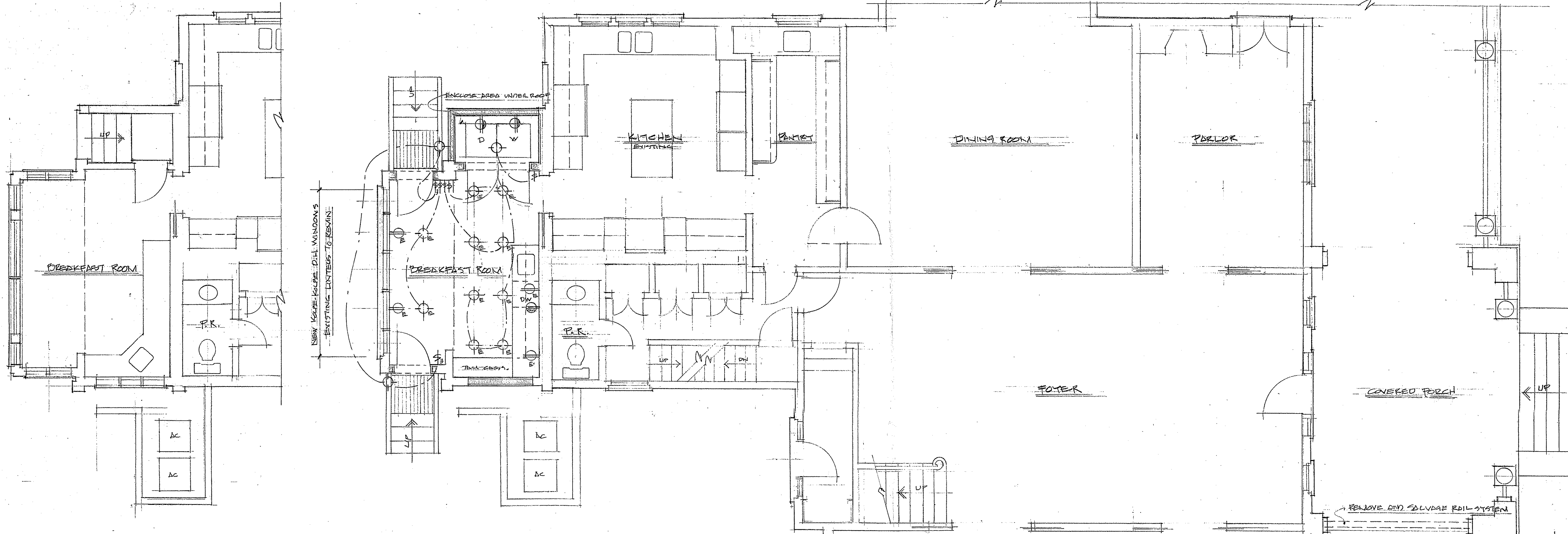
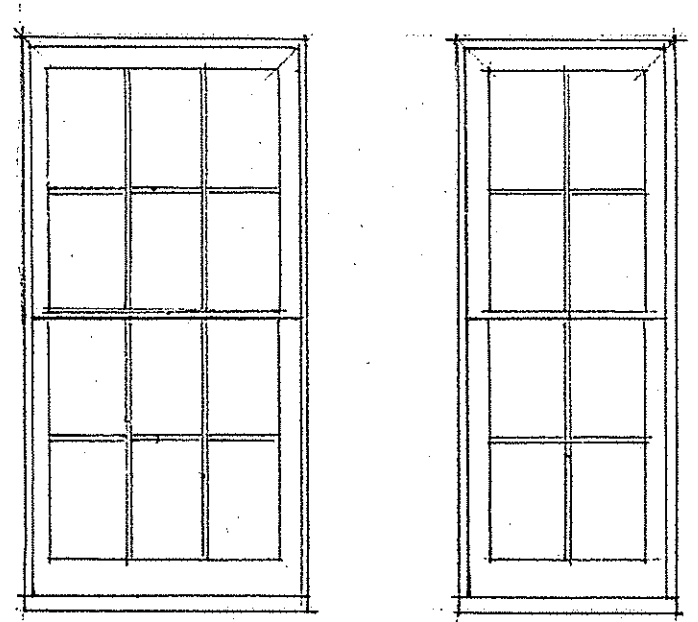


1 Quincy Street, Chevy Chase  
(APC Case No. 3513-08-I)  
Chevy Chase Village Historic District



WINDOW SCHEDULE



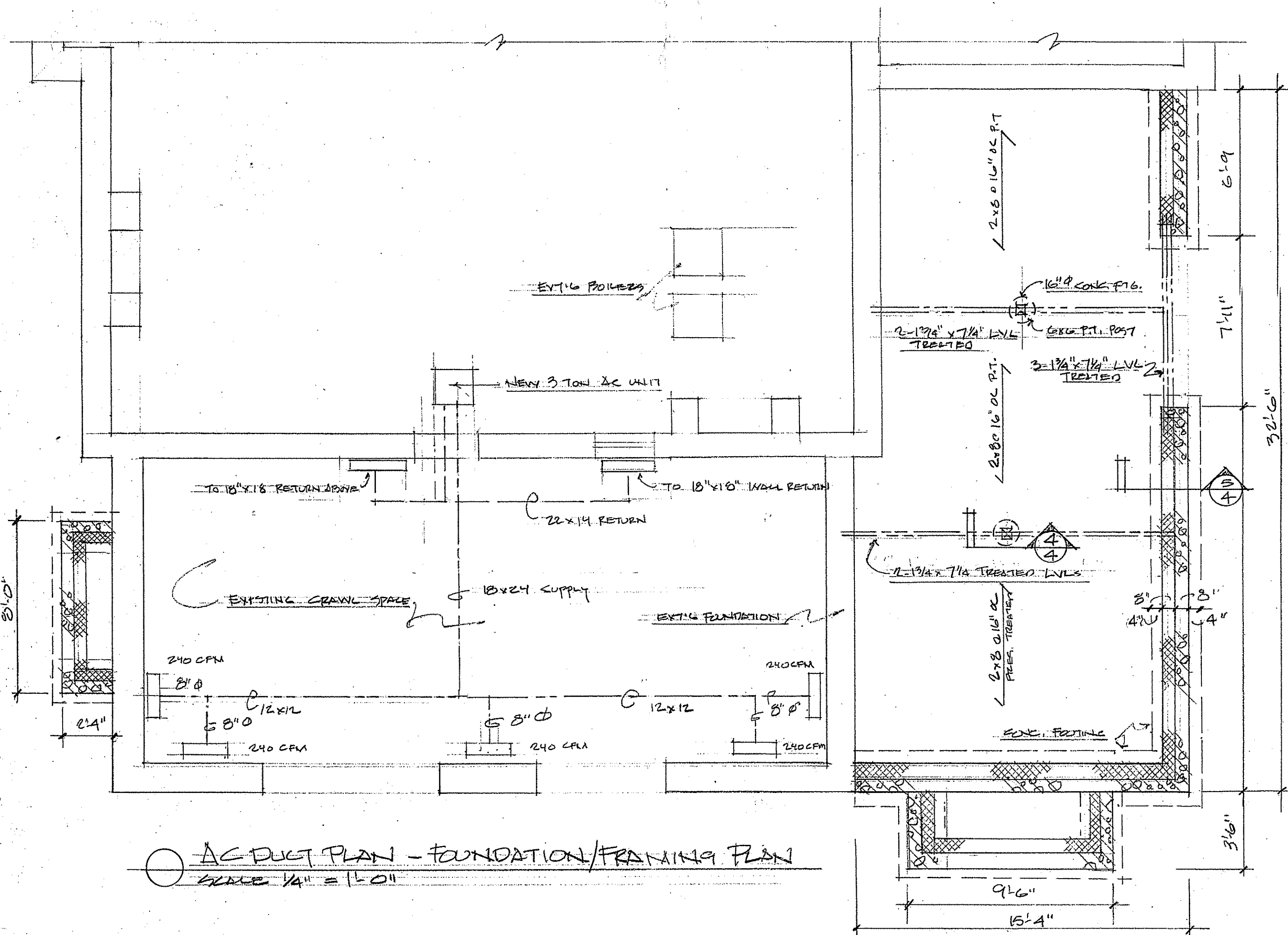
- KOLBE - KOLBE WINDOWS
- 1 1/2" SASH
- SINGLE K-PAN W/ 7/8" WIDE MUNTINS
- NO SASH LIFT
- OVAL GLAZING BEDD
- NON-LOW E INSULATING GLASS

SYMBOL SCHEDULE

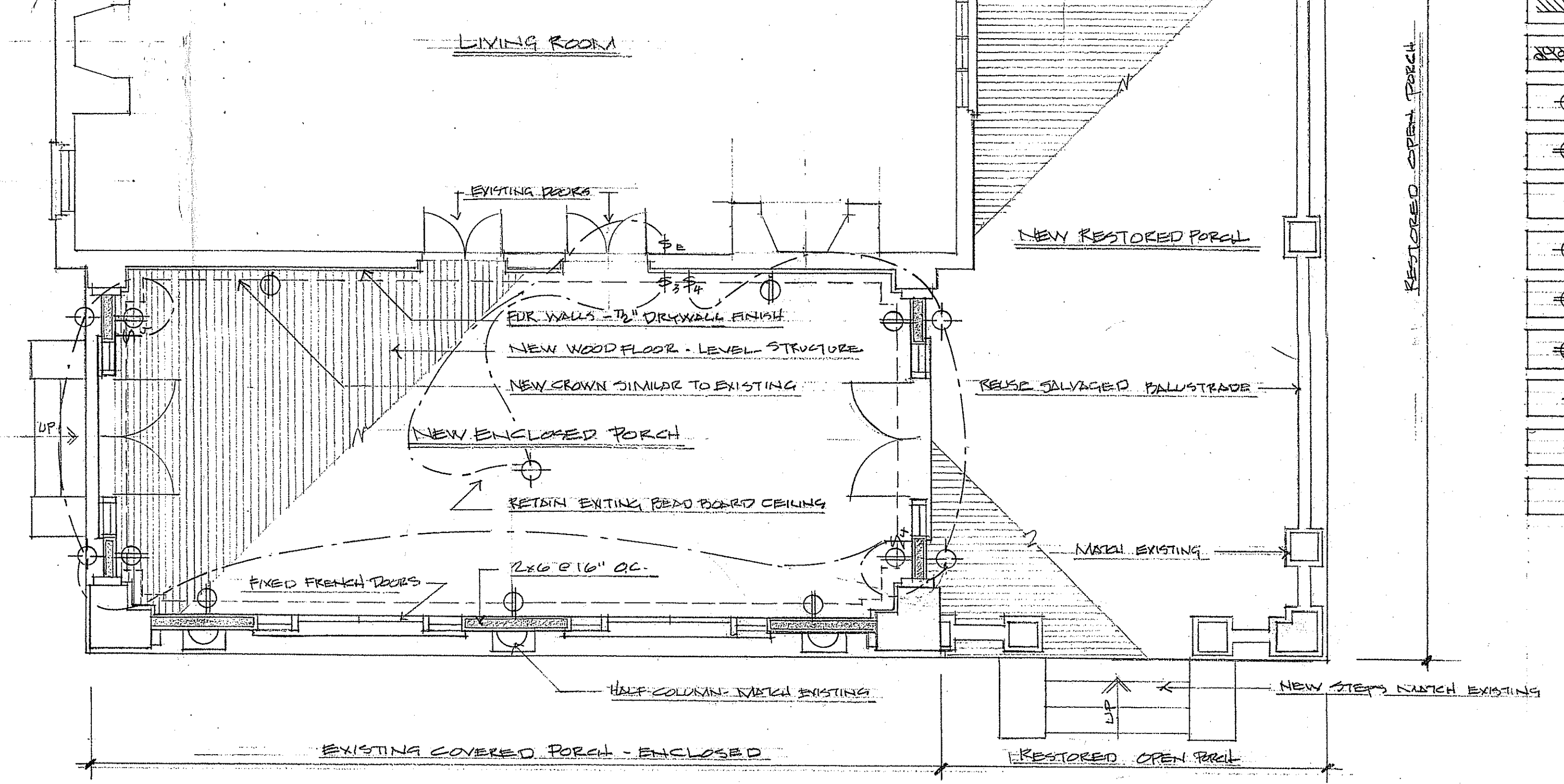
- [Solid Line] EXISTING CONSTRUCTION
- [Dashed Line] PARTITION TO BE REMOVED
- [Hatched Box] NEW PARTITION
- [Diagonal Lines] CONCRETE MASONRY UNIT (CMU)
- [Cross-hatched Box] STONE
- [Circle with 'E'] EXISTING LIGHT OUTLET
- [Circle with 'D'] EXISTING DUPLEX OUTLET
- [Circle with 'S'] EXISTING SWITCH
- [Circle with 'N'] NEW LIGHT OUTLET
- [Circle with 'ND'] NEW DUPLEX OUTLET
- [Circle with 'SP'] SPECIAL PURPOSE OUTLET
- [Circle with '1'] SINGLE POLE SWITCH
- [Circle with '3'] 3-WAY SWITCH
- [Circle with '4'] 4-WAY SWITCH

EXISTING BREAKFAST ROOM PLAN  
SCALE 1/4" = 1'-0"

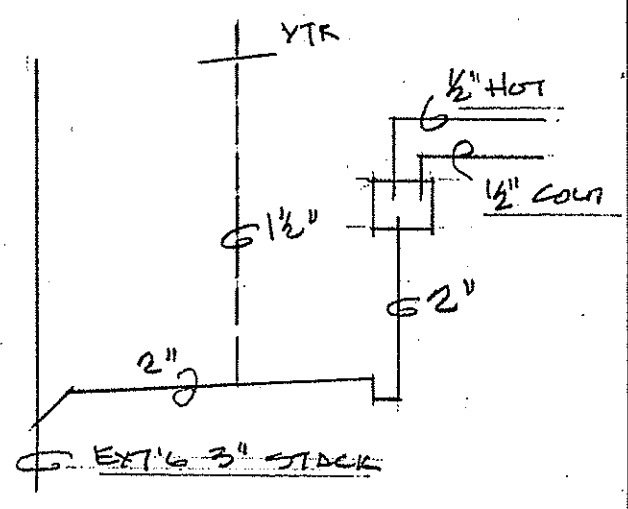
NEW BREAKFAST ROOM/LAUNDRY PLAN  
SCALE 1/4" = 1'-0"



AC DUCT PLAN - FOUNDATION/FRAMING PLAN  
SCALE 1/4" = 1'-0"

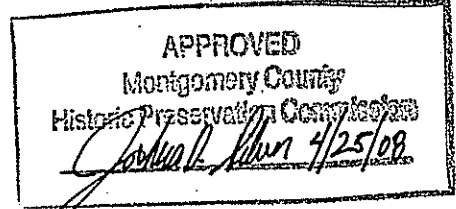


NEW PORCH AND DECK PLAN  
SCALE 1/4" = 1'-0"



PLUMBING RISER DIA.  
N.T.S.

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



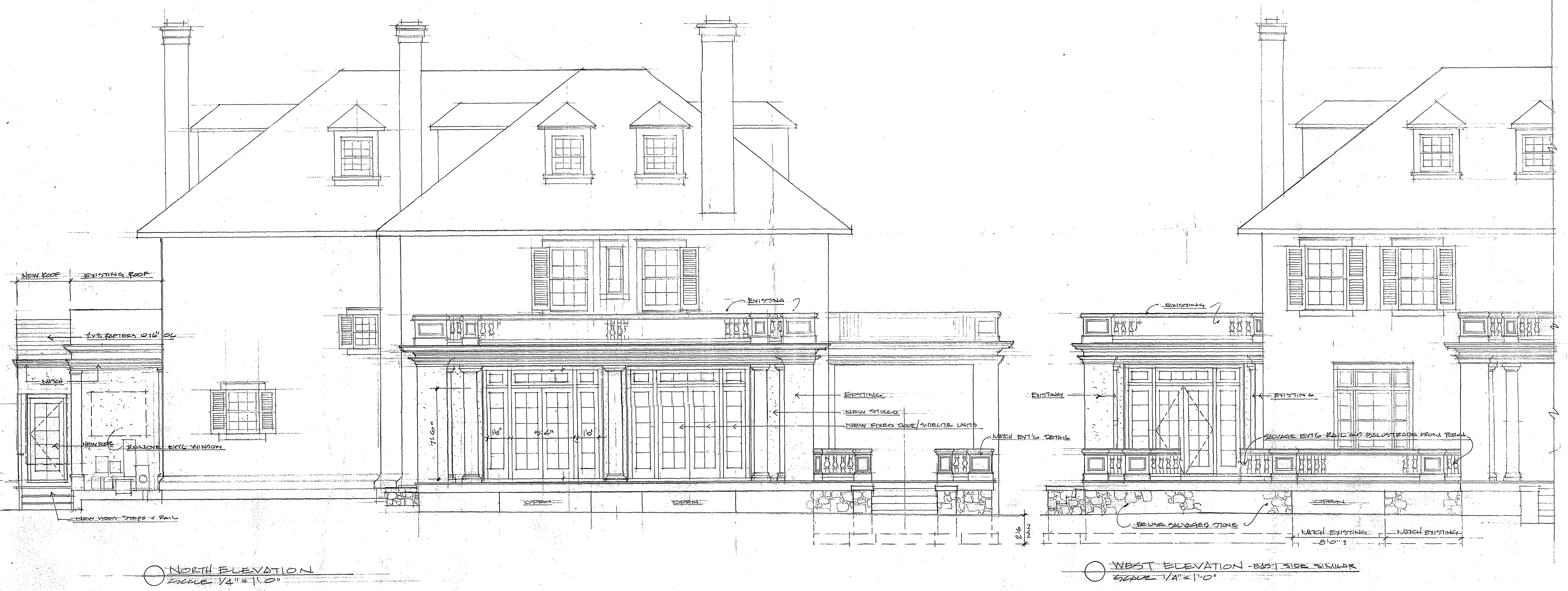
G. MORRIS STEINBRAKER & SON, INC.  
GENERAL CONTRACTORS

3207 GRACE STREET, N.W.  
WASHINGTON, D.C. 20007

(202) 333-1790

CLIENT	B.F. SAUL RESIDENCE	DATE	7-10-07	SHEET	1
	#1 QUINCY STREET CHEVY CHASE, MARYLAND	SCALE	1/4" = 1'-0"		
TITLE	PORCH RESTORATION & PORCH ENCLOSURES	REV.	2-11-08 3-25-08	OF 4	





This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 4/25/08

**G. MORRIS STEINBRAKER & SON, INC.**  
GENERAL CONTRACTORS

3207 GRACE STREET, N.W.  
WASHINGTON, D.C. 20007

(202) 333-1790

CLIENT	SALL RESIDENCE	DATE	7.10.07
	#1 CRUNCY ST. CHEV CHASE	SCALE	1/4" = 1'-0"
TITLE	PORCH RESTORATION	REV.	10.12.07
	PORCH ENCLOSURES		10.17.07 2.11.08 3.22.08

SHEET  
**2**  
OF 3



○ EAST ELEVATION  
SCALE 1/4" = 1'-0"

○ SOUTH ELEVATION  
SCALE 1/4" = 1'-0"

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 10/11/07

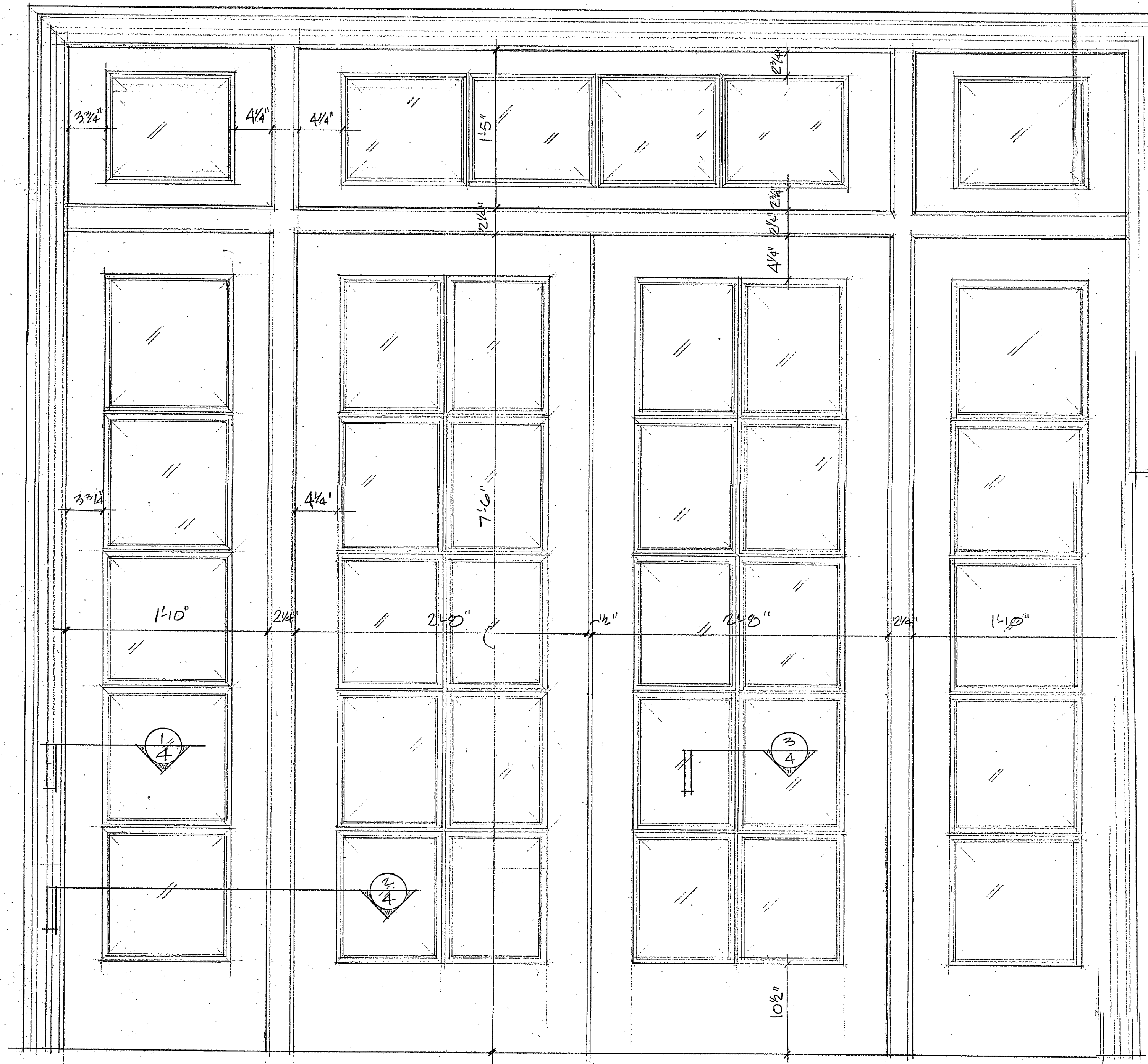
**G. MORRIS STEINBRAKER & SON, INC.**  
GENERAL CONTRACTORS

3207 GRACE STREET, N.W.  
WASHINGTON, D.C. 20007

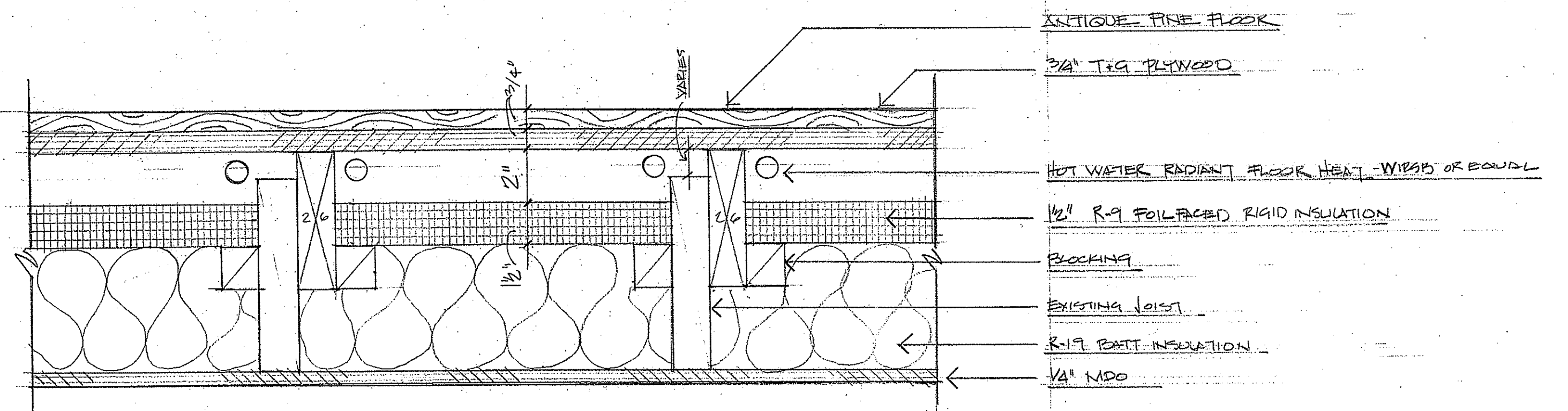
(202) 333-1790

CLIENT	B.F. SAUL RESIDENCE	DATE	10/11/07	SHEET	3
	#1 QUINCY STREET CHEVY CHASE, MD	SCALE	1/4" = 1'-0"		
TITLE	PORCH RESTORATION &	REV.	10/11/07	OF 3	
	PORCH ENCLOSURES	DATE	3/25/08		

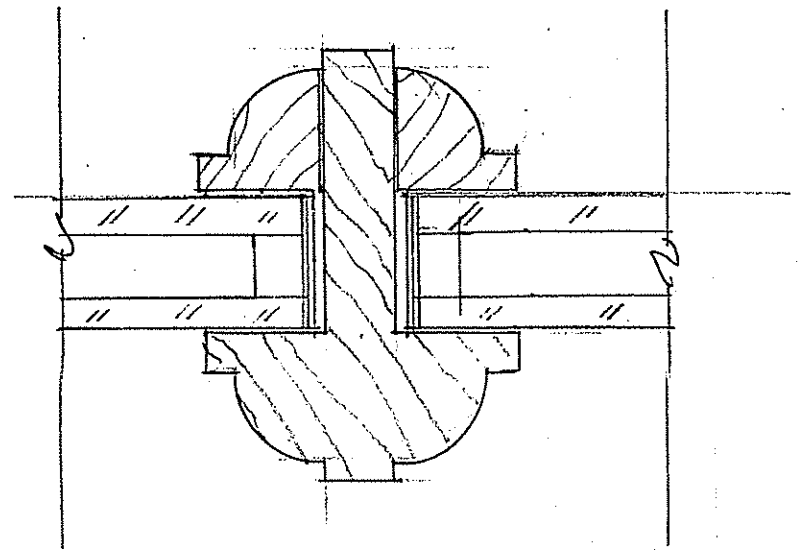




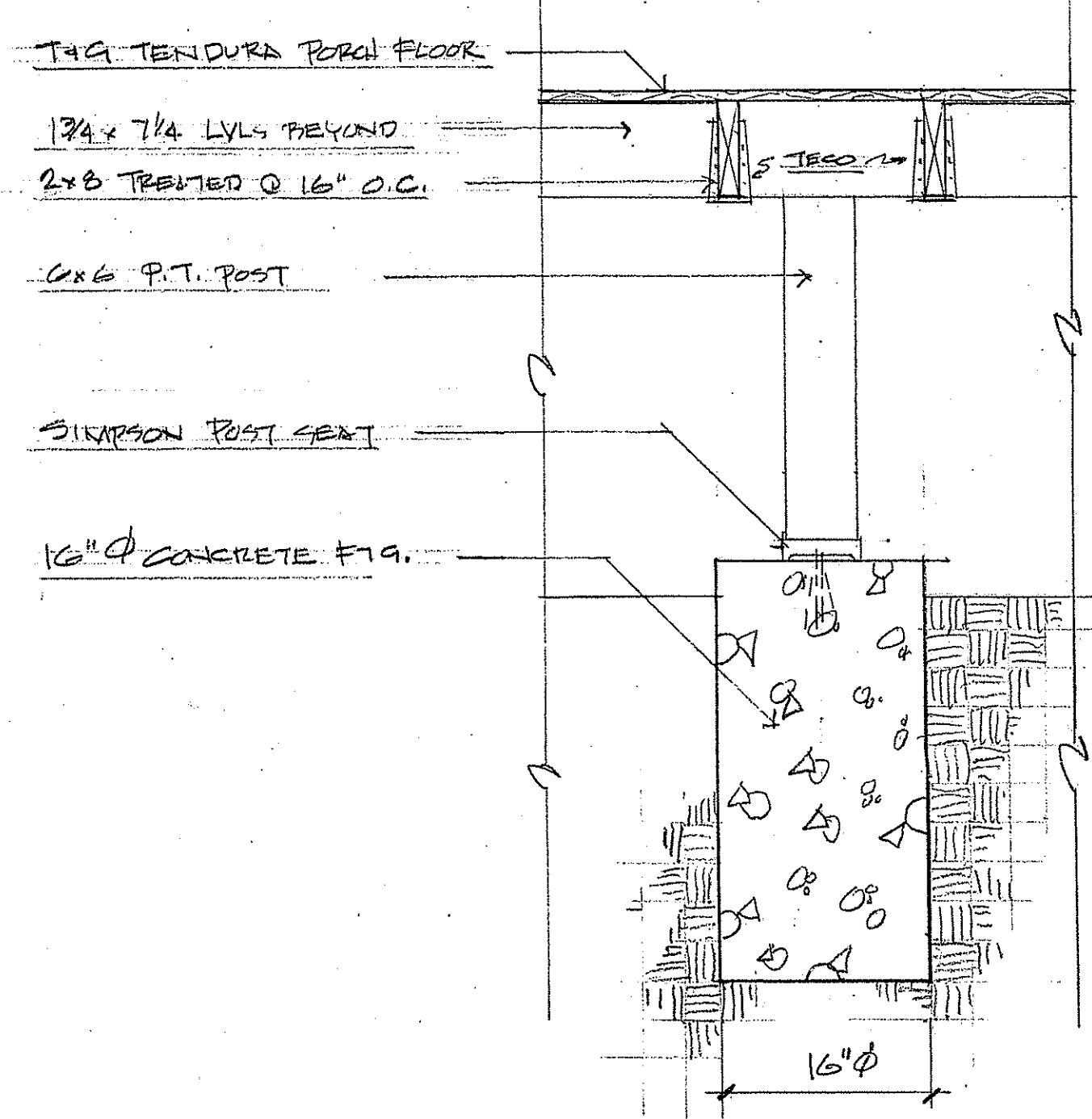
1 DOOR/SIDEWALL ELEVATION  
SCALE 1/8" = 1'-0"



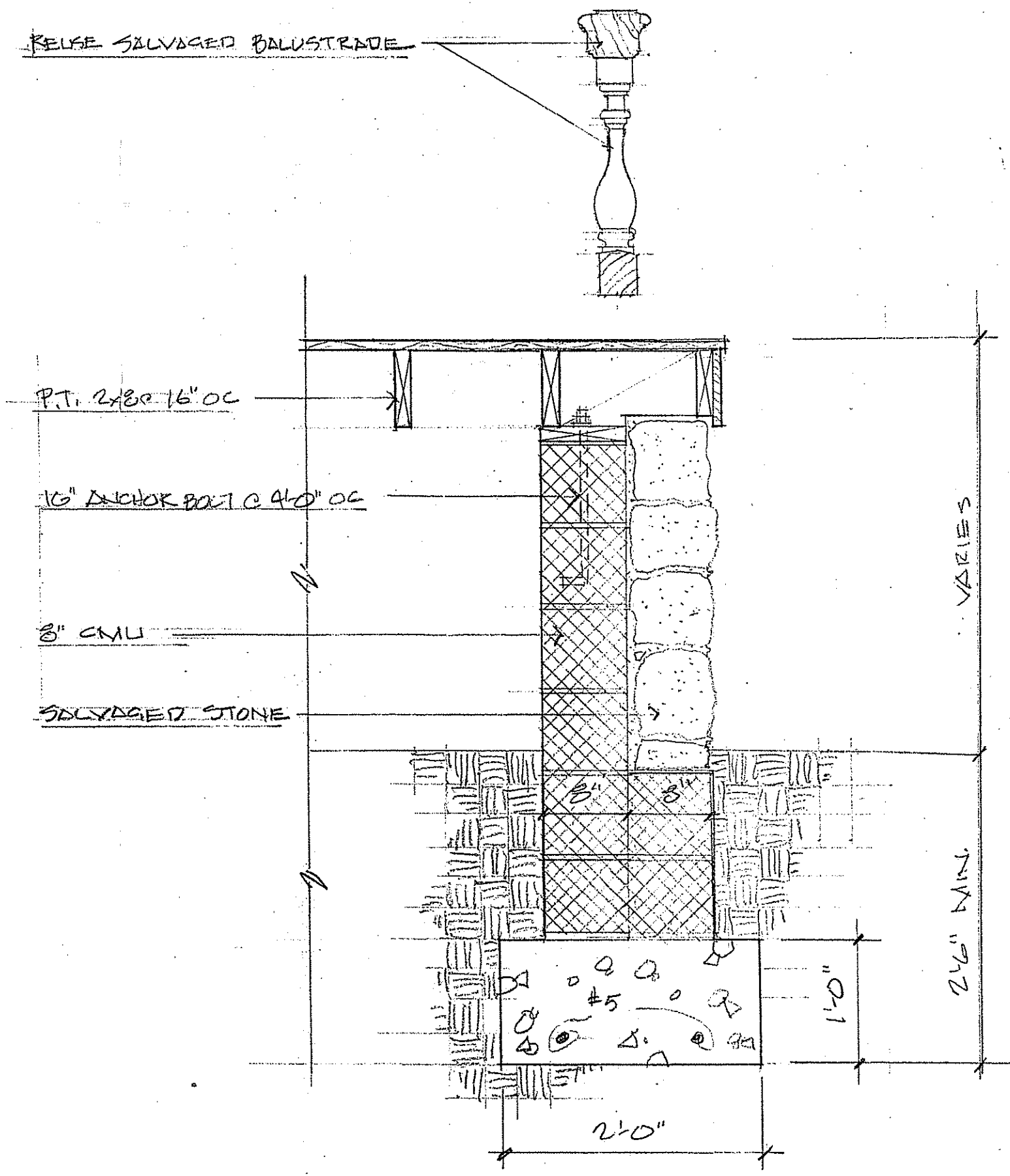
2 SECTION @ ENCLOSED PORCH FLOOR  
SCALE 3/8" = 1'-0"



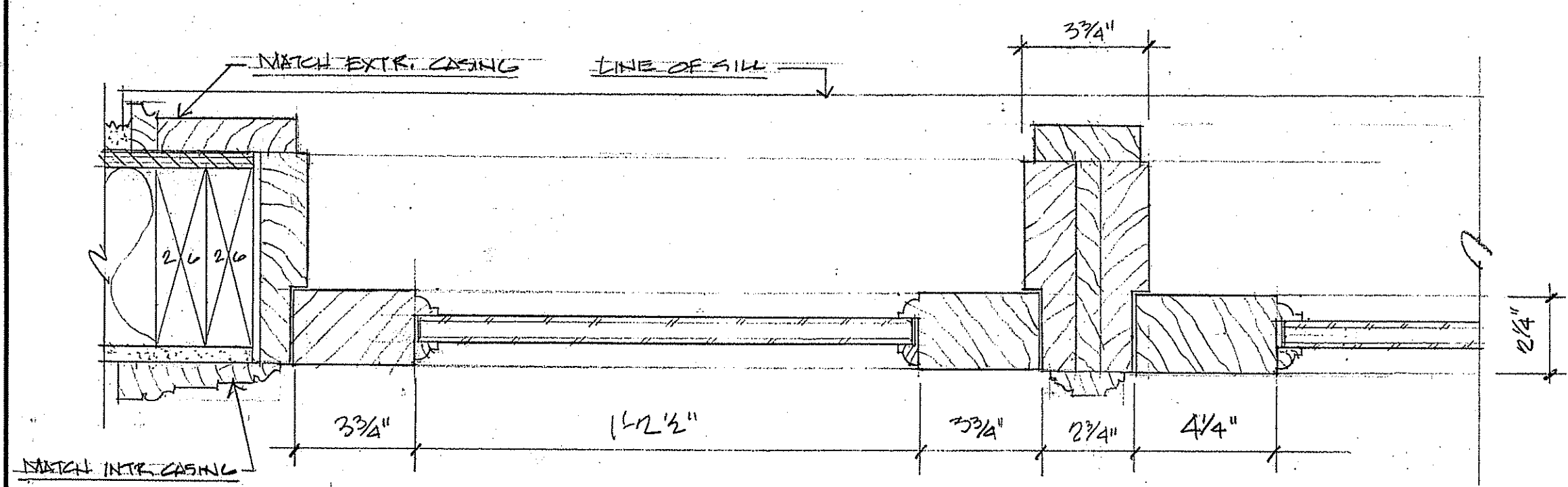
3 SECTION  
SCALE FULL SIZE



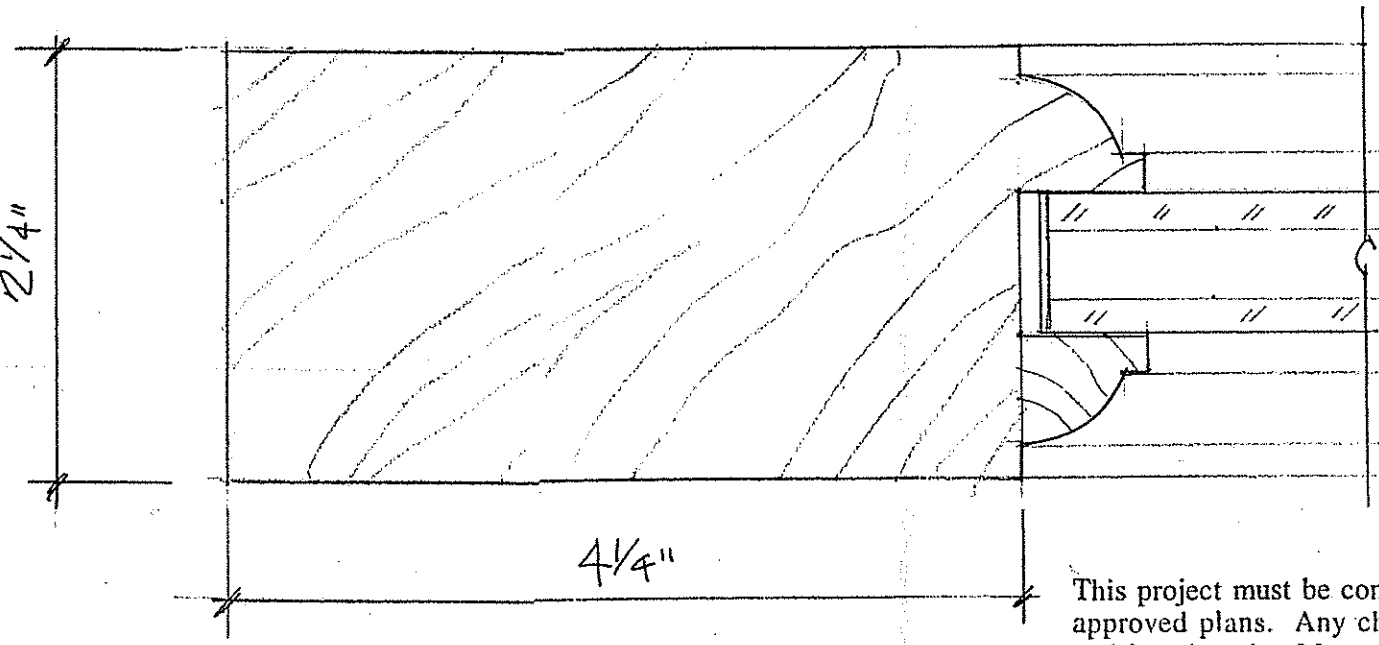
4 SECTION  
SCALE 1" = 1'-0"



5 SECTION  
SCALE 1" = 1'-0"

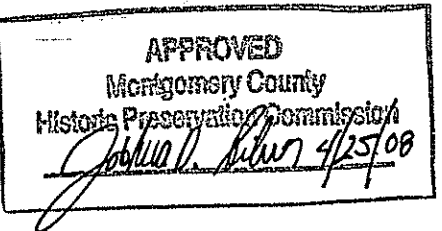


2 SECTION  
SCALE 3/8" = 1'-0"



4 SECTION  
SCALE FULL SIZE

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



G. MORRIS STEINBRAKER & SON, INC.  
GENERAL CONTRACTORS

3207 GRACE STREET, N.W.  
WASHINGTON, D.C. 20007

(202) 333-1790

CLIENT	DE SAUL RESIDENCE #1 QUINCY STREET CHEST CHASE, MARYLAND	DATE	3.28.08	SHEET <b>4</b> OF 4
TITLE	PORCH RESTORATION & PORCH ENCLOSURES	SCALE	AS NOTED	
		REV.	3.25.08	



## HISTORIC PRESERVATION COMMISSION


Isiah Leggett  
County Executive

Jef Fuller  
Chairperson

Date: April 24, 2008

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Joshua Silver, Senior Planner   
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #481563, side porch enclosure, porch reconstruction and other alterations

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the April 23, 2008 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: B. Frank Saul

Address: 1 Quincy Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: David Steinbraker

Daytime Phone No.: 202 333 1790

Fee Account No.: \_\_\_\_\_

Name of Property Owner: B. Frank Saul Daytime Phone No.: 301 652 2633

Address: #1 Quincy St. Chevy Chase Md. 20825  
Street Number City State Zip Code

Contractor: G. Morris Steinbraker & Son, Inc Phone No.: 202 333 1790

Contractor Registration No.: 2357

Agent for Owner: G. David Steinbraker Daytime Phone No.: 202 333 1790

**LOCATION OF BUILDING/PREMISE**

House Number: #1 Quincy St. Street: Quincy

Town/City: Chevy Chase Nearest Cross Street: Connecticut Ave.

Lot: 37 Block: 61 Subdivision: Chevy Chase Sec.2

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

**1A. CHECK ALL APPLICABLE:**

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Demolish
- Revision
- Repair
- Revoke/Cancel

**CHECK ALL APPLICABLE:**

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 200,000.00

1C. If this is a revision of a previously approved active permit, see Permit # n/a

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height: \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David Steinbraker  
Signature of Owner or Authorized Agent

4/1/08  
Date

Approved: \_\_\_\_\_  
Signature of \_\_\_\_\_  
Title: Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_  
Signature of \_\_\_\_\_  
Title: \_\_\_\_\_

Application/Permit No.: 181563 Date Issued: 4/25/08

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

LARGE SINGLE FAMILY DWELLING ON LARGE  
TILED FLOOR LOT. HOUSE NAMED "DOLBA" IS  
SET WELL BACK FROM COMM. AVE.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ENCLOSED EXISTING NORTH SIDE OPEN PORCH, SALVAGING  
EXISTING BALUSTRADE FOR REUSE ON PROPOSED NEW RESTORED  
DECK. MATCH EXISTING COLUMN DETAILS AND INSTALL AS  
HALF COLUMNS. CONSTRUCT / RESTORE OPEN DECK AT  
WEST SIDE EXTENDING EXISTING PORCH DECK. REUSE  
SALVAGED BALUSTRADE

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the crown of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the site, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which abut the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	1 Quincy Street, Chevy Chase	<b>Meeting Date:</b>	4/23/2008
<b>Resource:</b>	Outstanding Resource Chevy Chase Village Historic District	<b>Report Date:</b>	4/16/2008
<b>Applicant:</b>	B. Frank Saul (David Steinbraker, Agent)	<b>Public Notice:</b>	4/9/2008
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	35/13-08I	<b>Staff:</b>	Josh Silver
<b>PROPOSAL:</b>	Side porch enclosure, porch reconstruction and other alterations		

**STAFF RECOMMENDATION:**

Staff is recommending that the HPC approve this HAWP application.

**BACKGROUND:**

On March 12, 2008 the HPC reviewed this proposal as a Preliminary Consultation for reconstruction of the front porch, enclosure of the side porch and minor modifications to the existing contemporary rear addition. This proposal is identical to the one submitted for the Preliminary Consultation which the HPC generally supported. (See attached transcript on Circle 17)

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource within the Chevy Chase Village Historic District  
**STYLE:** Colonial Revival/Craftsman  
**DATE:** c.1909

The subject house is a five bay, 2 ½ -story, cross hipped roof, Colonial Revival/Craftsman dwelling. The house contains a stucco finish on both stories, and is sheathed with a slate roof. The house contains casement windows on the 1<sup>st</sup> story and is detailed with 6/6 double-hung windows on the 2<sup>nd</sup> story.

**HISTORIC CONTEXT**

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

**PROPOSAL:**

The applicant is proposing to:

- Restore an original open style front porch at the subject property. The proposed design is based on a historic photo provided by the applicant that documents an open style porch once existed at the property
- Enclose an existing open style covered porch on the north elevation of the house
- Reconfigure and extend the existing non-historic rear addition to accommodate a new interior space program. The exterior changes that will result from this project include the enclosure of the existing stairs and landing, construction of two side loading stair units, and the removal of one non-historic window on the north elevation and two non-historic picture windows with sidelights on the east elevation. This project also includes the installation of new double-hung wooden windows, and a gable roof.

**APPLICABLE GUIDELINES:**

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior’s Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

***Chevy Chase Village Historic District Master Plan***

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed. Strict scrutiny should be applied to additions above existing front porches.

#### **Montgomery County Code; Chapter 24A**

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

#### ***Secretary of the Interior's Standards for Rehabilitation***

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### **STAFF DISCUSSION**

The *Guidelines* state porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed. Strict scrutiny should be applied to additions above existing front porches.

#### **Side porch enclosure**

Although the side porch is visible from the public right-of-way, the considerable setback of the house and expansive front yard help mitigate any impact the proposed alterations would have on streetscape of the historic district. The proposal is consistent with the *Guidelines* for a side porch enclosure to an outstanding resource in the Chevy Chase Village Historic District. The design for the side porch enclosure



is sympathetic to the style of the house, and will have little or no adverse impact on the character of the house or historic district. The installation of operable and fixed French doors with sidelights provides transparency and the retention of the existing balustrade, cornice and pebble dash stucco support columns preserves the structural composition of the original open porch style for the possibility of future reconstruction. Staff supports the use of true divided light doors for the proposed side porch enclosure.

#### **Front porch restoration**

Staff commends the applicant for restoring the open style porch at the front of the house. The proposed restoration is based on a historic photo and is consistent with the original front porch style. The reuse of the railing and balustrade from the proposed side porch enclosure and existing front porch of the house and salvaged stone from a gate on the property will allow the restored porch to read with a high level of historical accuracy. Staff reminds the applicant to follow the historical documentation closely to ensure the restoration is done accurately.

#### **Rear addition reconfiguration/extension**

Staff supports the proposed reconfiguration and extension of the existing non-historic rear addition. The proposed work is confined to the rear of the house and will have no adverse impact to the historic massing. The proposed construction of two new wooden side loading stair units and the installation of wooden simulated divided light windows and doors are appropriate treatments for a contemporary rear addition.

#### **STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



STATE OF MARYLAND DEPARTMENT OF PERMITTING SERVICES  
 227 WEST ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
 (410) 777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
 301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: David Steinbraker

Daytime Phone No.: 202 333 1790

Ins. Account No.: \_\_\_\_\_

Name of Property Owner: B. Frank Saul Daytime Phone No.: 301 652 2633

Address: #1 Quincy St. Chevy Chase Md. 20825  
Street Number City State Zip Code

Contractor: G. Morris Steinbraker & Son, Inc Phone No.: 202 333 1790

Contractor Registration No.: 2357

Agent for Owner: G. David Steinbraker Daytime Phone No.: 202 333 1790

**LOCATION OF BUILDING/PREMISE**

House Number: #1 Quincy St. Street: Quincy

Town/City: Chevy Chase Nearest Cross Street: Connecticut Ave.

Lot: 37 Block: 61 Subdivision: Chevy Chase Sec. 2

Libel: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

**1A. CHECK ALL APPLICABLE:**

**CHECK ALL APPLICABLE:**

- |                                    |                                  |  |  |                                    |  |  |  |                               |
|------------------------------------|----------------------------------|--|--|------------------------------------|--|--|--|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC                              | <input type="checkbox"/> Slab      | <input type="checkbox"/> Room Addition     | <input type="checkbox"/> Porch         | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move      | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Demol               | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family |  |                               |
| <input type="checkbox"/> Revision  | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) |                                    | <input type="checkbox"/> Other: _____      |  |  |                               |

1B. Construction cost estimate: \$ 200,000.00

1C. If this is a revision of a previously approved active permit, see Permit # n/a

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_
- 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height: \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
 Signature of Owner or Authorized Agent

4/1/08  
 Date

Approved: \_\_\_\_\_ For: Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No. 481563 (Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_)

Lot: 00000

**SEE REVERSE SIDE FOR INSTRUCTIONS**

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

LARGE SINGLE FAMILY DWELLING ON LARGE  
TREE FILLED LOT. HOUSE NAMED "DUDLEY" IS  
SET WELL BACK FROM COMM. AVE.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ENCLOSED EXISTING NORTH SIDE OPEN PORCH, SALVAGING  
EXISTING BALUSTRADE FOR REUSE ON PROPOSED NEW RESIDUAL  
DECK. MATCH EXISTING COLUMN DETAILS AND INSTALL AS  
HALF COLUMNS. CONSTRUCT / RESTORE OPEN DECK AT  
WEST SIDE EXTENDING EXISTING PORCH DECK. REUSE  
SALVAGED BALUSTRADES

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the crown of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the site, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which abut the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

#1 Quincy Street  
Chevy Chase, Md. 20825

**Owner's Agent's mailing address**

3207 Grace Street, N.W.  
Washington D.C. 20007

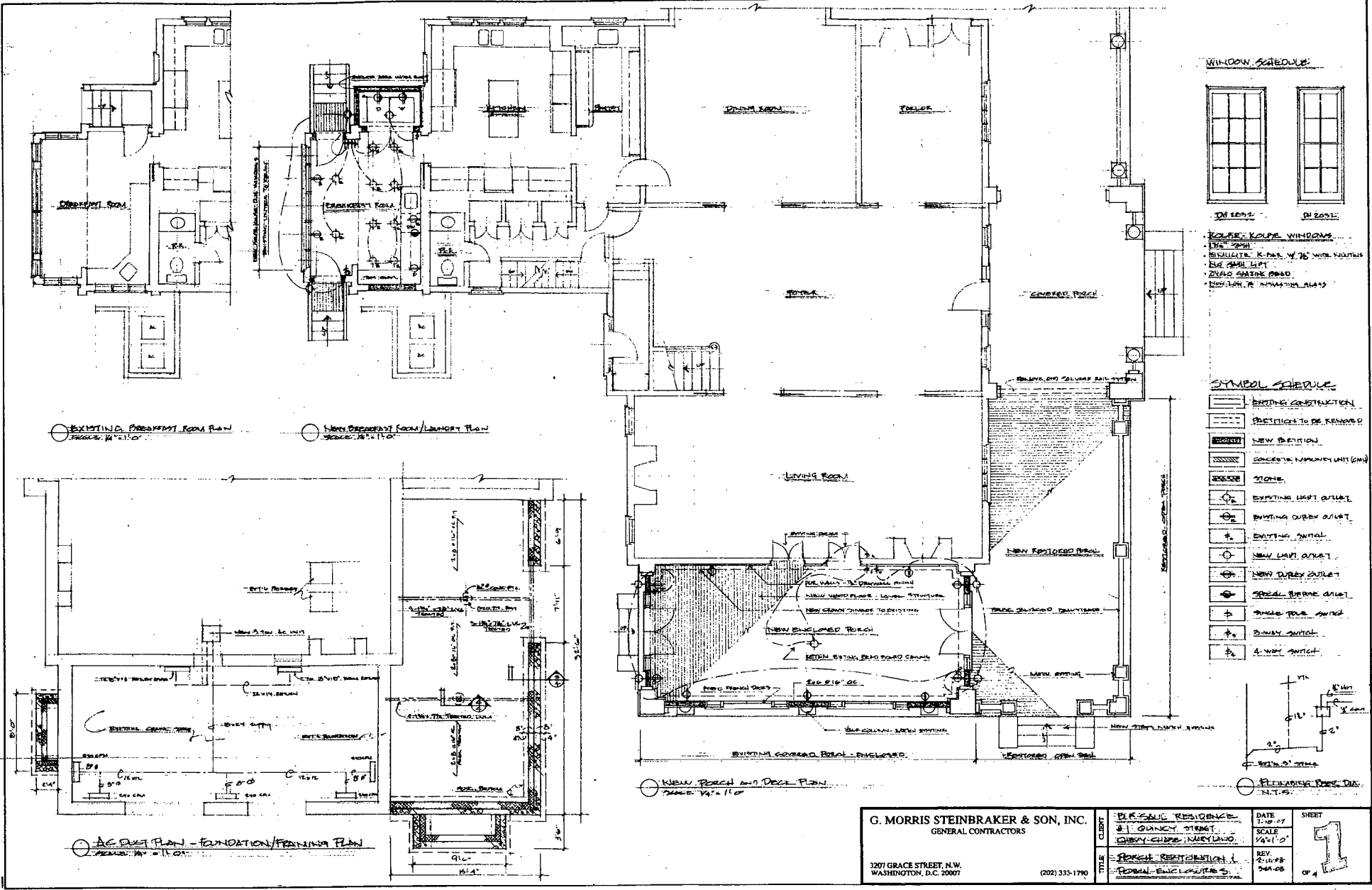
**Adjacent and confronting Property Owners mailing addresses**

Stephen & Kristen Best  
3810 Bradley Lane  
Chevy Chase, Md. 20825

Dr. Thomas Jarrett  
Ms MimiBurke  
#3 Quincy Street  
Chevy Chase, Md. 20825

Chevy Chase Club  
Luke O'Boyle  
6100 Connecticut Ave.  
Chevy Chase, Md. 20825





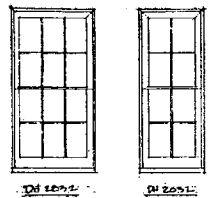
EXISTING PRESIDENT ROOM PLAN  
SCALE: 1/4" = 1'-0"

NEW PRESIDENT ROOM/LAUNDRY PLAN  
SCALE: 1/4" = 1'-0"

AC DUCT PLAN - FOUNDATION/FINISHING PLAN  
SCALE: 1/4" = 1'-0"

NEW PORCH AND DECK PLAN  
SCALE: 1/4" = 1'-0"

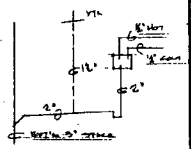
WINDOW SCHEDULE



ROSE ROUSE WINDOWS  
 1/2" DOUBLE  
 RESISTANT K-FRAM. W/ 7/8" WIND NOISES  
 1/2" AIR LIFT  
 2" X 4" CHASE BOARD  
 1" MIN. 1/4" MINIMUM AIR GAP

SYMBOL SCHEDULE

- [Hatched Box] EXISTING CONSTRUCTION
- [Dotted Box] PORTIONS TO BE REMOVED
- [Solid Box] NEW DETENTION
- [Hatched Box] CONCRETE MASONRY UNIT (CMU)
- [Hatched Box] STONE
- [Circle with Arrow] EXISTING LIGHT OUTLET
- [Circle with Arrow] EXISTING CURBY OUTLET
- [Circle with Arrow] EXISTING SWITC.
- [Circle with Arrow] NEW LIGHT OUTLET
- [Circle with Arrow] NEW CURBY OUTLET
- [Circle with Arrow] SPECIAL SURFACE OUTLET
- [Circle with Arrow] SINGLE POLE SWITCH
- [Circle with Arrow] DOUBLE SWITCH
- [Circle with Arrow] 4-WAY SWITCH



REMARKING: REFER TO DRAWING

<b>G. MORRIS STEINBRAKER &amp; SON, INC.</b> GENERAL CONTRACTORS 1207 GRACE STREET, N.W. WASHINGTON, D.C. 20007 (202) 333-1790		CLIENT: <b>BLISSFUL RESIDENCE</b> 21 QUINCY STREET QUINCY, CALIF. 94705 DESIGNER: <b>ROBERT REISTERER &amp; ROBERT ENGLISH INC.</b>	DATE: 1-10-07 SCALE: 1/4" = 1'-0" REV: 1-10-07 204-05	SHEET <b>1</b> OF 4
--	--	--	--	---------------------------

6



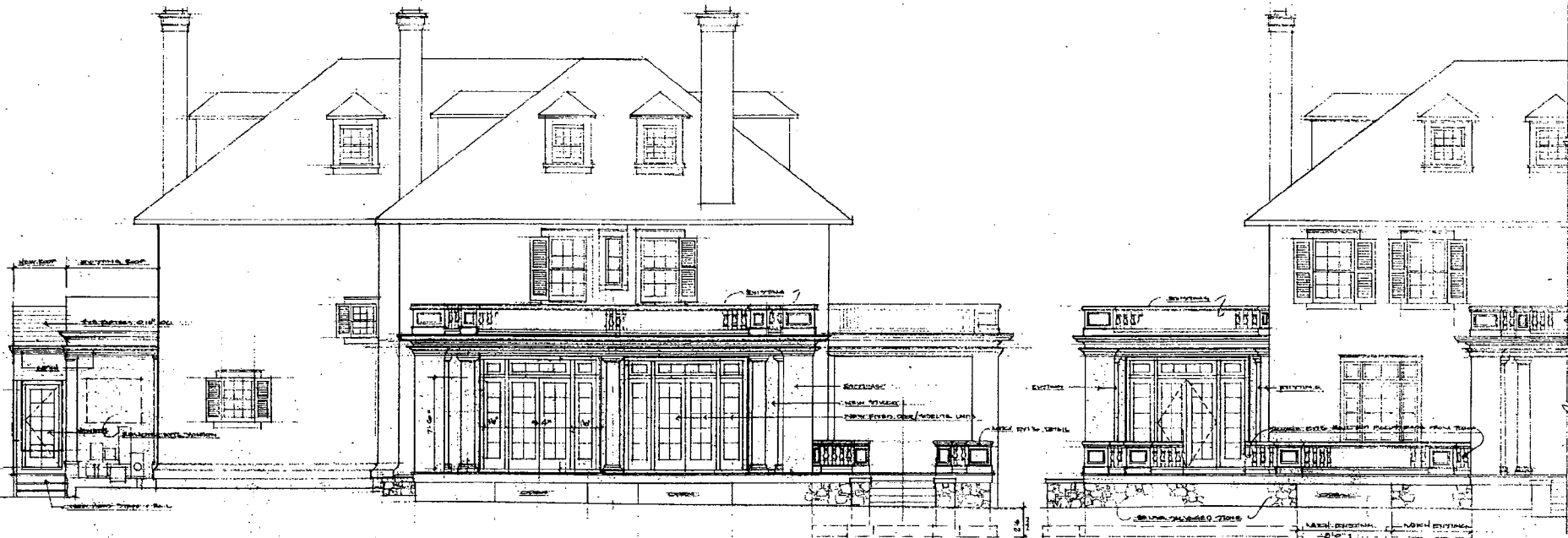


○ FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

○ SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

<b>G. MORRIS STEINBRAKER &amp; SON, INC.</b> GENERAL CONTRACTORS  3207 GRACE STREET, N.W. WASHINGTON, D.C. 20007 (202) 333-1790		CLIENT <b>D. R. SANE, KENNEDY</b> 4100 QUINCY STREET SUDY CREEK, MD	DATE 12/29/2011 SCALE 1/4" = 1'-0"	SHEET <b>3</b> OF 3
TITLE <b>PORCH RESTORATION</b> <b>PORCH ENCLOSURE</b>		REV. 001 OF 01 1.28.11		

10



○ NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

○ WEST ELEVATION - BEST SIDE VIEW  
SCALE: 1/4" = 1'-0"

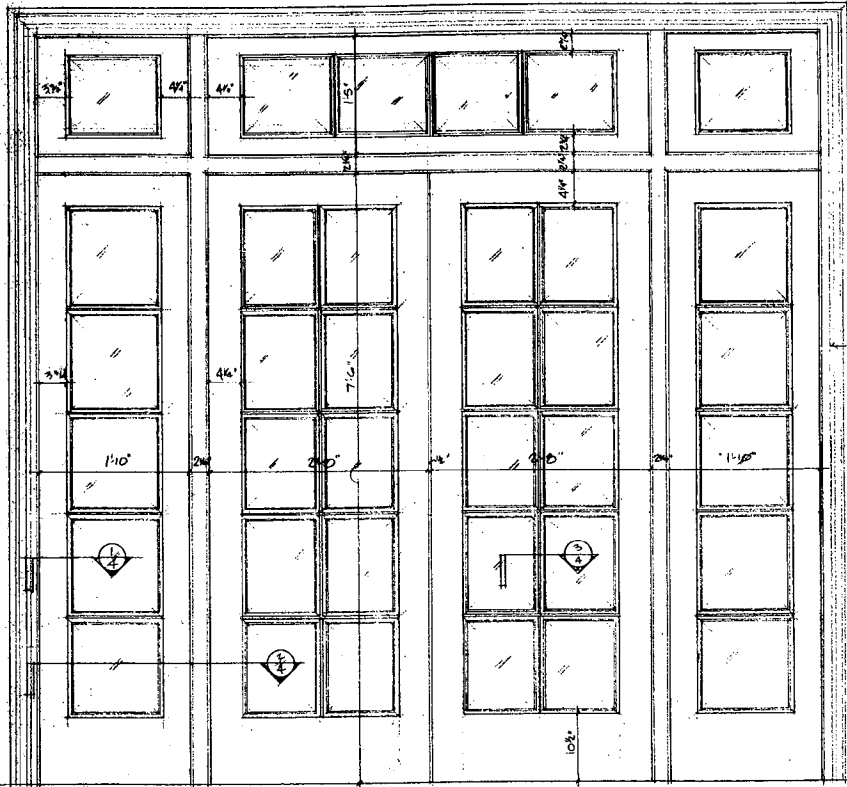
G. MORRIS STEINBRAKER & SON, INC.  
GENERAL CONTRACTORS

3207 GRACE STREET, N.W.  
WASHINGTON, D.C. 20007

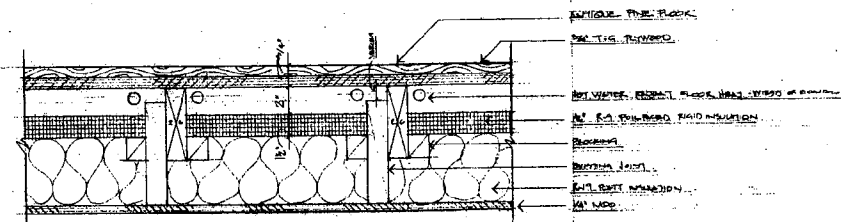
(202) 333-1790

TITLE	CLIENT	DATE	SHEET
FRONT RESTORATION I.	SKUL RESIDENCE	7-10-07	2 OF 3
FRONT ENCLOSURE	J. GANNY STEINBRAKER	SCALE 1/4" = 1'-0"	
		REV 10-11-07	
		REV 10-17-07	

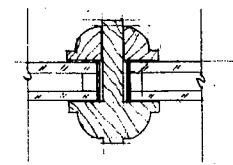
11



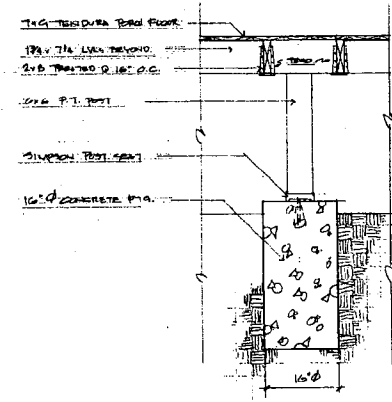
1 DOOR/SIDEWALL ELEVATION  
SCALE 1/2" = 1'-0"



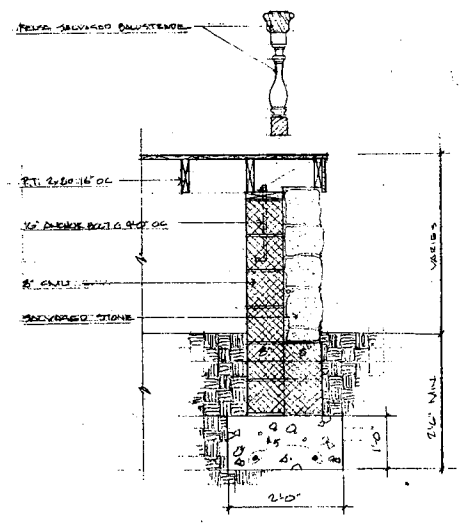
1 SECTION 1 ENCLOSED PORCH FLOOR  
SCALE 3/4" = 1'-0"



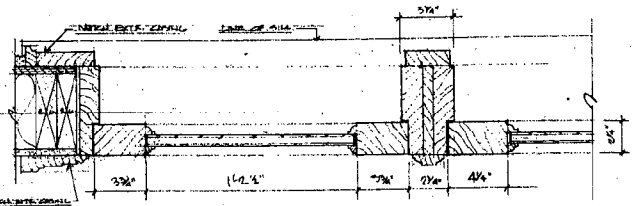
2 SECTION 2 SCALE FULL SIZE



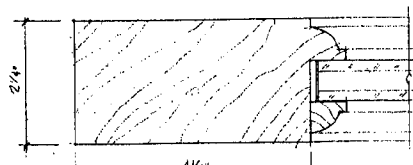
3 SECTION 3 SCALE 1/2" = 1'-0"



4 SECTION 4 SCALE 1/2" = 1'-0"



5 SECTION 5 SCALE 3/4" = 1'-0"



6 SECTION 6 SCALE FULL SIZE

G. MORRIS STEINBRAKER & SON, INC. GENERAL CONTRACTORS		TITLE	CLIENT	DATE	SHEET
3207 GRACE STREET N.W. WASHINGTON, D.C. 20007		DE SAUL RESIDENCE	#1 COLLINGWOOD STREET CHESTNUT HILLS, WASHINGTON	2/20/00	4
(202) 333-1790		POURED CONCRETE	PERMANENT FOUNDATIONS	SCALE	REV.
				1/4" = 1'-0"	2/25/00
					OF 4

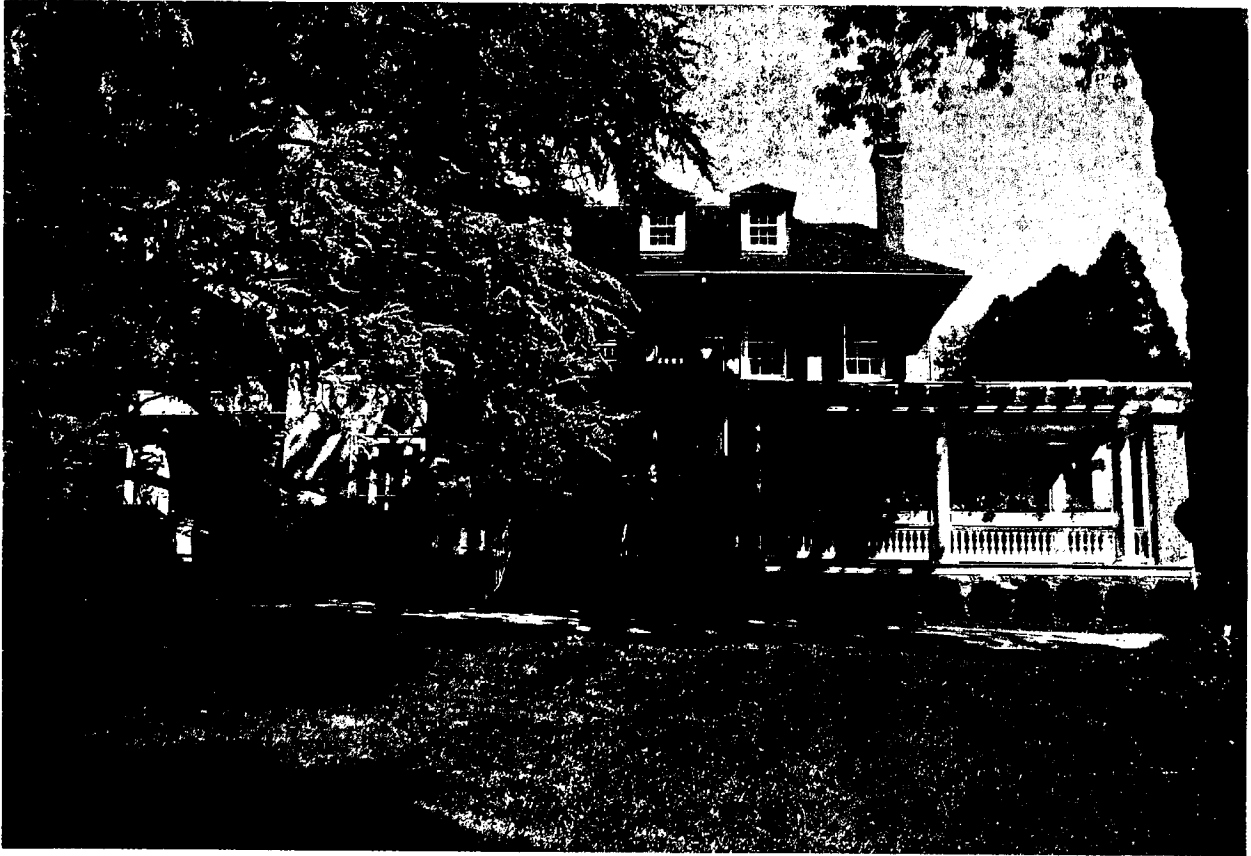
12

**1 Quincy Street, Chevy Chase  
Chevy Chase Village Historic District**



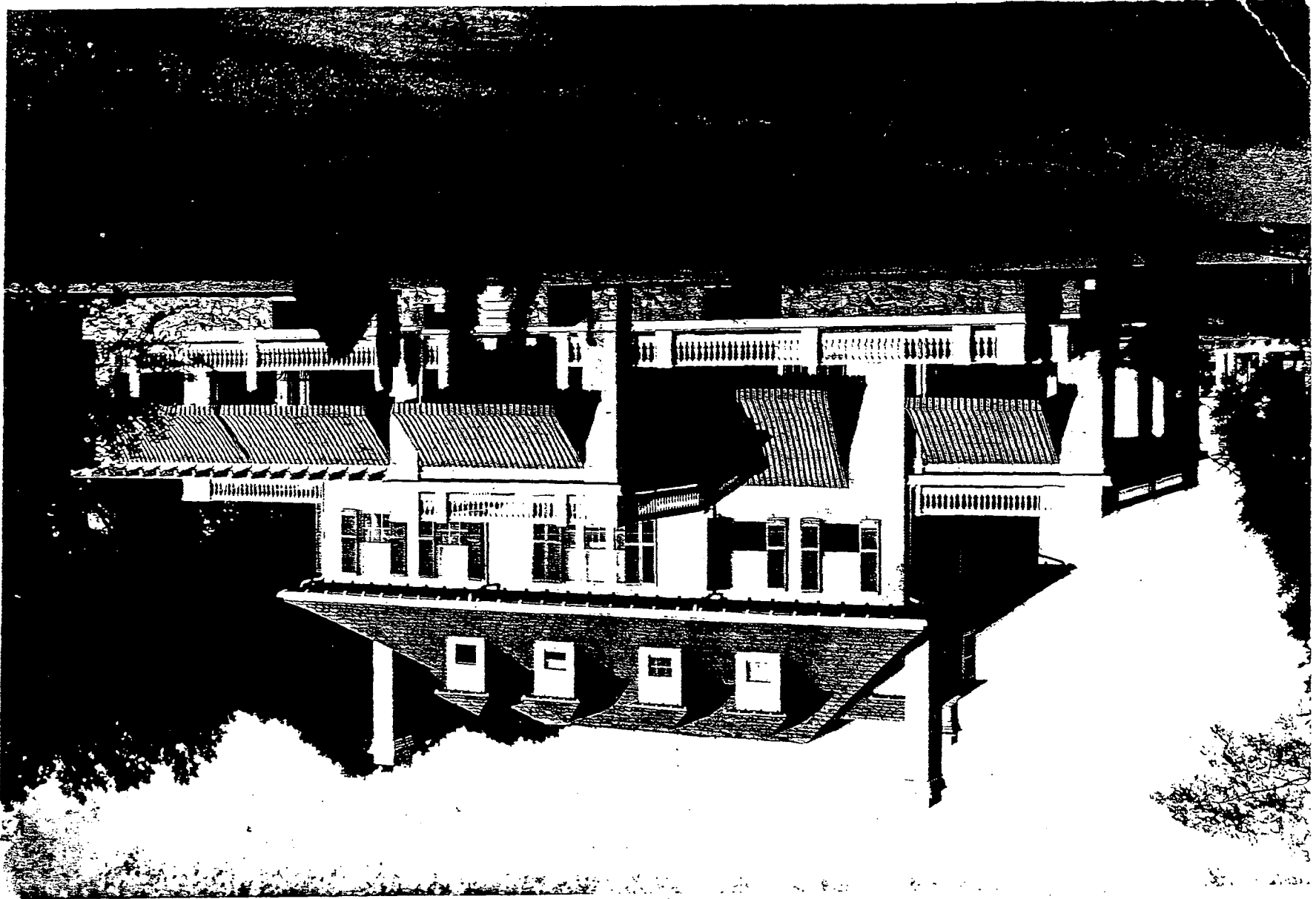
←  
NORTH





15





**HPC Meeting Transcripts**  
**March 12, 2008**

1 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
2 HISTORIC PRESERVATION COMMISSION

3 ----- X  
4 HISTORIC AREA WORK PERMIT - : HPC Case No. 36/02-08A  
5 2309 Linden Lane : Linden Historic District  
6 :  
7 ----- X  
8 PRELIMINARY CONSULTATION - : Chevy Chase Village  
9 1 Quincy Street : Historic District  
10 :  
11 ----- X  
12  
13  
14

15 A meeting in the above-entitled matter was held on  
16 March 12, 2008, commencing at 7:00 p.m., in the MRO  
17 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland  
18 20910, before:

19 COMMITTEE CHAIRMAN

20 Jeff Fuller

21 COMMITTEE MEMBERS

22 Timothy Duffy  
23 David Rotenstein  
24 Warren Fleming  
25 Nuray Anahtar  
Leslie Miles  
Caroline Alderson  
Thomas Jester  
Lee Burstyn

ALSO PRESENT:

Joshua Silver  
Clare Kelly, Staff  
Scott Whipple  
Anne Fothergill, Staff  
Joey Lampl, Staff

APPEARANCES

STATEMENT OF:

PAGE

Basri Chabuk

6

David Steinbraker

12

1 approve the application as submitted with the conditions  
2 stipulated in the staff report and in addition permitting  
3 the removal of the 17-inch walnut tree, as subsequently  
4 requested by the applicant.

5 MR. SILVER: Thank you.

6 MR. FULLER: Is that okay to the second? Why  
7 don't we go ahead and revote on that? All in favor? Not  
8 good enough. Thank you. All opposed. Any that abstain?  
9 The vote remains the same. Thank you.

10 Okay, next on the agenda for this evening is the  
11 preliminary consultation for the B.F. Saul property at 1  
12 Quincy Street, Chevy Chase. Is there a staff report?

13 MR. SILVER: Yes, there is. 1 Quincy Street is an  
14 outstanding resource located in the Chevy Chase Village  
15 historic district. The subject house is a five bay two and  
16 a half story cross-hipped roof, colonial revival craftsman  
17 dwelling. The house contains a stucco finish on both  
18 stories and a sheath with a slate roof. There are casement  
19 windows on the first story, and it's detailed primarily with  
20 six-over-six double hung windows on the second story.

21 There are three proposals, or three elements to  
22 the proposal. And the first one is restoration and  
23 rehabilitation of an original open style front porch at the  
24 subject property. The proposed design is based on a  
25 historic photo, which is provided in the staff report, staff  
26 packet, which was provided by the applicants. It documents

1 an open style porch once existed.

2           The second element is to enclose an existing open  
3 style covered porch on the north elevation of the house.  
4 And the third element is to reconfigure and extend the  
5 existing non-historic rear addition to accommodate a new  
6 interior space program.

7           The exterior changes that will result from this  
8 project include an enclosure of the existing stairs and  
9 landing, construction of two side loading stair units, and  
10 removal of one non-historic window on the north elevation,  
11 and two non-historic picture windows with sidelights on the  
12 east elevation.

13           Staff has met with the applicant's agent to  
14 discuss the design strategy for the proposed side porch  
15 enclosure. As this property is an outstanding resource,  
16 staff expressed some concern with enclosing the existing  
17 side porch and recommended the applicant submit the proposal  
18 as a preliminary consultation to discuss the design strategy  
19 with the Commission before proceeding to a historic area  
20 work permit. This is intended to ensure that the design is  
21 accurate and consistent with the style of the house and  
22 associated porches.

23           Side porch enclosure. Although staff is not  
24 opposed to the applicant enclosing the porch and generally  
25 supports the proposed design because of its transparency and  
26 retention of some original features, it is important that



1 the Commission review this alteration, because this is a  
2 change to a character-defining feature on an outstanding  
3 resource.

4 The Chevy Chase Village guidelines state that  
5 porches should be subject to moderate scrutiny, if they are  
6 visible from the public right-of-way, and lenient scrutiny  
7 if they are not. Enclosures of existing side and rear  
8 porches have occurred throughout the village with little or  
9 no adverse impact on its character, and they should be  
10 permitted if compatibly designed. Strict scrutiny should be  
11 applied to additions above existing front porches.

12 Although the side porch is visible from the public  
13 right-of-way, the considerable setback of the house and  
14 expansive front yard mitigate the impact these proposed  
15 alterations would have on the streetscape of the historic  
16 district.

17 The proposal is in agreement with the guidelines  
18 for a side porch enclosure to an outstanding resource. The  
19 design for the side porch enclosure is sympathetic to the  
20 style of the house and will have little or no adverse impact  
21 to the character of the house or historic district.

22 The installation of the operable and fixed french  
23 doors with sidelights provides transparency and the  
24 retention of the existing balustrade and columns preserves  
25 the structural composition of the original open porch style  
26 for the possibility of future reconstruction.

1           Staff is pleased the applicant is proposing to  
2 restore the open style porch on the front of the house, and  
3 it is consistent with the original front porch per that  
4 historic photo that's provided in the staff report. The  
5 proposed design -- excuse me.

6           The reuse of the existing railing, the balustrade  
7 and stone from the proposed front porch enclosure on the  
8 west elevation of the house, allows the restored porch to  
9 read to the high level of historic accuracy.

10           The rear addition, staff supports the proposed  
11 reconfiguration and extension of the existing non-historic  
12 rear addition. The proposed work is confined to the rear of  
13 the house and will have no adverse impact to the historic  
14 massing.

15           The proposed construction of the two new wooden  
16 side building stair units, and the installation of wooden  
17 windows and doors are appropriate treatments for a  
18 contemporary rear addition. Staff supports the use of  
19 wooden windows and doors for the proposed side porch  
20 enclosure and rear addition reconfiguration.

21           However, staff wants to ensure all windows and  
22 doors in the side porch enclosure are true divided light in  
23 profile and notes that it may be appropriate for the rear  
24 addition to contain windows and doors of a simulated divided  
25 light profile. Staff recommends the applicant develop a  
26 window and a door schedule to be included with the historic

1 area work permit.

2 Staff's final recommendation is to ask the  
3 applicants to make revisions based on the comments from  
4 staff and the Historic Preservation Commission and return  
5 for a historic area work permit.

6 And I just want to make sure that you, the point  
7 of the preliminary consultation, I think too, is just as a  
8 reminder for the Commission to review this proposal, you  
9 know, as a preliminary consultation presents it as an  
10 opportunity to comment on the compatibility of the proposed  
11 porch enclosure and other elements of the project with the  
12 house and associated porch; and also, the HPC's comfort  
13 level with the alterations before it comes in as a historic  
14 area work permit.

15 And I can continue to go through a few more slides  
16 here if you would like before. Unfortunately, we don't have  
17 any other drawings that I can provide. We did send an email  
18 for clarification earlier in the week.

19 MS. ALDERSON: But they can bring their own when  
20 they come up.

21 MR. SILVER: I would imagine that -- let me  
22 quickly go through these and then we can have them bring  
23 those up. So obviously looking at the front of the house  
24 and to the left of the entrance way is where the proposed  
25 porch restoration, based on the historic photos occur. This  
26 would be the porch, and this is proposed to be enclosed.

1 Just another angle of the proposed porch enclosure.

2 This is the non-historic rear addition. As you  
3 can see, it's confined to the rear of the house. And just a  
4 little more of a close up. And that's all I have for  
5 slides. I think we'll have to go back. Would you like to  
6 see the front elevation shown again?

7 MS. ALDERSON: No, I've seen it.

8 MR. SILVER: Okay.

9 MR. FULLER: Are there any questions for staff?  
10 Would the applicants please come forward?

11 MR. STEINBRAKER: Agent.

12 MR. FULLER: Agent. That will work. Would you  
13 like to state your name for the record and if you have a --  
14 if you want to supplement the staff report or make a  
15 presentation or simply respond to questions?

16 MR. STEINBRAKER: I'll answer questions. I'm Dave  
17 Steinbraker. I'm a contractor for the project, and I did  
18 the design work for the project. I have one correction I  
19 want to make on the staff report. The stone that's going to  
20 be used for the base of the porch actually came from a wall  
21 or a gate entrance at the property. It's not going to come  
22 from the porch enclosure work. And the balustrade will be  
23 reused from the porch enclosure for the new open porch.

24 The new open porch would be behind the hedge right  
25 there. And that's where the original was, and the original  
26 1910 or about, photograph, it should be with your group of

1 photographs.

2           And we're retaining almost all of the existing  
3 structure of the existing covered porch. And the columns,  
4 the full columns, full round columns would not be saved, but  
5 they would be duplicated because they become half columns.  
6 So the column cap and base detail, and the profile of the  
7 column itself would be duplicated.

8           (Discussion off the record.)

9           MR. STEINBRAKER: We tried to keep the openings  
10 between the structure, between the columns and the enclosed  
11 porches as transparent as possible.

12           MS. ALDERSON: You may want to, on your next  
13 submission, make an effort to get a darker copy, because we  
14 basically haven't really gotten to see it. We're kind of  
15 imagining from what we saw what -- it sounds lovely, but I  
16 couldn't make out the drawings. They were not legible. So  
17 just getting a darker copy is going to help a lot.

18           MR. STEINBRAKER: You're talking about the eight  
19 and a half by 11?

20           MS. ALDERSON: Yes, they weren't really legible.  
21 So we're just kind of starting.

22           (Discussion off the record.)

23           MR. STEINBRAKER: Do you want me to come up and  
24 point out anything?

25           (Discussion off the record.)

26           MR. STEINBRAKER: This is the existing covered

1 porch, and we retained all of the existing balustrade up in  
2 the top, all of the exterior cornice, the existing pebble-  
3 dashed stucco. The columns will be duplicated because  
4 they'll become half-columns. And the infill between the  
5 columns are either fixed or operable french doors with  
6 sidelights and transoms.

7           Because of the size of the openings, the doors  
8 would be two and a quarter inches thick, but we will  
9 maintain as narrow a mullion as possible to carry the weight  
10 of the insulated glass. And on the ends are the same detail  
11 as the infill in the columns.

12           MR. FULLER: What about the extension of the front  
13 porch?

14           MR. STEINBRAKER: The extension of the front  
15 porch --

16           (Discussion off the record.)

17           MS. ANAHTAR: It's just an open deck?

18           MR. STEINBRAKER: It's an open deck and we are  
19 reusing the balustrade that's on the existing enclosed,  
20 covered porch for the balustrade on the new open porch.

21           MS. MILES: The creation of the porch with the  
22 extended deck, is that going to have a balustrade?

23           MR. STEINBRAKER: Yes, that will have the  
24 balustrade. So we're reusing the same materials, if  
25 anything is rotted or we're short, but we don't think we  
26 will be short, will be duplicated.



1 MS. ALDERSON: The main thing there is extending  
2 the balustrade around to enclose that deck.

3 MR. STEINBRAKER: Putting it back the way it was  
4 originally built.

5 MR. FULLER: What I'm not understanding is on the  
6 steps where it talks about restoring an open style front  
7 porch --

8 MR. STEINBRAKER: It's not there.

9 MR. SILVER: It's a porch or a deck.

10 MR. FULLER: Okay.

11 MR. SILVER: It's in the historic photo.  
12 It's a porch without a copper roof, guttered roof.

13 MR. STEINBRAKER: And it's going right back where  
14 it was originally.

15 MR. FULLER: Okay. Why don't we make sure  
16 everybody is back on the record, and just finish the  
17 comments.

18 MS. ANAHTAR: And this one?

19 MR. STEINBRAKER: That's the contemporary addition  
20 that's there now. And what we're going to do, this --

21 MR. SILVER: Circle 17 is the picture, the  
22 historic photo.

23 MR. STEINBRAKER: -- we're going to extend, and  
24 extend the existing cornice detail around that. So we're  
25 not really changing -- it was a porch.

26 MS. ALDERSON: It will give it a little more

1 authentic look and integrate it as it was originally.

2 MR. STEINBRAKER: Right. It was a porch at one  
3 time. And the steps that go up there now, we're going to  
4 enclose that. But not the still roof, that roof will stay.  
5 We'll just enclose the opening, and then put two new  
6 entrances in on each side.

7 MS. ALDERSON: But your idea was to tie the two  
8 together.

9 MR. STEINBRAKER: Right. Correct.

10 MS. ALDERSON: Sticking with what's there now.

11 MR. STEINBRAKER: The detailing won't be, only the  
12 windows and the stucco. It's a plywood finish now. That's  
13 going to become a stucco finish with new double hung windows  
14 instead of the casement windows.

15 MS. ALDERSON: Thank you.

16 MR. DUFFY: Mr. Chairman, I'd simply like to state  
17 for the record that the applicant's firms are clients of my  
18 firm, the firm I work for, rather, and that I'll be  
19 abstaining from discussion or voting on this proposed  
20 project.

21 MR. FULLER: Thank you. Are there any questions  
22 for the applicant or the applicant's agent? Normally, we  
23 would go through the Commission and ask for any comments.  
24 Essentially, there are three areas that were addressed to  
25 us. One was the restoration of the, I'll call it deck or  
26 open porch on the front of the house, the enclosure of the

1 side porch, or the addition to the rear. Does anybody have  
2 any concerns as to any of those as they've been described to  
3 us tonight?

4 MS. ALDERSON: No. All I can say, and others may  
5 want to chime in, is that I think the staff report was very  
6 thorough and I, my recommendations are just consistent with  
7 the staff recommendations. It's a very thoughtfully  
8 prepared submission that will be very beautifully integrated  
9 with the house. We're thrilled to see front restoration  
10 done. So my thoughts are just consistent with the staff  
11 recommendations.

12 MR. ROTENSTEIN: Just addition to that, I also  
13 want to commend the applicant for their effort to reuse the  
14 historic materials both from the existing building and from  
15 the former wall into the project.

16 MS. MILES: I think I would also add that if I had  
17 any concerns about enclosing the existing side porch, they  
18 are offset by the restoration of the front.

19 MR. JESTER: I think the enclosure of the side  
20 porch is very sensitively handled, and I think it's  
21 approvable and appropriate. And I also commend the  
22 applicant for restoring the open porch. And I would just,  
23 you know, if it's not clear in the staff report to really  
24 follow the historic documentation and carefully restore it  
25 so that it is accurately done, but otherwise I think it's  
26 fine.

1           MR. FULLER: Okay. I think that from our  
2 perspective, you've heard a majority of the Commission is in  
3 favor of the application as proposed. I'd say, let's  
4 proceed, I would recommend you proceeding forward with a  
5 historic area work permit. The only suggestion I would make  
6 is, please do make sure the documents that get forwarded to  
7 staff are something that can be reproduced and make decent  
8 copies, because this didn't let us look at it in advance.  
9 But I appreciate your efforts. Thank you very much.

10           MR. STEINBRAKER: Thank you.

11           MR. FULLER: Okay. Next on the agenda this  
12 evening are the minutes from February 27th.

13           MS. FOTHERGILL: Kevin wasn't clear on who had  
14 agreed to review them. Did anyone review them?

15           MR. ROTENSTEIN: I don't think we had anyone  
16 volunteer at the last meeting.

17           MS. FOTHERGILL: And then did we send them out  
18 anyway?

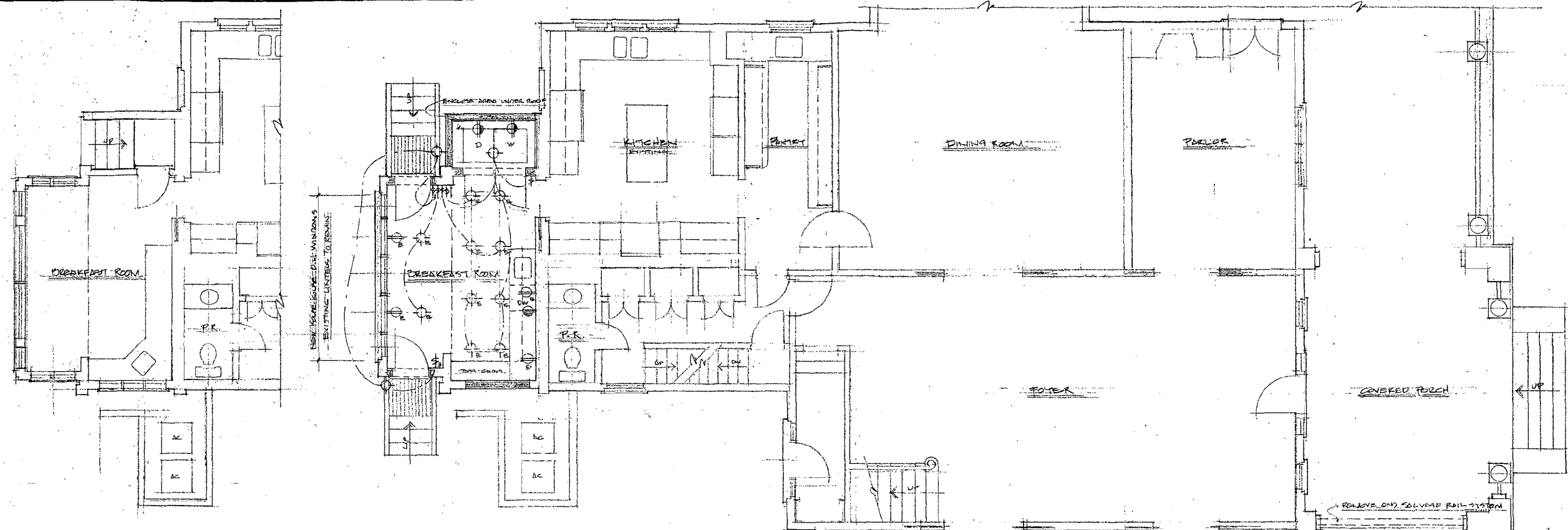
19           MR. ROTENSTEIN: I think in his email he said he  
20 wasn't sure who was supposed to review them.

21           MR. FULLER: So I guess by default nobody did.

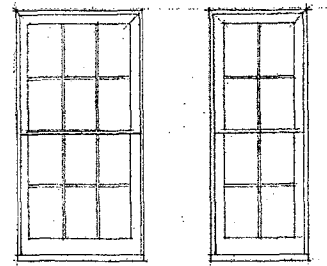
22           MS. FOTHERGILL: Okay.

23           MR. FULLER: Do we have a volunteer for the 27th  
24 and let's, at the same time, talk about, I guess this  
25 evening's in the same breath.

26           MS. MILES: I'll take this evening. That's as



WINDOW SCHEDULE



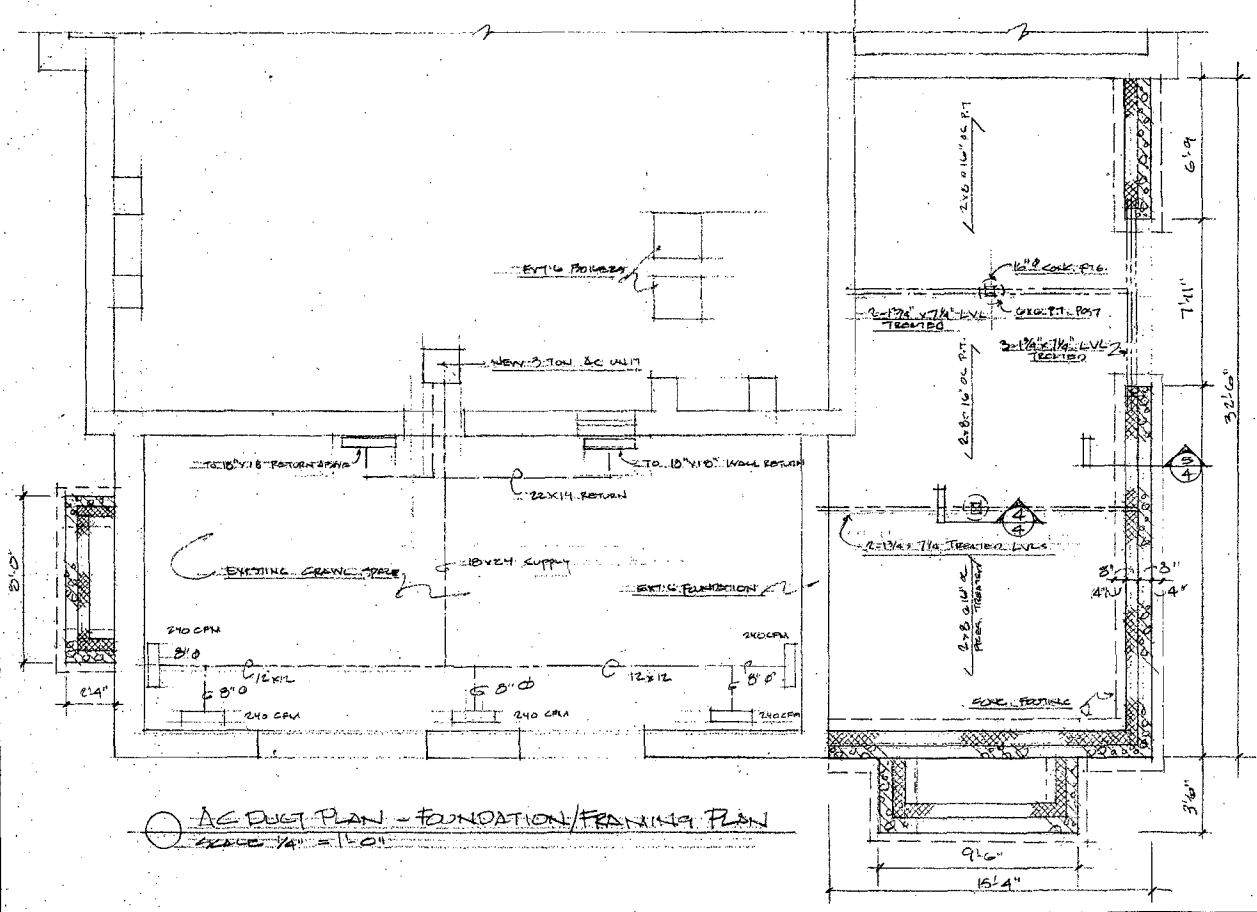
- KOUPE - KOUPE WINDOWS
- 1/2" FASH
- SILVERITE K-PAN w/ 7/8" WIDE MORTIS
- 1/2" 3/8" LIFT
- OVAL GLAZING TABBO
- NON-ION B. INSULATING GLASS

SYMBOL SCHEDULE

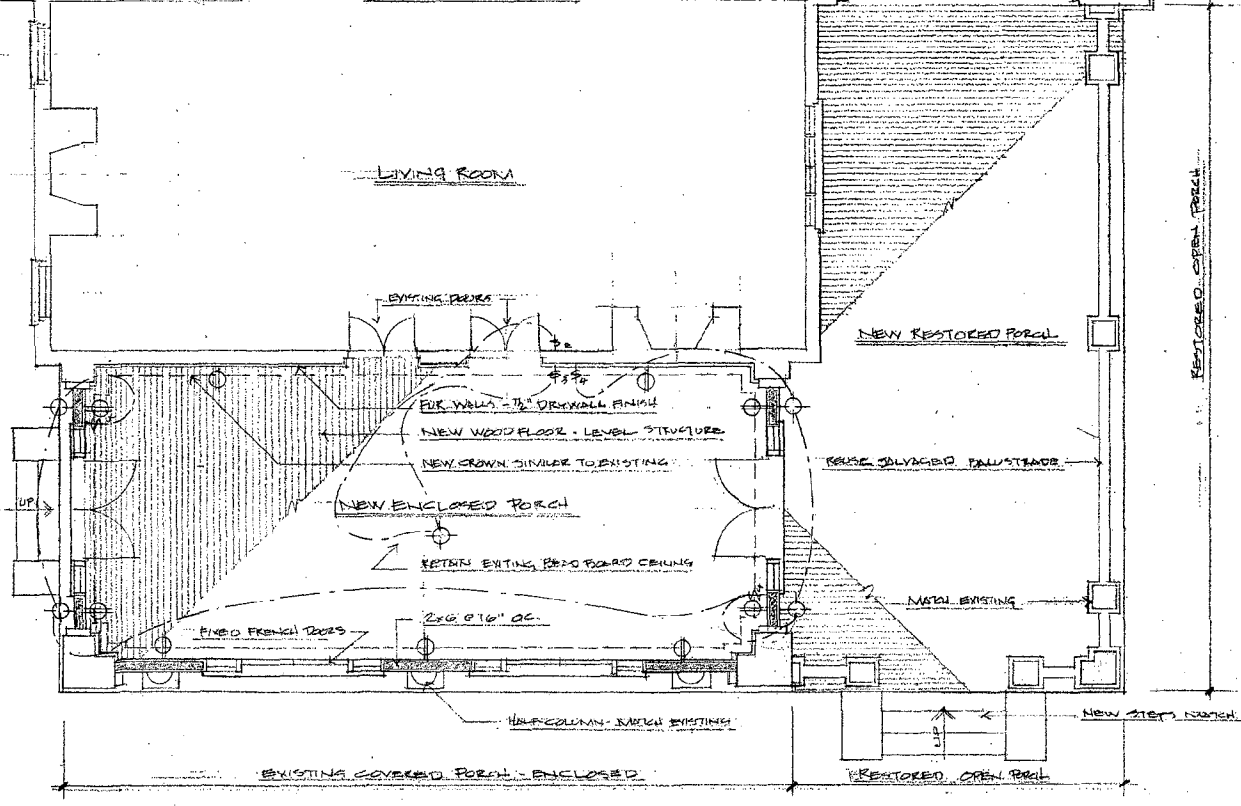
- EXISTING CONSTRUCTION
- PARTITION TO BE REMOVED
- NEW PARTITION
- CONCRETE REINFORCING UNIT (CRU)
- STONE
- EXISTING LIGHT OUTLET
- EXISTING DUPLEX OUTLET
- EXISTING SWITCH
- NEW LIGHT OUTLET
- NEW DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET
- SINGLE POLE SWITCH
- 2-WAY SWITCH
- 4-WAY SWITCH

EXISTING BREAKFAST ROOM PLAN  
SCALE 1/4" = 1'-0"

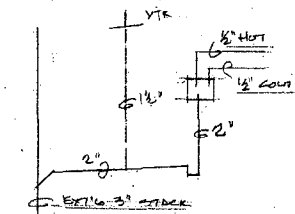
NEW BREAKFAST ROOM/LAUNDRY PLAN  
SCALE 1/4" = 1'-0"



AC DUCT PLAN - FOUNDATION/FRAMING PLAN  
SCALE 1/4" = 1'-0"



NEW PORCH AND DECK PLAN  
SCALE 1/4" = 1'-0"



PLUMBING REAR DIA.  
N.T.S.

G. MORRIS STEINBRAKER & SON, INC.  
GENERAL CONTRACTORS

3207 GRACE STREET, N.W.  
WASHINGTON, D.C. 20007

(202) 333-1790

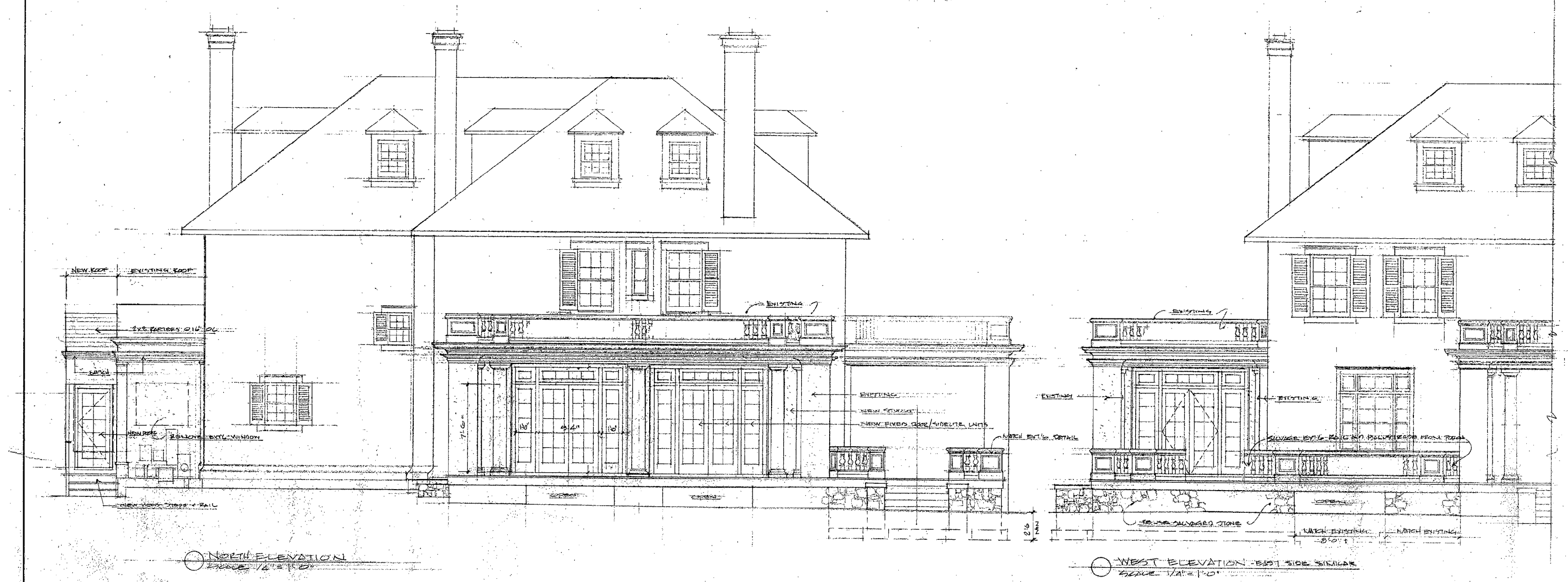
CLIENT  
D.F. SULL RESIDENCE  
#1 QUINCY STREET  
CHEVY CHASE, MARYLAND

TITLE  
PORCH RESTORATION  
PORCH ENCLOSURES

DATE  
7-10-07  
SCALE  
1/4" = 1'-0"

REV  
4-14-08  
30A-08

SHEET  
1  
OF 4



○ NORTH ELEVATION  
SCALE 1/4" = 1'-0"

○ WEST ELEVATION - EAST SIDE SINGLES  
SCALE 1/4" = 1'-0"

<b>G. MORRIS STEINBRAKER &amp; SON, INC.</b> GENERAL CONTRACTORS  3207 GRACE STREET, N.W. WASHINGTON, D.C. 20007  (202) 333-1790		CLIENT SAUL RESIDENCE #1 QUINCY STREET, N.W.	DATE 7.12.07  SCALE 1/4" = 1'-0"	SHEET 2 OF 3
		TITLE PORCH RESTORATION PORCH ENCLOSURES	REV. 10.12.07 10.17.07 2.11.08 2.25.08	

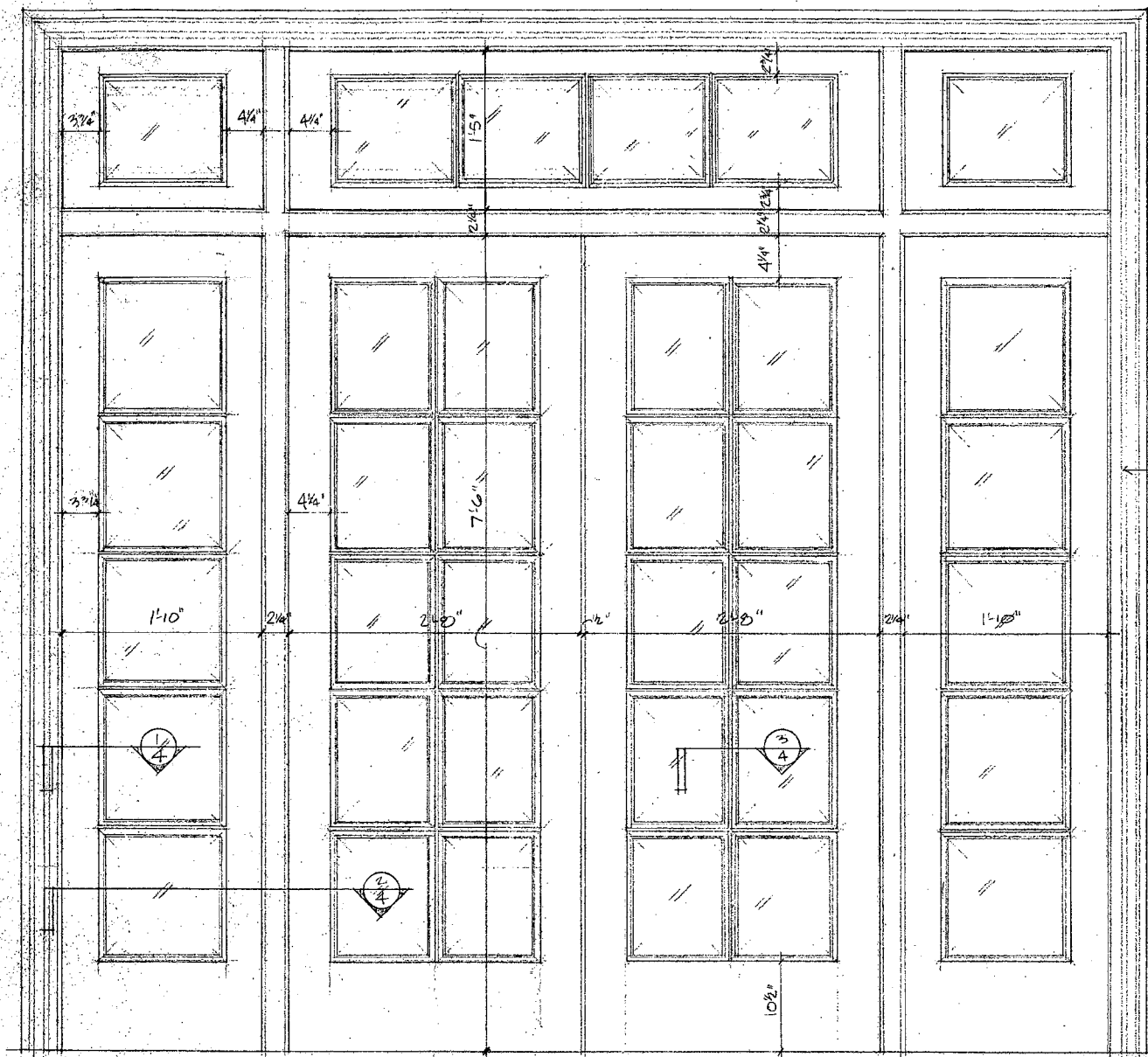


○ EAST ELEVATION  
SCALE: 1/4" = 1'-0"

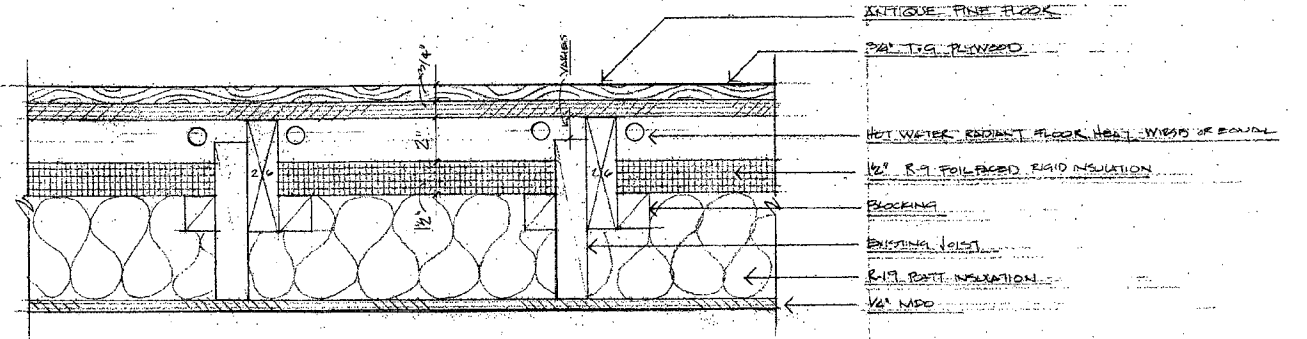
○ SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

<b>G. MORRIS STEINBRAKER &amp; SON, INC.</b> GENERAL CONTRACTORS		CLIENT B.F. SAUL RESIDENCE #1 QUINCY STREET CHEVY CHASE, MD	DATE 10/14/01 SCALE 1/4" = 1'-0"	SHEET <b>3</b>
3207 GRACE STREET, N.W. WASHINGTON, D.C. 20007 (202) 333-1790		TITLE PORCH RESTORATION & PORCH ENCLOSURES	REV. 10/11/01 2-11-02 3-25-02	OF 3

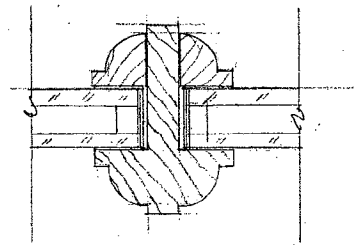




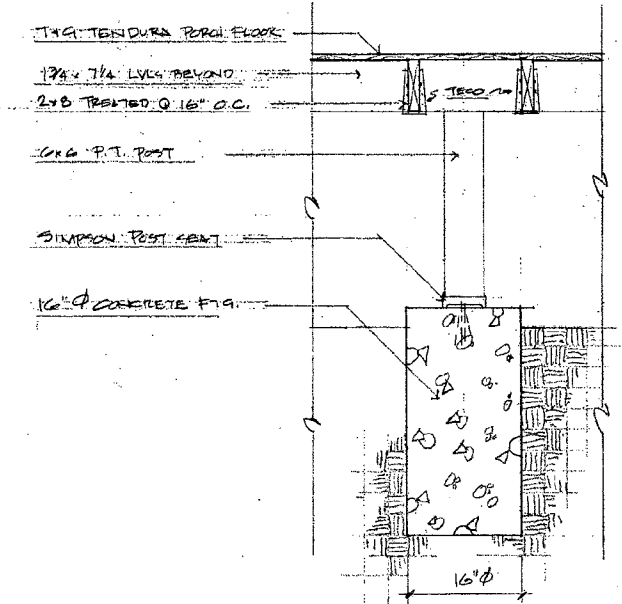
1 FLOOR/SIDE LITE ELEVATION  
SCALE 1/2" = 1'-0"



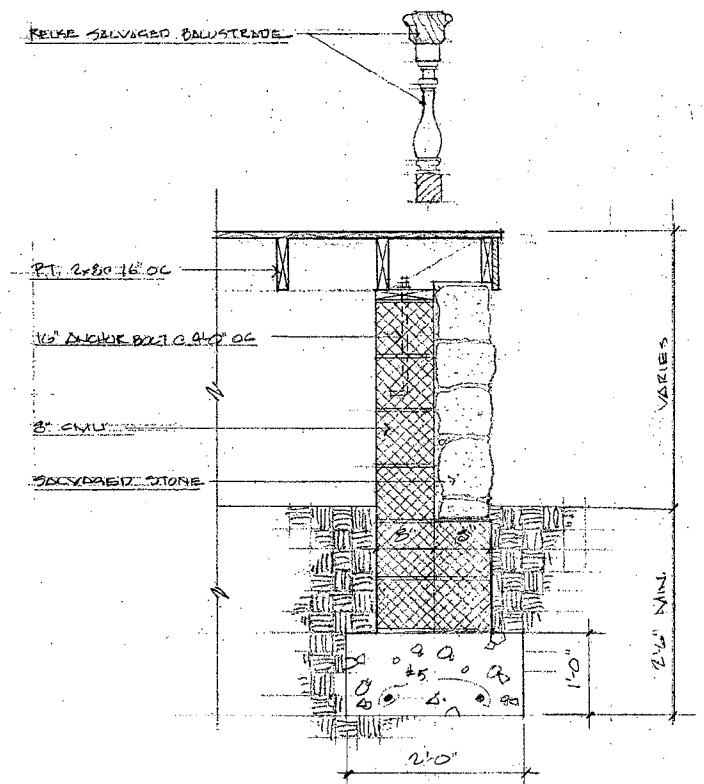
SECTION Q ENCLOSED PORCH FLOOR  
SCALE 3/4" = 1'-0"



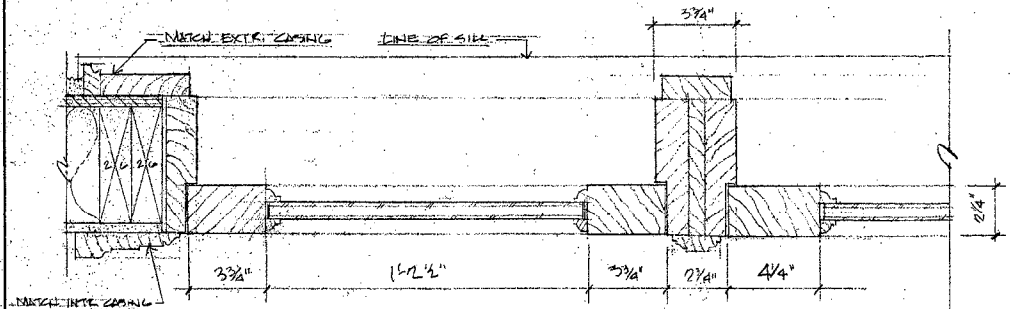
SECTION 3/4 TABLE FULL SIZE



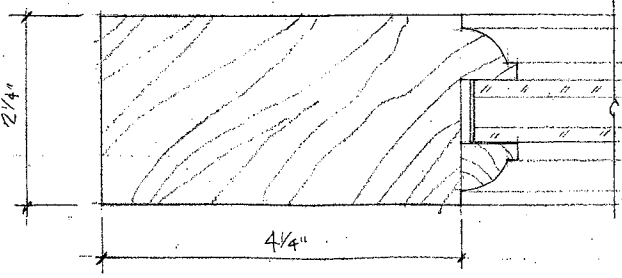
SECTION 4/4 SCALE 1" = 1'-0"



SECTION 5/4 SCALE 1" = 1'-0"

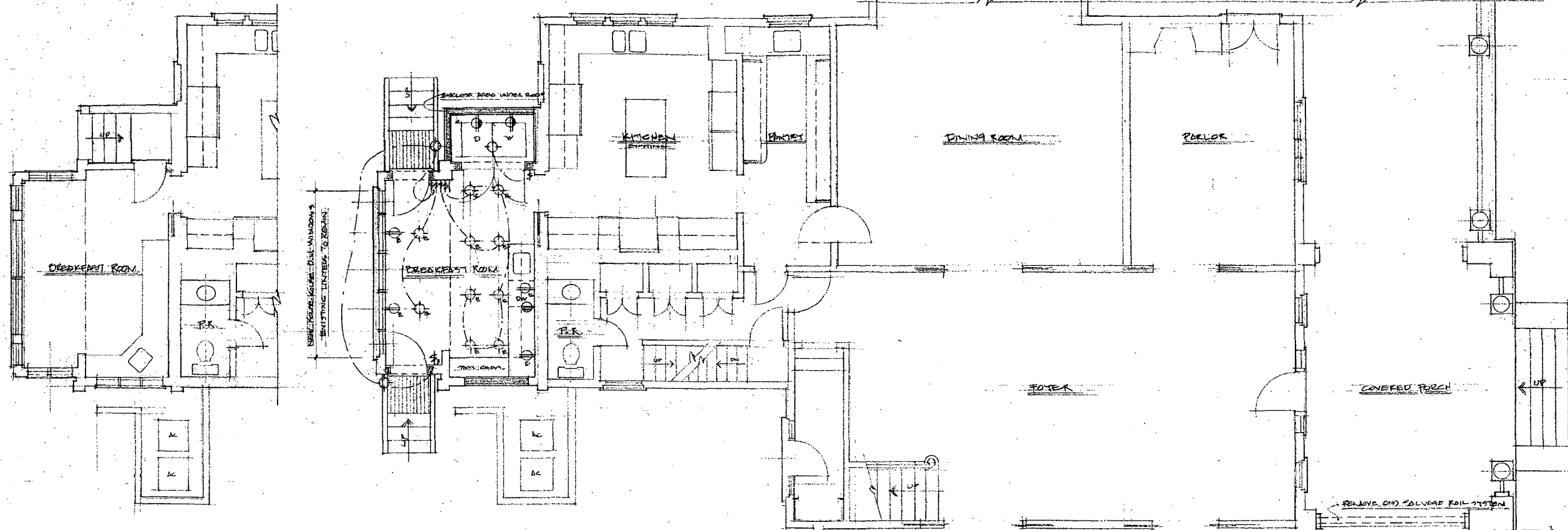


SECTION 2/4 SCALE 3/4" = 1'-0"

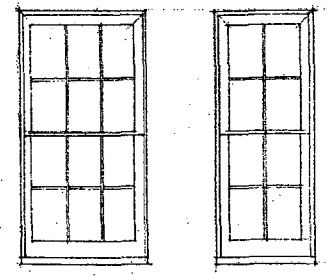


SECTION 4/4 SCALE FULL SIZE

<b>G. MORRIS STEINBRAKER &amp; SON, INC.</b> GENERAL CONTRACTORS		CLIENT	DATE	SHEET
3207 GRACE STREET, N.W. WASHINGTON, D.C. 20007		OF SAUL RESIDENCE #1 QUINCY STREET CHEVY CHASE, MARYLAND	2/15/08	4
(202) 333-1790		TITLE	SCALE	REV.
		PORCH RESTORATION & PORCH ENCLOSURES	AS SHOWN	3/25/08
				OF 4



**WINDOW SCHEDULE**



- KOLBE-KOLBE WINDOWS
- 2 1/2" SASH
- SILENT K. P. W. 1/2" WIDE MUNTINS
- 1/2" SASH LIFT
- DIVIDED GLAZING PANE
- NON-LOW E INSULATING GLASS

**SYMBOL SCHEDULE**

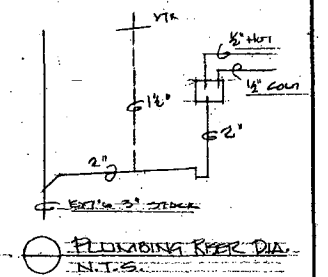
- ▨ EXISTING CONSTRUCTION
- - - PARTITION TO BE REMOVED
- ▨ NEW PARTITION
- ▨ CONCRETE MASONRY UNIT (CMU)
- ▨ STONE
- ⊙ EXISTING LIGHT OUTLET
- ⊙ EXISTING DUPLEX OUTLET
- ⊙ EXISTING SWITCH
- ⊙ NEW LIGHT OUTLET
- ⊙ NEW DUPLEX OUTLET
- ⊙ SPECIAL PURPOSE OUTLET
- ⊙ SINGLE POLE SWITCH
- ⊙ 3-WAY SWITCH
- ⊙ 4-WAY SWITCH

**EXISTING BREAKFAST ROOM PLAN**  
SCALE: 1/4" = 1'-0"

**NEW BREAKFAST ROOM/LAUNDRY PLAN**  
SCALE: 1/4" = 1'-0"

**NEW PORCH AND DECK PLAN**  
SCALE: 1/4" = 1'-0"

**AC DUCT PLAN - FOUNDATION/FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**FLOORING REEF DIA.**  
N.T.S.

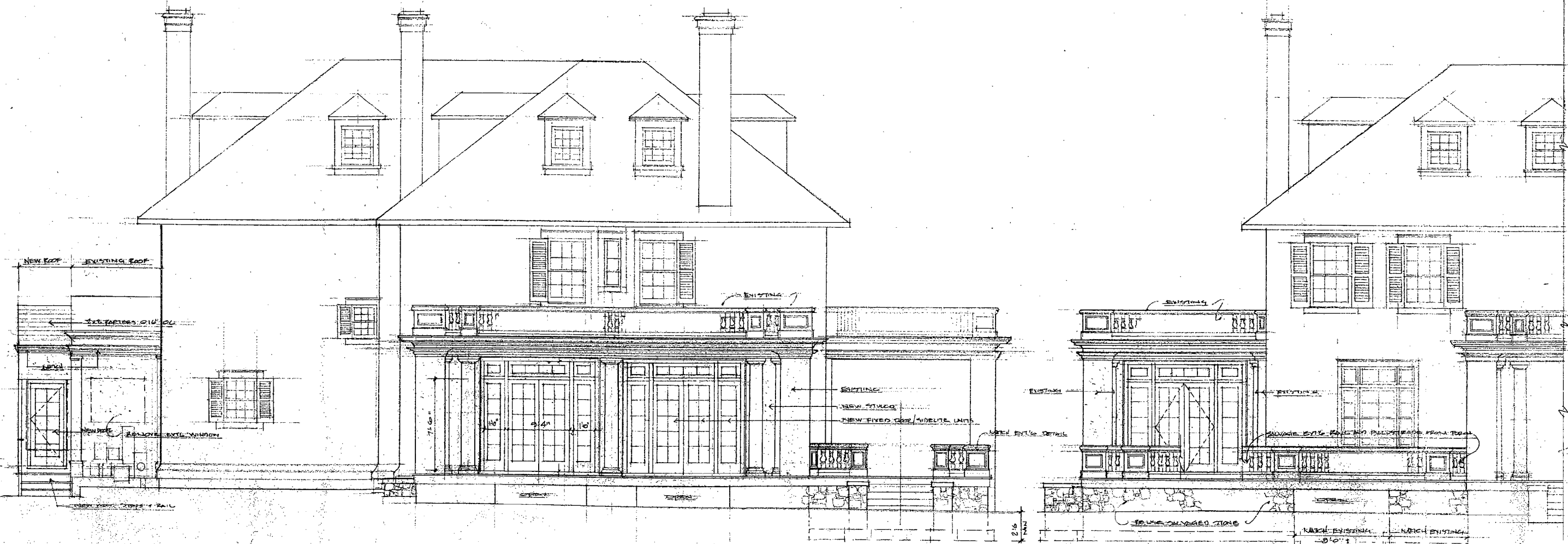
<b>G. MORRIS STEINBRAKER &amp; SON, INC.</b> GENERAL CONTRACTORS		<b>D.F. SAUL RESIDENCE</b>	<b>DATE</b> 7-10-07	<b>SHEET</b>
		<b>#1 QUINCY STREET</b>	<b>SCALE</b> 1/4" = 1'-0"	<b>1</b> OF 4
		<b>CHEVY CHASE, MARYLAND</b>	<b>REV.</b> 2-11-08 3/24/08	
<b>TITLE</b>	<b>CLIENT</b>	<b>TITLE</b>		
<b>PORCH RESTORATION &amp; PORCH ENCLOSURES</b>				
<b>3207 GRACE STREET, N.W.</b> <b>WASHINGTON, D.C. 20007</b>		<b>(202) 333-1790</b>		



○ EAST ELEVATION  
SCALE 1/4" = 1'-0"

○ SOUTH ELEVATION  
SCALE 1/4" = 1'-0"

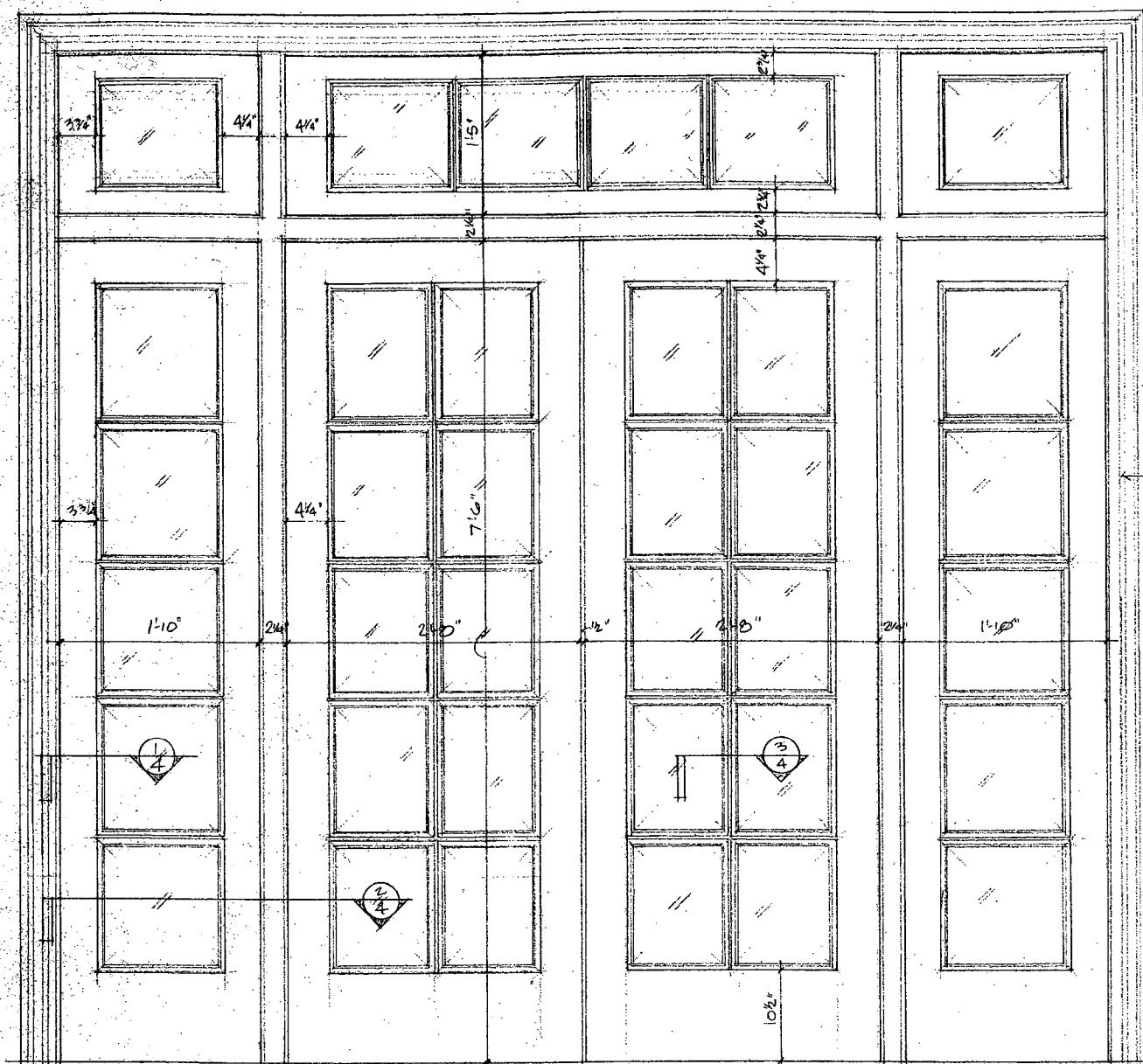
<b>G. MORRIS STEINBRAKER &amp; SON, INC.</b> GENERAL CONTRACTORS  3207 GRACE STREET, N.W. WASHINGTON, D.C. 20007  (202) 333-1790		CLIENT D.F. SAUL RESIDENCE 41 QUINCY STREET CHRY CHASE, MD	DATE 10/11/07  SCALE 1/4" = 1'-0"	SHEET <b>3</b> OF 3
		TITLE PORCH RESTORATION & PORCH ENCLOSURE	REV. 10/11/07 4/11/08 3-25-09	



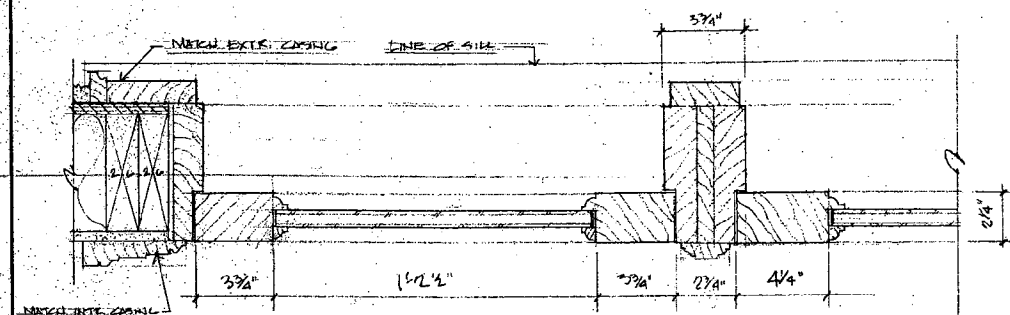
**NORTH ELEVATION**  
SCALE 1/4" = 1'-0"

**WEST ELEVATION - EAST SIDE SIMILAR**  
SCALE 1/4" = 1'-0"

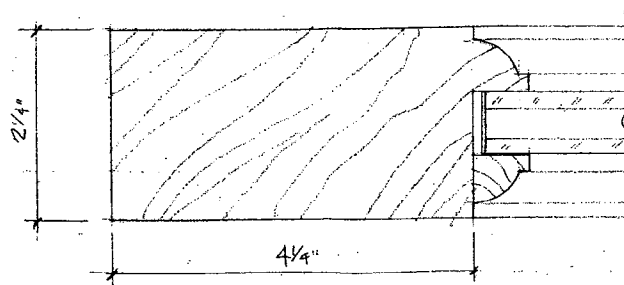
<b>G. MORRIS STEINBRAKER &amp; SON, INC.</b> GENERAL CONTRACTORS  3207 GRACE STREET, N.W. WASHINGTON, D.C. 20007  (202) 333-1790		CLIENT	SAUL RESIDENCE #1 CRUNKY STABLE CHICK	DATE	1.10.07	SHEET <b>2</b> OF 3
		TITLE	PORCH RESTORATION PORCH ENCLOSURES	SCALE	1/4" = 1'-0"	
				REV.	10.12.07 10.17.07 2.11.08 2.22.08	



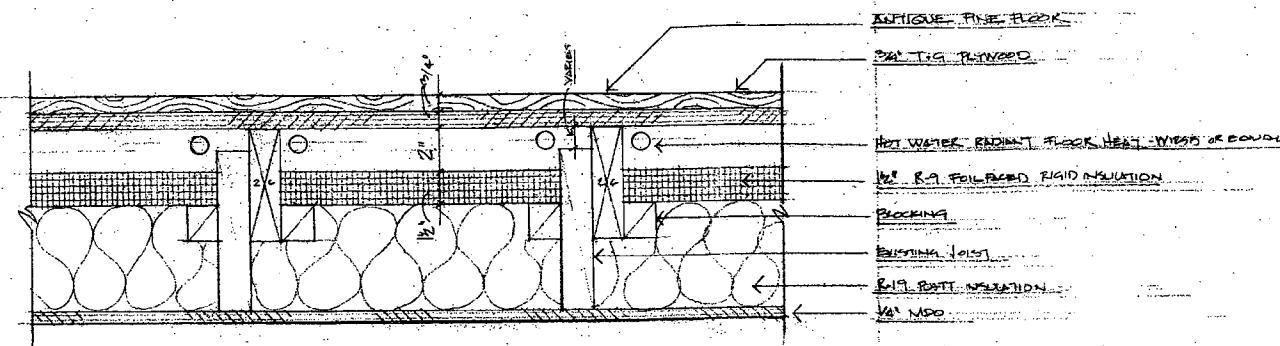
① DOOR/SIDELITE ELEVATION  
SCALE 1/2" = 1'-0"



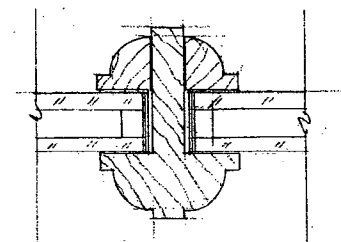
② SECTION  
SCALE 3" = 1'-0"



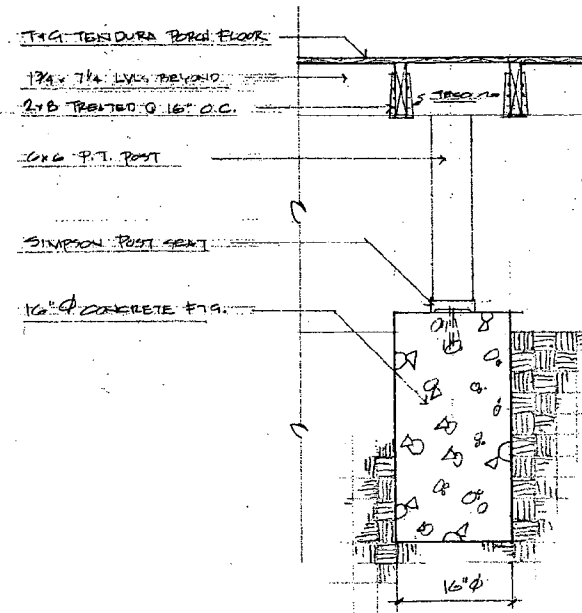
③ SECTION  
SCALE FULL SIZE



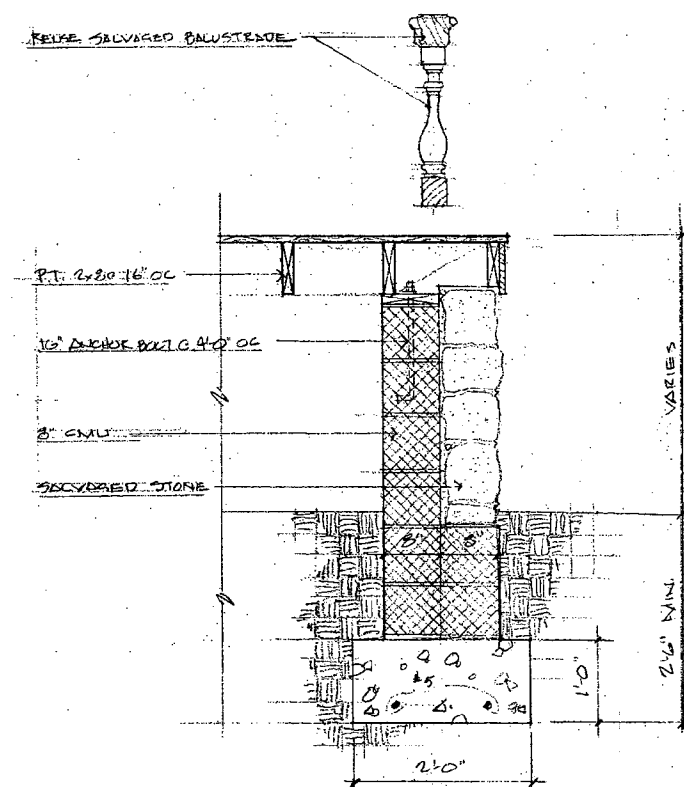
③ SECTION ③ ENCLOSED PORCH FLOOR  
SCALE 3" = 1'-0"



④ SECTION  
SCALE FULL SIZE



④ SECTION  
SCALE 1" = 1'-0"



⑤ SECTION  
SCALE 1" = 1'-0"

<b>G. MORRIS STEINBRAKER &amp; SON, INC.</b> GENERAL CONTRACTORS  3207 GRACE STREET, N.W. WASHINGTON, D.C. 20007 (202) 333-1790		CLIENT <b>DR. SAUL RESIDENCE</b> #1 QUINCY STREET CHEVY CHASE, MARYLAND	DATE 2/28/08  SCALE AS SHOWN	SHEET <b>4</b> OF 4
		TITLE <b>PORCH RESTORATION &amp;          PORCH ENCLOSURES</b>	REV. 2/25/08	





