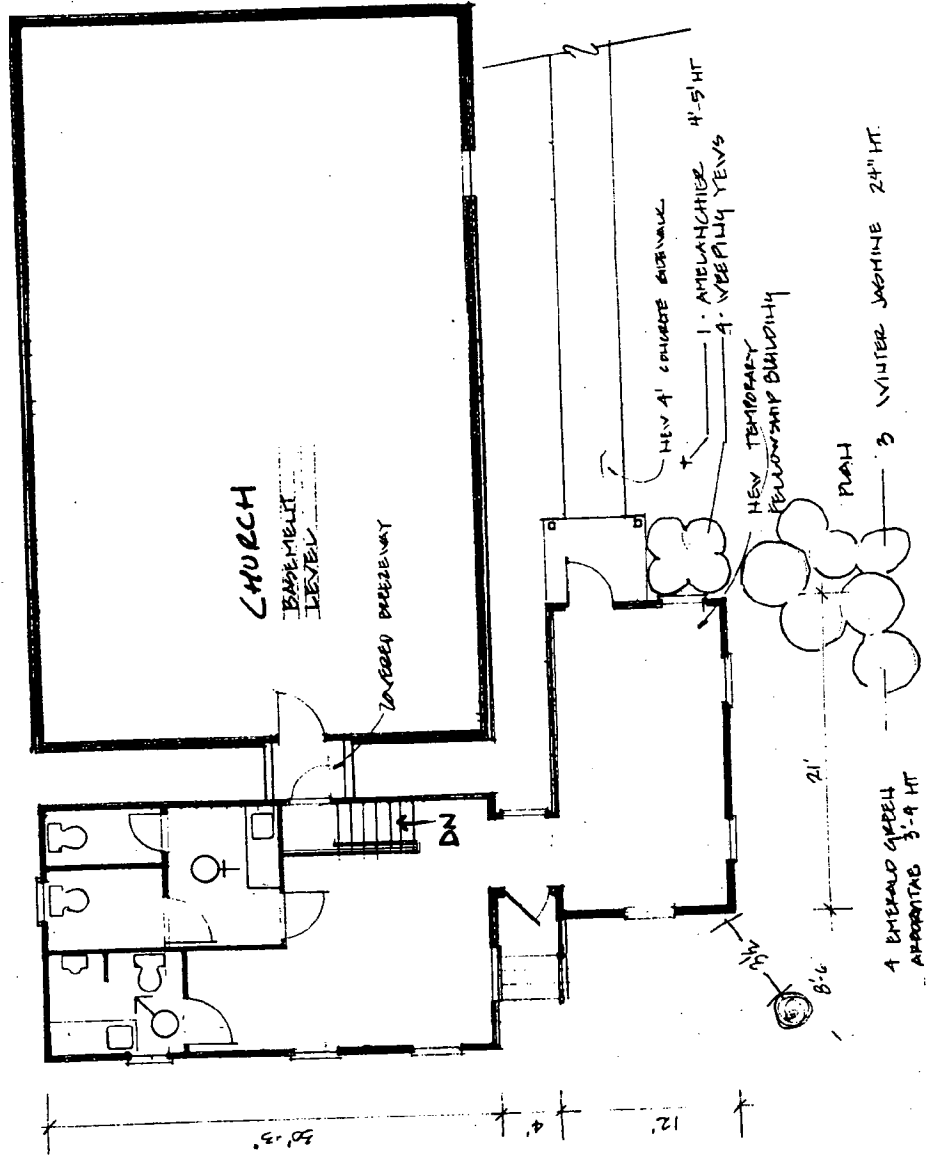
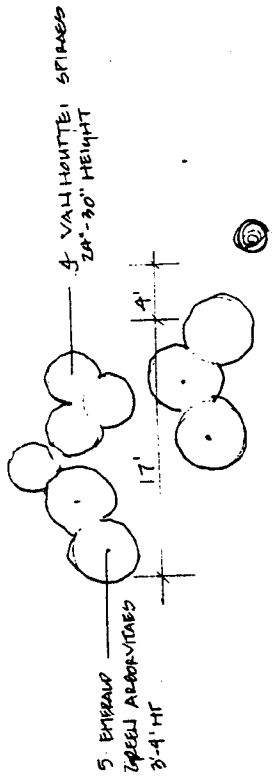
Malcolm - We still have to review the  
permit set, on a staff level for HPC  
requirement.

Call with any questions - R.



- Reference P66 Moshen Church  
 - Boundary - From montg County land recd  
 and lease agreement.  
 - Vicinity map on back

PROPOSED NEW BUILDINGS



1<sup>ST</sup> FLOOR OF  
PROPOSED NEW  
ADDITION SHOWN.

STAIRS LEAD UP FROM  
CHURCH BASEMENT LEVEL

CHURCH  
BASEMENT LEVEL

PROPOSED



5/21/01

Robin - Is this  
still outstanding?

Due

**F A X**

Sue :

FYI : Mr. Metzger

14/41 will be in soon (?)

for staff stamping of permit set -

File is in the

main files

14/41-98A

8410 Briar Rd.

If I'm not here, Perry or Michele or Gwen could do it -

R.

To: 3015633412  
 Company:  
 Fax number: +1 (301) 3015633412  
 Business phone:  
 From: Richard L. Metzger  
 Fax number: +1 (301) 8317570  
 Business phone:  
 Home phone:  
 Date & Time: 12/10/1999 5:57:11 PM  
 Pages: 2  
 Re: att: Robin Zeck Goshen Church Restrooms

The area in the circle is the change. The roof would slope with the steps. on post next to the building. This way we can have the door at floor level instead of half way. This way the framing will work out for sitting the building on piers as planned. And also if the buildings are taken away the steps will be next to the church not four foot away.

You can call to discuss this any time.

My # again 240-305-0188

Richard L. Metzger  
5220 Woodville, Rd.  
Mt. Airy, Md. 21771

This is in-keeping w/ HPC HAWP approval. I discussed that with applicant 12/99 - and

They should still be coming to us to stamp their drawings before going to OPS. 107

2-2-00

GhC3

GhB2

GhB2

GOSHEN ESTATES - Lot J, Block D  
Plat Book 79, Plat No. 7930

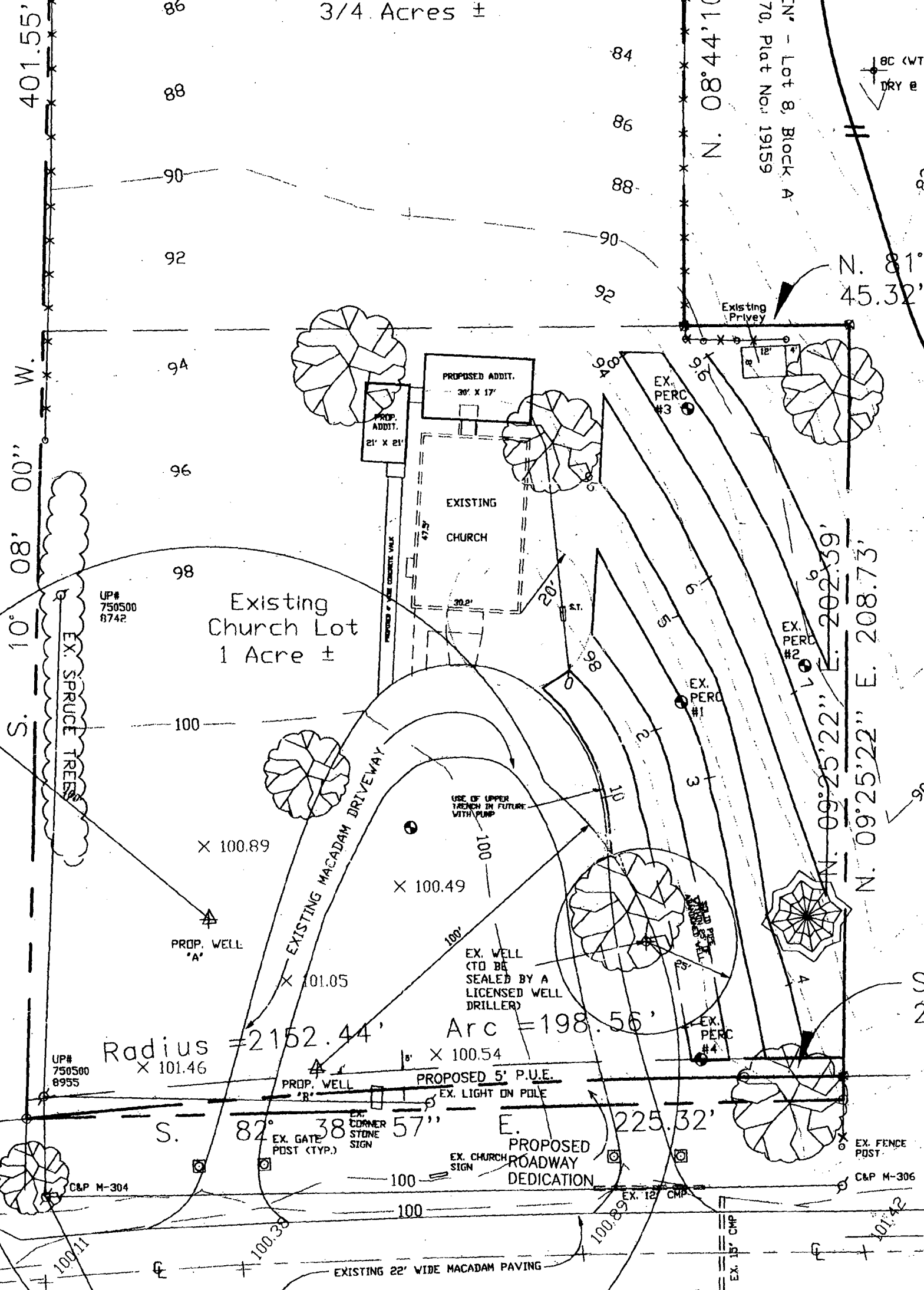
'LAND OF GOSHEN' - Lot 8, Block A  
Plat Book 170, Plat No. 19159

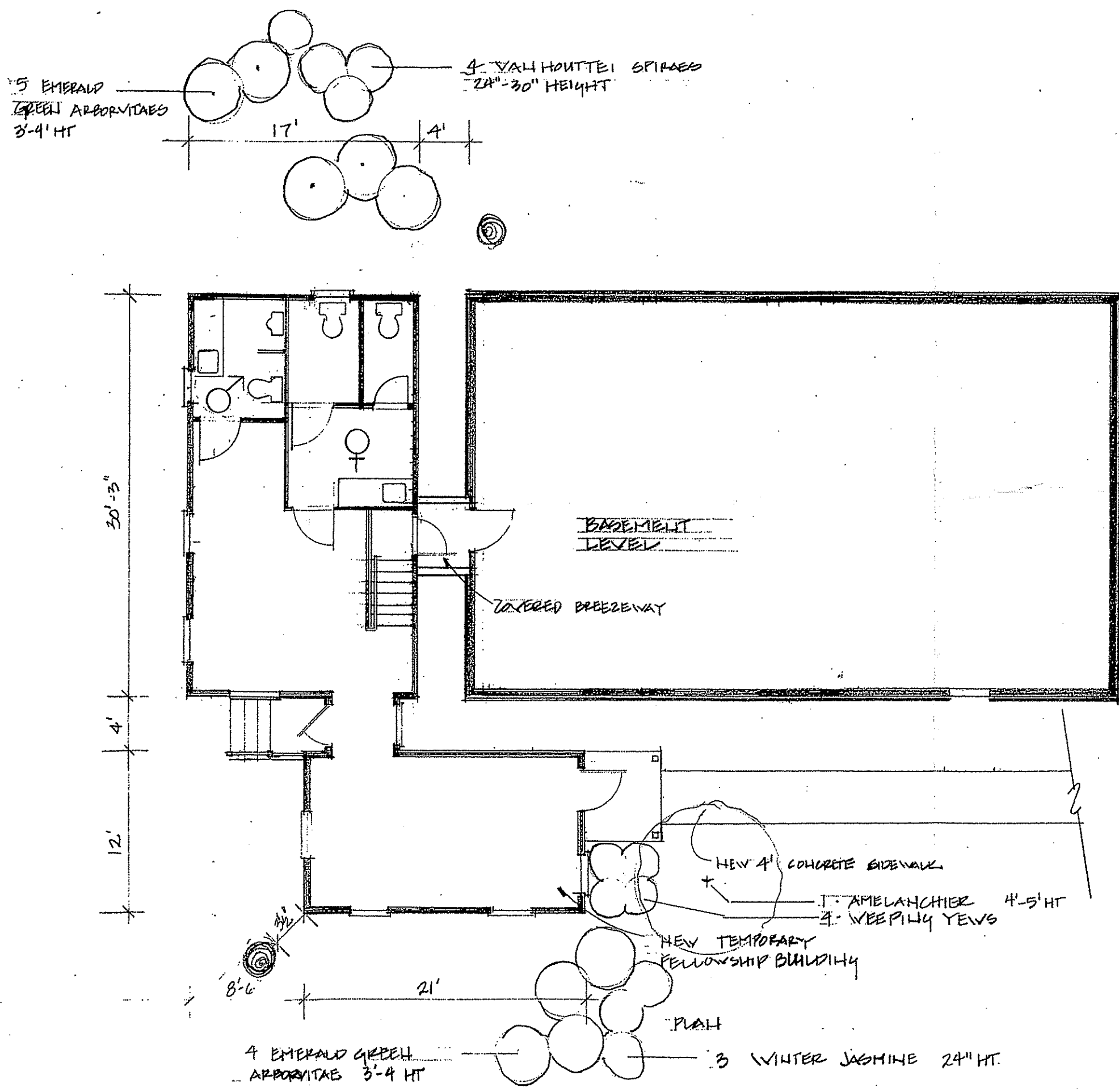
Existing  
Graveyard  
3/4 Acres ±

Existing  
Church Lot  
1 Acre ±

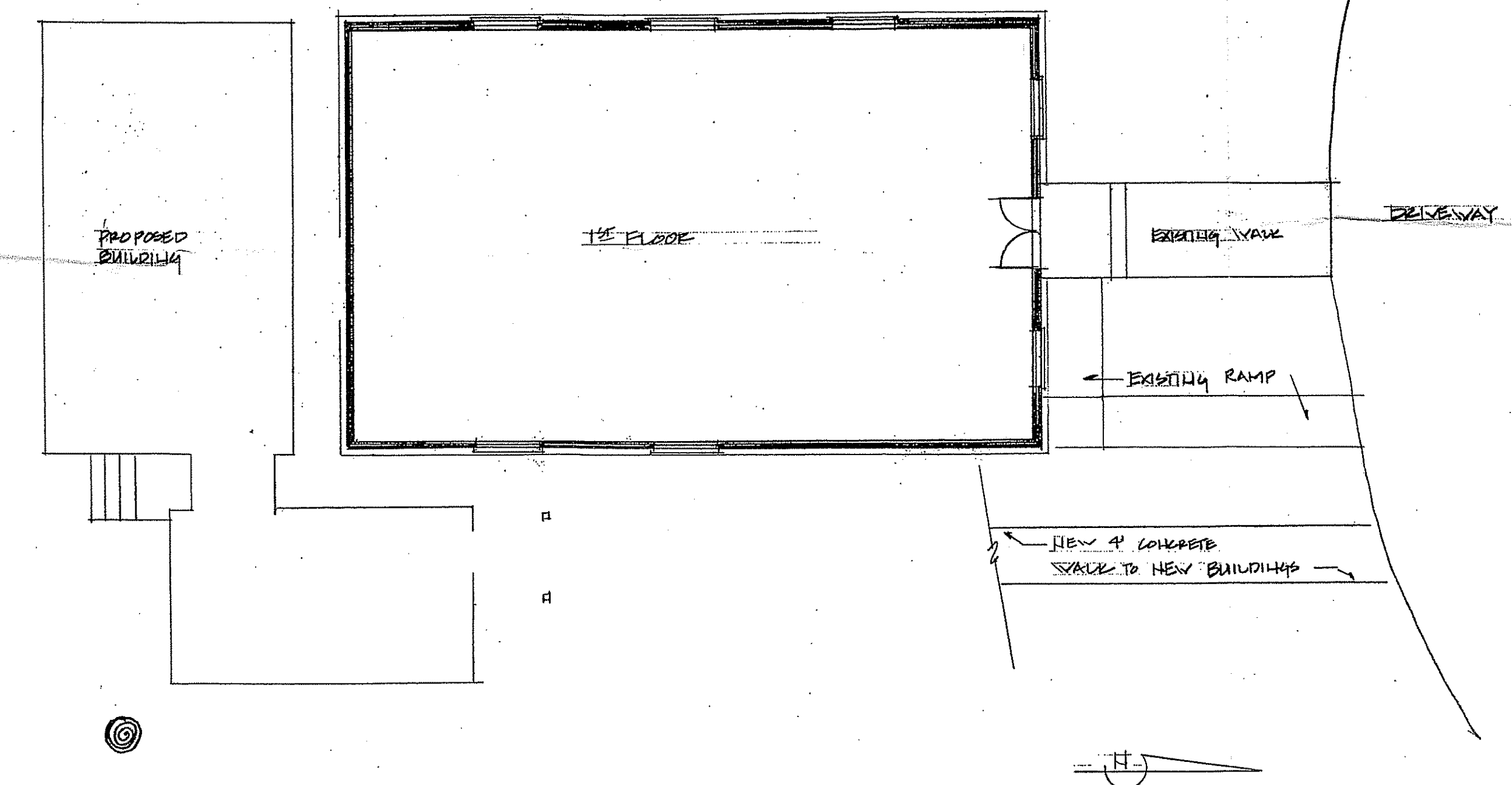
BRINK ROAD

35

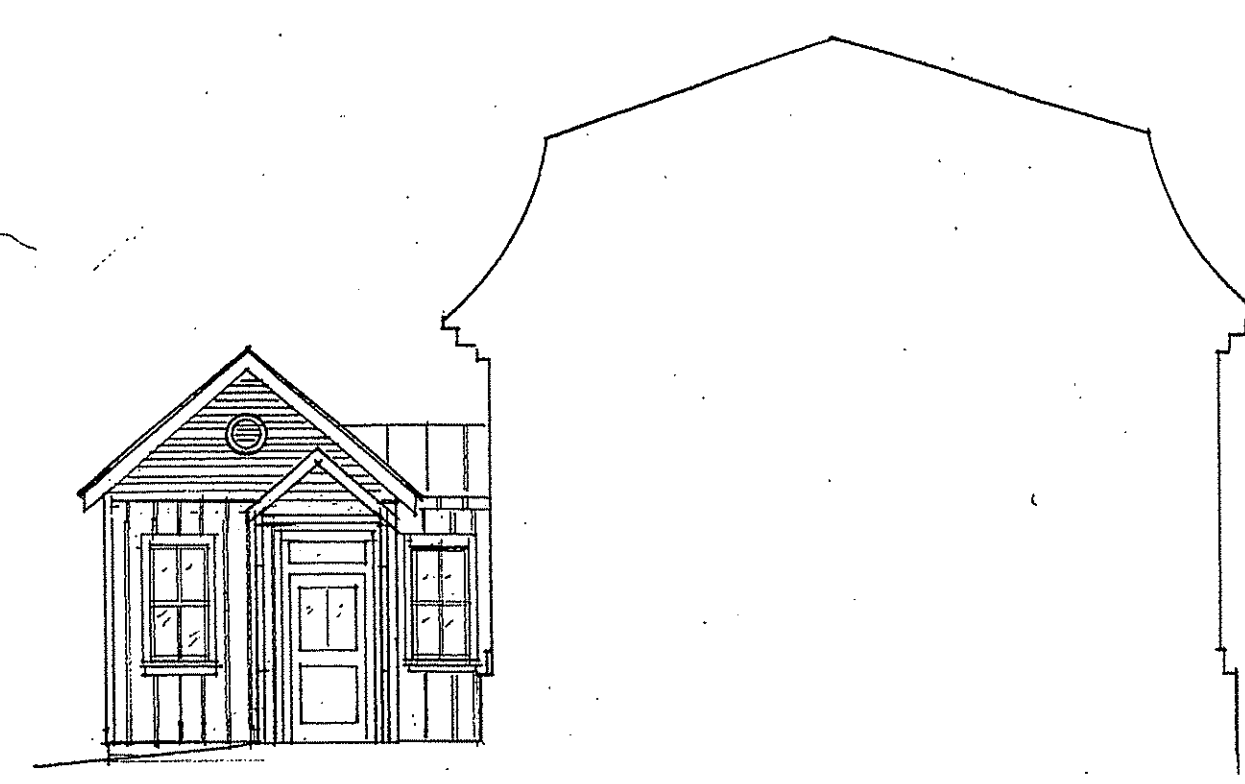




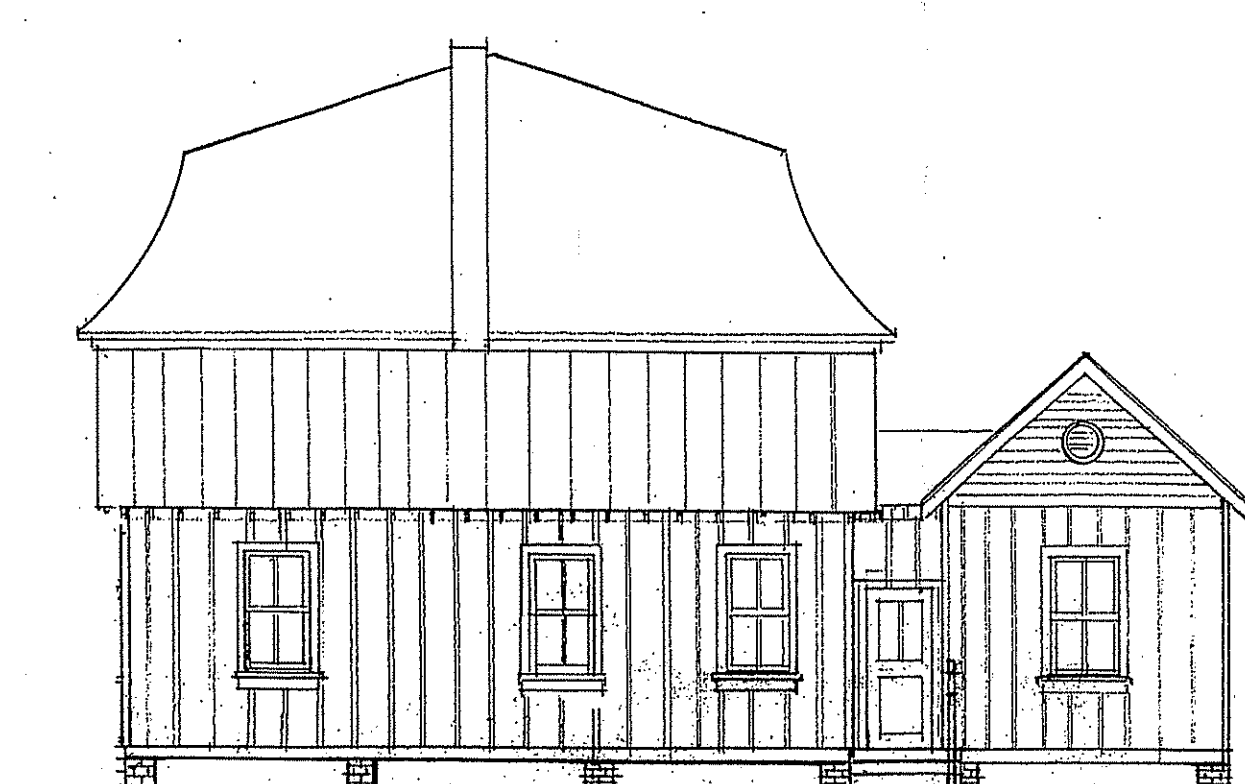
1 FELLOWSHIP BUILDING FLOOR PLAN 2 SCALE: 1/8" = 1'-0"



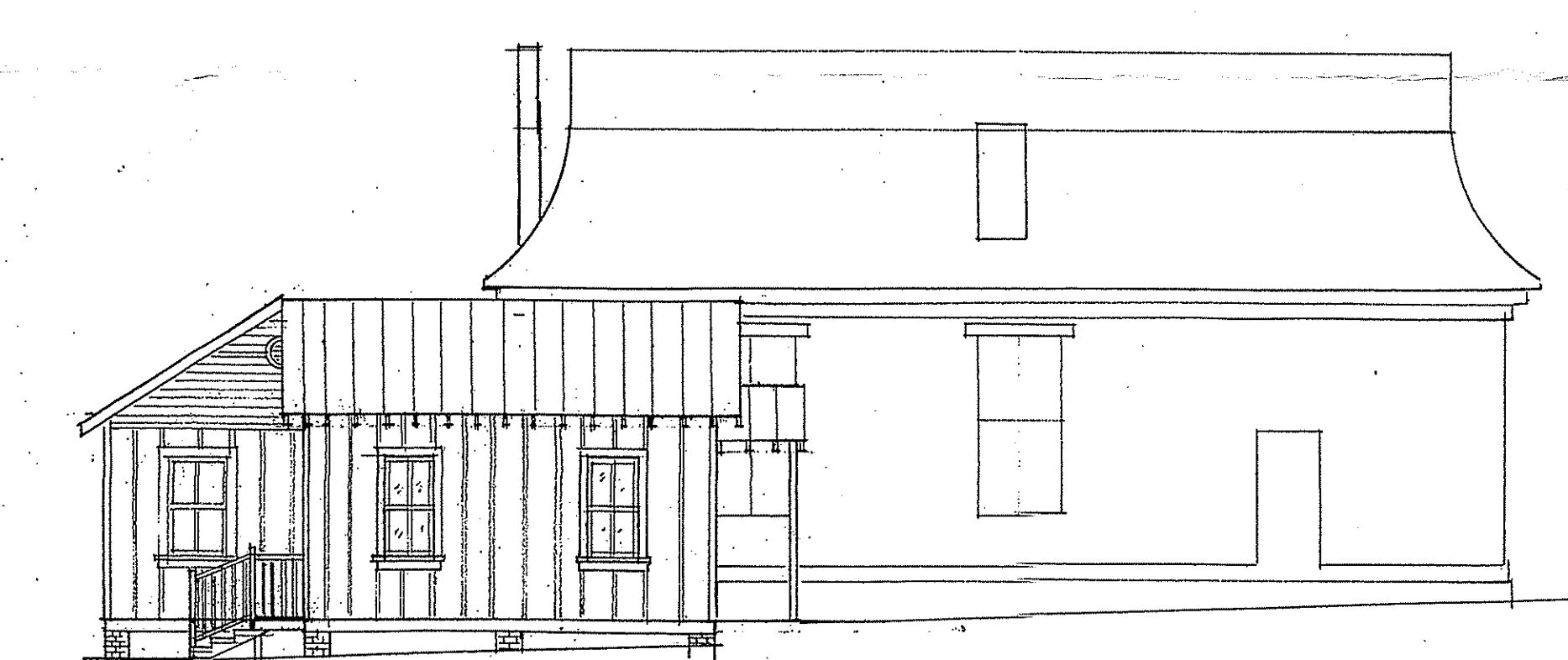
2 1ST FLOOR EXISTING CHURCH FLOOR PLAN SCALE: 1/8" = 1'-0"



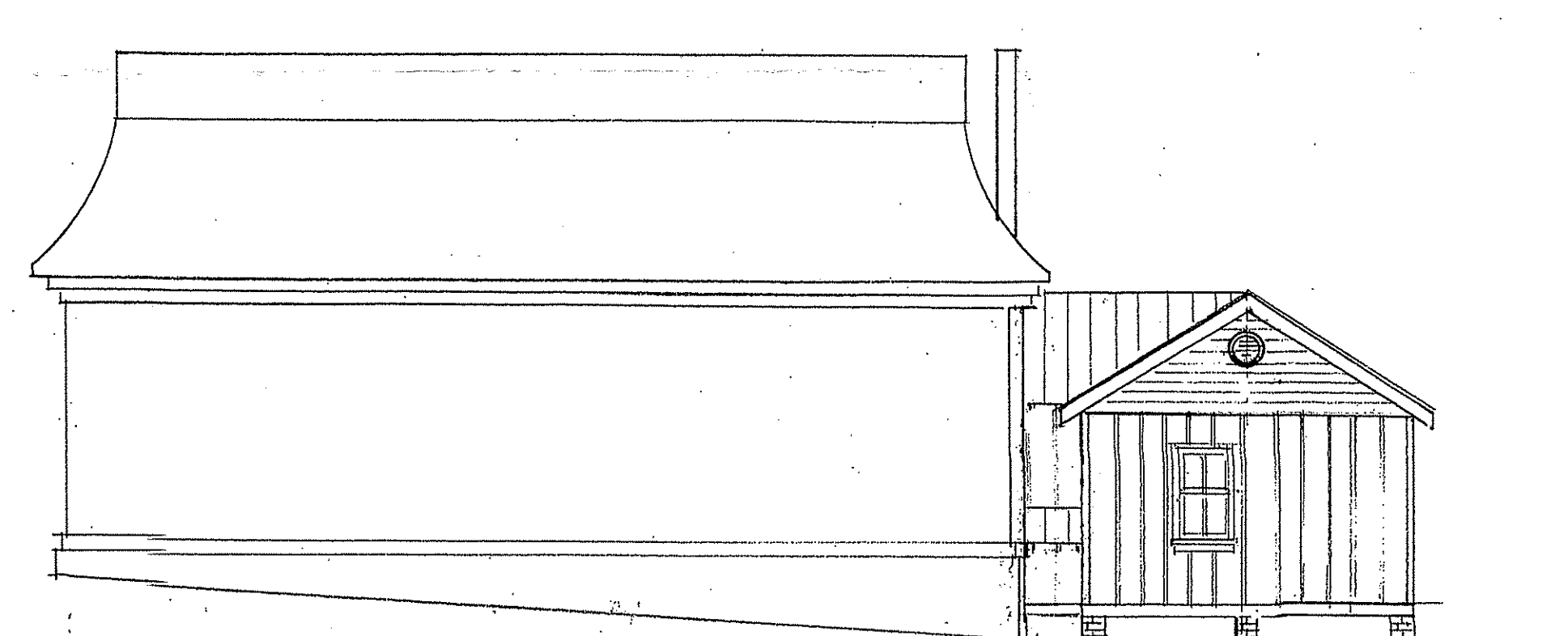
3 NORTH ELEVATION SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION SCALE: 1/8" = 1'-0"



5 EAST ELEVATION SCALE: 1/8" = 1'-0"



6 WEST ELEVATION SCALE: 1/8" = 1'-0"

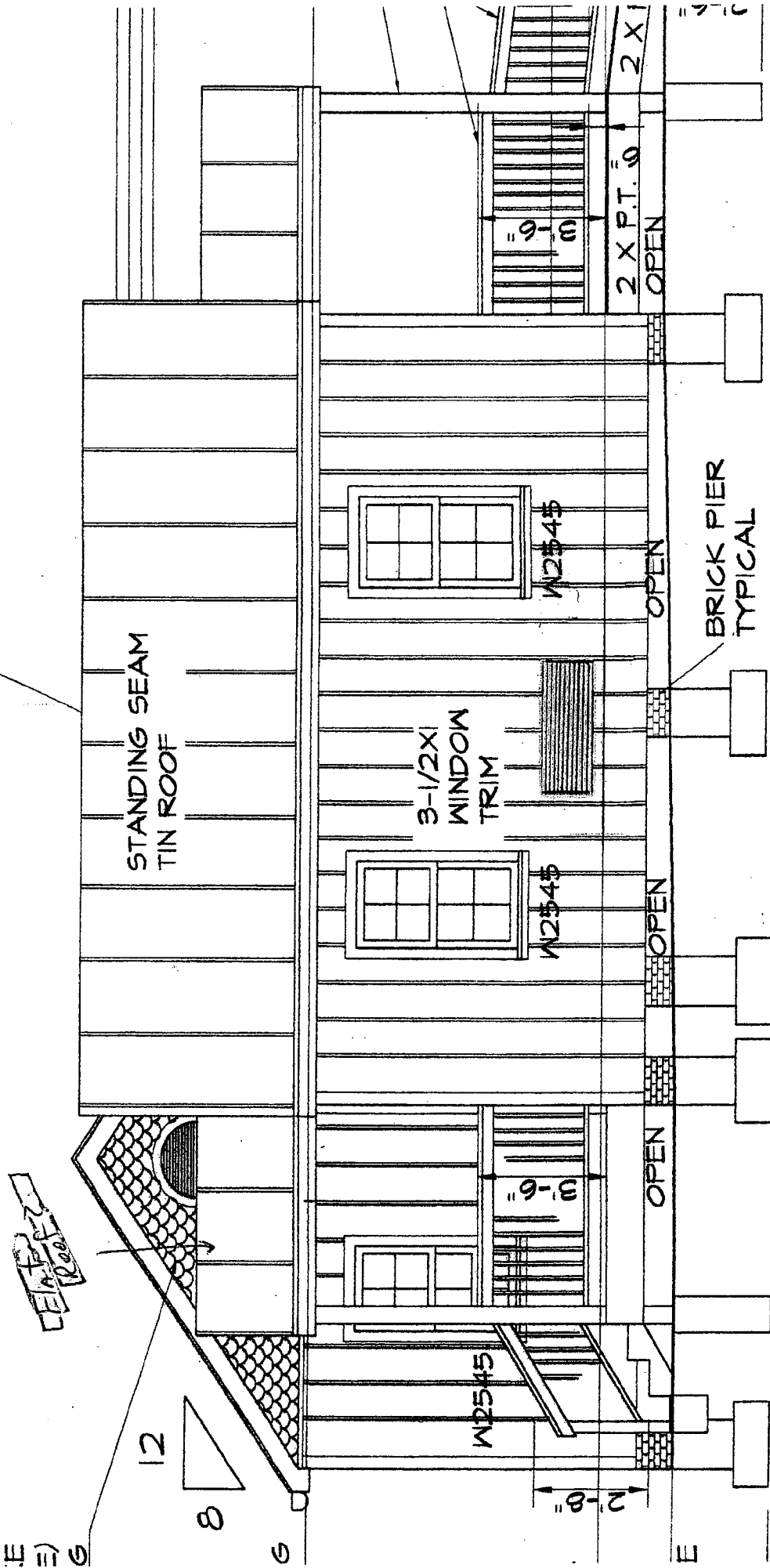
EXISTING BUILDING BEYOND

STAFF ITEM

#1

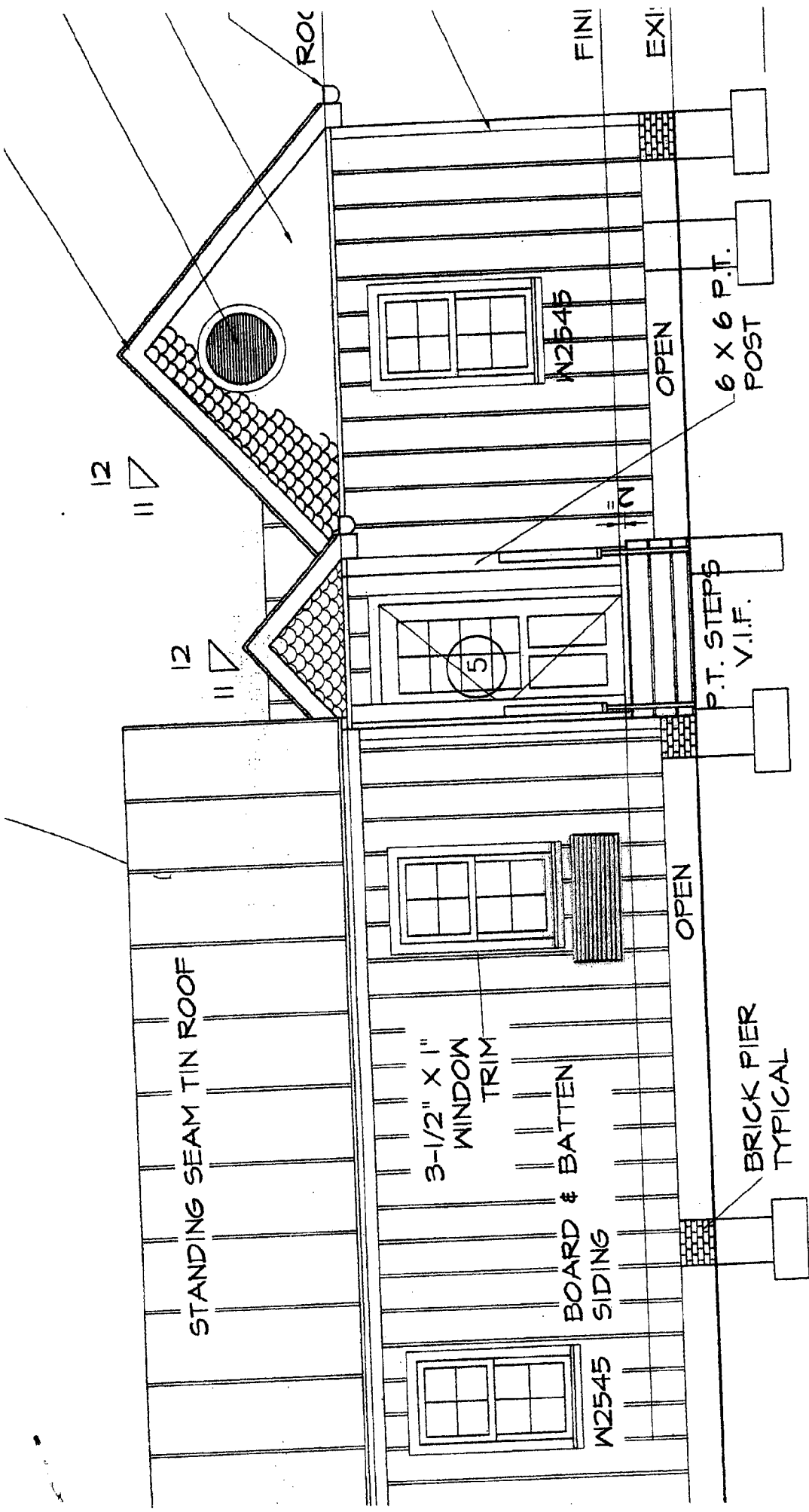
1 on side

1 on back



42 1/2 W  
 19 7/8 D  
 16 7/4 H

N



12  
11

12  
11

STANDING SEAM TIN ROOF

3-1/2" X 1"  
WINDOW  
TRIM

BOARD & BATTEN  
SIDING

W2545

W2545

FINI

EXI

OPEN

6 X 6 P.T.  
POST

P.T. STEPS  
V.I.F.

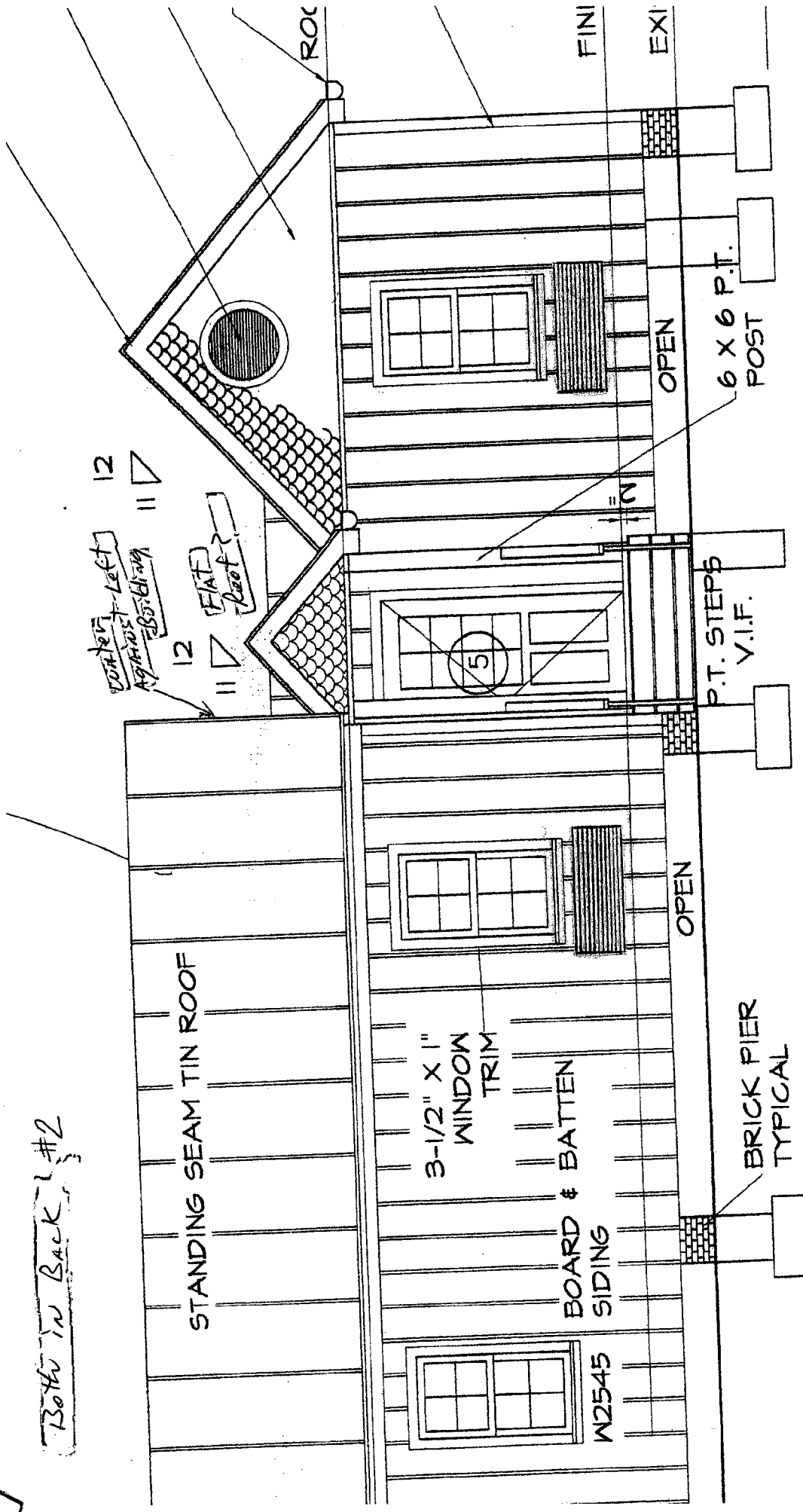
OPEN

BRICK PIER  
TYPICAL

1



Both in Back #2



42 1/2 W  
 19 3/8 D  
 16 7/8 H

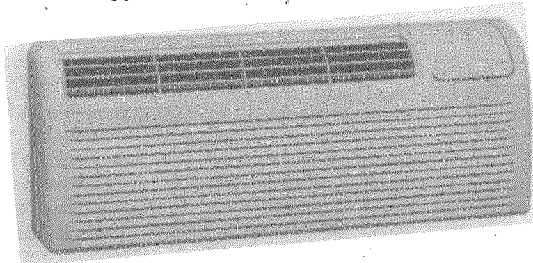


**A/C & Refrigeration  
Heat Pumps**

**Call Click Stop By®**

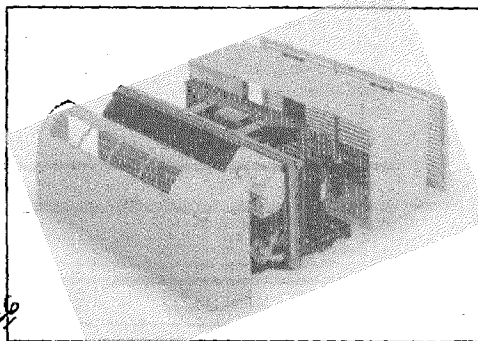


*Inside*



No. 1VG79

Repair Parts Available  
1-800-323-0620



No. 1VG79 shown with No. 3EC13 wall case and No. 4E756 exterior grille

*3000 Deluxe:  
8341  
2326  
4X A37  
1168*

**Packaged Terminal Heat Pumps**

Heat pumps save more energy and cost less to operate than units with electric resistance heaters as the only heat source. Can operate in the heat pump mode down to around 25°F. Multistage thermostats react to the indoor temperature as well as the outdoor temperature in determining the heat source to provide comfortable room conditions and energy savings. All Zoneline units include the exclusive G.E. Superseal system that reduces air infiltration. Upright air filters provide ease of cleaning. Two permanently lubricated fan motors are quiet and provide higher efficiency. Fan only setting, 2 speed. Rotary compressor is quiet and dependable. Consistent wall case dimensions 42 1/2" W x 16 1/2" H fit all G.E. Zoneline wall cases manufactured since 1961. For new installations, a wall case and grille are required.

Note: See page 3495 for packaged terminal air conditioners. See page 3497 for accessories.

**3500 DELUXE SERIES**

Utilizes microcomputer controls and rotary knob. 230/208 volt units have cord attached. 265 volt units have junction box. Nos. 1VG79, 1VG84, 1VG89, 1VG87 are corrosion-resistant models for installation close to a sea or highly corrosive industrial environments

**5500 PREMIUM SERIES**

Heat pump with simultaneous electric resistance heat. Microcomputer touch control with LED. Universal heaters (power cord required), reverse cycle heat pump defrost system, and self-diagnostics. Uses power connector kits sold as an accessory.

**G.E. 1-YEAR FULL WARRANTY**

1st year all parts and labor. 2nd through 5th year sealed system parts and labor. Limited parts and warranty 2nd through 5th year. See "Manufacturers' Warranties" on page opposite inside back cover

Note: The Coefficient of Performance (COP) refers to relative efficiency of reverse cycle operation versus resistance heat. A COP rating of 3.0 produces 3 times as much heat at rating point of 47°F outdoor temperature as the same output wattage used for resistance heat.

Power Supply	Ivory Receptacle Stock No.
20A	52833
30A	52895

**RECEPTACLE ORDERING GUIDE**

Voltage	Power Supply	BtuH	Heating KW	Amps	BtuH	Cooling	EER	Reverse Cycle Heat COP	GE Model	Stock No.	Each	Shipped
<b>3500 DELUXE SERIES</b>												
230/208	20A	11,700/9,600	3.45/2.82	15.0/13.6	9,000/8,800	11.3/11.3	8,400/8,200	3.5/3.5	AZ35H09D3B	1VG78	\$1102.00	145
230/208	20A	11,700/9,600	3.45/2.82	15.0/13.6	9,000/8,800	11.3/11.3	8,400/8,200	3.5/3.5	AZ35H09D3C	1VG79	\$1149.00	115
230/208	30A	17,000/13,900	5.0/4.09	21.7/19.7	9,000/8,800	11.3/11.3	8,400/8,200	3.5/3.5	AZ35H09D5B	1VG80	\$1102.00	115
230/208	20A	11,700/9,600	3.45/2.82	15.0/13.6	11,700/11,500	10.7/10.7	10,900/10,700	3.3/3.3	AZ35H12D3B	1VG83	\$1137.00	125
230/208	20A	11,700/9,600	3.45/2.82	15.0/13.6	11,700/11,500	10.7/10.7	10,900/10,700	3.3/3.3	AZ35H12D3C	1VG84	\$1184.00	125
230/208	30A	17,000/13,900	5.0/4.09	21.7/19.7	11,700/11,500	10.7/10.7	10,900/10,700	3.3/3.3	AZ35H12D5B	1VG85	\$1137.00	125
230/208	20A	11,700/9,600	3.45/2.82	15.0/13.6	14,600/14,300	9.6/9.6	13,400/13,200	3.1/3.1	AZ35H15D3B	1VG88	\$1222.00	135
230/208	20A	11,700/9,600	3.45/2.82	15.0/13.6	14,600/14,300	9.6/9.6	13,400/13,200	3.1/3.1	AZ35H15D3C	1VG89	\$1266.00	135
230/208	30A	17,000/13,900	5.0/4.09	21.7/19.7	14,600/14,300	9.6/9.6	13,400/13,200	3.1/3.1	AZ35H15D5B	1VG90	\$1221.00	135
265	20A	12,600	3.7	14.3	9,000	11.3	8,400	3.5	AZ35H09E4B	1VG81	\$1109.00	125
265	20A	12,600	3.7	14.3	9,000	11.3	8,400	3.5	AZ35H09E4C	1VG82	\$1155.00	115
265	20A	12,600	3.7	14.3	11,700	10.7	11,900	3.3	AZ35H12E4B	1VG86	\$1139.00	125
265	20A	12,600	3.7	14.3	11,700	10.7	11,900	3.3	AZ35H12E4C	1VG87	\$1187.00	125
<b>5500 PREMIUM SERIES</b>												
230/208	15A†	8,600/7,000	2.55/2.09	11.1/10.0	9,000/8,800	11.3/11.3	8,400/8,200	3.5/3.5	AZ55H09DAB	1VG91	\$1273.00	125
230/208	20A†	11,700/9,600	3.45/2.82	15.0/13.6	11,800/11,600	10.7/10.7	10,900/10,700	3.3/3.3	AZ55H12DAB	1VG92	\$1328.00	115
230/208	30A†	17,000/13,900	5.0/4.09	21.7/19.7	14,700/14,400	10.0/10.0	13,400/13,200	3.1/3.1	AZ55H15DAB	1VG93	\$1420.00	145

(†) Heating capacity is determined by amperage of line cord ordered; see accessories for premium series model on page 3497.

3496 | **GRAINGER.**

☐ = Shipped Directly from Manufacturer ✓ = Extended Warranty Available ★ = New

☐ = Shippe

No Fit Wa

No. 41 Steel Wa



Make life easy  
Click on grainger.com

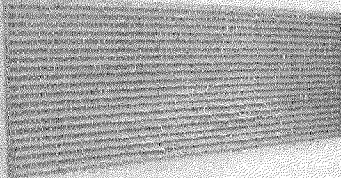
A/C & Refrigeration  
Air Conditioner & Heat Pump Accessories



Repair  
Parts Available  
1-800-323-0620



outside



No. 4YN01  
Exterior Grille



No. 4YN04  
Sub-base



No. 3EC13  
Fiberglass  
Wall Case



No. 4YM08  
Steel Wall Case

Packaged Terminal Air Conditioner Accessories

**EXTERIOR GRILLES**

Protects coils, fan, and other components while blending architectural finish to building's outside appearance. Three styles available: the standard stamped aluminum grille No. 4E758, the molded architectural louvered (Lexan) grilles Nos. 4E759 (beige), 4E760 (maple), and 4E761 (dark brown), and the extruded aluminum architectural louvered grille No. 4YN01.

**DRAIN ADAPTER KIT**

Can be field installed to drain condensate water from the wall case. Kit can be used for draining condensate to inside or outside.

• Drain tube is 1/2" O.D. copper

**SUB BASE**

Made of heavy-gauge steel to provide support of the wall case. Full base enclosure with break-away side channels, and 4-point leveling legs. Will adapt to service conduit, circuit breakers and receptacles up to 30 amps. Used when units are hard wired or when line cord needs to be concealed.

**FIBERGLASS WALL CASE**

Molded SMC fiberglass-reinforced polyester compound. Measures 42 3/8" W x 13 3/4" D x 16 1/4" H. Minimum wall opening is 1/4" larger than the case dimensions. No. 4YM09 Fiberglass Wall Case sold in pack of 4. No. 3EC13 is sold in packages of 1.

**STEEL WALL CASE**

Heavy-gauge galvanized steel, with insulation. Measures 42W x 13 3/4 D x 16" H. Minimum wall opening is 1/4" larger than the case dimensions.

• Priced and sold in packs of 4

**PREMIUM 5500 SERIES POWER CONNECTOR KITS**

Power connector kits required for 5500 series. See page 3496 for 5500 series units. Line cord type: 230/208V. No. 4NW85 is 15 amps, 6-15p plug. No. 4NW86 is 20 amps, 6-20p plug. No. 4NW87 is 30 amps, 6-30p plug.

**DIGITAL NONPROGRAMMABLE THERMOSTATS**

These thermostats offer an economical remote control solution for single-stage heat/cool and multi-stage heat pump applications. System includes Heat, Cool, or Off mode in addition to Fan On or Fan Auto selections. Units include a temperature safety circuit and backlit display. F or C compatible; 24V AC/DC compatible. No batteries are required for general operation. No. 3GY64 is for electric heat. No. 3GY95 is for heat pumps. 7-Day programmable thermostats can be ordered from Grainger at 1-800-323-0620.

Description	General Electric Model	Stock No.	Each	Shpg. Wt.
Exterior Grille-Stamped Aluminum	RAG60	4E758	\$24.49	4.8
Exterior Grille-Beige, Lexan Louvered	RAG61	4E759	67.60	5.0
Exterior Grille-Maple, Lexan Louvered	RAG62	4E760	67.60	5.0
Exterior Grille-Dark Brown, Lexan Louvered	RAG63	4E761	67.60	5.6
Exterior Grille-Extruded Aluminum Louvered	RA067	4YN01 ✓	64.20	5.1
Drain Adapter Kit	RA010	4E768	9.97	2.4
Sub-base	RAK204U	4YN04 ✓	58.85	11.0
Fiberglass Wall Case	RAB7761	3EC13	87.80	28.0
Fiberglass Wall Case (pack of 4)	RAB7764	4YM09 ms	332.25	28.0
Steel Wall case (pack of 4)	RAB71	4YM08 ms	376.50	116.0
Premium 5500 Series Power Connector Kit (15 Amp)	RAK3152	4NW85	26.45	1.0
Premium 5500 Series Power Connector Kit (20 Amp)	RAK3202	4NW86	28.10	1.3
Premium 5500 Series Power Connector Kit (30 Amp)	RAK3302	4NW87	34.65	1.5
Digital Thermostat-Electric Heat	RAK15301	3GY64	39.55	0.7
Digital Thermostat-Heat Pump	RAK14701	3GY65	47.80	0.4

ms = Shipped Directly from Manufacturer ✓ = Extended Warranty Available ★ = New Item





RETURN TO: Department of Environmental Protection  
 Division of Development Services and Regulation  
 250 Hungerford Drive, Rockville, Maryland 20850  
 (301) 217-6370

**Historic Preservation Commission**  
 (301) 495-4570

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Richard Metzger  
 DAYTIME TELEPHONE NO. (301) 831-7570  
 TAX ACCOUNT # Dist 01 0003218  
 NAME OF PROPERTY OWNER Goshen Cemetery Comp Inc DAYTIME TELEPHONE NO. (301) 253-9449  
 ADDRESS 6001 Griffith Rd Laytonsville Md 20882  
 CITY STATE ZIP CODE  
 CONTRACTOR Richard Metzger TELEPHONE NO. (301) 831-7570  
 CONTRACTOR REGISTRATION NUMBER 41370  
 AGENT FOR OWNER Goshen Mennonite Church DAYTIME TELEPHONE NO. (301) 831-7628  
LEE MUMMAU Pastor

14/41

**LOCATION OF BUILDING/PREMISE**

HOUSE NUMBER 8410 STREET Beink Rd.  
 TOWN/CITY Laytonsville NEAREST CROSS STREET Beink & Goshen Hunt Ln  
 LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBDIVISION 1  
 LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL G-11 P-66

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE:  A/C Slab Room Addition  
 Construct Extend Alter/Renovata Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove  
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other \_\_\_\_\_  
 1B. CONSTRUCTION COST ESTIMATE \$ 48,691 *Because of in house contractor, cost will be less*  
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # no

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. TYPE OF SEWAGE DISPOSAL 01 ( ) WSSC 02 (✓) SEPTIC 03 (✓) OTHER et Bio  
 2B. TYPE OF WATER SUPPLY 01 ( ) WSSC 02 (✓) WELL 03 ( ) OTHER \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Lee E. Mummau Signature of owner or authorized agent 3/4/98 Date

APPROVED  w/conditions For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

APPLICATION/PERMIT NO: \_\_\_\_\_ DATE FILED: \_\_\_\_\_ DATE ISSUED: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The structure is a brick church build in 1870. It is 42' x 33'.  
It sits in trees skirted with a cemetery on the  
east and south

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

this project is to 1. provide inside restrooms 2. a  
couple classrooms 3. a counter with stone, sink, and seating  
all handicap accessible now we have outside OET has.  
in Montg Co. (2)

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date:

3/26/98

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator <sup>202</sup>  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

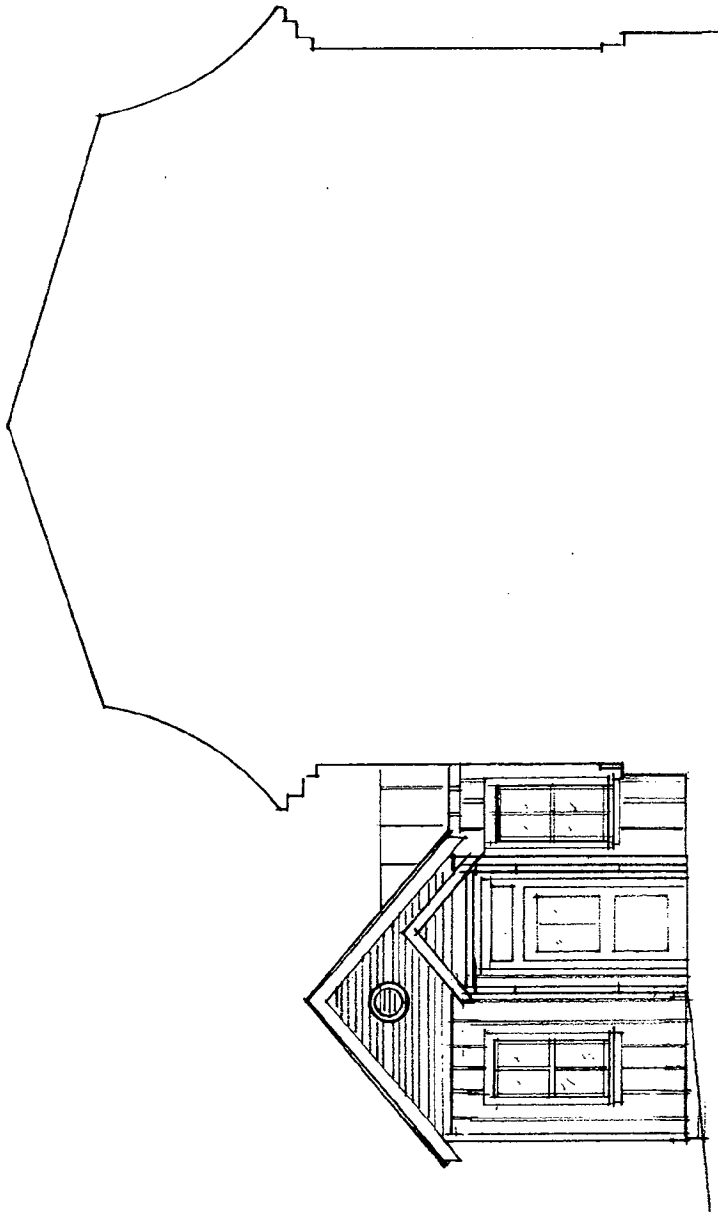
You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

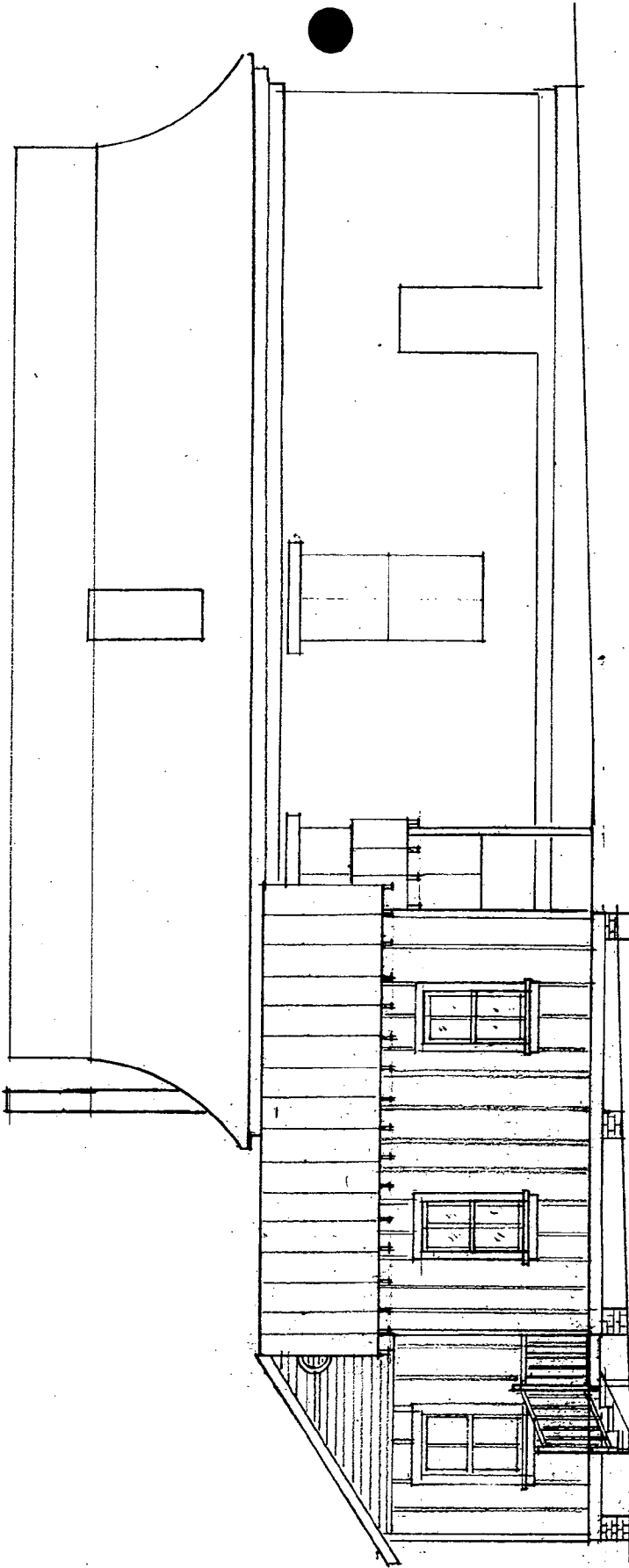
Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

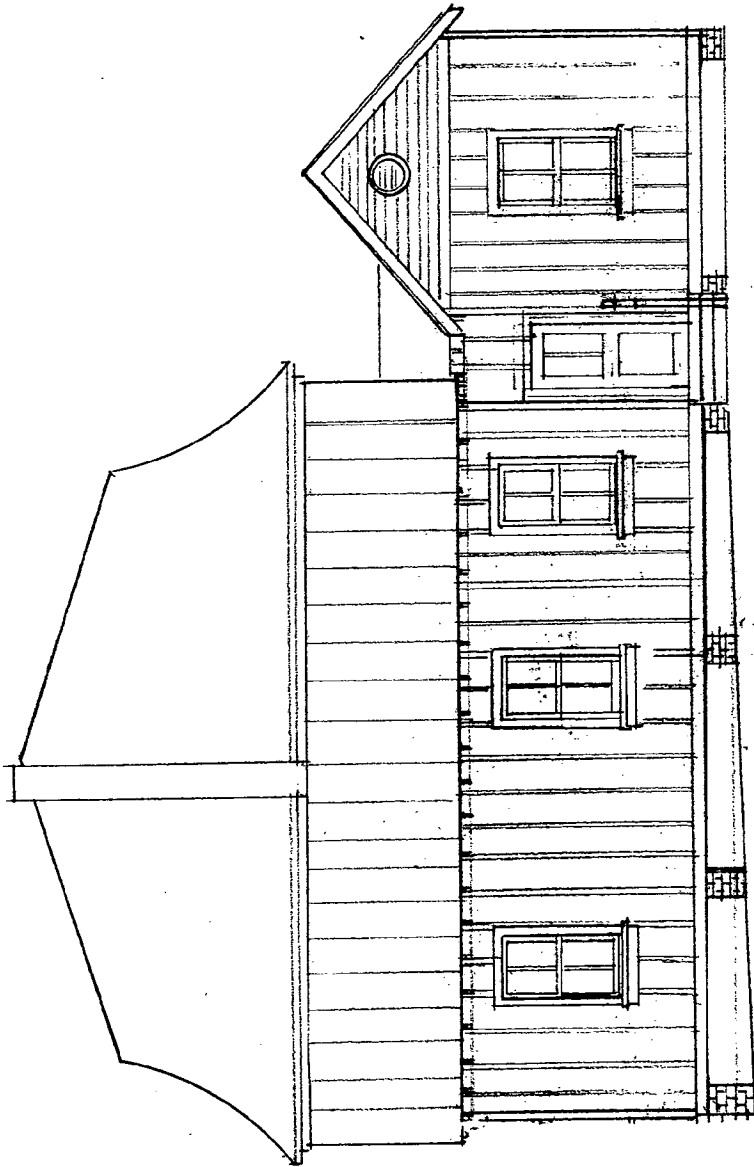


--- NORTH ELEVATION

• Revised set approved by HPC 3/25/98

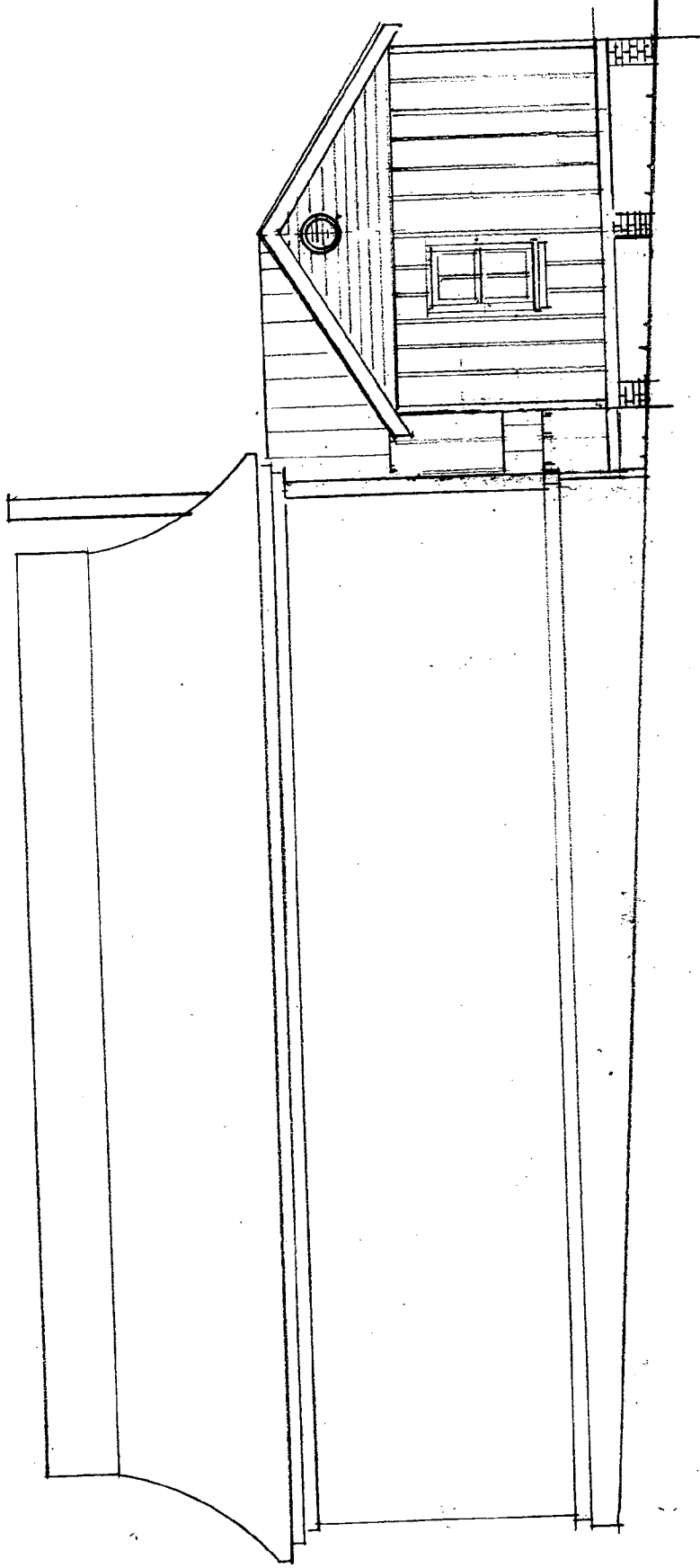


EAST ELEVATION



SOUTH ELEVATION





WEST ELEVATION

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 8410 Brink Road, Laytonsville

Meeting Date: 3/25/98

Resource: Goshen Mennonite Church  
Master Plan Site #14/41

Review: HAWP

Case Number: 14/41-98A

Tax Credit: No

Public Notice: 3/11/98

Report Date: 3/18/98

Applicant: Goshen Cemetery Comp, Inc.  
(Lee E. Mummau, Agent)

Staff: Robin D. Ziek

PROPOSAL: Rear and Side Addition

RECOMMENDATIONS: APPROVAL  
w/CONDITIONS

*add/revise site plan to  
Screen bldg from neighbors  
across the street @ NE  
corner area.*

PROJECT DESCRIPTION

RESOURCE: Goshen Mennonite Church

STYLE: 2nd Empire, with hipped-mansard roof

DATE: 1871

*NOTE: Changes in construction  
Permit set complies  
w/ code 10.*

The Goshen Mennonite Church was built in 1871 by master builder S. G. Henseley, based on a design by a Washington architect, Walter or Walters West. The site was originally dedicated in 1790 when Ignatius Pigman gave one acre to a Methodist Episcopal congregation for a new church building. The original log building was replaced by a brick structure in 1830. That building was demolished ca. 1869 and the current church building was erected. The Methodist Episcopal congregation moved to Laytonsville in 1936 and the building, with its property, was leased in 1950 to the Easter Mennonite Board of Missions and Charities. The building continues in use today by an active Mennonite congregation.

The church sits on 2+ acres and includes the church structure and a cemetery. The building is a centralized and symmetrical structure with a rose window over the entrance doors. There is an existing handicapped ramp leading to the front door. The ground floor of the building is the main sanctuary. There are meeting rooms in the basement, and this area is not handicapped accessible.

PROPOSAL

*Made to be  
easily*

The applicant proposes to install two narrow structures which would be ~~pre-built and~~ transported <sup>from</sup> to the site. The structures would be installed on piers and would be designed to be easily removed should the congregation decide to vacate this church site at some point in the

*built on site +*

future. The programmatic needs include handicapped accessible bathrooms and some additional meeting space for the congregation. The new addition would be free-standing and separate from the existing church. The only point of connection would be a narrow (ca. 5') roof which would cover the basement door and connect to a basement door in the addition, leading to a short flight of steps to the main floor of the addition (see Circle 12). The roof would be tied into the main building at the level of the belt course. Or, alternatively, it could be designed to be free-standing.

The applicant had appeared before the HPC on 11/15/95 for a Preliminary Consultation to discuss the possibility of an addition. In the Preliminary Consultation, the applicant discussed the constraints of new construction posed by the close proximity of the cemetery to the historic church building. A narrow long bar building was proposed which protruded to either side of the main church building, and was very plain. The HPC was concerned with the length of the proposed structure, noting that it would be visible from all points along the public right-of-way.

Since that consultation, the applicant has redesigned the proposal and broken up the massing into two small (connected) structures. The materials are proposed to be board-and-batten siding, either true or with plywood and applied battens. The roof would be standing seam metal. The windows are proposed as wood, thermally glazed; either 2/2 with applied muntins, or 1/1. A landscape plan is also provided (see Circle 10).

#### **STAFF DISCUSSION**

The proposal responds to issues which were brought up at the Preliminary Consultation, such as holding the new work separate and distinct from the historic structure, and minimizing the size of the new construction to be less visible from the public right-of-way. Staff feels that the level of detailing is high, and that the proposed asymmetrical massing minimizes the impact of the addition on the highly centralized historic structure.

The board-and-batten siding would introduce a texture that is more informal and quite distinct from the character of the main church. This seems to be a good choice in that these materials are historically associated with outbuildings, and would promote a clear reading of the addition as a subsidiary structure separate and apart from the historic church. Staff feels, however, that the proposed addition should be painted to provide a finished appearance more in-keeping with the high-style historic church.

The proposed use of 2/2 windows contributes to the sense of a small-scale building and would be the preferred option as long as the muntins were integral to the window and snap-in grills were not used.

#### **STAFF RECOMMENDATION**

Staff recommends that, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

**CONDITIONS:**

1. The replacement windows and doors will not utilize snap-in grills.
2. The addition will be painted.
3. The applicant will provide the permit set of drawings to HPC staff for review and stamping prior to applying for the building permit with DPS.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

# APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON Richard Metzger  
 DAYTIME TELEPHONE NO. (301) 831-7520

TAX ACCOUNT # Dist 01 00003218

NAME OF PROPERTY OWNER Goshen Cemetery Comp Inc DAYTIME TELEPHONE NO. (301) 253-9449

ADDRESS 6001 Griffith Rd Laytonsville Md 20882  
CITY STATE ZIP CODE

CONTRACTOR Richard Metzger TELEPHONE NO. (301) 831-7570

CONTRACTOR REGISTRATION NUMBER 41370

AGENT FOR OWNER Goshen Mennonite Church DAYTIME TELEPHONE NO. (301) 831-7624  
LEE MUMMAU Pastor

**LOCATION OF BUILDING/PREMISE**

14/41

HOUSE NUMBER 8410 STREET BRINK RD.

TOWN/CITY LAYTONSVILLE NEAREST CROSS STREET BRINK & GOSHEN HUNT LN.

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUBDIVISION 1

LIBER \_\_\_\_\_ FOLIO \_\_\_\_\_ PARCEL G-11 P066

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE:  A/C Slab Room Addition  
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove  
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other \_\_\_\_\_

1B. CONSTRUCTION COST ESTIMATE \$ 48,691 Because of in house contractor, cost will be less

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # NO

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. TYPE OF SEWAGE DISPOSAL 01 ( ) WSSC 02 () SEPTIC 03 () OTHER or Bio  
 2B. TYPE OF WATER SUPPLY 01 ( ) WSSC 02 () WELL 03 ( ) OTHER \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. HEIGHT \_\_\_\_\_ feet \_\_\_\_\_ inches  
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:  
 On party line/property line \_\_\_\_\_ Entirely on land of owner \_\_\_\_\_ On public right of way/easement \_\_\_\_\_

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

Lee E. Mummau Signature of owner or authorized agent 3/4/98 Date

APPROVED \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
 DISAPPROVED \_\_\_\_\_ Signature \_\_\_\_\_ Date \_\_\_\_\_

(4)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The structure is a brick church build in 1870. It is 4 1/2 x 3.  
It sits in trees skated with a cemetery on the  
east and south.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

this project is to 1. provide inside restrooms 2. a  
couple classrooms 3. a counter with stone, sink, and sefling.  
all handicap accessible now we have outside OET Has.  
in Monty Co. (2)

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to an existing structure, you must submit a tree survey.

(5)

HAWP APPLICATION: ADDRESSES OF ADJACENT & CONFRONTING PROPERTY OWNERS

THOMAS BOURDEAUX  
8500 BRINK RD.  
LAGTOONVILLE, MD. 20879  
(301) 279-3552

PAUL HUNT  
8404 GOSHEN VIEW DR.  
GAITHERSBURG MD 20882-1033

VICTOR CIBELLI  
21500 GOSHEN HUNT LN.  
GAITHERSBURG MD. 20879

JOHN CRISTOFI  
34 GOSHEN CT.  
GAITHERSBURG MD. 20879

GARY TWIGG  
21501 GOSHEN HUNT LN.  
GAITHERSBURG MD. 20879

WILLIAM D. HASFURTH  
30 GOSHEN CT.  
GAITHERSBURG MD 20879

Post-It® Fax Note	7671	3/16/98	# of pages	1
To	Robin	From	JH	
Co./Dept.	HPC	Co.	Jordan Honeyman	
Phone #	301	Phone #	202 737 0451	
Fax #	301 563 3412	Fax #	202 737 0452	

March 11, 1998

Historic Preservation Commission  
Montgomery County, MD  
250 Hungerford Drive  
Rockville MD 20850

Re: Goshen Mennonite Church  
8410 Brink Road P.O. Box 5072  
Laytonsville, MD 20882

**JORDAN  
HONEYMAN**  
Landscape Architecture

1003 K Street NW  
Suite 840  
Washington DC 20001  
202.737.0451  
202.737.0452 FAX

Dear Commissioners & Staff:

The proposal for the Goshen Mennonite Church in Laytonsville, MD. is to provide two outbuildings connected by a small enclosed breezeway. The buildings are to house handicapped restrooms and spaces for Sunday school classes and fellowship meals. Access to the new buildings would be provided by a covered breezeway adjacent to the existing basement entrance located on the rear of the church. Handicapped access would be provided at an entrance on the north face of the new building connected to the front driveway by a 4' concrete walk.

The buildings are frame construction placed on brick pier foundations. The exterior siding is to be board and battens or plywood siding with battens, (We are asking approval for either option). Fish scale shingles with a round louvered vent in all gables are also proposed. The roof is to be a standing seam metal roof. The rear porch and steps are to be 2x4 and 2x6 decking in an alternating pattern. The painted handrail is to be inset pickets in a top and bottom rail. Windows are to be wood thermally glazed; two over two with applied muttons, or one over one. The window dimensions are approximately 2' 8" or 3' widths with a 5' height

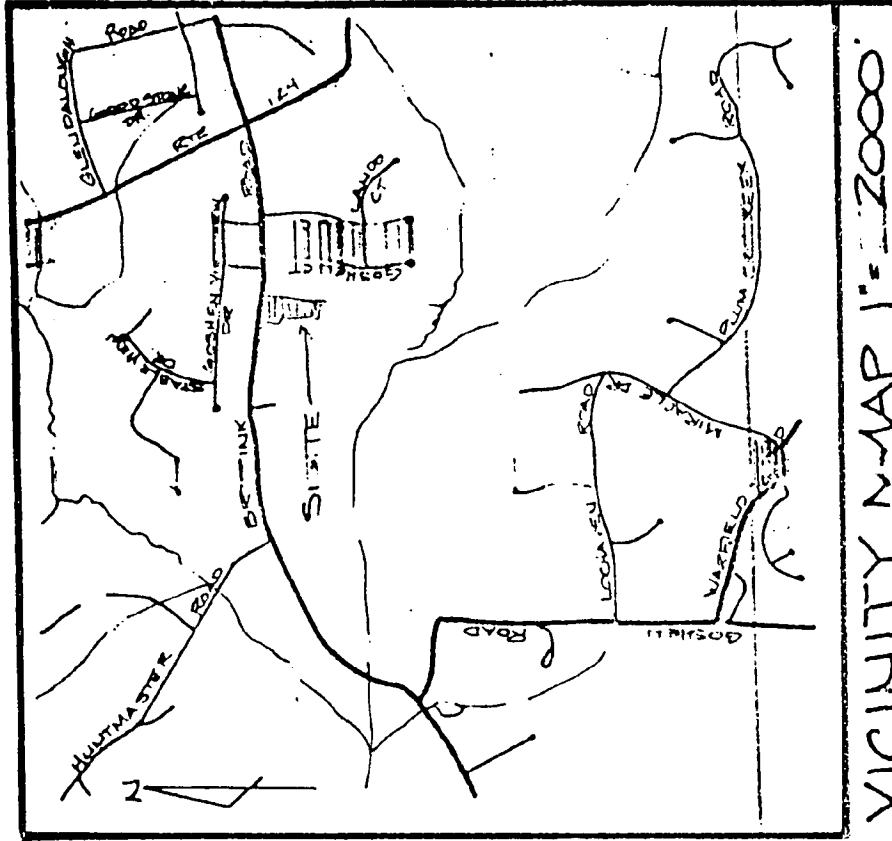
A planting screen of American arborvitae and flowering shrubs will be provided on the north and west sides to minimize the impact of the new buildings.

Thank you for your consideration.

Sincerely,  
Jordan Honeyman  
Landscape Architecture

Paxton Holt Jordan, ASLA  
Partner





VICINITY MAP 1" = 2000'

HUNT LN

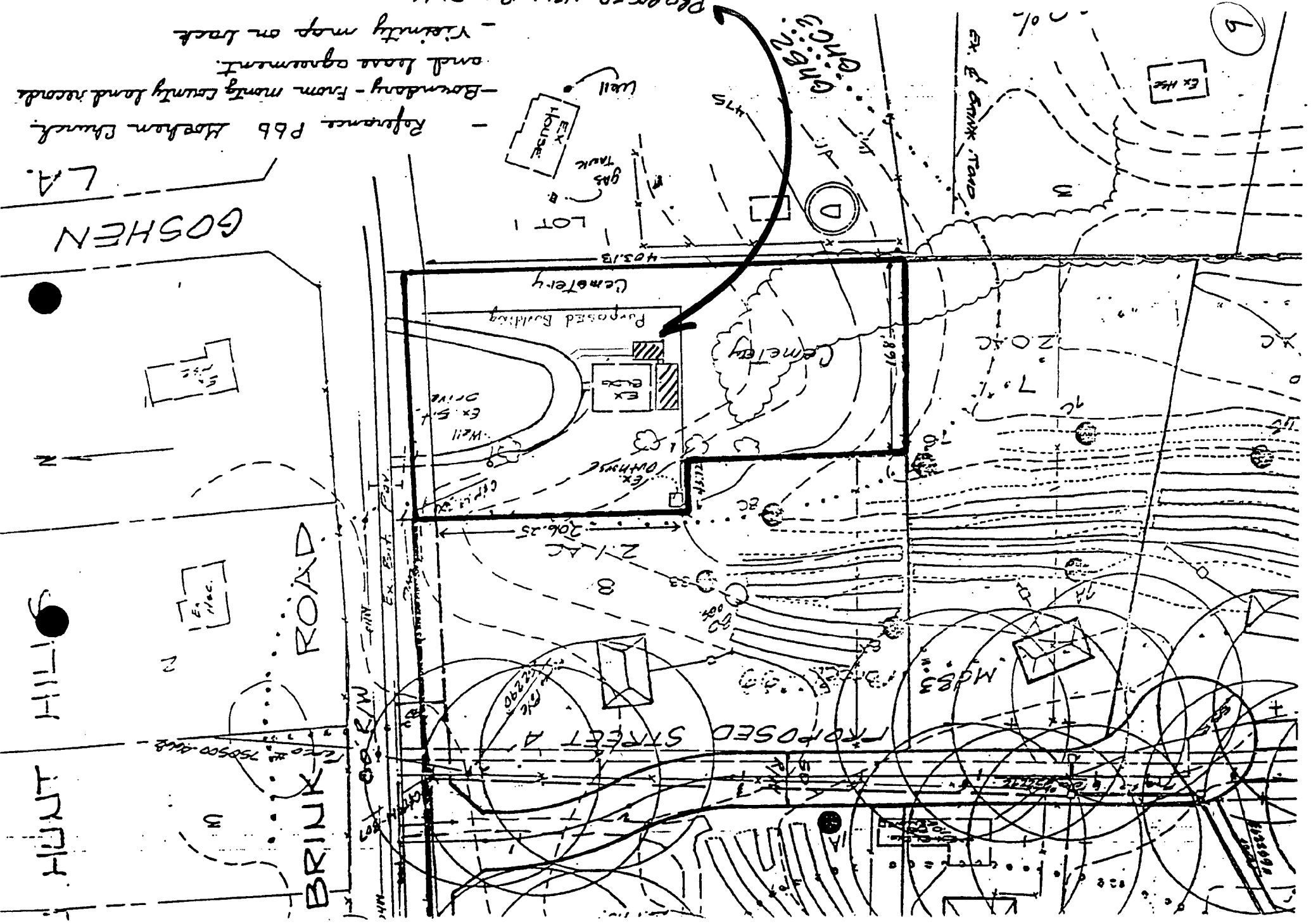
HILL

BRINK ROAD

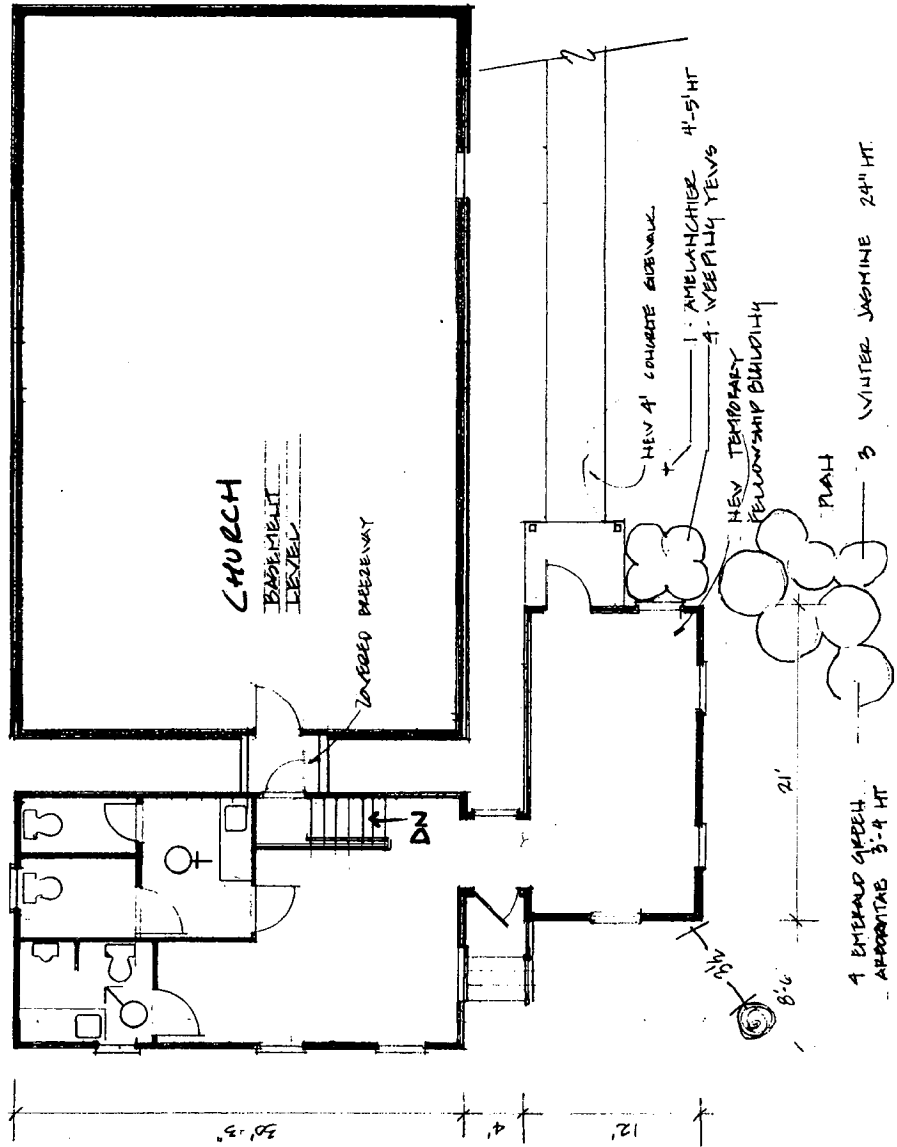
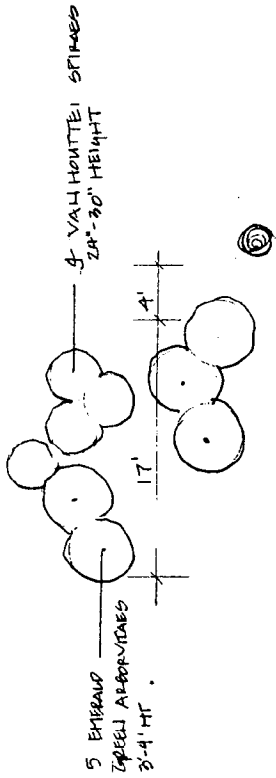
GOSHEN

- Reference P66 Horizon Church
- Boundary - from Monty County land records
- and lease agreement.
- vicinity map on back

PROPOSED NEW BUILDINGS



6

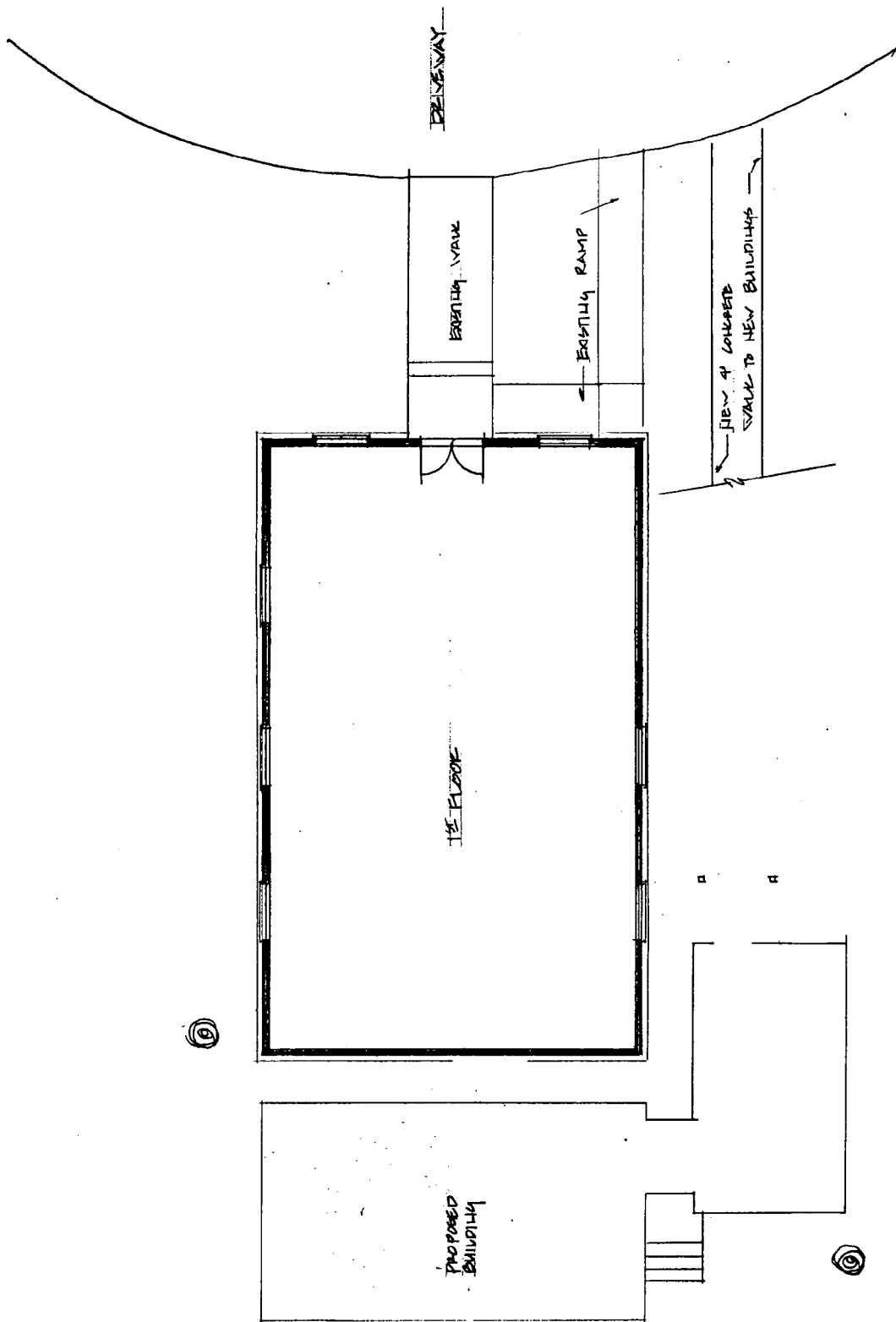


1<sup>ST</sup> FLOOR OF  
PROPOSED NEW  
ADDITION SHOWN.

STAIRS LEAD UP FROM  
CHURCH BASEMENT LEVEL.

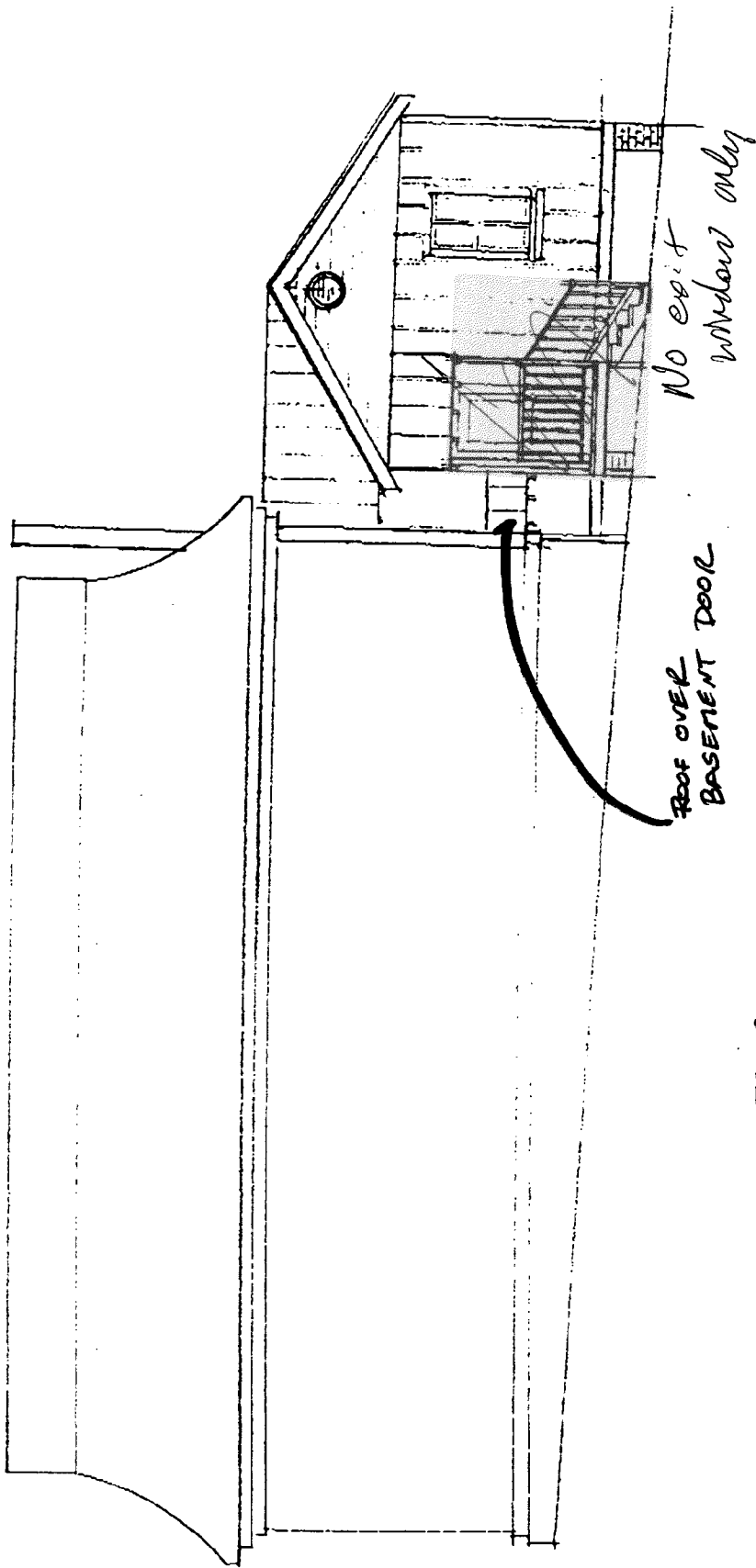
CHURCH  
BASEMENT LEVEL

PROPOSED



PROPOSED SITE PLAN

11

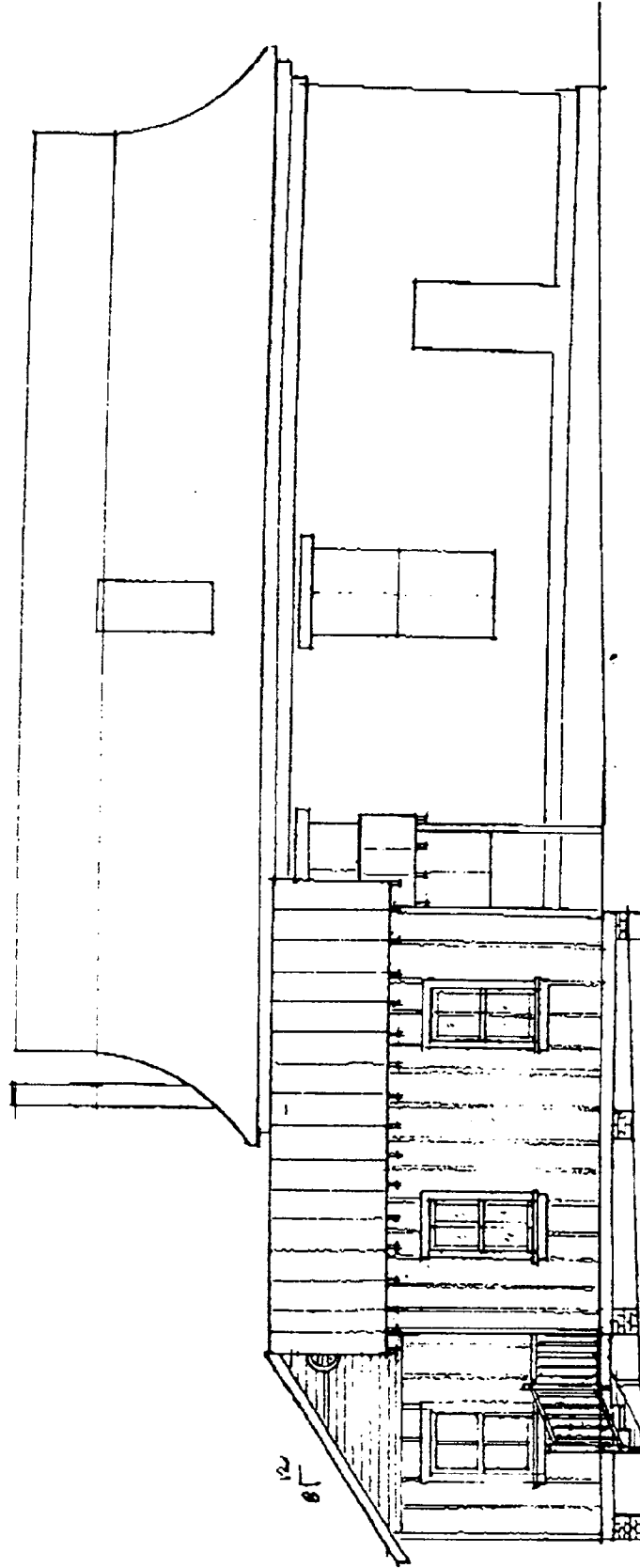


No exit window only

ROOF OVER BASEMENT DOOR

WEST ELEVATION

PROPOSED

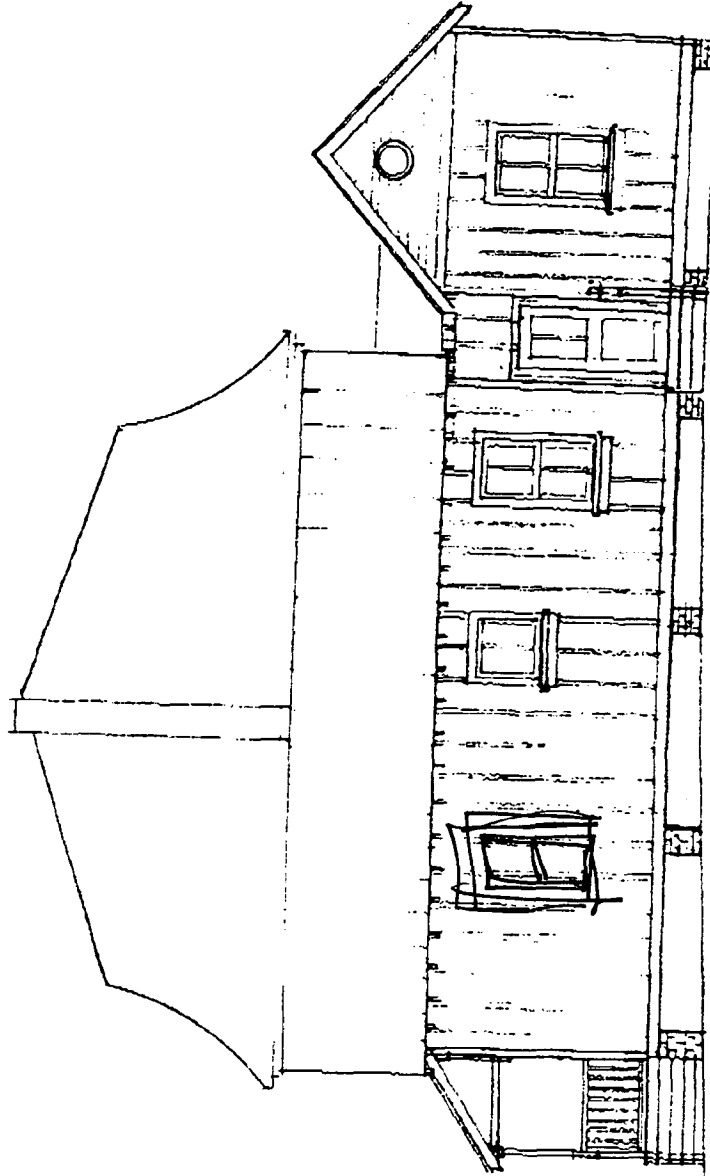


12  
81

--- EAST ELEVATION ---

PROPOSED

13

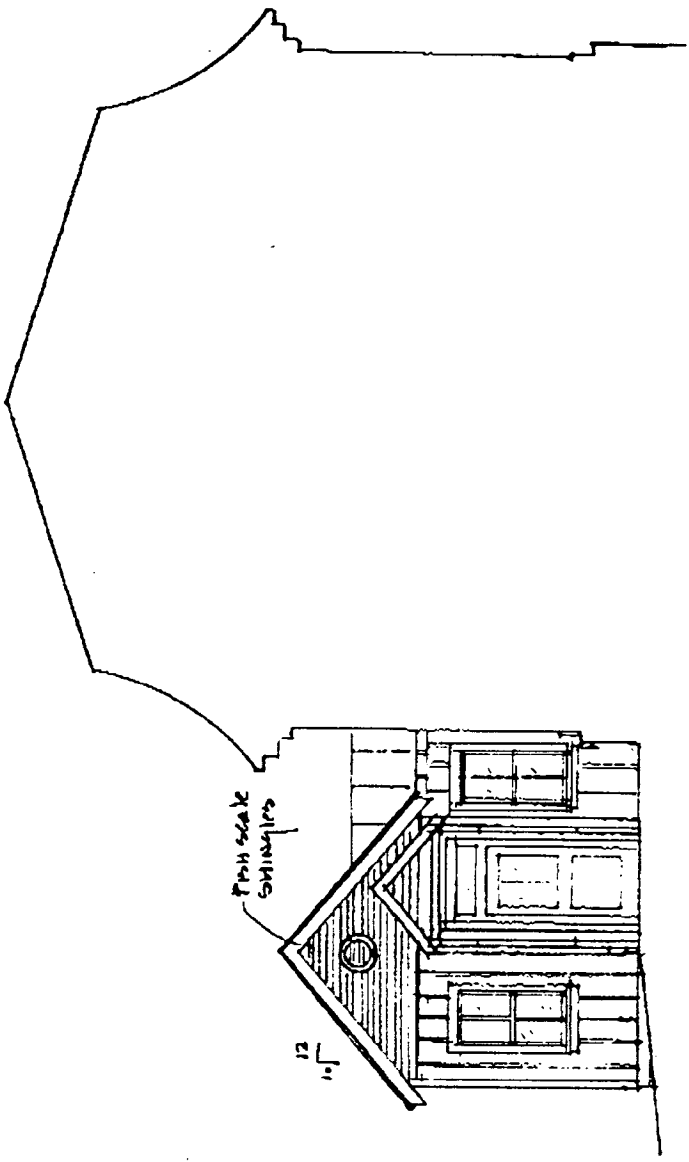


SOUTH ELEVATION

PROPOSED

14

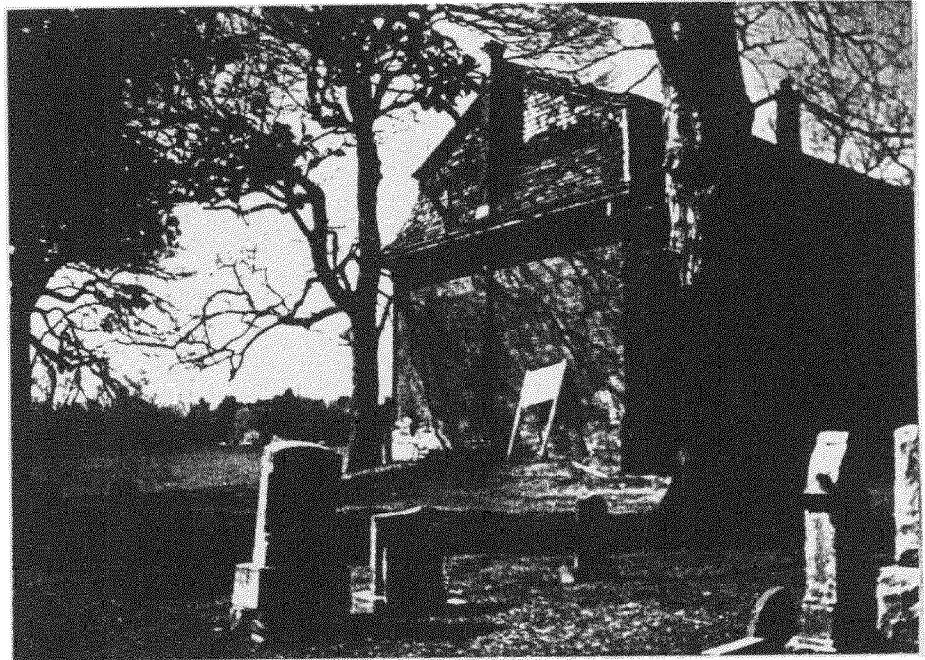
(51)



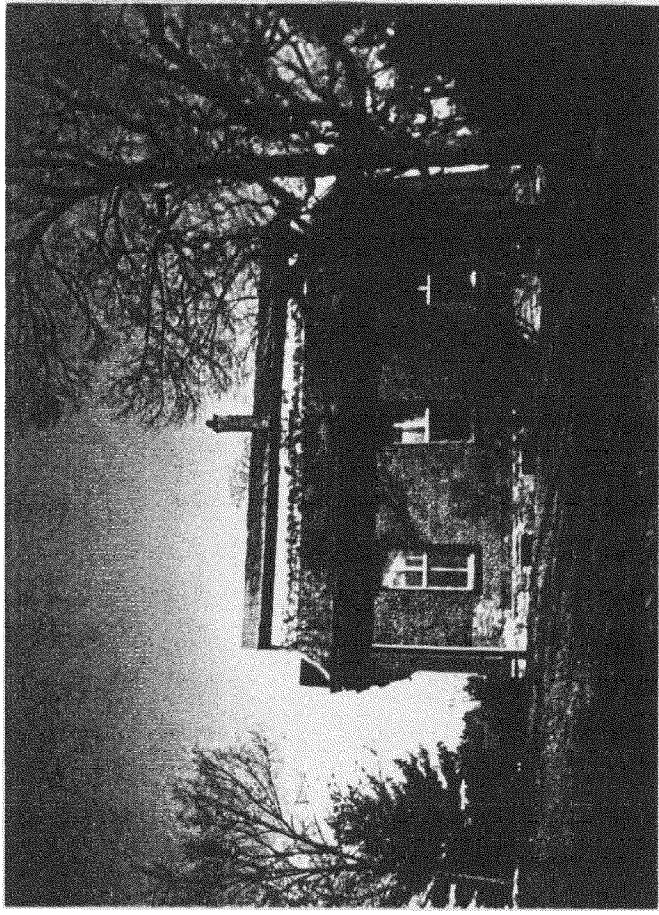
HEATH ELEVATION

PROPOSED









(17)







