

35/13-05X 3 Primrose Street
Chevy Chase Village Historic District

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3 Primrose Street, Chevy Chase	Meeting Date:	10/26/2005
Applicant:	Susan & Michael Harreld (David Jones, Architect)	Report Date:	10/19/2005
Resource:	Contributing Resource Chevy Chase Village Historic District	Public Notice:	10/12/2005
Review:	HAWP	Tax Credit:	None
Case Number:	35/15-05X	Staff:	Anne Fothergill
PROPOSAL:	Rear addition and side porch enclosure	RECOMMENDATION:	Approve with one condition

STAFF RECOMMENDATION

Staff recommends that the HPC approve this application with the condition that:

1. The applicants will create a tree protection plan in conjunction with the Village of Chevy Chase's arborist and tree protection measures will be in place prior to construction.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource, Chevy Chase Village Historic District
STYLE: Tudor Revival
DATE: c. 1916-1927

PROPOSAL:

The applicants propose to enclose the existing 11' wide side porch. In the porch's existing arched openings there would be wood windows with a lower wood panel at the front and back and on the left side two new wood glass doors with a painted stucco panel in the middle arch. *[There is no existing or proposed flagstone patio off the porch]*

They also propose construction of a one-story rear addition on the right side of the house attached to an existing one-story addition. The addition would be 15.6' wide and 20' deep on the left side and 13' on the right side where it connects to the existing kitchen. The addition would be clad in stucco with a slate roof and have wood doors and windows with simulated divided lights. The addition is inset approximately one foot on the right side.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for Chevy Chase Village (*Guidelines*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
- Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.
- Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Addition of compatible exterior storm windows should be encouraged, whether visible from the public-right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged.

The *Guidelines* state five basic policies that should be adhered to, including:

- Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.
- Maintaining the variety of architectural styles and the tradition of architectural excellence.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new

construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The Chevy Chase Village *Guidelines* state specifically that “Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.” This proposed side porch enclosure is compatible and appropriate for this house.

The proposed addition is small and at the rear and differentiated from the historic house. It should be noted that this house is on a relatively small lot and this addition, while not large, would increase the footprint of the house by approximately 200 SF. According to the *Guidelines*, lot coverage receives strict scrutiny with the goal of retention of the Village’s park-like character. In this case, this addition is at the rear and would not adversely impact this important feature of the historic district. But staff would not recommend any further additions to this property.

Staff recommends approval with a tree protection condition.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation;*

and provided the conditions listed on Circle 1 are met;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DAVID JONES

Daytime Phone No.: 202-332-1200

Tax Account No.: _____

Name of Property Owner: SUSAN & MICHAEL HARRELD Daytime Phone No.: 202-333-1265
(CONTRACT PURCHASERS)

Address: 3700 MASS. AVE, NW WASHINGTON DC 20016
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: DAVID JONES ARCHITECTS Daytime Phone No.: 202-332-1200

LOCATION OF BUILDING/PREMISE

House Number: 3 PRIMROSE STREET Street: _____

Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE

Lot: 31 Block: 58 Subdivision: CHEVY CHASE SECTION 2

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|------------------------------------|--|--|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 70,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner: On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David Jones
Signature of owner or authorized agent

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 25924 Date Filed: _____ Date Issued: _____

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

GENERAL DESCRIPTION OF PROJECT

General description of existing structure(s) and environmental setting, including their historical features and significance:

TUDOR REVIVAL STUCCO & SLATE HOUSE IN
CHEVY CHASE VILLAGE HISTORIC DISTRICT.

General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ENCLOSE EXISTING SIDE PORCH
ADD SMALL SITTING ROOM ON REAR.

PLAN

General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.

Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

PHOTOGRAPHS

Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.

Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

LIST OF ADJACENT & CONFRONTING PROPERTIES
3 PRIMROSE STREET
CHEVY CHASE MD 20815

Jeanne Ruesch
1 Primrose Street
Chevy Chase MD 20815

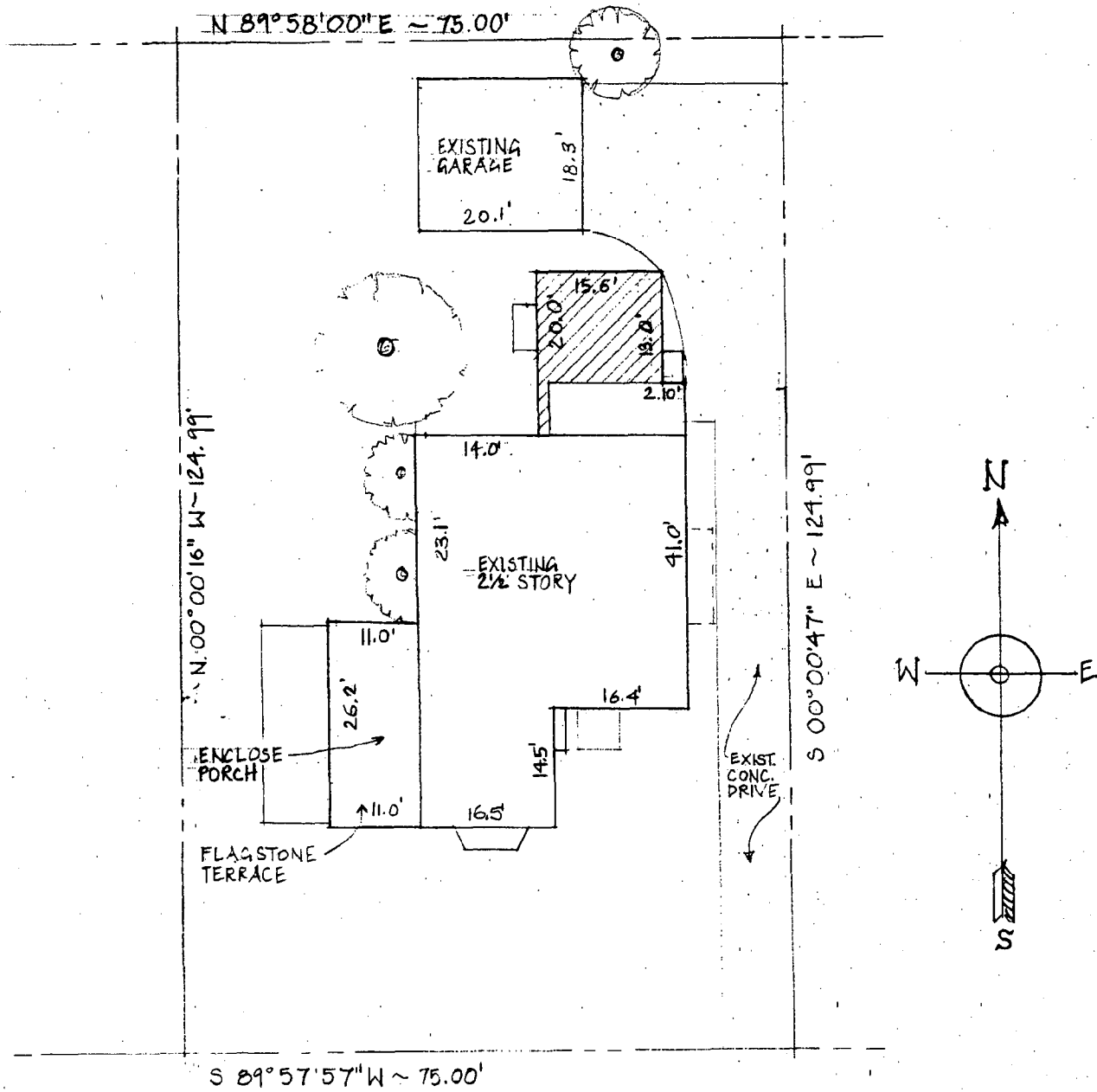
Sondra & Alan Geller
5 Primrose Street
Chevy Chase MD 20815

Carol & Edward McReady
4 Primrose Street
Chevy Chase MD 20815

Naomi & Clarke Camper
6 Primrose Street
Chevy Chase MD 20815

Jane Kaufman
4 Quincy Street
Chevy Chase MD 20815

Janet & Patrick Regan
6 Quincy Street
Chevy Chase MD 20815



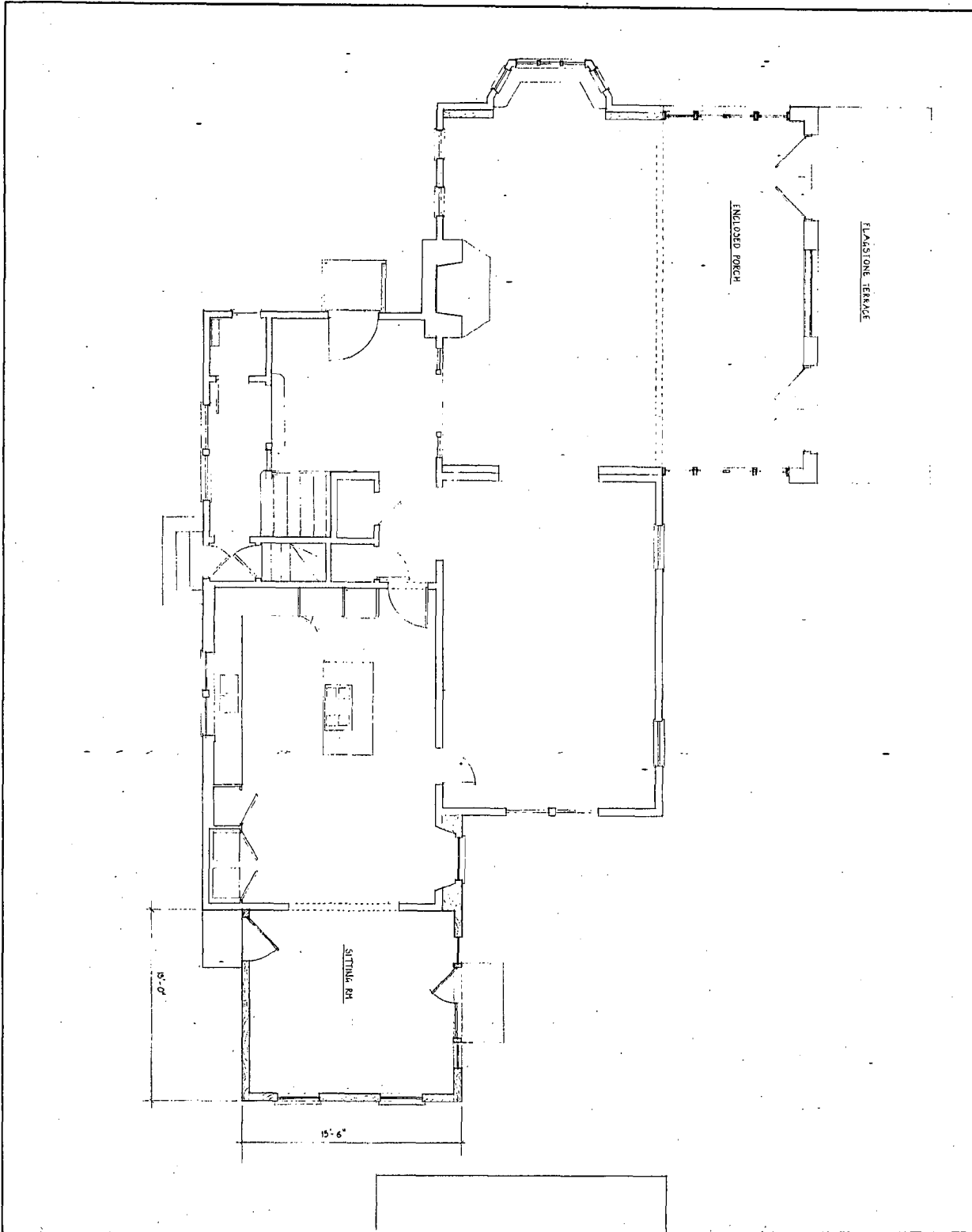
PRIMROSE STREET

SITE PLAN FROM: MACRIS, HENDRICKS & GLASCOCK, PA
 1" = 20" SURVEY - DEC 1998
 CHEVY CHASE ~ LOT 31, BLOCK 53, SECTION 2
 (PLAT BK. 2, PLAT NO. 106)

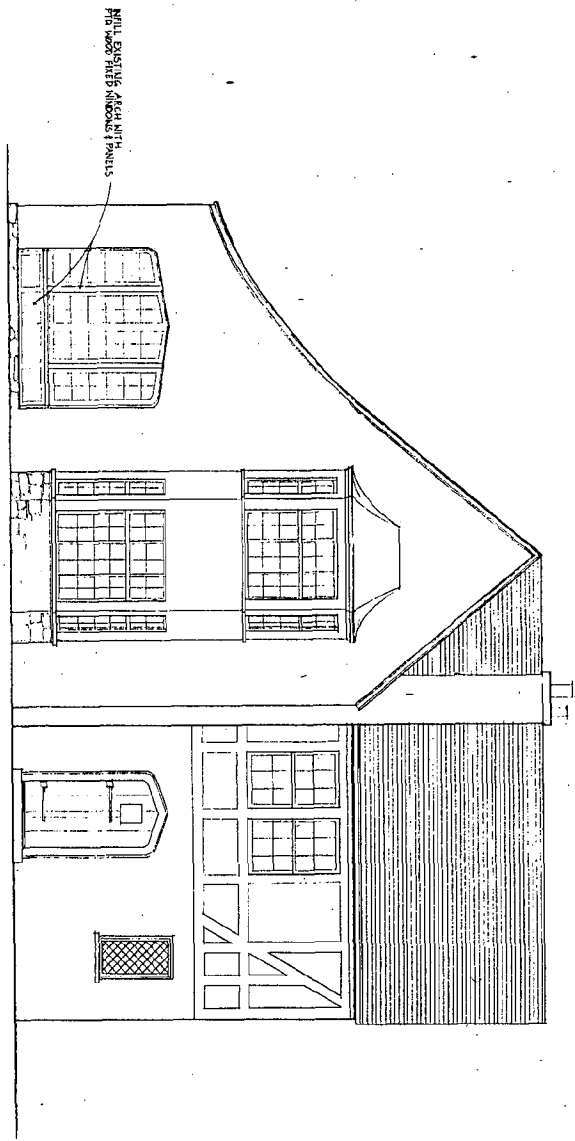
DAVID JONES ARCHITECTS
 10.3.05

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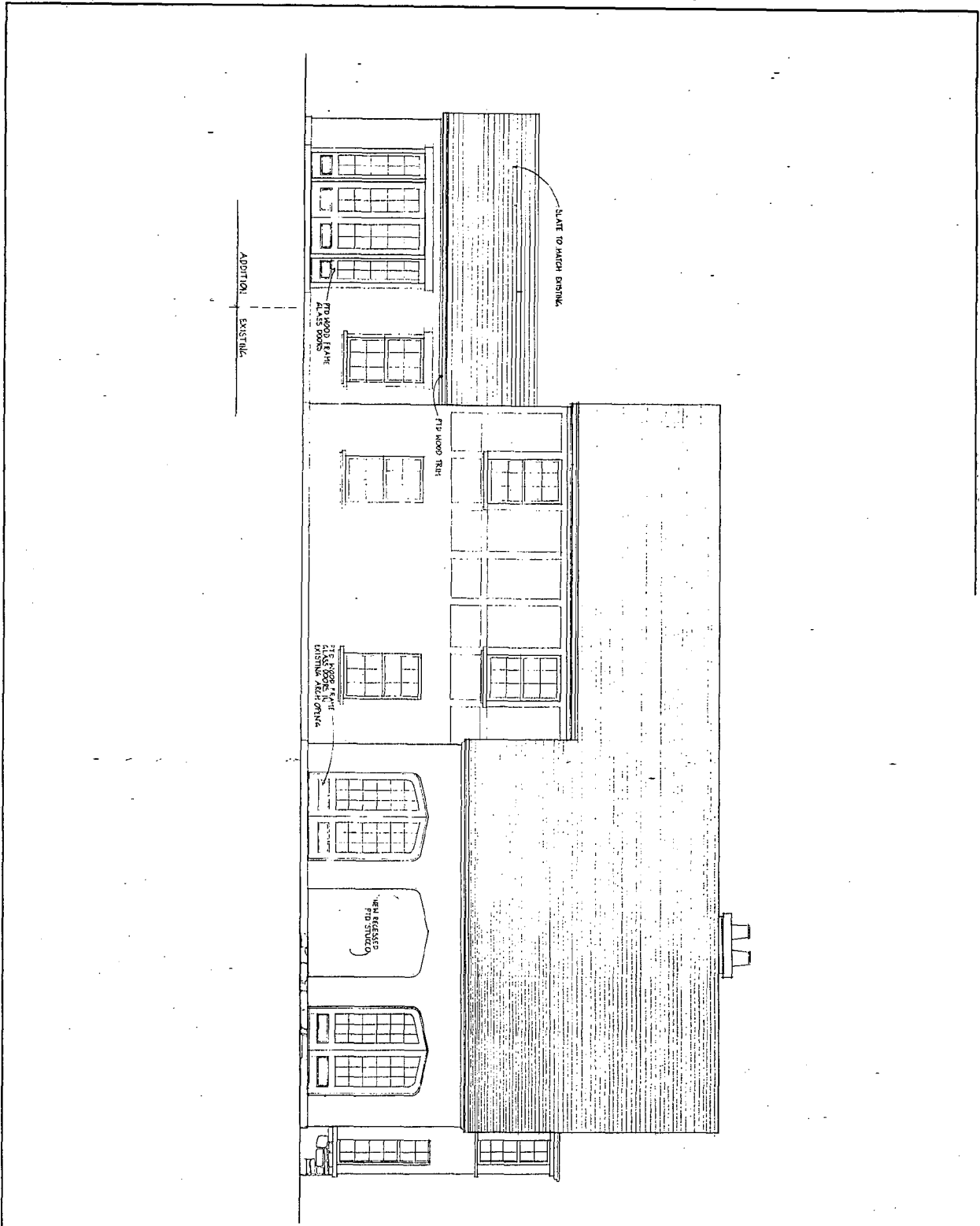
A7

3. PRIMROSE STREET
ZHEVY CHASE, MARYLAND

SOUTH ELEVATION
1/4" = 1'-0"

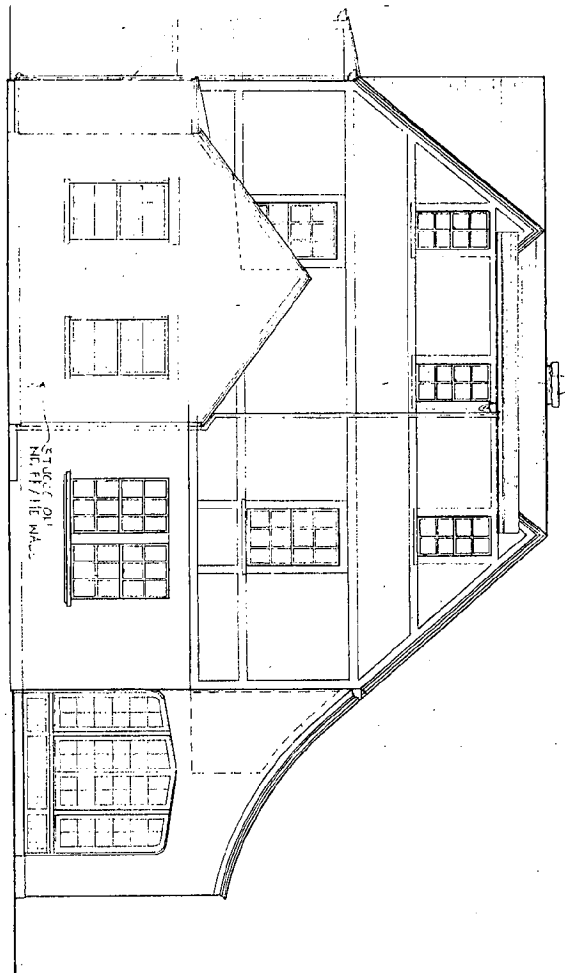
Date:
10/01/05

DAVID JONES ARCHITECT.
1339 CONNECTICUT AVE NW WASHINGTON DC 20004-3321-1311



11

CAD ONE, INC. 841143



A5

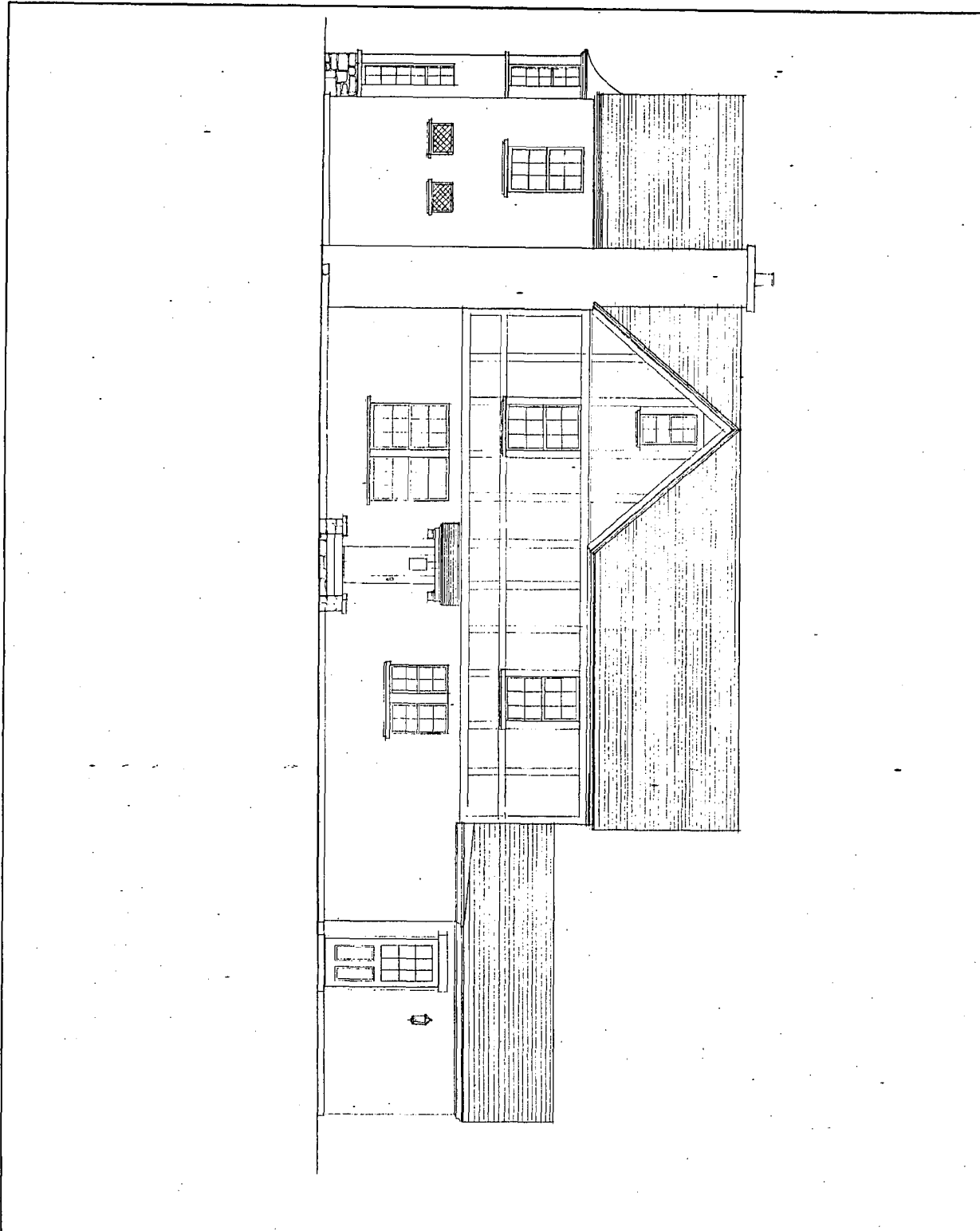
3 PRIMROSE STREET -
CHEVY CHASE, MARYLAND

NORTH ELEVATION

DATE:
10.3.05

DAVID JONES ARCHITECTS
1131 CONNECTICUT AVE., NW WASHINGTON, DC 20004-3201 312-3120

21



Feb. 8th
Work Session

Fothergill, Anne

From: Fothergill, Anne
Sent: Thursday, February 09, 2006 9:04 AM
To: 'DavidJonesArch@aol.com'
Subject: RE: for Wouter Boer

Three Primrose Street
Update from last night's meeting:

The HPC said staff can approve the submitted changes to the doors on the east and west side elevations. However, they will not allow me to stamp the changes (window removal) on the rear elevation. That proposed change would need to come back to the HPC as a HAWP revision. However, should you decide to apply for that revision, I don't think they are going to approve a blank wall there and you will need to put in some windows.

Thanks,
Anne

Anne Fothergill
Historic Preservation Planner
Montgomery County Park and Planning
1109 Spring Street, Suite 801
Silver Spring, MD 20910
301-563-3400 phone
301-563-3412 fax
<http://www.mc-mncppc.org/historic/>

February 8, 2006
Staff Item

In October 2005 the HPC approved a rear addition and other alterations to 3 Primrose in Chevy Chase (Contributing Resource).

The applicants are proposing some changes to the proposed windows and doors. The changes are all located in the new rear addition.

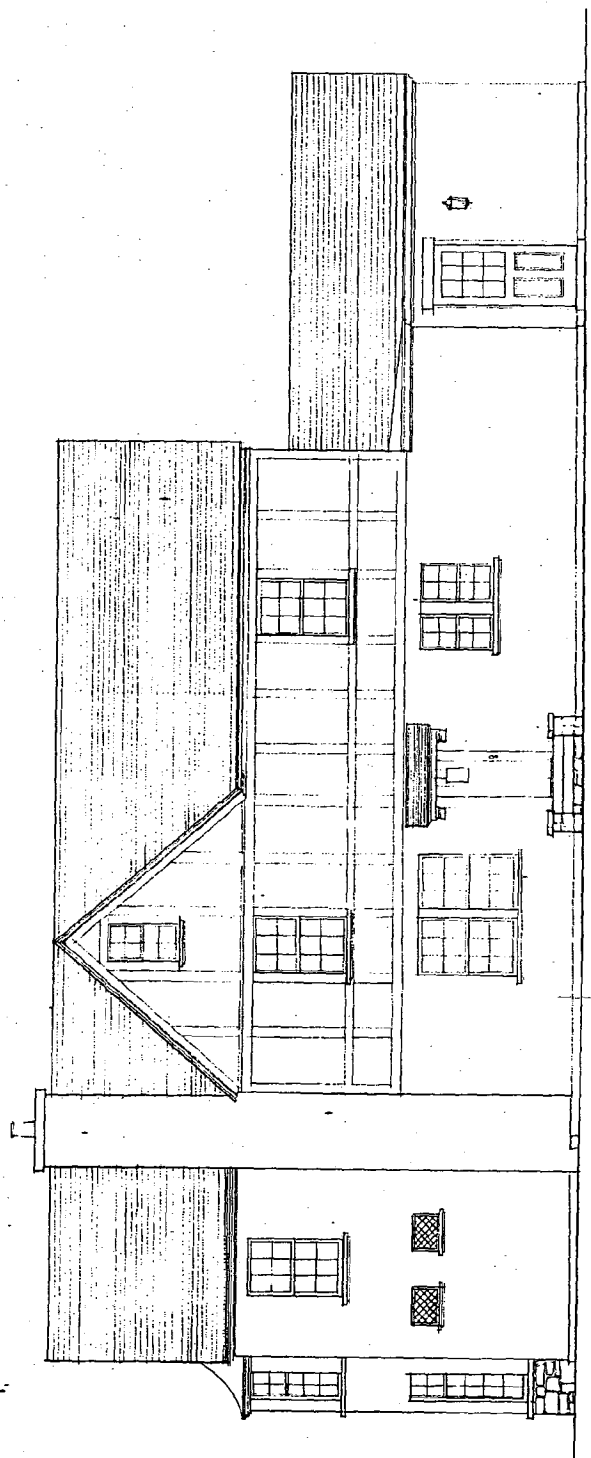
yes West side: change in doors (see Circles 4+5)

yes East side: replace single entry door with double doors to match west side (see Circles 2+3)

NO North side (rear): Remove two windows and infill area with stucco (see Circles 6+7)
No windows proposed because of the close proximity of the existing garage (approved site plan in Circle 8).

The applicants are requesting that these changes be approved at the staff level with HPC review and approval.

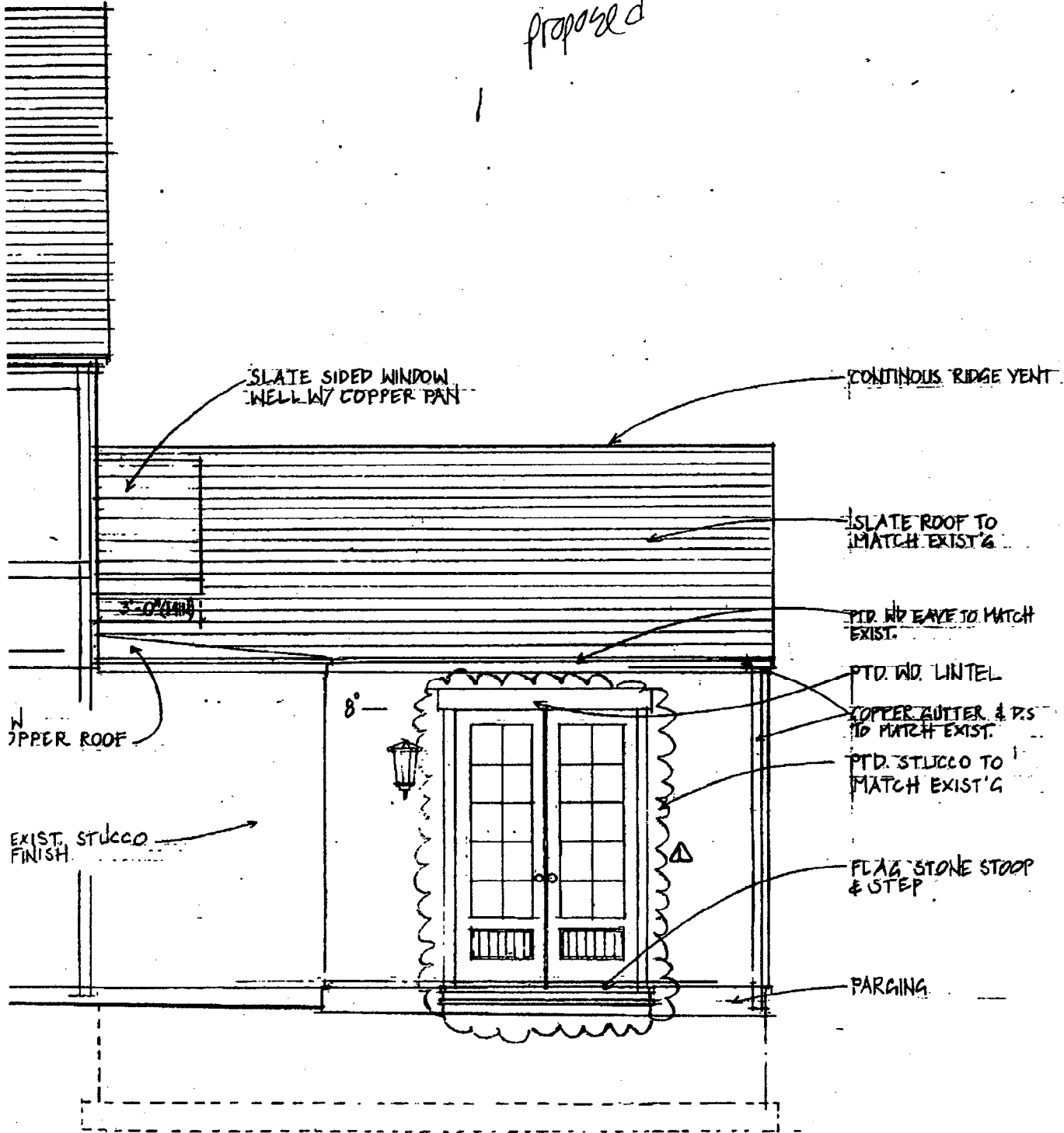
needs HAWP revision



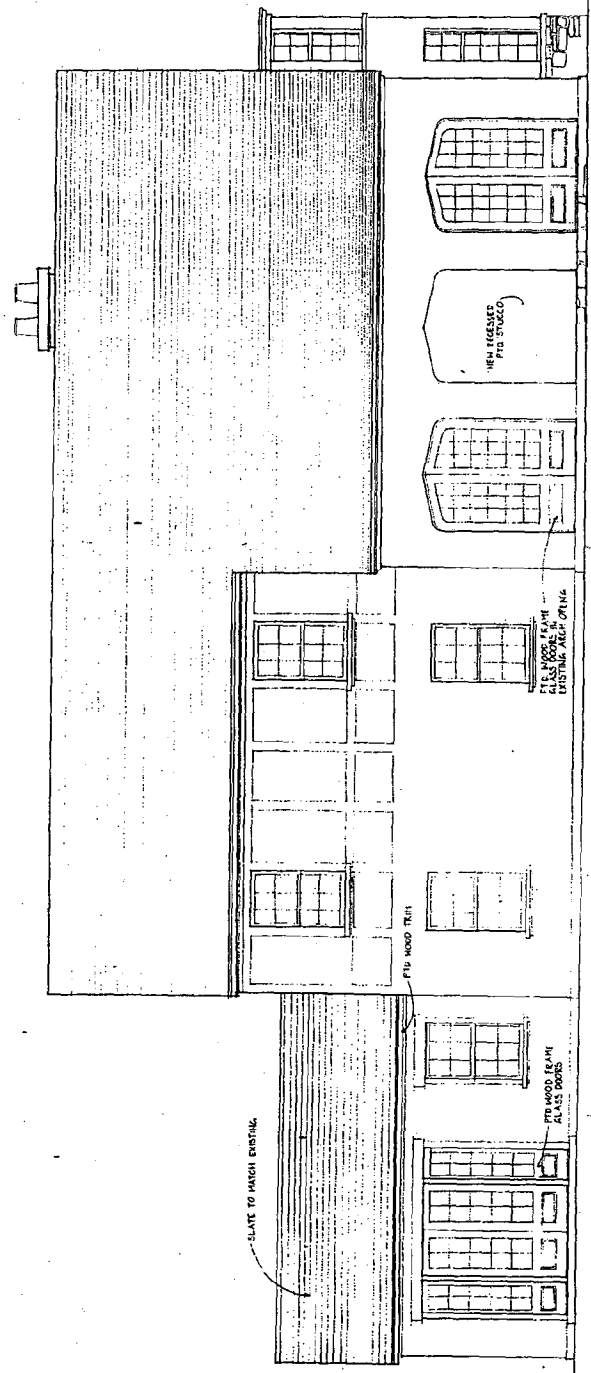
Approved

proposed

Da
 RE
 12.2
 REV
 RHP
 3/01

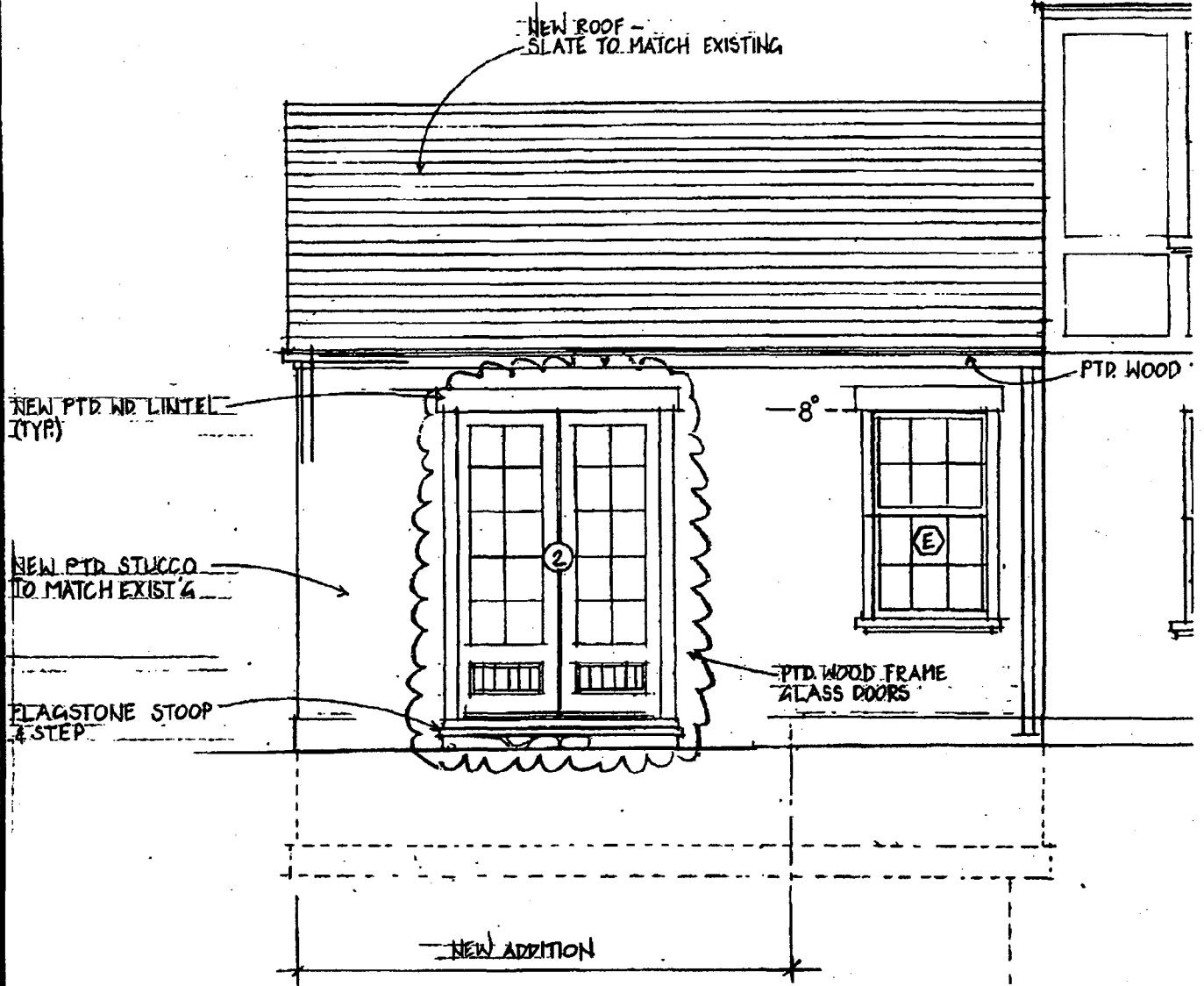


EAST ELEVATION - 3 PRIMROSE ST, CHEVY CHASE, MD
 Scale 1/4" = 1'-0"



Approved

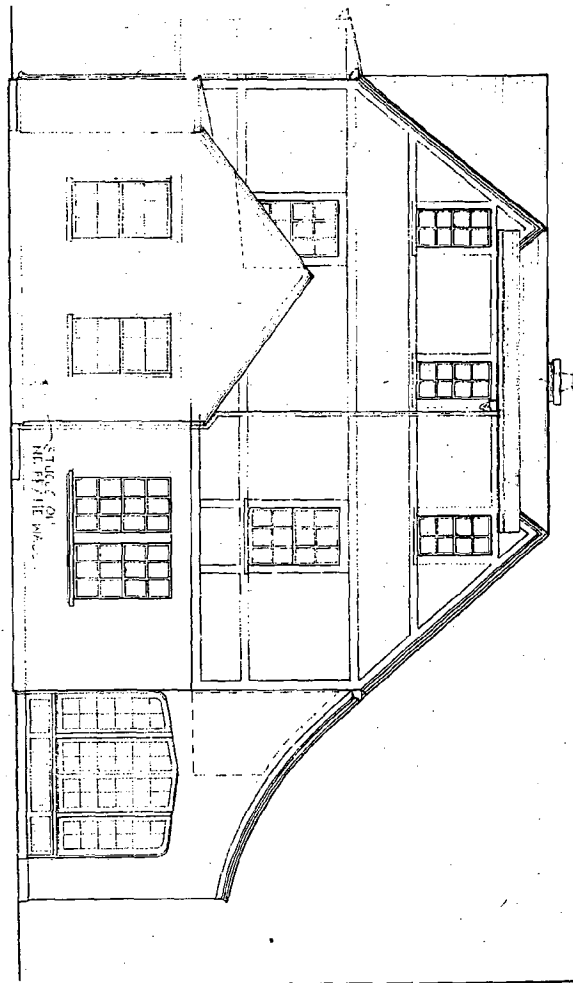
proposed



WEST ELEVATION - 3 PRIMROSE ST CHEVY CHASE MD
Scale 1/4" = 1'-0"

9

CAD DWG. INC. 061191

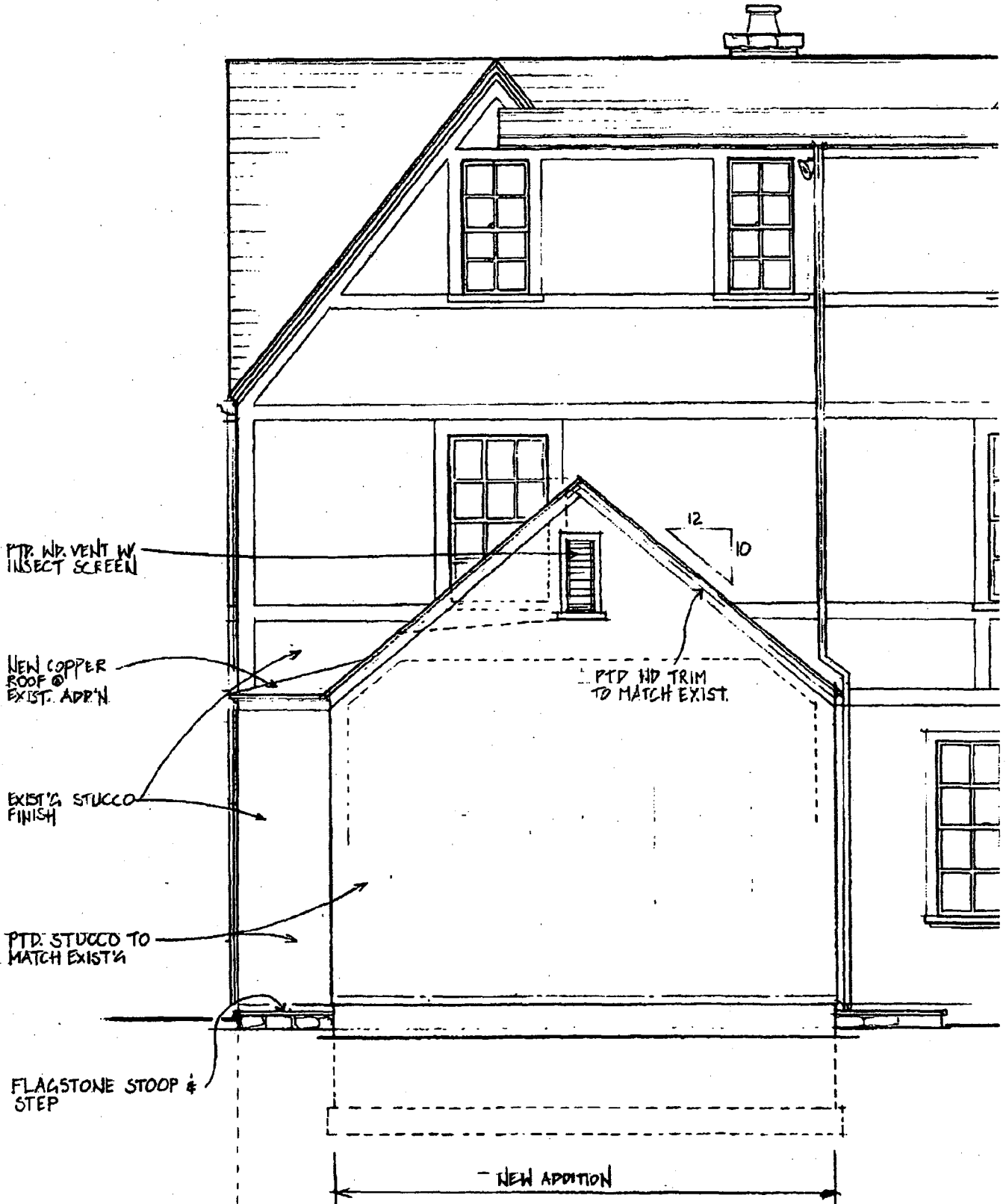


STUDY ON
NE BY THE OWNER

Approved

A5	3 PRIMROSE STREET CHEVY CHASE, MARYLAND	NORTH ELEVATION	Date: 10/23/22	DAVID JONES ARCHITECT 1119 CONNECTICUT AVE, NW WASHINGTON, DC 20004-38
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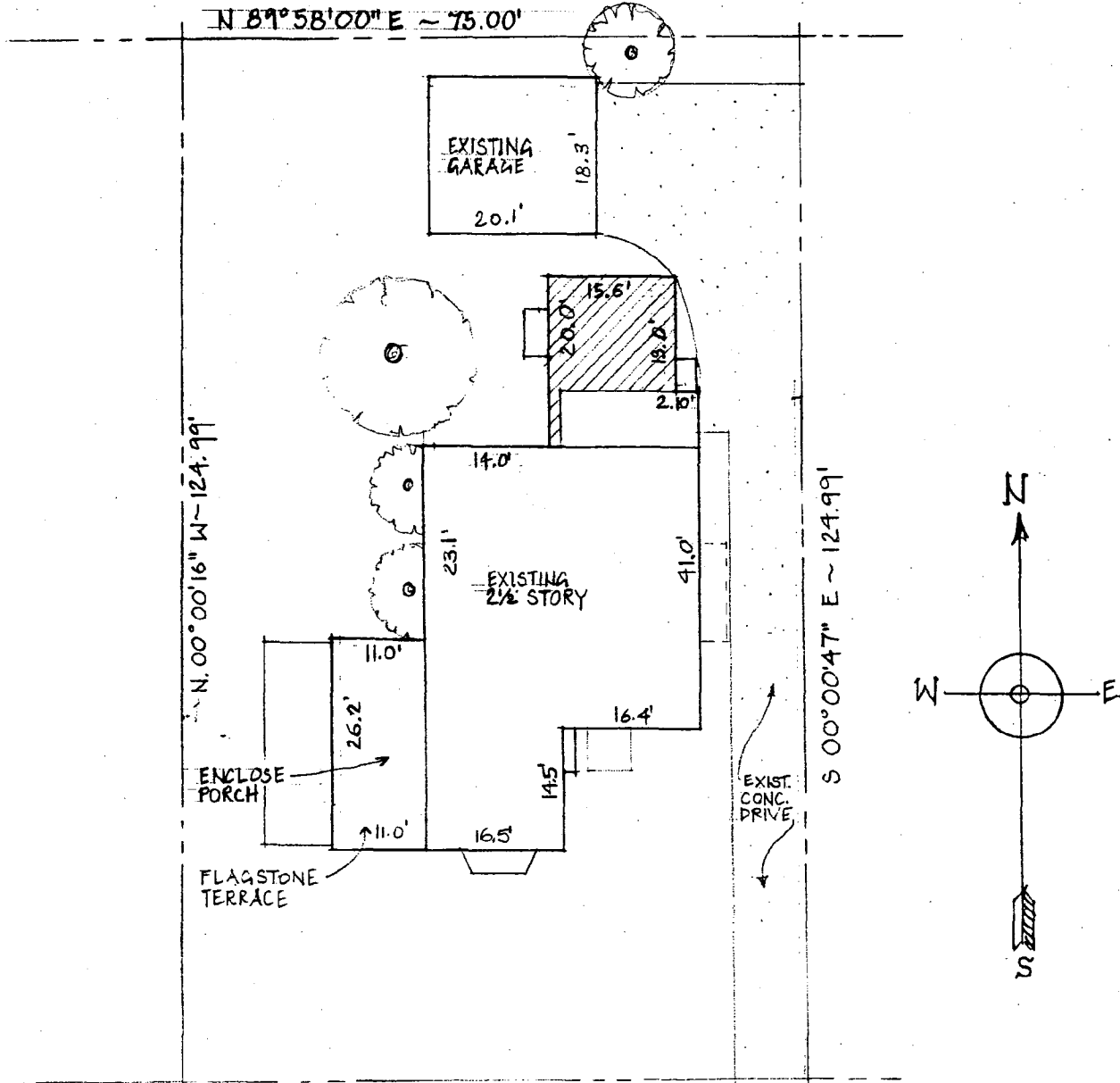
Proposed



NORTH ELEVATION • 3 PRIMROSE ST, CHEVY CHASE MD

Scale 1/4" = 1'-0"

Approved by HPC
Oct. 2005



PRIMROSE STREET

SITE PLAN FROM: MACRIS, HENDRICKS & GLASCOCK, P.A.
1" = 20" SURVEY - DEC 1998
CHEVY CHASE - LOT 31, BLOCK 53, SECTION 2
(PLAT BK. 2, PLAT NO. 106)

DAVID JONES ARCHITECTS
10.3.05

DAVID JONES ARCHITECTS

1739 CONNECTICUT AVE. NW, WASHINGTON, DC 20009 FAX: 202-332-7044 TEL: 202-332-1200

FAX TRANSMITTAL

DATE: 26th January 2006 TOTAL PAGES: 5 (including cover)
TO: Anne Fothergill
FAX #: 301. 563. 3412
FROM: Wouter Boer
SUBJECT: 3 Primrose st, Chevy chase MD.

Anne,

I am writing to you to
request approval for changes
our client would like to make
to 3 Primrose St, Chevy Chase.


The changes involve rearranging
the doors & eliminating the
windows in the proposed sitting
room addition (see attached drawings).
Is this change small enough that
it does not need to go to the next
HPC meeting (Feb 8th) or, do we
need approval by the board at
the Feb 8th meeting?

Best Regards,
Wouter Boer.

Date: October 27, 2005

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section

SUBJECT: Historic Area Work Permit #399624

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved**.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Susan & Michael Harreld
3700 Massachusetts Ave. MW Apt. 106
Washington, D.C. 20016

Address: 3 Primrose Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant shall present the 3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
 240/777-6370



DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DAVID JONES
 Daytime Phone No.: 202-332-1200

Tax Account No.: _____
 Name of Property Owner: SUSAN & MICHAEL HARRELD Daytime Phone No.: 202-333-1265
 (CONTRACT PURCHASERS)
 Address: 3700 MASS. AVE, NW (APT 106) WASHINGTON DC 20016
 Street Number City Street Zip Code
 Contractor: _____ Phone No.: _____
 Contractor Registration No.: _____
 Agent for Owner: DAVID JONES ARCHITECTS Daytime Phone No.: 202-332-1200

LOCATION OF BUILDING/PREMISE

House Number: 3 PRIMROSE STREET Street: _____
 Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE
 Lot: 31 Block: 58 Subdivision: CHEVY CHASE SECTION 2
 Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
 1B. Construction cost estimate: \$ 70,000
 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner: On public right of way/easement

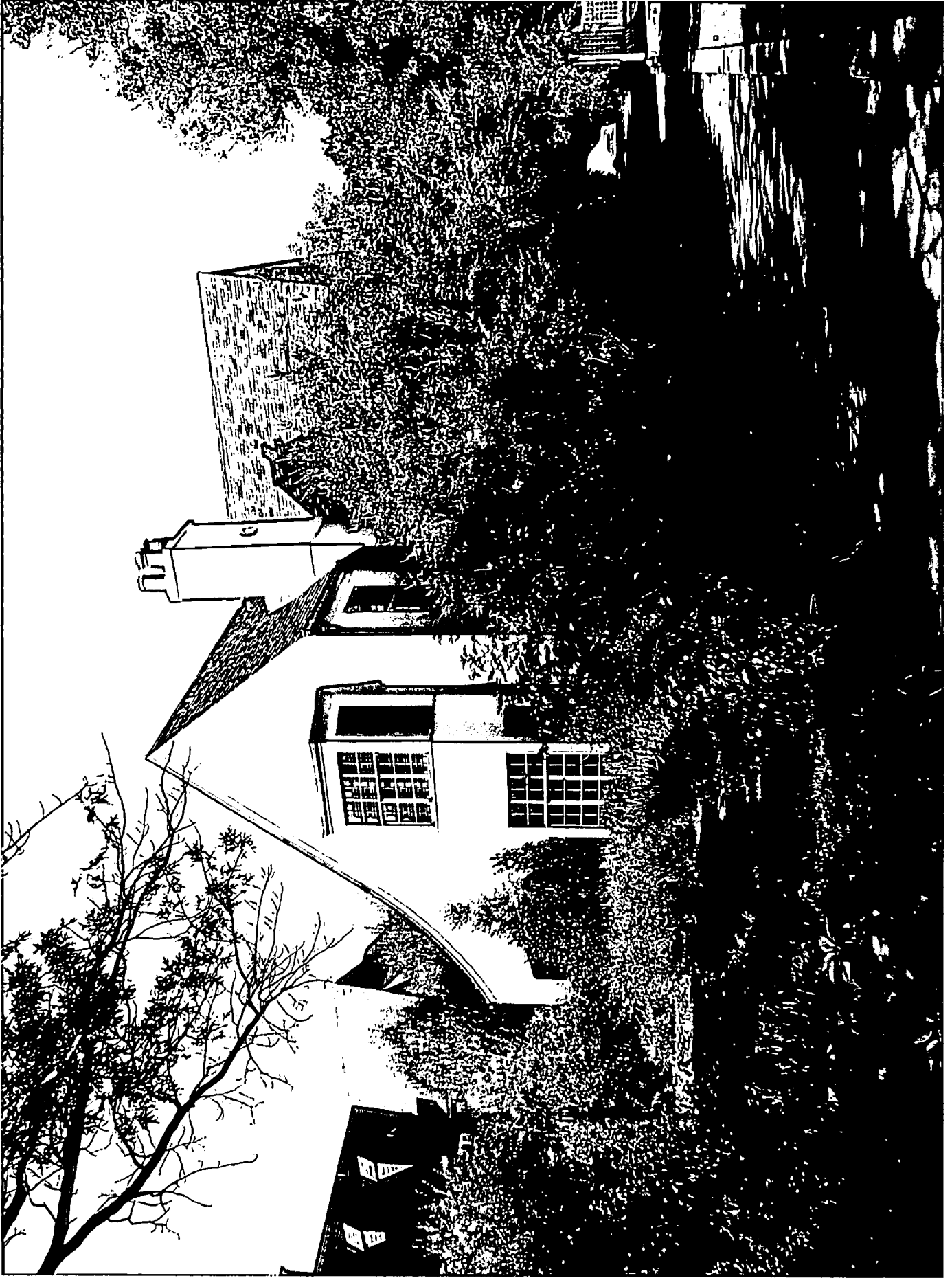
I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David Jones
 Signature of owner or authorized agent _____ Date _____

Approved: For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: Julia O'Malley Date: 10-31-05
 Application/Permit No.: 399624 Date Filed: _____ Date Issued: _____

FRONT - 3 PRIMROSE





VIEW FROM SE - 3 PRIMROSE



VIEW FROM SW - 3 PRIMROSE



DEAR - 3 PRIMROSE



PORCH REAR - 3 PRIM ROSE

Perch - 3 PRIMROSE



GENERAL NOTES

1 Verification of Existing Conditions

Dimensions shown on the drawings are approximate and must be verified at the site. The Contractor shall adapt the work to compensate for minor inconsistencies between existing conditions and drawings without additional cost to the Owner. The Contractor shall notify the Architect immediately of any major inconsistencies between existing conditions and the drawings. Should the Contractor proceed with work and not notify the Architect, the Architect, upon finding these errors, shall have the authority to deem the work unfit and it shall be replaced at no additional cost to the Owner.

2 Protection of the Work

The Contractor shall adequately protect all work from damage from rain, snow, wind, fire, vandalism, theft and later installation and construction. Any and all damaged work caused by the negligence of the Contractor or his sub-contractors shall be repaired at the Contractor's expense. It shall be expected that, at the end of each workday, this site be kept clean and free of excess debris.

3 Permits & Codes

The Owner shall obtain and pay for the Montgomery County & Chevy Chase Village building permits. The Contractor shall obtain and pay for all other required permits. All work shall comply with the International Building Code, Montgomery County, MD Building Code, the Chevy Chase Village code and all other applicable codes, regulations and ordinances.

4 Shop Drawings and Samples

Contractor shall provide the complete design for the extension of the existing hot water radiant heating system and the existing air conditioning system. Contractor shall provide radiator and duct/register layout and sizing (to scale) on one set of 1/4"=1'-0" plans for review and approval by the Architect & Owner.

Contractor to provide shop drawings of the following for review and approval by the Architect before ordering: Custom exterior wood frame glass doors and custom casement windows.

Contractor to provide samples of the following for review and approval by the Architect and Owner before ordering: Slate, wood flooring (oak), stained trim.

5 Guarantee

The Contractor shall guarantee all work, materials and equipment furnished and installed under this contract to be free from defects for a period of one year following the date of final acceptance by the Owner.

6 Removal & Demolition

The Contractor shall remove portions of the existing house as shown in the drawings. The basic stability of the new and existing structure is dependent upon the diaphragm action of floors, walls and roof acting together. Contractor to provide all braces, struts, etc. as required to accommodate all live, dead and wind loads until all final connections between these elements are made. The Contractor shall provide adequate shoring or stabilization of the structure during demolition and underpinning. Provide protections and conduct demolition operations to prevent injury or damage to persons or property. Control air pollution caused by dust and dirt; comply with governing regulations. Debris shall be removed in trucks or placed in a dumpster, and shall not be stored loose in the yard. The Contractor shall protect all existing materials, equipment, trees and shrubs, utility lines, etc., which are to remain, and repair or replace when necessary these items when damaged by him or his Subcontractors at no additional cost to the Owner.

7 Excavation and Backfilling: See Structural Notes

8 Concrete: See Structural Notes

9 Masonry: See Structural Notes

10 Structural Steel: See Structural Notes

11 Rough Carpentry: See Structural Notes

Existing exterior walls are assumed to be wood frame. Notify architect if this is not the case.

12 Finish Carpentry

Millwork and trim shall conform to design and details shown and shall be finished smooth, free from machine or tool marks that will show through the finish. All nail heads shall be set to receive putty. Make finished work flat, plumb and true. Door and window trim shall match existing. Provide expansion joints to permit sections to expand and contract without buckling, cracking or causing unsightly conditions. Back-prime all exterior and interior wood trim, which is to be painted.

13 Building Insulation

Install R-19 batt insulation in new exterior walls of conditioned spaces, R-38 in roof/attic areas (where possible), R-16 fire-resistant rigid insulation in crawl space walls. Maintain 1-1/2" min. air space between insulation and roof sheathing.

14 Waterproofing/Damo-proofing

All new foundation walls to be damp-proofed with Tuff-n-Dri system.

15 Caulking

Exterior: Use polysulfide-based synthetic rubber compound, using Thiokol liquid polymers similar to "Lasto-Meric" by Tremco Company. Caulk around new door and window frames on exterior.

15 Slate Roof

Slate roofing shall match existing. Install over 30# roofing felt. Provide ice dam membrane by Certainteed or equal, ridge vent by Cor-a-vent.

16 Moisture Barrier

Provide 6-mil polyethylene on 6" min. gravel below all new slabs on grade.

17 New Doors

New exterior wood frame glass doors to be custom (2-1/4" thick in living room & 1-3/4" thick in sitting room) painted exterior, stained interior with insulated glass, simulated divided light, wood panel below, and safety glass as required. Provide bronze interlocking thresholds. Hardware to be selected.

New 1-3/8" painted solid wood interior doors single panel to match existing. New hardware to match existing.

18 New Wood Windows

New double-hung wood windows to be Marvin, painted exterior, stained interior, insulated glass, simulated divided light, to match existing, see elevations for muntin patterns. Provide half-screens at double hung windows & oil rubbed bronze hardware. No Low-E glass.

New custom casement windows to fit existing arches, stained interior, painted exterior, insulated glass, simulated divided light, see elevations for muntin patterns. Provide oil rubbed bronze hardware. No Low-E glass.

19 Weatherstripping

Zero or Chamberlin Spring Bronze around new exterior doors, installed so as to be concealed when closed. Installation shall be in conformance with the manufacturer's instructions after completion of finish painting.

20 Old and New Jointings

Where old and new work meet, all joints shall be complete, smooth and in a finished condition. Patch and repair as required for remodeled areas to match adjacent surfaces. Interior finishes to match existing adjacent.

21 Wood Strip Flooring: match existing.

22 Painting & Staining

All paint shall be manufactured by Benjamin Moore or approved equal. All paint colors shall be selected by the Owner, selected from standard colors.

Surface Preparation:

1. Wood: Sand paper to smooth and even surface and dust off. After priming has been applied, fill nail and other holes and cracks with putty. Seal knots, pitch streaks and sappy shots with proper sealer before finishing.
2. Metal: Remove grease, rust, scale and dirt and touch up any chipped or abraded places on items that have been shop coated.
3. Gypsum Board and Plaster Surfaces: Spackle and sand minor defects.
4. All end grain sections of exterior woodwork to be "dip treated" in sealer-preservative such as "Woodlife" prior to priming and painting. Verify compatibility of preservative with primer and paint.
5. General: Before painting, remove hardware, accessories, plates, lighting fixtures, and similar items, or provide ample protection of such items. Items such as bath fixtures, kitchen equipment, etc. shall be thoroughly protected. Remove exterior doors if necessary to paint bottom edge. Do not apply exterior paint in damp, rainy weather or until the surface has thoroughly dried from such weather. Do not apply varnish or paint when temperature is below 50 degrees F.

Application: Owner to provide instructions and selections for painting.

23 Heating and Air Conditioning

The Contractor through a licensed HVAC Sub-Contractor shall evaluate the existing heating and air-conditioning systems. The contractor shall design the modifications to the existing systems. The heating and air-conditioning system shall be guaranteed to maintain an inside temperature of 70 degrees when the outside temperature is zero. The air conditioning system shall be guaranteed to maintain an inside temperature of 70 degrees drybulb and 50% relative humidity when the outside temperature is 95 degrees drybulb and 78 degrees wetbulb.

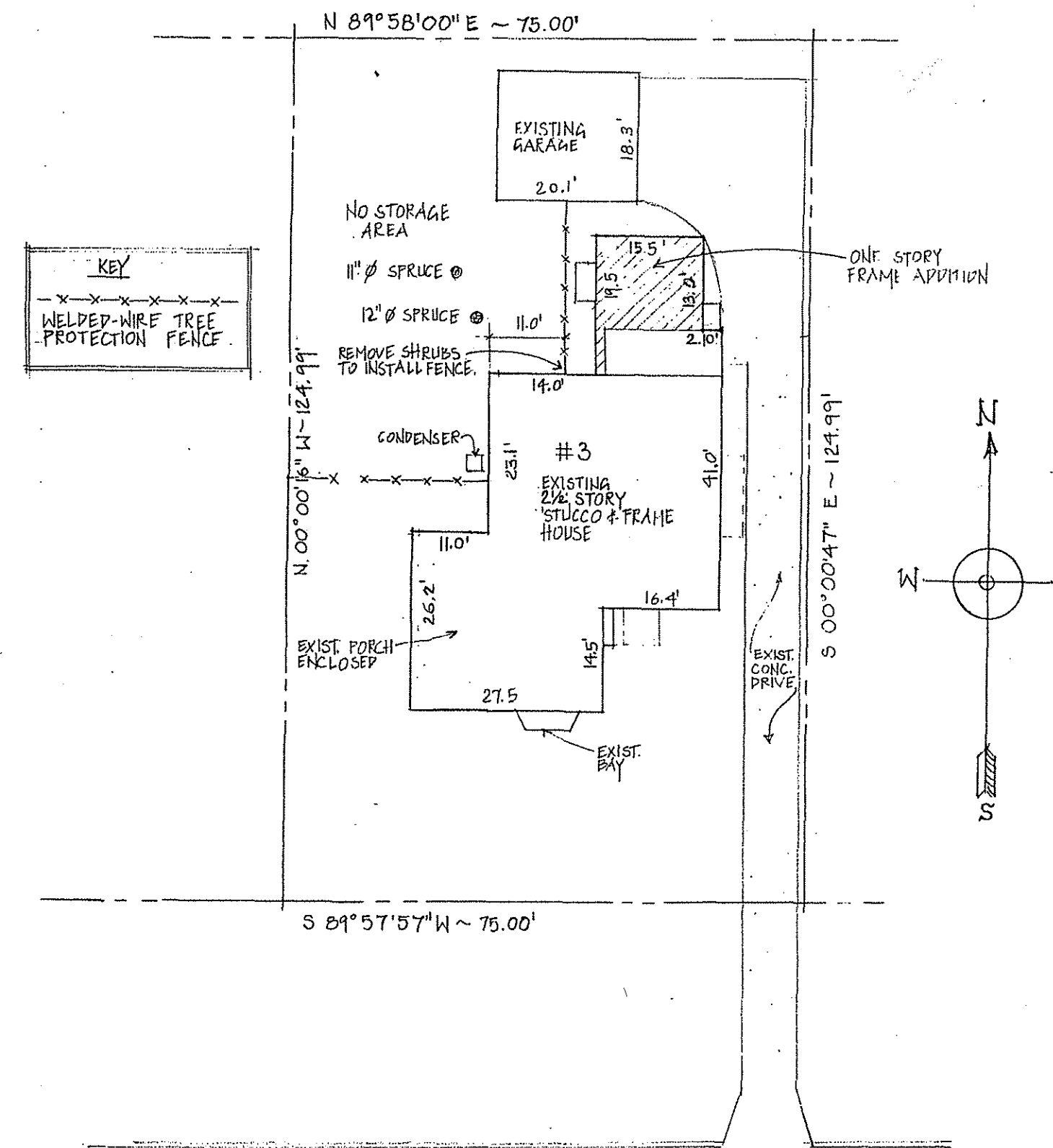
New registers shall match existing.

All work to be approved by the Architect or Owner prior to installation.

24 Electrical

All wiring shall be run concealed. Wiring shall be copper throughout and shall be sized in accordance with the requirements of the National Electrical Code. The Contractor shall include in his bid price the payment of all necessary permits and inspections.

All switches, dimmers and receptacles to match existing in house. Contractor to mark up one set of electrical plans showing receptacle locations for review and approval by Owner prior to starting work.



PRIMROSE STREET

SITE PLAN FROM: MACRIS, HENDRICKS & GLASCOCK, RA
 1" = 20'
 SURVEY - DEC 1996
 CHEVY CHASE - LOT 31, BLOCK 5B, SECTION 2
 (PLAT BK. 2, PLAT NO. 106)

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 Historic Preservation Commission
Julia D. M. [Signature]
 1-11-06

1
A8

INFILL W/ NEW FTG & FOUNDATIONS TO FORM CONTINUOUS IF NOT EXIST'G. ALIGN TOPS OF FOOTING. CONTRACTOR TO VERIFY AFTER REMOVING SLAB. STEP NEW FOOTING & FINISH AS NEC.

SLAB ABOVE
REMOVE EXIST'G PORCH SLAB
REPLACE W/ 4" CONC. SLAB W/
6x6 W/ 4" x 11/4" W/WF

CENTER OF EXIST.
FOUNDATION WALL

COL. ABOVE
1SS 4x4, 3/16" W/ 10x10x1/2" BASEPLATE
& 4-1/2" Ø EPOXY ANCHORS (TYP. OF 2)

EXIST. CONC. SLAB

EXISTING BASEMENT

KEY
NEW FOUNDATION WALLS

1
A7

9'-4"
POORS ABOVE

3'-0"

18" MAS. UNIT
FINISH WALL
ON 16"x10"
CONC. FTG

2" CONC. SLAB W/ 6x6
W/ 4" x 11/4" WELDED WIRE FABRIC

CRAWL SPACE

9" TJI PRO 210 @ 16" O.C.

2x12 LEDGER 5/8" Ø EXP
BOLT @ 16" O.C.

15'-6"

EXISTING
CRAWL SPACE

2'-9"

13'-0"

1
A7

1
A8

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1735 CONNECTICUT AVE NW WASHINGTON DC 20009 202-332-1200

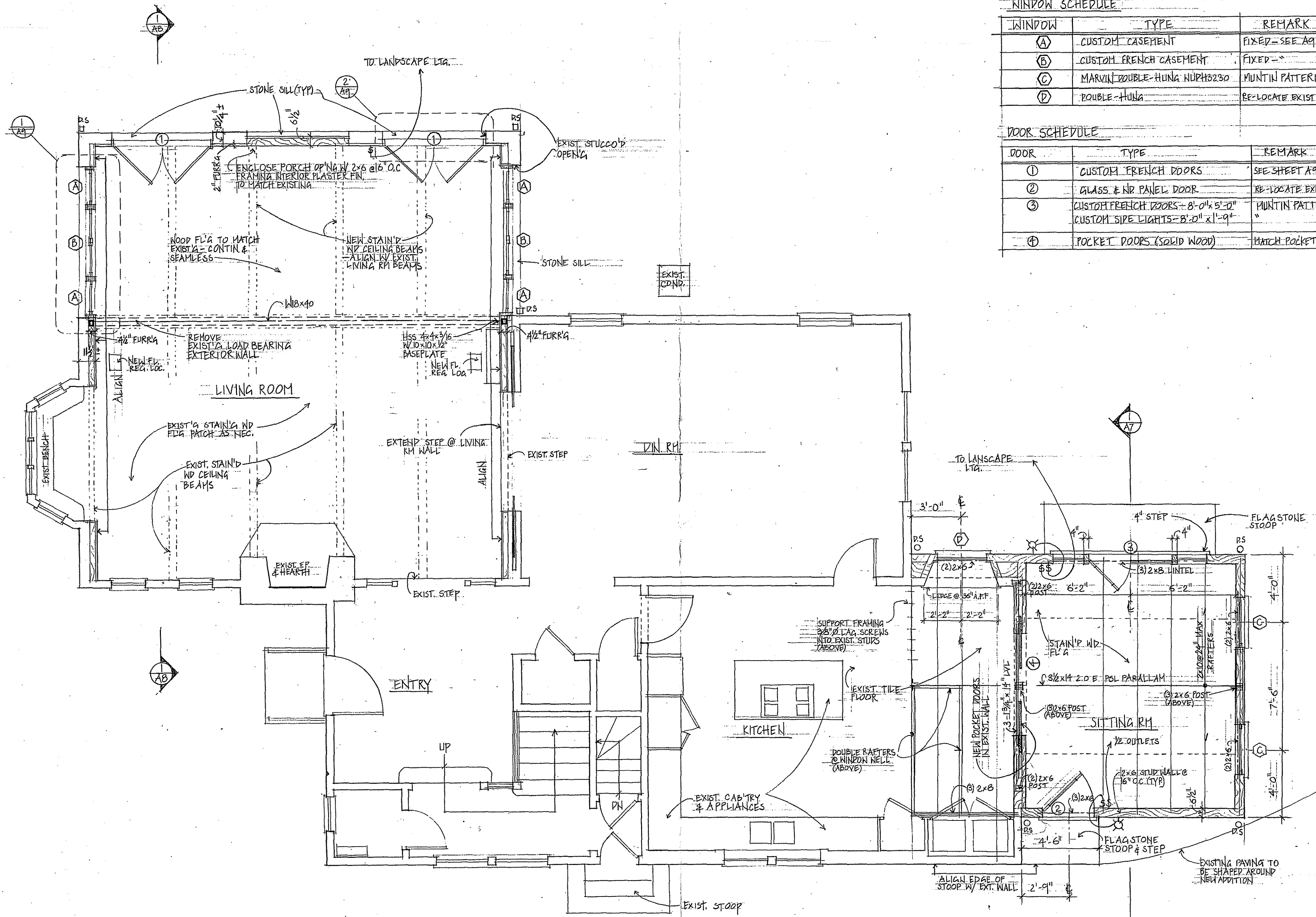
Date:
PERMIT SET
12/1/09

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

3 PRIMROSE STREET
CHEVY CHASE, MD 20815

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A1



WINDOW SCHEDULE

WINDOW	TYPE	REMARK
(A)	CUSTOM CASEMENT	FIXED - SEE A9 FOR DETAILS
(B)	CUSTOM FRENCH CASEMENT	FIXED - "
(C)	MARVIN DOUBLE-HUNG NUPH3230	MUNTIN PATTERN AS SHOWN
(D)	DOUBLE-HUNG	RE-LOCATE EXIST. KITCHEN WIN.

DOOR SCHEDULE

DOOR	TYPE	REMARK
(1)	CUSTOM FRENCH DOORS	SEE SHEET A9 FOR DETAILS
(2)	GLASS & NR. PANEL DOOR	RE-LOCATE EXIST. KITCH. DOOR
(3)	CUSTOM FRENCH DOORS - 8'-0" x 5'-0" CUSTOM SIZE LIGHTS - 8'-0" x 1'-9"	MUNTIN PATTERN AS SHOWN
(4)	POCKET DOORS (SOLID WOOD)	MATCH POCKET DOORS IN ZIN. RM.

OUTLETS PER CODE @ NEW SITTING RM & LIVING RM EXTENSION.

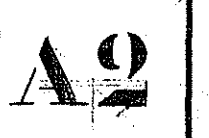
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12.21.05

FIRST FLOOR PLAN
1/4" = 1'-0"

3 PRIMROSE STREET
CHEVY CHASE, MARYLAND





EXIST. SLATE ROOF

EXIST. BUTTER

EXIST. STUCCO FIN.

INFILL EXISTING ARCH OP'N W/
PTD WOOD FIXED WINDOWS & PANELS

CONT. STONE SILL AS POSS.

1/A9

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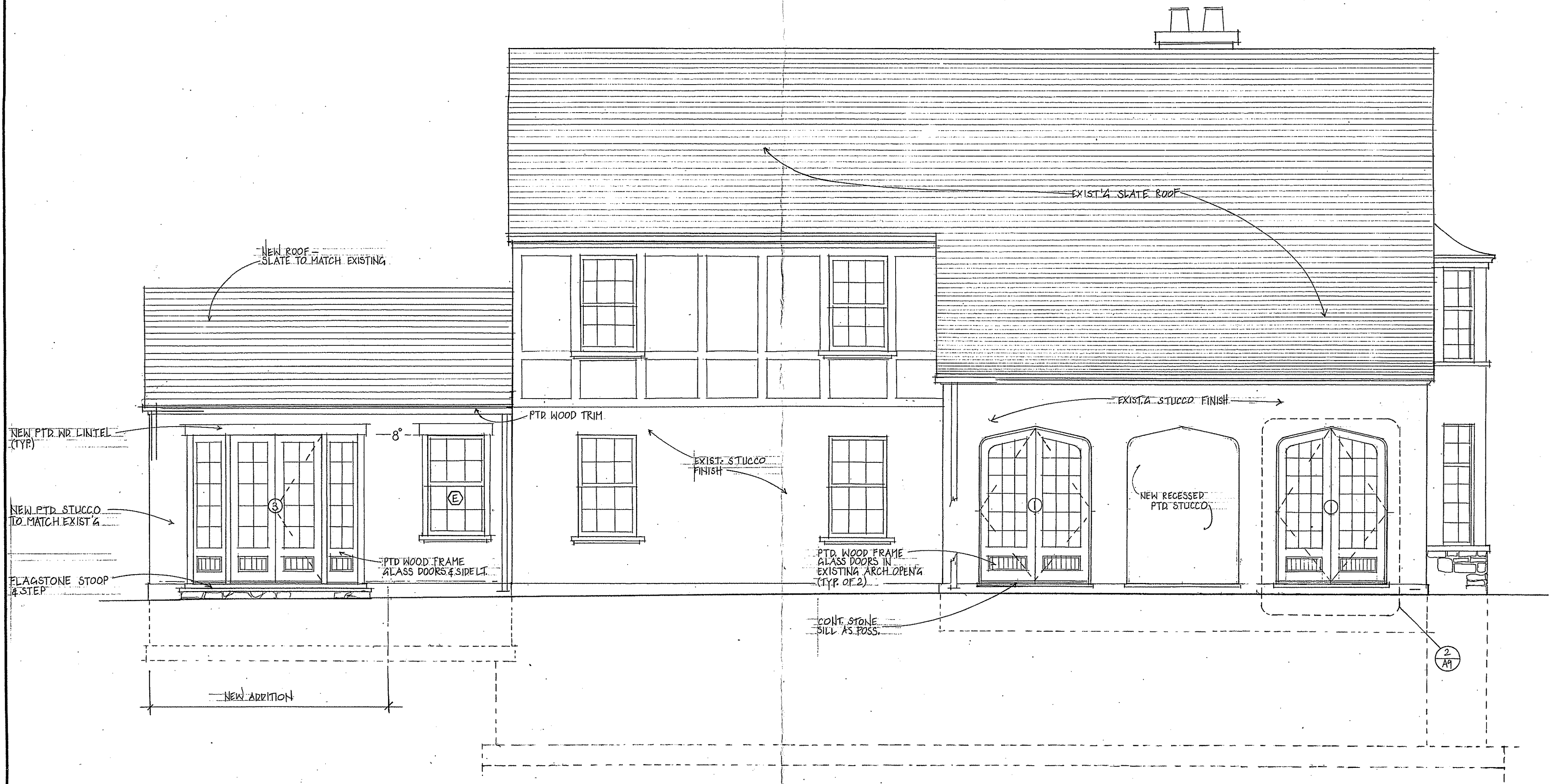
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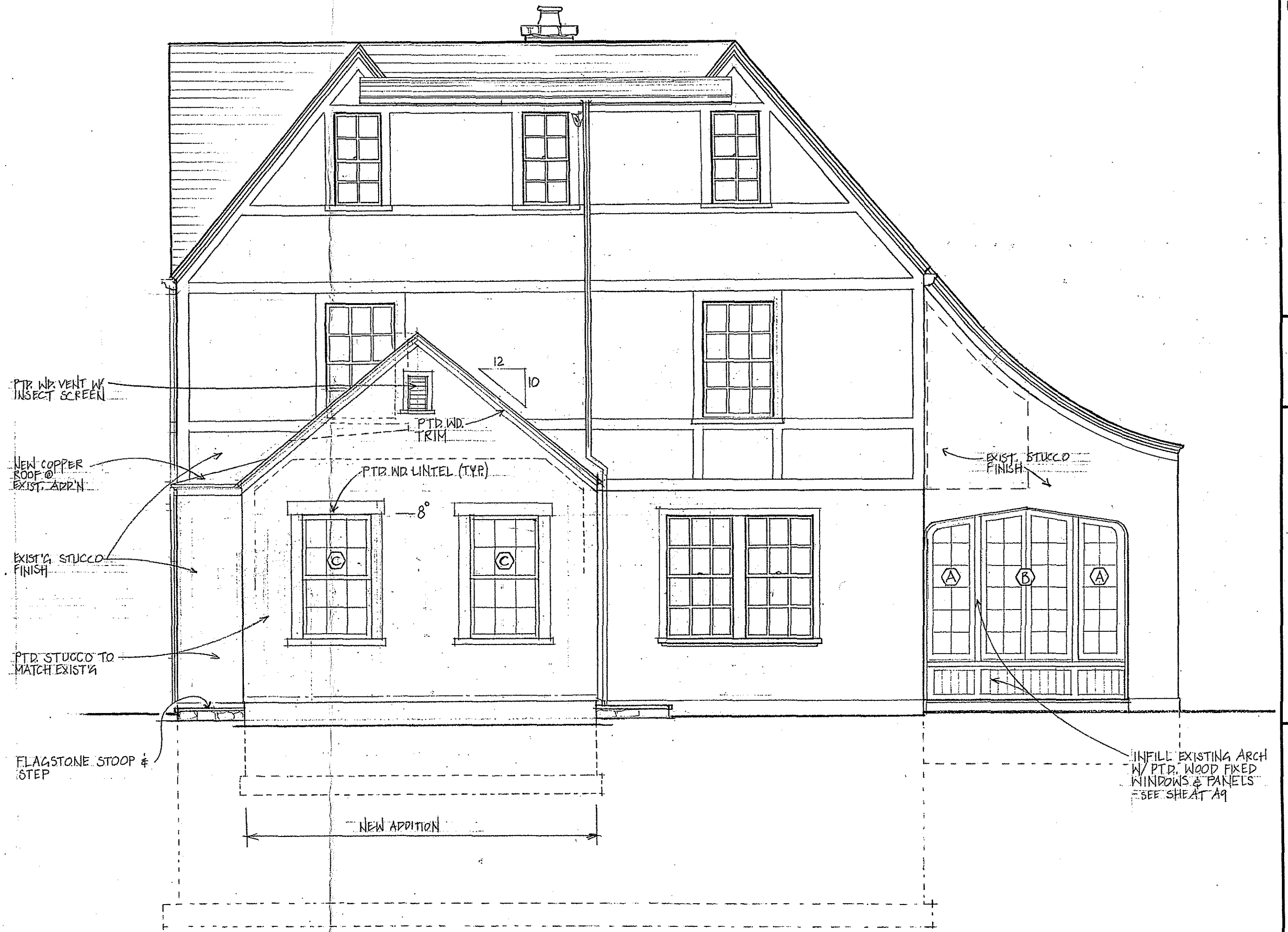
SOUTH ELEVATION
7/4" = 1'-0"

3 PRIMROSE STREET
CHEVY CHASE, MARYLAND

A3



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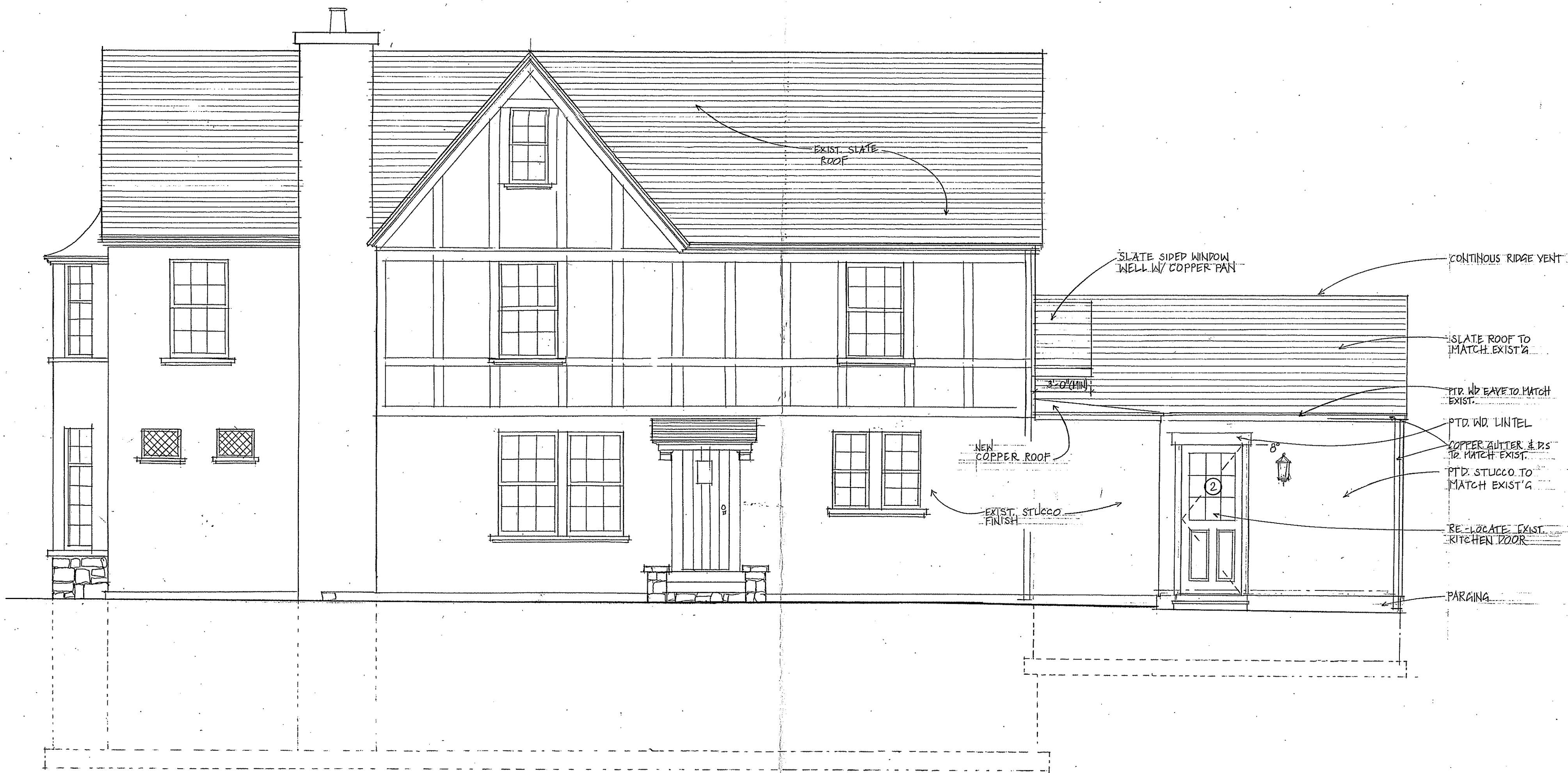
NORTH ELEVATION

3 PRIMROSE STREET
CHEVY CHASE, MARYLAND

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A5

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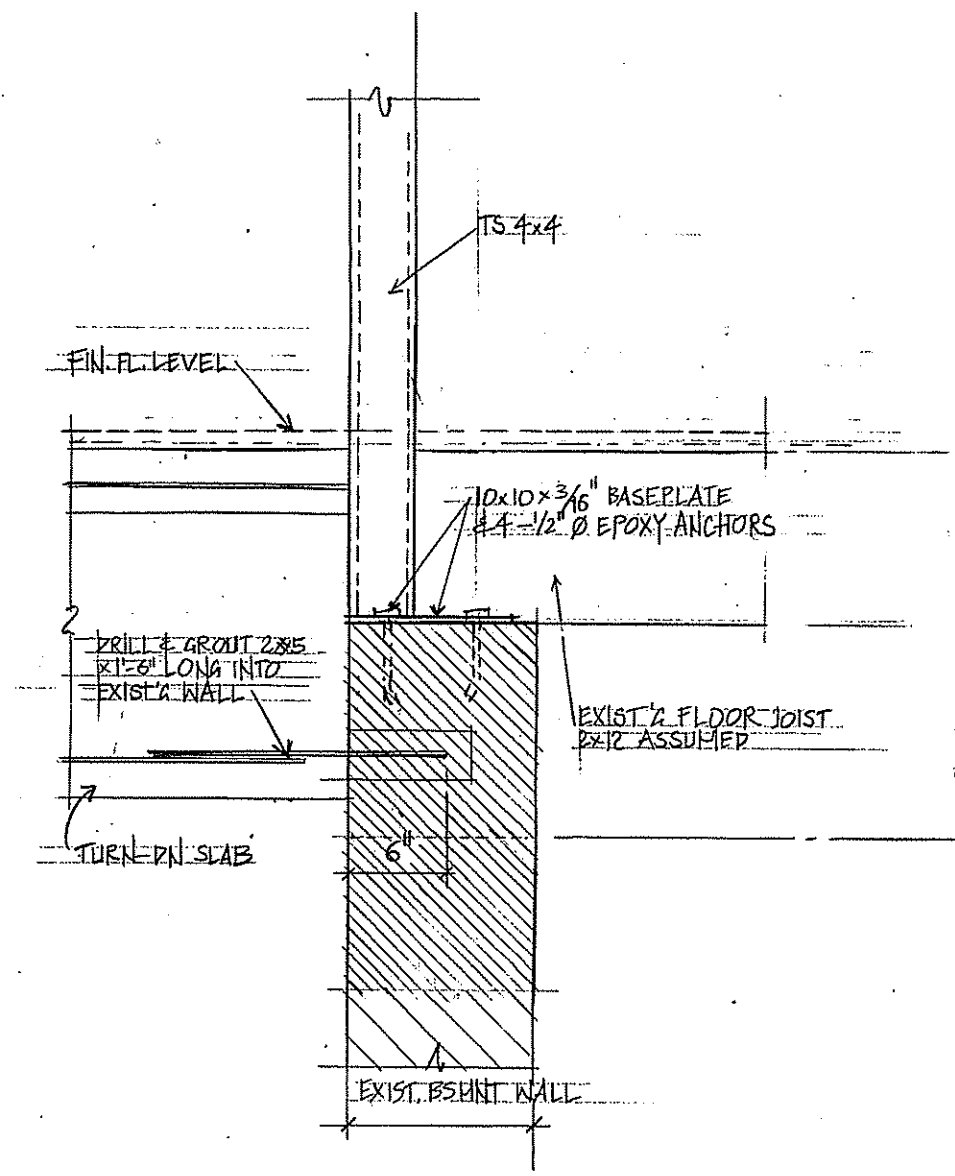
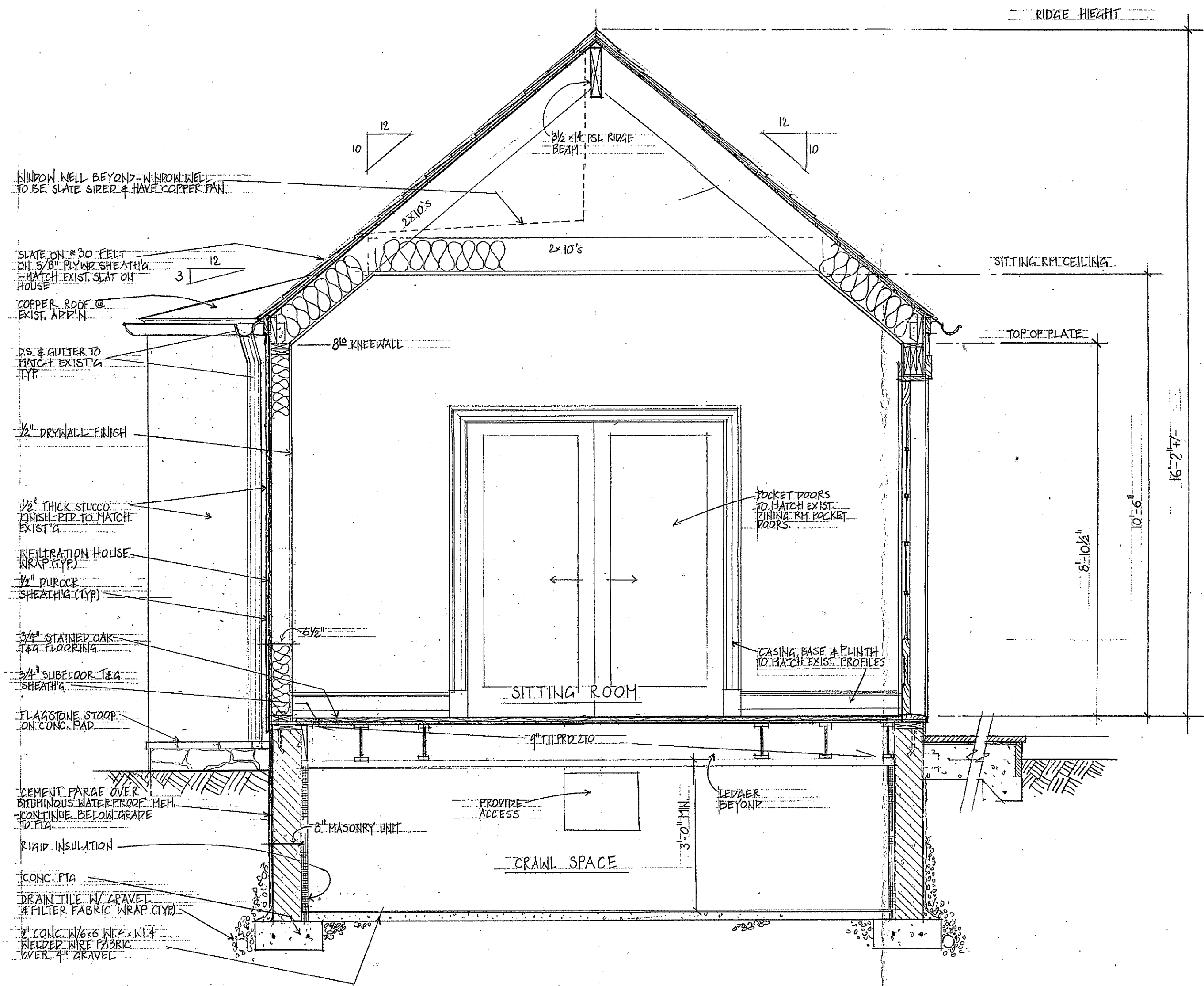


EAST ELEVATION
1/4" = 1'-0"

3 PRIMROSE STREET
CHEVY CHASE, MARYLAND

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AG



1 SECTION @ SITTING RM
SCALE 1/2" = 1'-0"

2 SECTION @ LIVING RM
SCALE 1" = 1'-0"

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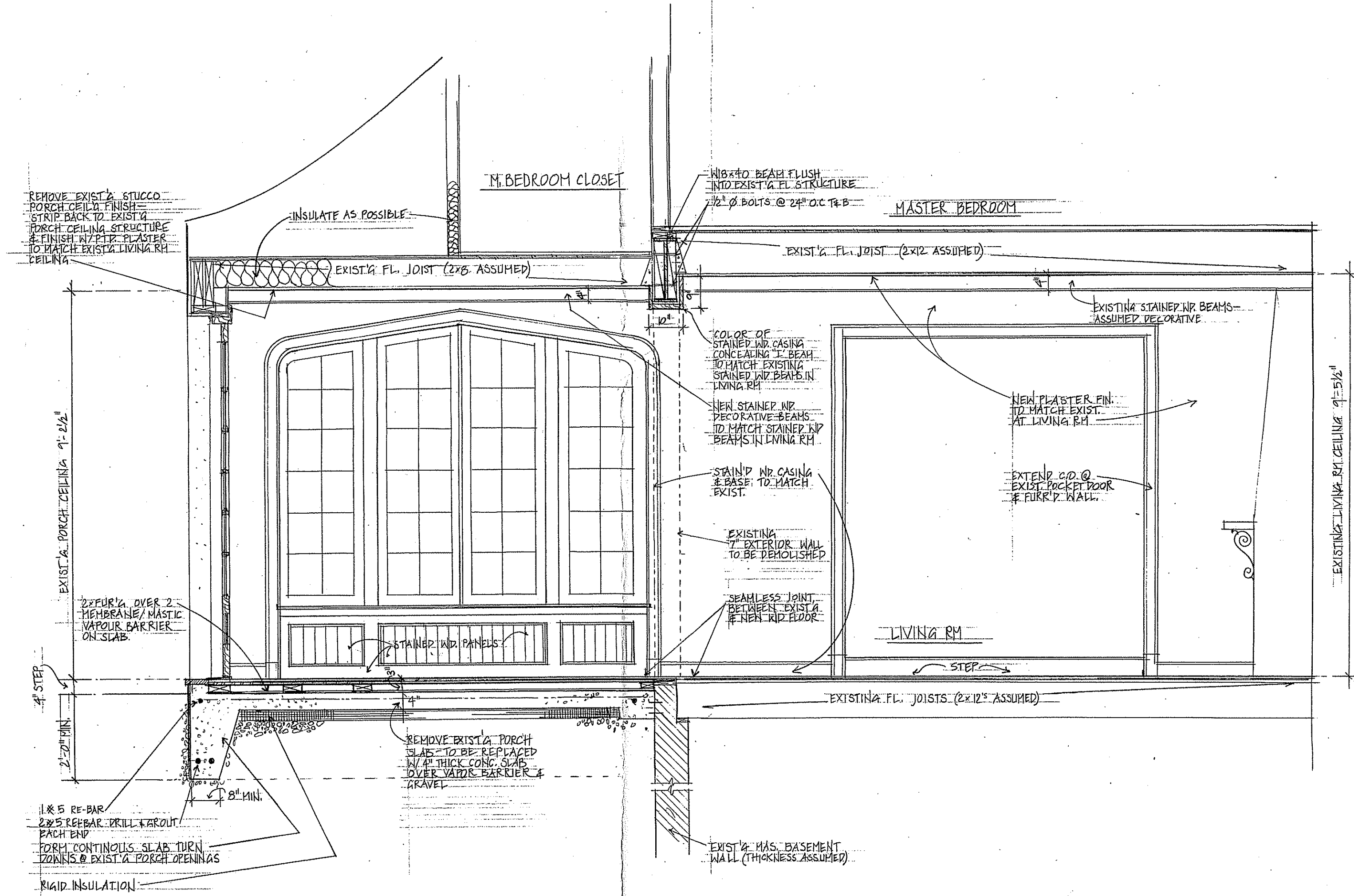
SECTIONS
SCALE AS NOTED

3 PRIMROSE STREET
CHEVY CHASE, MD 20815



Date:

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12/21/05

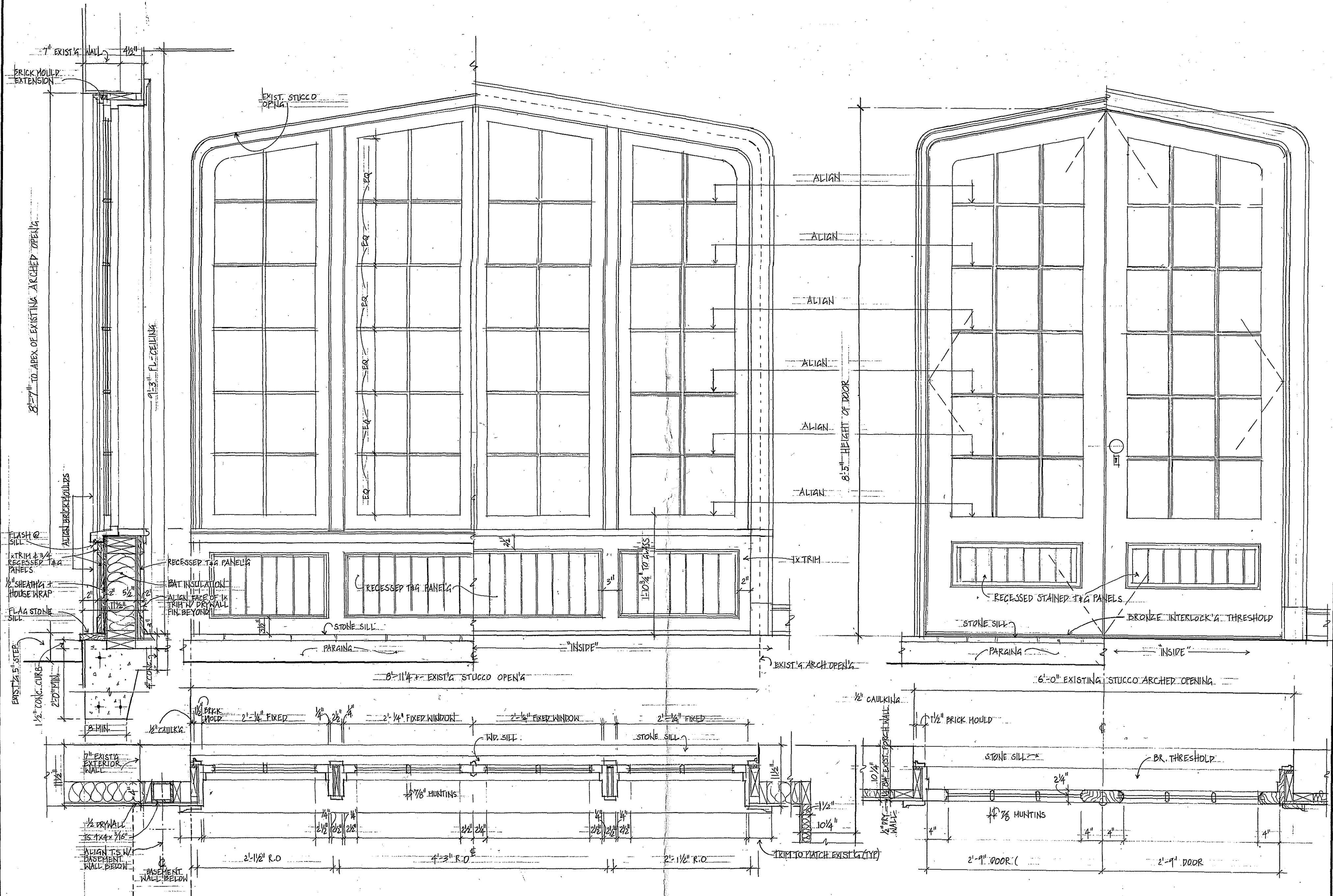


SECTION THROUGH LIVING RM
SCALE 1/2" = 1'-0"

5 PRINCE STREET
CHEVY CHASE, MARYLAND

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AS



1 WINDOW IN ENCLOSED PORCH (ELEVATION, PLAN & SECTION)
A9 SCALE 1"=1'-0"

2 DOOR IN ENCLOSED PORCH (PLAN & ELEVATION)
A9 SCALE 1"=1'-0"

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WINDOW & DOOR ELEVATIONS & DETAILS
SCALE 1"=1'-0"

3 PRIMROSE STREET
CHEVY CHASE, MARYLAND

STRUCTURAL NOTES

1 GENERAL

A. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

ROOF 30 PSF
LIVING AREAS 40 PSF

A MINIMUM OF 12 PSF DEAD LOAD WAS ADDED IN THE DESIGN.

B. MECHANICAL UNITS AND ANY OTHER EQUIPMENT WITH WEIGHTS SHOWN IN PLAN AND SUPPORTED BY THE STRUCTURE WERE CONSIDERED IN THE DESIGN OF THE STRUCTURE. ANY ADDITIONAL EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

2 EARTHWORK

A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.

B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.

C. UNLESS NOTED OTHERWISE, STEP NEW FOOTINGS UP OR DOWN TO MATCH EXISTING AT INTERSECTIONS BETWEEN NEW AND EXISTING WALLS. DRILL AND GROUT 2#5 BARS X 1'-6" LONG INTO EXISTING FOOTING. PROVIDE MINIMUM 6" EMBEDMENT.

3 CONCRETE

A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (F'c) = 3000 PSI IN 28 DAYS. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATIONS. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.

B. ALL REINFORCING STEEL TO MEET ASTM-A-615 GRADE 60. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". FURNISH SUPPORT BARS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH C.R.S.I.

STANDARDS. ALL REINFORCING TO BE SPLICED A MINIMUM OF 30 BAR DIAMETERS.

C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:

-- FOOTINGS (BOTTOM) 3"
-- WALLS 1-1/2"

D. PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN WALLS AND FOOTINGS. PROVIDE DOWELS BETWEEN FOOTINGS AND WALLS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.

4 MASONRY

A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C-90 FOR LOADBEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING @ 16" O.C. HORIZONTALLY. MORTAR TO BE ASTM C-270 TYPE S.

5 STEEL

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. PIPE TO BE A53. TUBE TO BE A500 OR A501. DETAILING TO BE IN ACCORDANCE WITH AISC STRUCTURAL STEEL DETAILING MANUAL. BOLTED FIELD CONNECTION SHALL BE 3/4" DIAMETER HIGH STRENGTH BOLTS MEETING ASTM SPEC. A-325.

B. SUBMIT COMPLETE SHDP AND ERECTION DRAWINGS FOR APPROVAL PRIOR TO FABRICATION OR ERECTION.

C. ALL WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY. ALL WELDING ELECTRODES, MACHINES, ETC. SHALL BE COMPATIBLE WITH STEEL BEING WELDED.

6 WOOD

A. ALL FRAMING LUMBER SHALL BE HEM-FIR, GRADE #2, OR SPRUCE-PINE-FIR, GRADE #2, OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:

-BENDING STRESS "Fb" = 850 PSI FOR SINGLE MEMBER USE
-HORIZONTAL SHEAR "Fv" = 70 PSI
-COMPRESSION PERPENDICULAR TO GRAIN "Fc" = 405 PSI
-COMPRESSION PARALLEL TO GRAIN "Fc11" = 1,150 PSI
-MODULUS OF ELASTICITY "E" = 1,300,000 PSI

NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NLGA.

B. ALL EXTERIOR FRAMING SHALL BE PRESSURE-TREATED. FRAMING SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUAT (ACO) OR COPPER AZOLE (CBA-A AND CA-B), NOT SODIUM BORATE (SBX). LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 LUMBER):

-BENDING STRESS "Fb" = 975 PSI FOR SINGLE MEMBER USE
-HORIZONTAL SHEAR "Fv" = 90 PSI
-COMPRESSION PERPENDICULAR TO GRAIN "Fc" = 565 PSI
-COMPRESSION PARALLEL TO GRAIN "Fc11" = 1,450 PSI
-MODULUS OF ELASTICITY "E" = 1,600,000 PSI

C. PLYWOOD LAMINATED (MICROLAM) BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

-BENDING STRESS "Fb" = 2400 PSI
-HORIZONTAL SHEAR "Fv" = 220 PSI
-MODULUS OF ELASTICITY "E" = 1,800,000 PSI

D. ALL WALL STUDS SHALL BE SPF STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:

-COMPRESSION PARALLEL TO GRAIN "Fc11" = 625 PSI
-BENDING STRESS "Fb" = 725 PSI FOR SINGLE USE MEMBERS
-MODULUS OF ELASTICITY "E" = 1,200,000 PSI

E. UNLESS NOTED OTHERWISE, FASTENING FOR STRUCTURAL MEMBERS SHALL FOLLOW INTERNATIONAL RESIDENTIAL CODE TABLE R602.3(1).

F. CUTTING AND NOTCHING OF FLOOR JOISTS SHALL CONFORM TO THE FOLLOWING:

-NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOISTS AND BEAMS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE MEMBERS AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN (INCLUDING BIRDS MOUTH CUTS).

-NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER.

-THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS.

-HOLES BORED OR CUT INTO JOISTS SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OR BOTTOM OF THE JOISTS. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOISTS.

G. PROVIDE BLOCKING BETWEEN ALL JOISTS, 2X12 OR GREATER IN DEPTH AT INTERVALS NOT TO EXCEED 8 FEET.

H. PROVIDE SOLID BLOCKING AT 4 FEET ON CENTER BETWEEN BAND JOIST AND FIRST INTERIOR PARALLEL JOIST.

I. PREFABRICATED JOIST HANGERS, BEAM HANGERS, POST CAPS AND POST BASES SHALL BE SIZED AND ATTACHED PER MANUFACTURERS RECOMMENDATION. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL MEET G185 HOT-DIPPED GALVANIZING.

J. ANCHOR BOLTS CONNECTING PRESSURE TREATED WOOD PLATES TO FOUNDATIONS, MASONRY WALLS, OR CONCRETE SLABS SHALL BE HOT-DIPPED GALVANIZED.

K. PROVIDE LSL BAND BOARD IN WOOD "I" FLOOR JOIST SYSTEMS AT ALL PERIMETER BEARING WALLS. ALTERNATIVELY, PROVIDE 2-3/4" PLYWOOD BANDS GLUED AND SCREWED TOGETHER. PROVIDE SQUASH BLOCKS AND STIFFENERS AS REQUIRED TO DISTRIBUTE LOADINGS AND AS REQUIRED BY MANUFACTURER. PROVIDE SOLID BLOCKING AT INTERIOR JOIST SUPPORTS WITH BEARING WALLS ABOVE.

L. BUILT-UP STUD COLUMNS SHALL HAVE ONE JACK STUD AND THE REMAINING STUDS SHALL BE KING STUDS. MULTIPLE STUDS SHALL BE NAILED WITH 12d NAILS AT 8" O.C. PROVIDE SOLID BLOCKING OR CRIPPLE STUDS IN FLOOR SYSTEM AT ALL POINT LOADS ABOVE.

M. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.

N. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.

O. ALL ROOF RAFTERS SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 18 GAGE MINIMUM THICK AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS.

7 SHEATHING

A. FLOOR SHEATHING SHALL BE 23/32 (3/4) INCH APA RATED STURD-I-FLOOR, TONGUE AND GROOVE, PLYWOOD. PANELS SHALL HAVE LONG DIMENSION ORIENTED ACROSS THREE OR MORE JOISTS AND SHALL BE

FASTENED WITH CONSTRUCTION ADHESIVE AND 10d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

B. EXTERIOR WALL SHEATHING SHALL BE 7/16 (1/2) INCH THICK APA RATED WOOD STRUCTURAL PANELS. FASTEN PANELS TO STUDS WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

C. ROOF SHEATHING SHALL BE 15/32 (1/2) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 24/0 OR BETTER. FASTEN PANELS TO FRAMING WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. ORIENT LONG DIMENSION OF PANELS ACROSS THREE OR MORE SUPPORTS. EDGES NEED NOT BE BLOCKED, UNLESS OTHERWISE NOTED.

WARNING: THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS OR ARE SUPERVISED BY THE STRUCTURAL ENGINEERS DURING CONSTRUCTION.

APPROVED
Montgomery County
Historic Preservation Commission

DAVID JONES ARCHITECTS
1739 CONNECTICUT AVE NW - WASHINGTON DC 20009-202-332-1200

Date:
PERMIT SET
12.21.05

STRUCTURAL NOTES

3 PRIMROSE STREET
CHEVY CHASE, MD 20815

