

35/13-06I 1 Quincy St
Chevy Chase Village Historic District, 35/13

6' fancy
wrought iron fence

Outstanding



HISTORIC PRESERVATION COMMISSION


Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: April 27, 2006

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Michele Oaks, Senior Planner 
Historic Preservation Section, M-NCPPC

SUBJECT: Historic Area Work Permit # 416503 for wrought iron fence and gate installation

The Montgomery County Historic Preservation Commission (HPC) reviewed the attached application for a Historic Area Work Permit (HAWP) at its public hearing on April 26, 2006. This application was **APPROVED**.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP) AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: Mr. and Mrs. B. F. Saul (Thomas Burke, Agent)

Address: 1 Quincy Street, Chevy Chase (Chevy Chase Village Historic District)

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will contact the Historic Preservation Office if they propose to make any alterations to the approve plans.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Thomas Burke

Daytime Phone No.: 240-497-7064

Tax Account No.: 03196375

Name of Property Owner: M/M B.F. SAUL Daytime Phone No.: _____

Address: #1 Chevy Chase Quincy 20815
Street Number City Street Zip Code

Contractor: Potomac Fences, Inc Phone No.: 301 468-1228

Contractor Registration No.: 9989

Agent for Owner: Thomas Burke Daytime Phone No.: 240-497-7064

240-375-1384

LOCATION OF BUILDING/PREMISE

House Number: #1 Street: Quincy

Town/City: Chevy Chase Nearest Cross Street: _____

Lot: 37 Block: 61 Subdivision: Chevy Chase Village

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 22,500

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

T. Shuply
Signature of owner or authorized agent

04/04/06
Date

Approved: X

Disapproved: _____ Signature: Julia O'Malley Date: 4/27/06

Application/Permit No.: 416503 Date Filed: 4/3/06 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The property is situated on Connecticut Avenue between Bradley Lane + Quincy Street. The primary residence sits toward the back of the lot with approximately one-half of the property situated between the front of the house and Connecticut Avenue. A guest house is situated on the east side of the property.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Install wrought iron fencing and gate on Quincy Street

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

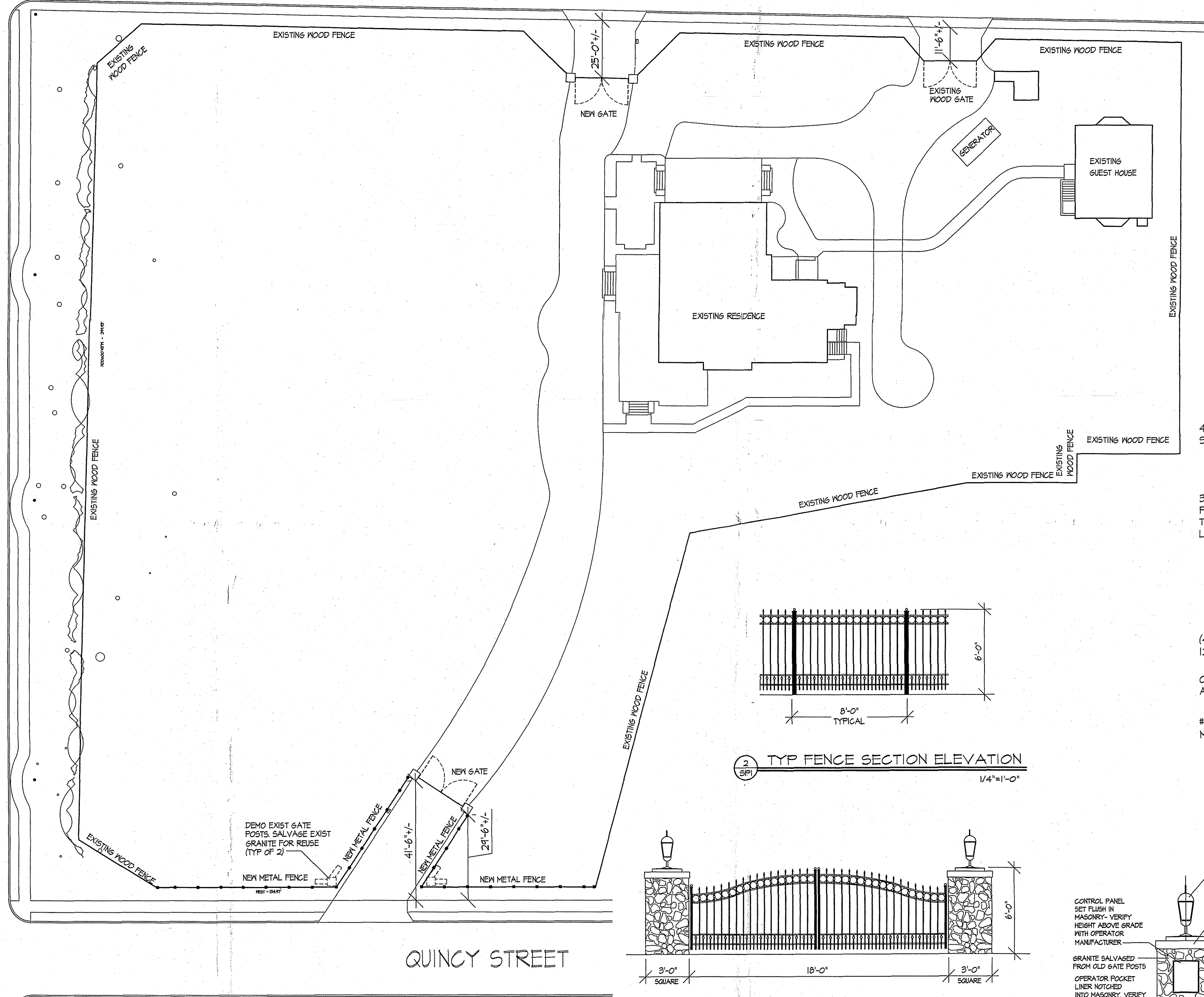
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

All rights reserved. Designs, drawings and specifications as instruments of service are and shall remain the property of the architect. No part of this project may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the architect. This drawing is to be used by the owner on other projects or extensions to the project except by the architect. Copyright © 2006 Cross Design Associates LLC

OPERATORS INITIALS: JRC
 PLOT SCALE: 1" = 1'-0"
 FILE NAME: 08003.FPI

CONNECTICUT AVENUE

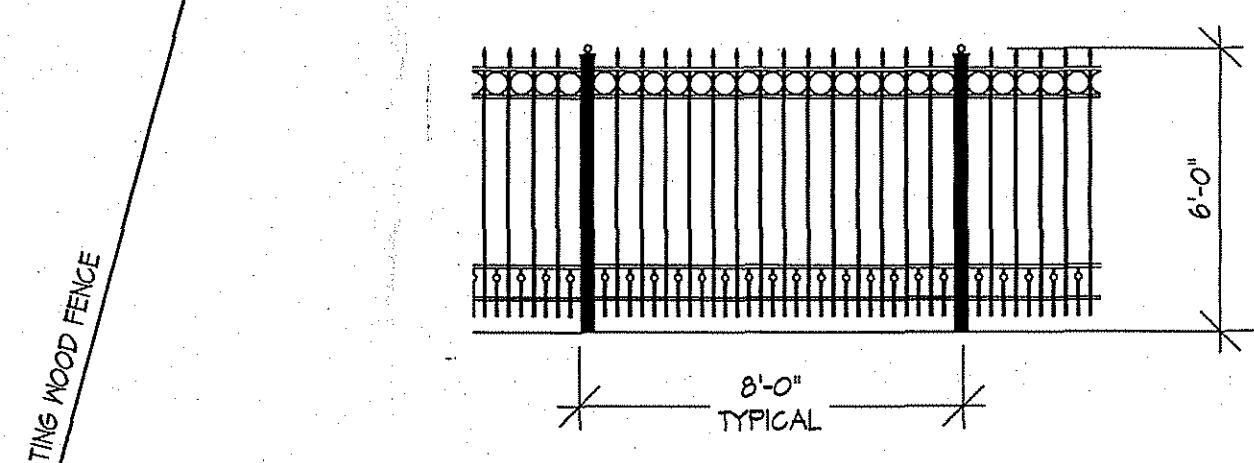
BRADLEY LANE



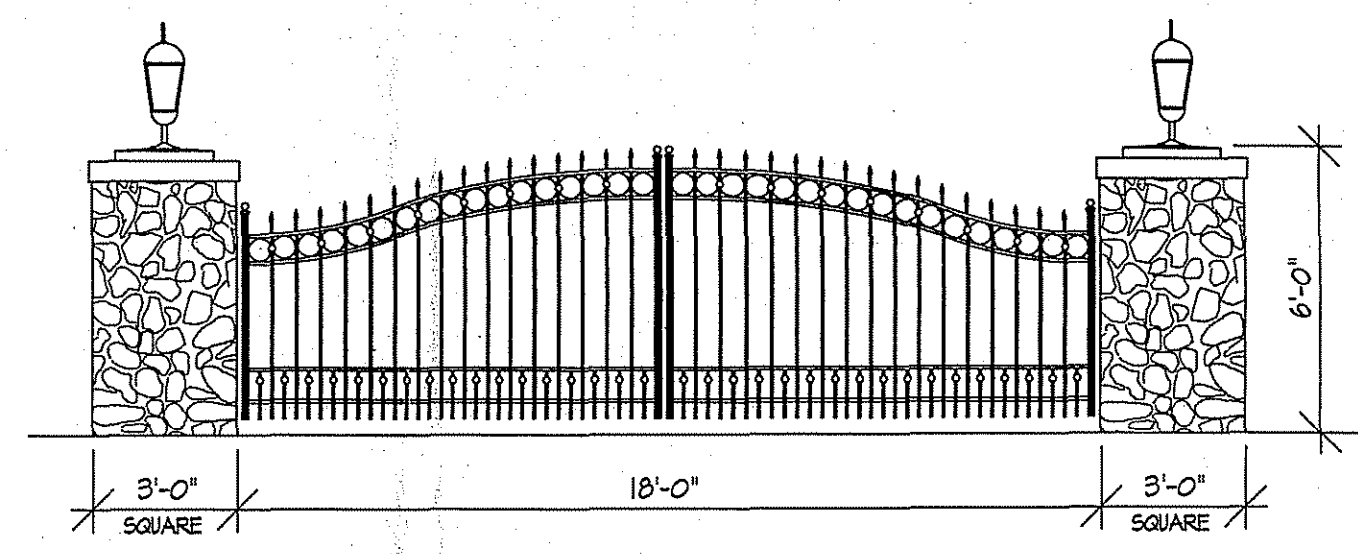
1 FENCE LAYOUT PLAN
 1" = 20'-0"



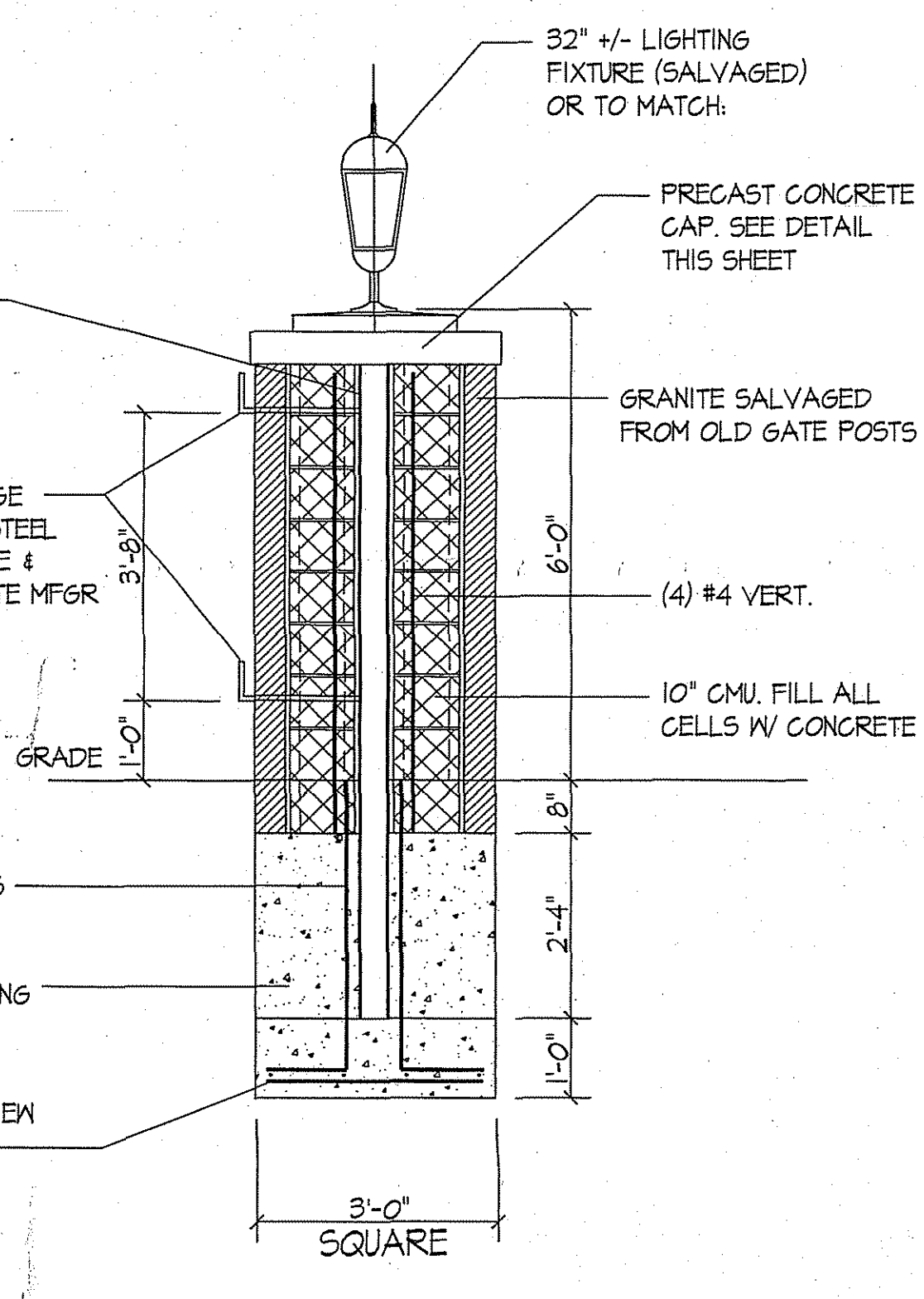
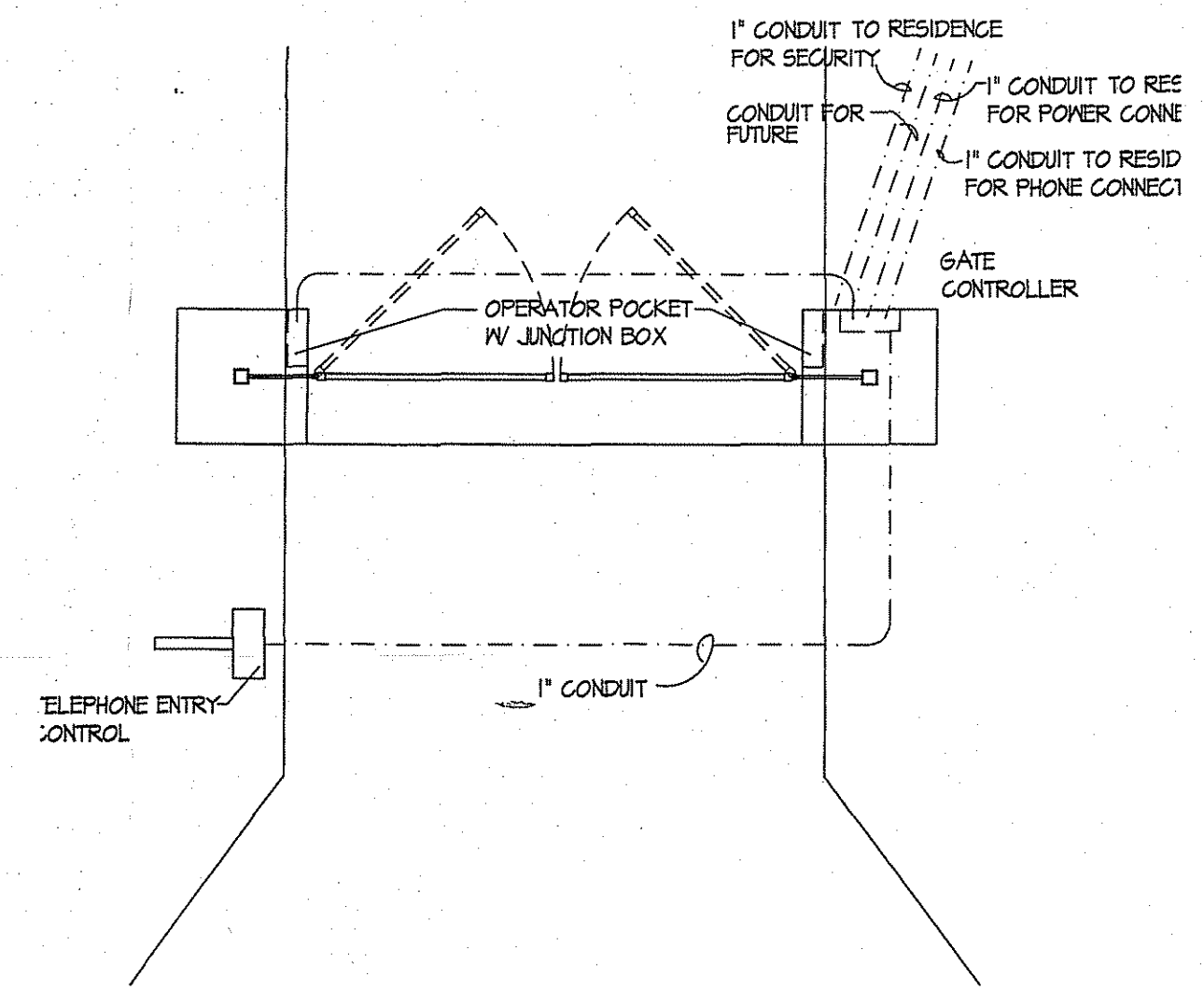
2 TYP FENCE SECTION ELEVATION
 1/4" = 1'-0"



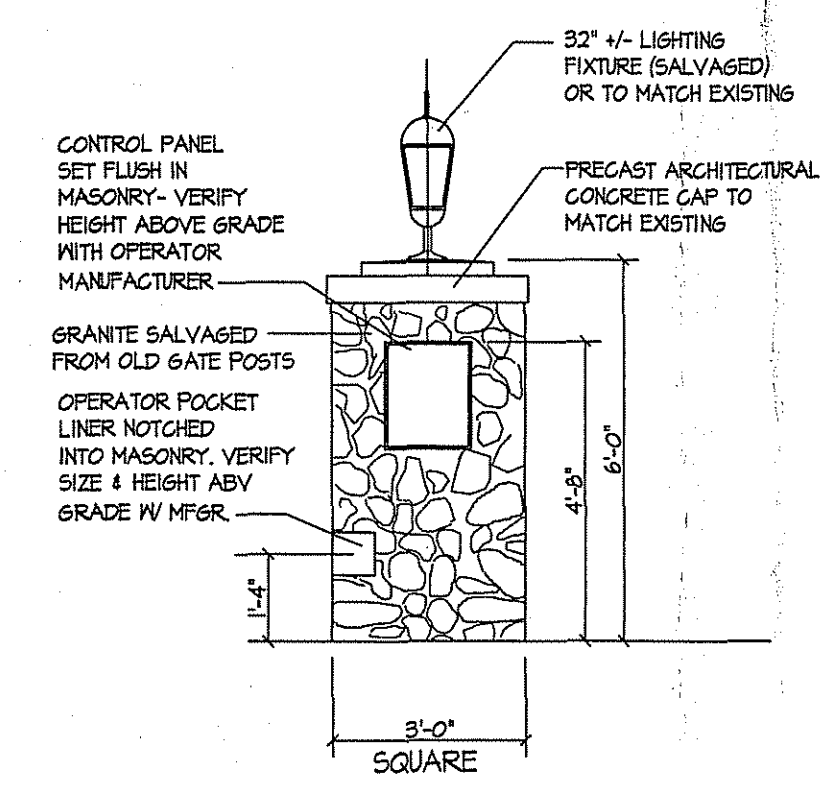
3 TYP GATE ELEVATION
 1/4" = 1'-0"



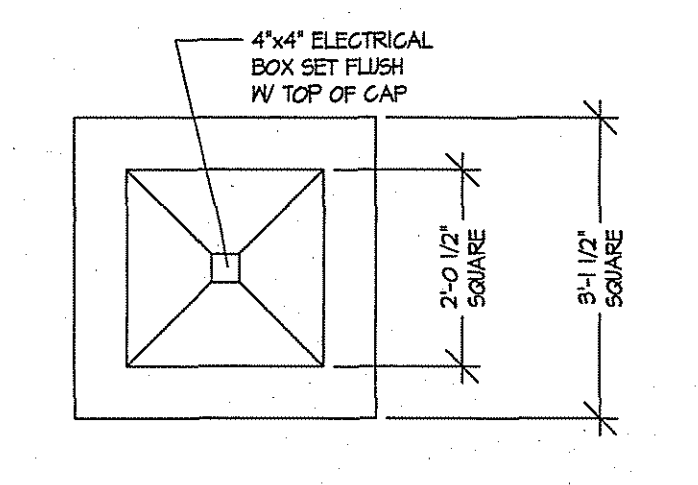
4 TYPICAL GATE WIRING
 1/4" = 1'-0"



5 TYP GATE POST SECTION
 1/2" = 1'-0"



7 TYP GATE POST ELEVATION
 3/8" = 1'-0"



8 GATE POST CAP DETAIL
 1/2" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Michelle [Signature]
 4/2/06

CROSS DESIGN ASSOCIATES
 ARCHITECTS AND PLANNERS
 4451 Brookfield Corporate Dr #209
 Chantilly, Va 20151
 (703) 488 9801 FAX (703) 488 9805

BOARD OF ARCHITECTS
 9185
 3500
 JAMES R. STATE
 1713

FENCE PLAN & DETAILS
B.F. SAUL RESIDENCE
 CHEVY CHASE, MARYLAND
 1 QUINCY STREET

Date: 3/12/06
 Revisions:

Job Number: 08003
 Sheet Number: **FPI**

EXPEDITED
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	1 Quincy St, Chevy Chase	Meeting Date:	4/26/2006
Resource:	Outstanding Resource Chevy Chase Village Historic District	Report Date:	4/19/2006
Applicant:	Mr. & Mrs. B.F. Saul	Public Notice:	4/12/2006
Review:	HAWP	Tax Credit:	
Case Number:	35/13-06I	Staff:	Michele Oaks
PROPOSAL:	Wrought Iron Fence and Stone Piers		
RECOMMENDATION:	Approve		

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival/Craftsman
DATE: By 1909

The property currently has a 6' high, wood fence, which surrounds the majority of the property, as the attached drawing illustrates.

PROPOSAL:

Applicant proposes to:

- Demolish the existing granite piers at the Quincy Street entrance. The granite will be re-used in the stone piers being re-constructed at Quincy Street entrance.
- Install a new, 6' high, wrought iron fence along their property line that abuts Quincy Street, as per the attached drawing.
- Install a new, wrought iron gate (6' high at its highest point), with 6' high, 3' wide, stone piers topped with lighting fixtures at the Quincy Street, and Bradley Lane driveway entrances.

STAFF RECOMMENDATION:

- Approval**
 Approval with conditions

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this

chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777 6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Thomas Burke
Daytime Phone No.: 240-497-7064

Tax Account No.: 03196375
Name of Property Owner: M/M B.F. SAUL Daytime Phone No.: _____
Address: #1 Chevy Chase Quincy 20815
Street Number City State Zip Code
Contractor: Potomac Fences, Inc. Phone No.: 301 468-1228
Contractor Registration No.: 9989
Agent for Owner: Thomas Burke Daytime Phone No.: 240-497-7064
240-375-1384

LOCATION OF BUILDING/PREMISE

House Number: #1 Street: Quincy
Town/City: Chevy Chase Nearest Cross Street: _____
Lot: 37 Block: 61 Subdivision: Chevy Chase Village
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 22,500
1C. If this is a revision of a previously approved active permit, see Permit # _____

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3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

T. Shuply 04/04/06
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 416503 Date Filed: 4/3/06 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

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PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Judith Salgado 456 957
#3 Quincy Street
Chevy Chase, Md 20815

Thomas Kaufman
c/o Wachovia Bank
P.O. Box 40062
Jacksonville, Fla 32203

Patrick + J. M. Regan
#6 Quincy Street
Chevy Chase, Md 20815

Leslie Goldman
#5 Quincy St.
Chevy Chase, Md 20815

Richard Miller
#2 Quincy St.
Chevy Chase, Md 20815

Government of the Federal Republic of Nigeria
2201 M Street, N.W.
Washington, D.C. 20037

Peter Terpeluk
PSC 4 Box 9500
APO AE 09123

over/

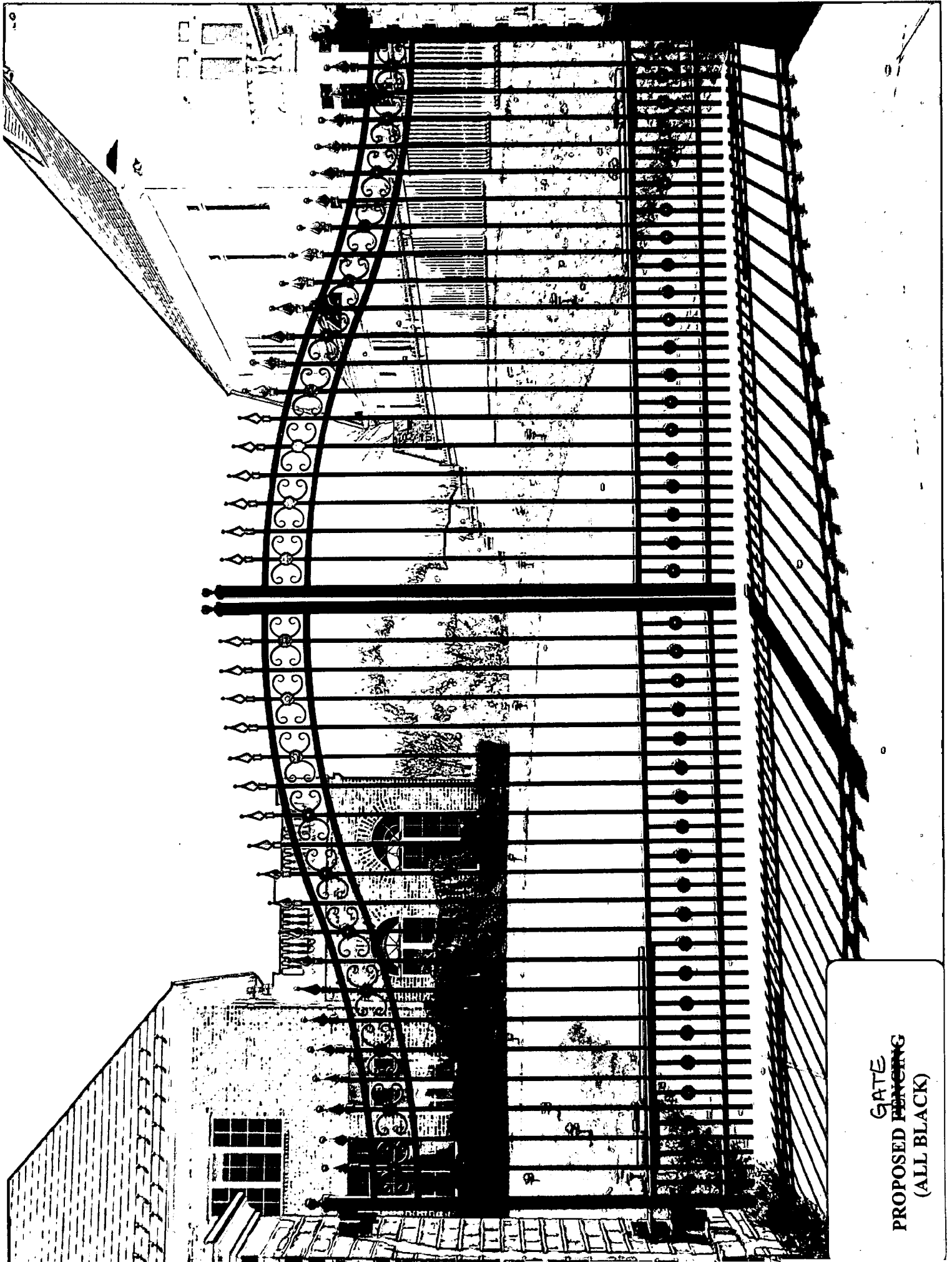
Stephen Best

3810 Bradley Blvd. Lane

Chevy Chase, Md 20815



**PROPOSED FENCING
(ALL BLACK)**



GATE
PROPOSED FENCING
(ALL BLACK)

CHEVY CHASE VILLAGE APPROVAL

CASE NO. A-4940(b)
Appeal of Mr. and Mrs. B. Francis Saul, II
(Hearing held June 13, 2005)

DECISION OF THE BOARD OF MANAGERS

This proceeding involves an application for a variance pursuant to Section 8-12(b) of the Chevy Chase Village Code. The applicants propose to install a 6-foot high fence along the northern portion of their east property line. The new fence would be located between an existing fence along Bradley Lane and an existing fence along the southern portion of their east property line. Also, the applicants propose to construct a gate between two sections of the existing fence along their Bradley Lane frontage. Twenty-five feet of the fence along the east property line would be located between the front lot line and the front building restriction line.

The application seeks a variance from the requirements of Section 8-22(d) which provides: "No person shall construct any fence or wall at any location between the front lot line and the front building restriction line which exceeds forty-eight (48) inches in height."

The subject property is known as Lot 37, Block 61, in the Chevy Chase, Section 2 subdivision, also known as 1 Quincy Street, Chevy Chase, Maryland 20815, in the R-60 zone. Notice of the hearing in this matter was posted at the Village Hall,

posted at the property and mailed to all abutting property owners on June 1, 2005.

This case was heard in conjunction with Case A-4940(a) in which the applicants requested permission to install a 6-foot high wrought iron fence and gate along their Quincy Street frontage.

The applicants submitted an application and a site plan marked to show the location of the existing and proposed fences and gates. At the hearing, the applicants' representative submitted printed materials illustrating the style of the gate that the applicants propose and an explanation of the reasons for the application. Photographs of existing conditions, taken by Village staff, were submitted for the record.

At the hearing, Kevin Smith, Security Director for Chevy Chase Bank, appeared and testified in support of the application. He submitted a package of materials that included Mr. Smith's qualifications as a security expert, a description of the subject property, an explanation of the basis for the application, photographs of existing stockade fencing along the Connecticut Avenue frontage of the applicants' property and photographs of the Bradley Lane and Quincy Street entrances to the applicants' driveway. Mr. Smith explained that two intruders have been observed on the Sauls' property in recent months. According to Mr. Smith, in February, a prowler was discovered in the early

hours of the morning and, in May, another prowler was chased off the property by a resident of the Sauls' guest house. The Sauls then asked Mr. Smith to develop a security plan for the property.

Mr. Smith explained that the subject property is situated on Connecticut Avenue between Bradley Lane and Quincy Street. The primary residence sits toward the back of the lot with approximately one-half of the property situated between the front of the house and Connecticut Avenue. A guest house is situated on the east side of the property, just behind the primary residence. While there is a private drive entrance from Bradley Lane near the guest house, it is typically left secured and opened only for special deliveries. A driveway runs through the property from Quincy Street to Bradley Lane. There are currently no barriers or access control points for this driveway. According to Mr. Smith, this situation presents a major security concern.

Mr. Smith testified that the front of the property, along Connecticut Avenue, is screened by a 6-foot high wooden privacy fence which begins at the corner of Connecticut Avenue and Quincy Street and extends up Connecticut Avenue to the corner of Bradley Lane. The existing fence then continues from the corner of Connecticut Avenue and Bradley Lane along the Bradley Lane frontage to the east property line with a gap for the driveway entrance. There is fencing along all but the northernmost

portion of the east side property line. Mr. Smith explained that the subject application, as well as the application in Case A-4940(a), is intended to create a continuous barrier to intruders.

According to Mr. Smith, while the existing wooden fence on Connecticut Avenue is an adequate barrier for pedestrian traffic on Connecticut Avenue, additional fencing should be installed so that a complete barrier exists around the entire property.

Mr. Smith testified that pedestrians and vehicles currently use the driveway to cut through the property from Quincy Street to Bradley Lane. The applicants propose to install gates at both ends of the driveway. The gates would be remotely controlled. Mr. Smith emphasized that the applicants' property is unusual in that it has road frontage on three sides, includes a through driveway, and the house sits back from the public roadways which makes it an easier target for intruders.

Mr. Smith testified that, as a security expert, he recommends a fence of at least 6 feet in height to make it difficult for intruders to jump over the fence. The fence along the northern portion of the east property line would be stockade to match the existing fence sections that it would connect. He testified that the Sauls propose to use wrought iron, rather than stockade, for the gates and for the fence along Quincy Street for aesthetic reasons. Mr. Smith stated that he has not heard any objections from any neighbors. The brochure Mr. Smith submitted

shows the proposed configuration of the wrought iron fence and gates.

No correspondence or testimony in opposition to the application was presented.

Based upon the testimony and evidence of record, the Board makes the following findings in connection with this matter.

1. The subject property is a corner lot abutting three streets and, accordingly, has three front yard setbacks.

2. The subject property abuts Connecticut Avenue which is a State highway and a major thoroughfare with an unusually high volume of vehicular and pedestrian traffic.

3. The subject property abuts Bradley Lane which is an arterial road with an unusually high volume of vehicular and pedestrian traffic.

4. The need to shield residential properties from the noise, pollution and activity along Connecticut Avenue and along Bradley Lane is greater than the need to shield properties from other residential properties or side streets.

5. The subject property has a through driveway that allows traffic to cut through the applicants' property.

6. The subject property is large and, because the residence is set back from the street, the house is not very visible to the general public which would allow burglars the opportunity to enter the house without being observed.

7. There is an existing 6-foot high fence along most of the east side of the property, along the Connecticut Avenue frontage and along most of the Bradley Lane frontage.

8. The proposed fence and gate would be no higher than the existing fencing along the Connecticut Avenue frontage, the Bradley Lane frontage and most of the east property line.

9. Findings 7 and 8 lead to the conclusion that the proposed fence and gate would not materially alter any views, sight lines or the character of the neighborhood.

10. The proposed fence and gate would not violate any covenant applicable to the subject property.

11. The proposed fence and gate would not impair any necessary sight lines or visibility at the intersection of Bradley Lane and Connecticut Avenue.

12. The proposed fence and gate would not block the flow of light or air to any other property.

13. No objections to the proposed fence and gate have been raised.

Based upon the foregoing findings, the Board concludes that:

1. The proposed variance is required because special conditions exist whereby the enforcement of the requirements of the Village Building Code would result in unwarranted hardship and injustice to the owners;

2. The proposed variance will most nearly accomplish the intent and purpose of the requirements of the Village Building Code; and

3. The proposed construction would not violate any covenants applicable to the subject property.

Accordingly, the requested variance from the requirement that "no person shall construct any fence or wall at any location between the front lot line and the front building restriction line which exceeds forty-eight (48) inches in height", is granted, provided however, that:

1. The fence and gate described above shall be constructed and maintained in accordance with the plans and specifications submitted for the record in this matter, including the specification that no portion of the fence or gate will exceed 6 feet in height; and

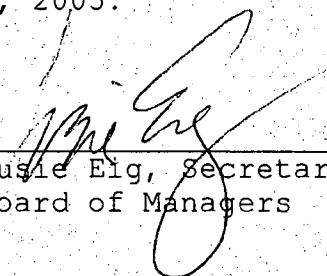
2. The construction shall be completed on or before the 13th day of June, 2006.

The Chevy Chase Village Board of Managers hereby adopts the following Resolution:

BE IT RESOLVED by the Board of Managers of Chevy Chase Village that the decision stated above be adopted as the decision as required by Section 8-12(d) of the Chevy Chase Village Code, and the Village Manager be and he is hereby authorized and directed to issue a building permit for the construction of the fence and gate in accordance with this decision.

The foregoing Resolution was adopted by the Chevy Chase Village Board of Managers with the following members voting in favor: George L. Kinter, Betsy Stephens, Douglas B. Kamerow, Gail Feldman, Susie Eig, Peter Yeo and David Winstead.

I HEREBY CERTIFY, that the foregoing Decision and Resolution were approved and adopted by the Chevy Chase Village Board of Managers on the 20th day of June, 2005.



Susie Eig, Secretary
Board of Managers



Existing Granite Pillars
1 Quincy Street



**Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search**

Account Identifier: District - 07 **Account Number -** 00456957

Owner Information

Owner Name: SALGADO, JUDITH S **Use:** RESIDENTIAL
Principal Residence: YES
Mailing Address: 3 QUINCY ST **Deed Reference:** 1) /25406/ 152
 CHEVY CHASE MD 20815-4226 2)

Location & Structure Information

Premises Address **Legal Description**
 3 QUINCY ST CH CHSE SEC 2 4234/8
 CHEVY CHASE 20815-4226 44 8527/271 8675/716

Map	Grid	Parcel	Sub-District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
HN41				9		61	34	2	Plat Ref:
						Town CHEVY CHASE VILLAGE			
						Ad Valorem			
						Tax Class 19			
Primary Structure Built			Enclosed Area			Property Land Area		County Use	
1970			3,110 SF			19,952.00 SF		111	
Stories		Basement		Type			Exterior		
1		YES		STANDARD UNIT			BRICK		

Value Information

	Base Value	Value As Of	Phase-in Assessments	
			As Of	As Of
Land:	388,950	01/01/2005	07/01/2005	07/01/2006
Improvements:	661,650	989,520		
Total:	1,050,600	1,696,520	1,265,906	1,481,212
Preferential Land:	0	0	0	0

Transfer Information

Seller: SALGADO, LUIS F & J S **Date:** 10/01/2003 **Price:** \$0
Type: NOT ARMS-LENGTH **Deed1:** /25406/ 152 **Deed2:**
Seller: LEROY T MORGAN TR ET AL **Date:** 03/11/1998 **Price:** \$750,000
Type: IMPROVED ARMS-LENGTH **Deed1:** /15619/ 658 **Deed2:**
Seller: DIANA V MORGAN ET AL **Date:** 12/27/1995 **Price:** \$0
Type: NOT ARMS-LENGTH **Deed1:** /13839/ 71 **Deed2:**

Exemption Information

Partial Exempt Assessments	Class	07/01/2005	07/01/2006
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

* NONE *



**Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search**

Account Identifier: District - 07 **Account Number -** 00454333

Owner Information

Owner Name: GOLDMAN, LESLIE J & S A **Use:** RESIDENTIAL
Mailing Address: 5 QUINCY ST **Principal Residence:** YES
 CHEVY CHASE MD 20815 **Deed Reference:** 1) / 5306/ 766
 2)

Location & Structure Information

Premises Address 5 QUINCY ST **Legal Description** PT LT 2 CHEVY CHASE
 CHEVY CHASE 20815 SEC 2

Map	Grid	Parcel	Sub-District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
HN41				9		61	P1	2	Plat Ref:
Special Tax Areas				Town	CHEVY CHASE VILLAGE				
				Ad Valorem					
				Tax Class	19				
Primary Structure Built			Enclosed Area		Property Land Area		County Use		
1908			3,751 SF		26,250.00 SF		111		
Stories		Basement		Type			Exterior		
2		YES		STANDARD UNIT			FRAME		

Value Information

	Base Value	Value As Of	Phase-in Assessments	
			As Of	As Of
Land:	395,250	01/01/2005	07/01/2005	07/01/2006
Improvements:	579,590	1,021,750		
Total:	974,840	1,766,410	1,238,696	1,502,552
Preferential Land:	0	0	0	0

Transfer Information

Seller: **Date:** 04/12/1979 **Price:** \$275,000
Type: IMPROVED ARMS-LENGTH **Deed1:** / 5306/ 766 **Deed2:**
Seller: **Date:** **Price:**
Type: **Deed1:** **Deed2:**
Seller: **Date:** **Price:**
Type: **Deed1:** **Deed2:**

Exemption Information

Partial Exempt Assessments	Class	07/01/2005	07/01/2006
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

* NONE *

Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search

Account Identifier: District - 07 **Account Number -** 00458078

Owner Information

Owner Name: MILLER, RICHARD C & NANCY B STONE
Use: RESIDENTIAL
Principal Residence: YES
Mailing Address: 2 QUINCY ST
 CHEVY CHASE MD 20815-4227
Deed Reference: 1) /19630/ 394
 2)

Location & Structure Information

Premises Address
 2 QUINCY ST
 CHEVY CHASE 20815-4227

Legal Description
 CHEVY CHASE SEC. 2
 LT 8

Map	Grid	Parcel	Sub-District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
HN41				9		58	P7	2	

Special Tax Areas
 Town Ad Valorem Tax Class 19
 CHEVY CHASE VILLAGE

Primary Structure Built	Enclosed Area	Property Land Area	County Use
1931	3,629 SF	16,875.00 SF	111
Stories	Basement	Type	Exterior
2	YES	STANDARD UNIT	STUCCO

Value Information

	Base Value	Value As Of	Phase-in Assessments As Of	Phase-in Assessments As Of
Land:	366,580	01/01/2005	07/01/2005	07/01/2006
Improvements:	818,160	929,700		
Total:	1,184,740	1,840,800	1,403,426	1,622,112
Preferential Land:	0	0	0	0

Transfer Information

Seller: GLADSTONE, CHRISTOPHER D & Type: IMPROVED ARMS-LENGTH	Date: 09/05/2001 Deed1: /19630/ 394	Price: \$1,200,000 Deed2:
Seller: STEPHEN A & A T WEISSWASSER Type: IMPROVED ARMS-LENGTH	Date: 09/11/1995 Deed1: /13618/ 501	Price: \$849,000 Deed2:
Seller: Type: IMPROVED ARMS-LENGTH	Date: 11/05/1986 Deed1: / 7379/ 120	Price: \$750,000 Deed2:

Exemption Information

Partial Exempt Assessments	Class	07/01/2005	07/01/2006
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO
Exempt Class:
Special Tax Recapture:

* NONE *
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Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search

Account Identifier: District - 07 **Account Number -** 01732211

Owner Information

Owner Name: REGAN, PATRICK M & J N **Use:** RESIDENTIAL
Principal Residence: YES
Mailing Address: 6 QUINCY ST **Deed Reference:** 1) /11537/ 569
 CHEVY CHASE MD 20815 2)

Location & Structure Information

Premises Address **Legal Description**
 6 QUINCY ST PL 11172 CHEVY CHASE
 CHEVY CHASE 20815 SEC 2

Map	Grid	Parcel	Sub-District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
HN41				9		58	29	2	Plat Ref:
				Town	CHEVY CHASE VILLAGE				
				Ad Valorem					
				Tax Class	19				
Primary Structure Built			Enclosed Area		Property Land Area		County Use		
1911			5,469 SF		23,125.00 SF		111		
Stories		Basement		Type			Exterior		
2		YES		STANDARD UNIT			BRICK		

Value Information

	Base Value	Value As Of	Phase-in Assessments	
			As Of	As Of
Land:	392,120	01/01/2005	07/01/2005	07/01/2006
Improvements:	1,726,800	1,005,870		
Total:	2,118,920	1,887,150	2,376,953	2,634,986
Preferential Land:	0	0	0	0

Transfer Information

Seller: ELEANOR H BOGUE **Date:** 07/06/1993 **Price:** \$1,350,000
Type: IMPROVED ARMS-LENGTH **Deed1:** /11537/ 569 **Deed2:**
Seller: **Date:** 03/18/1976 **Price:** \$0
Type: IMPROVED ARMS-LENGTH **Deed1:** **Deed2:**
Seller: **Date:** **Price:**
Type: **Deed1:** **Deed2:**

Exemption Information

Partial Exempt Assessments	Class	07/01/2005	07/01/2006
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

* NONE *



**Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search**

Account Identifier: District - 07 **Account Number -** 00454388

Owner Information

Owner Name: KAUFFMANN, THOMAS R ET AL TR **Use:** RESIDENTIAL
Principal Residence: NO
Mailing Address: C/O WACHOVIA BANK/FL0134 **Deed Reference:** 1) /27585/ 82
 PO BOX 40062 2)
 JACKSONVILLE FL 32203-0062

Location & Structure Information

Premises Address **Legal Description**
 4 QUINCY ST CHEVY CHASE SEC 2
 CHEVY CHASE 20815-4227

Map	Grid	Parcel	Sub-District	Subdivision	Section	Block	Lot	Assessment Area	Plat No: Plat Ref:
HN41				9		58	28	2	
Special Tax Areas						Town Ad Valorem Tax Class			
						CHEVY CHASE VILLAGE			
						19			
Primary Structure Built			Enclosed Area		Property Land Area		County Use		
1977			2,486 SF		12,500.00 SF		111		
Stories		Basement		Type			Exterior		
1		NO		STANDARD UNIT			BRICK		

Value Information

	Base Value	Value As Of	Phase-in Assessments	
			As Of	As Of
Land:	381,500	01/01/2005	07/01/2005	07/01/2006
Improvements:	496,430	915,750		
Total:	877,930	1,306,390	1,020,750	1,163,570
Preferential Land:	0	0	0	0

Transfer Information

Seller: KAUFFMANN, JANE K ET AL TR **Date:** 06/08/2004 **Price:** \$1,300,000
Type: IMPROVED ARMS-LENGTH **Deed1:** /27585/ 82 **Deed2:**
Seller: JANE K KAUFFMANN TR **Date:** 06/16/1998 **Price:** \$0
Type: NOT ARMS-LENGTH **Deed1:** /15947/ 583 **Deed2:**
Seller: JANE K KAUFFMANN **Date:** 12/09/1996 **Price:** \$0
Type: NOT ARMS-LENGTH **Deed1:** /14551/ 630 **Deed2:**

Exemption Information

Partial Exempt Assessments	Class	07/01/2005	07/01/2006
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO
Exempt Class:

Special Tax Recapture:

* NONE *

Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search

Account Identifier: District - 07 **Account Number -** 00459858

Owner Information

Owner Name: GOVERNMENT OF THE FEDERAL REPUBLIC OF NIGERIA
Use: EXEMPT
Mailing Address: 2201 M ST NW WASHINGTON DC 20037-1416
Principal Residence: NO
Deed Reference: 1) / 4910/ 742
 2)

Location & Structure Information

Premises Address BRADLEY LA
Legal Description PT UNNO PARCEL CHEVY CHASE SEC 3

Map	Grid	Parcel	Sub-District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
HN41				10		2		2	

Special Tax Areas Town Ad Valorem Tax Class 20
 SECTION 3 CHEVY CHASE

Primary Structure Built	Enclosed Area	Property Land Area	County Use
0000		39,170.00 SF	111

Stories **Basement** **Type** **Exterior**

Value Information

	Base Value	Phase-in Assessments		
		Value As Of	As Of	As Of
Land:	259,350	01/01/2005	07/01/2005	07/01/2006
Improvements:	16,070	631,170	17,740	
Total:	275,420	648,910	399,916	524,412
Preferential Land:	0	0	0	0

Transfer Information

Seller: IMPROVED ARMS-LENGTH
Date: 02/28/1977
Price: \$0
Type: IMPROVED ARMS-LENGTH
Deed1: / 4910/ 742
Deed2:
Seller:
Date:
Price:
Type:
Deed1:
Deed2:
Seller:
Date:
Price:
Type:
Deed1:
Deed2:

Exemption Information

Partial Exempt Assessments	Class	07/01/2005	07/01/2006
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: COUNTY AND STATE
Exempt Class: PROPERTIES OF FOREIGN GOVERNMENTS
Special Tax Recapture:

* NONE *

Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search

Account Identifier: District - 07 **Account Number -** 01743134

Owner Information

Owner Name: TERPELUK, PETER JR & D G **Use:** RESIDENTIAL
Principal Residence: YES
Mailing Address: PSC 9 BOX 9500 **Deed Reference:** 1) /15971/ 311
 APO AE 09123-9998 2)

Location & Structure Information

Premises Address 3815 BRADLEY LA
 CHEVY CHASE 20815 **Legal Description** PT LT 10 & PT BLK 2
 CH CH SEC 3

Map	Grid	Parcel	Sub-District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
HN41				10		2	P9	2	Plat Ref:
				Town	SECTION 3 CHEVY CHASE				
				Ad Valorem					
				Tax Class	20				
Primary Structure Built			Enclosed Area		Property Land Area		County Use		
1916			8,043 SF		54,208.00 SF		111		
Stories		Basement		Type			Exterior		
2 1/2		YES		STANDARD UNIT			FRAME		

Value Information

	Base Value	Value As Of	Phase-in Assessments	
		01/01/2005	As Of	As Of
			07/01/2005	07/01/2006
Land:	453,780	1,143,000		
Improvements:	1,786,350	2,083,860		
Total:	2,240,130	3,226,860	2,569,040	2,897,950
Preferential Land:	0	0	0	0

Transfer Information

Seller: PAUL A & J M RITACCO **Date:** 06/23/1998 **Price:** \$2,250,000
Type: IMPROVED ARMS-LENGTH **Deed1:** /15971/ 311 **Deed2:**
Seller: **Date:** 09/16/1976 **Price:** \$260,000
Type: IMPROVED ARMS-LENGTH **Deed1:** / 4834/ 714 **Deed2:**
Seller: **Date:** **Price:**
Type: **Deed1:** **Deed2:**

Exemption Information

Partial Exempt Assessments	Class	07/01/2005	07/01/2006
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO **Special Tax Recapture:**
Exempt Class:

* NONE *

Maryland Department of Assessments and Taxation
Montgomery County
Real Property Data Search

Account Identifier: District - 07 **Account Number -** 00455623

Owner Information

Owner Name: BEST, STEPHEN A **Use:** RESIDENTIAL
Principal Residence: YES
Mailing Address: 3810 BRADLEY LN **Deed Reference:** 1) /30150/ 778
 CHEVY CHASE MD 20815-4255 2)

Location & Structure Information

Premises Address 3810 BRADLEY LA **Legal Description** PT LT 13 CHEVY CHASE
 CHEVY CHASE 20815-4255 ~~SEC 2~~

Map	Grid	Parcel	Sub-District	Subdivision	Section	Block	Lot	Assessment Area	Plat No:
HN41				9		61	P12	2	Plat Ref:
Special Tax Areas						Town Ad Valorem Tax Class			
						CHEVY CHASE VILLAGE			
						19			
Primary Structure Built			Enclosed Area			Property Land Area		County Use	
1910			4,210 SF			21,108.00 SF		111	
Stories		Basement		Type			Exterior		
2		NO		STANDARD UNIT			STUCCO		

Value Information

	Base Value	Value As Of	Phase-in Assessments	
			As Of	As Of
Land:	390,100	01/01/2005	07/01/2005	07/01/2006
Improvements:	822,610	995,620		
Total:	1,212,710	1,940,920	1,455,446	1,698,182
Preferential Land:	0	0	0	0

Transfer Information

Seller: ODYNEC, NORMAN A & M S **Date:** 06/24/2005 **Price:** \$2,726,000
Type: IMPROVED ARMS-LENGTH **Deed1:** /30150/ 778 **Deed2:**
Seller: **Date:** 05/09/1978 **Price:** \$263,000
Type: IMPROVED ARMS-LENGTH **Deed1:** / 5129/ 232 **Deed2:**
Seller: **Date:** **Price:**
Type: **Deed1:** **Deed2:**

Exemption Information

Partial Exempt Assessments	Class	07/01/2005	07/01/2006
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO **Special Tax Recapture:**

* NONE *

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Maryland Department of Assessments and Taxation
 Montgomery County
 Real Property Data Search

Account Identifier: District - 07 Account Number - 00455623

Owner Information

Owner Name: BEST, STEPHEN A Use: RESIDENTIAL
 Principal Residence: YES
 Mailing Address: 3810 BRADLEY LN Deed Reference: 1) /30150/ 778
 CHEVY CHASE MD 20815-4255 2)

Location & Structure Information

Premises Address: 3810 BRADLEY LA Legal Description: PT LT 13 CHEVY CHASE
 CHEVY CHASE 20815-4255 SEC 2

Map	Grid	Parcel	Sub-District	Subdivision	Section	Block	Lot	Assessment Area	Plat No: Plat Ref:
HN41				9		61	P12	2	
Special Tax Areas				Town Ad Valorem Tax Class					
				CHEVY CHASE VILLAGE					
				19					
Primary Structure Built			Enclosed Area		Property Land Area			County Use	
1910			4,210 SF		21,108.00 SF			111	
Stories		Basement		Type			Exterior		
2		NO		STANDARD UNIT			STUCCO		

Value Information

	Base Value	Value As Of	Phase-in Assessments	
			As Of	As Of
Land:	390,100	01/01/2005	07/01/2005	07/01/2006
Improvements:	822,610	995,620		
Total:	1,212,710	1,940,920	1,455,446	1,698,182
Preferential Land:	0	0	0	0

Transfer Information

Seller: ODYNIC, NORMAN A & M S Date: 06/24/2005 Price: \$2,726,000
 Type: IMPROVED ARMS-LENGTH Deed1: /30150/ 778 Deed2:
 Seller: Date: 05/09/1978 Price: \$263,000
 Type: IMPROVED ARMS-LENGTH Deed1: / 5129/ 232 Deed2:
 Seller: Date: Price:
 Type: Deed1: Deed2:

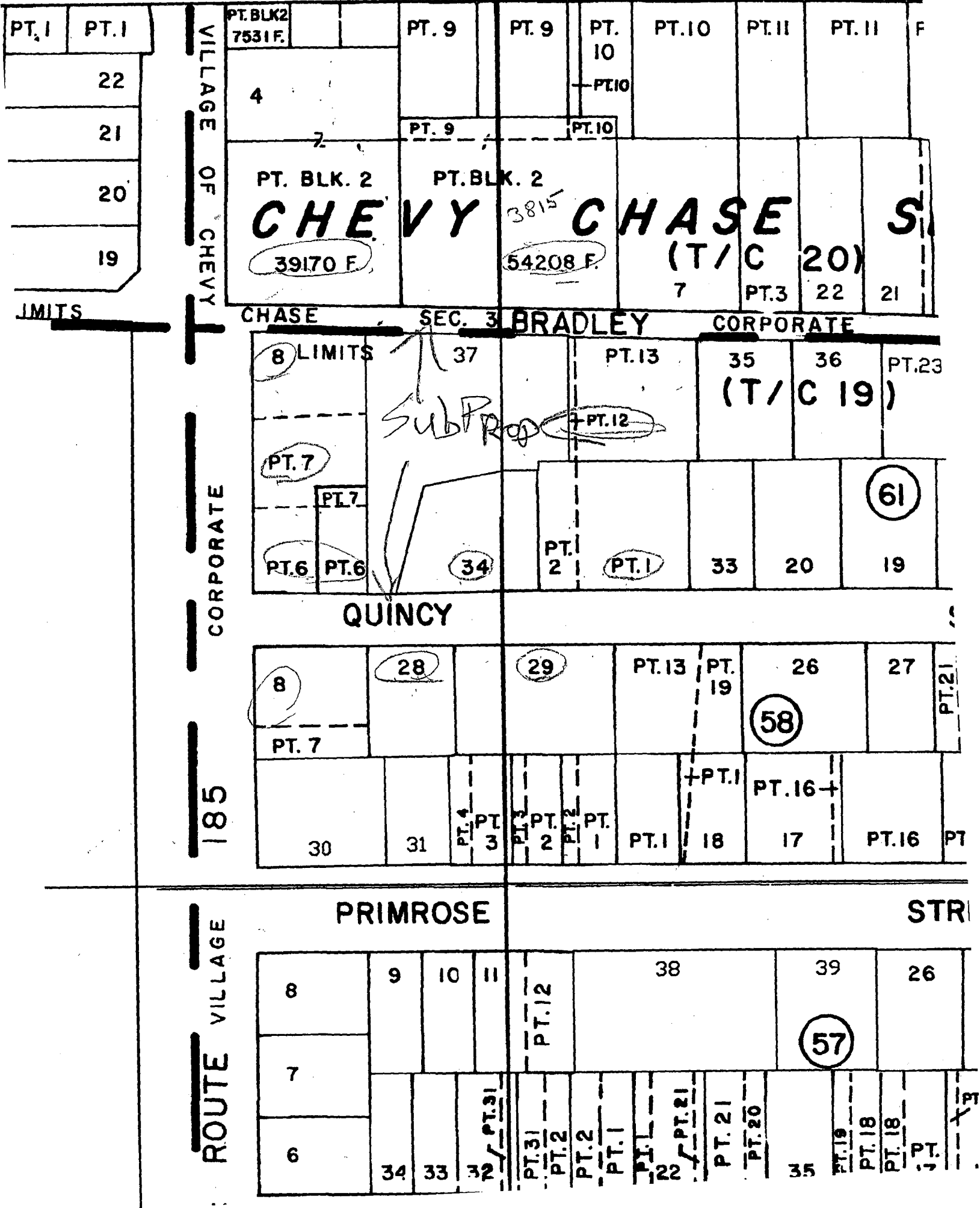
Exemption Information

Partial Exempt Assessments	Class	07/01/2005	07/01/2006
County	000	0	0
State	000	0	0
Municipal	000	0	0

Tax Exempt: NO
 Exempt Class:

Special Tax Recapture:

* NONE *



PT. I	PT. I
	22
	21
	20
	19

VILLAGE OF CHEVY

PT. BLK 2 7531 F.

4

PT. 9

PT. 9

PT. 10

PT. 10

PT. 10

PT. 10

PT. 11

PT. 11

F

PT. BLK. 2

CHEVY

3815

PT. BLK. 2

CHASE

39170 F.

54208 F.

(T/C 20)

7

PT. 3

22

21

LIMITS

CHASE SEC. 3 BRADLEY CORPORATE

8 LIMITS

37

PT. 13

35

36

PT. 23

(T/C 19)

PT. 7

PT. 12

PT. 7

PT. 6

PT. 6

34

PT. 2

PT. 1

33

20

19

61

CORPORATE

QUINCY

8

28

29

PT. 13

PT. 19

26

27

PT. 21

PT. 7

58

30

31

PT. 4

PT. 3

PT. 2

PT. 2

PT. 1

PT. 1

18

17

PT. 16

PT. 16

PT

ROUTE VILLAGE

PRIMROSE STR

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PT. 12

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PT. 31

PT. 31

PT. 2

PT. 2

PT. 1

PT. 1

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PT. 21

PT. 20

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PT. 19

PT. 18

PT. 18

PT. 18

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PT. 18