

35/13-06B 7 Primrose St  
Chevy Chase Village Historic District, 35/13

06

stamped plans  
in copy room

AF

2-9-06

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	7 Primrose Street, Chevy Chase	<b>Meeting Date:</b>	2/8/2006
<b>Resource:</b>	Contributing Resource Chevy Chase Village Historic District	<b>Report Date:</b>	2/1/2006
<b>Applicant:</b>	Richard D. and B.G. Kline	<b>Public Notice:</b>	1/25/2006
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	35/13-06B	<b>Staff:</b>	Anne Fothergill

**PROPOSAL:** Deck removal and additions and alterations

**RECOMMENDATION:** Approval

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Colonial Revival  
**DATE:** 1923

**PROPOSAL**

The applicants propose removal of a rear deck and construction of a one-story addition at the rear and on the east (right) side of their house. A 66 SF section of the addition will extend back from the east side screened porch which was enclosed many years ago, and will have a door and covered entryway with steps to grade. There will be a 22.5' x 20.5' addition at the rear of the house. They also propose new windows in the enclosed east side porch and new French doors at the back of the house on the west side with wood steps to grade where there is currently a window.

The proposed materials are:

- Wood French doors with simulated divided lights
- Wood windows with simulated divided lights
- Clapboard siding to match existing
- Wood trim
- Slate roof to match existing
- Stone chimney and stone foundation

No trees will be impacted by this addition.

Proposed plans and elevations are in Circles 8-15.

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for

the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Chevy Chase Village Historic District Guidelines***

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- *Doors* should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- *Lot coverage* should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
- *Major additions* should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way.
- *Porches* should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.
- *Siding* should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not. Artificial siding on areas visible from the public right-of-way should be discouraged where such materials would replace or damage original building materials that are in good condition. Vinyl and aluminum siding should be discouraged.
- *Windows* (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Addition of compatible exterior storm windows should be encouraged, whether visible from the public-right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged.

The *Guidelines* state five basic policies that should be adhered to, including:

- Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.
- Maintaining the variety of architectural styles and the tradition of architectural excellence.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

### ***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

***Secretary of the Interior's Standards for Rehabilitation:***

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

**STAFF DISCUSSION**

Seven Primrose Street is a Contributing Resource to the historic district and staff used the above-mentioned *Guidelines* to review the proposed alterations so as to preserve the integrity of the historic house and to ensure the compatibility of any additions and alterations.

The proposed additions to this house are appropriately sited at the rear of the house. The one-story additions are sympathetic and appropriate in scale and massing. The materials are clearly differentiated from and compatible with the historic house.

The existing lot coverage is 20% (including the garage, but not the deck) and with the construction of an approximately 500 SF addition, the lot coverage increases to 26%. While this is on the high end for lot coverage in a historic district, it is only a 6% increase, lot coverage this high in Chevy Chase Village has been approved by the HPC before, and because of where the addition is located, it will not detract from the open park-like character of the Village. The new windows and the small rear extension of the east side porch are allowable since the porch has already been substantially altered from its original design.

Overall the proposed additions and alterations will not adversely affect the house, streetscape or historic district. Staff is recommending approval of this application.

**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE, MD 20850

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**

Contact Person: RICHARD KLINE

Daytime Phone No.: 301-654-1242

Tax Account No.: 00456742

Name of Property Owner: RICHARD D. & B.G. KLINE Daytime Phone No.: 301-654-1242

Address: 7 PRIMROSE STREET CHEVY CHASE, MD. 20815  
Street Number City State Zip Code

Contractor: FRONTIER CONSTRUCTION Phone No.: 301-231-7385

Contractor Registration No.: 2612 MHIC 7380

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 7 Street: PRIMROSE ST.

Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE.

Lot: PARTS 2&3 Block: 58 Subdivision: CHEVY CHASE, SEC. 2

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- Construct
  - Extend
  - Alter/Renovate
  - Move
  - Install
  - Wreck/Raze
  - Revision
  - Repair
  - Revocable
- CHECK ALL APPLICABLE:
- A/C
  - Slab
  - Room Addition
  - Porch
  - Deck
  - Shed
  - Solar
  - Fireplace
  - Woodburning Stove
  - Single Family
  - Fence/Wall (complete Section 4)
  - Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 280,000.00

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line
  - Entirely on land of owner
  - On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent  
Jan 16, 2006 Date

Approved: 409047 For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

7 Primrose Street is a brown tone stone, single family home, built circa 1920, with a blended slate roof and copper gutters and downspouts. The original screened porch, adjacent to the driveway on the east side of the house, was enclosed many years ago and is now used as a dining room. The exterior of this room is finished in 8" wood siding with trim columns and details. The current owners, Barbara and Richard Kline have made no substantive or structural changes to the exterior appearance of the house since they acquired the property in 1984. There are no other apparent historical features.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed project is designed to incorporate a single story addition to the rear of the house, replacing a 15' x 12' wood deck with a 21' x 17' family room. The project also includes remodeling the kitchen and hall bathroom areas, as well as extending the existing dining room to the rear and creating a small mudroom for outside access to the kitchen. The plans for this project call for no changes to the front elevation of the house and all roof lines visible from the street remain unchanged. The design of and materials scheduled for the addition, including the dining room extension, will be consistent with the existing structure, matching the siding, stone and architectural details as closely as practicable. This addition and the other changes will have no impact on the environmental setting or the historic resources of the house.

**2. SITE**

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

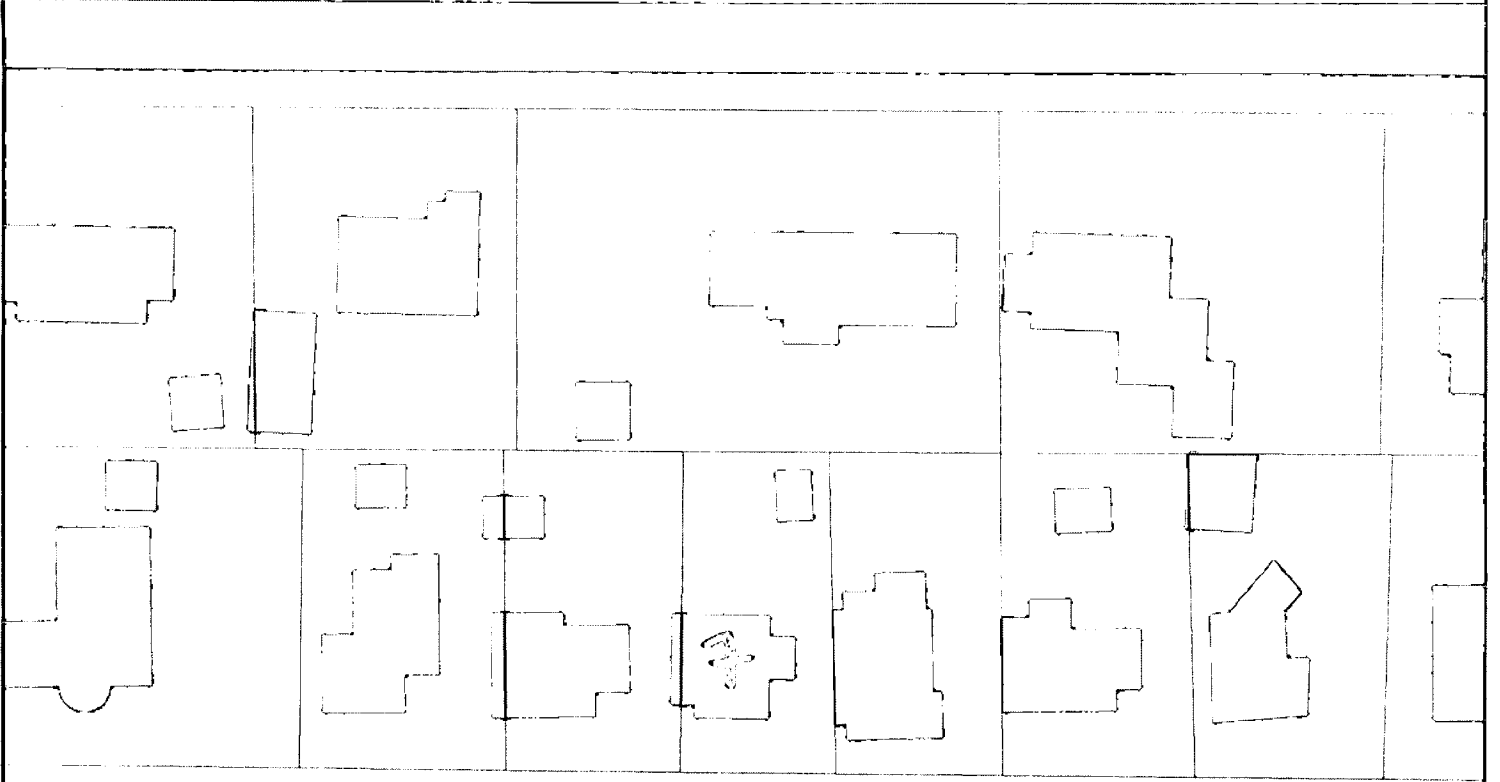
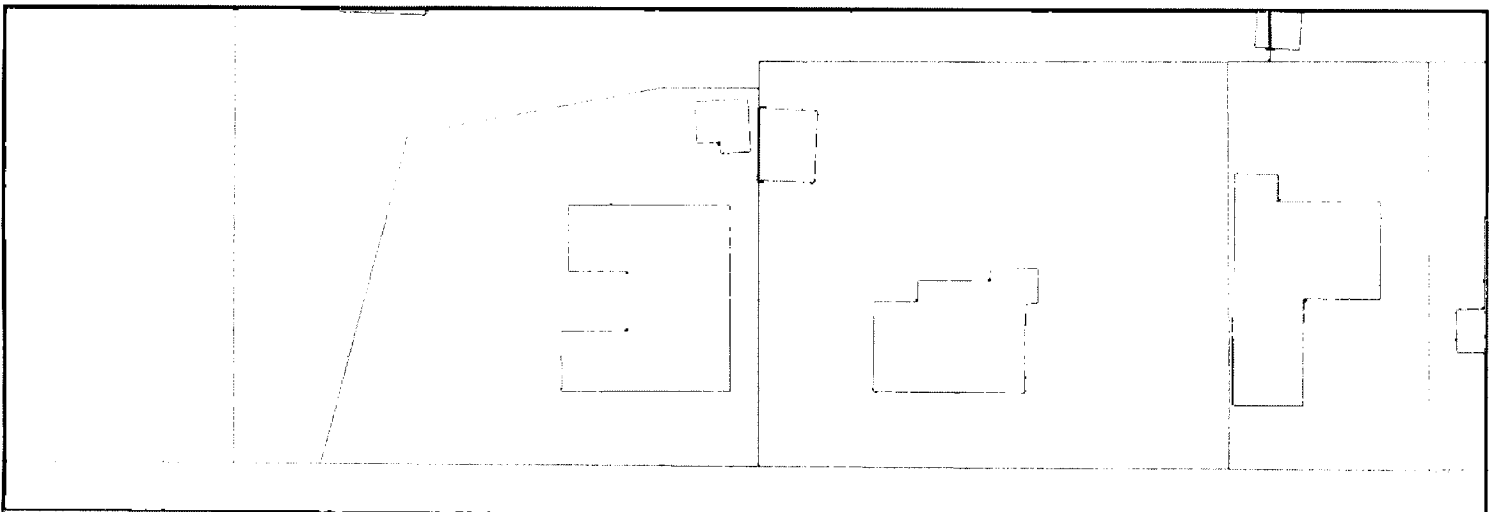
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

5

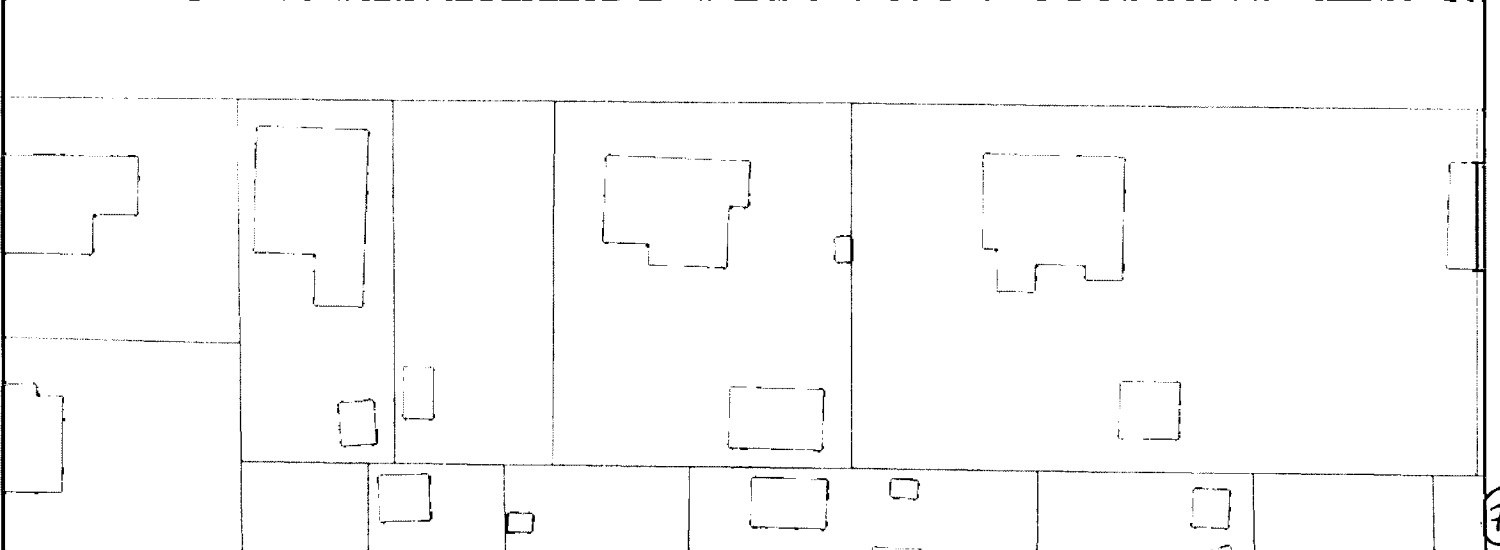
**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b> Barbara & Richard Kline 7 Primrose Street Chevy Chase, MD 20815	<b>Owner's Agent's mailing address</b> N/A
<b>Adjacent and confronting Property Owners mailing addresses</b>	
Dr. & Mrs. Montague Blundon 9 Primrose Street Chevy Chase, MD 20815	Mr. & Mrs. Alan Geller 5 Primrose Street Chevy Chase, MD 20815
Mr. & Mrs. David Granger 8 Primrose Street Chevy Chase, MD 20815	Mr. & Mrs. Patrick Regan 6 Quincy Street Chevy Chase, MD 20815

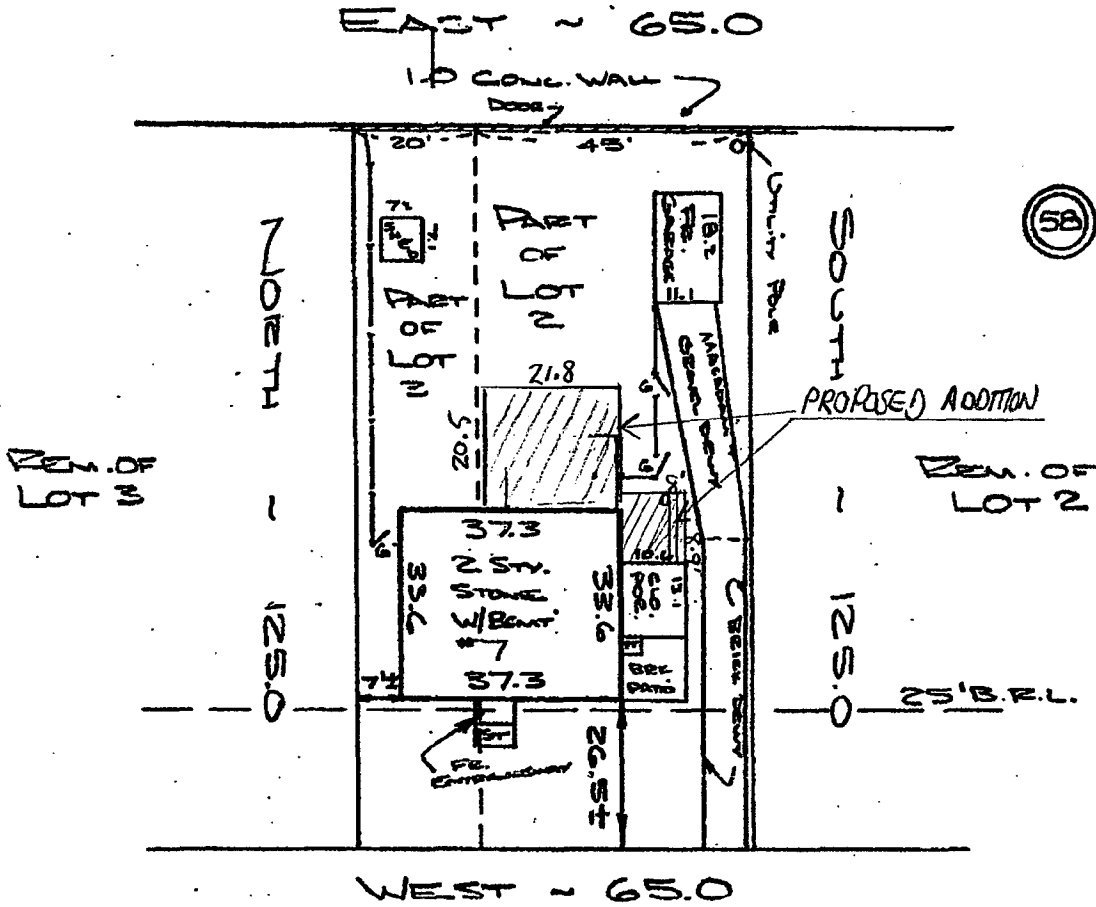




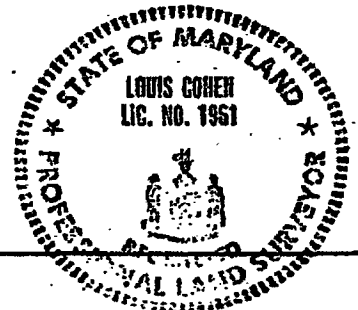
PRIMROSE STREET



TOTAL AREA: 8125 5/8



PRIMROSE STREET



### CAPITOL SURVEYS

NOTE: This drawing is not intended to establish property lines nor is the existence of corner markers guaranteed. All information shown hereon taken from the land records of the county or city in which the property is located.

HOUSE LOCATION  
 PARTS OF LOTS 2 & 3 BLOCK 58  
 SECTION NO. 2  
**CHEVY CHASE**  
 MONTGOMERY COUNTY, MARYLAND  
 Recorded in Plat Book 2 Plat 106 Scale 1" = 30'

I hereby certify that the position of all of the existing improvements on the above described property have been established by a transit tape measurement and that unless otherwise shown there are no visible encroachments.

*[Signature]*  
 LOUIS COHEN  
 Registered Land Surveyor  
 Maryland No. 1961

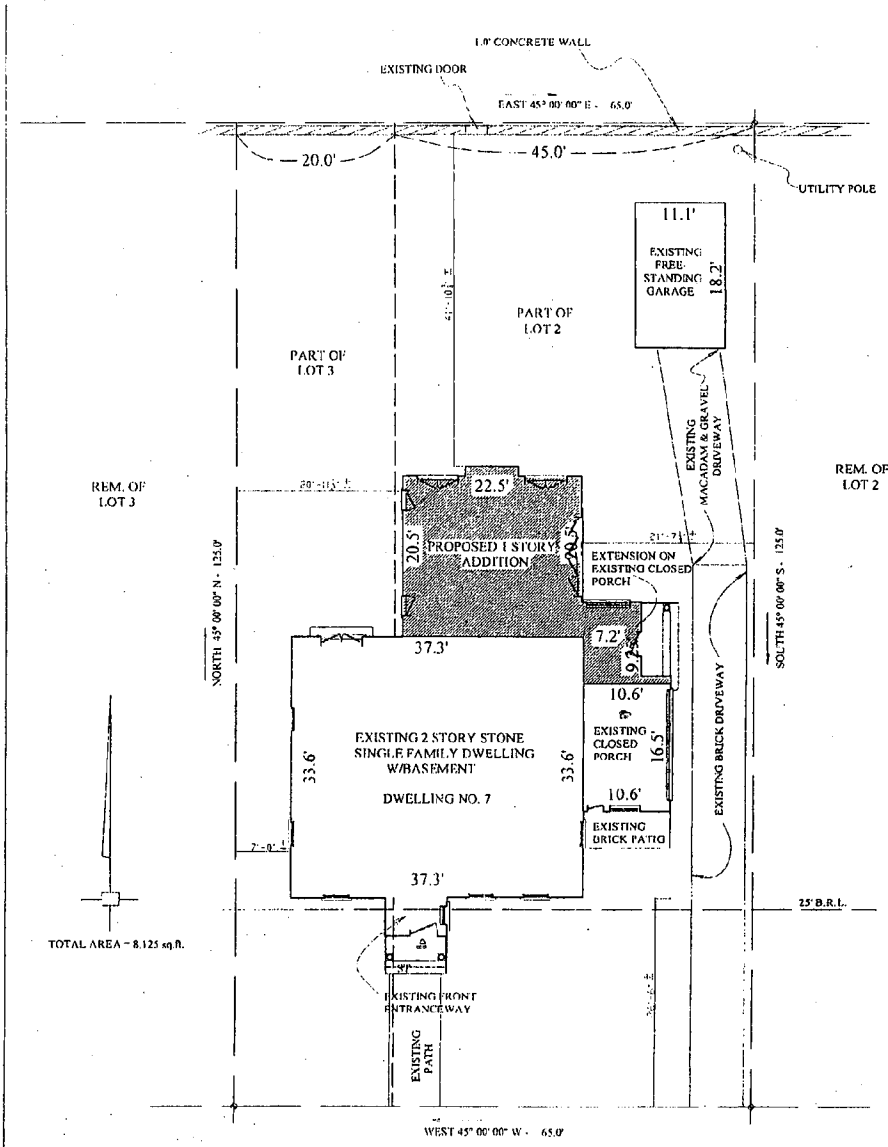
DATE: Nov. 29, 1984

CASE: 693-84

FILE: 17771

## KLINE RESIDENCE - SITE MAP

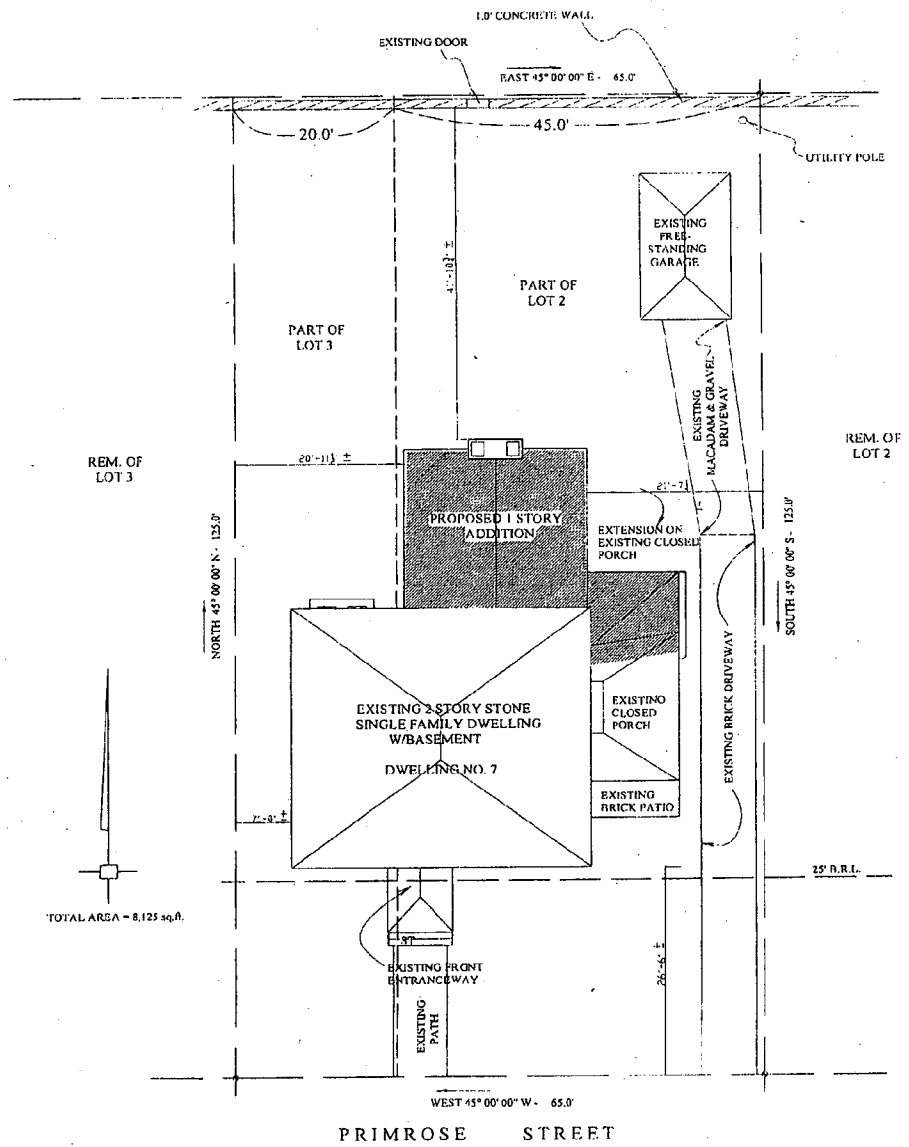
8



SITE PLOT PLAN - 3/32" = 1'-0" SCALE

HOUSE LOCATION: PARTS OF LOTS 2 & 3  
SECTION: NO. 2  
BLOCK: 58  
CHEVY CHASE, MONTGOMERY COUNTY - MARYLAND

Garrow Kodigian  
Architecture & Interior Design  
64 East 80th Street New York, NY 10021  
Client: Richard & Barbara Kline  
7 Primrose Street  
Chevy Chase, MD  
Drawing:  
SITE PLOT PLAN  
3/32" scale  
**SK-0**

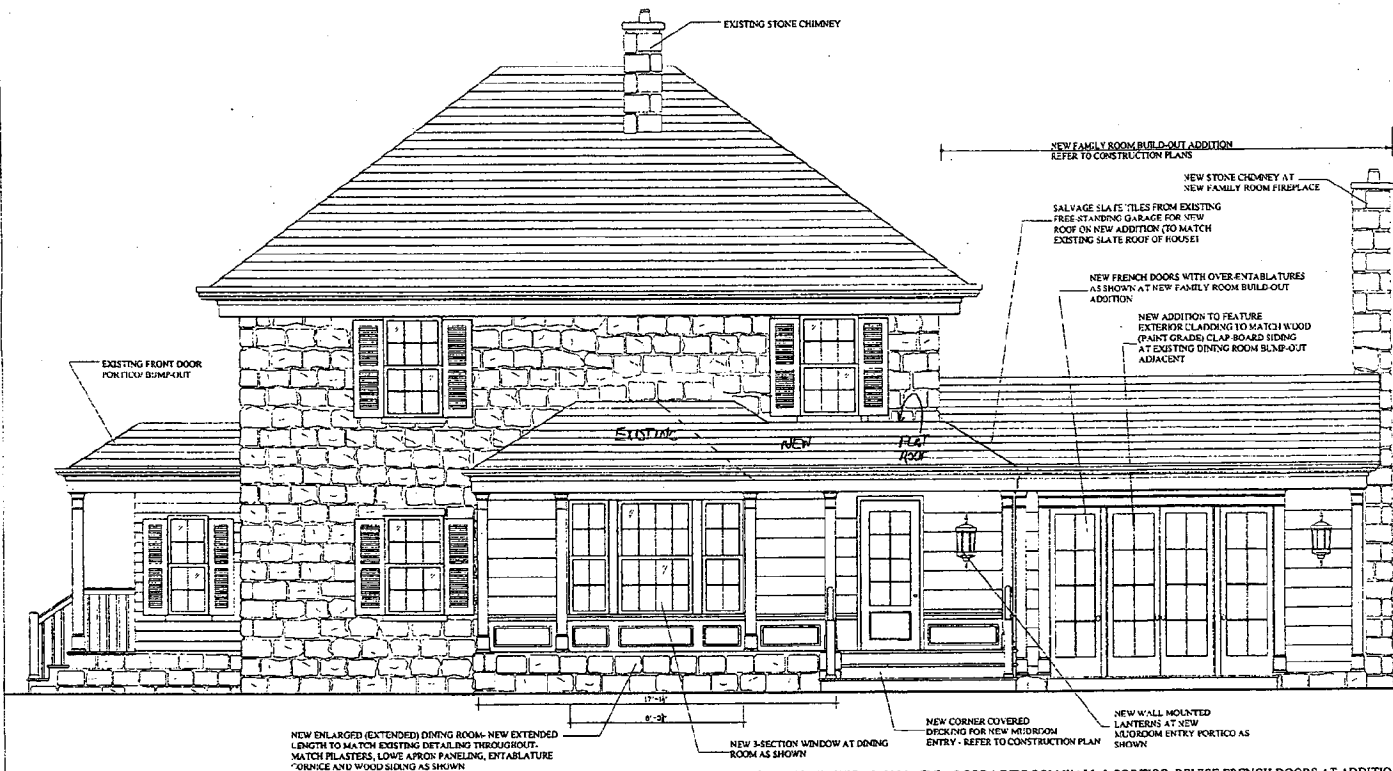


ROOF PLAN - 3/32" = 1'-0" SCALE

HOUSE LOCATION: PARTS OF LOTS 2 & 3  
SECTION: NO. 2  
BLOCK: 58  
CHEVY CHASE, MONTGOMERY COUNTY - MARYLAND

Garrow Kodigian  
Architecture & Interior Design  
64 East 80th Street New York, NY 10021  
Client: Richard & Barbara Kline  
7 Primrose Street  
Chevy Chase, MD  
Drawing:  
ROOF PLAN  
3/32" scale  
**SK-0.1**

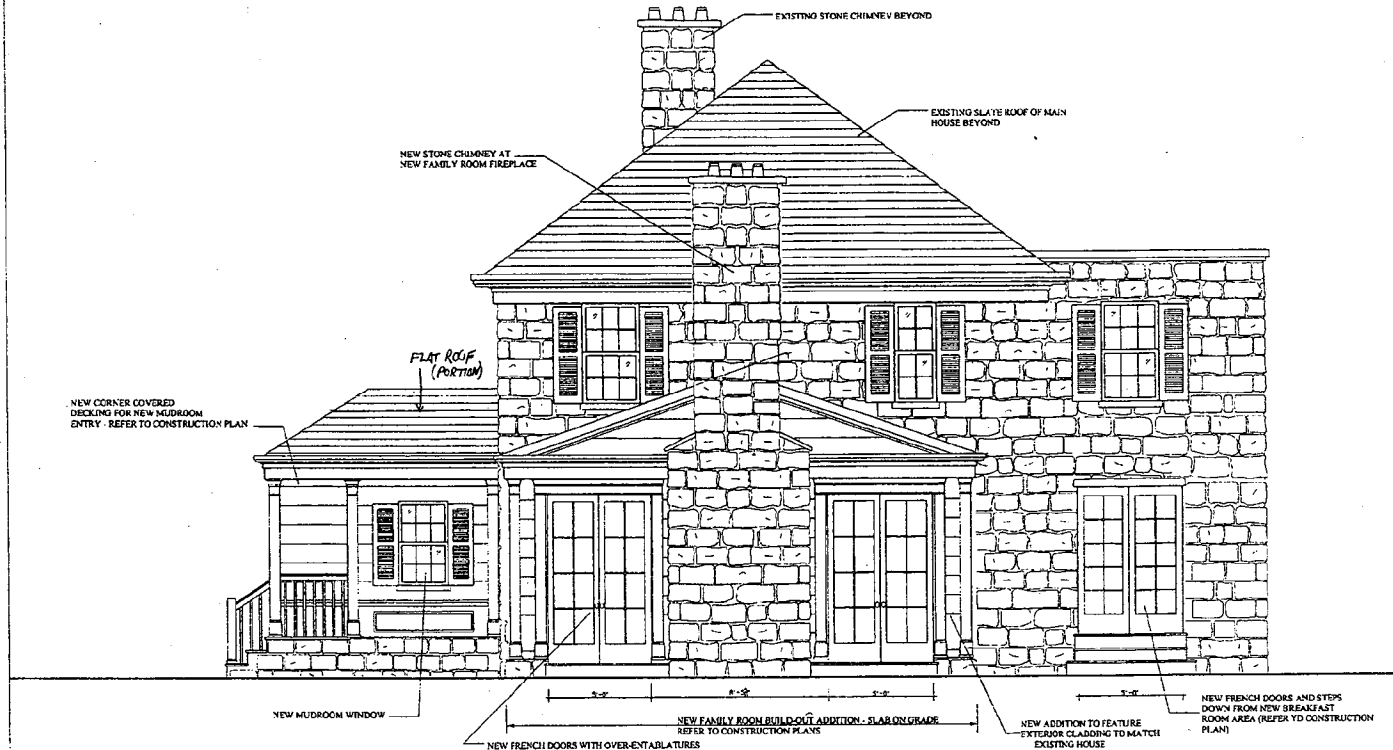
(6)



PROPOSED EXTERIOR SIDE END ELEVATION VIEW OF HOUSE - 1/4" = 1'-0" SCALE

REVISION 1: NOVEMBER 19, 2005 - ENLARGED MUDROOM WALL & PORTICO, REVISE FRENCH DOORS AT ADDITION

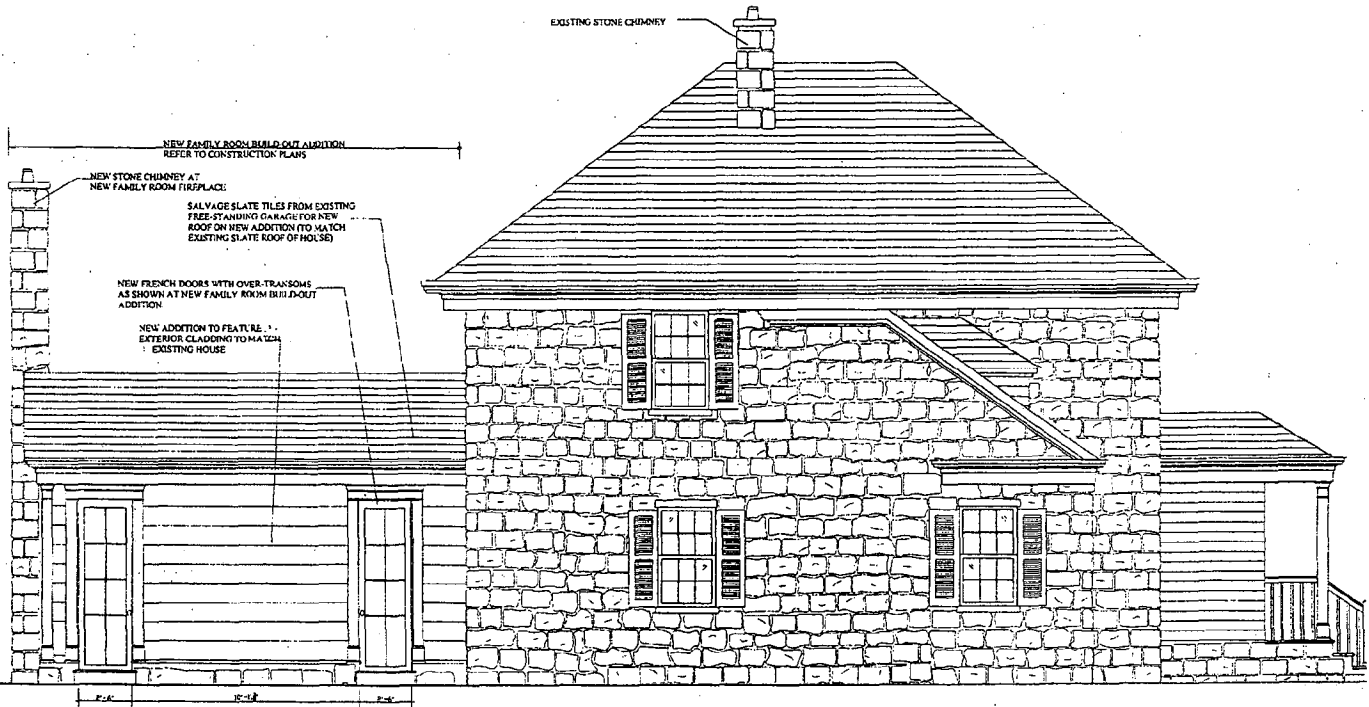
Garrow Kedigan Architecture & Interior Design 64 East 80th Street New York, NY 10021	Client: Mr. & Mrs. Richard Kline 7 Primrose Street Chevy Chase, MD	Drawing: Exterior Side Elevation View of House 1/4" scale	<b>SK-E1</b>
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PROPOSED EXTERIOR BACK END ELEVATION VIEW OF HOUSE - 1/4" = 1'-0" SCALE

Garrow Kedigan Architecture & Interior Design 64 East 80th Street New York, NY 10021	Client: Mr. & Mrs. Richard Kline 7 Primrose Street Chevy Chase, MD	Drawing: Exterior Back Elevation View of House Plan 1/4"	<b>SK-E2</b>
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10



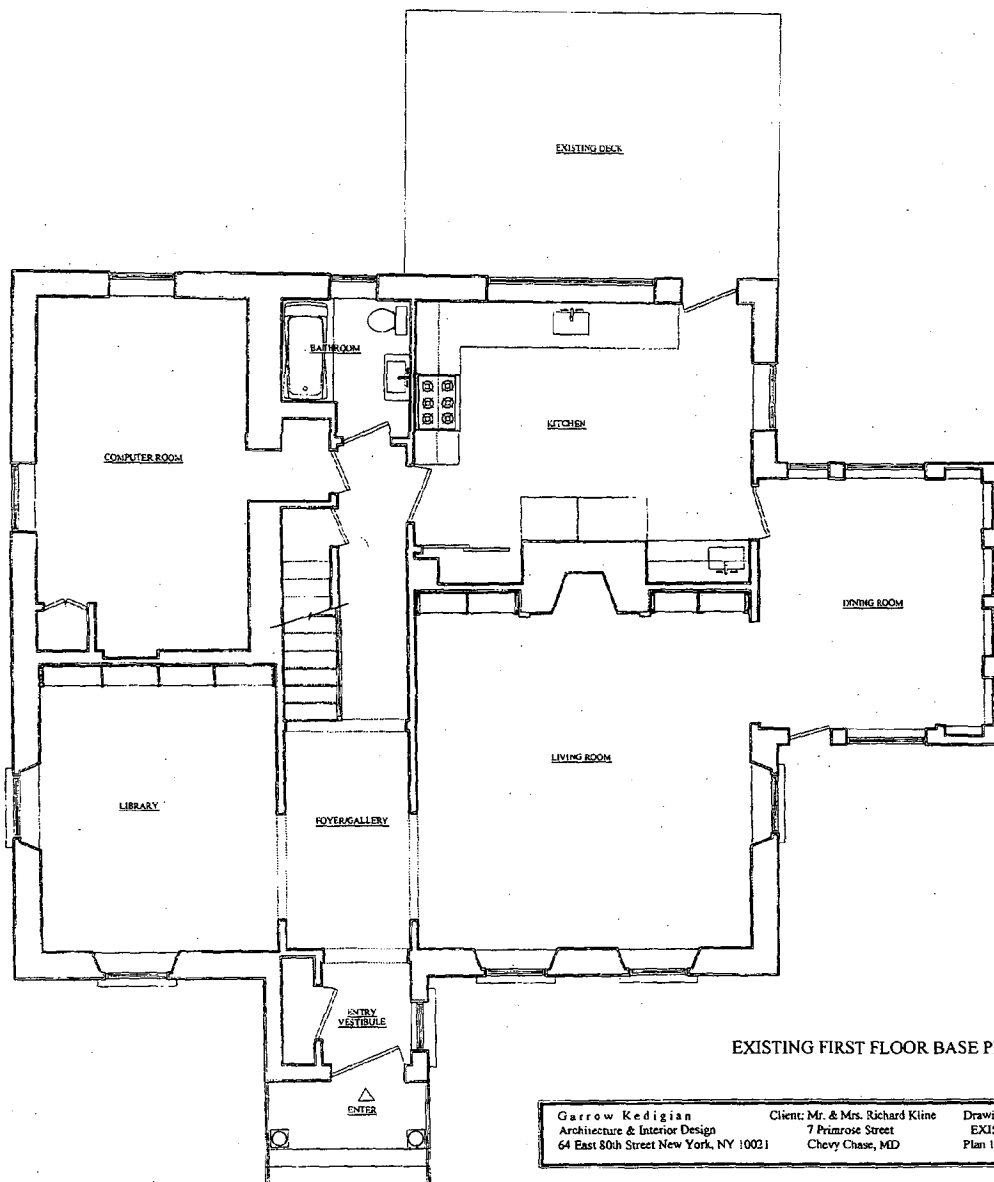
PROPOSED EXTERIOR SIDE END ELEVATION VIEW OF HOUSE - 1/4" = 1'-0" SCALE

Garrow Kedigan  
 Architecture & Interior Design  
 64 East 80th Street New York, NY 10021

Client: Mr. & Mrs. Richard Kline  
 7 Primrose Street  
 Chevy Chase, MD

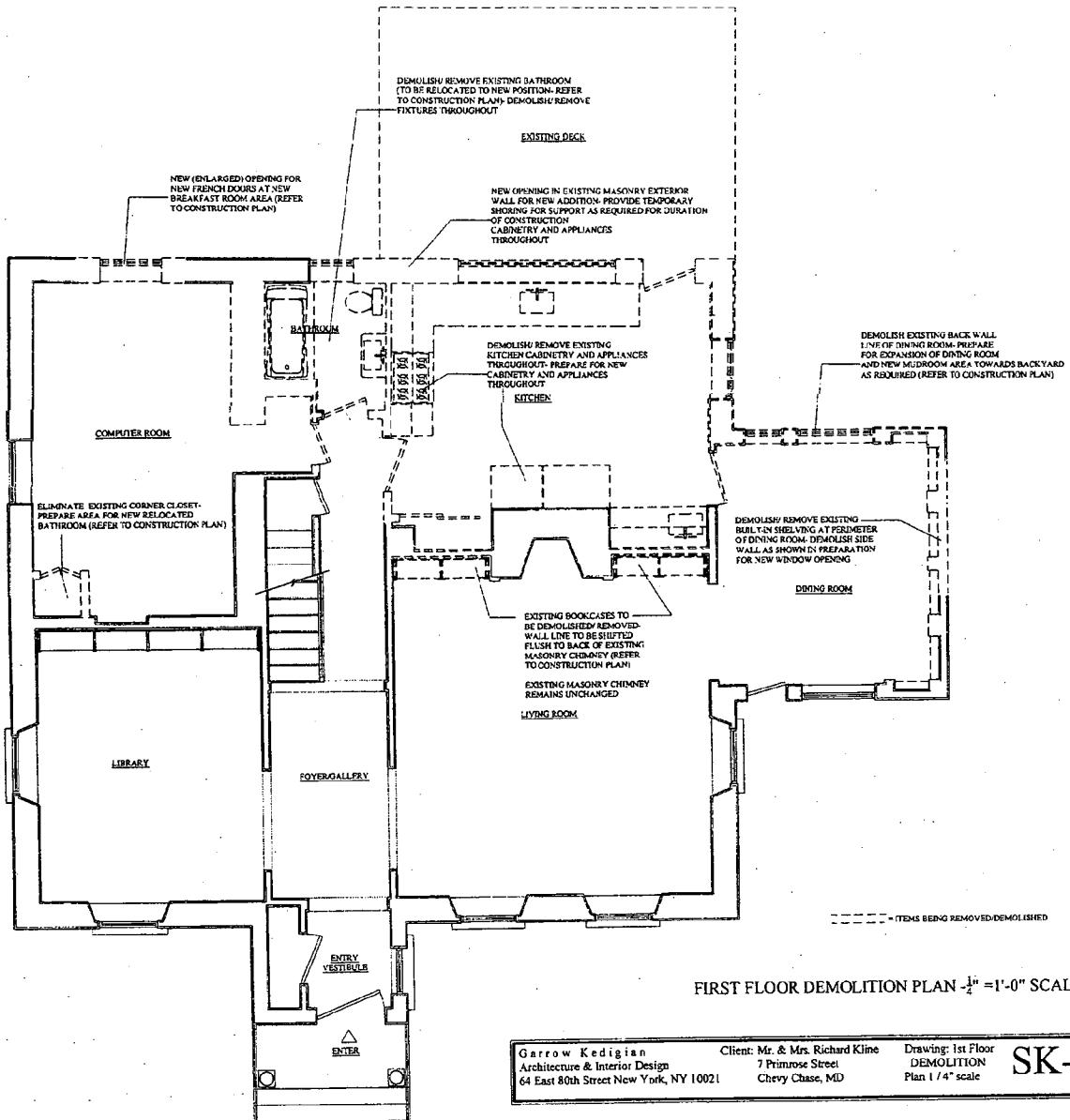
Drawing:  
 Exterior Side Elevation  
 View of House 1/4" scale

SK-E3



EXISTING FIRST FLOOR BASE PLAN  $\frac{1}{4}'' = 1'-0''$  SCALE

Garrow Kedigian Architecture & Interior Design 64 East 80th Street New York, NY 10021	Client: Mr. & Mrs. Richard Kline 7 Primrose Street Chevy Chase, MD	Drawing: EXISTING 1st Floor Plan 1 / 4" scale	<b>SK-1</b>
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FIRST FLOOR DEMOLITION PLAN  $\frac{1}{4}" = 1'-0"$  SCALE

Garrow Kedigan Architecture & Interior Design 64 East 80th Street New York, NY 10021	Client: Mr. & Mrs. Richard Kline 7 Primrose Street Chevy Chase, MD	Drawing: 1st Floor DEMOLITION Plan 1/4" scale	SK-2
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- LEGEND:
- : CEILING SURFACE LIGHT
  - ◊ : CEILING RECESS LIGHT
  - ⊕ : WALL SCONCE LIGHT
  - ⊗ : CEILING SURFACE FAN
  - ⊞ : TV CABLE
  - ⊠ : TELEPHONE JACK
  - ⊡ : FLUSH MOUNTED IN-WALL SPEAKER
  - ⊢ : AUDIO CONTROL
  - ⊣ : WET LOCATION RATED OUTLET
  - : UNDER CABINET STRIP LIGHTS
  - ⊞ : HALF-SWITCHED DUPLEX OUTLET
  - ⊞ : REGULAR DUPLEX OUTLET
  - ⊞ : MAIN DIMMER SWITCH
  - ⊞ : 3-WAY SWITCH CONTROL
  - ⊞ : CAT-V COMPUTER/DSL
  - ⊞ : CEILING EXHAUST FAN/VENT

NOTE: RECESS LIGHTS - USE 3" DIAMETER AIR-14 WAFER TRIM THROUGHOUT

NOTE: ALL LIGHTING TO BE ON DIMMERS THROUGHOUT AS REPRESENTED - USE LUTTRON SKYLARK SWITCH UNIT

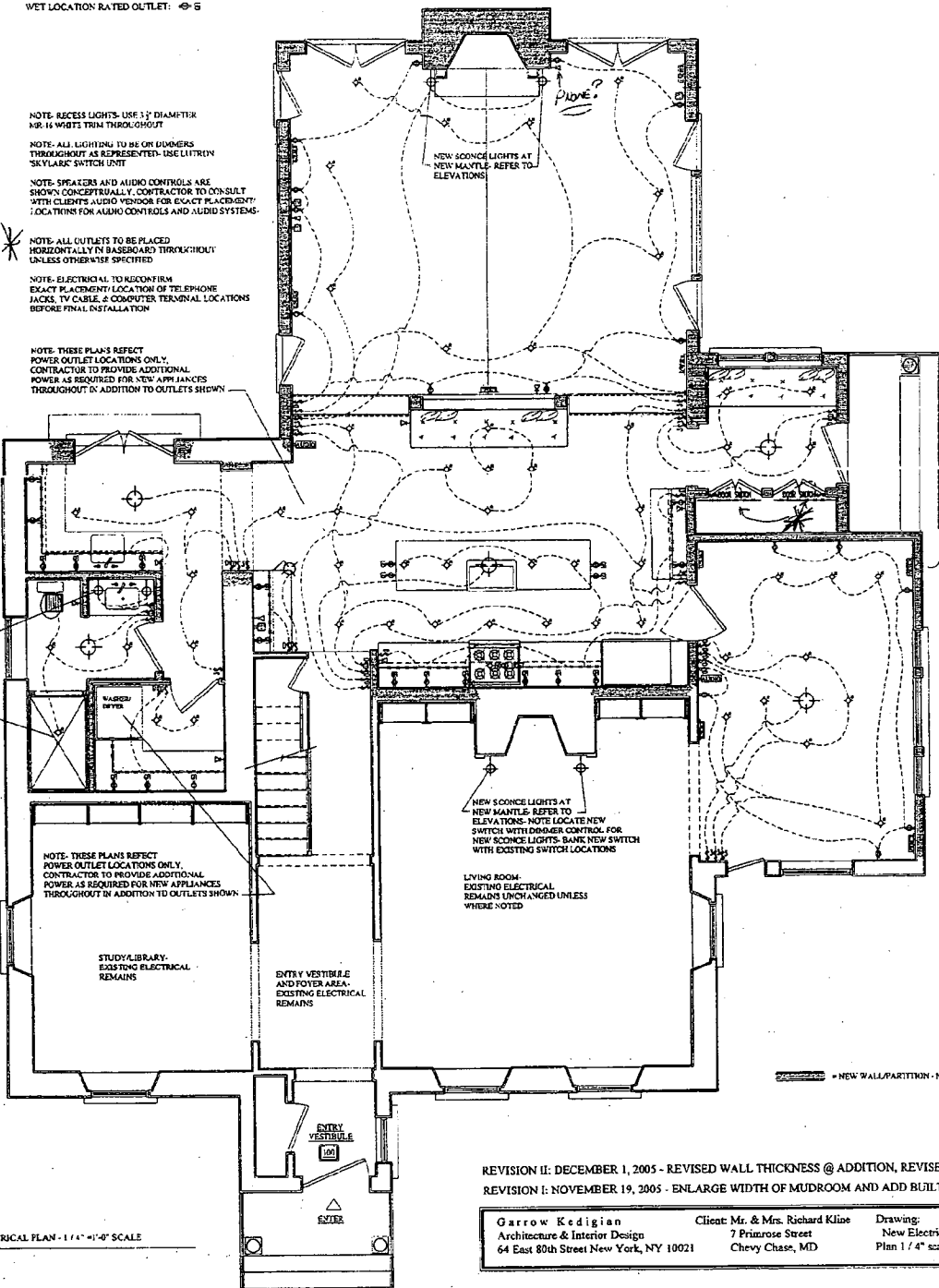
NOTE: SPEAKERS AND AUDIO CONTROLS ARE SHOWN CONCEPTUALLY, CONTRACTOR TO CONSULT WITH CLIENT'S AUDIO VENDOR FOR EXACT PLACEMENT/LOCATIONS FOR AUDIO CONTROLS AND AUDIO SYSTEMS

NOTE: ALL OUTLETS TO BE PLACED HORIZONTALLY IN BASEBOARD THROUGHOUT UNLESS OTHERWISE SPECIFIED

NOTE: ELECTRICAL TO RECONFIRM EXACT PLACEMENT/LOCATION OF TELEPHONE JACKS, TV CABLE, & COMPUTER TERMINAL LOCATIONS BEFORE FINAL INSTALLATION

NOTE: THESE PLANS REFLECT POWER OUTLET LOCATIONS ONLY. CONTRACTOR TO PROVIDE ADDITIONAL POWER AS REQUIRED FOR NEW APPLIANCES THROUGHOUT IN ADDITION TO OUTLETS SHOWN

NOTE: THESE PLANS REFLECT POWER OUTLET LOCATIONS ONLY. CONTRACTOR TO PROVIDE ADDITIONAL POWER AS REQUIRED FOR NEW APPLIANCES THROUGHOUT IN ADDITION TO OUTLETS SHOWN

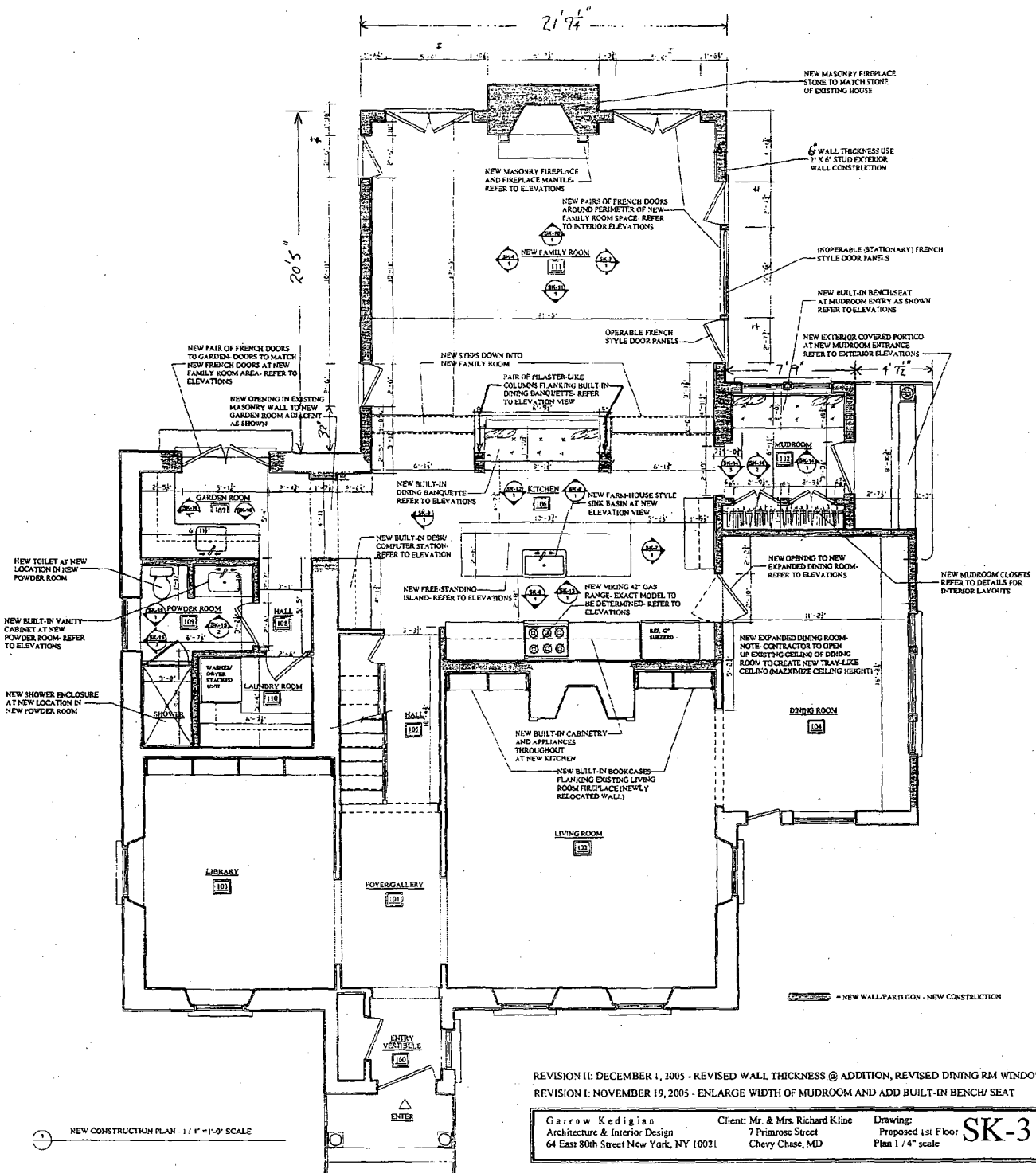


REVISION II: DECEMBER 1, 2005 - REVISED WALL THICKNESS @ ADDITION, REVISED DINING RM WINDOW  
 REVISION I: NOVEMBER 19, 2005 - ENLARGE WIDTH OF MUDROOM AND ADD BUILT-IN BENCH/SEAT

Garrow Kedgion Architecture & Interior Design 64 East 80th Street New York, NY 10021	Client: Mr. & Mrs. Richard Klise 7 Primrose Street Chevy Chase, MD	Drawing: New Electrical Plan 1/4" scale	<b>SK-4</b>
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NEW ELECTRICAL PLAN - 1/4" = 1'-0" SCALE





1 NEW CONSTRUCTION PLAN - 1/4" = 1'-0" SCALE

REVISION II: DECEMBER 1, 2005 - REVISED WALL THICKNESS @ ADDITION, REVISED DINING RM WINDOW  
 REVISION I: NOVEMBER 19, 2005 - ENLARGE WIDTH OF MUDROOM AND ADD BUILT-IN BENCH/SEAT

Garow Kedigian Architecture & Interior Design 64 East 80th Street New York, NY 10021	Client: Mr. & Mrs. Richard Kline 7 Primrose Street Cherry Chase, MD	Drawing: Proposed 1st Floor Plan 1/4" scale	<b>SK-3</b>
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15



7 Primrose Street ---- Front View



7 Primrose Street ---- Front View from SW corner



7 Primrose Street ---- Front View from SE corner



7 Primrose Street ---- Front View from SE corner



7 Primrose Street ---- East Side View from driveway



7 Primrose Street ---- Rear View of east side of house



7 Primrose Street ---- Rear View of house from rear property line w/ 6 Quincy St.



## HISTORIC PRESERVATION COMMISSION


Douglas M. Duncan  
County Executive

Julia O'Malley  
Chairperson

Date: 2/9/2006

### MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner   
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #409047, deck removal and rear addition

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the 2/8/2006 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Richard Kline

Address: 7 Primrose St, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plans are made.





RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240 777 6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: RICHARD KLINE
Daytime Phone No.: 301-654-1242

Tax Account No.: 00456742
Name of Property Owner: RICHARD D. & B.G. KLINE Daytime Phone No.: 301-654-1242
Address: 7 PRIMROSE STREET CHEVY CHASE, MD. 20815
Contractor: FRONTIER CONSTRUCTION Phone No.: 301-231-7385
Contractor Registration No.: 2612 MHIC 7380
Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 7 Street: PRIMROSE ST.
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE.
Lot: PARTS 2&3 Block: 5B Subdivision: CHEVY CHASE, SEC. 2
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
Construct, Extend, Alter/Renovate, A/C, Slab, Room Addition, Porch, Deck, Shed, Move, Install, Wreck/Raze, Solar, Fireplace, Woodburning Stove, Single Family, Revision, Repair, Revocable, Fence/Wall, Other.
1B. Construction cost estimate: \$ 280,000.00
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other.
2B. Type of water supply: 01 WSSC, 02 Well, 03 Other.

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: Jan. 16, 2006

Approved: 409047 For Chairperson Historic Preservation Commission
Disapproved: Signature: Julia O'Malley Date: 2-9-06
Application/Permit No.: Date Filed: Date Issued: