

22 PRIMROSE

35/3-07L

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	22 Primrose St, Chevy Chase	Meeting Date:	4/11/2007
Resource:	Non-Contributing Resource Chevy Chase Village Historic District	Report Date:	4/4/2007
Applicant:	Robert Stillman Jr. (Warren Short, Agent)	Public Notice:	3/28/2007
Review:	HAWP	Tax Credit:	N/A
Case Number:	35/13-07L	Staff:	Michele Oaks
PROPOSAL:	Rear Addition		
RECOMMENDATION:	Approve with Condition		

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following condition:

The applicant will contact the Chevy Chase Village arborist to discuss if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource Within The Chevy Chase Village Historic District
STYLE: Modern
DATE: 1941-1996

The subject house is a four-bay, 1-1/2-story, gambrel roof, modern interpretation of a Colonial Revival dwelling with a two bay side extension. The exterior of the house has horizontal beaded wood siding, a denticulated cornice, pedimented dormers and is set upon a brick foundation. A central interior brick chimney details the side extension. The windows are 6/9, and 9/9 and flanked with paneled louvered shutters. The main offset entry is detailed with a flat roof portico supported by Doric columns and detailed with a roof top balustrade.

HISTORIC CONTEXT

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and

architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

PROPOSAL:

The applicant is proposing to construct a 118 square foot addition onto the rear of the house extending from the existing kitchen. The new addition will only project five (5) feet beyond the existing garage. The proposed materials include painted, horizontal wood siding and trim, painted wood windows, a standing-seam copper roof, and a concrete foundation faced in brick.

APPLICABLE GUIDELINES:

When reviewing alterations to non-contributing resources within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior’s Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

- Non-Contributing or Out-of-Period Resource: A resource which does not directly contribute to the historicity of the district because of its lack of architectural and historical significance and/or because of major alterations that have eliminated most of the resource's original architectural integrity. Or a resource that is a newer building, which possibly contributes to the overall streetscape but is out of the district's primary historical and architectural context.
- HAWP applications for exterior alterations, changes, and/or additions to these types [non-contributing] of resources should receive the most lenient level of design review.
- Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure, which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.
- It is of paramount importance that the HPC recognize and foster the Village's open, park-like character, which necessitates respect for existing environmental settings, landscaping and patterns of open space.

Secretary of the Interior's Standards for Rehabilitation

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The Commission's main objectives when reviewing additions and alterations to non-contributing resources within the Chevy Chase Village Historic District is to ensure that the addition will not have a negative impact on the historic resources in the district and the surrounding streetscape in terms of lot coverage, setbacks, massing, scale, proportion, height and materials.

The proposed, modest one-story, addition is complementary to the scale and architectural style of the existing house and will be located at the rear and not visible for the public right-of-way. This proposal will have no negative impact on the existing streetscape or the integrity of the historic district.

The HPC requires that the applicant contact the Village Manager and Arborist prior to the stamping of the permit sets of drawings to review the plans to ensure that the proposal is consistent with their local ordinances and to discuss tree protection requirements for the property.

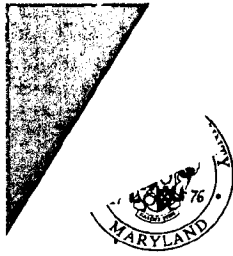
STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the condition specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: WARREN SHORT

Daytime Phone No.: 301. 718. 8118

Tax Account No.: 07 004 951 82

Name of Property Owner: STILLMAN, ROBERT D. ET. AL., TR. Daytime Phone No.: 301. 657. 2215

Address: 22 PRIMROSE ST., CHEVY CHASE M.D. 20815
Street Number City State Zip Code

Contractor: TO BE SELECTED Phone No.: _____

Contractor Registration No.: _____

Agent for Dwner: WARREN SHORT, MUSE ARCHITECTS Daytime Phone No.: 301. 718. 8118

LOCATION OF BUILDING/PREMISE

House Number: 22 Street: PRIMROSE STREET

Town/City: CHEVY CHASE VILLAGE Nearest Cross Street: BROOKEVILLE ROAD

Lot: 26 Block: 57 Subdivision: 9, CHEVY CHASE SECTION 2

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Dther: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Warren Short
Signature of owner or authorized agent

20 March 2007
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 447021 Date Filed: _____ Date Issued: _____

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Twenty Two Primrose Street is a one and one-half story colonial-style residence built circa 1975. The residence is frame over a brick basement. Exterior materials include concrete shingles on the main block, copper roofing on porches and low shed roofs, beaded wood clapboard siding, and wood-mold brick.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is a 110 square foot room added to the rear of the existing kitchen. Projecting only five feet beyond the existing garage, the addition will have minimal impact on the rear garden. Not being visible from Primrose Street, the addition will have no effect on the historic resources of the district.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

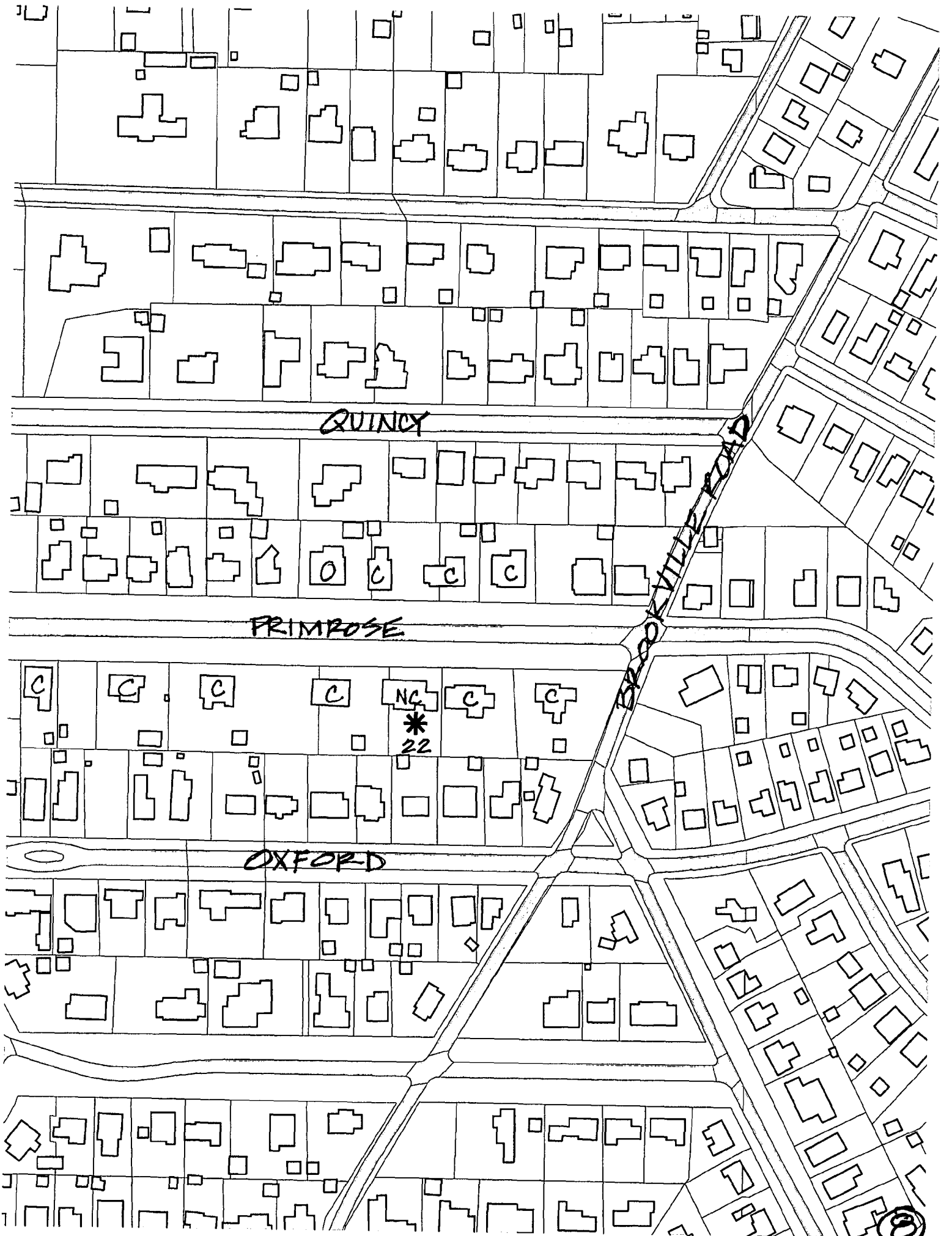
For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

(6)

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address STILLMAN, ROBERT D. ET AL TR 22 PRIMROSE ST. CHEVY CHASE, MD. 20815-4229</p>	<p>Owner's Agent's mailing address WARREN SHORT MUSE ARCHITECTS 7401 WISCONSIN AVE, #500 BETHESDA, MD 20814</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>JOSPIN, DEBORAH R. TR 16 PRIMROSE ST. CHEVY CHASE, MD 20815-4229</p>	<p>MITCHELL, BRYAN J. & JILL P. 28 PRIMROSE ST. CHEVY CHASE, MD. 20815-4229</p>
<p>MCCARTHY, MICHAEL M. & P.D. 23 PRIMROSE ST. CHEVY CHASE, MD 20815</p>	<p>TOTH, ROBERT C. & P.N. 21 PRIMROSE ST. CHEVY CHASE, MD 20815</p>
<p>DAN MORGAN MARY E. SHANNON 31 OXFORD ST. CHEVY CHASE, MD. 20815</p>	<p>HYLAND, JOHN F., JR. M. CAROLYN COLLINS 33 OXFORD ST. CHEVY CHASE, MD 20815</p>
<p>MOATES, G. PAUL CONSTANCE A. SADLER 35 OXFORD ST. CHEVY CHASE, MD 20815</p>	



QUINCY

PRIMROSE

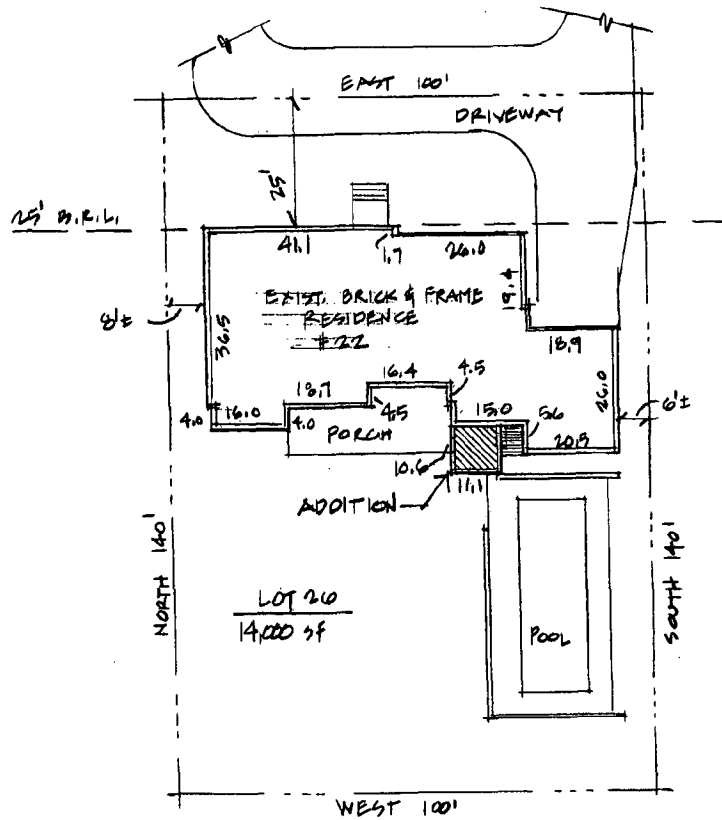
OXFORD

BROOKVILLE ROAD

NC * 22

PRIMROSE STREET

Site Plan



ZONING SUMMARY

PROJECT LOCATION	22 Primrose Street Chevy Chase, Maryland 20815	
DESIGN BASIS	Code:	2003 ICC International Residential Code
	Zoning:	Montgomery Co., Maryland Zoning Ordinance
LEGAL DESCRIPTION	Lot No.: 26	Block: 57
		Town: Chevy Chase Village
	Chevy Chase Village Section 2	
	Plat Book 2, Plat Number 106; Deed Reference: 15202/473	
	Map: HN41	Subdivision: 9
ZONE	R-60	
BUILDING SETBACKS	Front:	25 ft. min.
	Sides:	one side 8 ft. min.; total both sides 18 ft. min.
	Rear:	20 ft. min.
LOT AREA & COVERAGE	Lot Area:	14,000 SF
	Allowable Lot Coverage:	4,900 SF / 35 %
	Existing Lot Coverage:	3,462 SF
	Proposed Lot Coverage:	3,580 SF
BUILDING HEIGHT	Allowable Height:	35.00 ft.
	Existing Height to Remain:	26.00 ft.

NOTES:

SHADED PORTION OF THE SITE REPRESENTS THE LOCATION OF THE ADDITION.

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE AND INCORPORATING THE 2003 IRC CODE.

CONTRACTOR TO PROVIDE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TO COMPLY WITH DIRECTIONS WHICH MAY BE ISSUED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

SLOPE FINISH GRADE AWAY FROM RESIDENCE AT MINIMUM PITCH OF ¼ INCH PER FOOT.

CONTRACTOR SHALL FOLLOW CURRENT MONTGOMERY COUNTY REGULATIONS AND REQUIREMENTS FOR RADON MITIGATION AS REQUIRED, TYPICAL.

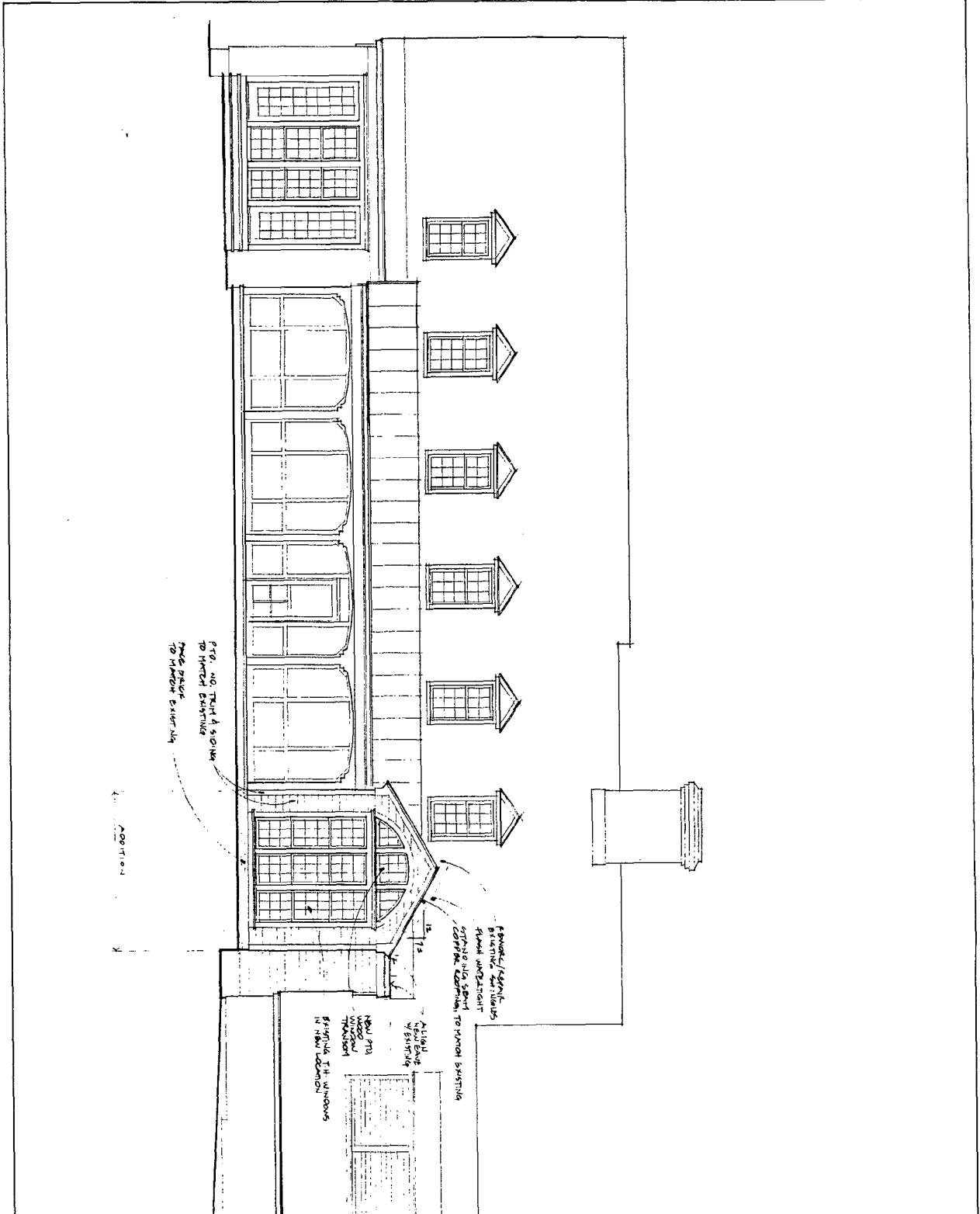
SITE INFORMATION IS TAKEN FROM SITE SURVEY DATED 5 MAY 1997, PREPARED BY ANDJON ASSOCIATES OF GAITHERSBURG, MARYLAND.



Shade portion to indicate North

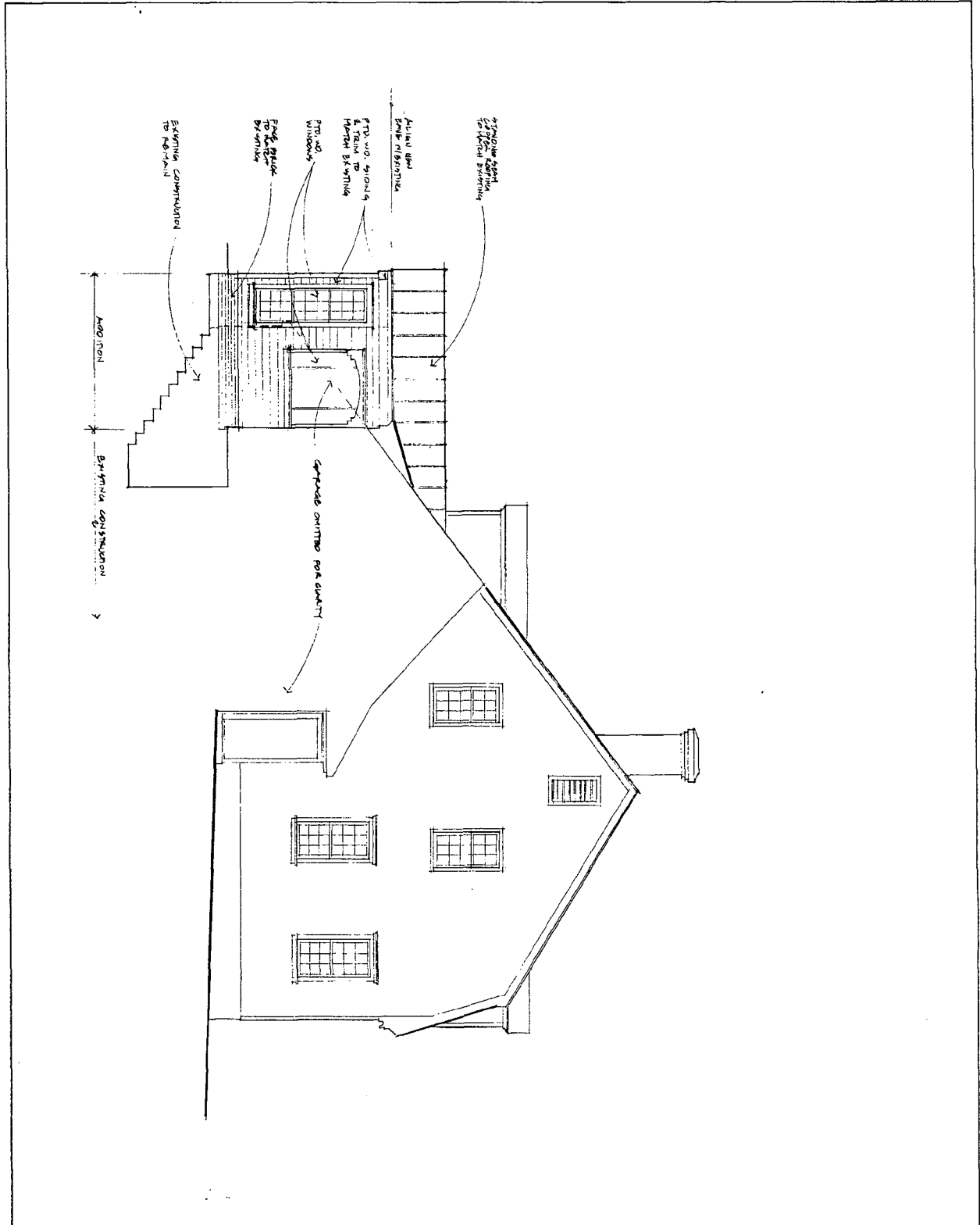
Applicant: STILLMAN, ROBERT D., ET AL.

Page: ___



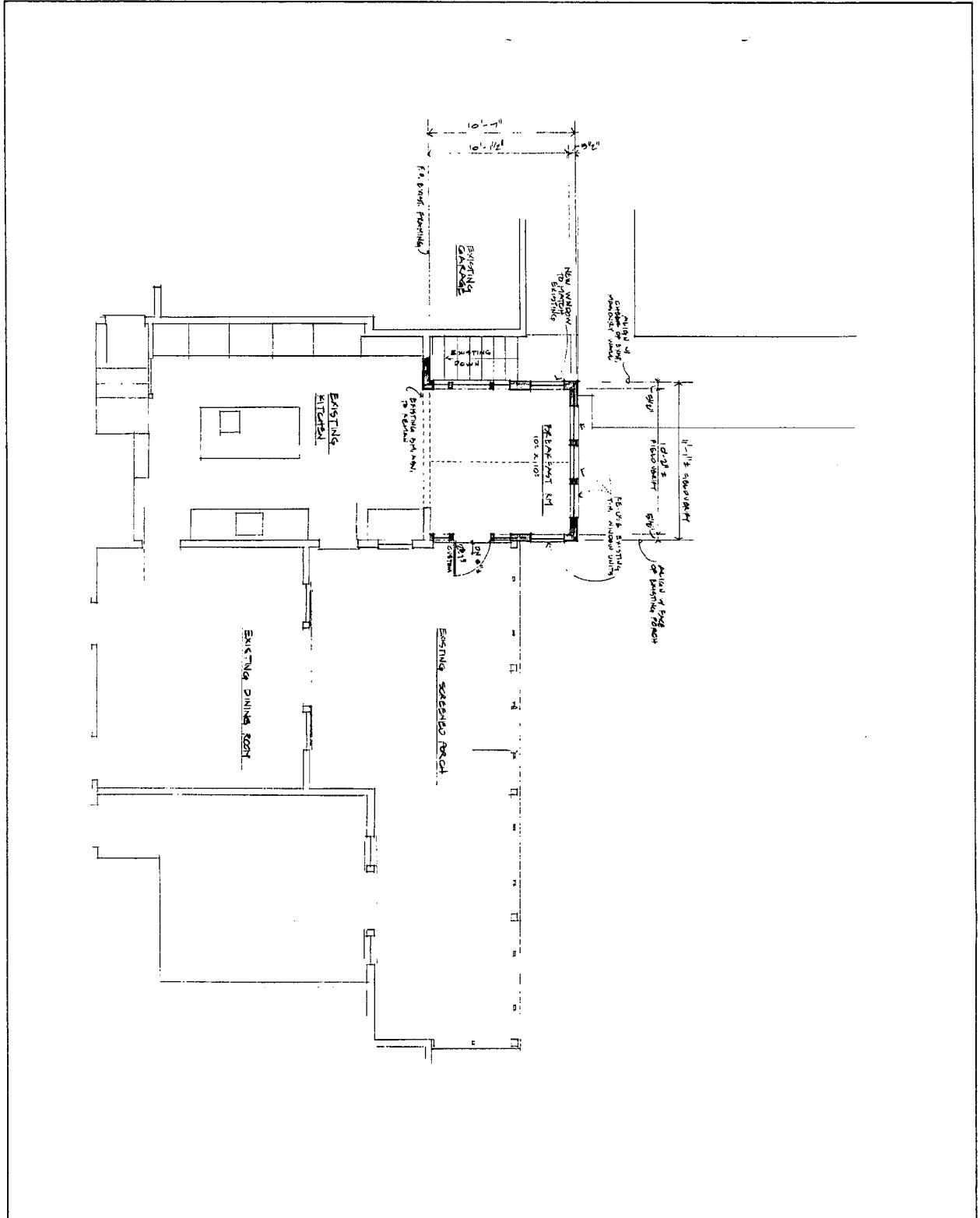


A.2	1/4" = 1'-0"	WEST ELEVATION	06/24	STILLMAN RESIDENCE 22 PRIMROSE STREET CHEVY CHASE, MARYLAND 20815	MUSE ARCHITECTS 7401 Wisconsin Avenue Phone 301.718.8118	Bethesda, MD 20814 Facsimile 301.718.8112
		1/4" = 1'-0"				



<p>A-4 1 MAR 07</p>	<p>EAST ELEVATION 1/4" = 1'-0"</p>	<p>06/24 STILMAN RESIDENCE 22 PRIMROSE STREET CHEY CHAM, MARYLAND 20818</p>	<p>MUSE ARCHITECTS 5630 Connecticut Avenue NW Washington DC 20015 Phone 202.966.6266 Facsimile 202.966.9666</p>
-------------------------	--	---	---

13



A.1	FIRST FLOOR PLAN 1/4" = 1'-0"	000.24	STILLMAN RESIDENCE 22 PRIMArose STREET CHEVY CHASE, MARYLAND 20815	MUSE ARCHITECTS 7401 Wisconsin Avenue Bethesda, MD 20814 Phone 301.718.8118 Facsimile 301.718.8112
-----	----------------------------------	--------	---	---

Existing Property Condition Photographs (duplicate as needed)



Detail: 28 Primrose Street from North

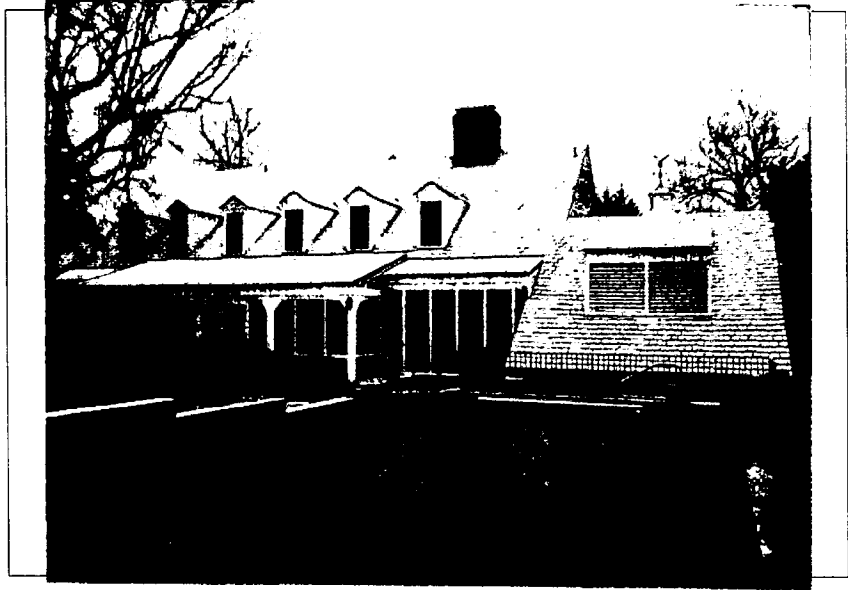


Detail: 22 Primrose Street from North

Applicant: STILMAN, ROBERT D. ET. AL, TR.

Page: __

Existing Property Condition Photographs (duplicate as needed)



Detail: 22 Primrose St. (Rear) from South East



Detail: 22 Primrose St. (Rear) Close View from South East

Applicant: STILLMAN, ROBERT D., ET. AL, TR.

Page: __

Existing Property Condition Photographs (duplicate as needed)



Detail: Primrose Street from #22 looking North East



Detail: Primrose Street from #22 looking North x North East

Applicant: STILLMAN, ROBERT D. ET. AL., TR.

Page: ___

Existing Property Condition Photographs (duplicate as needed)



Detail: Primrose Street from #22 looking North



Detail: Primrose Street from #22 looking North West

Applicant: STILMAN, ROBERT D. ET AL., TR.

Page:

Existing Property Condition Photographs (duplicate as needed)



Detail: 20 end 16 Primrose Street from North West



Detail: 16 Primrose Street from North

Oaks, Michele

From: Davis-Cook, Shana [Shana.Davis-Cook@montgomerycountymd.gov]
Sent: Friday, March 30, 2007 6:49 PM
To: Oaks, Michele
Subject: 22 Primrose Street

Michele-

We spoke to Warren Short at Muse Architect today regard the concerns we had for the 22 Primrose Street property addition. Here are our concerns and this is what we relayed to him.

1. Tree preservation regarding the root system of the existing tree on the southwest area of the house.
2. Construction access to the backyard.
3. Water run-off ~ Downspouts.
4. The foundation for the new addition to the property.
5. Air Conditioning Units that was sited on the Application for Historic Work Permit.

Results:

1. The tree preservation for the southwest area of the house with be examined by our Arborist to review the tree roots.
2. The construction access to the backyard will be the existing pool deck and the sidewalk along the east side of the property.
3. Water run-off ~ Downspouts: There currently are no downspouts or gutters on the property and the water is shedding off the property and depositing into the bluestone around the perimeter of the house. Our concern with the addition is where the water will go, we have requested the topography for the property to determine its natural slope and how the water will be maintained on the property
4. The foundation for the new addition will be a crawl space and we have asked him to include that in his drawings.
5. The air conditioning is an extension of the current system and will not adding an additional unit or replacing units that are currently housed in the attic of the garage.

These are issues we can deal with when they submit their application and should not hinder the April 11, 2007 commission review.

Shana R. Davis-Cook
Manager of Administration
Chevy Chase Village

&

Elizabeth Naru
Administrative Assistant



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
246 777 6270

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: WARREN SHORT

Daytime Phone No.: 301. 718. 8118

Tax Account No.: 07 004 557 82

Name of Property Owner: STILLMAN, ROBERT D. ET. AL, TR. Daytime Phone No.: 301. 657. 2215

Address: 22 PRIMROSE ST., CHEVY CHASE, M.D. 20815
Street Number City State Zip Code

Contractor: TO BE SELECTED Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: WARREN SHORT, MUSE ARCHITECTS Daytime Phone No.: 301. 718. 8118

LOCATION OF BUILDING/PREMISE

House Number: 22 Street: PRIMROSE STREET

Town/City: CHEVY CHASE VILLAGE Nearest Cross Street: BROOKEVILLE ROAD

Lot: 26 Block: 57 Subdivision: 9, CHEVY CHASE SECTION 2

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Warren Short
Signature of owner or authorized agent

20 March 2007
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 441121 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Twenty Two Primrose Street is a one and one-half story colonial-style residence built circa 1975. The residence is frame over a brick basement. Exterior materials include concrete shingles on the main block, copper roofing on porches and low shed roofs, beaded wood clapboard siding, and wood-mold brick.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is an 118 square foot room added to the rear of the existing kitchen. Projecting only five feet beyond the existing garage, the addition will have minimal impact on the rear garden. Not being visible from Primrose Street, the addition will have no effect on the historic resources of the district.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

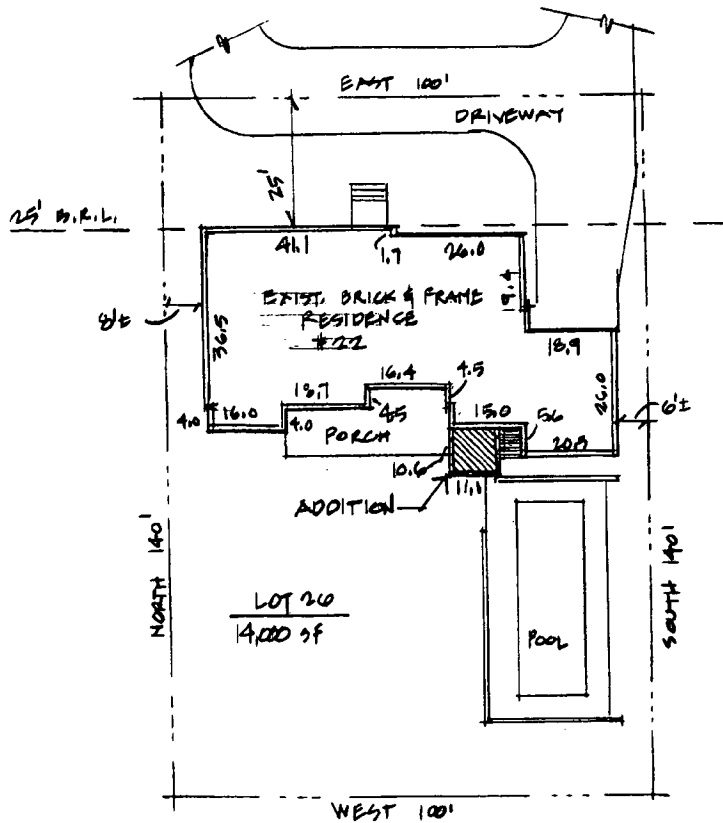
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

PRIMROSE STREET

Site Plan



ZONING SUMMARY

PROJECT LOCATION	22 Primrose Street Chevy Chase, Maryland 20815	
DESIGN BASIS	Code:	2003 ICC International Residential Code
	Zoning:	Montgomery Co., Maryland Zoning Ordinance
LEGAL DESCRIPTION	Lot No.: 26	Block: 57
	Town: Chevy Chase Village	
	Chevy Chase Village Section 2	
	Plat Book 2, Plat Number 106; Deed Reference: 15202/473	
	Map: HN41	Subdivision: 9
ZONE	R-60	
BUILDING SETBACKS	Front:	25 ft. min.
	Sides:	one side 8 ft. min.; total both sides 18 ft. min.
	Rear:	20 ft. min.
LOT AREA & COVERAGE	Lot Area:	14,000 SF
	Allowable Lot Coverage:	4,900 SF / 35 %
	Existing Lot Coverage:	3,462 SF
	Proposed Lot Coverage:	3,580 SF
BUILDING HEIGHT	Allowable Height:	35.00 ft.
	Existing Height to Remain:	26.00 ft.

NOTES:

SHADED PORTION OF THE SITE REPRESENTS THE LOCATION OF THE ADDITION.

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE AND INCORPORATING THE 2003 IRC CODE.

CONTRACTOR TO PROVIDE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TO COMPLY WITH DIRECTIONS WHICH MAY BE ISSUED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

SLOPE FINISH GRADE AWAY FROM RESIDENCE AT MINIMUM PITCH OF 1/4 INCH PER FOOT.

CONTRACTOR SHALL FOLLOW CURRENT MONTGOMERY COUNTY REGULATIONS AND REQUIREMENTS FOR RADON MITIGATION AS REQUIRED, TYPICAL.

SITE INFORMATION IS TAKEN FROM SITE SURVEY DATED 5 MAY 1997, PREPARED BY ANDJON ASSOCIATES OF GAITHERSBURG, MARYLAND.



Shade portion to indicate North

Applicant: STILLMAN, ROBERT D., ET AL.

Page: ___

Existing Property Condition Photographs (duplicate as needed)



Detail: Primrose Street from #22 looking North East



Detail: Primrose Street from #22 looking North x North East

Existing Property Condition Photographs (duplicate as needed)



Detail: Primrose Street from #22 looking North



Detail: Primrose Street from #22 looking North West

Existing Property Condition Photographs (duplicate as needed)



Detail: 28 Primrose Street from North



Detail: 22 Primrose Street from North

Existing Property Condition Photographs (duplicate as needed)

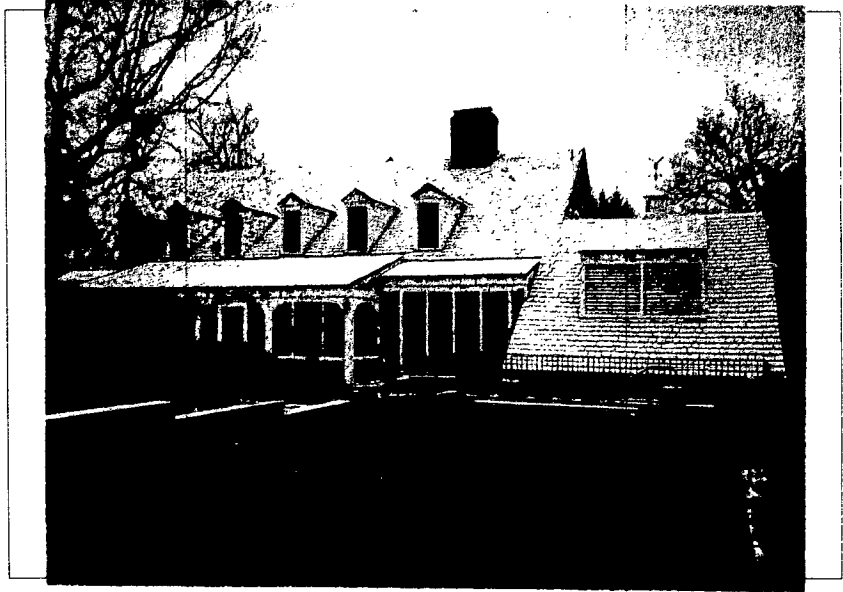


Detail: 20 end 16 Primrose Street from North West



Detail: 16 Primrose Street from North

Existing Property Condition Photographs (duplicate as needed)



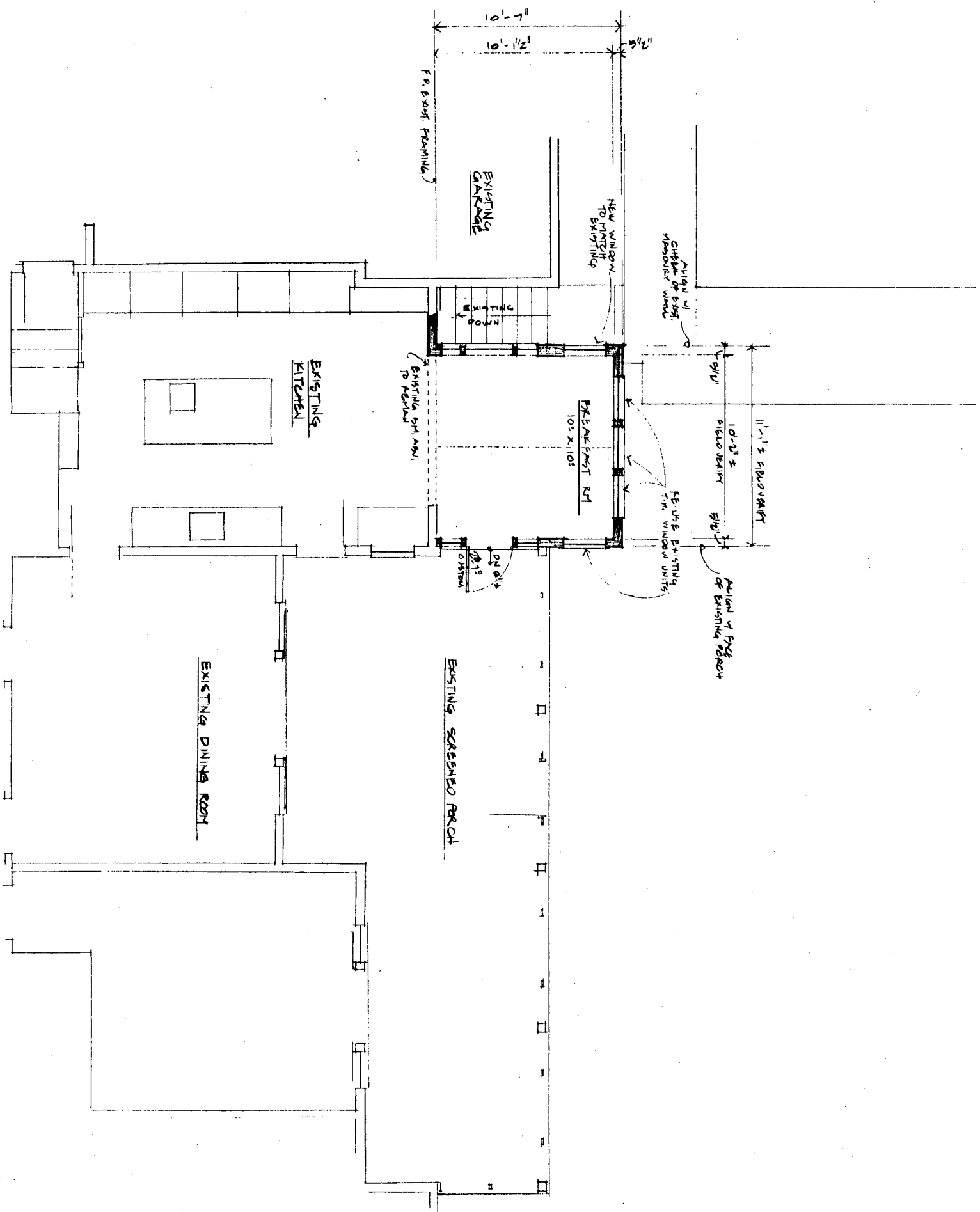
Detail: 22 Primrose St. (Rear) from South East



Detail: 22 Primrose St. (Rear) Close View From South East

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address STILLMAN, ROBERT D. ET AL TR 22 PRIMROSE ST. CHEVY CHASE, MD. 20815-4229</p>	<p>Owner's Agent's mailing address WARREN SHORT MUSE ARCHITECTS 7401 WISCONSIN AVE, #500 BETHESDA, MD 20814</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>JOSPIN, DEBORAH R. TR 16 PRIMROSE ST. CHEVY CHASE, MD 20815-4229</p>	<p>MITCHELL, BRYAN J. & JILL P. 28 PRIMROSE ST. CHEVY CHASE, MD. 20815-4229</p>
<p>MCCARTHY, MICHAEL M. & P.D. 23 PRIMROSE ST. CHEVY CHASE, MD 20815</p>	<p>TOTH, ROBERT C. & F.N. 21 PRIMROSE ST. CHEVY CHASE, MD 20815</p>
<p>DAN MORGAN MARY E. SHANNON 31 OXFORD ST. CHEVY CHASE, MD. 20815</p>	<p>HYLAND, JOHN F., JR. M. CAROLYN COLLINS 33 OXFORD ST. CHEVY CHASE, MD 20815</p>
<p>MOATES, G. PAUL CONSTANCE A. SADLER 35 OXFORD ST. CHEVY CHASE, MD 20815</p>	



A.1

7 MAR 07

FIRST FLOOR PLAN

1/4" = 1'-0"

06.24

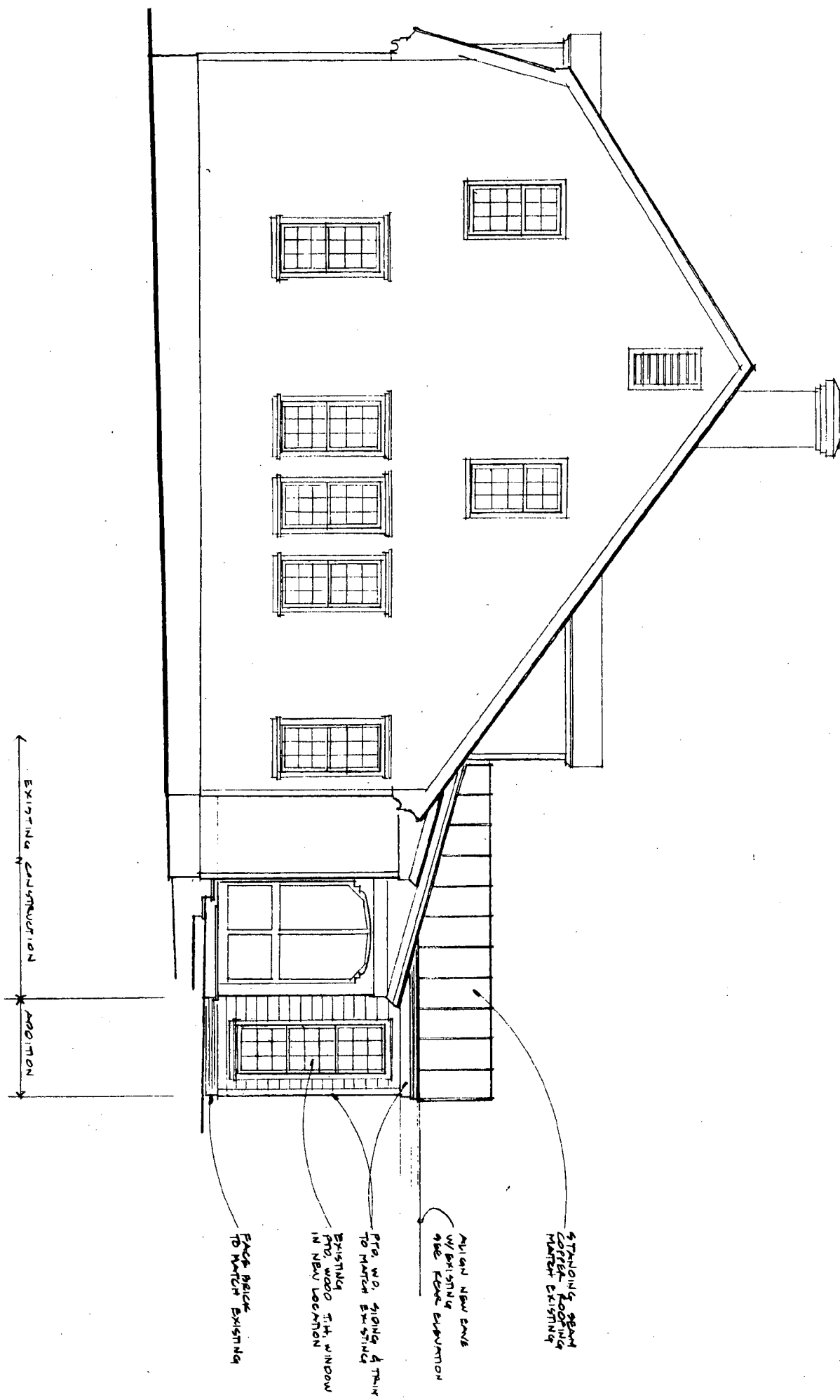
STILLMAN RESIDENCE

22 PRIMROSE STREET
 CHEW CHASE, MARYLAND 20815

MUSE ARCHITECTS

7401 Wisconsin Avenue
 Phone 301.718.8118

Bethesda, MD 20814
 Facsimile 301.718.8112



A.2

7 MAR 01

WEST ELEVATION

1/4" = 1'-0"

06.24

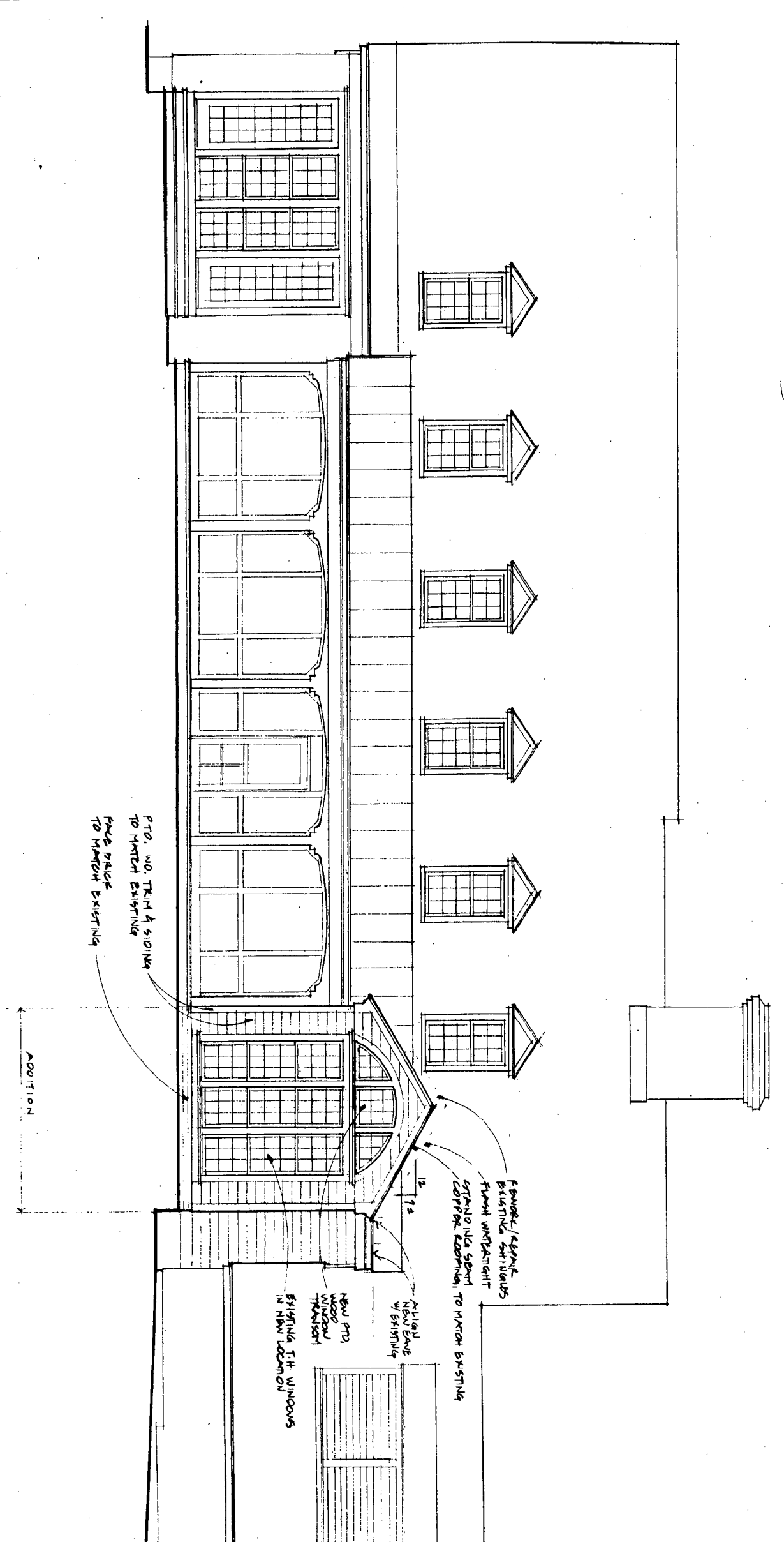
STILLMAN RESIDENCE

22 PRIMROSE STREET
CHEVY CHASE, MARYLAND 20815

MUSE ARCHITECTS

7401 Wisconsin Avenue
Phone 301.718.8118

Bethesda, MD 20814
Facsimile 301.718.8112



A.3

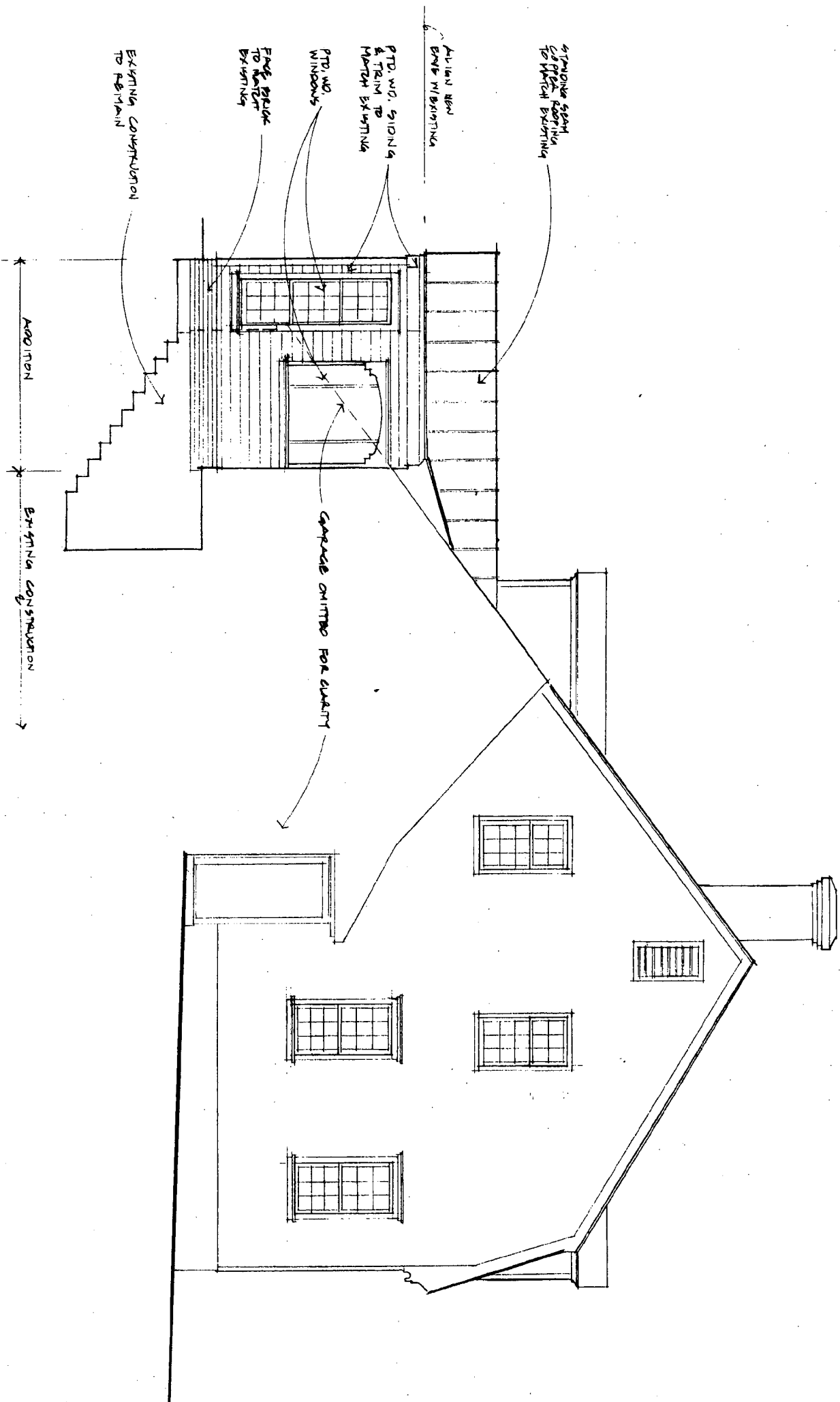
7 MAR 07

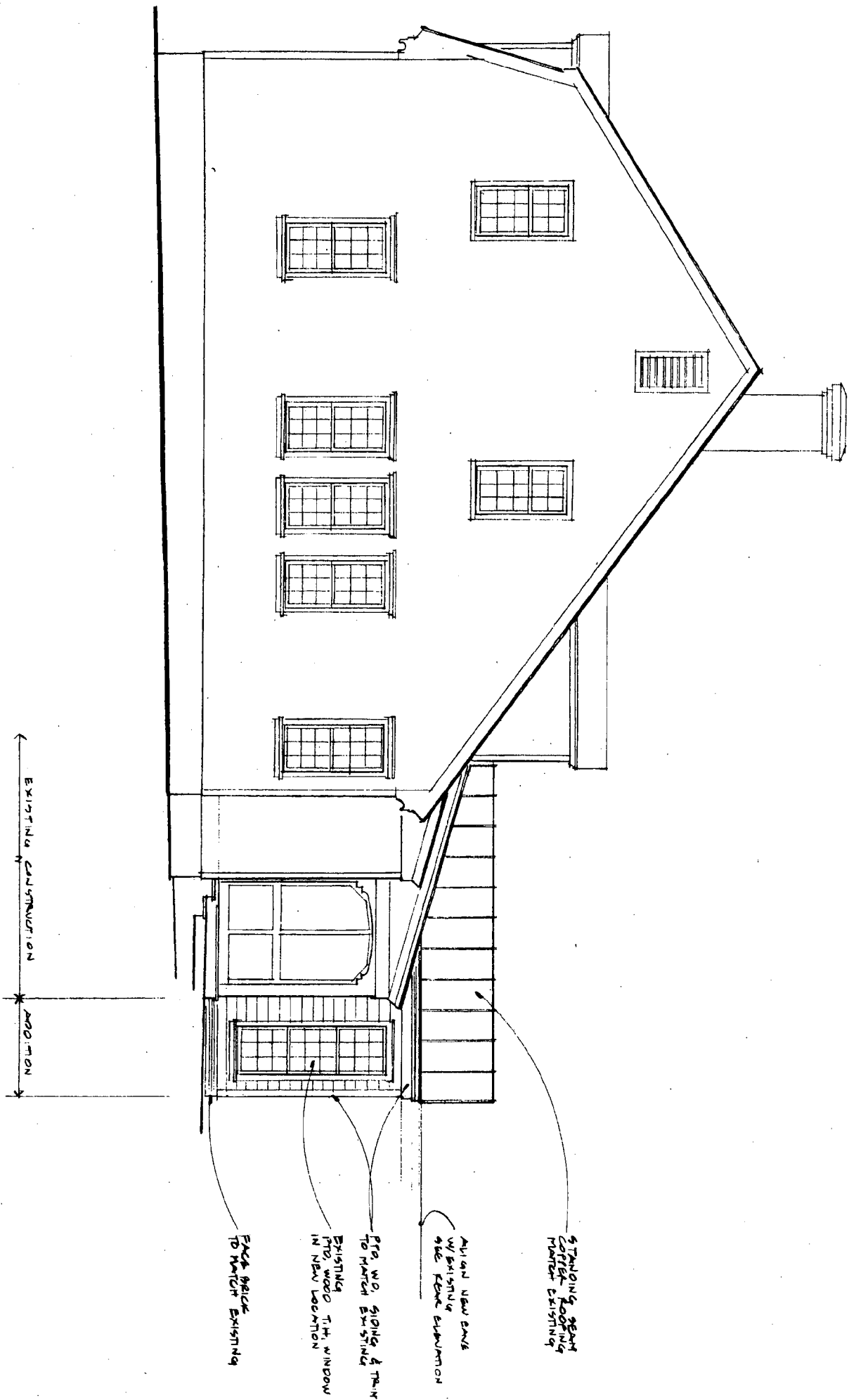
SOUTH ELEVATION
1/4" = 1'-0"

06.24

STILLMAN RESIDENCE
22 PRIMROSE STREET
CHEVY CHASE, MARYLAND 20815

MUSE ARCHITECTS
7401 Wisconsin Avenue
Phone 301.718.8118
Bethesda, MD 20814
Facsimile 301.718.8112





A.2

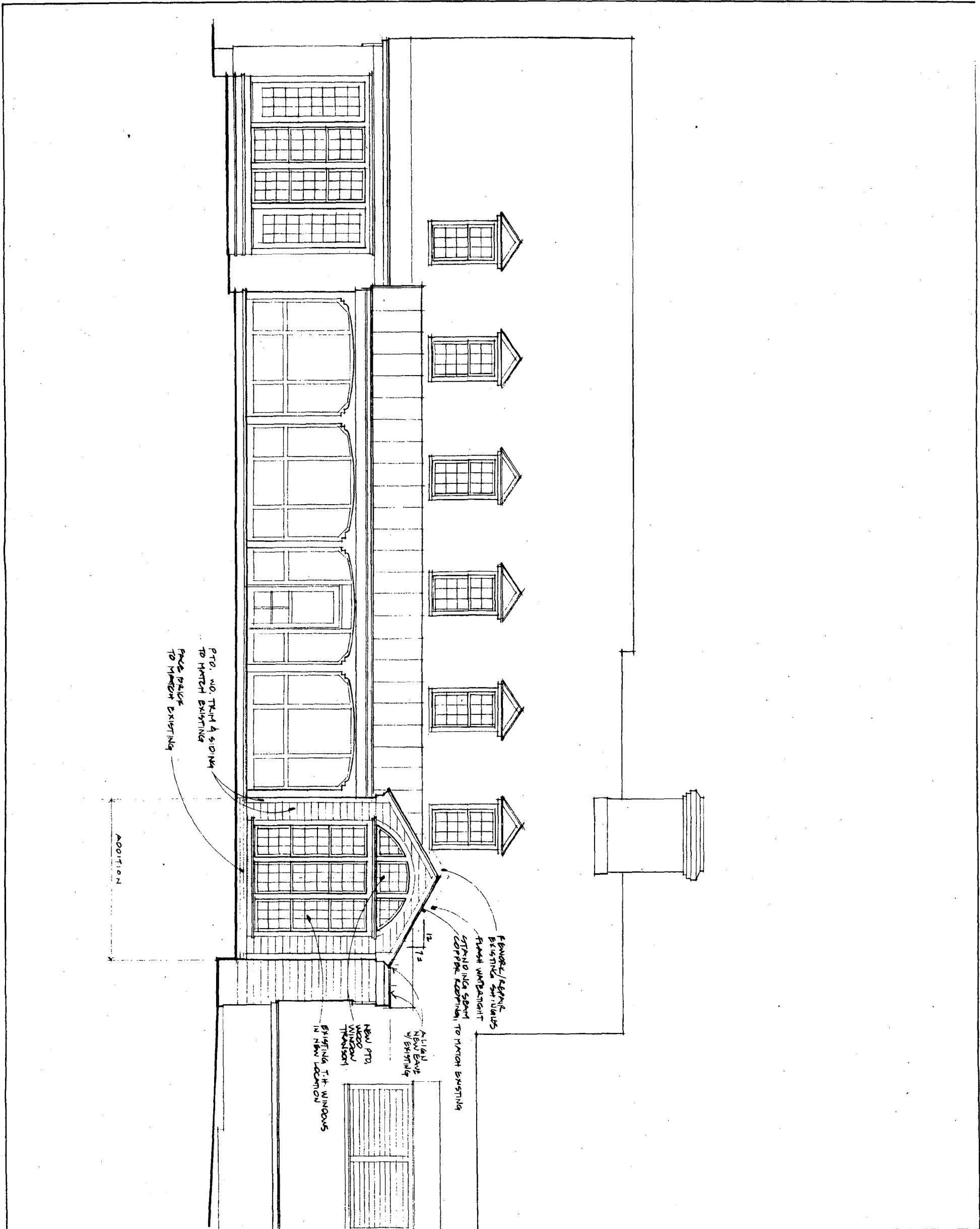
1/14/01

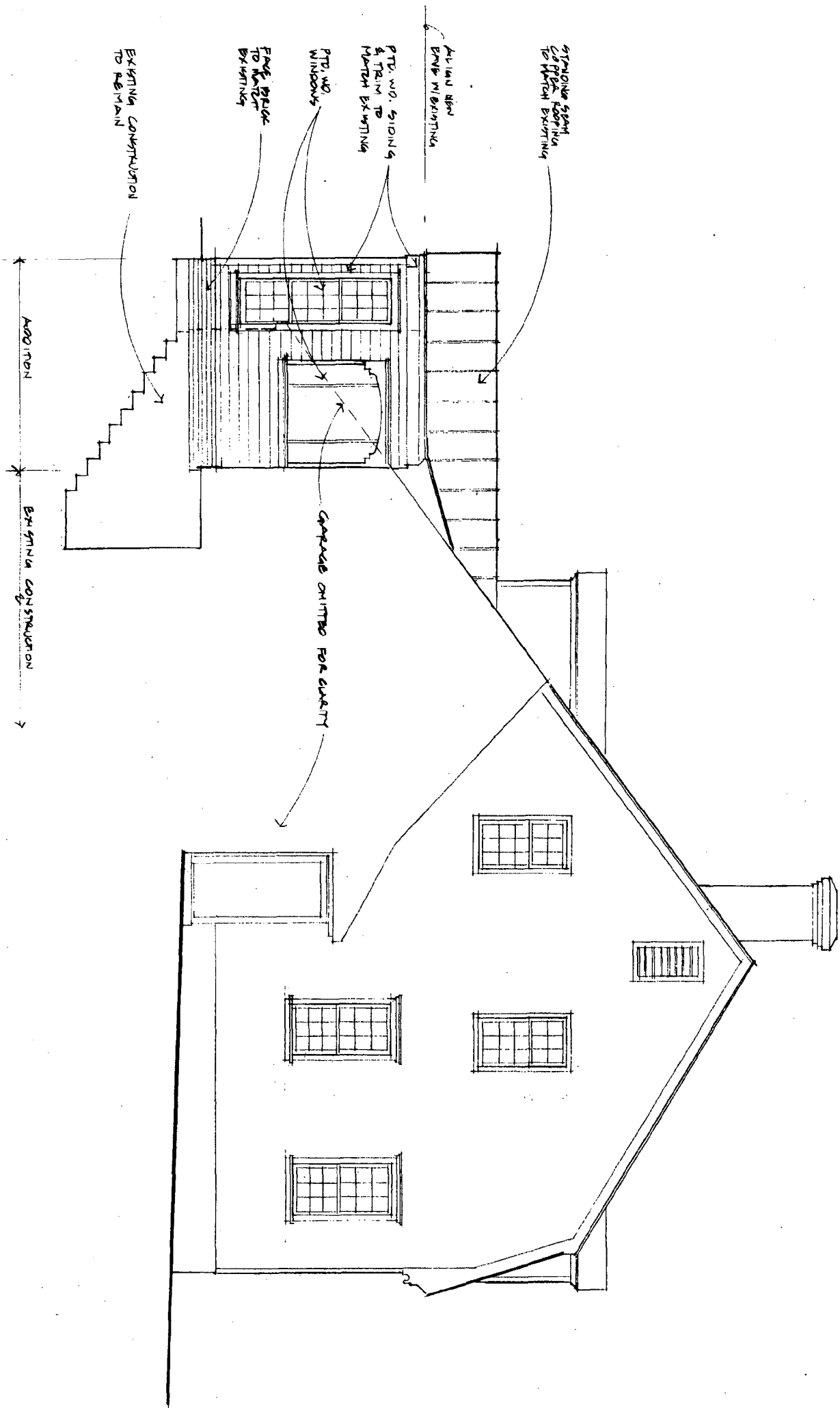
WEST ELEVATION
1/4" = 1'-0"

06.24

STILLMAN RESIDENCE
22 PRIMROSE STREET
CHEVY CHASE, MARYLAND 20815

MUSE ARCHITECTS
7401 Wisconsin Avenue Bethesda, MD 20814
Phone 301.718.8118 Facsimile 301.718.8112





A-4

1 MAR 07

EAST ELEVATION
1/4" = 1'-0"

06.24

STILMAN RESIDENCE
22 PRIMROSE STREET
CHEVY CHASE, MARYLAND 20815

MUSE ARCHITECTS
5630 Connecticut Avenue NW
Phone 202.966.6266
Washington DC 20015
Facsimile 202.966.9666



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Julia O'Malley
Chairperson

April 20, 2007

MEMORANDUM

TO: Reggie Jetter, Acting Director
Department of Permitting Services

FROM: Michele Oaks, Planner Coordinator 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #448021, Rear Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved with Condition at the April 11, 2007 meeting.

- 1. The applicant wil contact the Chevy Chase Village arborist to discuss if a tree protection plan is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITION AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Robert Stillman Jr. (Warren Short, Architect)

Address: 22 Primrose Street, Chevy Chase (Chevy Chase Village Historic District)

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.



M



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: WARREN SHORT

Daytime Phone No.: 301. 718. 8118

Tax Account No.: 07 004 957 82

Name of Property Owner: STILLMAN, ROBERT D. ET. AL, TR. Daytime Phone No.: 301. 657. 2215

Address: 22 PRIMROSE ST., CHEVY CHASE, M.D. 20815
Street Number City State Zip Code

Contractor: TO BE SELECTED Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: WARREN SHORT, MUSE ARCHITECTS Daytime Phone No.: 301. 718. 8118

LOCATION OF BUILDING/PREMISE

House Number: 22 Street: PRIMROSE STREET

Town/City: CHEVY CHASE VILLAGE Nearest Cross Street: BROOKEVILLE ROAD

Lot: 26 Block: 57 Subdivision: 9, CHEVY CHASE SECTION 2

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|--|---|--|---------------------------------------|---|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: _____ | | | | |

1B. Construction cost estimate: \$ 40,000

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Warren Short
Signature of owner or authorized agent

20 March 2007
Date

Approved: X W/CONDITION For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 4/12/07

Application/Permit No.: 448021 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Twenty Two Primrose Street is a one and one-half story colonial-style residence built circa 1975. The residence is frame over a brick basement. Exterior materials include concrete shingles on the main block, copper roofing on porches and low shed roofs, beaded wood clapboard siding, and wood-mold brick.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project is an 118 square foot room added to the rear of the existing kitchen. Projecting only five feet beyond the existing garage, the addition will have minimal impact on the rear garden. Not being visible from Primrose Street, the addition will have no effect on the historic resources of the district.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Existing Property Condition Photographs (duplicate as needed)



Detail: 22 Primrose St. (Rear) from South East



Detail: 22 Primrose St. (Rear) Close View From South East

Existing Property Condition Photographs (duplicate as needed)



Detail: 28 Primrose Street from North



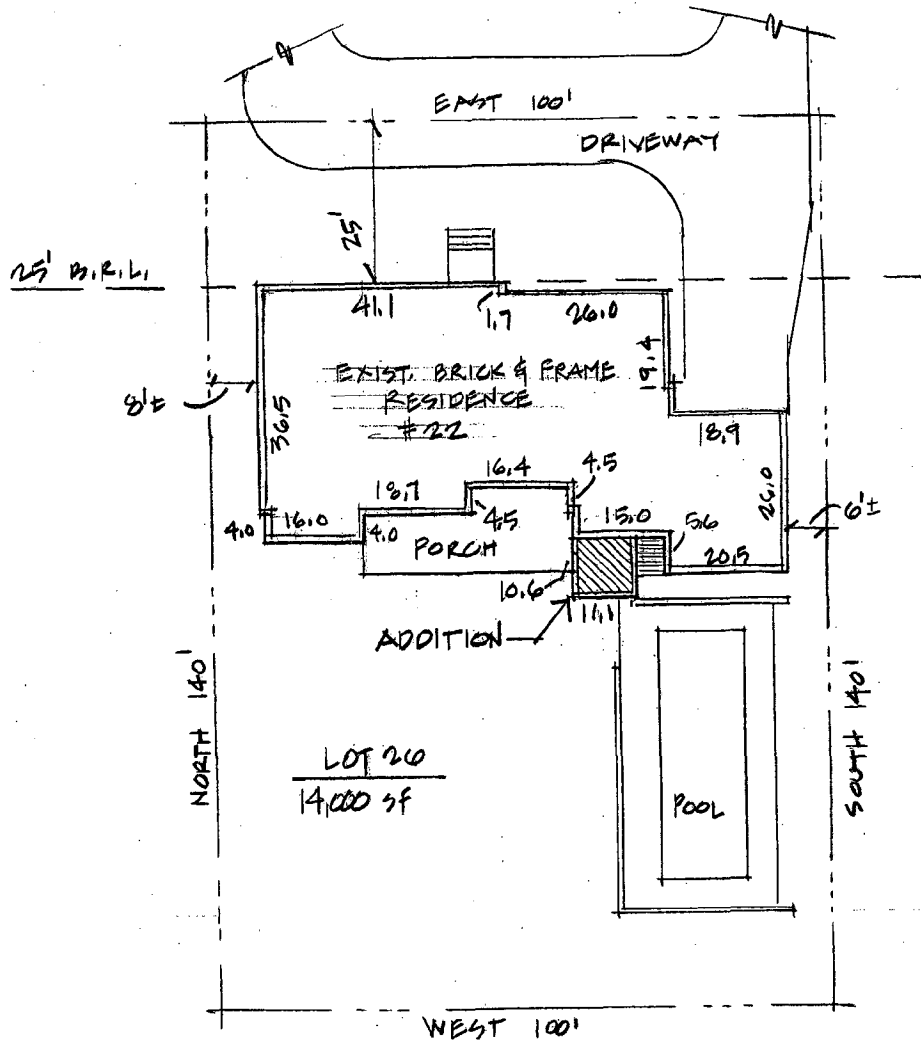
Detail: 22 Primrose Street from North

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address STILLMAN, ROBERT D. ET AL TR 22 PRIMROSE ST. CHEVY CHASE, MD. 20815-4229</p>	<p>Owner's Agent's mailing address WARREN SHORT MUSE ARCHITECTS 7401 WISCONSIN AVE, #500 BETHESDA, MD 20814</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>JOSPIN, DEBORAH R. TR 16 PRIMROSE ST. CHEVY CHASE, MD 20815-4229</p>	<p>MITCHELL, BRYAN J. & JILL P. 28 PRIMROSE ST. CHEVY CHASE, MD. 20815-4229</p>
<p>MCCARTHY, MICHAEL M. & P.D. 23 PRIMROSE ST. CHEVY CHASE, MD 20815</p>	<p>TOTH, ROBERT C. & P.N. 21 PRIMROSE ST. CHEVY CHASE, MD 20815</p>
<p>DAN MORGAN MARY E. SHANNON 31 OXFORD ST. CHEVY CHASE, MD. 20815</p>	<p>HYLAND, JOHN F., JR. M. CAROLYN COLLINS 33 OXFORD ST. CHEVY CHASE, MD 20815</p>
<p>MOATES, G. PAUL CONSTANCE A. SADLER 35 OXFORD ST. CHEVY CHASE, MD 20815</p>	

PRIMROSE STREET

Site Plan



ZONING SUMMARY

PROJECT LOCATION	22 Primrose Street Chevy Chase, Maryland 20815	
DESIGN BASIS	Code:	2003 ICC International Residential Code
	Zoning:	Montgomery Co., Maryland Zoning Ordinance
LEGAL DESCRIPTION	Lot No.: 26	Block: 57
	Town: Chevy Chase Village	
	Chevy Chase Village Section 2	
	Plat Book 2, Plat Number 106; Deed Reference: 15202/473	
	Map: HN41	Subdivision: 9
ZONE	R-60	
BUILDING SETBACKS	Front:	25 ft. min.
	Sides:	one side 8 ft. min.; total both sides 18 ft. min.
	Rear:	20 ft. min.
LOT AREA & COVERAGE	Lot Area:	14,000 SF
	Allowable Lot Coverage:	4,900 SF / 35 %
	Existing Lot Coverage:	3,462 SF
	Proposed Lot Coverage:	3,580 SF
BUILDING HEIGHT	Allowable Height:	35.00 ft.
	Existing Height to Remain:	26.00 ft.

NOTES:

SHADED PORTION OF THE SITE REPRESENTS THE LOCATION OF THE ADDITION.

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, LAWS AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE AND INCORPORATING THE 2003 IRC CODE.

CONTRACTOR TO PROVIDE SOIL EROSION AND SEDIMENT CONTROL AS REQUIRED BY MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS AND TO COMPLY WITH DIRECTIONS WHICH MAY BE ISSUED BY THE DEPARTMENT OF ENVIRONMENTAL PROTECTION.

SLOPE FINISH GRADE AWAY FROM RESIDENCE AT MINIMUM PITCH OF 1/4 INCH PER FOOT.

CONTRACTOR SHALL FOLLOW CURRENT MONTGOMERY COUNTY REGULATIONS AND REQUIREMENTS FOR RADON MITIGATION AS REQUIRED, TYPICAL.

SITE INFORMATION IS TAKEN FROM SITE SURVEY DATED 5 MAY 1997, PREPARED BY ANDJON ASSOCIATES OF GAITHERSBURG, MARYLAND.

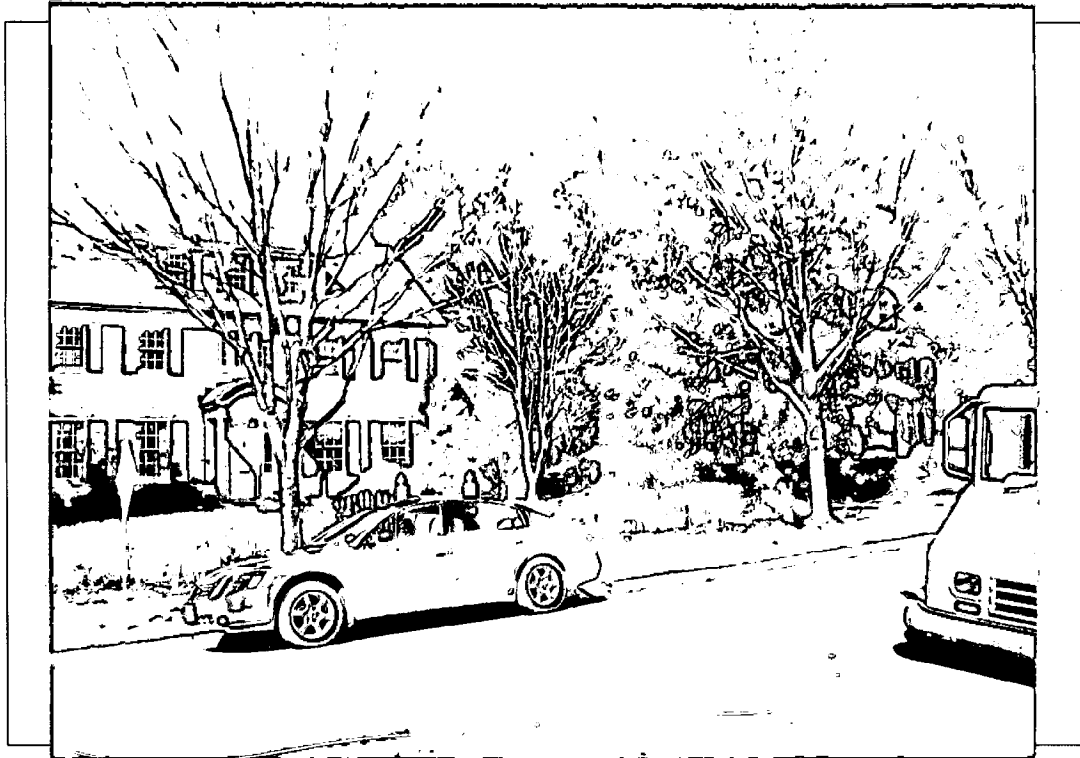


Shade portion to indicate North

Applicant: STILLMAN, ROBERT D., ET AL.

Page: __

Existing Property Condition Photographs (duplicate as needed)



Detail: Primrose Street from #22 looking North East



Detail: Primrose Street from #22 looking North x North East

Existing Property Condition Photographs (duplicate as needed)



Detail: Primrose Street from #22 looking North



Detail: Primrose Street from #22 looking North West

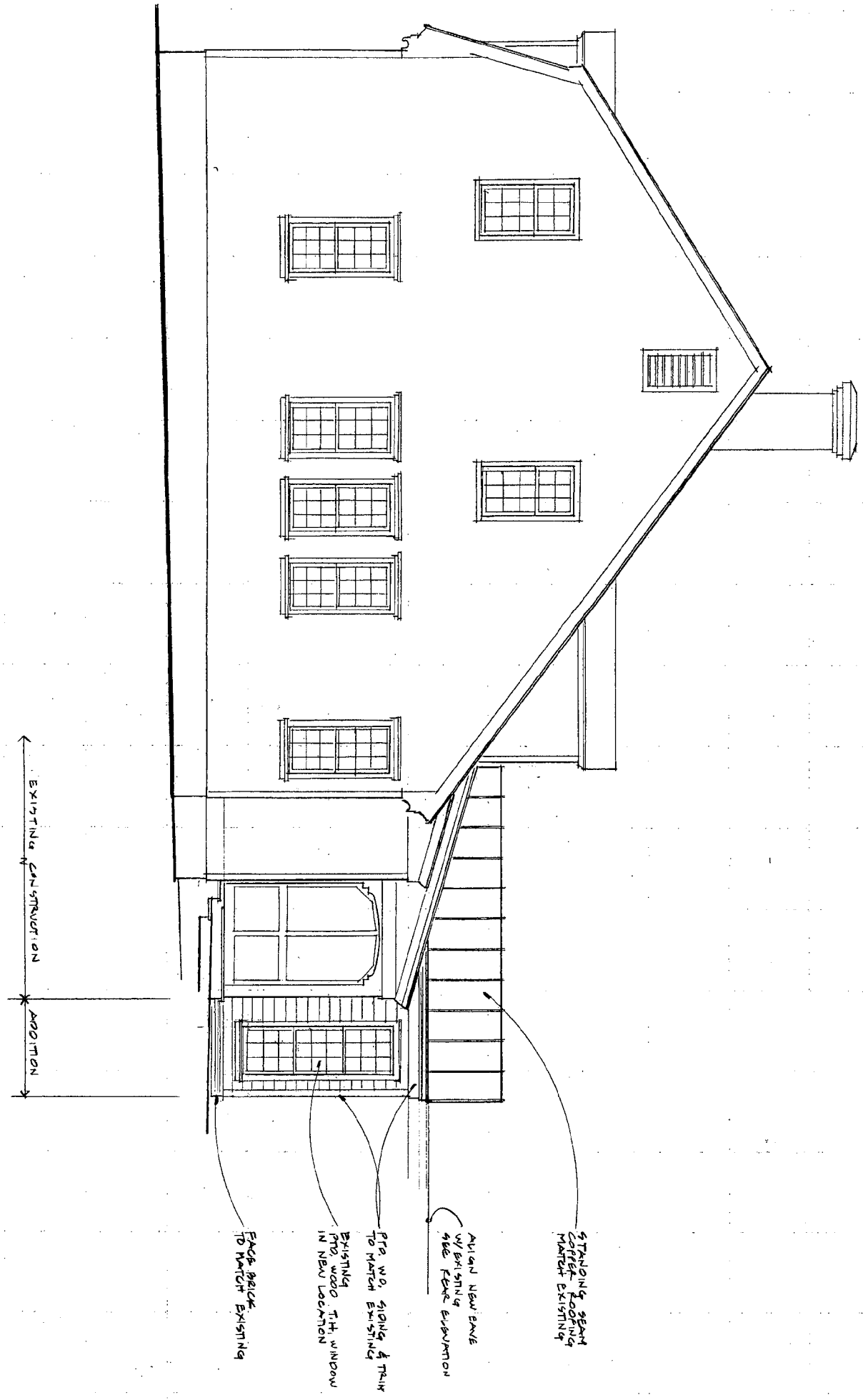
Existing Property Condition Photographs (duplicate as needed)



Detail: 22 end 16 Primrose Street from North West



Detail: 16 Primrose Street from North



EXISTING CONSTRUCTION

ADDITION

STANDING SEAM COPPER ROOFING MATCH EXISTING

ORIGINAL NEW EAVE WITH EXISTING SIDE FENCE SUBMITTAL

PTA, WD, SIDING & TRIM TO MATCH EXISTING EXISTING PTD, WOOD T.H. WINDOW IN NEW LOCATION

FACE BRICK TO MATCH EXISTING

A.2

7/18/01

WEST ELEVATION

1/4" = 1'-0"

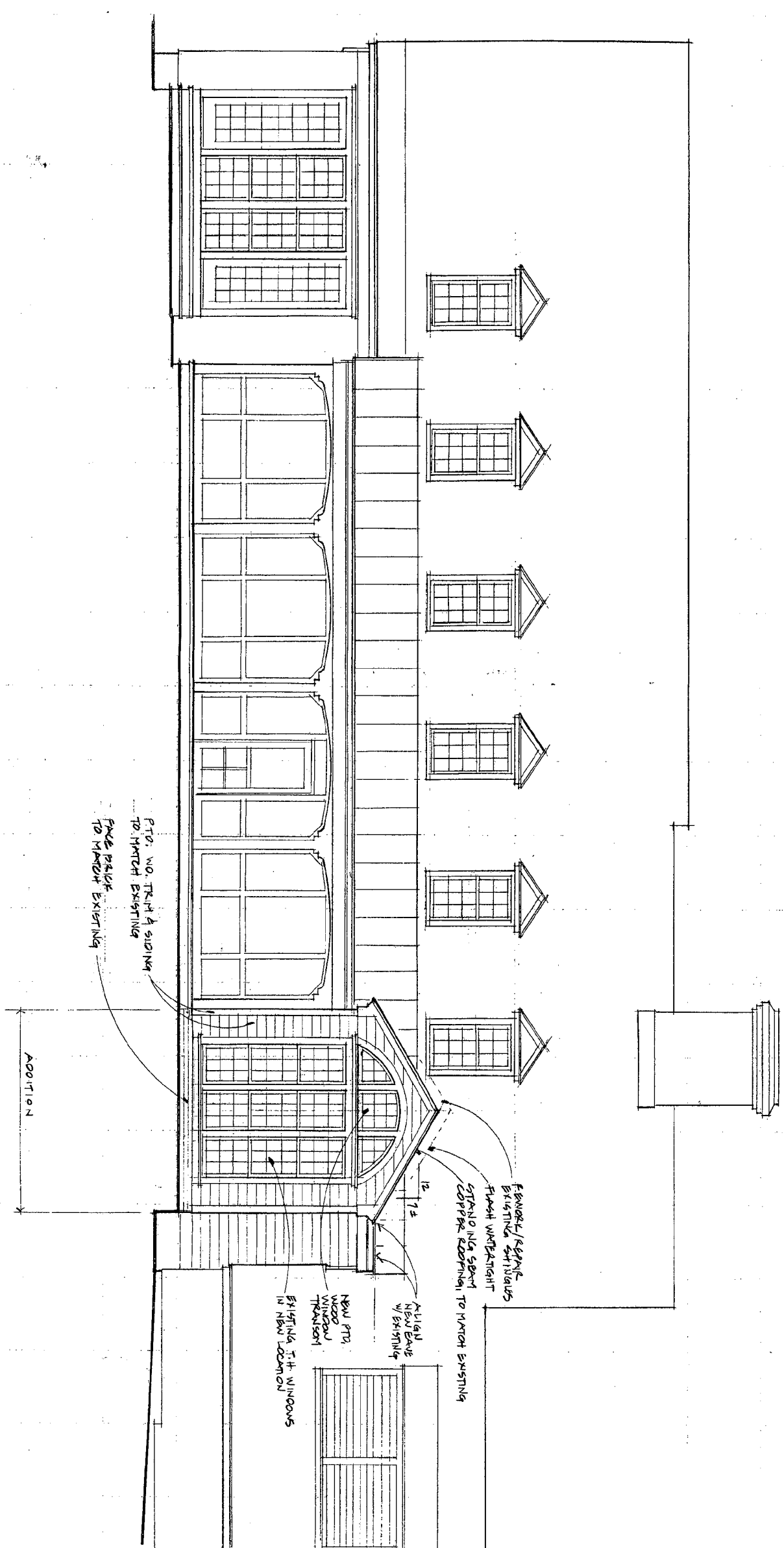
06/24

STILLMAN RESIDENCE

22 PRIMROSE STREET
CHEVY CHASE, MARYLAND 20815

MUSE ARCHITECTS

7401 Wisconsin Avenue
Bethesda, MD 20814
Phone 301.718.8118
Facsimile 301.718.8112

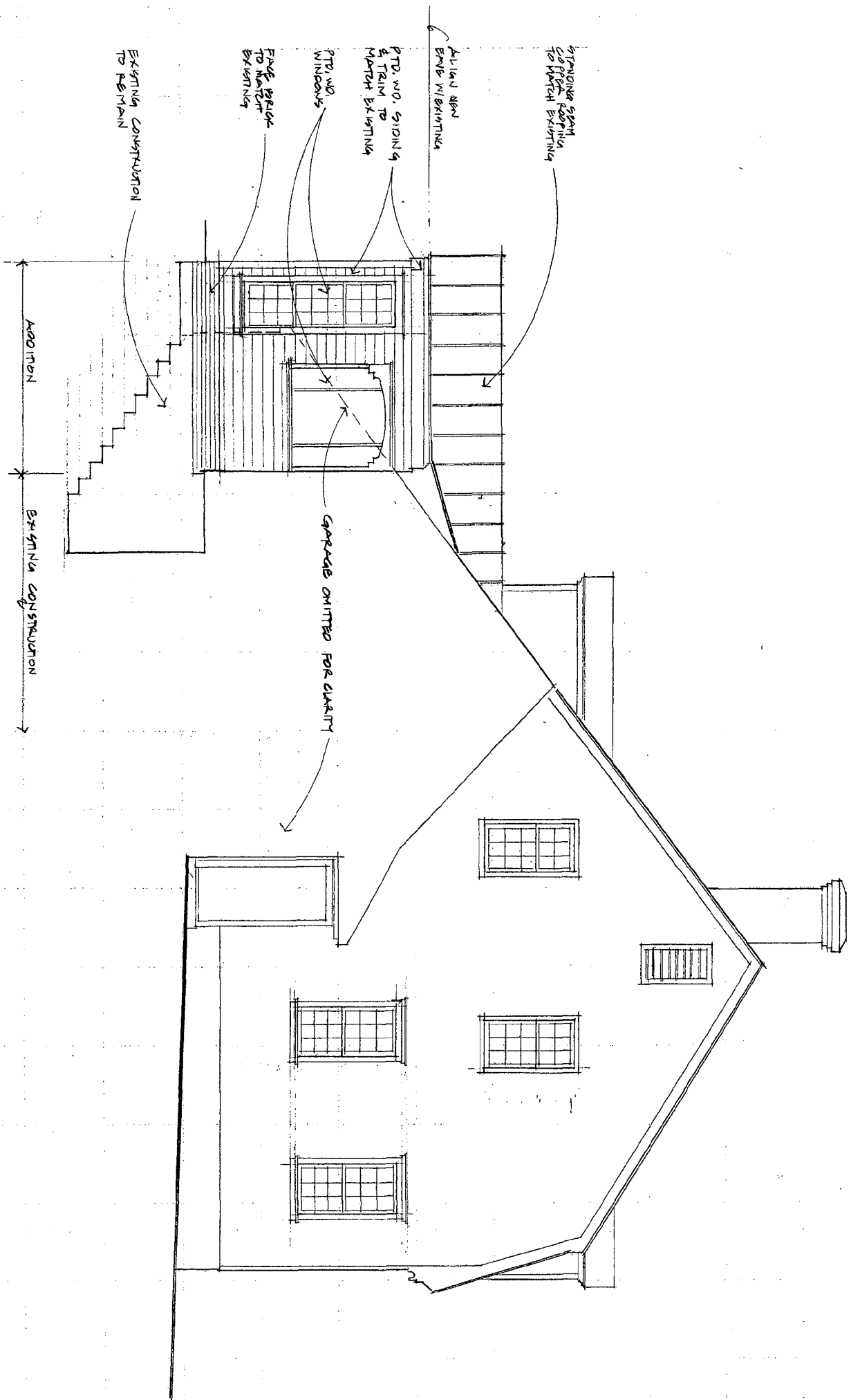


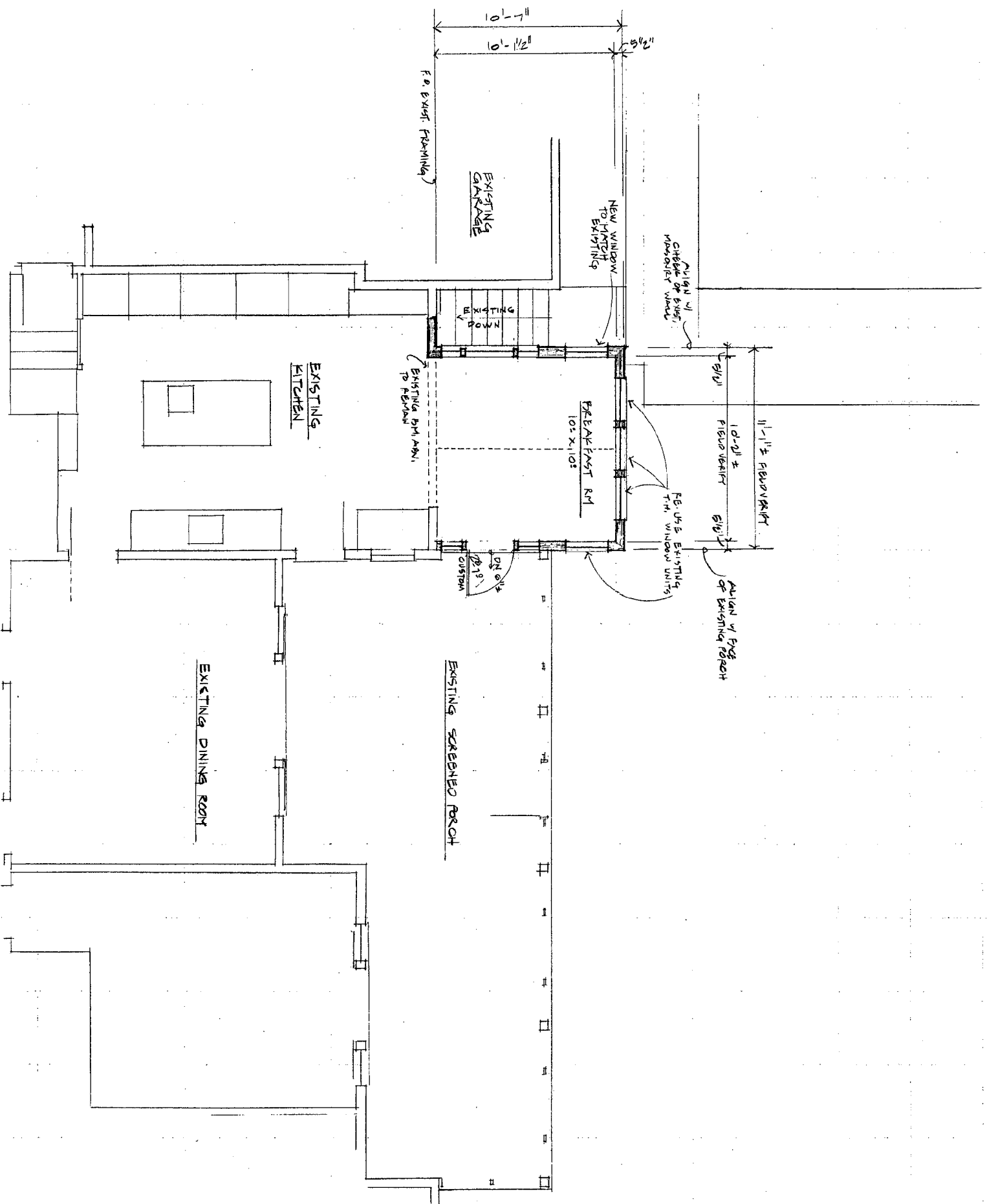
A.3
7 MAR 07

SOUTH ELEVATION
1/4" = 1'-0"
06.24

STILLMAN RESIDENCE
22 PRIMROSE STREET
CHEVY CHASE, MARYLAND 20815

MUSE ARCHITECTS
7401 Wisconsin Avenue
Bethesda, MD 20814
Phone 301.718.8118
Facsimile 301.718.8112





A.1

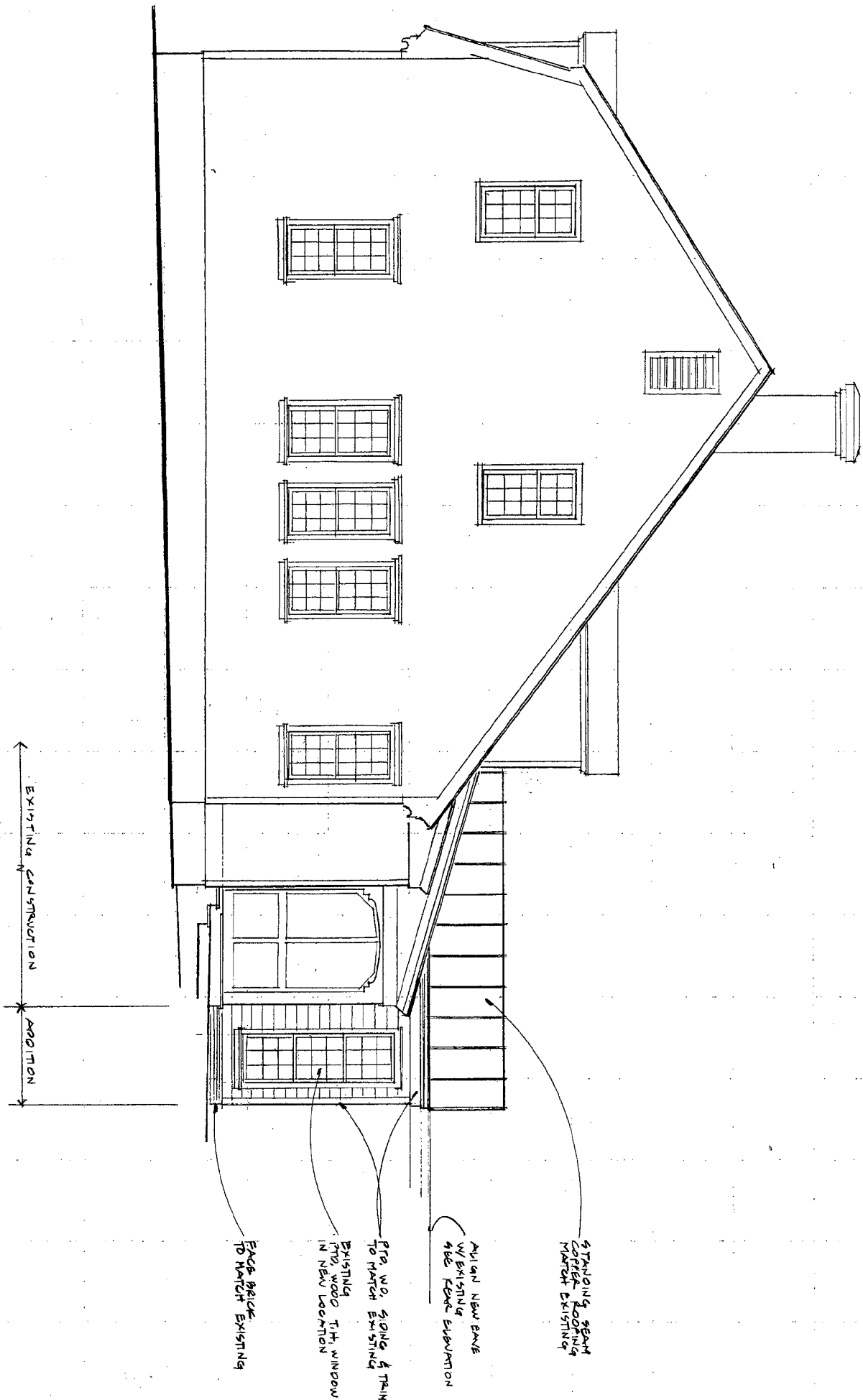
T.MAR07

FIRST FLOOR PLAN
1/4" = 1'-0"

06.24

STILLMAN RESIDENCE
22 PRIMROSE STREET
CHEVY CHASE, MARYLAND 20815

MUSE ARCHITECTS
7401 Wisconsin Avenue
Bethesda, MD 20814
Phone 301.718.8118
Facsimile 301.718.8112



EXISTING CONSTRUCTION

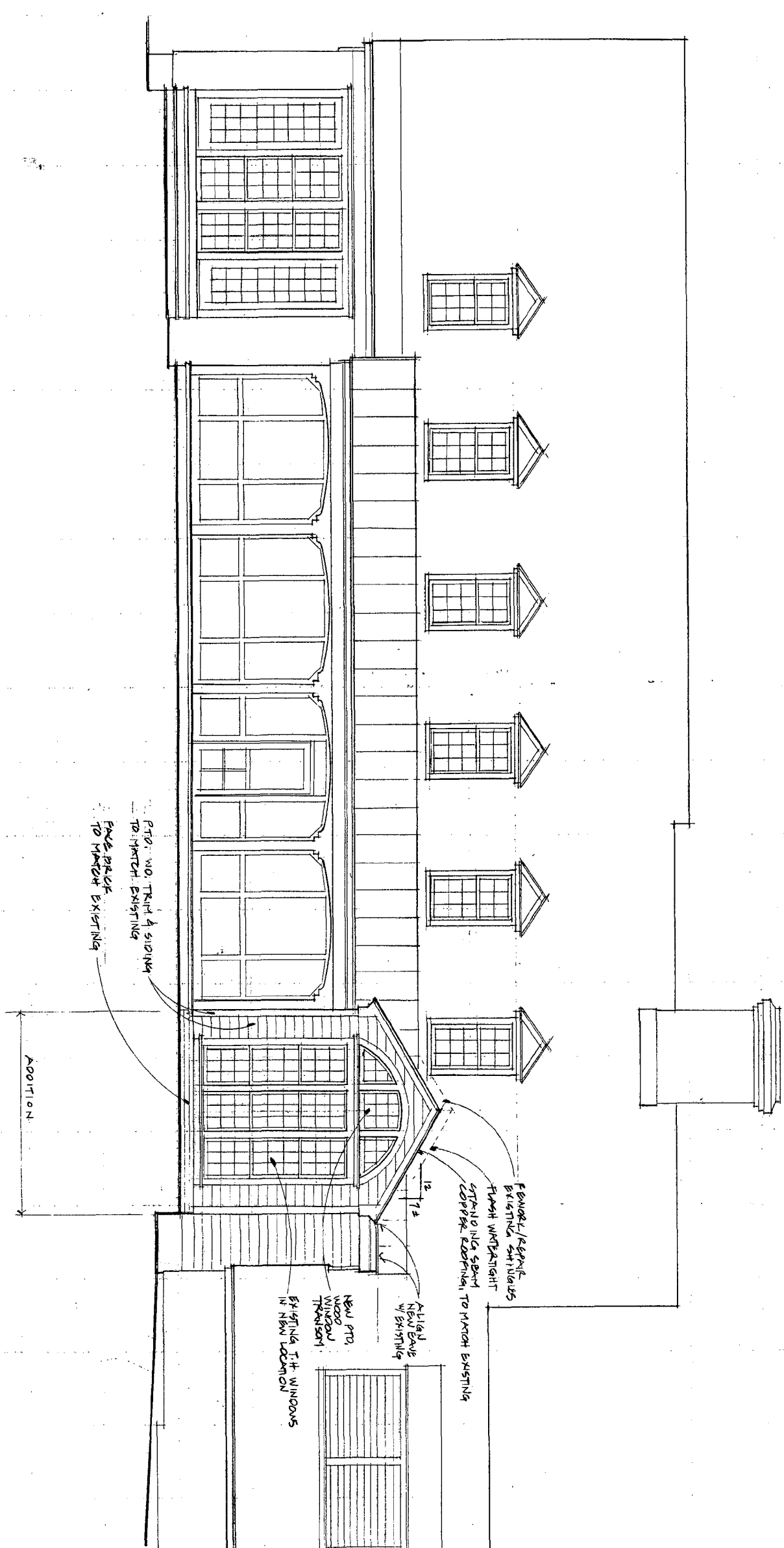
ADDITION

FACE BRICK TO MATCH EXISTING

FR. WD. SIDING & TRIM TO MATCH EXISTING EXISTING FR. WOOD TILT WINDOW IN NEW LOCATION

ALIGN NEW BAYS W/ EXISTING 4th FLOOR ELEVATION

STAYING SEAM COPPER ROOFING MATCH EXISTING



PTG. WO. TRAIL & SIDING
TO MATCH EXISTING

PANE BRACK
TO MATCH EXISTING

ADDITION

EXISTING/REPAIRS
EXISTING SHUTTERS
FLASH W/STRAIGHT
SPINDLE SASH
COPPER ROOFING TO MATCH EXISTING

NEW PTG.
WOOD
WINDOW
TRAILER!
EXISTING I.T. WINDOWS
IN NEW LOCATION!

MATCH
NEW SASH
W/ EXISTING

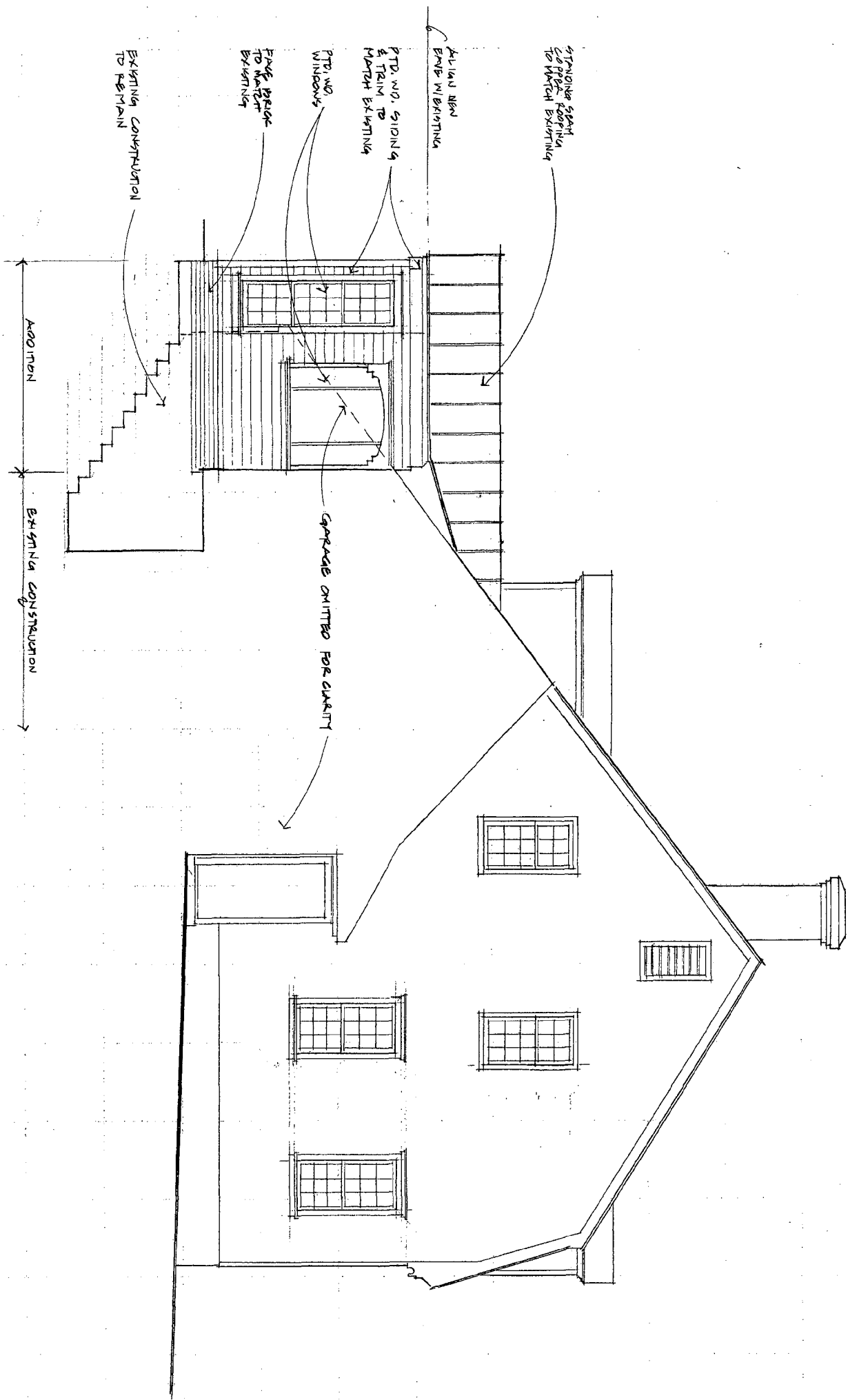
SOUTH ELEVATION
1/4" = 1'-0"

06.24

STILLMAN RESIDENCE
22 PRIMROSE STREET
CHLVY CHASE, MARYLAND 20815

MUSE ARCHITECTS
7401 Wisconsin Avenue
Bethesda, MD 20814
Phone 301.718.8118
Facsimile 301.718.8112

A.3
7HAR01



A-4

1/4" = 1'-0"

EAST ELEVATION

06.14

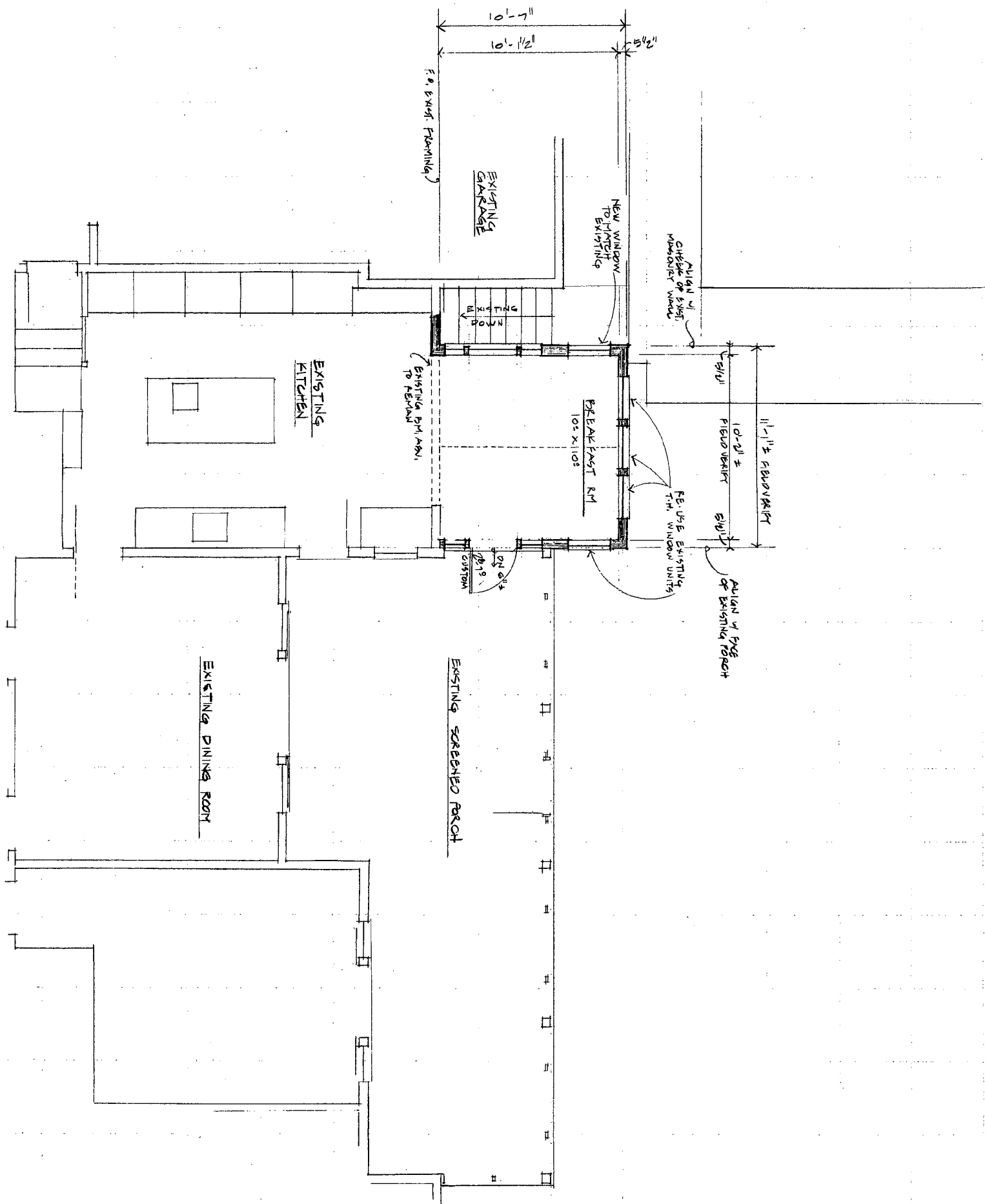
STILMAN RESIDENCE

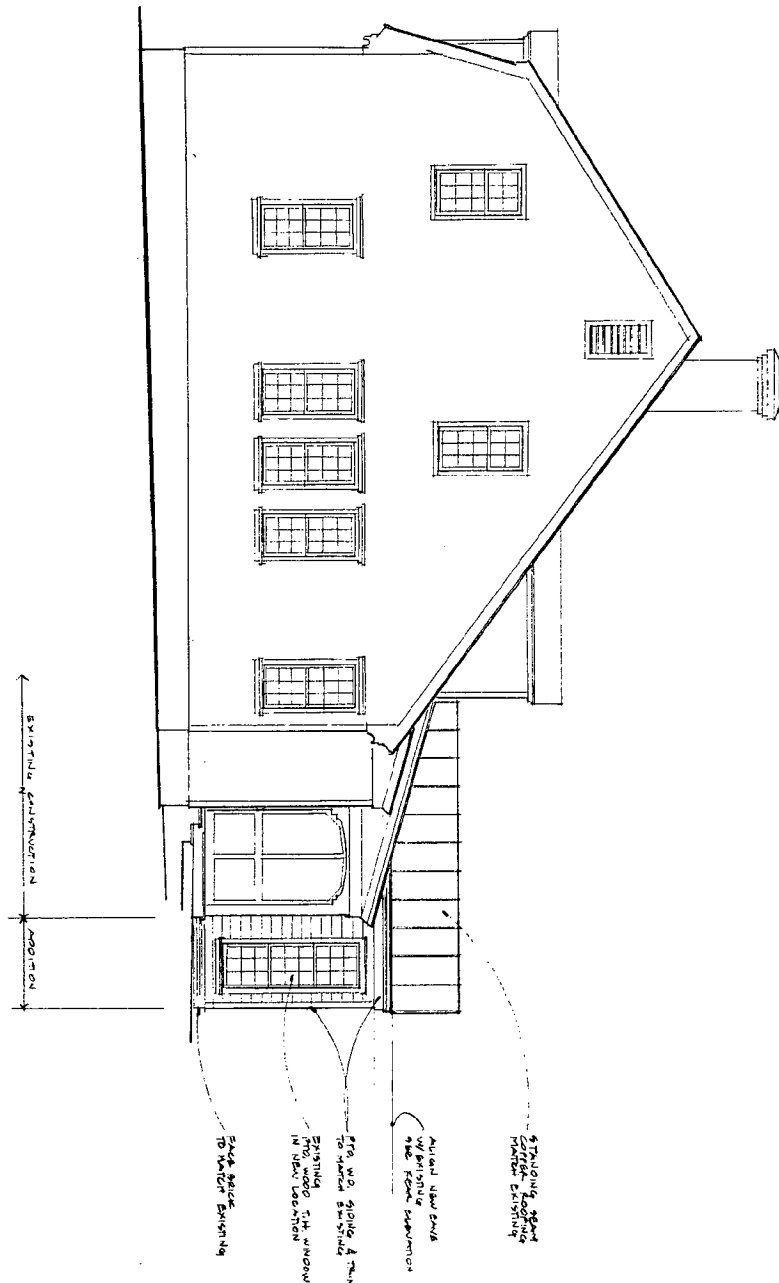
22 PRIMROSE STREET
CHEVY CHASE, MARYLAND 20815

MUSE ARCHITECTS

5630 Connecticut Avenue NW
Phone 202.966.6266

Washington DC 20015
Facsimile 202.966.9666





A.2	7 MAR 07	WEST ELEVATION	06.24	STILLMAN RESIDENCE 22 PALMROSE STREET CHEVY CHASE, MARYLAND 20815	MUSE ARCHITECTS 7401 Wisconsin Avenue Phone 301.718.8118	Bethesda, MD 20814 Facsimile 301.718.8112
		1/4" = 1'-0"				

