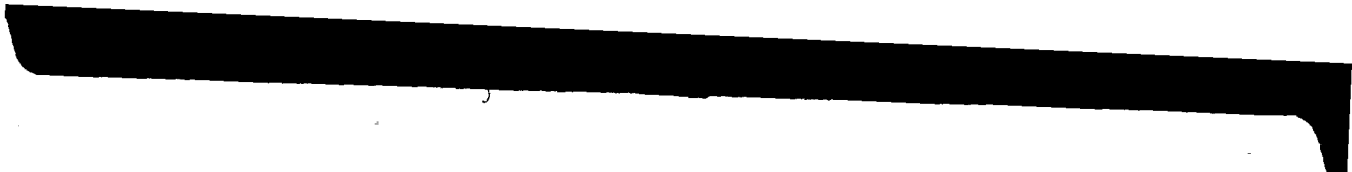


37 Quincy Street
Cherry Chase

35/13-09 S
2009 HAWP



Fothergill, Anne

From: Fothergill, Anne
Sent: Monday, October 10, 2011 1:58 PM
Subject: Oct. 12 staff item

37 Quincy is a non-contributing resource in Chevy Chase Village. The HPC approved a 2nd story expansion of this house and the applicants are proposing a minor change to a side elevation of the approved plans. They propose to not install one window in the new second floor that was shown on the left (west) side elevation. Approved and revised plans are attached and an aerial photo.

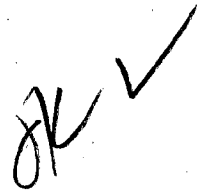
See you on Wednesday.

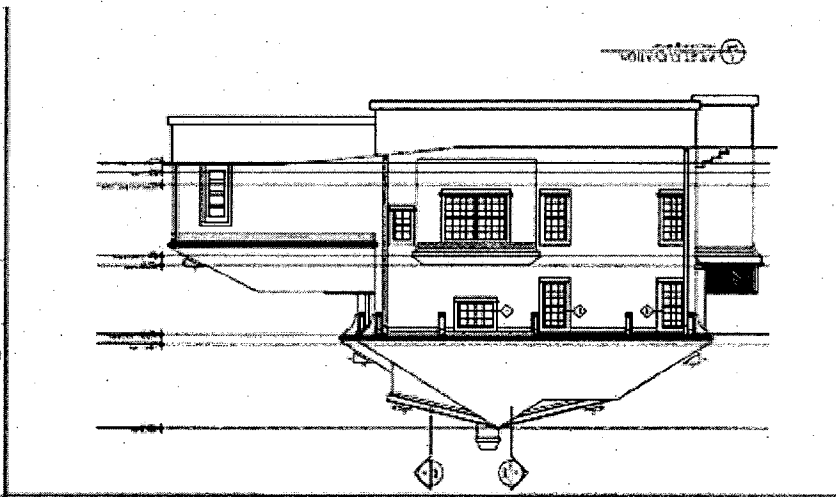
thanks,
Anne



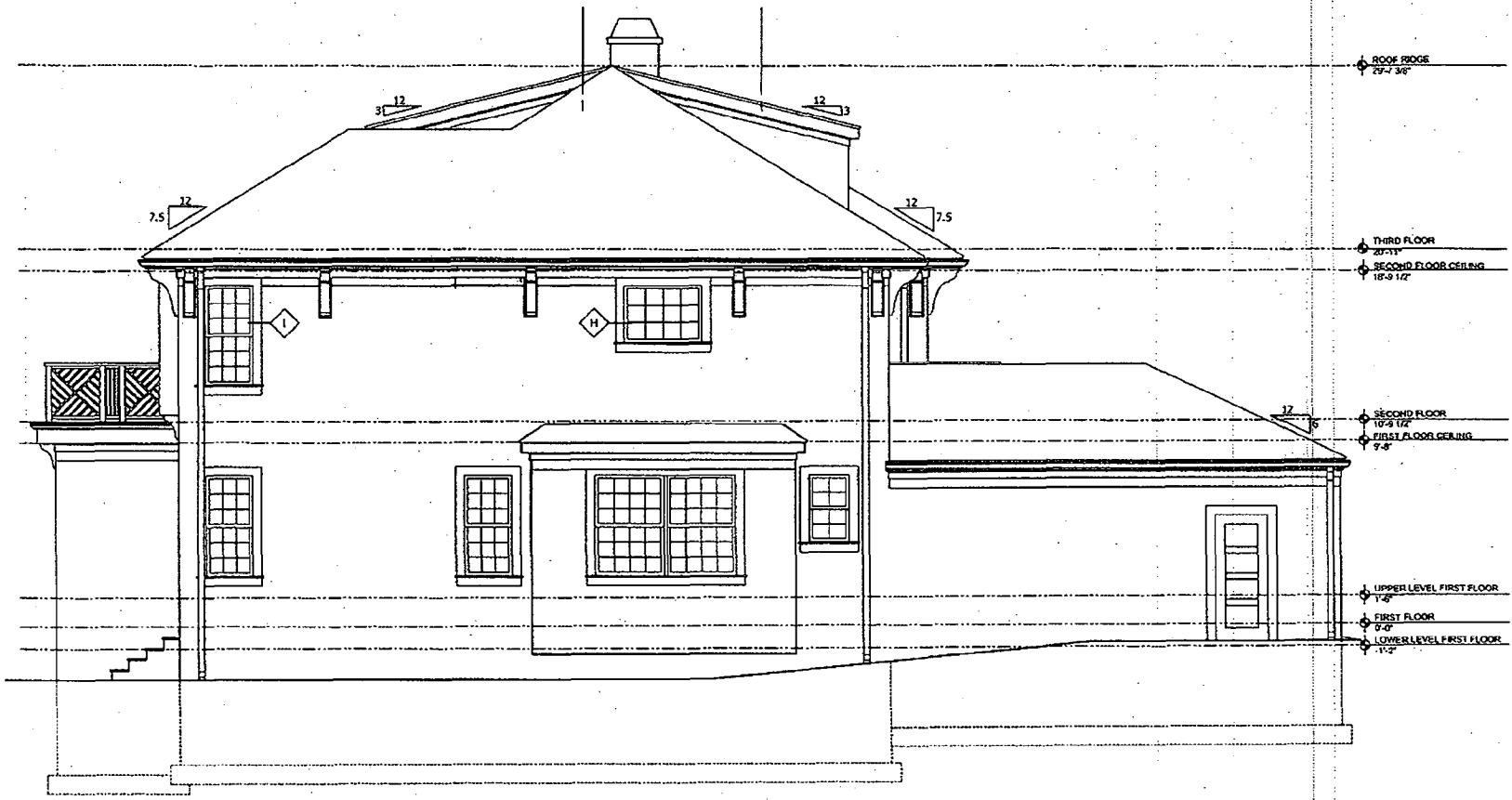
37 Quincy A-6.7 West MDMONT027025Nei
proved west side.dElevation Revision...ghObliq26N_0601...

Anne Fothergill
Planner Coordinator
Functional Planning and Policy Division | Historic Preservation Section
Maryland-National Capital Park and Planning Commission
301-563-3400 phone | 301-563-3412 fax
<http://www.montgomeryplanning.org/historic>
1400 Spring Street, Suite 500 W
Silver Spring, MD 20910



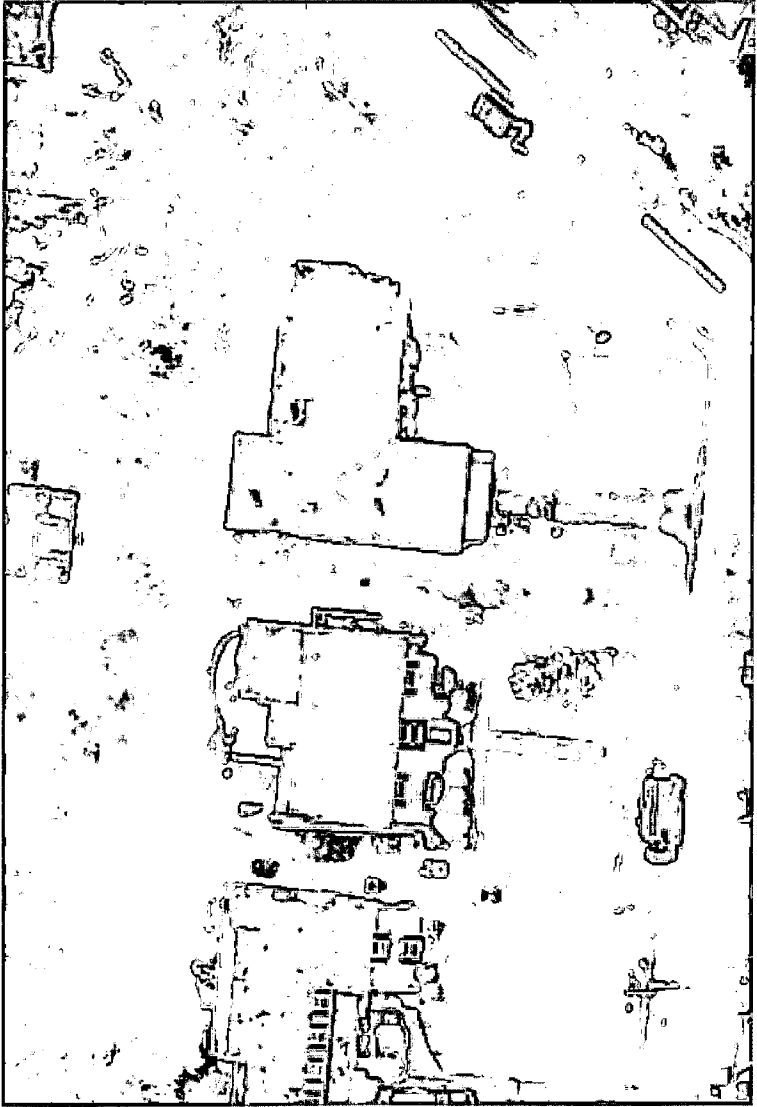


Approved



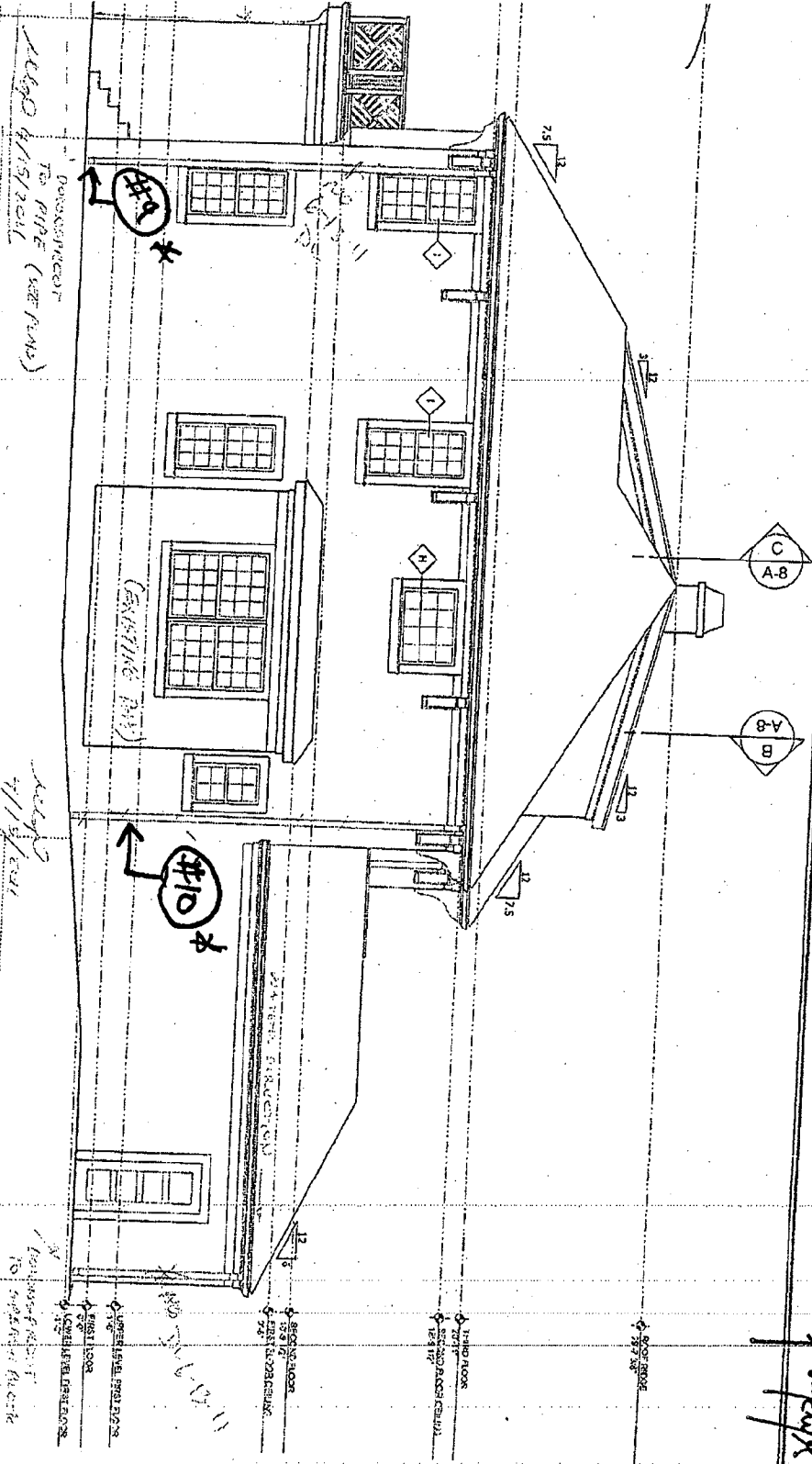
2 WEST ELEVATION
 A-6 SCALE: 3/16" = 1'-0"

revised



2 WEST ELEVATION

APPROVED CORROSION RESISTIVE FLASHING SHALL BE PROVIDED WHERE EXTERIOR PORCHES DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY ON WOOD-FRAME CONSTRUCTION.



APPROVED
 Montgomery County
 Historic Preservation Commission

Michael R. [Signature]

12/7/11

APPROVED
 Montgomery County
 Historic Preservation Commission

[Handwritten signature]

[Handwritten signature]
APPROVED
 JUN 13 2011
 Chevy Chase
 Village Manager

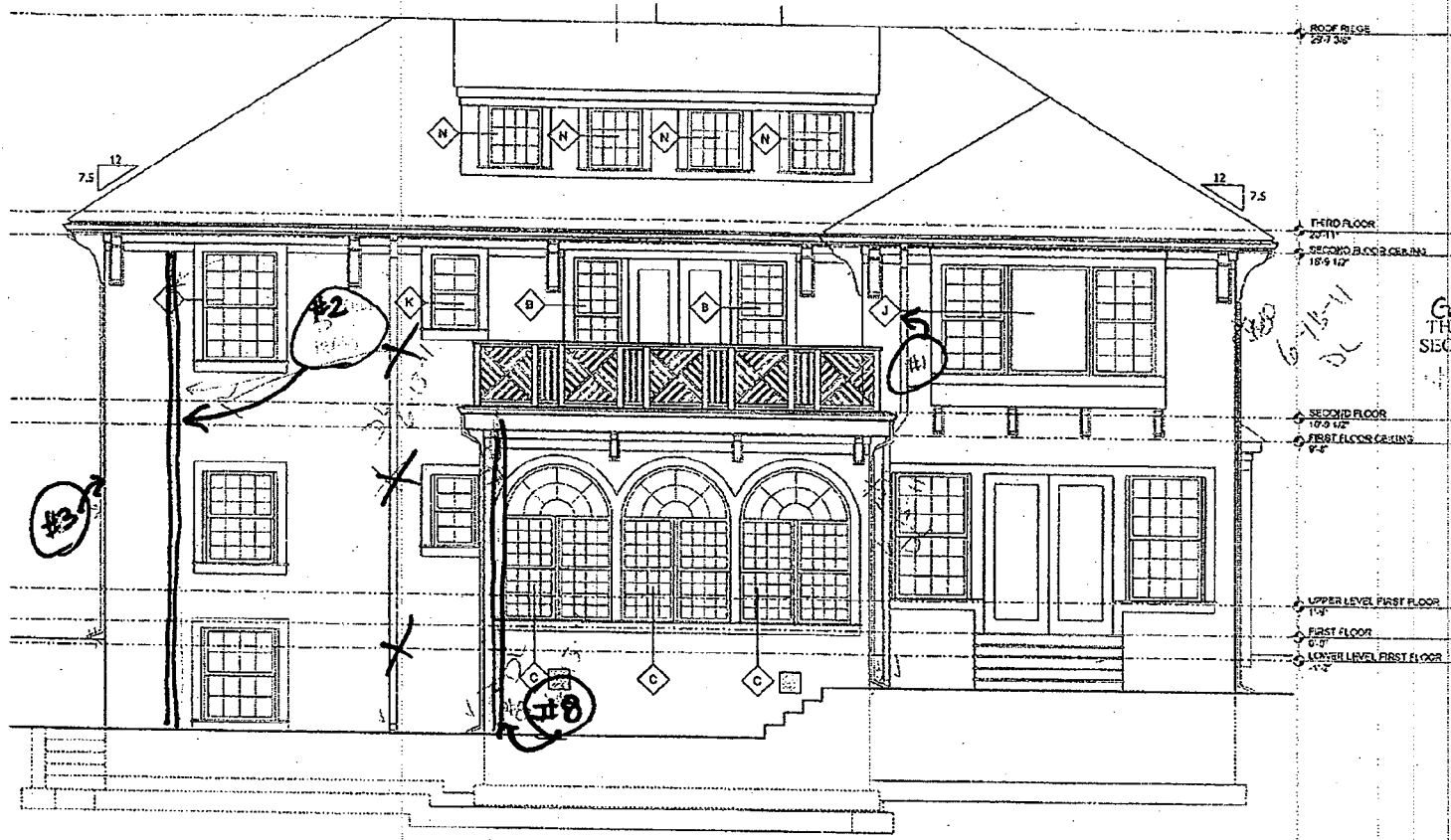


GARAGES BENEATH HABITABLE ROOMS
 SHALL HAVE MIN 5/8" TYPE X GYP BOARD
 ON CEILING AND 1/2" GYP BOARD ON ALL
 COMMON WALLS & BEARING WALLS

1 SOUTH ELEVATION
 A-B SCALE: 3/16" = 1'-0"

ATTIC/ROOF VENTILATION
 COMPLY WITH

SEE 8th FLOOR
 REVISED ELEV
 1/10/11



MONTGOMERY COUNTY
 APPROVED AS NOTED
 PLAN REVIEW SECTION

GUARD RAILS
 THESE PLANS SHALL COMPLY WITH
 SECTION 312 OF THE 2009
 I.R.C. 1 & 2 FAMILY DWELLING
 AS AMENDED BY MONT. CO.

3 NORTH ELEVATION
 A-6 SCALE: 3/16" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

I.R.C. 312.9
 AS AMENDED BY C.R. 2010-1-1

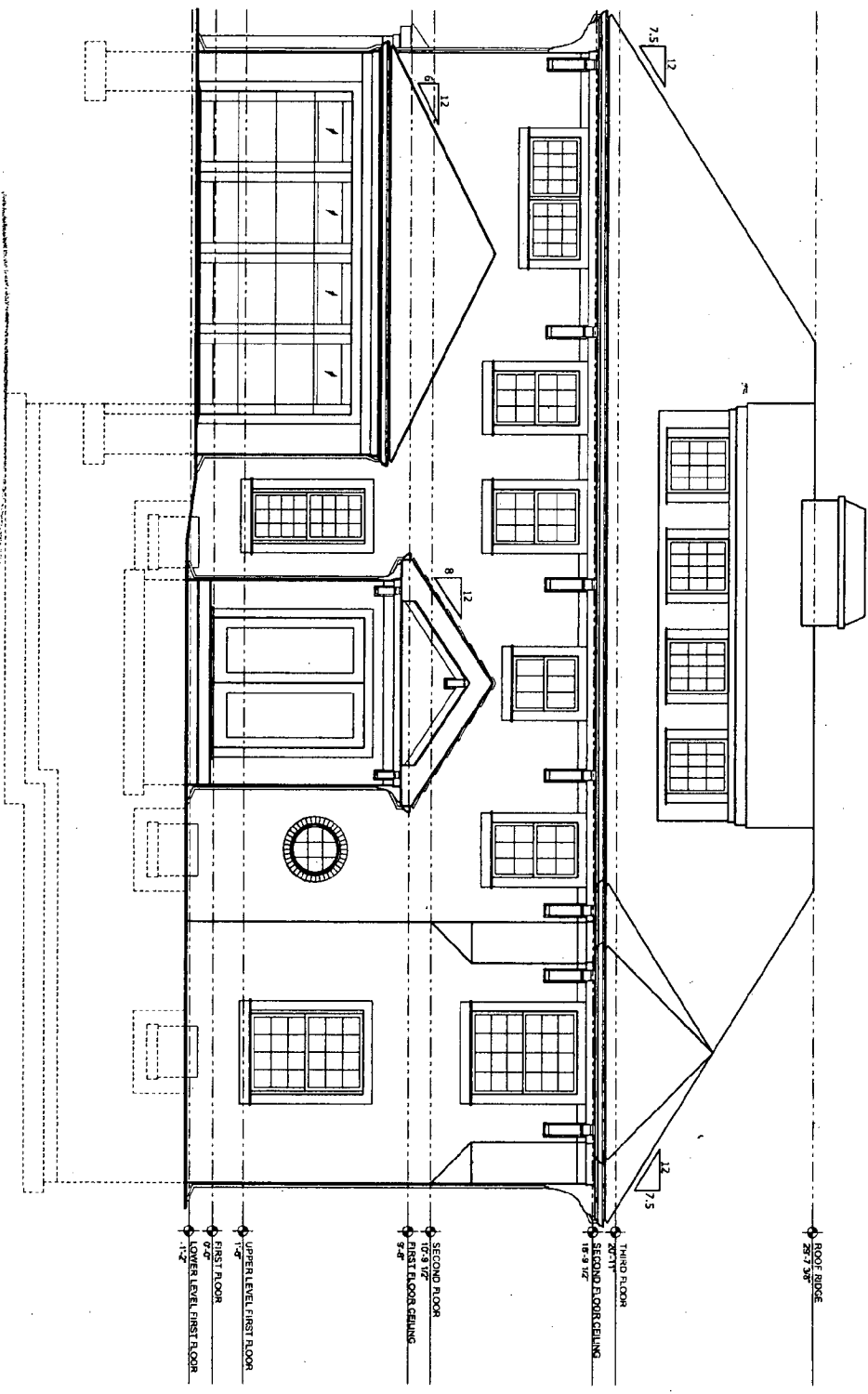


4 EAST ELEVATION
 A-6 SCALE: 3/16" = 1'-0"

545157

APPROVED
 Montgomery County
 Historic Preservation Commission

DRAWING #	PROJECT:	DESIGNER:	DATE/REVISIONS
		AMIR H FARAZAD	04.08.2010 04.15.2010
DRAWING #	PROJECT:	DRAWING TITLE:	DRAWN BY:
		EXTERIOR ELEVATIONS	G.O.
DRAWING #	PROJECT:	SCALE:	SEE PLOT
		RENOVATION	
DRAWING #		A6.0	



APPROVED
 Montgomery County
 Historic Preservation Commission
 AC 5/16/11

○ NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

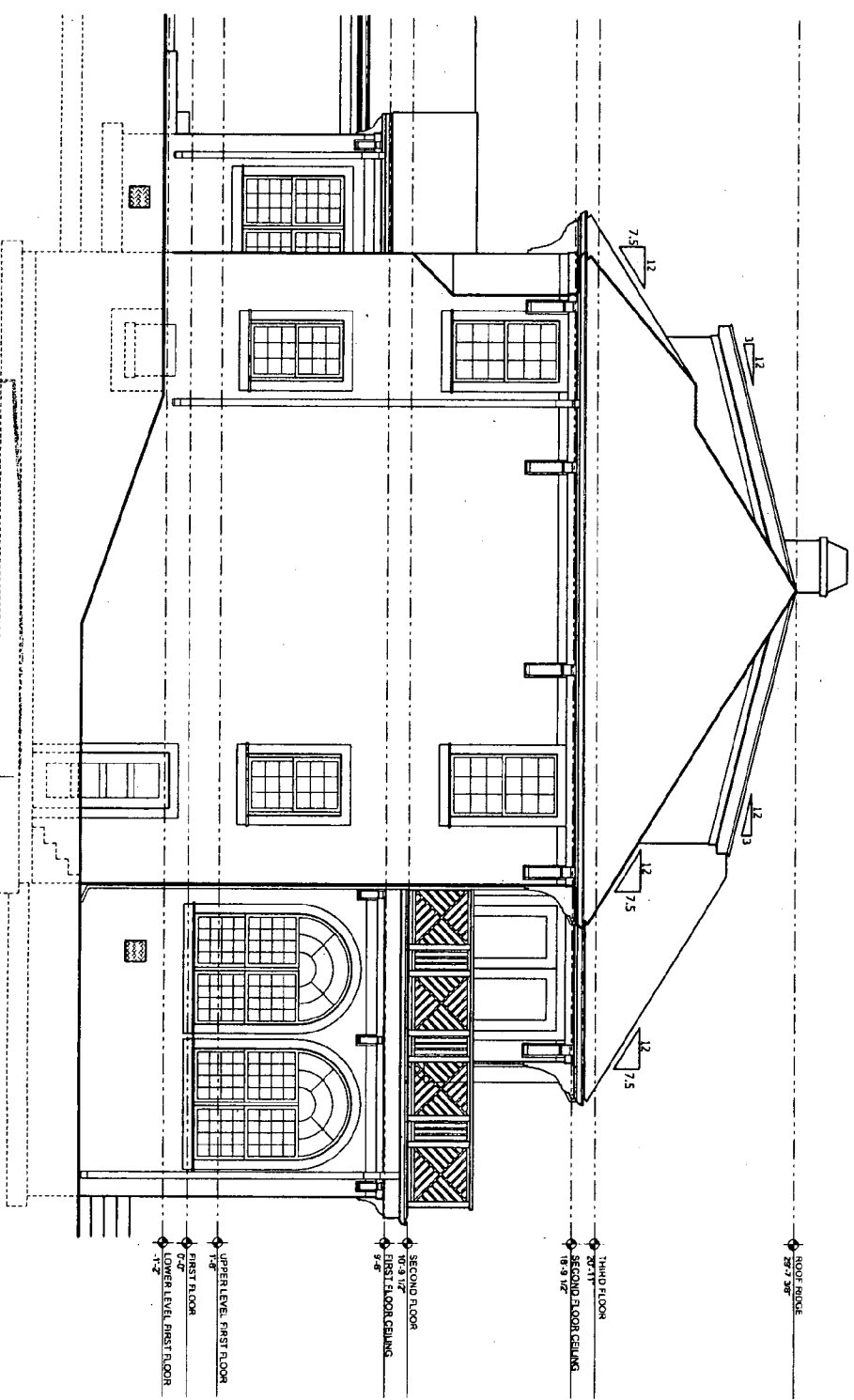
- ROOF RISE 7.5/12
- THIRD FLOOR 11/12
- SECOND FLOOR 11/12
- FIRST FLOOR 11/12
- UPPER LEVEL FIRST FLOOR 11/12
- LOWER LEVEL FIRST FLOOR 11/12
- SECOND FLOOR 8/12
- FIRST FLOOR 8/12
- UPPER LEVEL FIRST FLOOR 8/12
- LOWER LEVEL FIRST FLOOR 8/12
- ROOF RISE 7.5/12



POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY ST. CHEVY CHASE, MD 20815		PROJECT: RENOVATION
SCALE: 1/8" = 1'-0"		APPROVED
DATE: 05.16.2011	DRAWN BY: G.O.	DESIGNER: AMIR H. FARAZAD
	DRAWING #: A6.5	DRAWING TITLE: ELEVATION

APPROVED
 Montgomery County
 Historic Preservation Commission
 AF 5/16/11

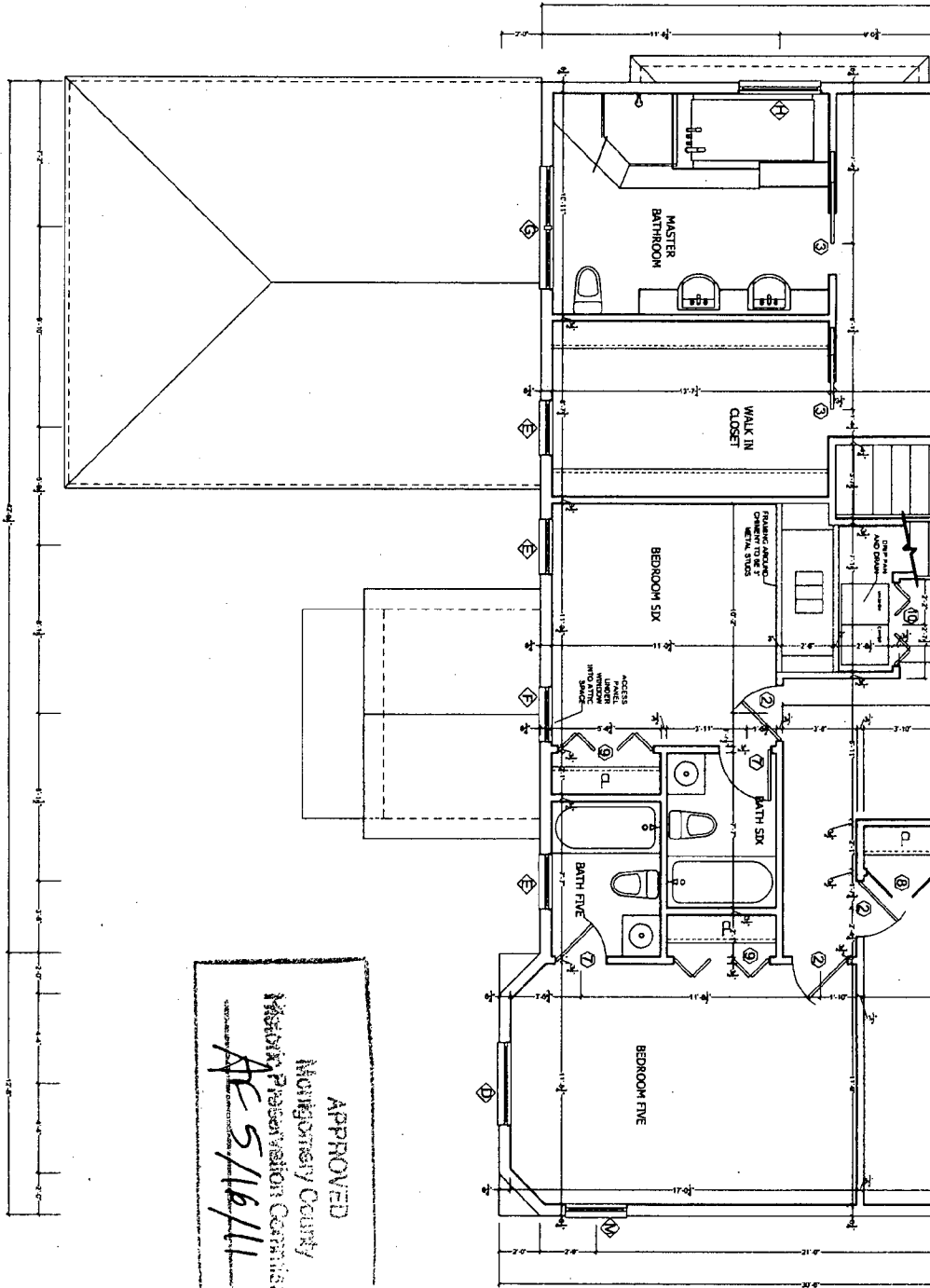


WEST ELEVATION
 SCALE: 1/8" = 1'-0"



POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY ST. CHEVY CHASE, MD 20815		PROJECT: RENOVATION
SCALE: 1/8" = 1'-0"		APPROVED
DATE: 05.16.2011	DRAWN BY: G.O.	DESIGNER: AMIR H. FARAZAD
DRAWING #: A6.5	DRAWING TITLE: ELEVATION	



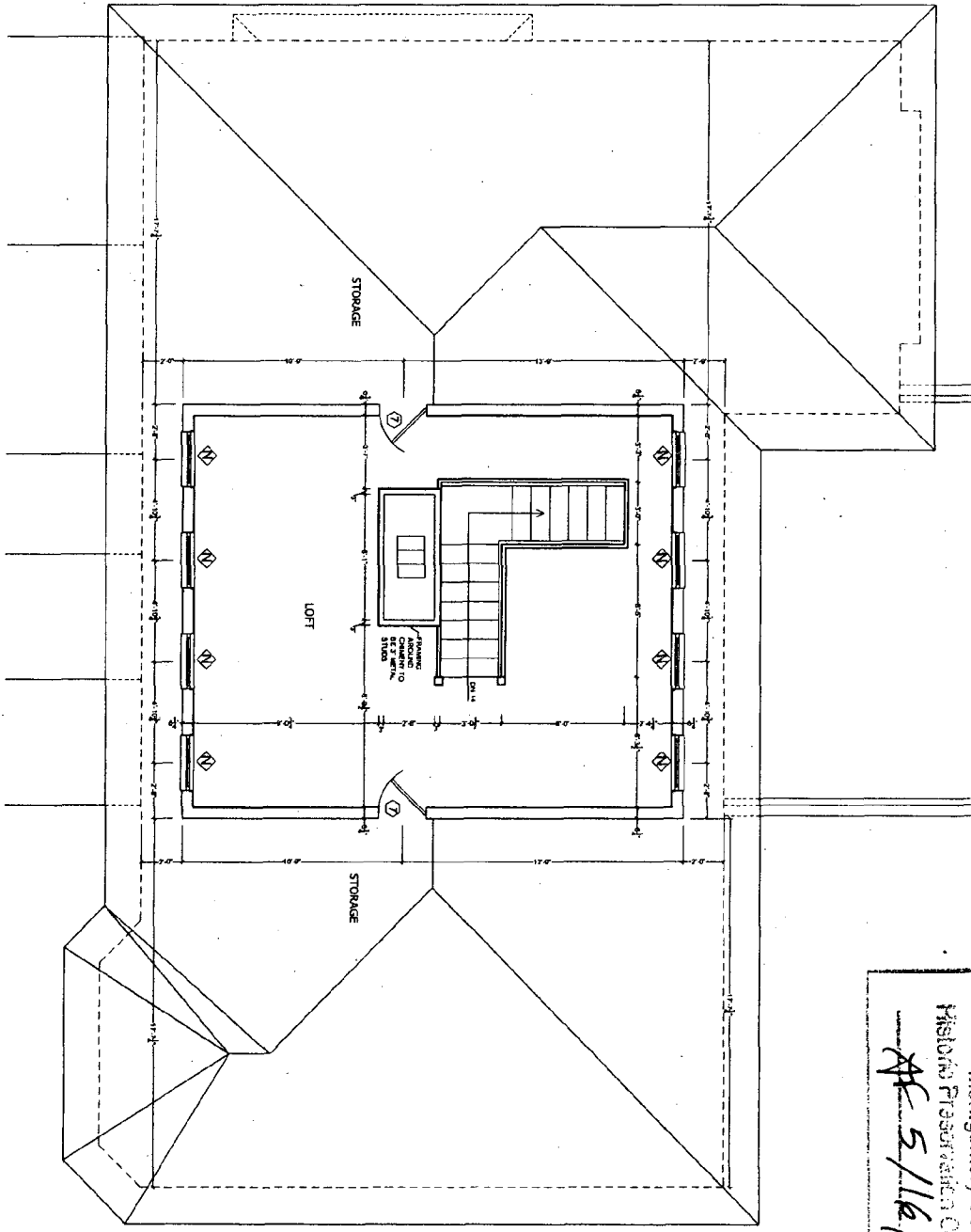
APPROVED
 Montgomery County
 Historic Preservation Commission
 A/E 5/16/11

SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY ST. CHEVY CHASE, MD 20815		PROJECT: RENOVATION	
SCALE: 1/8" = 1'-0"		APPRDVED:	
DATE: 05.16.2011		DESIGNER: AMIR H. FARAZAD	
DRAWN BY: G.O.		DRAWING TITE: PLAN	
DRAWING #: A4.2			



THRID FLOOR PLAN
SCALE: 1/8" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
5/16/14



POGGENPOHL MID-ATLANTIC
6809 WISCONSIN AVENUE
CHEVY CHASE, MD 20815
P- 301 657 8618
F- 301 657 8614

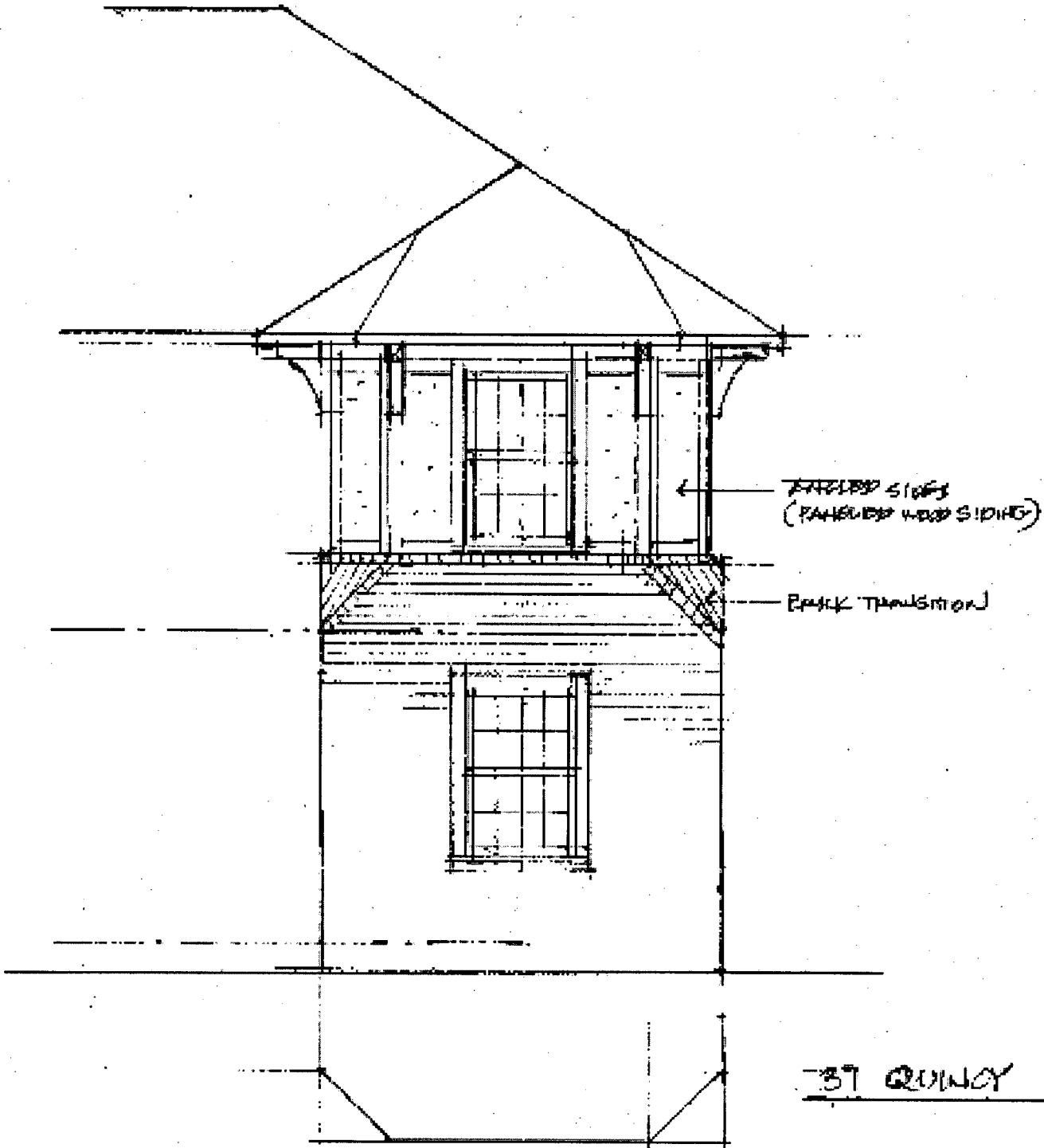
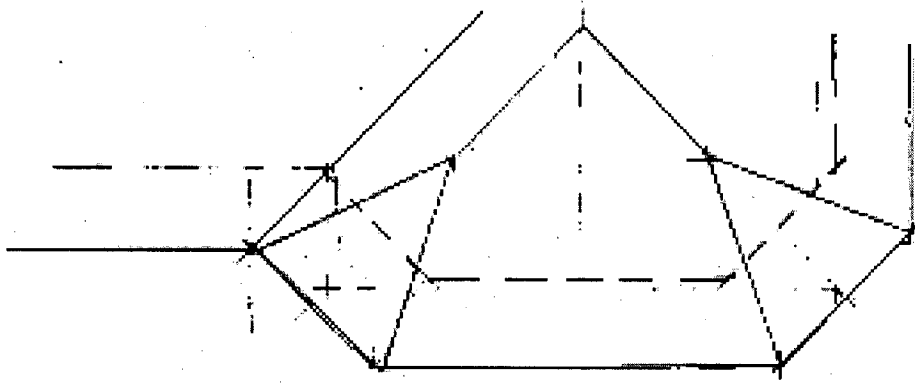
CLIENT: GRENNA RESIDENCE 37 QUINCY ST. CHEVY CHASE, MD 20815	
SCALE: 1/8" = 1'-0"	DRAWN BY: G.O.
DATE: 05.16.2011	DRAWING #: A4.3

PROJECT	RENOVATION
APPROVED	
DESIGNER	AMIR H. FARAZAD
DRAWING TITE	PLAN



37 QUINCY
FRONT ELEVATION
SCALE:

3/16/2004



Fothergill, Anne

From: Fothergill, Anne
Sent: Friday, May 06, 2011 12:08 PM
Subject: 37 Quincy staff item
Attachments: CLIPPED CORNER 1.pdf; CLIPPED CORNER 2.pdf

In 2010 the HPC approved a second story addition to 37 Quincy, which is a non-contributing resource in the Chevy Chase Village H.D. The applicants have their building permits and just found out that the new eave at the southeast corner is over the 25' setback and they cannot get a variance because of title covenants. They are proposing to clip that one corner as shown in the attached isometric drawings and then they will be in compliance with the setback.

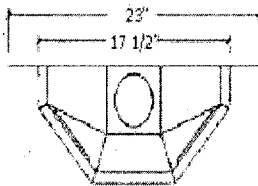
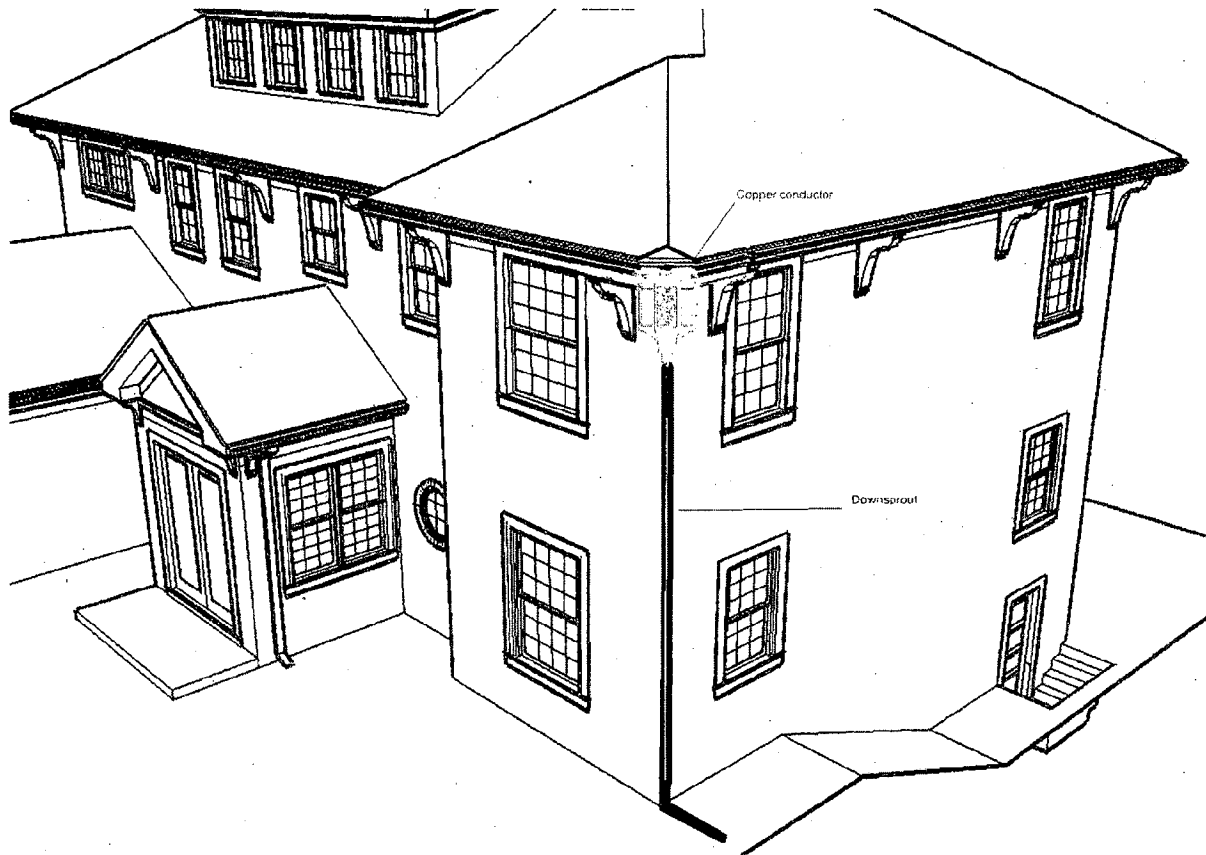
Other options that were discussed were removing the eaves from the house or clipping the west corner too for symmetry. I can show you those renderings if you want, but we feel this option has the least amount of impact. If you have questions let me know and we can discuss this as a staff item at the worksession on Wednesday.

Thanks and have a great weekend!

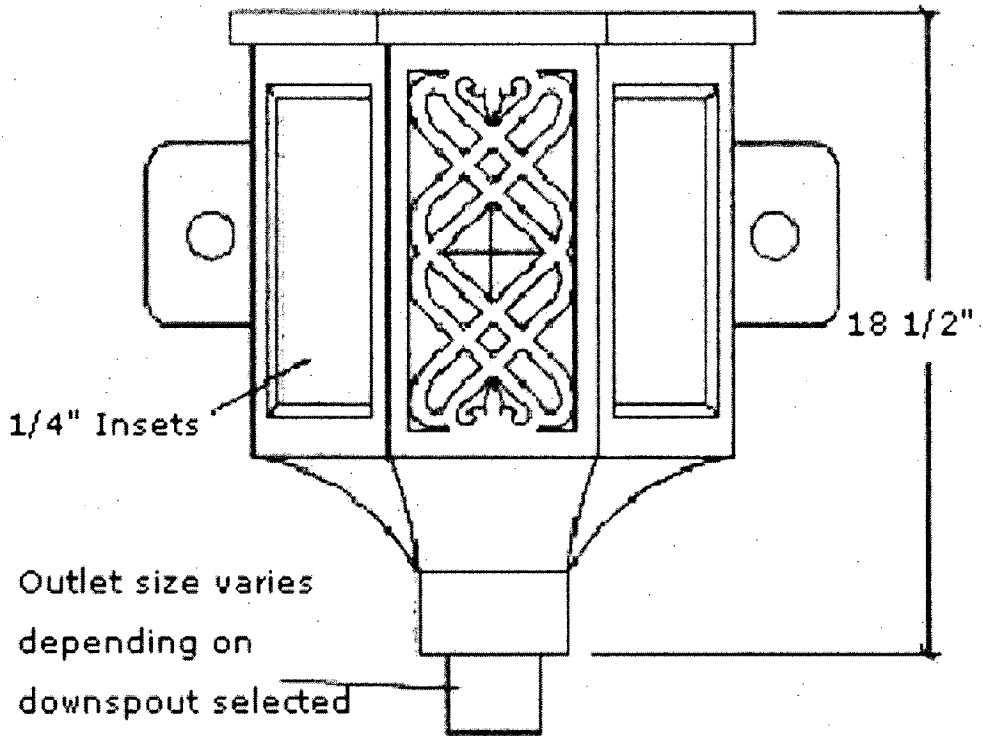
Anne

Anne Fothergill
Planner Coordinator
Functional Planning and Policy Division | Historic Preservation Section
Maryland-National Capital Park and Planning Commission
301-563-3400 phone | 301-563-3412 fax
<http://www.montgomeryplanning.org/historic>
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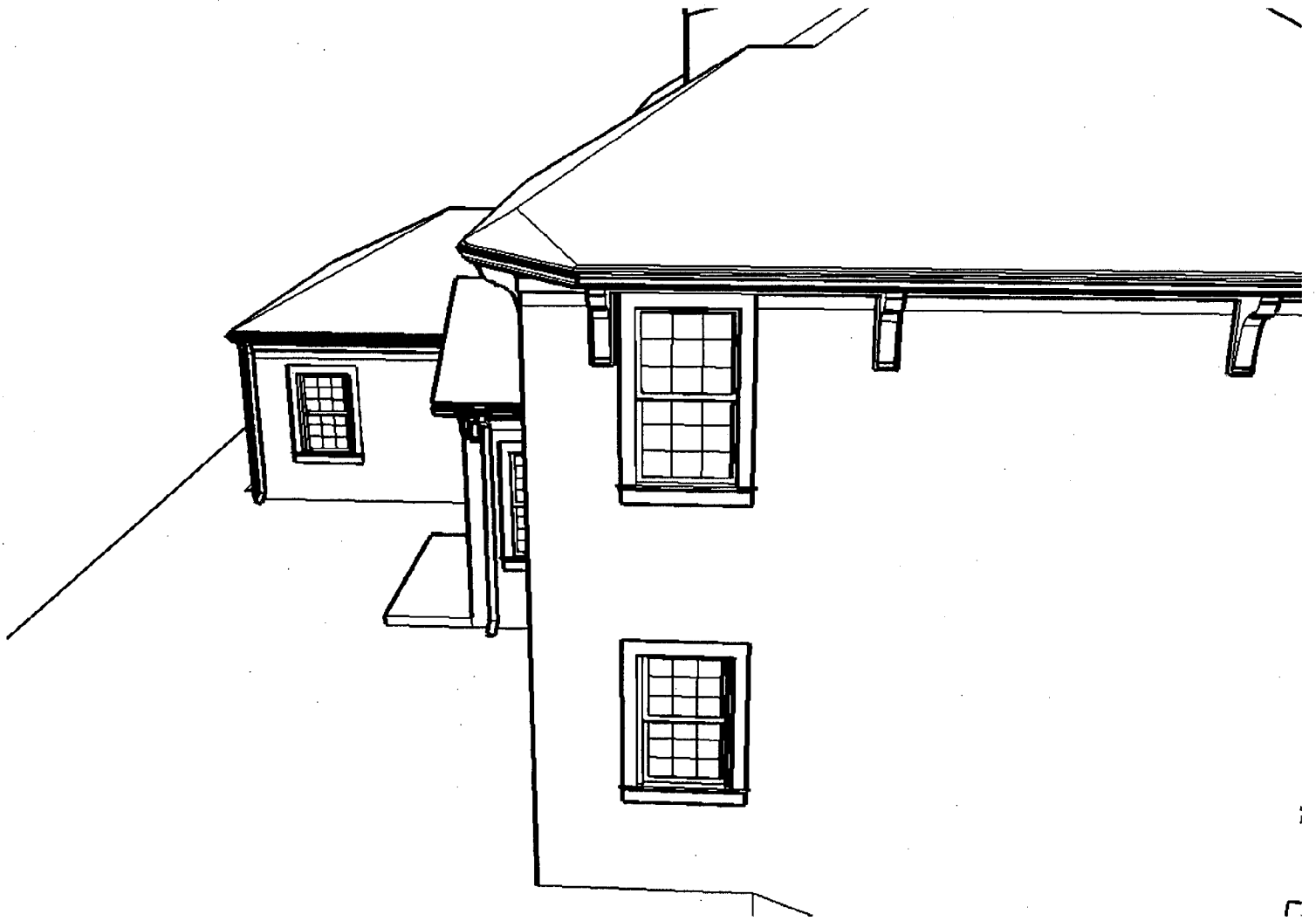


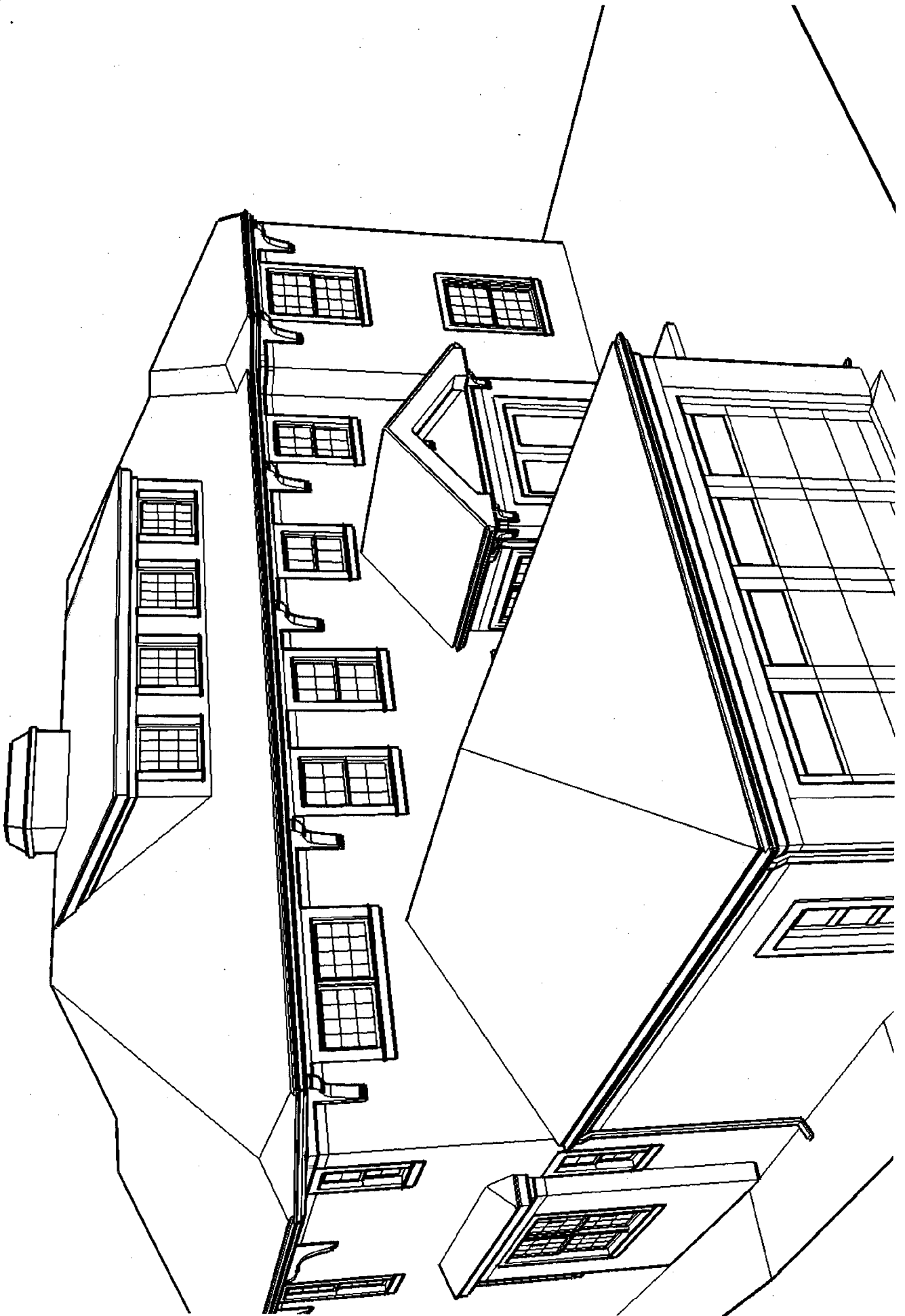


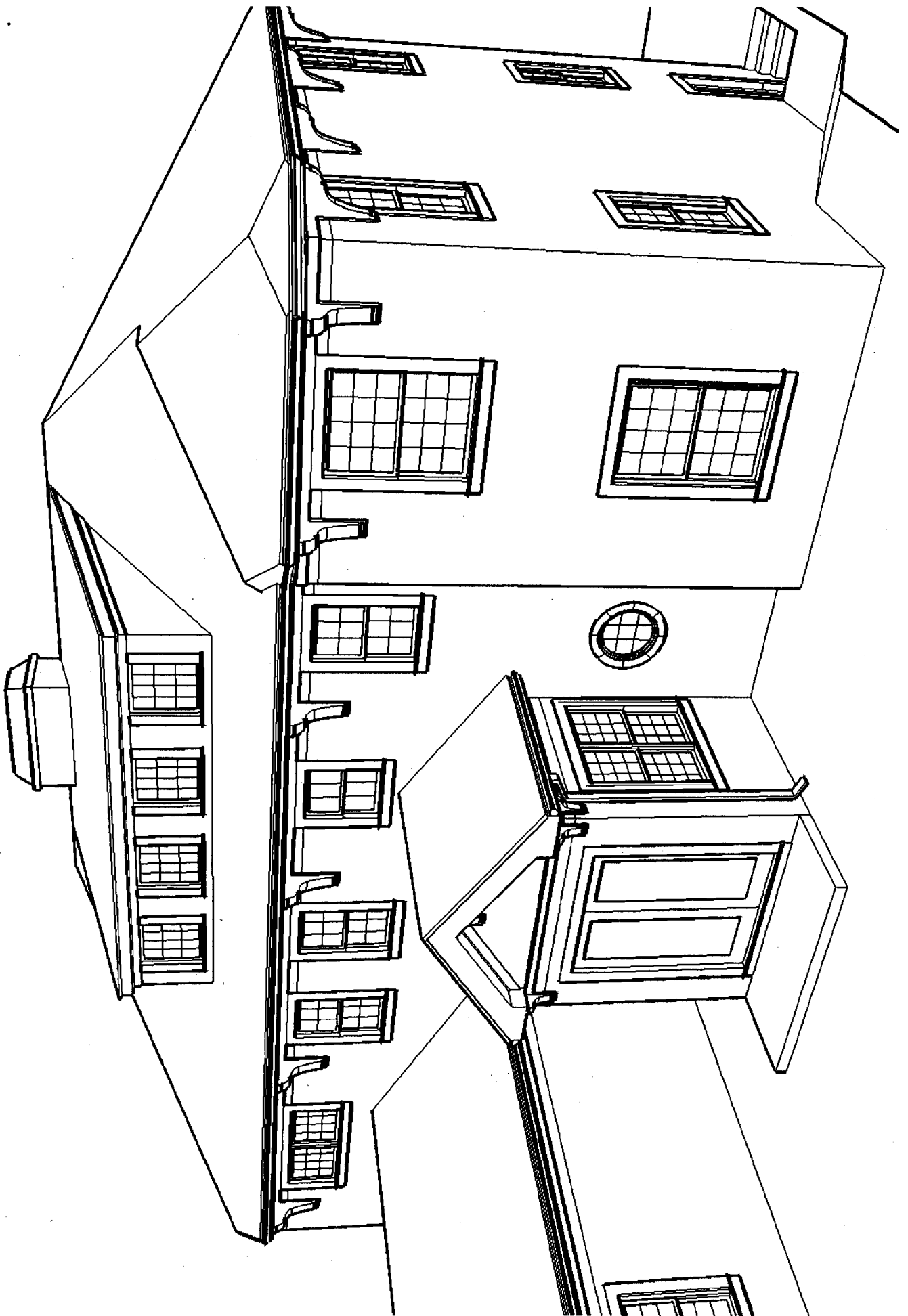
- The roof eaves would be reduced so as to project 12" rather than the current 24".
- The South-East corner of the roof would be modified to remain within the 25' clearance imposed by the CCV covenants
- To disguise any visual asymmetry that this could cause, we would install a copper conductor head that would connect copper gutters with a corner downspout. I made a tentative sketch of (i) the view and measures as seen from above of the conductor, and (ii) of the house corner as it would look with the conductor.





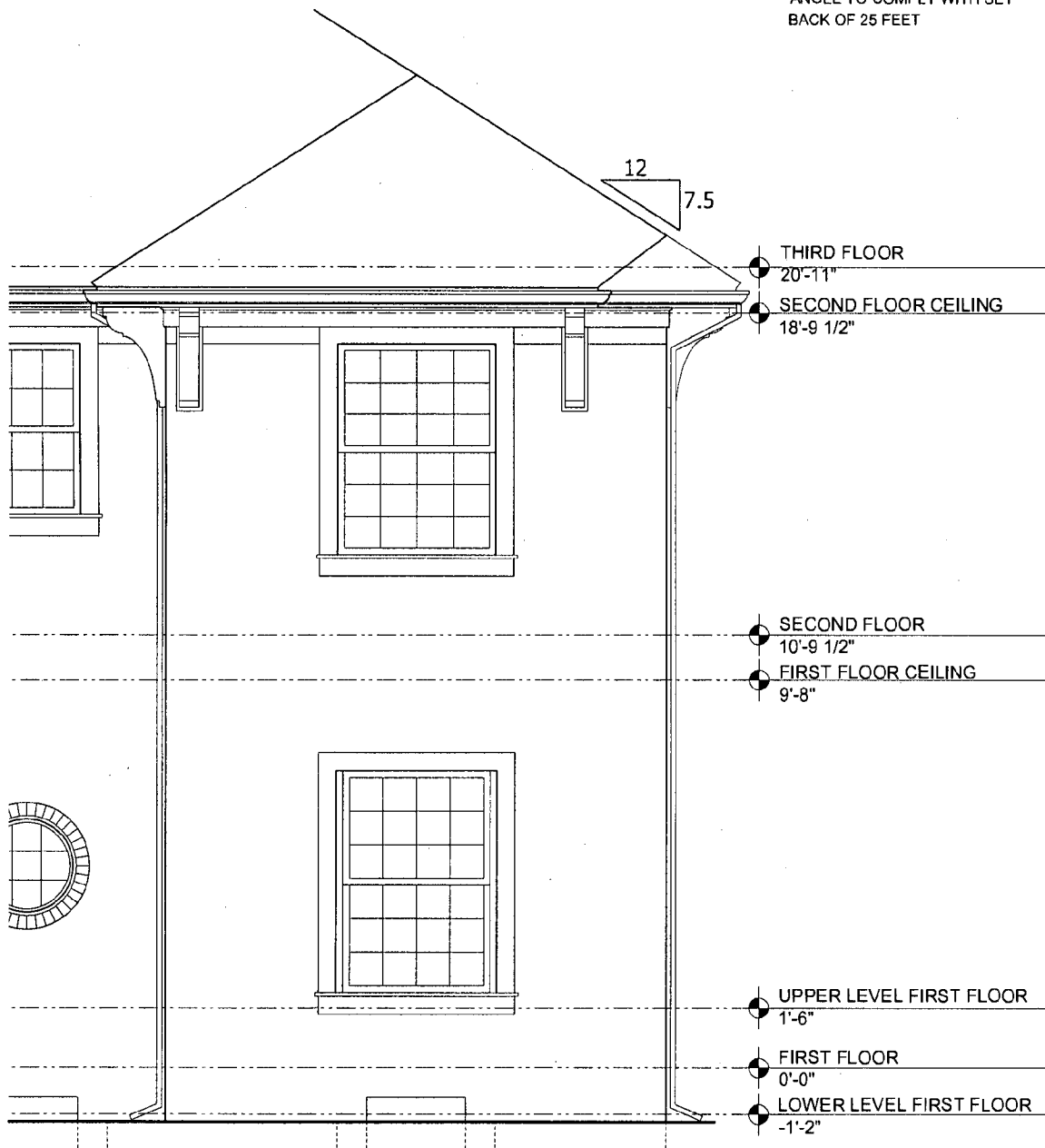






NOTES:

1. CLIP ROOF AT 45 DEGREE ANGLE TO COMPLY WITH SET BACK OF 25 FEET



○ SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

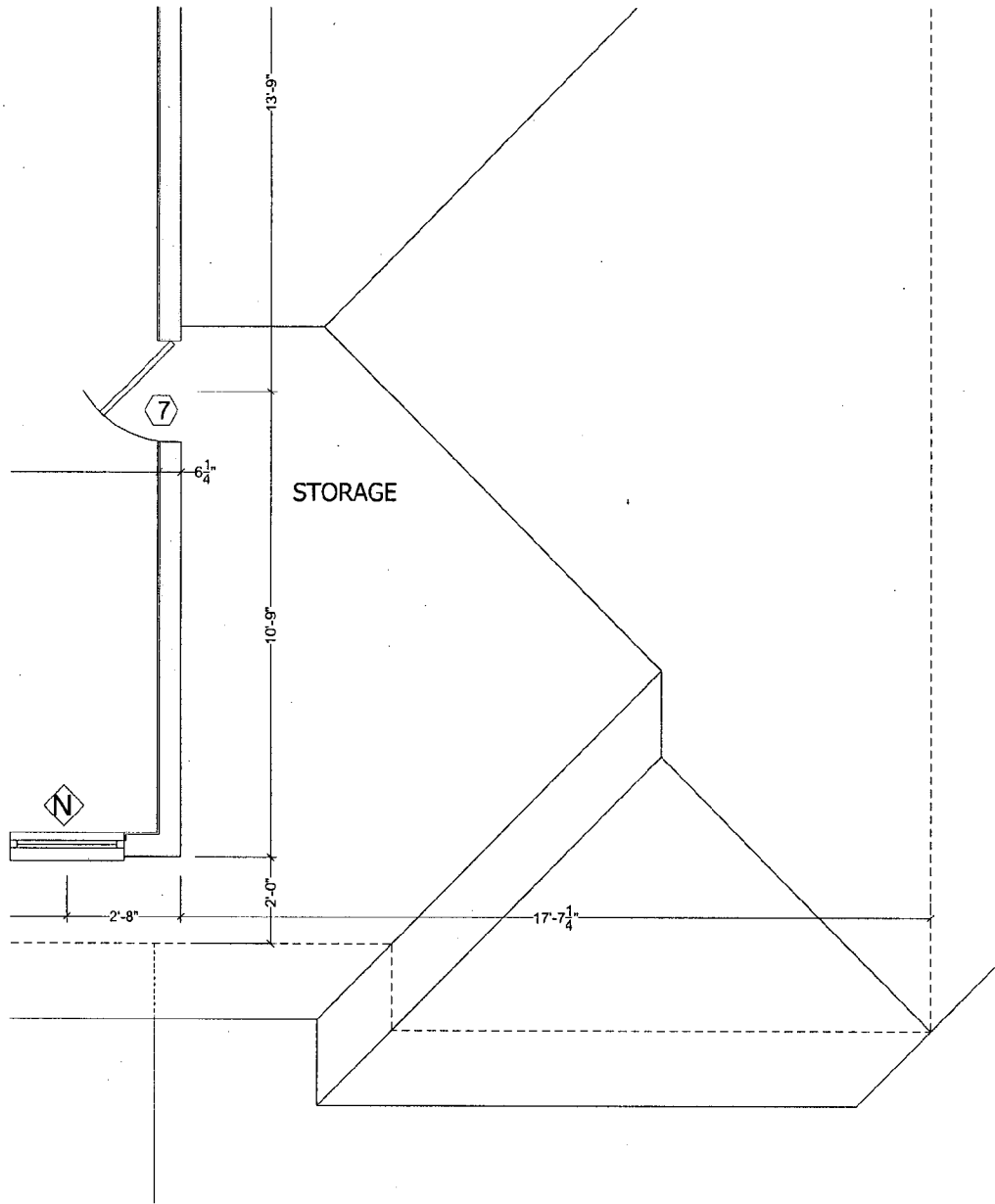


POGGENPOHL MID-ATLANTIC
6809 WISCONSIN AVENUE
CHEVY CHASE, MD 20815
P- 301 657 8618
F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY ST, CHEVY CHASE, MD 20815		PROJECT: RENOVATION
SCALE: 1/4" = 1'-0"		APPROVED:
DATE: 04.28.2011	DRAWN BY: G.O.	DESIGNER: AMIR H. FARAZAD
	DRAWING #: A6.1	DRAWING TITLE: ELEVATION

NOTES:

1. CLIP ROOF AT 45 DEGREE ANGLE TO COMPLY WITH SET BACK OF 25 FEET



○ PROPOSED THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

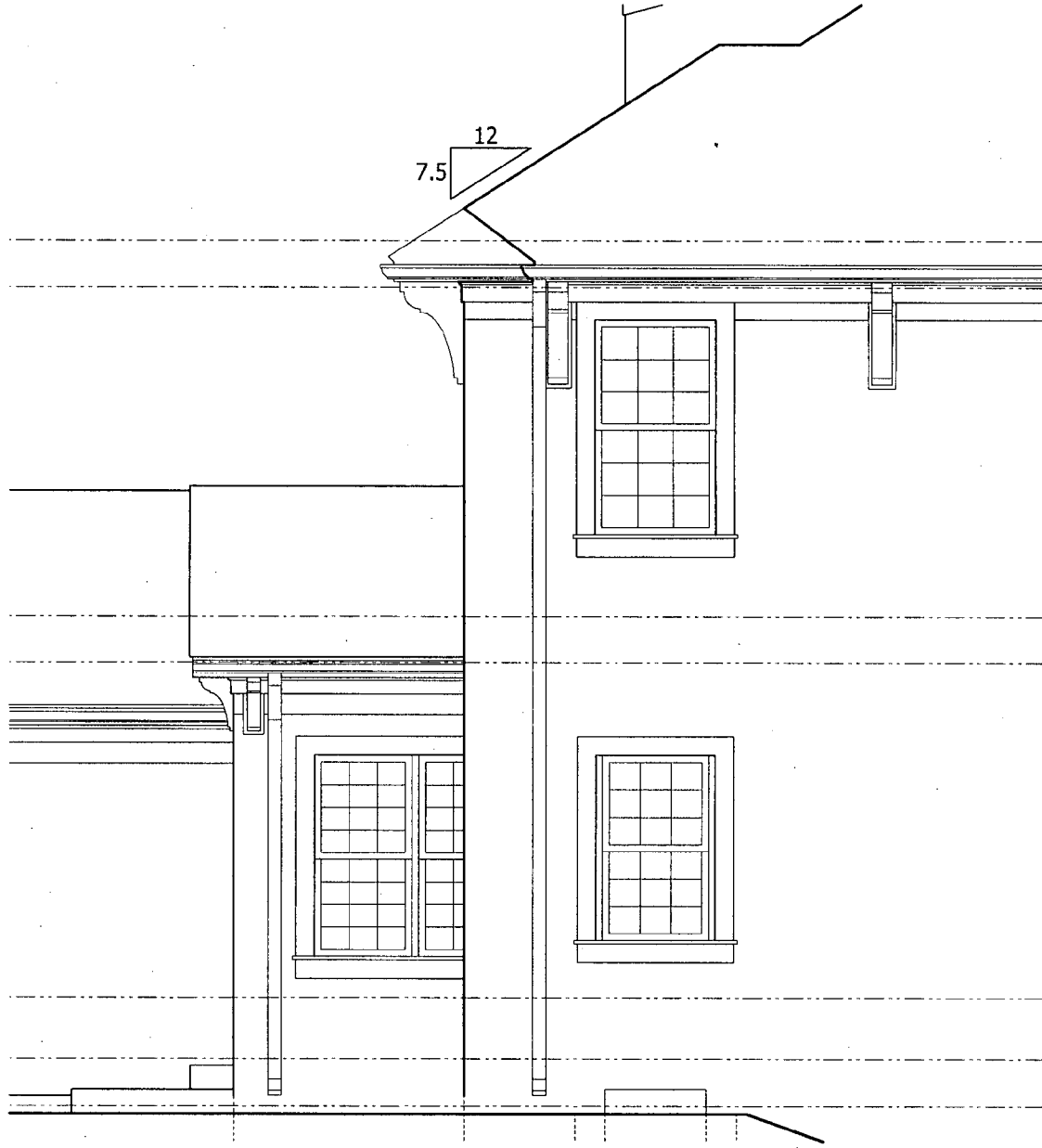


POGGENPOHL MID-ATLANTIC
6809 WISCONSIN AVENUE
CHEVY CHASE, MD 20815
P- 301 657 8618
F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY ST, CHEVY CHASE, MD 20815		PROJECT: RENOVATION
SCALE: 1/4" = 1'-0"		APPROVED:
DATE: 04.28.2011	DRAWN BY: G.O.	DESIGNER: AMIR H. FARAZAD
	DRAWING #: A4.1	DRAWING TITE: PLAN

NOTES:

1. CLIP ROOF AT 45 DEGREE ANGLE TO COMPLY WITH SET BACK OF 25 FEET



○ EAST ELEVATION
SCALE: 1/4" = 1'-0"



POGGENPOHL MID-ATLANTIC
6809 WISCONSIN AVENUE
CHEVY CHASE, MD 20815
P- 301 657 8618
F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY ST, CHEVY CHASE, MD 20815		PROJECT: RENOVATION
SCALE: 1/4" = 1'-0"		APPROVED:
DATE: 04.28.2011	DRAWN BY: G.O.	DESIGNER: AMIR H. FARAZAD
	DRAWING #: A6.2	DRAWING TITE: ELEVATION

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	37 Quincy Street, Chevy Chase	Meeting Date:	4/28/10
Resource:	Non-Contributing Resource Chevy Chase Village Historic District	Report Date:	4/21/10
Applicant:	Lucia Grenna	Public Notice:	4/14/10
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-10E	Staff:	Anne Fothergill

PROPOSAL: Second story and attic expansion and rear addition and alterations to house

STAFF RECOMMENDATION

Staff recommends that the HPC approve the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Chevy Chase Village Historic District
STYLE: Modern Ranch
DATE: 1951

BACKGROUND

The applicants came to the HPC on December 16, 2009 for a Preliminary Consultation. At that time, the applicants were proposing a second story expansion as well as a two-story addition at the front and the rear. The HPC generally supported the second story expansion but the Commission was concerned about the scale and complexity of the massing. The HPC also did not support the two additions and recommended a reduction in the size of the house. The HPC asked the applicant to provide an accurate height comparison of the proposed house and the adjacent house. They encouraged the applicant to consider a new driveway off Brookville Road and adding a garage at the rear of the house. The transcript is in Circles 26-44.

PROPOSAL

The applicant is proposing to add a second story and attic to this one-story house and a one-story addition at the rear of the house. The proposed pedimented front entry has wood brackets and wood French single-light doors. There are dormers on the front and rear of the house. The rear addition has large windows with fan lights on three sides and a rooftop deck with Trex decking and a wood railing. The plans show new wood trim around all the existing vinyl-clad wood windows on the first floor and a new wood garage door. The proposed materials are stucco, wood trim, wood brackets under the eaves, wood doors, wood windows with simulated divided lights, a masonry chimney, and an asphalt shingle roof. See proposed plans in Circles 8-24 and photos in Circles 45-58.

The applicant will work with the Chevy Chase Village Arborist on any required tree protection.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District

The Guidelines define a Non-Contributing or Out-of-Period Resource as "A resource which does not directly contribute to the historicity of the district because of its lack of architectural and historical significance and/or because of major alterations that have eliminated most of the resource's original architectural integrity. Or a resource that is a newer building, which possibly contributes to the overall streetscape but is out of the district's primary historical and architectural context."

The Guidelines state:

Non-contributing/out-of-period resources are either buildings that are of little or no architectural and historical significance to the historic district or newer buildings constructed outside the district's primary period of historical importance. HAWP applications for exterior alterations, changes, and/or additions to these type of resources should receive the most lenient level of design review.

Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #2: The historic character of a property will be retained or preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The Chevy Chase Guidelines state: "Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole."

The proposed expansion of this one-story house with a new second floor, attic, and rear addition will have an impact on the surrounding streetscape and could affect the character of the historic district. Because this is a corner property at the corner of Quincy Street and Brookville Road, these will be very visible changes, and it is important that the expansion of this house be done sensitively and compatibly.

At the Preliminary Consultation, there were major concerns regarding the initial design's scale and massing, but the applicants have responded to the Commission's concerns. The new design has been simplified and expands the existing footprint only slightly and that expansion is mainly at the rear (other than the new front entrance). The proposed house is lower than the adjacent resource and the materials are appropriate for the historic district. The applicants may prefer front doors that offer more privacy but the proposed doors will not adversely impact the historic district.

Staff recommends that the HPC approve the HAWP application.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: John Benedetto

Daytime Phone No.: 703-772-3506

Tax Account No.:

Name of Property Owner: Lucia Grenna Daytime Phone No.: 202-415-3831

Address: 3907 McKinley St NW Washington DC 20015
Street Number City Street Zip Code

Contractor: OWNER Phone No.:

Contractor Registration No.:

Agent for Owner: John Benedetto Daytime Phone No.: 703-772-3506

LOCATION OF BUILDING/PREMISE

House Number: 37 Street: Quincy

Town/City: Chevy Chase Nearest Cross Street: Brookville

Lot: p/o lot 14 Block: 61 Subdivision: 9

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Well (complete Section 4) Other:

1B. Construction cost estimate: \$ 35,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

9/22/09 Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 526423 Date Filed: 11/25/09 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

2-Story addition to existing 1 story house located on corner of Quincy St. and Brookville Rd.
Existing house is a 2 story brick rambler constructed in 1951, and later added on to in 1996.
Existing resource was left in disrepair for nearly a decade and has recently undergone limited
renovation. Existing property is non-contributing.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The prosed addition will have little impact on the historic district or adjoining resources.
Design elements will be in keeping with the character of the neighborhood, which largely
consists of Neoclassical and Georgian style houses.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6

CONFRONTING AND ADJACENT PROPERTIES TO 37 QUINCY ST, CHEVY CHASE, MD 20815

SACKS, STEPHEN K & CHARLOTTE M HOGG
35 QUINCY ST
CHEVY CHASE MD 20815-4226

BOURKE, THOMAS K & D H
36 QUINCY ST
CHEVY CHASE MD 20815

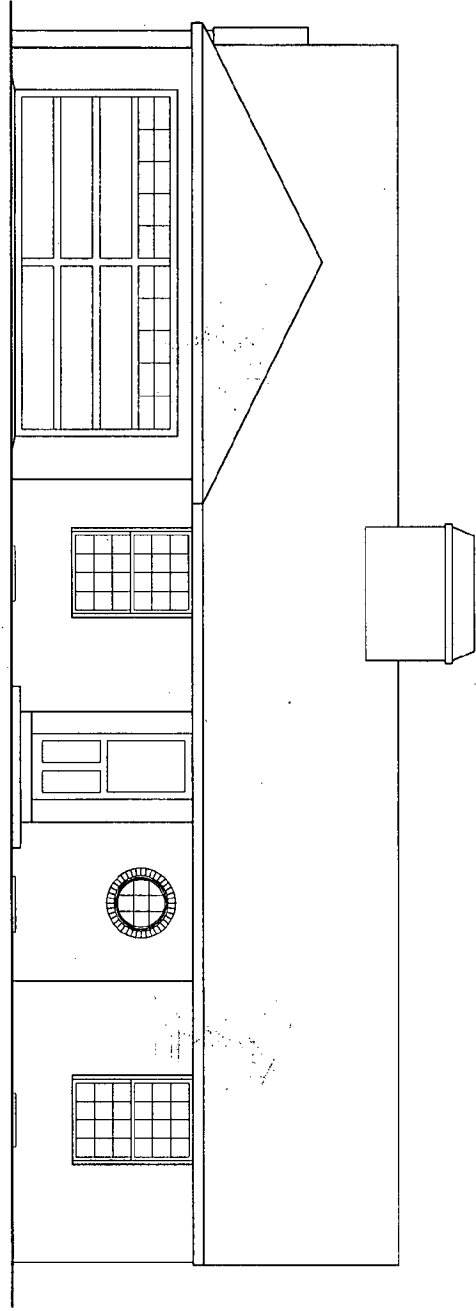
HORNING, MARK F
KATHLEEN M FALLO
6515 BROOKVILLE RD
CHEVY CHASE MD 20815-3336

WOOD, WILLIAM T & M R
3707 BRADLEY LANE
CHEVY CHASE MD 20815

ISELL, DAVID B ET AL
3709 BRADLEY LN
BETHESDA MD 20815-4256

01

EXISTING SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



POGGENPOHL MID-ATLANTIC
6809 WISCONSIN AVENUE
CHEVY CHASE, MD 20815
P- 301 657 8618
F- 301 657 8614

CLIENT: **GRENNA RESIDENCE**
37 QUINCY STREET
CHEVY CHASE, MD 20815

SCALE: SEE PLOT

DATE: 04.08.2010
04.15.2010

DRAWN BY: G.O.

DRAWING #: A3.0

PROJECT: RENOVATION

APPROVED:

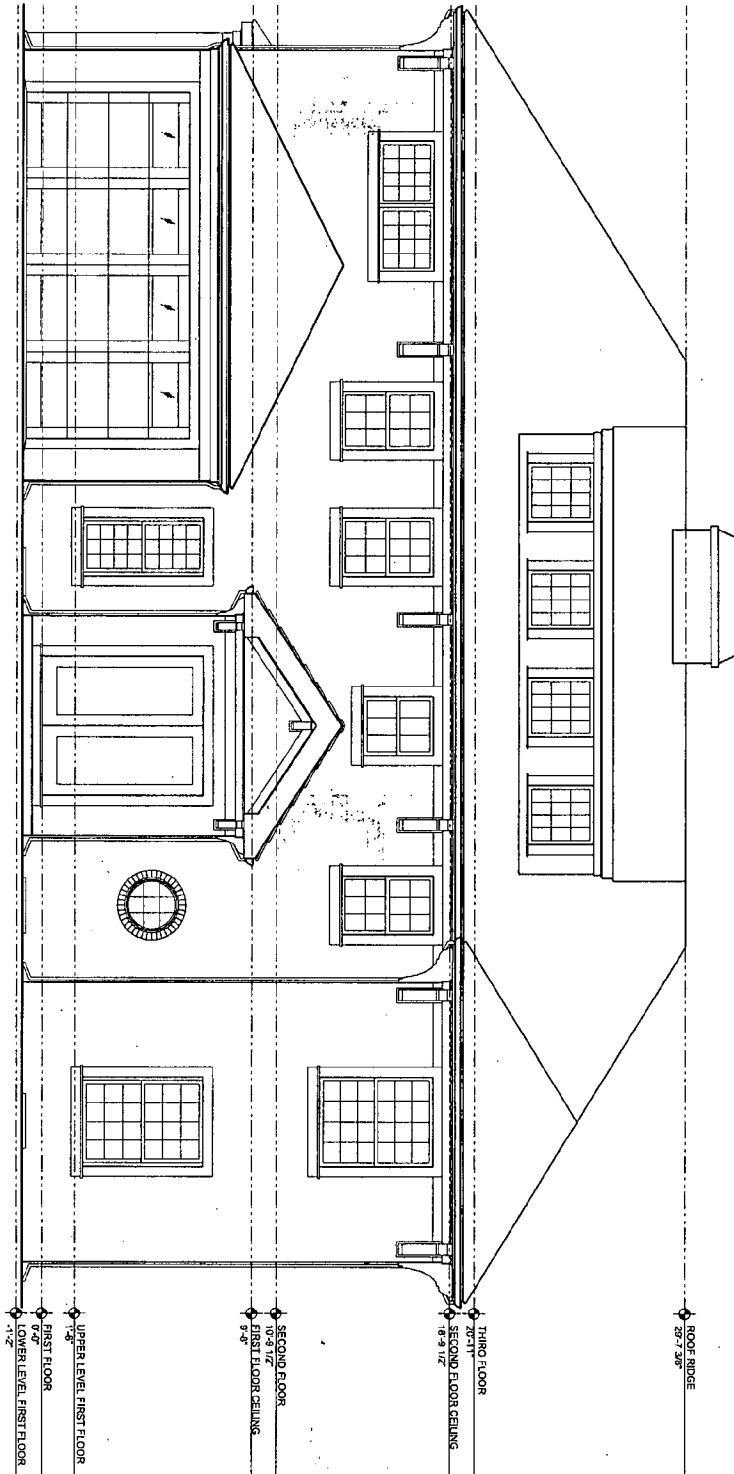
DESIGNER: AMIR H. FARAZAD

DRAWING TITLE: EXISTING ELEVATION

(1)

PROPOSED SOUTH ELEVATION

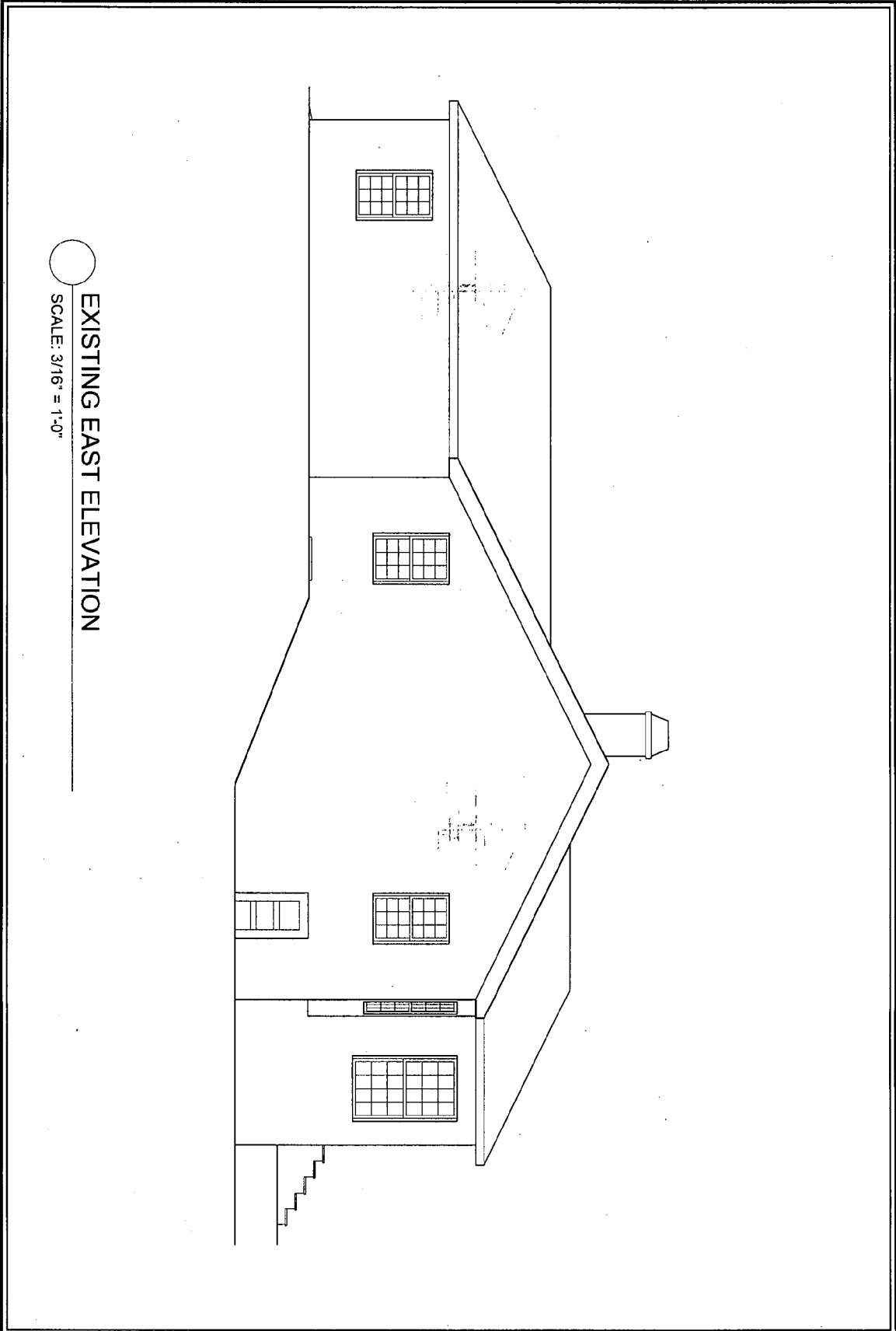
SCALE: 3/16" = 1'-0"




POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 T 301 657 8618
 F 301 657 8614

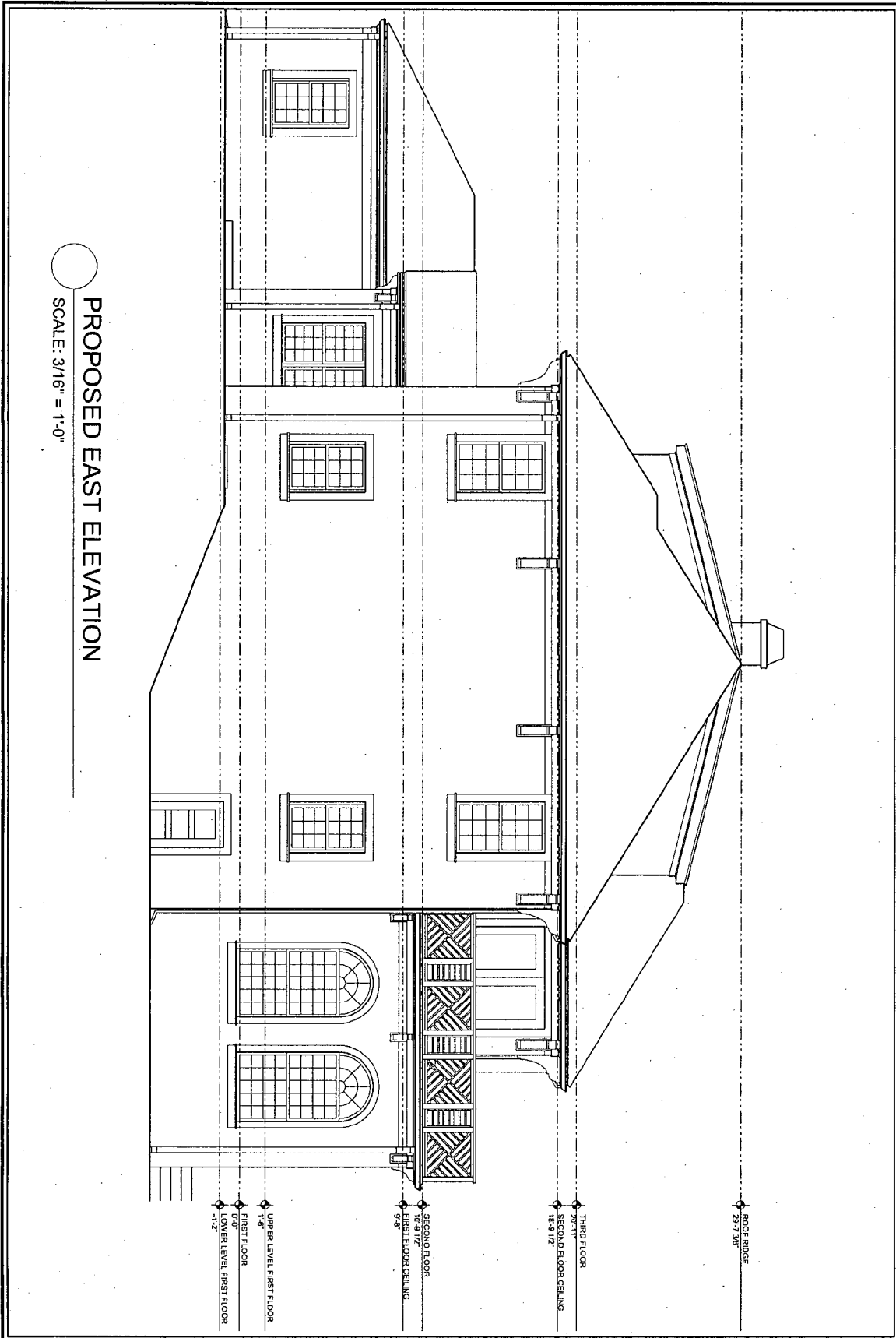
CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815	
SCALE: SEE PLOT	DRAWN BY: G.O.
DATE: 04.08.2010 04.15.2015	DRAWING #: A10.0

PROJECT: RENOVATION
APPROVED:
DESIGNER: AMIR H. FARAZAD
DRAWING TYPE: PROPOSED ELEVATION



EXISTING EAST ELEVATION
 SCALE: 3/16" = 1'-0"

 <p>POGGENPOHL MID-ATLANTIC 6809 WISCONSIN AVENUE CHEVY CHASE, MD 20815 P- 301 657 8618 F- 301 657 8614</p>	CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVATION
	SCALE: SEE PLOT		APPROVED:
	DATE: 04.08.2010 04.15.2010	DRAWN BY: G.O. DRAWING #: A6.0	DESIGNER: AMIR H. FARAZAD
			DRAWING TITLE: EXISTING ELEVATION



PROPOSED EAST ELEVATION

SCALE: 3/16" = 1'-0"



POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: **GRENNA RESIDENCE**
 37 QUINCY STREET
 CHEVY CHASE, MD 20815

SCALE: SEE PLOT

DATE: 04.08.2010
 04.15.2010

DRAWN BY: G.O.

DRAWING #: A13.0

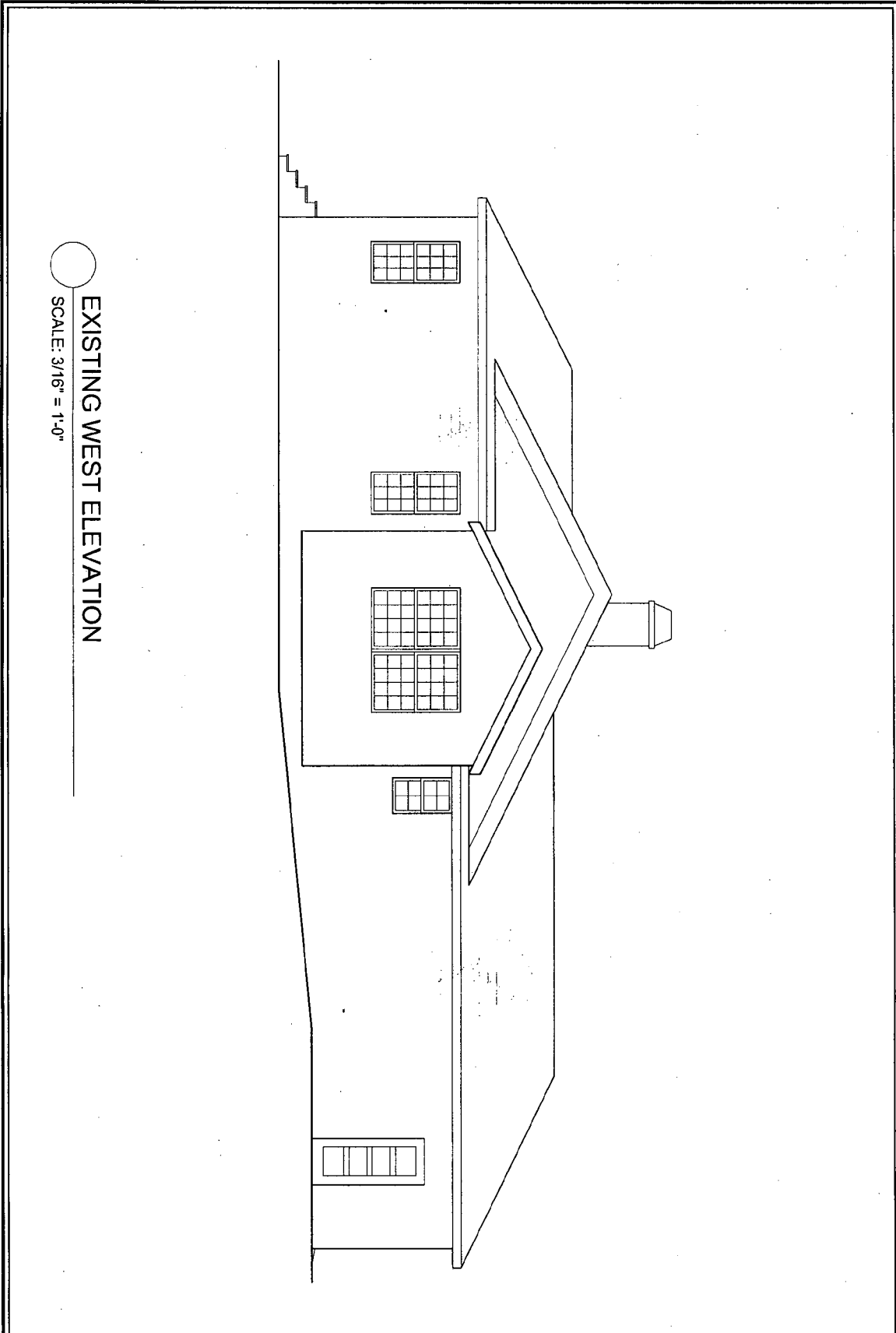
PROJECT: RENOVATION

APPROVED

DESIGNER: AMIR H. FARAZAD

DRAWING TITLE: PROPOSED ELEVATION

h1



EXISTING WEST ELEVATION
 SCALE: 3/16" = 1'-0"

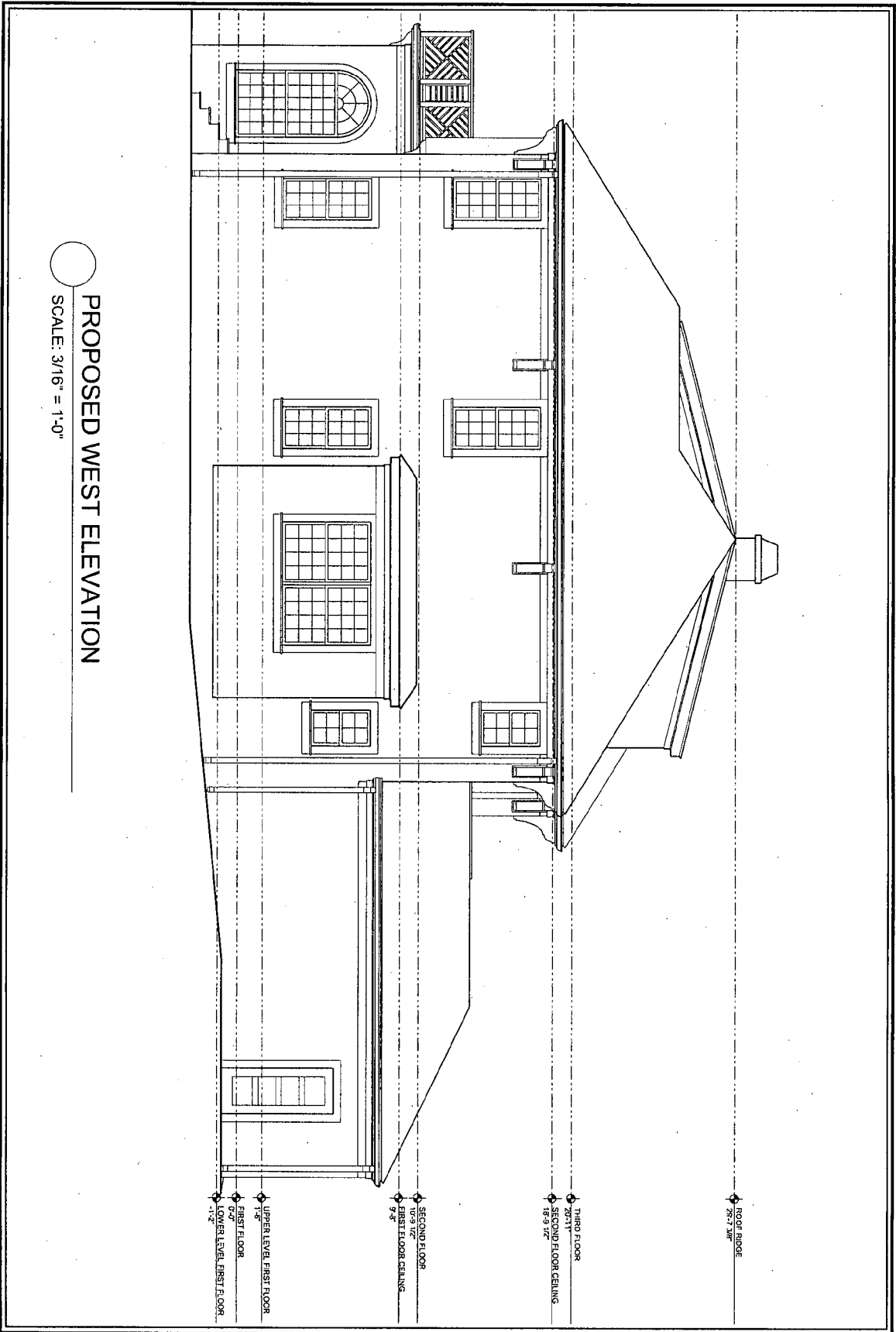


POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: **GRENNA RESIDENCE**
 37 QUINCY STREET
 CHEVY CHASE, MD 20815


SCALE: SEE PLOT	DRAWN BY: G.O.
DATE: 04.08.2010 04.15.2010	DRAWING #: A4.0

PROJECT	RENOVATION
APPROVED	
DESIGNER	AMIR H. FARAZAD
DRAWING TITLE	EXISTING ELEVATION

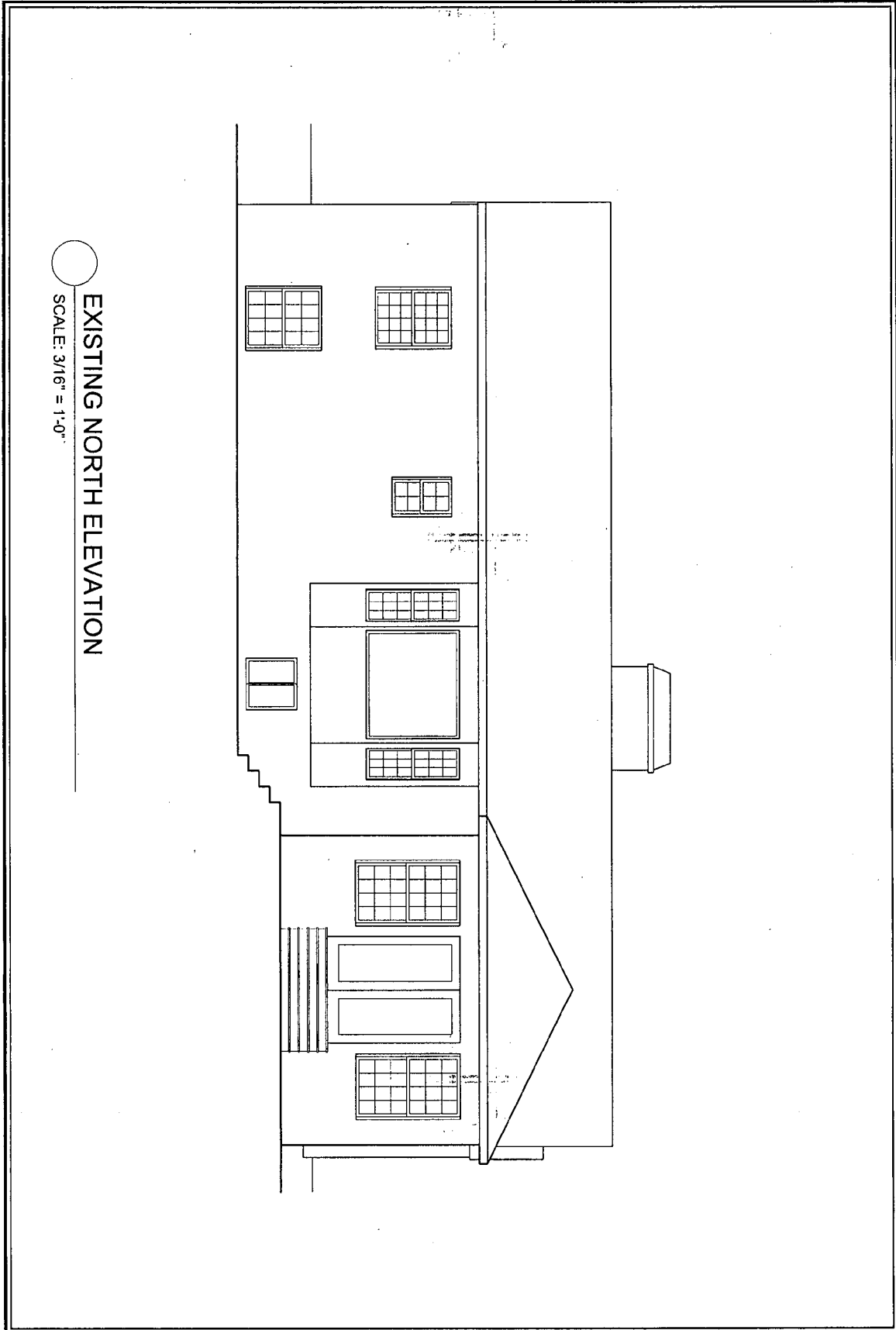


PROPOSED WEST ELEVATION
 SCALE: 3/16" = 1'-0"

28'-11 3/8" ROOF RIDGE
 27'-0" THIRD FLOOR
 18'-9 1/2" SECOND FLOOR CEILING
 10'-9 1/2" FIRST FLOOR CEILING
 9'-8" SECOND FLOOR
 1'-0" UPPER LEVEL FIRST FLOOR
 1'-0" FIRST FLOOR
 1'-2" LOWER LEVEL FIRST FLOOR

 <p> POGGENPOHL MID-ATLANTIC 8809 WISCONSIN AVENUE CHEVY CHASE, MD 20815 P- 301 657 8618 F- 301 657 8614 </p>	CLIENT: GREENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVATION	
	SCALE: SEE PLOT		APPROVED:	
	DATE: 04.08.20:0 04.15.20:0		DESIGNER: AMIR H. FARAZAD	
	DRAWN BY: G.O. DRAWING #: A11.0		DRAWING TYPE: PROPOSED ELEVATION	

91



EXISTING NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE
 37 QUINCY STREET
 CHEVY CHASE, MD 20815

SCALE: SEE PLOT

DATE: 04.08.2010
 04.15.2010

DRAWN BY: G.O.

DRAWING #: A5.0

PROJECT: RENOVATION

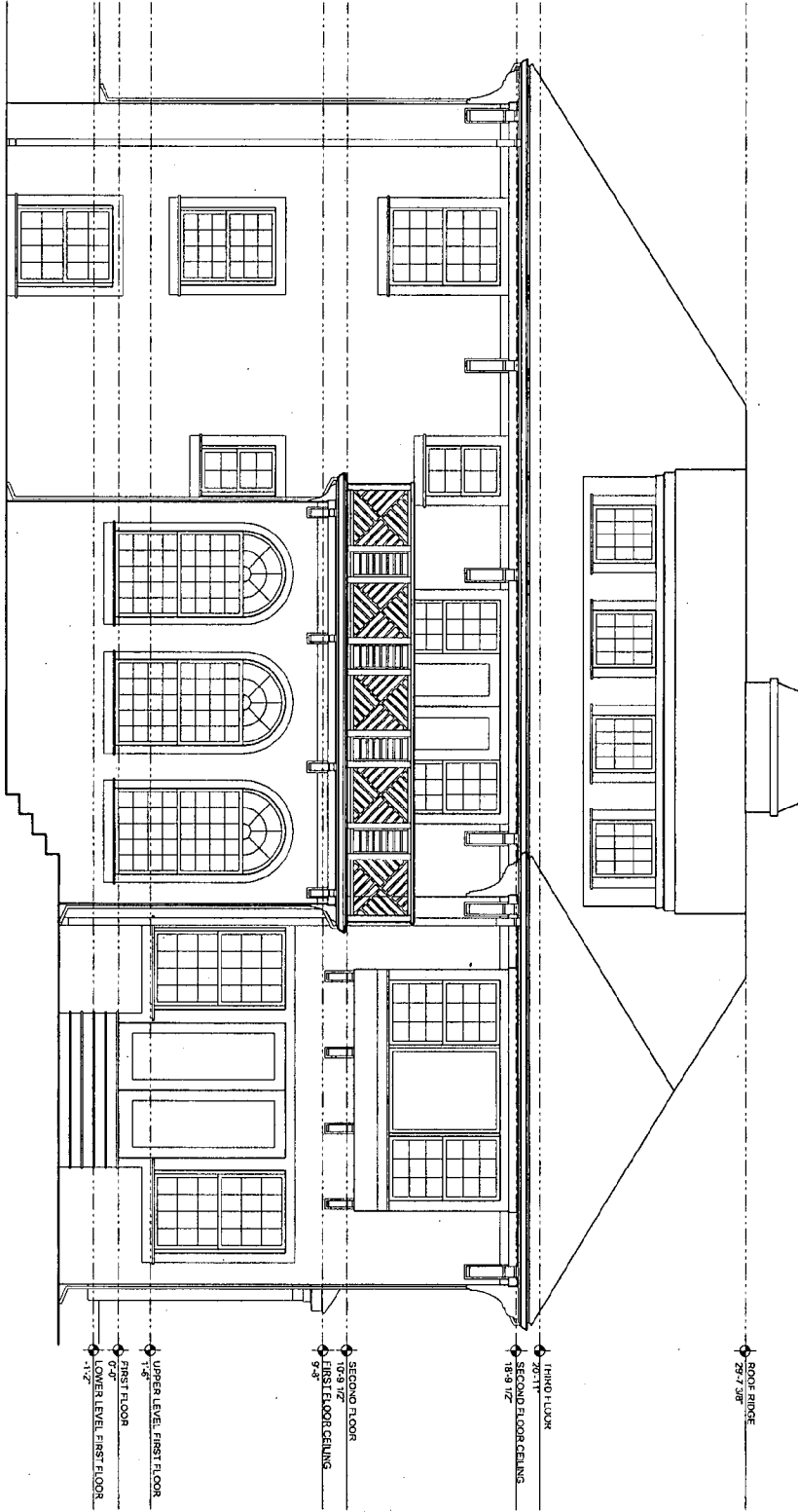
APPROVED:

DESIGNER: AMIR H. FARAZAD

DRAWING TITLE: EXISTING ELEVATION

PROPOSED NORTH ELEVATION

SCALE: 3/16" = 1'-0"



ROOF PROFILE
28'7 3/8"
18'9 1/2"
SECOND FLOOR CEILING
18'9 1/2"
HARD FLOOR
18'9 1/2"
SECOND FLOOR
17'9 1/2"
FIRST FLOOR CEILING
9'9"
UPPER LEVEL, FIRST FLOOR
1'-2"
FIRST FLOOR
1'-2"
LOWER LEVEL, FIRST FLOOR
1'-2"



POGGENPOHL MID-ATLANTIC
6809 WISCONSIN AVENUE
CHEVY CHASE, MD 20815
P- 301 657 8618
F- 301 657 8614

CLIENT: **GRENNA RESIDENCE**
37 QUINCY STREET
CHEVY CHASE, MD 20815

SCALE: SEE PLOT

DATE: 04.08.2010
04.15.2010

DRAWN BY: G.O.

DRAWING #: A12.0

PROJECT: RENOVATION

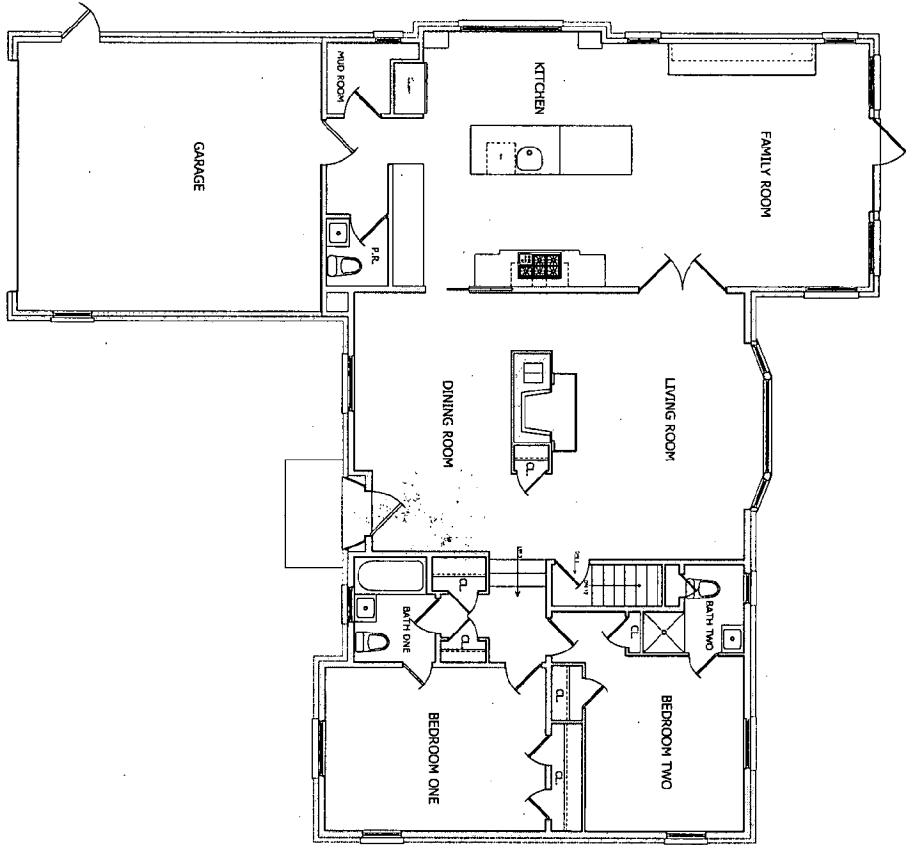
APPROVED

DESIGNER: AMIR H. FARAZAD

DRAWING TITLE: PROPOSED ELEVATION

81

EXISTING FLOOR PLAN
 SCALE: 1/8" = 1'-0"



POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 637 8618
 F- 301 637 8614

CLIENT:
GRENNA RESIDENCE
 37 QUINCY STREET
 CHEVY CHASE, MD 20815

SCALE: SEE PLOT

DRAWN BY: G.O.

DATE: 04.08.2010
 04.15.2010

DRAWING #: A2.0

PROJECT: RENOVATION

APPROVED

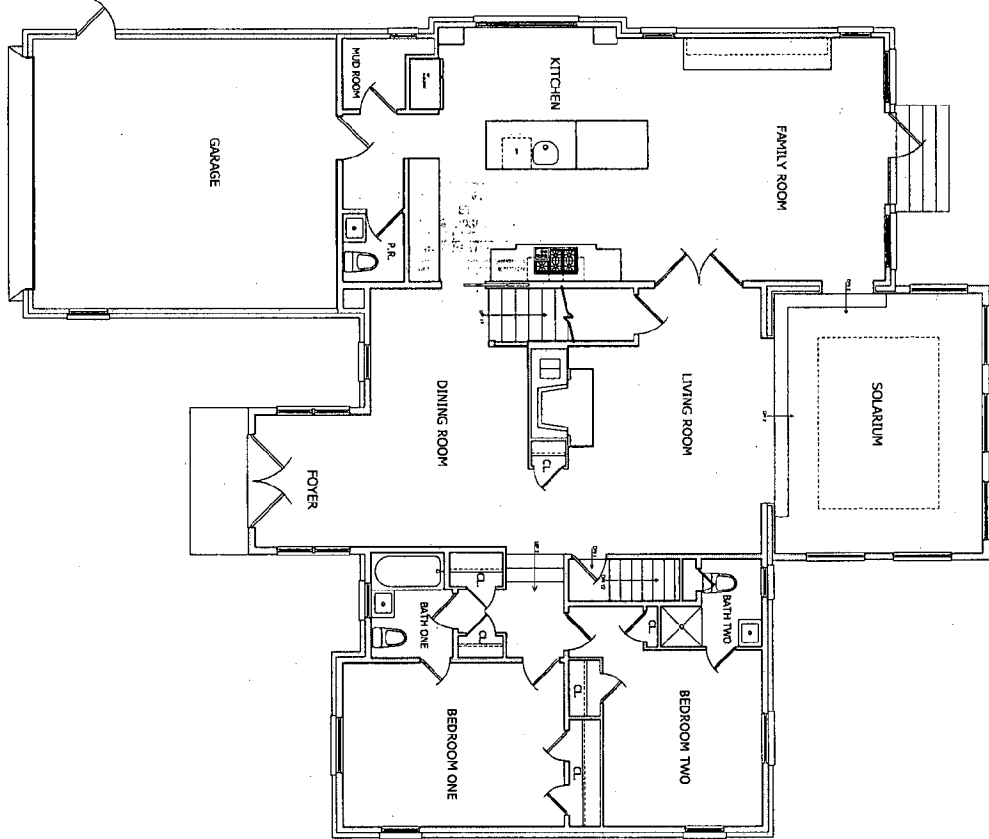
DESIGNER: AMIR H. FARAZAD

DRAWING TITLE: EXISTING FLOOR PLAN

61

PROPOSED FIRST FLOOR

SCALE: 1/8" = 1'-0"



POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE
 37 QUINCY STREET
 CHEVY CHASE, MD 20815

SCALE: SEE PLOT

DATE: 04.08.2010
 04.15.2010

DRAWN BY: G.O.

DRAWING #: A7.0

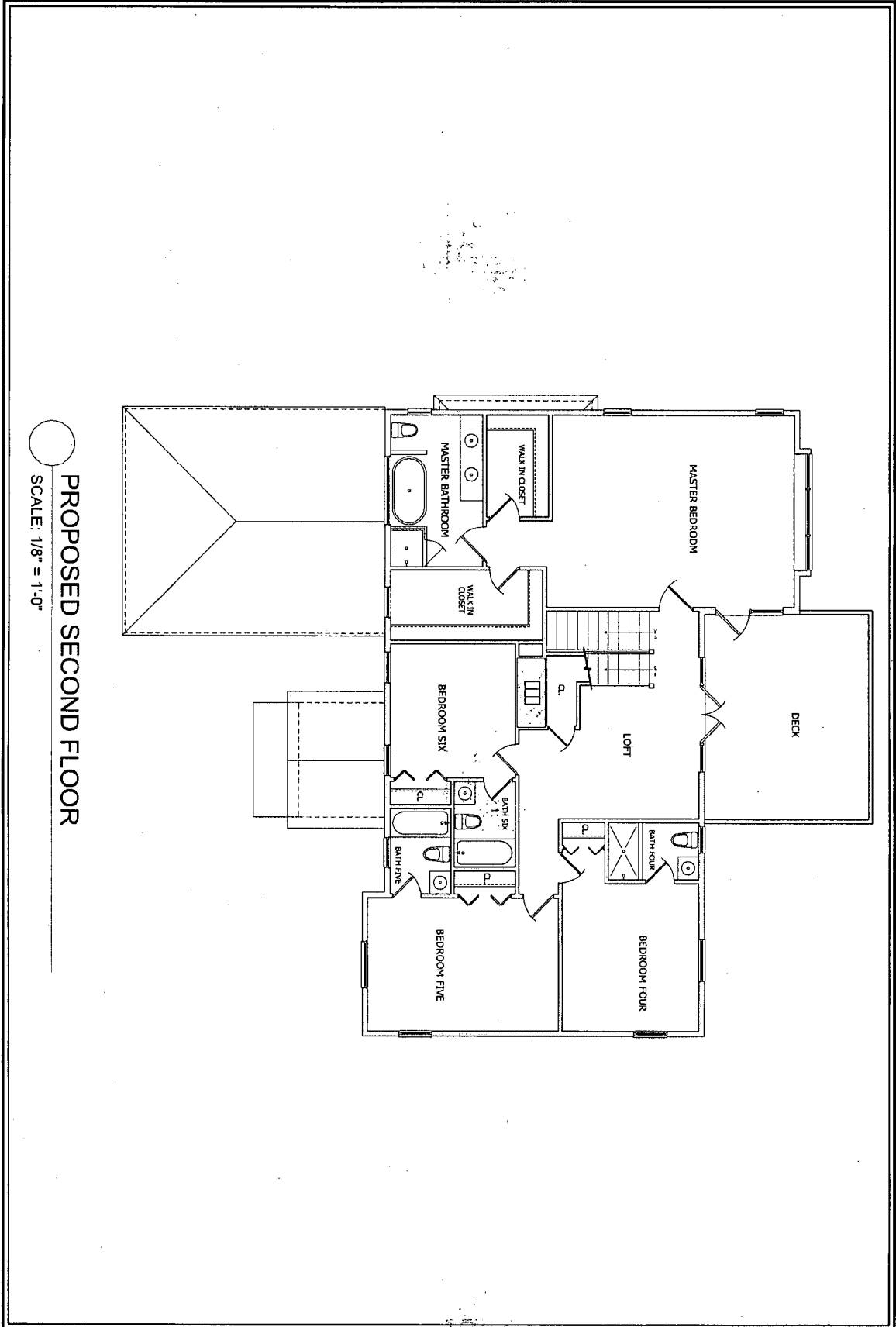
PROJECT: RENOVATION

APPROVED:

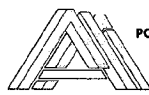
DESIGNER: AMIR H. FARAZAD

DRAWING TITLE: PROPOSED FIRST FLOOR PLAN

02



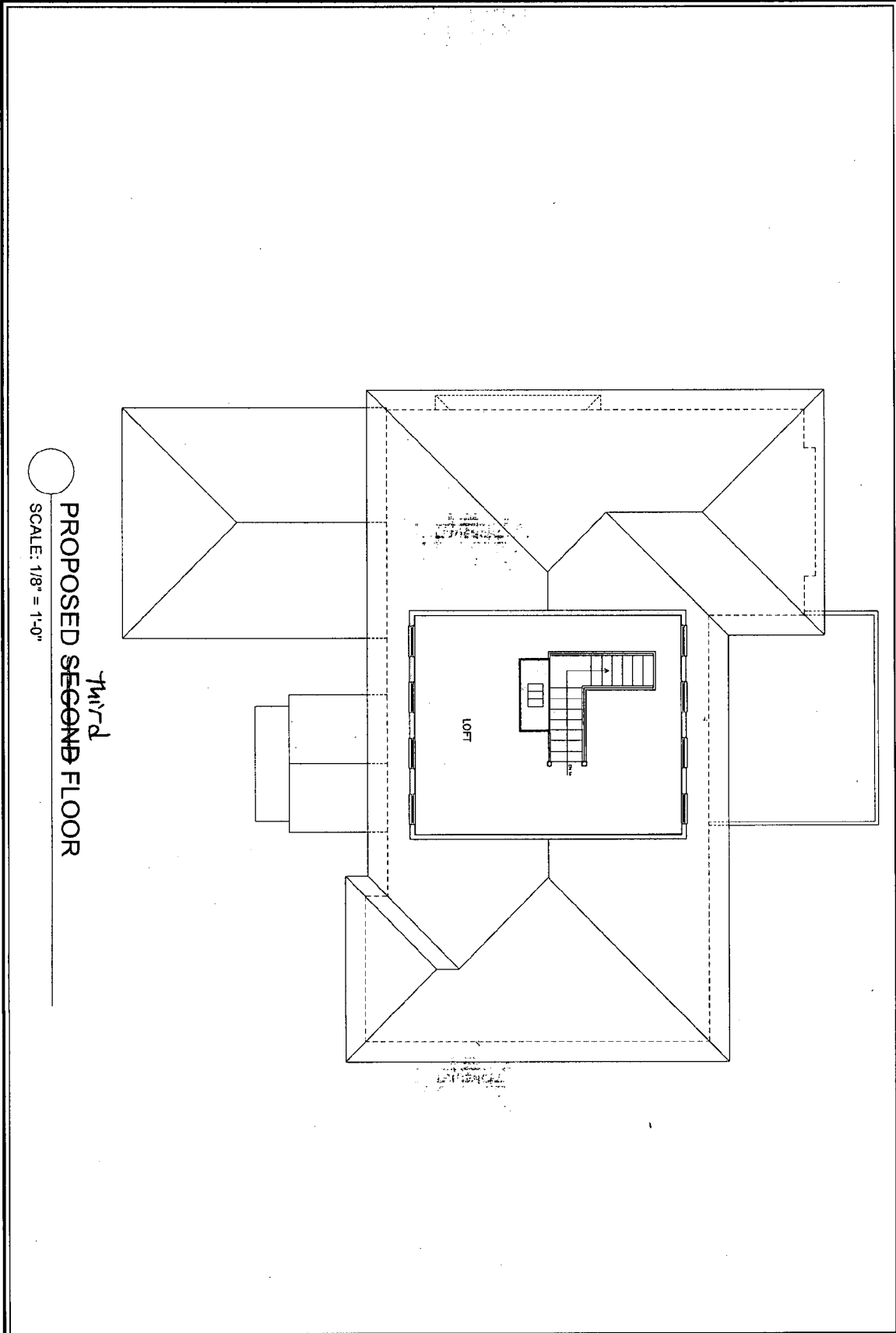
PROPOSED SECOND FLOOR
 SCALE: 1/8" = 1'-0"



POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVATION	
SCALE: SEE PLOT	DRAWN BY: G.O.	APPROVED:	
DATE: 04.08.2010 04.15.2010	DRAWING #: A8.0	DESIGNER: AMIR H. FARAZAD	DRAWING TITLE: PROPOSED SECOND FLOOR PLAN

12



POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8518
 F- 301 657 8514

CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVATION	
SCALE: SEE PLOT		APPROVED:	
DATE: 04.08.2010 04.15.2010		DESIGNER: AMIR H. FARAZAD	
DRAWN BY: G.O.		DRAWING TITLE: PROPOSED THIRD FLOOR PLAN	
DRAWING #: A9.0			



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Products / Overhead Doors / Wood / Medallion / Milford

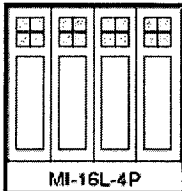


Milford Features

- Elegant folding door style
- Paint grade wood construction
- Continuous wood panel face
- True divided lites

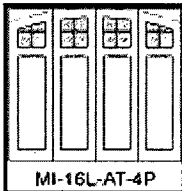
Select the thumbnail of any door model below.

Each thumbnail reveals links to line drawings of various door sizes in PDF () or AutoCAD () format. Download the document for your desired door size.

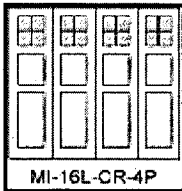


MI-16L-4P

 *proposed garage door*

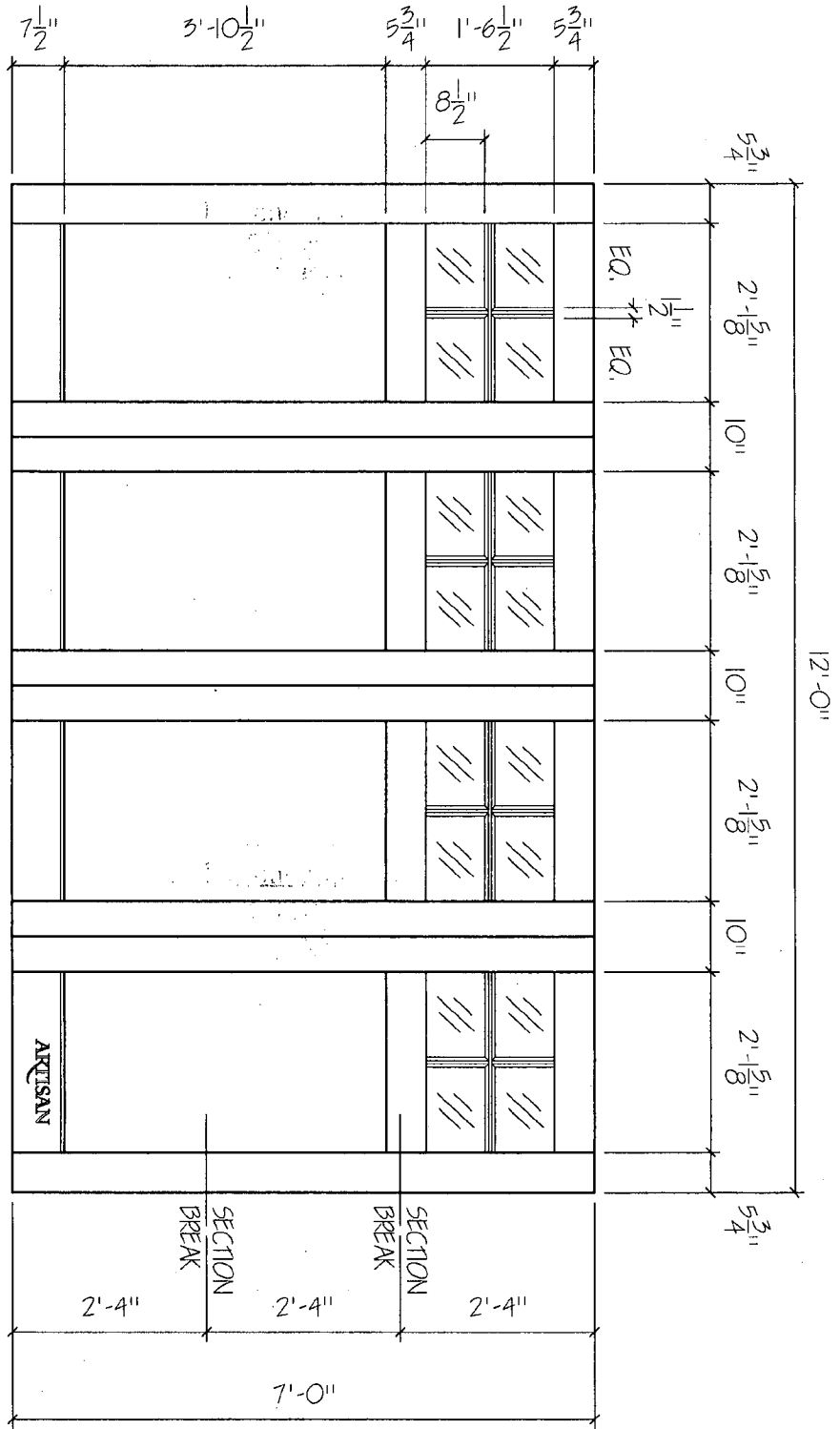


MI-16L-AT-4P



MI-16L-CR-4P

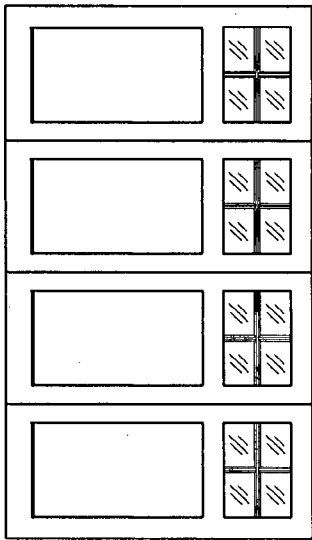
22



actual width: 16'

FRONT ELEVATION, MILFORD
SCALE: 1/2" = 1'-0"

MI-12X7-16L-4P



SCALE: 1/4" = 1'-0"

ARTISAN
CUSTOM DOORWORKS

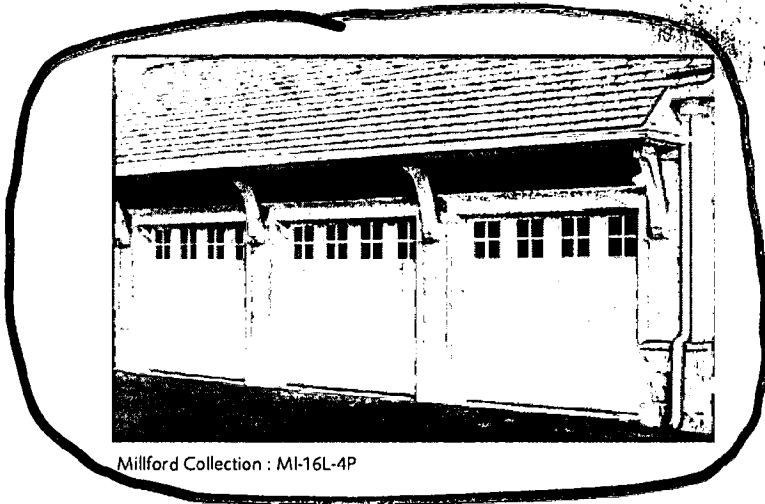
975 Hemlock Rd., Morgantown, PA 19543
T - 888-913-9170 F - 888-913-9179

01

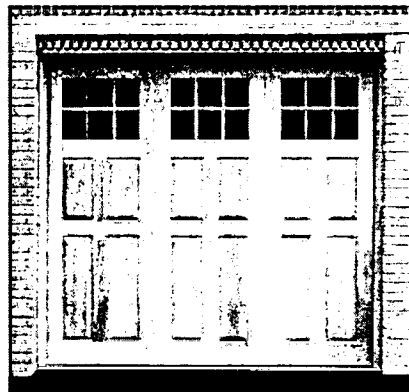
Client:	Drawn:
Address:	Revised:
Phone:	Approved:
Approved By:	Ordered:



Nantucket Collection : NA-AT-SB-CR-2P



Millford Collection : MI-16L-4P



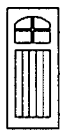
Signature Edition : ACD315

TRUE SWING DOORS : STAIN GRADE

Matching Entry Doors
Slab or Pre-Hung



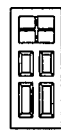
EN-4L-1BP



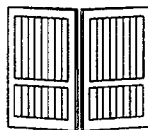
EN-4L-AT-1BP



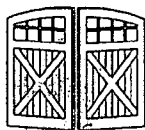
EN-6L-XB-1BP



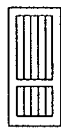
EN-4L-CR-2RP



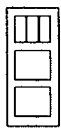
SW-0L-CR-2BP



SW-16L-AT-XB-2BP



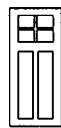
EN-CR-1BP



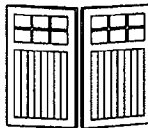
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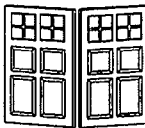
EN-5L-3FP



EN-4L-2FP



SW-12L-2BP



SW-16ML-CR-4RP

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24

Fothergill, Anne

From: Bourke, Tom (Winchester Homes, Inc.)(Tom) [tom.bourke@whihomes.com]
Sent: Wednesday, December 16, 2009 3:50 PM
To: Fothergill, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua
Cc: Bob Elliott; ChCh Village file (CCV@montgomerycountymd.gov); FeldmanGS@aol.com; Jacobs - Eph's daughter (abjdoe@gmail.com); Marsh, Joan (r.marshes@verizon.net); Stephens, Betsy; Wellington, P. (ccv)
Subject: HPC hearing - 12-16-09 - 37 Quincy

The following are the comments by the Chevy Chase Village LAP for items on the 12/16/09 HPC agenda

37 Quincy
Non-conforming Resource
Grenna residence.
Proposed additions and alterations

Staff appropriately noted that the existing one-story ranch house is "non-contributing". LAP feels that demolition or extensive renovation of the house is entirely appropriate, and as residents of the area we are grateful that this has been undertaken by the new owners.

Staff does not oppose the concept of a second floor expansion, and the LAP agrees that an expansion should be permitted.

Staff had concerns about the massing at the front of the house as "too prominent and overpowering", and the LAP feels these concerns are generally justified. We do not have specific recommendations as to the covered entry detail but do agree with staff which "does not support the proposed portico with the columns and balustrade and the fan light above the windows".

Staff has concerns about the Brookville Road elevation, but this was not as great a concern to the LAP. It is well-screened now and prior applications had proposed fencing. Given the fan-shape of the lot, the house becomes more set back from Brookville Rd as you move to the rear.

Staff agreed with the use of stucco, and LAP concurs if that is the wish of the residents.

Staff was concerned about the larger footprint and overall square footage. The LAP is less concerned with the rear additions and the overall size of the house. This is a large lot (at the rear), and the houses nearby are substantial. The houses facing the property from across the street are set on higher ground.

In general LAP concurs with staff.

Submitted on behalf of the Local Advisory Panel by
Tom Bourke, Chair

LAP comments
(preliminary consultation)

1 The second item on our agenda tonight is the
2 preliminary consultations, and the first case is 37 Quincy
3 Street in Chevy Chase. Is there a staff report?

4 MS. FOTHERGILL: Yes. This is a non-contributing
5 resource in the Chevy Chase Village historic district. As
6 you can see in this slide, it is at the edge of the Chevy
7 Chase Village historic district. It's a corner property on
8 the corner of Quincy and Brookville Road. The red
9 delineates the Chevy Chase Village historic district.

10 And the applicants are proposing a second story
11 expansion, and two-story additions to this house. I'm
12 going to go through the slides as we talk.

13 This is the house. Again, it's at the corner.
14 It is next to 35 Quincy, which is a contributing resource,
15 and across from 36 Quincy, which is a contributing
16 resource.

17 And the applicants are proposing to construct a full second
18 story on top of this footprint, and expand on the front and
19 the rear. And the plans are in the PowerPoint, so this
20 will just show you the setting, and then we'll get to the
21 plans.

22 This is the house immediately to the left, which
23 is 35 Quincy. Again, it's a contributing resource. This
24 is the house across the street, 36 Quincy, and this is the
25 house behind it at 3702 Bradley, and this is standing on

1 Brookville Road, looking at the back of the house. And
2 this is the front of the house which faces Bradley. So you
3 can get a sense of the adjacent and confronting resources.

4 And again, these are just photos of the house.
5 This is its current conditions. And this is looking from
6 Brookville Road. You can see 35 Quincy above the one
7 story, 37 Quincy, looking from Brookville Road, again. And
8 this is the back of the house, the back yard, and that's
9 the location where there would be a rear addition as well.

10 We asked the applicants for a height comparison,
11 and this is what they submitted. So that's 35 Quincy to
12 the left, and that's the proposed height of 37 Quincy. And
13 this is the existing and proposed site plan, so you can see
14 where they are also proposing to expand the footprint, as
15 well as add the second story.

16 Specifically, it's a front and rear addition sort
17 of centered on the house, as you can see here. And this is
18 the existing and proposed roof plan. This is the proposed
19 front elevation. Staff has expressed concern about,
20 specifically the front two-story addition.

21 There have been many successful second story
22 expansions of non-contributing resources, and I think
23 adding a second story to the footprint of this house could
24 probably be done quite sympathetically and compatibly. But
25 the additions concern staff.

1 This front massing adds a lot of massing and a
2 lot of prominence to that addition with the detailing as
3 shown here. And staff has concerns about that.

4 This is the Brookville Road side elevation, and
5 again you can see that two-story rear addition in addition
6 to the second story expansion.

7 The top left is a detailing of that front portico
8 which staff has recommended could be simplified, and that
9 there should not be columns and the balustrade and the fan
10 light and that it be simplified and toned down.

11 The bottom graphic is the rear elevation, as
12 proposed. And then this is the west or left side, which
13 would be right adjacent to 35 Quincy. And then these are
14 more visuals of the proposed massing.

15 The local advisory panel did submit comments
16 which the Commission received at the work-session. They
17 basically concurred with staff's concerns. They do support
18 an expansion of this house, and they thought the massing at
19 the front of the house, they agreed, was too prominent and
20 overpowering. And they agreed that they don't support the
21 proposed portico as shown. They had some other comments,
22 but they basically support an expansion, but concurred with
23 the staff report and staff's concerns.

24 The other issues that staff would request that
25 the Commission comment on and give clear guidance on, are

1 whether or not the Commission can support a second floor
2 expansion of this house, and then additionally front and
3 rear two-story additions on this house; and then the
4 proposed materials and the proposed design and detailing.

5 Also, if the Commission will require additional
6 information from the applicant such as height and footprint
7 comparisons. They did submit this height comparison, but
8 they didn't submit a footprint comparison. Staff did a
9 rough sketch of one that is not entirely accurate, but just
10 based on their proposed footprint.

11 In circle 41, you can see that this would be a
12 very large massing with those additions, and staff is very
13 concerned that it will be too large for this corner and for
14 this visible part of the historic district. So staff would
15 request that the Commission be very clear with the
16 applicants on what parts of this you support and what needs
17 to be changed.

18 MR. JESTER: Thank you, Anne. Are there any
19 questions for staff?

20 MS. MILES: Anne, do you have any sense of how
21 common it is in the Chevy Chase historic district for a
22 house to have a two-car garage on the front elevation?

23 MS. FOTHERGILL: Well, it is not common in the
24 historic district. This is because it's a non-historic
25 house.

1 MS. MILES: Do you happen to know whether or not
2 a curb cut could be created off of Brookville Road?

3 MS. FOTHERGILL: I do not.

4 MS. MILES: Okay. Thank you.

5 MR. JESTER: Great. If the applicant is here,
6 they can come forward and make a presentation. You will
7 have seven minutes.

8 MR. BENEDETTO: Thank you.

9 MR. JESTER: Yes, have a seat and --

10 MS. FOTHERGILL: Come on up and push the button.
11 Right.

12 MR. JESTER: -- push the button at the bottom
13 there until the light comes on. And if you could identify
14 yourself for the record, please.

15 MR. BENEDETTO: All right. Good evening. This
16 is John Benedetto. I am the agent for Ms. Grenna, the
17 homeowner at 37 Quincy Street. I think Anne did a pretty
18 good job of describing the project. It's a two-story
19 addition on the front, a two-story addition to the rear,
20 and a second story addition to an existing brick rambler.

21 The two car garage on the front facade is an
22 existing feature that we would have liked to have removed,
23 but unfortunately, to address your question, Ms. Miles,
24 we're not able to create a curb cut along Brookville Road
25 and keep the existing curb on Quincy Street. So for that

1 reason -- and also, because of the fact that it's a corner
2 lot, they consider the lot line along Brookville a front
3 lot line. So it makes it very difficult to place a garage
4 anywhere else on the property.

5 Other than that, I don't really have a whole lot
6 else to contribute or to add to what's already been
7 discussed.

8 MR. JESTER: If that's the case, we'll ask the
9 Commission if they have any comments or questions for the
10 applicant.

11 MS. MILES: Can I ask a question? Just to
12 clarify, you would be permitted to have a curb cut on
13 Brookville if you removed your curb cut on the front, on
14 Quincy?

15 MR. BENEDETTO: Well, upon our brief
16 investigation of that possibility, we looked into it
17 initially during the, sort of the programming of this
18 project, and that's what we determined. The Village of
19 Chevy Chase doesn't allow any longer two driveway entrances
20 for a property.

21 MS. MILES: But that's what I'm asking. If you
22 remove the curb cut on Quincy, you could have a curb cut on
23 Brookville? Is that your understanding?

24 MR. BENEDETTO: Well, I can't speak with
25 certainty that that's true, but I can tell you that we

1 can't keep the existing and add an opening to Brookville.

2 MS. MILES: I understand that.

3 MR. BENEDETTO: I don't know what other, you
4 know, departments need to review that kind of a
5 development.

6 MS. MILES: Okay. Thank you.

7 MR. JESTER: Are there any other questions for
8 the applicant? If not, we'll move into deliberations. I
9 think the staff report identified at least four issues that
10 we need to discuss, and does anyone want to start?

11 MS. ALDERSON: Okay. Yes. Since this is one of
12 my last meetings, I'm finishing out my maximum term, so you
13 will probably not see me when you resubmit. But what I
14 think I can offer is some history on projects of this
15 nature that may be helpful to you.

16 And in the six years I have been a commissioner,
17 there has been consistent acceptance of this sort of
18 makeovers of non-contributing houses, and that very often
19 we'll add a second story and modify a ranch house or
20 another contemporary, sort of mid-century house, to be more
21 like its other more traditionally designed neighbors. So
22 that's very common, very much accepted. Very often, the
23 neighborhood welcomes it as an improvement that makes it
24 more consistent.

25 Most of these that have moved through easily have

1 pretty much used just the existing footprint. And with
2 minor modifications where needed to create symmetry, or
3 address some other kind of massing problem with the design,
4 that is changing it from sort of one style to another.

5 I don't recall any that have gone through and
6 gotten approved that have substantially increased both in
7 footprint and in height. And what I can say from the six
8 years is that the issue that probably has most frequently
9 gotten neighbors excited is the issue of massing.

10 And it's a fine line between that sort of stately
11 and dignified substantial house, which is very common in
12 Chevy Chase, and the neighbors' perception that something
13 is being mansionized. And you hear a lot of that,
14 McMansion, looks like Potomac. But there's a real
15 sensitivity about that threshold.

16 And what we have found is the properties that
17 tend to tip a little over the threshold, the neighbors will
18 sometimes just go absolutely ballistic, even hiring
19 lawyers.

20 And so, I'll offer you as a closing from my six years, is
21 that you probably would want to look at pulling in the
22 footprint where it's enlarging over the existing.

23 And I think maybe one of the obvious areas, since
24 there has been a consistent comment from staff and the LAP
25 is looking at bringing in that whole projecting portico

1 element. That's a place where it could be tightened.
2 Because what is consistent in the neighborhood is something
3 more like that basic hip roofed mass that you see there.
4 That would be very consistent.

5 And I think bringing that projecting portico
6 component in is going to make it more like the neighbors.
7 And I think bringing in that portico again, so it's a
8 little quieter, like the neighbors, is going to sort of
9 make the neighborhood more comfortable with it, make it
10 more compatible.

11 The other thing I would suggest and I think this
12 is already in the staff support, getting to the details, so
13 I think that addresses numbers one and two, you may, I
14 would seriously recommend redoing the garage doors. Now
15 that you are doing the whole thing, the sixties aluminum
16 just so jumps out. It's just so much surface in a place
17 where I know you would rather not have that.

18 And I would -- the staff can give you some great
19 examples of traditional detailing, which would be
20 panelized.

21 Right now you have, I think it looks like sort of
22 horizontal detailing. And what you will want is a vertical
23 detailing, either, you know, without lights, or with lights
24 in the upper portions. And I think that would make just a
25 gigantic improvement in integrating it all.

1 And then the last one would be details, I would
2 concur with the staff recommendation that the most
3 appropriate thing is natural materials.

4 MR. BENEDETTO: Can you elaborate a little bit
5 more on the materials?--

6 MS. ALDERSON: To us that would be stucco,
7 natural stucco, wood. You know, you haven't proposed
8 stone, but that always flies. Or painted metal, but not
9 synthetics. So that would be, we've never, I don't think,
10 approved front facade materials for new construction in a
11 historic district that were synthetics, plastics.

12 MR. BENEDETTO: Does that include cement?

13 MS. ALDERSON: No. Cement, natural cement. But
14 the concern would be specifically with plastics.

15 MR. BENEDETTO: Okay, so vinyl and PVC type --

16 MS. ALDERSON: Yes. Those, in six years, I'm not
17 aware of any case that they've been approved.

18 MR. BENEDETTO: Does that apply to all materials,
19 like window frames?

20 MS. ALDERSON: And the windows. So, I'm not
21 aware of any front facades on any new construction --

22 MR. BENEDETTO: Okay.

23 MS. ALDERSON: -- or front portions that have had
24 synthetic window or trim or wall materials.

25 MR. BENEDETTO: Okay.

1 MR. KIRWAN: Well, I'll jump in and say a few
2 things. I think, I went down Quincy Street today, just to
3 get a, to re-familiarize myself with the rest of the
4 character of the street. And I think the one thing that
5 strikes me that's in contrast with the proposed design is
6 that there's sort of a modest grandeur to the homes that
7 are there. They're very simple boxes, for the most part.
8 They have, quite often, just a center front door that has a
9 very simple front porch on it, a single door, not a double
10 door.

11 There are not the big fan windows over the
12 portico that you see in the proposed design. And I think
13 that builds upon some of the things that Commissioner
14 Alderson just mentioned. I think simplifying this would go
15 a long way toward making this an approvable project.

16 I think, you know, I think that the projected
17 front portico is so dominant in the scheme now, and I think
18 as was just suggested, if that got pushed way back, or
19 eliminated entirely, to a very simple facade that a hip
20 roof formed over the central volume, that would help a lot.

21 You know, little things like the projection on
22 the right hand side, the one-story projection on the right
23 hand side sort of engaging in an awkward way the corner of
24 the building, it would be helpful to simplify that, if not
25 eliminate it.

1 And again, just pushing this thing to be a more
2 straight forward, and have that sort of, you know, modest
3 grandeur to it that the other houses on the street have.

4 Another strategy you could take is two doors
5 down, where there is a very simple --

6 MR. BENEDETTO: Yes, I know exactly where --

7 MR. KIRWAN: -- probably a house of a similar
8 period --

9 MR. BENEDETTO: He has a front facing the road as
10 well.

11 MR. KIRWAN: -- where there's a simple L-shaped
12 two-story building. And that could be another approach to
13 take, given the age of the original house, and again, just
14 doing a very simple two-story directly on top of the
15 footprint you have. That may be another direction to take.

16 So I think, you know, and I don't personally have
17 any issue with the two-story expansion idea. I think it's
18 really just in the execution of it. I think again, I would
19 reinforce what was mentioned before about the proposed
20 materials, keeping them to the character of what you find
21 in the community there, you know, real stucco, real wood
22 trim, real windows, and real wood windows. And I think
23 that sort of covers the major points.

You know, as far as the massing to the rear, again, that would, fall into the simplification of all the massing. There's a lot of complexity to the back that shows in the 3-D massing with all the shadows, it really shows how complicated the massing is. And I think the more you simplify that, the stronger it will be.

MS. MILES: All right. Well, I would support the comments made by the two prior Commissioners. I would agree that an expansion of a second story is entirely reasonable. It's common place and entirely supportable. It's the expansion beyond the original footprint that's troublesome. And I think that there is too much going on here. It's not just that the expansion is in all directions and it's very complicated. It's got a kind of a fussy quality, because there are so many elements, sort of attached.

I also do think that the overall front elevation is really dramatically impacted by the garage. And I realize the garage is there already. But the garage, on a front elevation on a rambler is a normal thing to see. It is not normal in a house of this scale in that neighborhood. Those houses have their garages at the rear, or no garage.

So I think that since you can, I believe, move your garage to the side, that you should look at that as a way to reduce the front elevation impact that this house will have when the scale

is dramatically increased, and when the whole orientation of the house is changed. I guess that would be what I would stick with.

MS. FOTHERGILL: Commissioner Miles, just to be clear, are you recommending a detached garage off of Brookville?

MS. MILES: No, it doesn't have to be detached. But if the entrance is off the side, the right elevation, I don't know if that's east or west or north or south, but that will diminish the impact of the front, and dramatically, I think, reduce the scale, or the appearance of the scale of the front being so dramatically enlarged, even though I realize the garage is there now.

Also, I don't know what the addition of the little dormer on the garage adds, but it's probably not a good idea, because it doesn't add any floor plan space, and it just makes it look even bigger.

MS. HEILER: I'd like to agree with the earlier Commissioners. I think what seems bothersome to everyone is the three projecting parts of the front, the garage, the little addition on the right side, and then the very large room, the two-story addition in the front.

They all contribute to making it look very large and very complicated. None of them contribute to the simplicity that seems to be characteristic of that neighborhood, especially

the one in the middle which is, you know, two stories. It has very elaborate windows. It has a pediment on it. And it seems out of character with the rest of the neighborhood.

The garage, as Commissioner Miles mentioned, also just adds to the complication, and makes it look much larger.

And if there is any way to substitute a side garage for the front, I think it would allow a large addition without making it so prominent and making it so much more important than the house next door.

MR. RODRIGUEZ: I would say that there are three issues here that you have to deal with. One is the scale, and I think this is reflected in the comments of my fellow Commissioners, and at the same time, the unity. There is no unity. There is too many things going on, but there is nothing tying them together.

And I think that gets a lot more evident when you look at the roof plan of the house. That's where you see all these corners coming out, and volumes attaching to another.

I will be very supportive of an addition that retains the footprint of the house. And I think what Commissioner Miles has suggested, or thinking about, what happens with the garage, what happens if you close the curb cut on Quincy Street and you access from Brookville Road, could be an interesting option to develop the house, and to get the house to be more compatible

with the scale, the unity, and the characteristics of the other houses surrounding it.

In terms of the materials, I think you have heard, you know, from the other Commissioners. We want materials that are natural, and always support projects that use materials that are naturally treated, no synthetics, mostly plastics. We don't look at those materials in a very good way; we don't think they match very well to the historic context of the area.

MR. JESTER: Okay. I guess from my perspective, I share a lot of the concerns that have already been expressed. I think I'm not opposed to a second story addition. I agree that the addition, as proposed, is out of scale with the neighborhood. I agree that it's also unnecessarily complex, and could be simplified quite a bit to be more consistent with the rest of the houses in the neighborhood.

I also am concerned about the impact to the district, and right of way along Brookville Road, I think this is clearly a challenging site because it's a corner lot and the shape of the lot. I think it's even more challenging with the garage you are trying to incorporate.

Knowing that Brookville is a busy road, I'm not necessarily; I wouldn't necessarily push to have the garage off Brookville. I think it's a difficult traffic condition, although there are other places in the district where that

condition exists. So keeping the garage where currently located does present kind of a challenging condition for you to design it.

I think the comments you've heard about it being a little bit too busy or fussy are correct. I think that just the overall simpler number of massing and roof forms will go a long way to making the addition more compatible.

I also agree that the footprint is a little bit large. I think, again, I'm not sure that even looking accurately at the lot coverage really gives a clue because it's a challenging lot. It's a large lot, but you have parts where you really don't have much use of the lot.

One point I want to make, that I didn't have a chance to ask you, I'd like to get from you a more accurate elevation study. The drawing that we got in the packet that was sent in tonight shows a grade change between the adjacent house and this lot, but there aren't any elevation dimensions or dimension strings that show the actual heights.

Is this based on someone's actual survey, and is the drawing of the adjacent house an accurate, has it been measured and drawn accurately?

MR. BENEDETTO: No, it's more of an estimation taken from photos and sketches.

MR. JESTER: Okay. I think for me to, I'd like to see

in the next preliminary, which I would recommend, an accurate drawing of the adjacent elevation, property, and accurate elevation points in terms of your proposed height to the ridge and chimney and so on, and relative to the adjacent property. And it would be easier to evaluate the proposal with that information.

I also agree about use of natural material. I think you've heard that pretty consistently. And I think with that, maybe it would be helpful if I just quickly recapped what I think I heard, and make sure you feel like you have a clear direction to move forward with some revisions to the design.

MR. BENEDETTO: Sure.

MR. JESTER: With respect to the second floor expansion, I did not hear any opposition to putting a second story on the house. It's a question of scale and detailing and perhaps simplification of the massing, which was recommended by quite a few Commissioners.

A number feel that the design, as it was submitted, is too busy or fussy and maybe overly complicated. I think you could work on simplifying it to address those concerns. I think you heard consistently that there is a recommendation to use natural materials, and even though it's a non-contributing building, that we would be looking for not using synthetic materials like PVC and vinyl and so on.

I think there were a number of Commissioners who felt that the overall footprint should be reduced slightly.

If you can keep it within the current footprint, I think that would be a good idea.

And then there were also a number of concerns voiced about the front projection, or the front addition of the portico. I think if that could either be eliminated or modified, in the context of the other comments, I think that would be a good idea.

Do you have any other questions for the Commission or do you feel like you've received a clear direction?

MR. BENEDETTO: No, I think I have a pretty good idea of what the issues you all are having are, and what needs to be modified in order to better satisfy the needs of the district.

MR. JESTER: All right. Well, we'll look forward to seeing a revised design. Thanks.

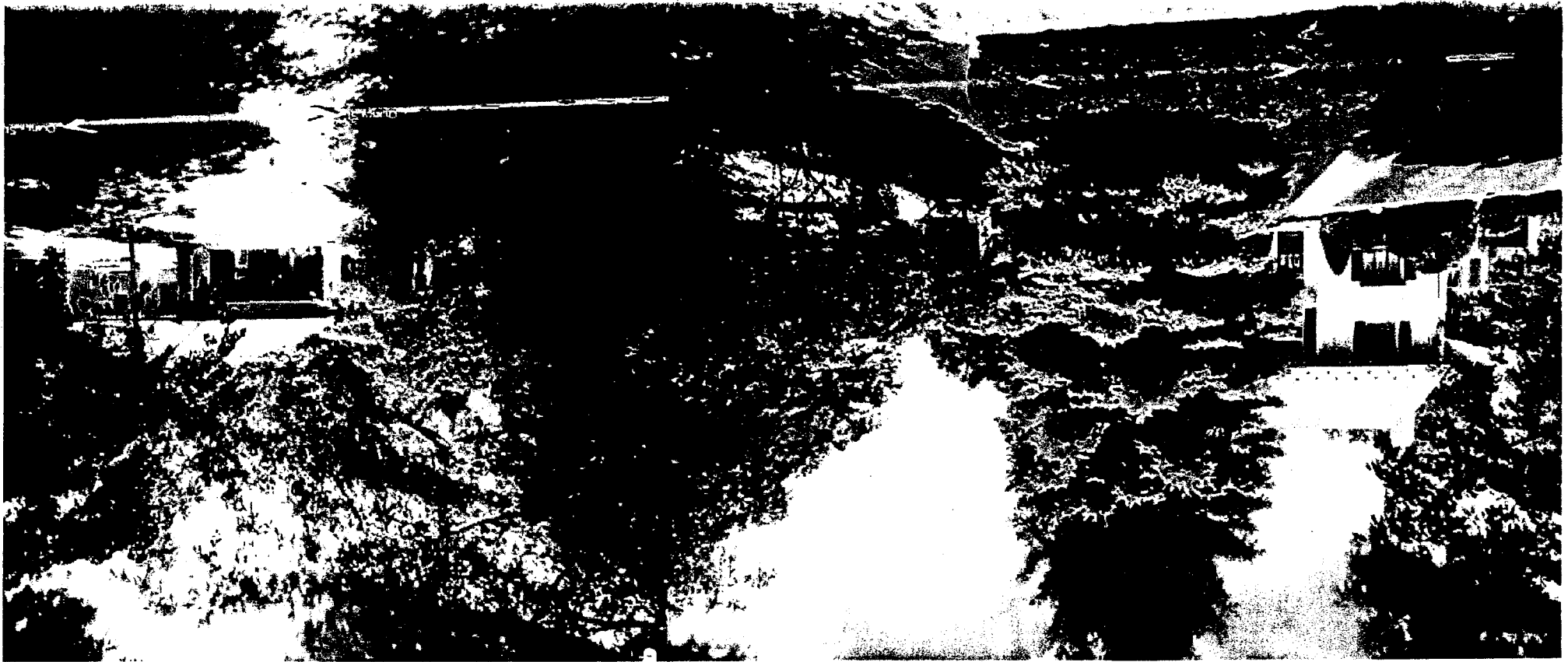
MR. BENEDETTO: Thank you. I'll look forward to it.

54

37 QUICK



35 QUICK



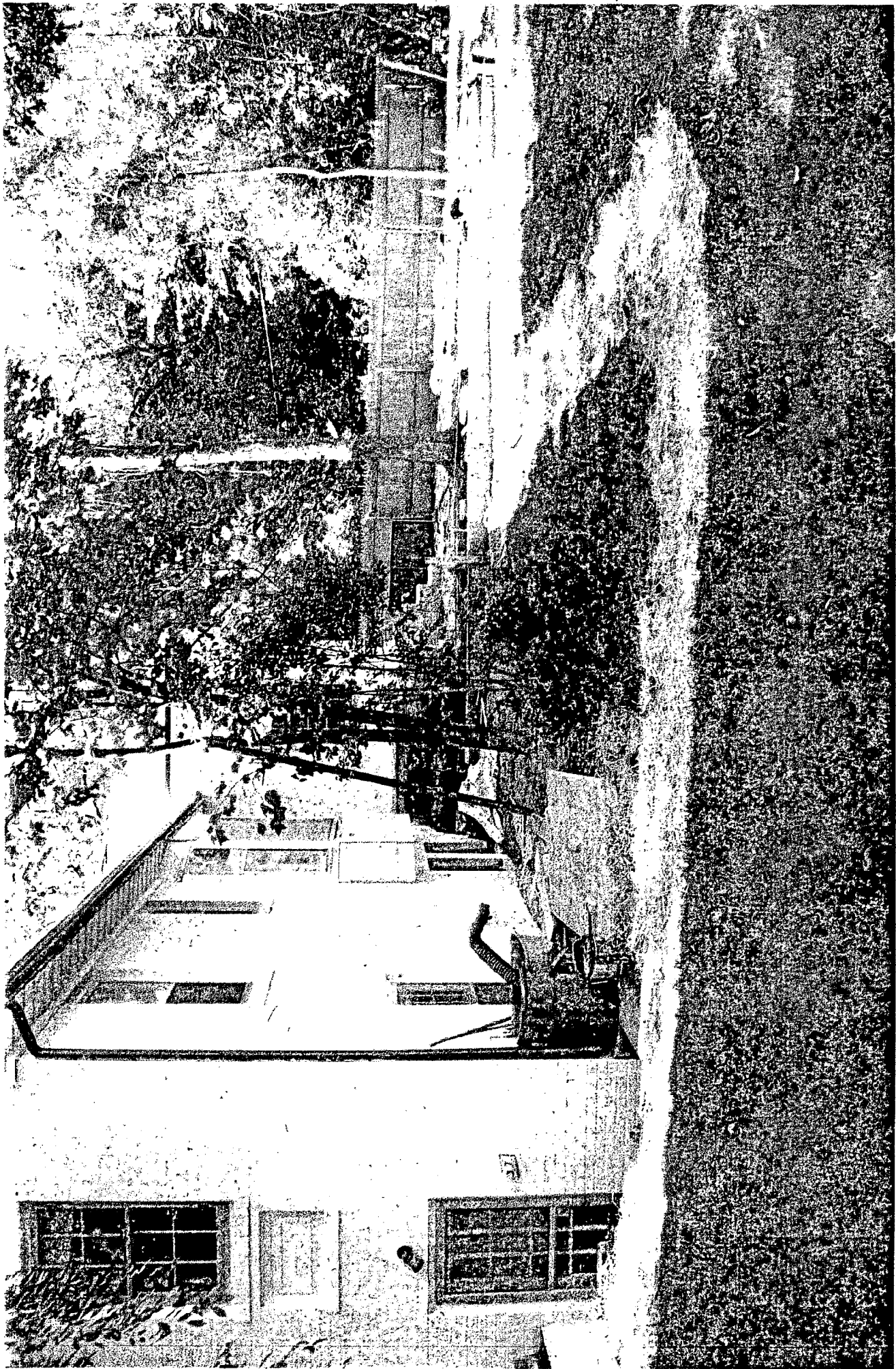


37 QUINCY ST. - FRONT

47

37 QUINCY ST - RIGHT SIDE





37 QUINCY ST - REAR

488



37 QUINCY ST - LEFT SIDE

49

CHEVY CHASE SEC 3

BRADLEY LA

BRADLEY LA

GEORGIA ST GEORGIA ST

BROOKVILLE RD

BROOKVILLE RD

QUINCY ST

MARTINS ADDITION

QUINCY ST

QUINCY ST

CHEVY CHASE VILLAGE

186

36

35

37

PRIMROSE ST

PRIMROSE ST

SP



5
~~3~~

37



from Brookville Road



37

35

37

35

37

37



37



across the street (36)

37

37

37

35



37

35

35



37

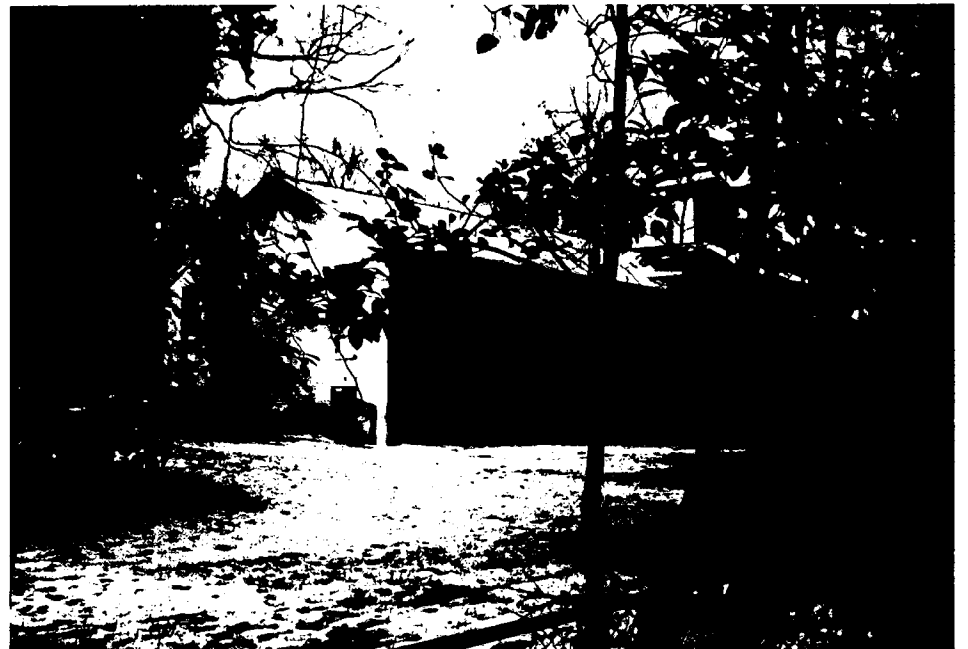


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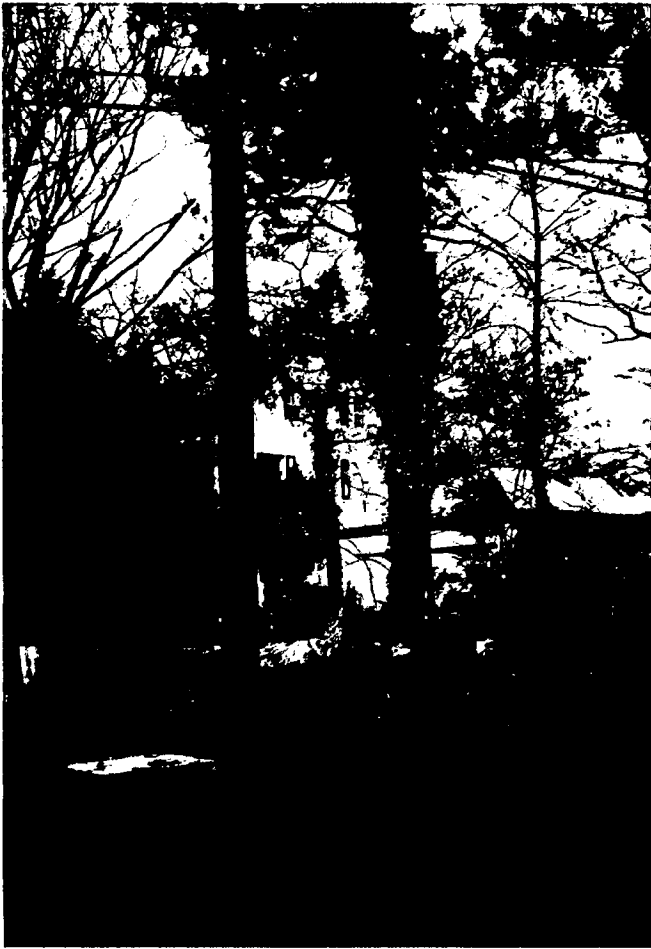


From Brookville Road



Rear of house

56



35 from Brookville 37



back yard / rear

95

37

(house on Bradley in back ground)



Stamped
plans in
bin

6/7/10



HISTORIC PRESERVATION COMMISSION

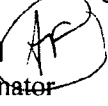
Isiah Leggett
County Executive

Thomas Jester
Chairperson

Date: 6/7/10

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #526423—construction of 2nd story and rear additions

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP) and this application was **approved** by the HPC on April 28, 2010.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Lucia Grenna
Address: 37 Quincy Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: John Benedetto

Daytime Phone No.: 703-772-3506

Tax Account No.:

Name of Property Owner: Lucia Grenna Daytime Phone No.: 202-415-3831

Address: 3907 McKinley St NW Washington DC 20015
Street Number City Street Zip Code

Contractor: OWNER Phone No.:

Contractor Registration No.:

Agent for Owner: John Benedetto Daytime Phone No.: 703-772-3506

LOCATION OF BUILDING/PREMISE

House Number: 37 Street: Quincy

Town/City: Chevy Chase Nearest Cross Street: Brookville

Lot: p/o lot 14 Block: 61 Subdivision: 9

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
Move Install Wreck/Raze
Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
Solar Fireplace Woodburning Stove Single Family
Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$ 35,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date 4/22/09

Approved: For, Chairperson, Historic Preservation Commission

Disapproved: Signature: Date: 6/7/10

Application/Permit No.: 526423 Date Filed: 11/25/09 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

2-Story addition to existing 1 story house located on corner of Quincy St. and Brookville Rd.
Existing house is a 2 story brick rambler constructed in 1951, and later added on to in 1996.
Existing resource was left in disrepair for nearly a decade and has recently undergone limited
renovation. Existing property is non-contributing.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed addition will have little impact on the historic district or adjoining resources.
Design elements will be in keeping with the character of the neighborhood, which largely
consists of Neoclassical and Georgian style houses.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

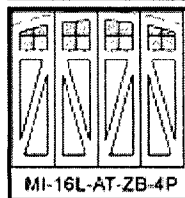
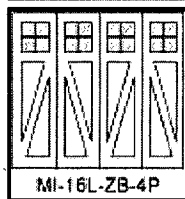
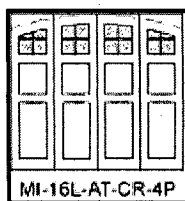
6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



Milford Collection

Classic styling, distinctive moulding profiles, true divided lites and real tongue and groove face boards all contribute to the unique style of the Milford Collection.

The Milford reflects a folding panel door in design, but with the convenience of overhead door operation.

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- Bifold
- Trifold

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- 8 Lites
- 16 Lites
- 24 Lites

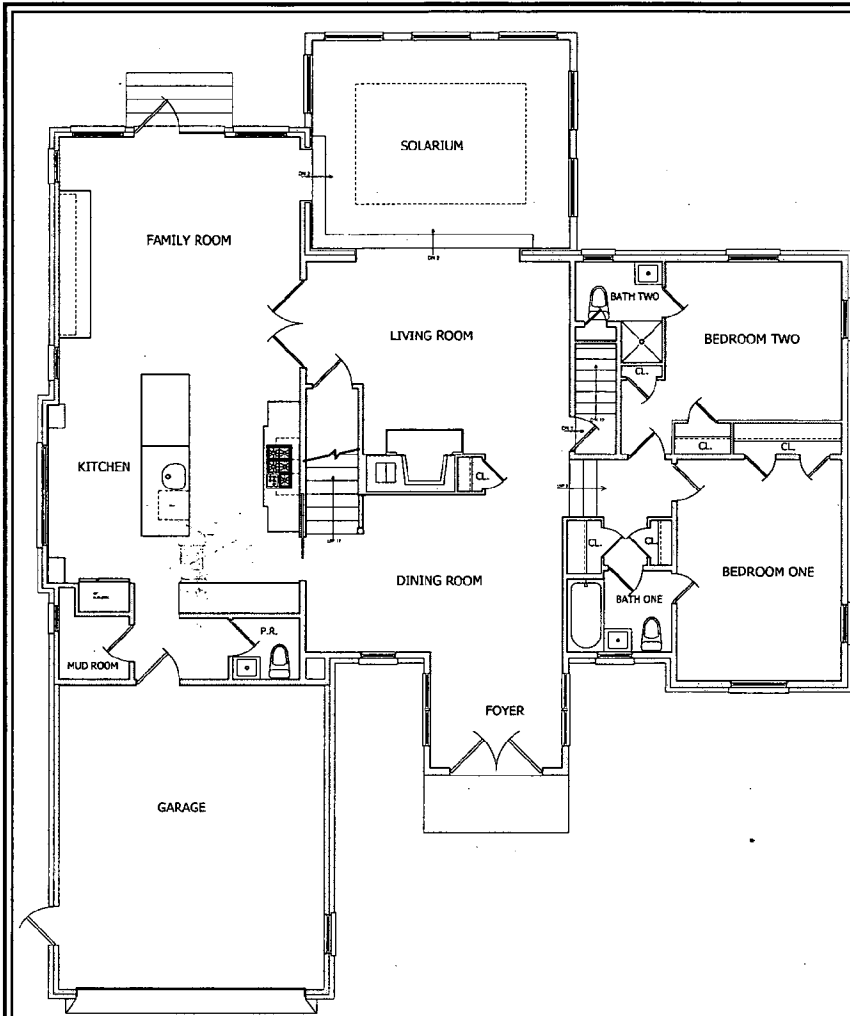
Double

- 16 Lites
- 32 Lites

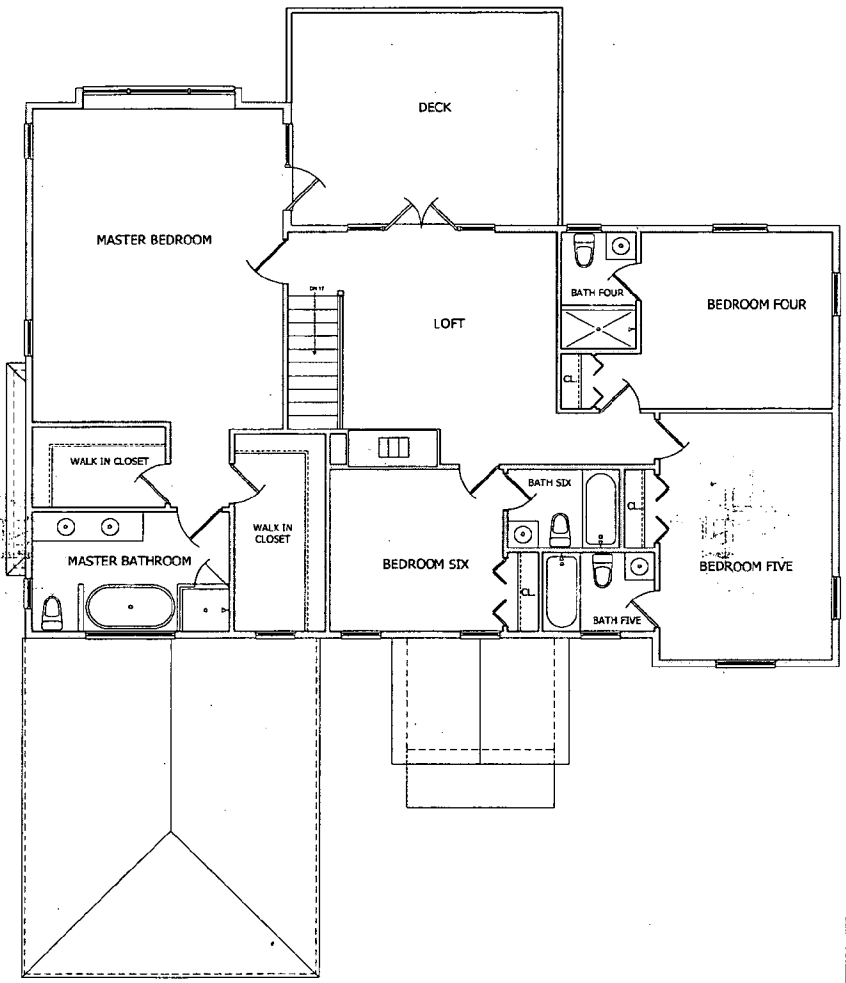
Artisan Custom Doorworks is located at 975 Hemlock Road, Morgantown, PA 19543

Phone: (888) 913-9170 | Fax: (610) 913-6036 | Email: info@artisandoorworks.com

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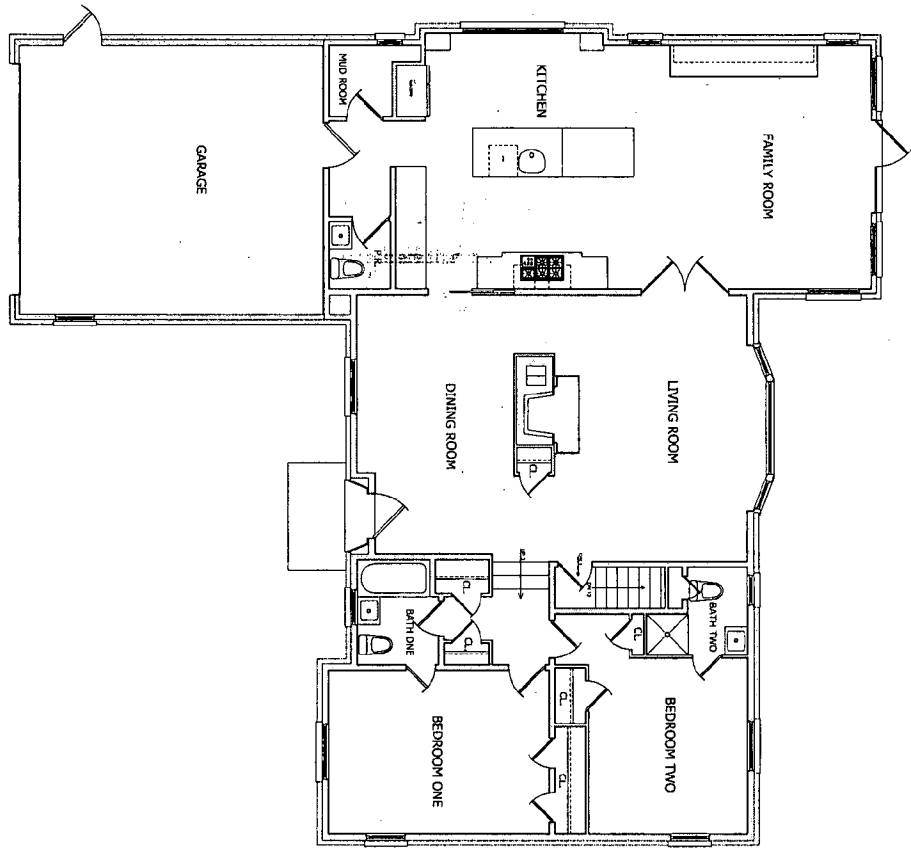
○ PROPOSED FIRST FLOOR
SCALE: 1/8" = 1'-0"



○ PROPOSED SECOND FLOOR
SCALE: 1/8" = 1'-0"

CLIENT: POGGENPOHL MID-ATLANTIC 6609 WISCONSIN AVENUE CHEVY CHASE, MD 20815 P- 301 657 8618 F- 301 657 8614	PROJECT: RENOVATION
	APPROVED:
CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815	DESIGNER: AMIR H. FARAZAD
SCALE: SEE PLOT	DRAWN BY: G. O.
DATE: 14.08.2010	DRAWING #: A7.0
DRAWING TITLE: PROPOSED FLOOR PLANS	

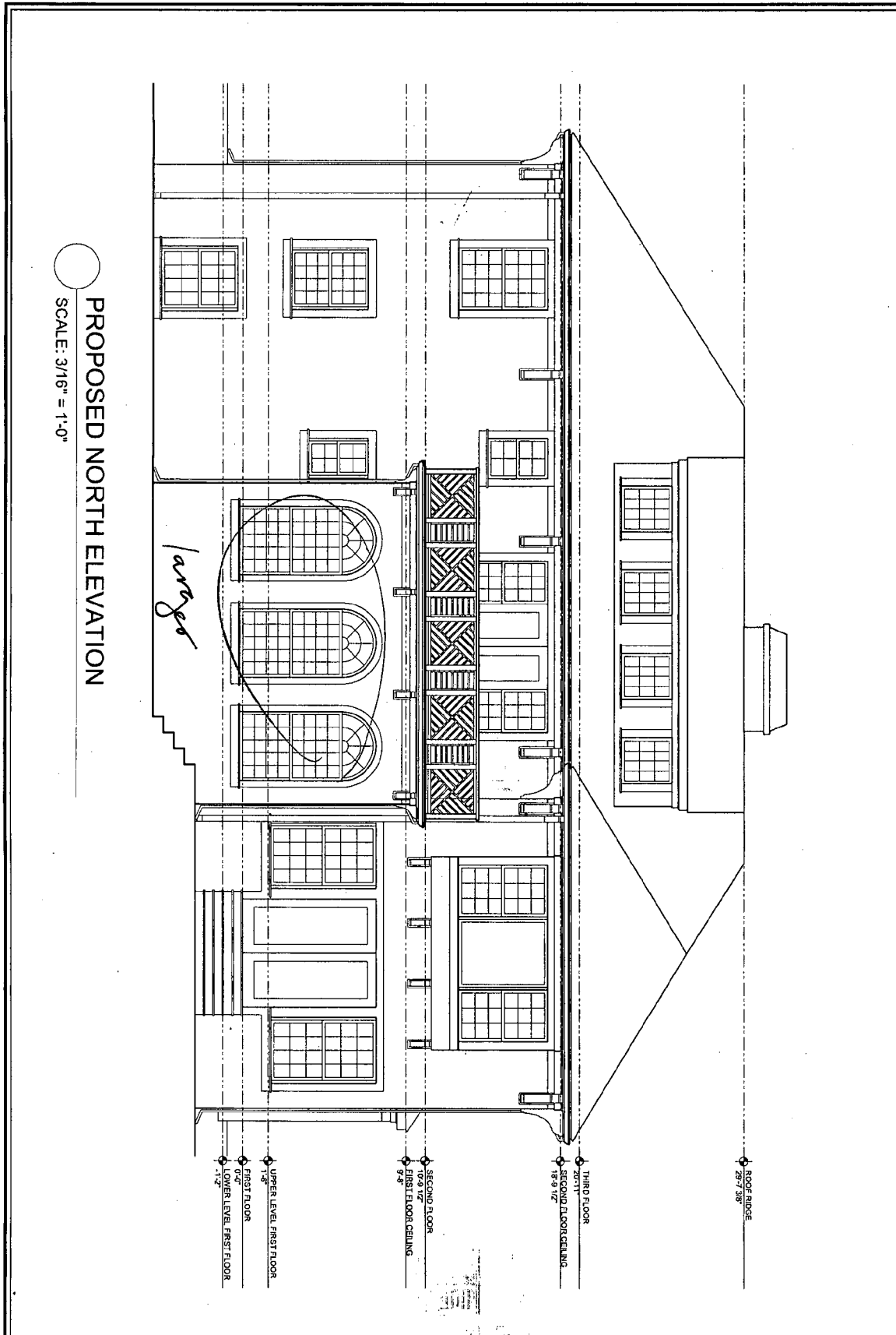
EXISTING FLOOR PLAN
SCALE: 1/8" = 1'-0"



POGGENPOHL MID-ATLANTIC
6809 WISCONSIN AVENUE
CHEVY CHASE, MD 20815
P- 301 657 8618
F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVATION	
SCALE: SEE PLOT		APPROVED:	
DATE: 04.08.2010		DESIGNER: AMIR H. FARAZAD	DRAWING TITLE: EXISTING FLOOR PLAN
DRAWN BY: G.O.		DRAWING #: A2.0	

41



PROPOSED NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



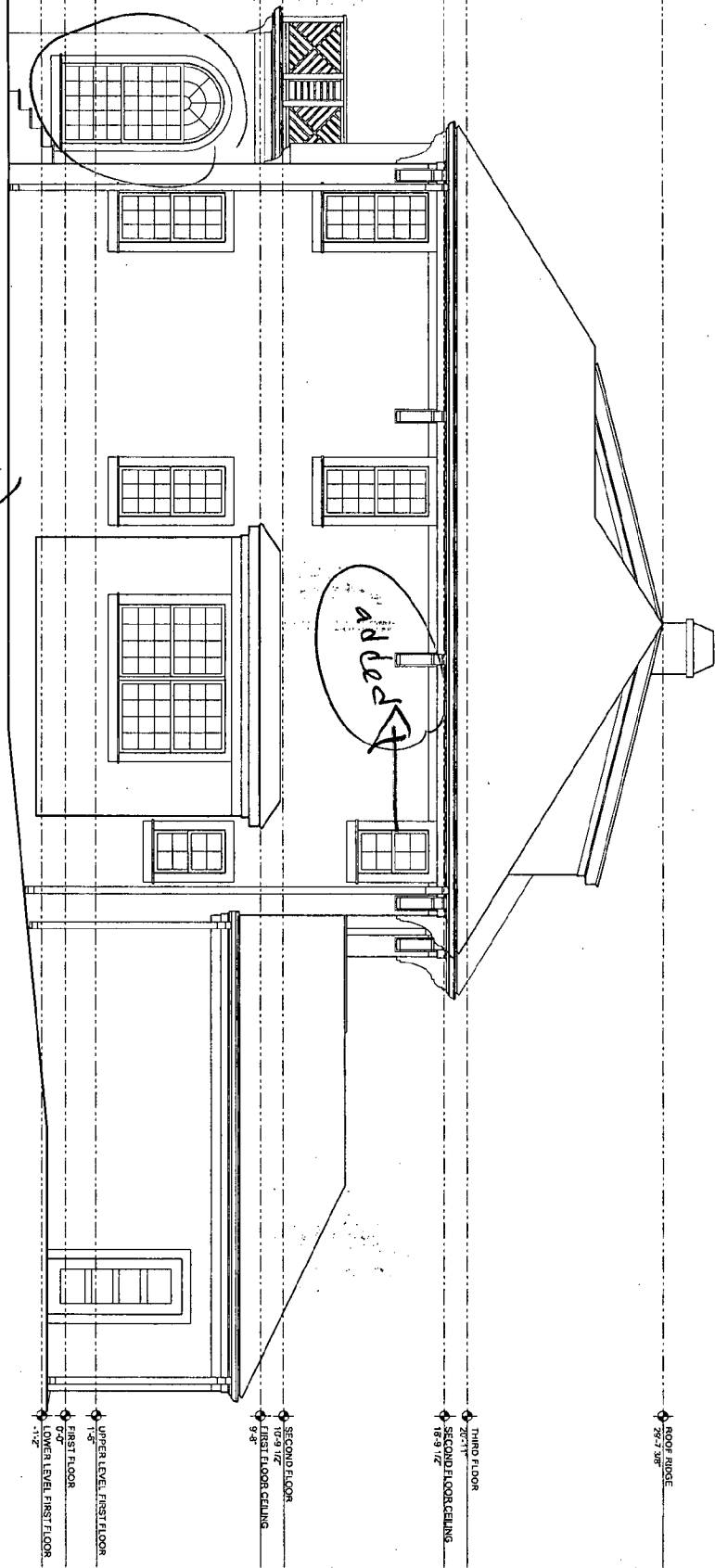
POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVATION	
SCALE: SEE PLOT		APPROVED:	
DATE: 04.08.2010 04.15.2010		DESIGNER: AMIR H. FARAZAD	
DRAWN BY: G.O.		DRAWING TITLE: PROPOSED ELEVATION	
DRAWING #: A12.0			

15

Spine
shows
window
A (different)

PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"

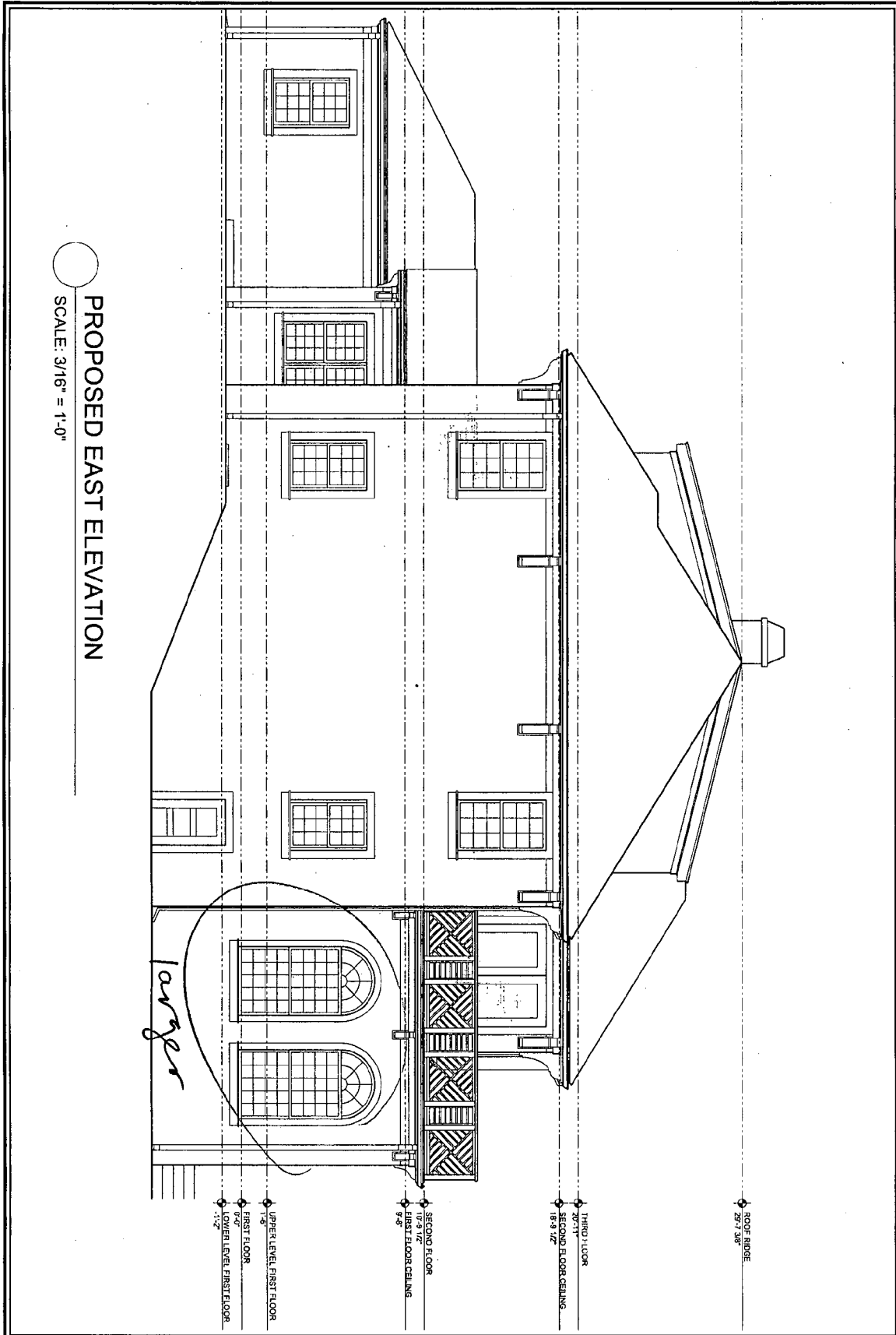


POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815	
SCALE: SEE PLOT	DRAWN BY: G.O.
DATE: 04.08.2010 04.15.2010	DRAWING #: A11.0

PROJECT: RENOVATION
APPROVED:
DESIGNER: AMIR H. FARAZAD
DRAWING TITLE: PROPOSED ELEVATION

13



PROPOSED EAST ELEVATION
 SCALE: 3/16" = 1'-0"

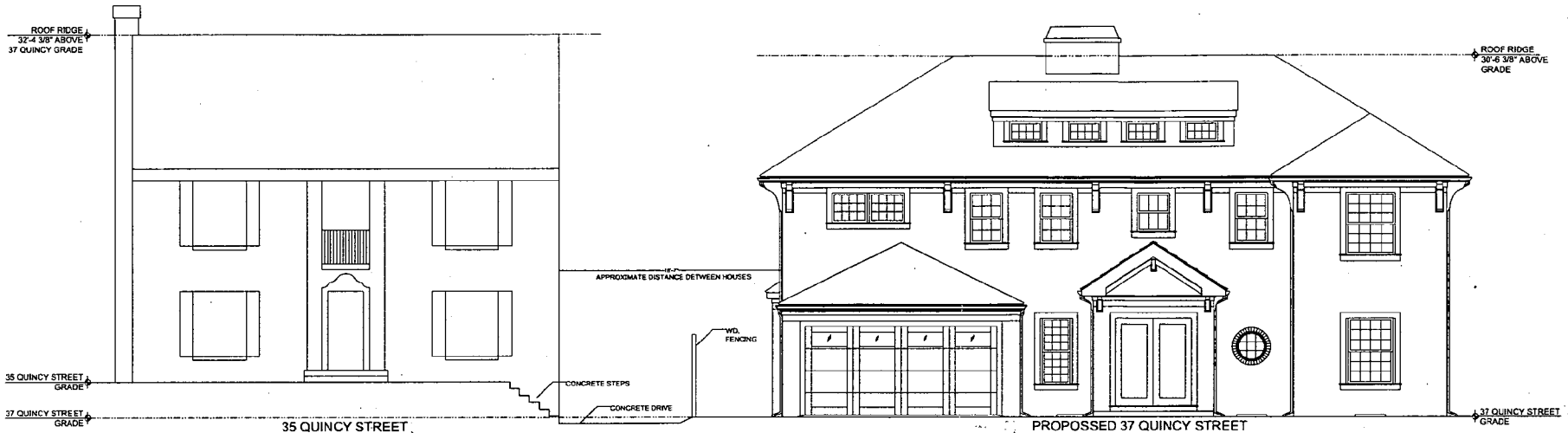
larger

- ROOF RIDGE 25'-7 3/8"
- THIRD FLOOR 20'-0"
- SECOND FLOOR CEILING 15'-9 1/2"
- SECOND FLOOR 10'-9 1/2"
- FIRST FLOOR CEILING 9'-8"
- UPPER LEVEL FIRST FLOOR 1'-8"
- FIRST FLOOR 1'-0"
- UPPER LEVEL FIRST FLOOR 1'-2"



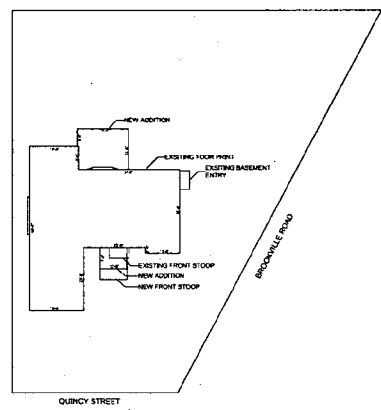
POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVATION
SCALE: SEE PLOT	DRAWN BY: G.O.	APPROVED:
DATE: 04.09.2010 04.15.2010	DRAWING #: A13.0	DESIGNER: AMIR H. FARAZAD
		DRAWING TITLE: PROPOSED ELEVATION

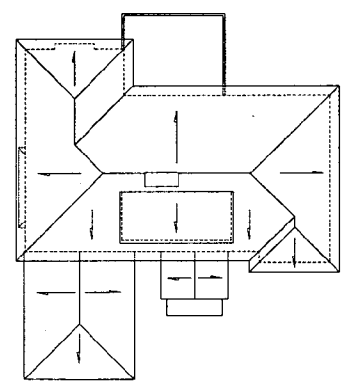


HEIGHT COMPARISON
SCALE: 1/4" = 1'-0"

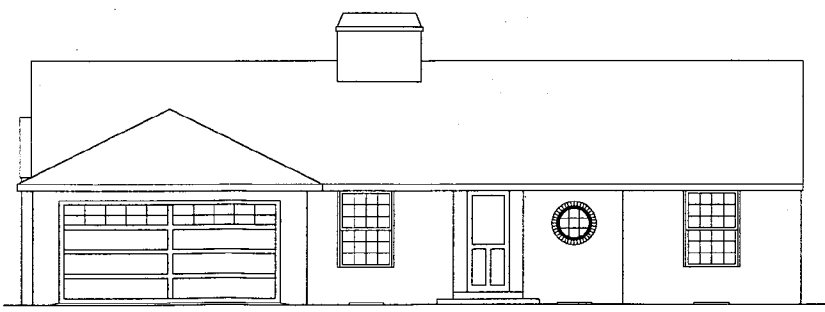
PROPOSED MATERIAL SELECTION	
EXTERIOR FINISH	STUCCO
ROOFING MATERIAL	ASPHALT SHINGLES



EXISTING VS. PROPOSED FOOT PRINT
SCALE: 1" = 20'-0"



PROPOSED ROOF PLAN
SCALE: 1" = 10'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



PROJECTED BY
AMIR H. FARAZAD
ARCHITECT

GRENNA RESIDENCE
37 QUINCY ST.
CHEVY CHASE, MD 20815

APPROVED:
DATE: 08/08/2010

DESIGNED BY:
AMIR H. FARAZAD
DRAWN BY:
C.C.

DRAWING TITLE:
PLANS & ELEVATIONS
SCALE:
SEE PLOT

PROJECT:
RENOVATION

REVISION:
A1.0

Fothergill, Anne

From: Fothergill, Anne
Sent: Monday, April 19, 2010 12:50 PM
To: 'ahfarazad@aai-poggenpohl.com'
Subject: RE: grenna 4-8-2010

Can you send me a link to the design for the front door? Is it solid wood or is it partly glazed?

From: Fothergill, Anne
Sent: Monday, April 19, 2010 10:16 AM
To: 'ahfarazad@aai-poggenpohl.com'
Subject: FW: grenna 4-8-2010

I am hoping to get all this information and clarification today because I need to finish the staff report:

- 1) please check the east and west elevations to make sure the dormers match up on both. It appears that the north side dormer has a different pitch in the two elevations. The HPC has a number of architects who will definitely scrutinize the roof plan so I would recommend double checking the plans.
- 2) Can you explain what is going on with the roof as seen in the west and east elevations? Both show a strange angle that I am not sure I understand.
- 3) the Overhead door Shaker style. Please send web link so I can print it out

thanks,
Anne

Fothergill, Anne

From: ahfarazad@aai-poggenpohl.com
Sent: Tuesday, April 13, 2010 9:27 AM
To: Fothergill, Anne
Subject: RE: grenna 4-8-2010

Good Morning Anne,

I was just getting ready to responde! Thanks for follow up.

1- all the new windows on the upper floor is painted wood, the existing lower floor are wood with vinyl cladding.

2- all the trims are painted wood.

3- permanently fixed muntin bars

4- we do have a few options, one of them is the Overhead door Shaker style.

5- all second floor deck in painted wood, the deck surface in TREX material

6- all railing in painted wood. if the design is objectional I can talk to the client to simplify a bit!

7- the chimney will be extended with masonry

8- no the kitchen window will remain the same

9- we are not doing anything with the fence!

Thanks,

Amir H. Farazad
Director
AAI-Poggenpohl, Mid-Atlantic Region
P. 301-657-8618
F. 301-657-8614

From: "Fothergill, Anne" <Anne.Fothergill@mncppc-mc.org>
Sent: Tuesday, April 13, 2010 11:47 AM
To: ahfarazad@aai-poggenpohl.com
Subject: RE: grenna 4-8-2010

Good morning. I am just checking that you got this email.

thanks, Anne

From: Fothergill, Anne
Sent: Friday, April 09, 2010 11:38 AM
To: 'ahfarazad@aai-poggenpohl.com'
Subject: RE: grenna 4-8-2010

Thanks for sending this and it will be on the April 28th HPC agenda.

Here is what I still need-it is mainly more material information.

- 1) Are the new doors and windows wood?
- 2) Is the new window trim wood? I notice you are proposing window trim around the existing first floor windows and doors.
- 3) Do all the new windows have simulated divided lights-meaning the muntin bars are permanently affixed on both sides of the glass and there are no snap-in muntins?
- 4) We need the garage door specifications-can you send a photo or a link to the exact door web site?
- 5) Is the second floor deck wood?
- 6) Is the deck railing wood? Would the owners consider a simpler railing with vertical rails?
- 7) Is the new chimney masonry?
- 8) West side: Why are you changing the kitchen window from multiple panes to one single pane?
- 9) Are there any other site improvements that should be included as part of this application-for example, patio, walls, fencing, walkways, etc.

Those are all my questions so far.

thanks, Anne

From: ahfarazad@aai-poggenpohl.com [mailto:ahfarazad@aai-poggenpohl.com]
Sent: Friday, April 09, 2010 11:17 AM
To: Fothergill, Anne
Cc: lucia.grenna@gmail.com
Subject: grenna 4-8-2010

Good Morning Anne,

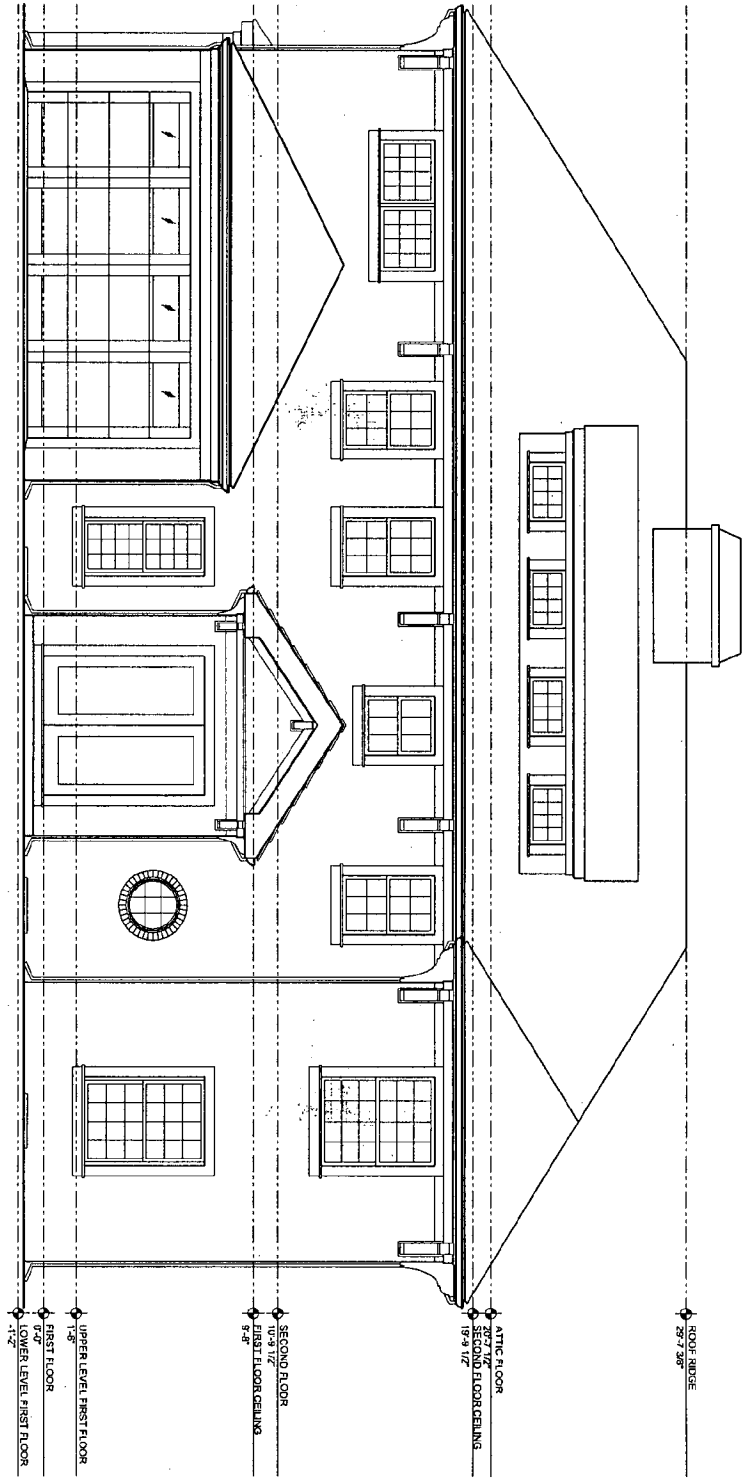
I have attached the drawings in the format that you had requested for the April 28th agenda. Please feel free to let me know if we have to provide any additional information.

I appreciate your help and impute in this process.

Thanks,

Amir H. Farazad
Director
AAI-Poggenpohl, Mid-Atlantic Region
P. 301-657-8618
F. 301-657-8614

PROPOSED SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

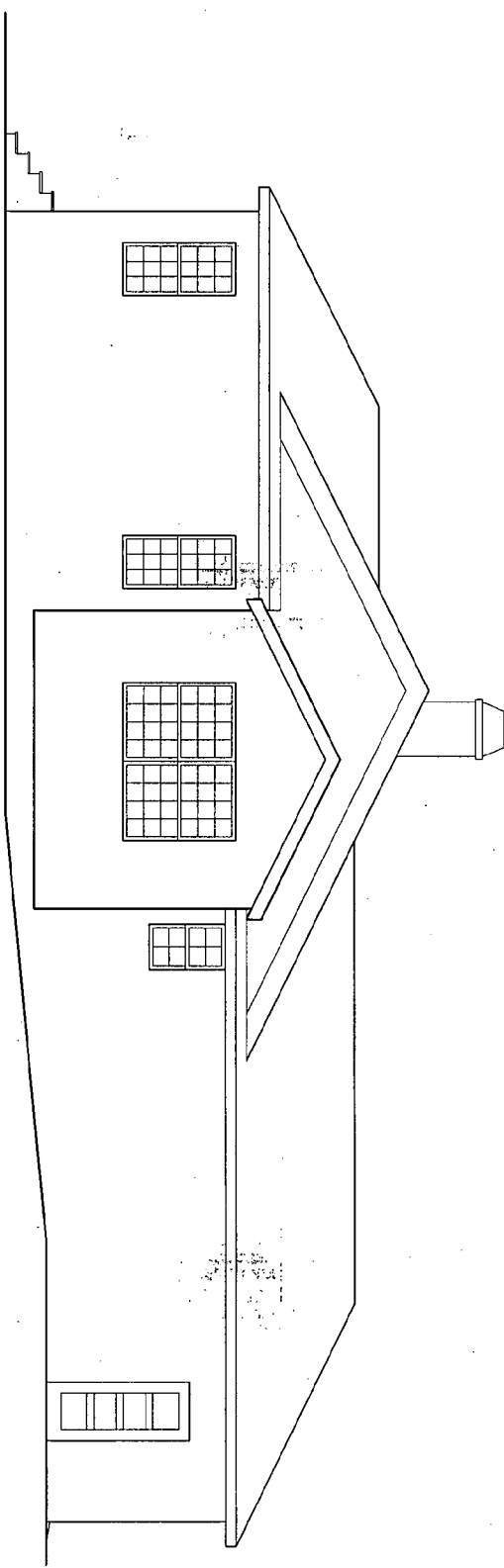


POGGENPOHL MID-ATLANTIC
 8809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVATION
SCALE: SEE PLOT	DRAWN BY: G.O.	APPROVED:
DATE: 04.08.2010	DRAWING #: A8.0	DESIGNER: AMIR H. FARAZAD
		DRAWING TITLE: PROPOSED ELEVATION

EXISTING WEST ELEVATION

SCALE: 3/16" = 1'-0"

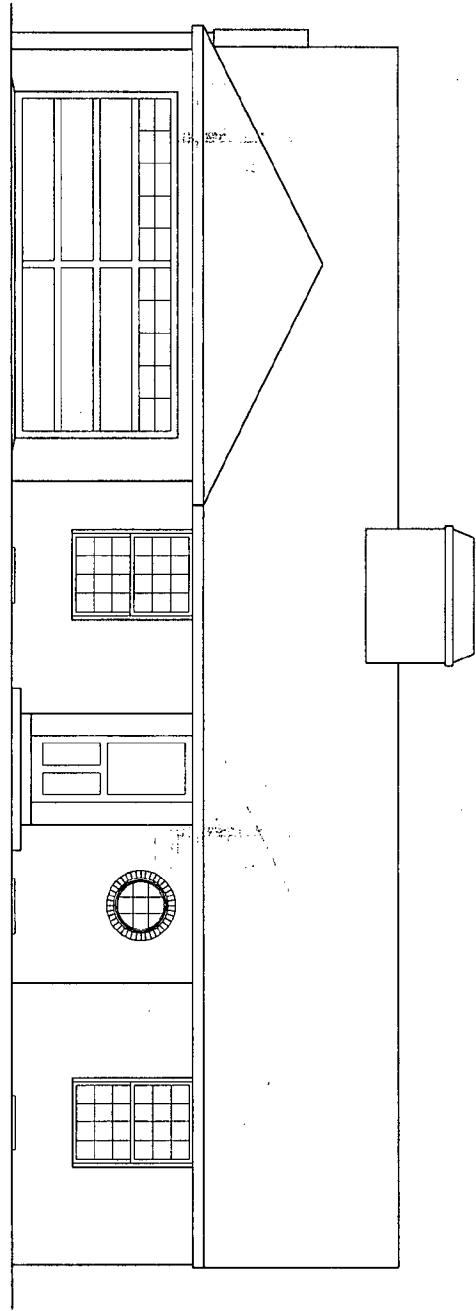


POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815	
SCALE: SEE PLOT	DRAWN BY: G.O.
DATE: 04.08.2010	DRAWING #: A4.0

PROJECT	RENOVATION
APPROVED	
DESIGNER	AMIR H. FARAZAD
DRAWING TITLE	EXISTING ELEVATION

EXISTING SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

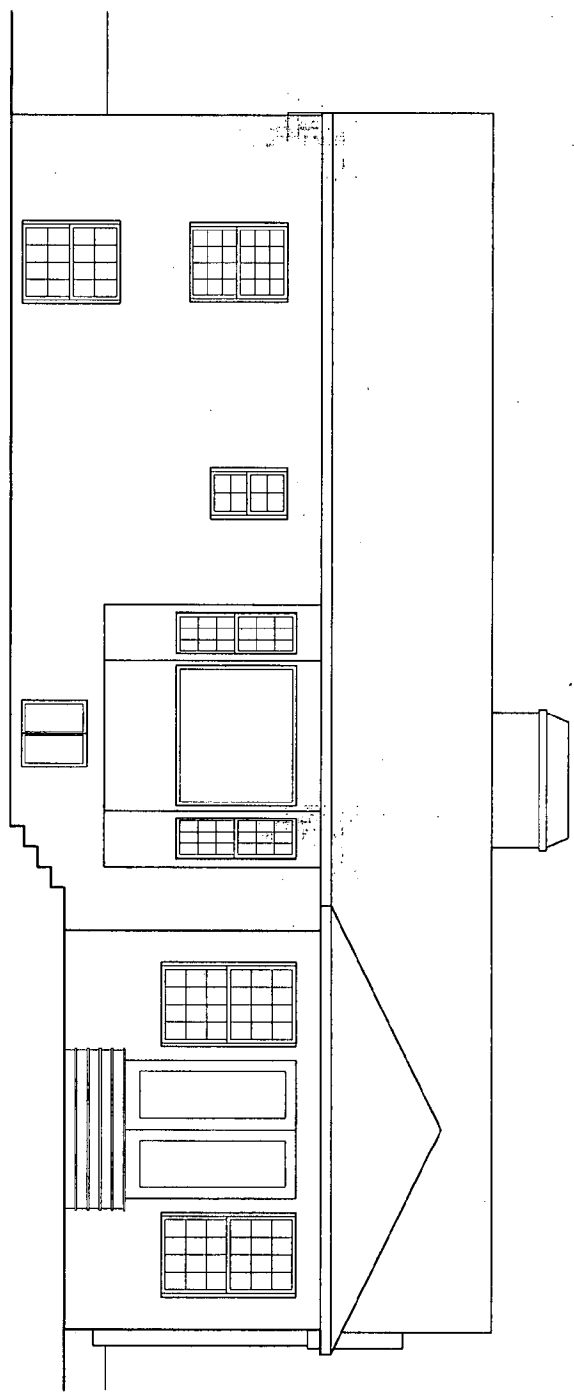


POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVIATION
SCALE: SEE PLOT		APPROVED:
DATE: 04.08.2010	DRAWN BY: G.O.	DESIGNER: AMIR H. FARAZAD
	DRAWING #: A3.0	DRAWING TITLE: EXISTING ELEVATION

EXISTING NORTH ELEVATION

SCALE: 3/16" = 1'-0"

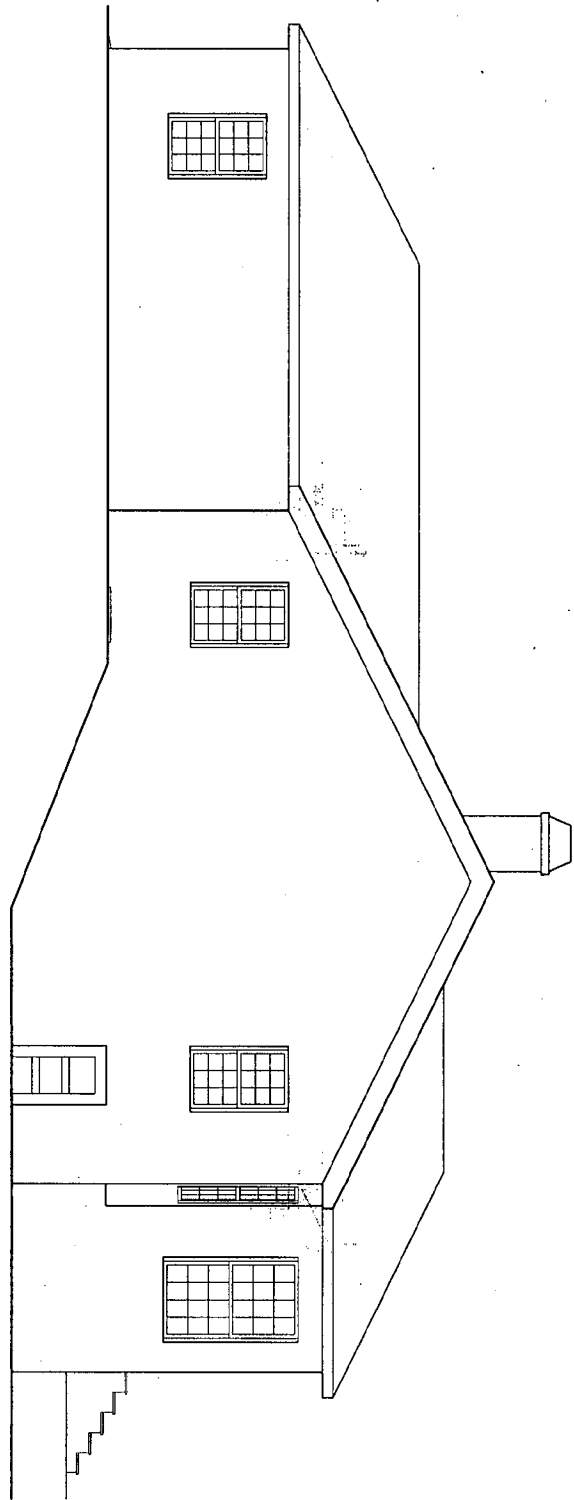


POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GREENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVATION	
SCALE: SEE PLOT		APPROVED:	
DATE: 04.08.2010		DESIGNER: AMIR H. FARAZAD	
DRAWN BY: G.O.		DRAWING TITLE: EXISTING ELEVATION	
DRAWING #: A5.0			

EXISTING EAST ELEVATION

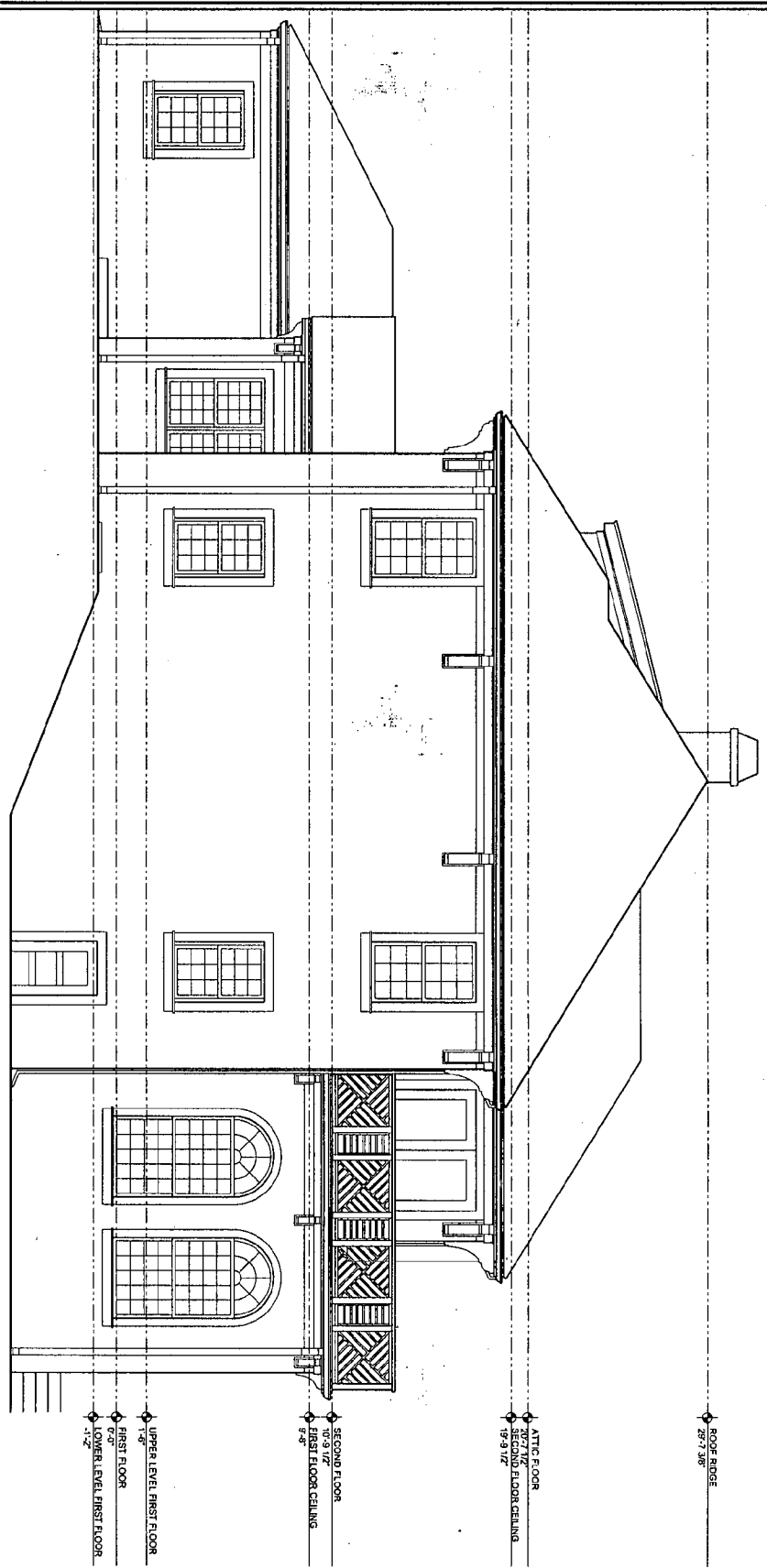
SCALE: 3/16" = 1'-0"



POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVATION
SCALE: SEE PLOT		APPROVED:
DATE: 04.08.2010	DRAWN BY: G.O.	DESIGNER: AMIR H. FARAZAD
	DRAWING #: A6.0	DRAWING TITLE: EXISTING ELEVATION

PROPOSED EAST ELEVATION
 SCALE: 3/16" = 1'-0"



ROOF EDGE
25'-11 3/8"

ATTIC FLOOR
18'-9 1/2"

SECOND FLOOR CEILING
18'-9 1/2"

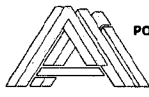
SECOND FLOOR
10'-9 1/2"

FIRST FLOOR CEILING
9'-8"

UPPER LEVEL FIRST FLOOR
1'-0"

FIRST FLOOR
1'-0"

LOWER LEVEL FIRST FLOOR
1'-2"

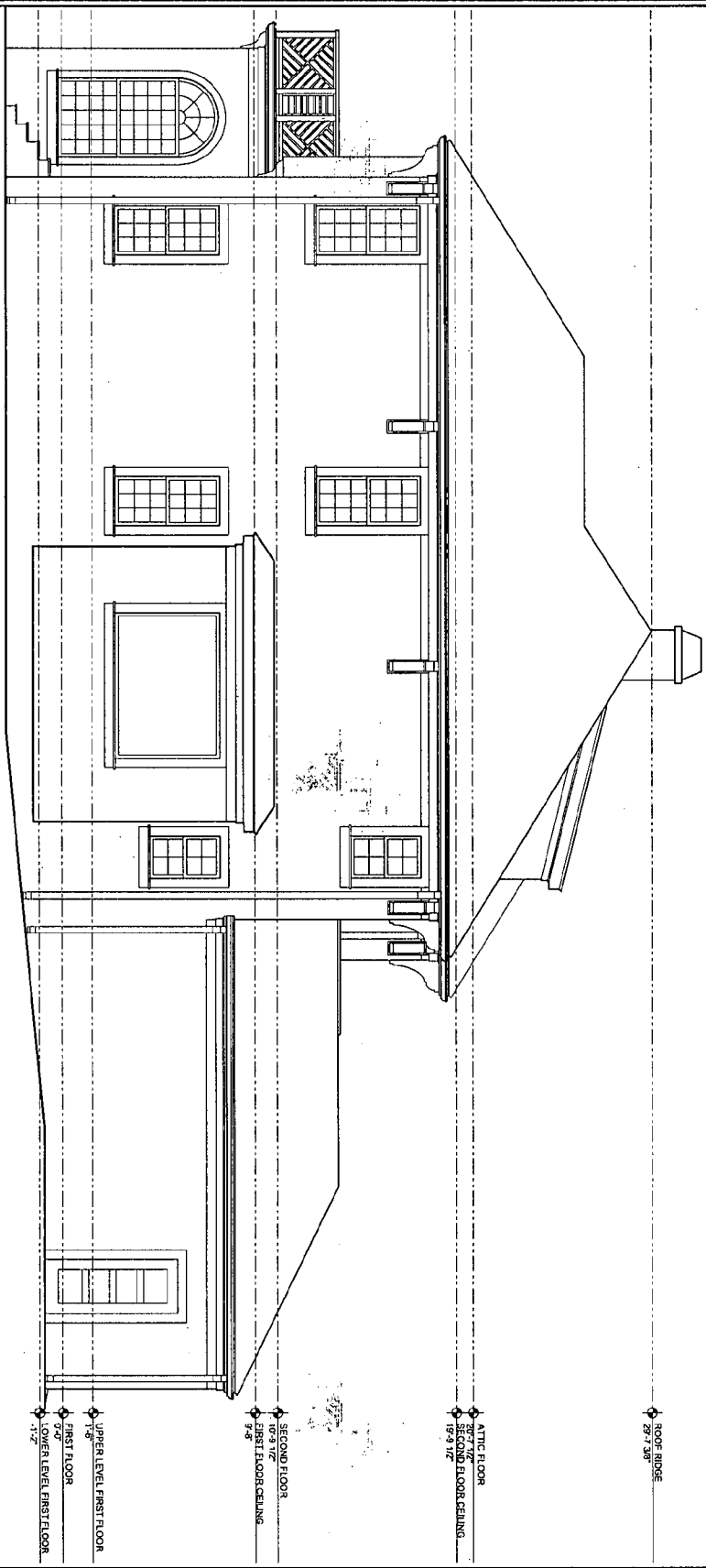


POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815	
SCALE: SEE PLOT	DRAWN BY: G.O.
DATE: 04.08.2010	DRAWING #: A11.0

PROJECT	RENOVATION
APPROVED	
DESIGNER	AMIR H. FARAZAD
DRAWING TITLE	PROPOSED ELEVATION

PROPOSED WEST ELEVATION
 SCALE: 3/16" = 1'-0"

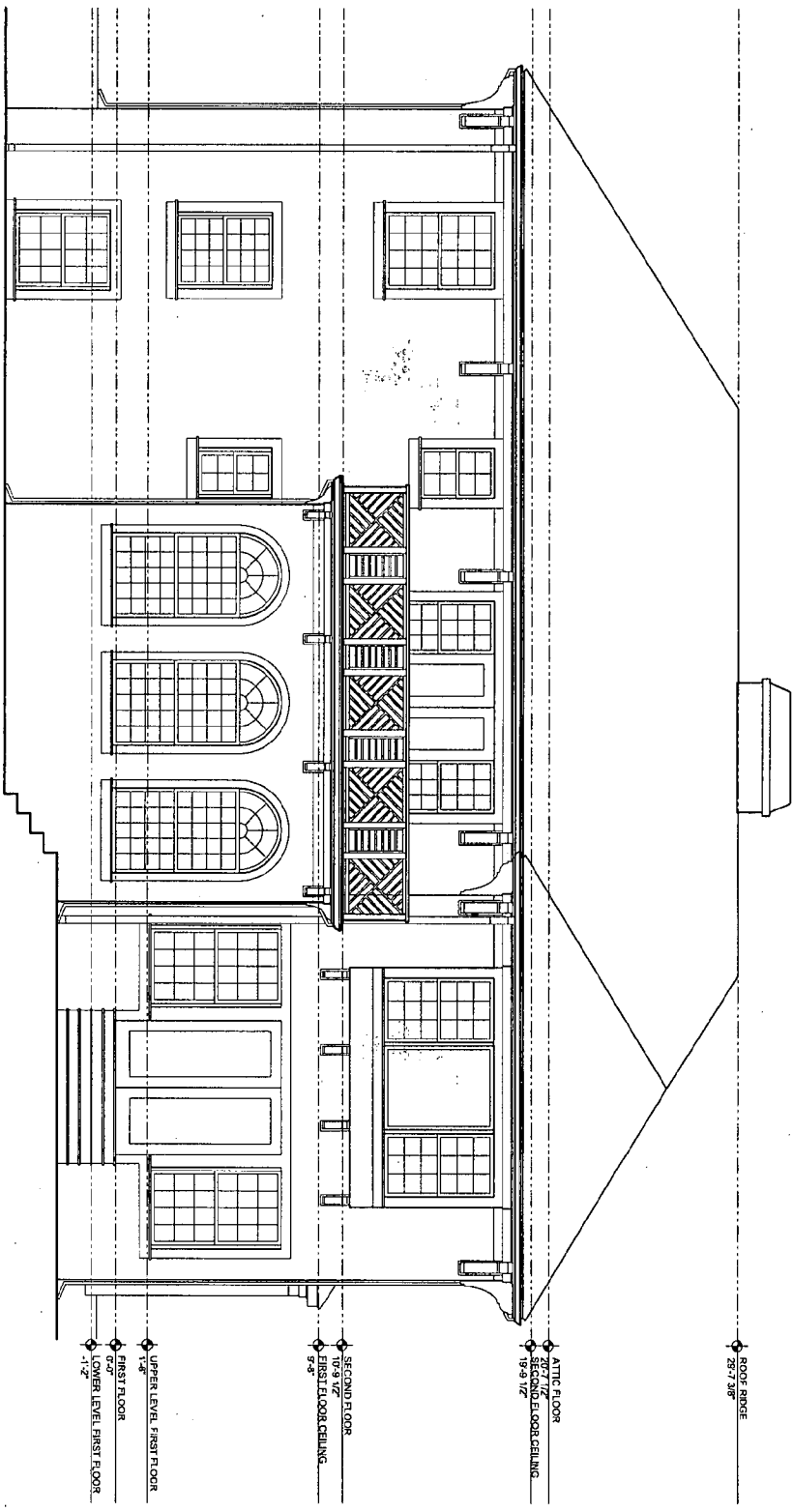


POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GREENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVATION
SCALE: SEE PLOT	DRAWN BY: G.O.	APPROVED:
DATE: 04.08.2010	DRAWING #1: A9.0	DESIGNER: AMIR H. FARAZAD
		DRAWING TITLE: PROPOSED ELEVATION

PROPOSED NORTH ELEVATION

SCALE: 3/16" = 1'-0"



- ROOF RIDGE 25'-7 3/8"
- ATTIC FLOOR 19'-9 1/2"
- SECOND FLOOR CEILING 17'-9 1/2"
- SECOND FLOOR 17'-9 1/2"
- FIRST FLOOR CEILING 9'-8"
- FIRST FLOOR 10'-9 1/2"
- UPPER LEVEL FIRST FLOOR 14'-0"
- FIRST FLOOR 14'-0"
- LOWER LEVEL FIRST FLOOR 1'-2"



POGGENPOHL MID-ATLANTIC
 6809 WISCONSIN AVENUE
 CHEVY CHASE, MD 20815
 P- 301 657 8618
 F- 301 657 8614

CLIENT: GRENNA RESIDENCE 37 QUINCY STREET CHEVY CHASE, MD 20815		PROJECT: RENOVIATION
SCALE: SEE PLOT		APPROVED:
DATE: 04.08.2010	DRAWN BY: G.O.	DESIGNER: AMIR H. FARAZAD
	DRAWING #: A10.0	DRAWING TITLE: PROPOSED ELEVATION

Fothergill, Anne

From: Fothergill, Anne
Sent: Friday, April 02, 2010 4:33 PM
To: 'ahfarazad@aai-poggenpohl.com'
Cc: lucia.grenna@gmail.com
Subject: RE: GRENNA RESIDENCE 37 Quincy Street

Mr. Farazad and Ms. Grenna:

This proposed massing is much more appropriate for this setting and we really appreciate you taking the Commission's concerns about the massing and scale into consideration. Now our more minor concerns are about some of the detailing, but we can discuss that—for example, the round widow on the front, the dormer on the garage, an odd roof form (the HPC will want to see a roof plan). The HPC will also want a height study comparing the house next to it to the west and this house should not be taller. And we can also talk about proposed materials and what is approvable in the historic district.

Overall though, you are headed in the direction toward what the HPC wanted and I think you are ready to move forward on this. I am out of the office until Wednesday April 7 so we can plan to talk on Wednesday and if you want to be on the April 28th agenda I think we can aim for that.

thanks,
Anne

Anne Fothergill
Planner Coordinator
Urban Design | Historic Preservation Section
Maryland-National Capital Park and Planning Commission
301-563-3400 phone | 301-563-3412 fax

<http://www.montgomeryplanning.org/historic>

OUR OFFICE MOVED--PLEASE NOTE NEW ADDRESS:

Office Location:

1400 Spring Street, Suite 500 W
Silver Spring, MD 20910

Mailing Address:

8787 Georgia Avenue
Silver Spring, MD 20910

From: ahfarazad@aai-poggenpohl.com [mailto:ahfarazad@aai-poggenpohl.com]
Sent: Friday, April 02, 2010 10:15 AM
To: Fothergill, Anne
Cc: lucia.grenna@gmail.com
Subject: GRENNA RESIDENCE 37 Quincy Street

Good morning Anne,

I have attached the revised proposed plan per recommendation of the last MNCPPC hearing for the above project.

Please feel free to let me know if you have any questions or recommendation that we should be concern before the April 14th so we can be prepared.

I appreciate your time and look forward to hearing from you!

Thanks,

Amir H. Farazad

Director

AAI-Poggenpohl, Mid-Atlantic Region

Architecture, Design, Planning & Construction

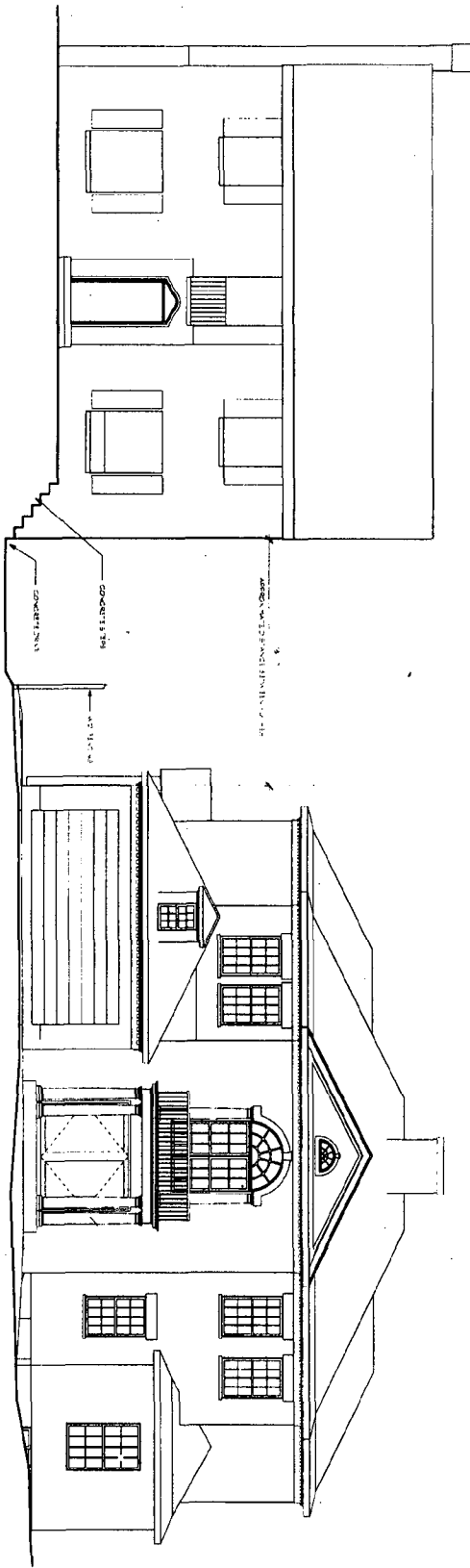
P. 301-657-8618

F. 301-657-8614

ahfarazad@aai-poggenpohl.com

031 QUINCY STREET
WINDING

037 QUINCY STREET
WINDING



II-A

A15

ELEVATION
COMPARISON

GRENNA RESIDENCE

37 QUINCY ST
CHEVY CHASE, MD

DATE	2/14/14
SCALE	1/8" = 1'-0"
PROJECT	GRENNA RESIDENCE
DESIGNER	JOB
DRAWN	JOB
CHECKED	JOB
APPROVED	JOB

BD+D
Benedict Design + Drafting

John Benedetto
P.O. Box 2211
Grant Park, VA 22051
john@benedictdesign.com 703.488.2450

Fothergill, Anne

From: Fothergill, Anne
Sent: Friday, April 09, 2010 11:38 AM
To: 'ahfarazad@aai-poggenpohl.com'
Subject: RE: grenna 4-8-2010

Thanks for sending this and it will be on the April 28th HPC agenda.

Here is what I still need—it is mainly more material information:

- 1) Are the new doors and windows wood?
- 2) Is the new window trim wood? I notice you are proposing window trim around the existing first floor windows and doors.
- 3) Do all the new windows have simulated divided lights—meaning the muntin bars are permanently affixed on both sides of the glass and there are no snap-in muntins?
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- 6) Is the deck railing wood? Would the owners consider a simpler railing with vertical rails?
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- 8) West side: Why are you changing the kitchen window from multiple panes to one single pane?
- 9) Are there any other site improvements that should be included as part of this application—for example, patio, walls, fencing, walkways, etc.

Those are all my questions so far.

thanks, Anne

From: ahfarazad@aai-poggenpohl.com [mailto:ahfarazad@aai-poggenpohl.com]
Sent: Friday, April 09, 2010 11:17 AM
To: Fothergill, Anne
Cc: lucia.grenna@gmail.com
Subject: grenna 4-8-2010

Good Morning Anne,

I have attached the drawings in the format that you had requested for the April 28th agenda. Please feel free to let me know if we have to provide any additional information.

I appreciate your help and impute in this process.

Thanks,

Amir H. Farazad
Director
AAI-Poggenpohl, Mid-Atlantic Region
P. 301-657-8618
F. 301-657-8614

Fothergill, Anne

From: Fothergill, Anne
Sent: Tuesday, February 02, 2010 1:51 PM
To: 'John Benedetto'
Subject: RE: 37 Quincy St.

From what I saw in both the west and east elevations, the expanded 2nd floor over the garage looks like a very large projecting blank block with no relief, and I think the HPC would be concerned that it was not compatible and that the scale and massing would impact the historic district streetscape. I would expect that they will want to see you break up and reduce that very prominent and visible massing in some way--make it smaller, pull it back away from the street/front plane of the garage, add dormers, second floor insets, windows, etc.

thanks,
Anne

From: John Benedetto [mailto:john@benedictdesign.com]
Sent: Monday, February 01, 2010 5:45 PM
To: Fothergill, Anne
Cc: lucia.grenna@gmail.com
Subject: RE: 37 Quincy St.

Thanks, Anne; I'll take a look at the Applicable Guidelines. I will also make it clear that the owner is not interested in pursuing a new garage. Do you think the extension of the addition over the garage will be supported by the Commission?

Best,

John
Benedict Design + Drafting
P.O. Box 251
Great Falls, VA 22066
(c) 703.772.3506
(f) 703.636.2653

From: Fothergill, Anne [mailto:Anne.Fothergill@mncppc-mc.org]
Sent: Monday, February 01, 2010 3:26 PM
To: John Benedetto
Subject: RE: 37 Quincy St.

Thanks for the detailed email and explanation.

You will find in the transcript that there was discussion and support for keeping the expansion within the existing footprint. That is good that the rear addition had been reduced substantially from the first design. It appears in the new design that the 2nd floor has increased on the west side (above the garage) creating a big block that will have a visual impact on the streetscape and the adjacent historic resource.

If you look in the December 9, 2009 staff report there is a section called "Applicable Guidelines" and those are what the HPC uses for their review of applications. If you no longer have that report, I can email it to you.

The HPC reviews all projects within the designated Chevy Chase Village Historic District.

The discussion in the transcript was about the possibility of an attached garage at the rear/side of the house (not detached) that would be accessed off Brookville Road. If your client does not want to pursue that alternative, you can let the HPC know that.

Please let me know if you have any other questions.

thanks,
Anne

From: John Benedetto [mailto:john@benedictdesign.com]
Sent: Monday, February 01, 2010 12:14 PM
To: Fothergill, Anne
Cc: lucia.grenna@gmail.com
Subject: RE: 37 Quincy St.

Anne,

The Commission suggested a reduction in the rear and front additions, and as you can see we have removed the prominent front addition, and reduced the size of the rear addition a great deal. In order to accommodate as large a family as the owners', the rear addition is imperative. It has been reduced to as small a footprint as possible while preserving its intended function.

Regarding the curb-cut and detached garage, we explored the possibility in programming and decided it would not be practical, considering the cost of such development, and the presence of an **existing garage**. Not to mention the lack of a "rear yard interpretation" from the Village prevents a clear determination about whether or not a detached garage would even be allowed. We have not looked into it any further because the owner is not interested in and has no intention of building a detached garage at this time.

I'm not clear to what extent the Commission decides what we can and cannot do. Can you please explain this to me? It seems that much of their determination is based on personal opinion rather than clearly-defined principles. Are there any guidelines to follow about what is and isn't "historically correct", or are such decisions made at the whim of the Commission?

Also, what is the context we are working within? The house fronts both Quincy and Brookville, and is located in the Village of Chevy Chase. What, exactly, are the boundaries of the historic resource the Commission is charged with protecting?

Thanks,

John
Benedict Design + Drafting
P.O. Box 251
Great Falls, VA 22066
(c) 703.772.3506
(f) 703.636.2653

From: Fothergill, Anne [mailto:Anne.Fothergill@mncppc-mc.org]
Sent: Monday, February 01, 2010 11:02 AM
To: John Benedetto
Cc: lucia.grenna@gmail.com
Subject: RE: 37 Quincy St.

Thanks for sending me these elevations to look at. At the Preliminary Consultation the Commission supported a second story expansion of this house but they did not support additions to the existing footprint. They also requested that you look into getting a curb cut off Brookville Road and putting the garage on the back of the house. Were you able to look into that?

I am attaching the transcript so you can review it while you work on your design. Overall, I think the front is definitely headed in the right direction but I don't think the rear addition has changed from the first design and they did not support that. I would need a site plan/floor plans to really be able to advise.

thanks,
Anne

From: John Benedetto [mailto:john@benedictdesign.com]
Sent: Friday, January 29, 2010 5:42 PM
To: Fothergill, Anne
Cc: lucia.grenna@gmail.com
Subject: 37 Quincy St.

Hi Anne,

I apologize for the lapse in communication. We have had a number of unrelated obstacles to overcome, but we are still moving forward with the project. Attached is a new design concept for 37 Quincy street. The idea is to simplify the massing and give unity to the composition.

More detail is obviously needed but hopefully you can give some feedback on this while I continue to develop the design.

Many Thanks,

John
Benedict Design + Drafting
P.O. Box 251
Great Falls, VA 22066
(c) 703.772.3506
(f) 703.636.2653

Fothergill, Anne

From: Fothergill, Anne
Sent: Monday, February 01, 2010 11:02 AM
To: 'John Benedetto'
Cc: lucia.grenna@gmail.com
Subject: RE: 37 Quincy St.
Attachments: 37 Quincy prelim.pdf

Thanks for sending me these elevations to look at. At the Preliminary Consultation the Commission supported a second story expansion of this house but they did not support additions to the existing footprint. They also requested that you look into getting a curb cut off Brookville Road and putting the garage on the back of the house. Were you able to look into that?

I am attaching the transcript so you can review it while you work on your design. Overall, I think the front is definitely headed in the right direction but I don't think the rear addition has changed from the first design and they did not support that. I would need a site plan/floor plans to really be able to advise.

thanks,
Anne

From: John Benedetto [mailto:john@benedictdesign.com]
Sent: Friday, January 29, 2010 5:42 PM
To: Fothergill, Anne
Cc: lucia.grenna@gmail.com
Subject: 37 Quincy St.

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More detail is obviously needed but hopefully you can give some feedback on this while I continue to develop the design.

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Benedict Design + Drafting

John Benedetto
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Great Falls, VA 22066

p: 703.772.3506
f: 703.636.2653
john@benedicdesign.com

DATE	APPROVAL

NOTES



① SOUTH ELEVATION PROPOSED

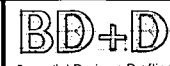
**GRENNA
RESIDENCE**
37 GUNNY ST
CHEVY CHASE, MD

DRAWING SET	DATE

**PROPOSED
ELEVATION**

DRAWN	JAB
DATE	1/8/2010
SCALE	AS NOTED

A3



Benedict Design + Drafting

John Benedetto
P.O. Box 251
Great Falls, VA 22066

p: 703.772.3506
f: 703.636.2653
john@benedictdesign.com

DATE: APPROVAL:

NOTES

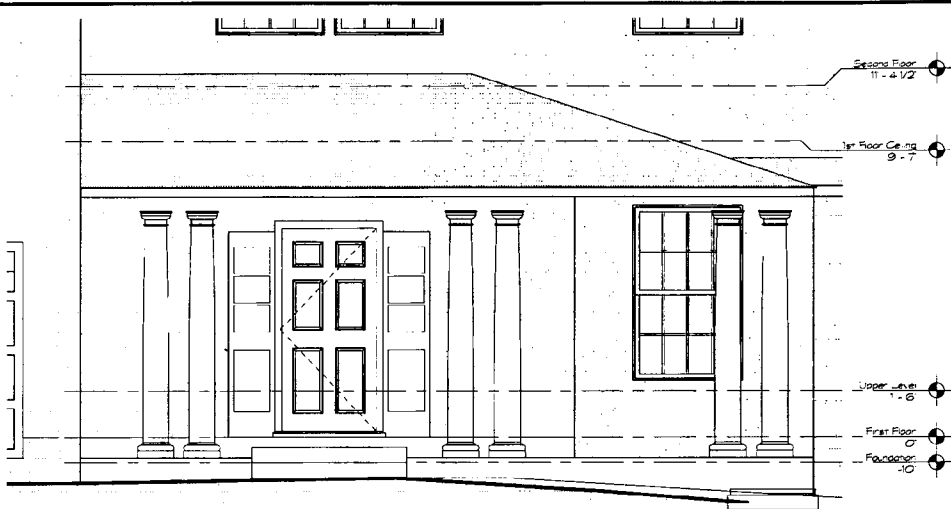
GRENNA RESIDENCE
37 QUINCY ST
CHEVY CHASE, MD

DRAWING SET: DATE:

PROPOSED ELEVATION

DATE	1/5, 2010
SCALE	AS NOTED

A4



② PORCH ELEVATION



① NORTH ELEVATION PROPOSED

BD+D

Benedict Design + Drafting

John Benedetto
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Great Falls, VA 22066

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f: 703.636.2653
john@benedictdesign.com

DATE	APPROVAL

NOTES

**GRENNA
RESIDENCE**
37 QUINCY ST
CHEVY CHASE, MD

DRAWING SET	DATE

**PROPOSED
ELEVATION**

DRAWN	JAB
DATE	1/8/2010
SCALE	AS NOTED

A5



① WEST ELEVATION PROPOSED



Benedict Design + Drafting

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f: 703.636.2653
john@benedictdesign.com

DATE	APPROVAL

NOTES

GRENNA
RESIDENCE
37 GUNNY ST
CHEVY CHASE, MD

DRAWING SET	DATE

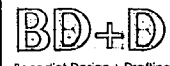
PROPOSED
ELEVATION

DRAWN	JAB
DATE	VB-200
SCALE	AS NOTED

A6



① EAST ELEVATION PROPOSED



Benedict Design + Drafting

John Benedetto
P.O. Box 251
Great Falls, VA 22064

p: 703.772.3506
f: 703.636.2653
john@benedictdesign.com

DATE	APPROVAL

NOTES

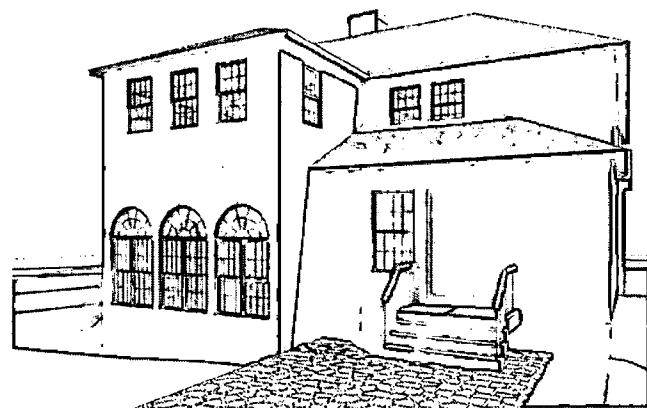
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RESIDENCE
37 CLUNY ST
CHEVY CHASE, MD

DRAWING SET	DATE

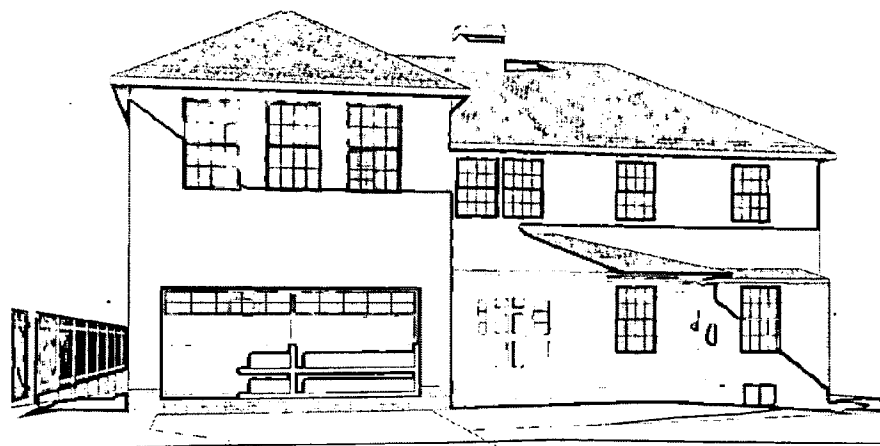
PERSPECTIVES

DRAWN	JAB
DATE	1.8.2010
SCALE	AS NOTED

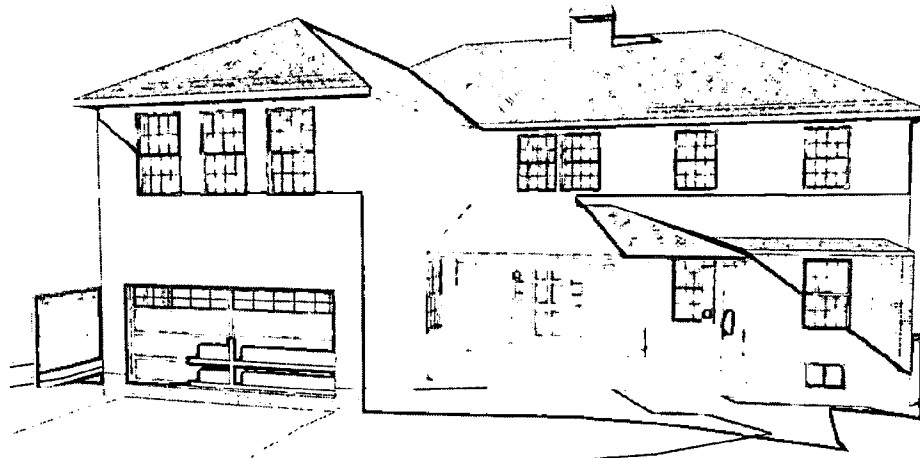
A7



② rear 2



① front



③ front 3

Fothergill, Anne

From: Fothergill, Anne
Sent: Monday, December 21, 2009 9:42 AM
To: john@benedictdesign.com; lucia.grenna@gmail.com; bob.goff@montgomerycountymd.gov; dave.ferro@montgomerycountymd.gov; christopher.allen@montgomerycountymd.gov; dolleene.robinson@montgomerycountymd.gov
Subject: 37 Quincy Street

Mr. Benedetto, Ms. Grenna, and DPS Staff:

I have confirmed with my supervisor that since the addition at 37 Quincy Street was constructed before the Chevy Chase Village Historic District was created, the work does not require a retroactive Historic Area Work Permit (HAWP). Therefore, the applicants can proceed with their application for building permits for the existing addition without review by the Historic Preservation Commission. As you are aware, for any new work that has not been done yet, a HAWP is required for new exterior work and a HAWP is not required for interior work.

Hopefully this email is sufficient to allow the owner and the owner's agent to move forward in the permitting process. If you have any questions, please email me and I will reply as soon as possible. Our office is in the process of moving today and we do not have phone access and only sporadic email access.

thanks,
Anne

Anne Fothergill
Planner Coordinator
Historic Preservation Section

Urban Design and Preservation Division

Montgomery County Planning Department

The Maryland-National Capital Park and Planning Commission
WE ARE MOVING! AS OF DECEMBER 21 PLEASE NOTE NEW ADDRESS:

1400 Spring Street, Suite 500W

Silver Spring, MD 20910
301-563-3400 phone
301-563-3412 fax

<http://www.montgomeryplanning.org/historic>

Fothergill, Anne

From: Fothergill, Anne
Sent: Thursday, December 17, 2009 12:02 PM
To: 'dave.ferro@montgomerycountymd.gov'
Cc: 'John Benedetto'
Subject: 37 Quincy Street

Mr. Ferro:

I just left you a detailed voice mail about the pending building permit at 37 Quincy Street, Chevy Chase #526202:
<http://207.96.37.52/dpstmpl.asp?url=/status/status.asp&ID=997461>

My understanding from the owner's agent (copied here) is that they are only doing interior work on this previously constructed addition. If that is the case and there are no exterior changes, it does not need a Historic Area Work Permit.

Please contact me with any questions.

thanks,
Anne

Anne Fothergill
Planner Coordinator
Historic Preservation Section
Urban Design and Preservation Division
Montgomery County Planning Department
The Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
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Silver Spring, MD 20910
301-563-3400 phone
301-563-3412 fax
<http://www.montgomeryplanning.org/historic>

Manarolla, Kevin

From: Bourke, Tom (Winchester Homes, Inc.)(Tom) [tom.bourke@whihomes.com]
Sent: Wednesday, December 16, 2009 3:50 PM
To: Fothergill, Anne; Manarolla, Kevin; Whipple, Scott; Silver, Joshua
Cc: Bob Elliott; ChCh Village file (CCV@montgomerycountymd.gov); FeldmanGS@aol.com; Jacobs - Eph's daughter (abjdoe@gmail.com); Marsh, Joan (r.marshes@verizon.net); Stephens, Betsy; Wellington, P. (ccv)
Subject: HPC hearing - 12-16-09 - 37 Quincy

The following are the comments by the Chevy Chase Village LAP for items on the 12/16/09 HPC agenda

37 Quincy
Non-conforming Resource
Grenna residence.
Proposed additions and alterations

Staff appropriately noted that the existing one-story ranch house is "non-contributing". LAP feels that demolition or extensive renovation of the house is entirely appropriate, and as residents of the area we are grateful that this has been undertaken by the new owners.

Staff does not oppose the concept of a second floor expansion, and the LAP agrees that an expansion should be permitted.

Staff had concerns about the massing at the front of the house as "too prominent and overpowering", and the LAP feels these concerns are generally justified. We do not have specific recommendations as to the covered entry detail but do agree with staff which "does not support the proposed portico with the columns and balustrade and the fan light above the windows".

Staff has concerns about the Brookville Road elevation, but this was not as great a concern to the LAP. It is well-screened now and prior applications had proposed fencing. Given the fan-shape of the lot, the house becomes more set back from Brookville Rd as you move to the rear.

Staff agreed with the use of stucco, and LAP concurs if that is the wish of the residents.

Staff was concerned about the larger footprint and overall square footage. The LAP is less concerned with the rear additions and the overall size of the house. This is a large lot (at the rear), and the houses nearby are substantial. The houses facing the property from across the street are set on higher ground.

In general LAP concurs with staff.

Submitted on behalf of the Local Advisory Panel by
Tom Bourke, Chair

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	37 Quincy Street, Chevy Chase	Meeting Date:	12/16/09
Resource:	Non-Contributing Resource Chevy Chase Village Historic District	Report Date:	12/9/09
Applicant:	Lucia Grenna (John Benedetto, Agent)	Public Notice:	12/2/09
Review:	Preliminary Consultation	Tax Credit:	None
Case Number:	N/A	Staff:	Anne Fothergill

PROPOSAL: Second story expansion and two-story front and rear additions to house

STAFF RECOMMENDATION

Staff recommends that the applicant make major design changes based on the HPC's recommendations, submit to staff for review, and then proceed to a HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Chevy Chase Village Historic District
STYLE: Modern Ranch
DATE: 1951

PROPOSAL

The applicant is proposing to add a second story to this one-story house. The applicant also proposes to construct a two-story addition at the front and rear of the house. The proposed front addition has a portico with columns, two full-lite doors, a wood railing around the flat roof, and a fan light and pilasters around the window on the second floor. The rear addition has large windows with fan lights on three sides, a covered entry with steps to grade on the east side and a second floor balcony. There is a dormer on the front of the existing garage. The proposed materials are stucco, synthetic or wood columns and pilasters, synthetic or wood trim, vinyl or aluminum windows, and an asphalt shingle roof.

See proposed plans in Circles 9-31 and photos in Circles 32-39 and 42-48.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District

The Guidelines define a Non-Contributing or Out-of-Period Resource as “A resource which does not directly contribute to the historicity of the district because of its lack of architectural and historical significance and/or because of major alterations that have eliminated most of the resource’s original architectural integrity. Or a resource that is a newer building, which possibly contributes to the overall streetscape but is out of the district’s primary historical and architectural context.”

The Guidelines state:

Non-contributing/out-of-period resources are either buildings that are of little or no architectural and historical significance to the historic district or newer buildings constructed outside the district’s primary period of historical importance. HAWP applications for exterior alterations, changes, and/or additions to these type of resources should receive the most lenient level of design review.

Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- #2: The historic character of a property will be retained or preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The Chevy Chase Guidelines state: "Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be **major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.**" (emphasis added)

The proposed expansion of this one-story ranch house with a full second floor and two-story front and rear additions will be major additions that will affect the surrounding streetscape and could impair the character of the historic district. Because this is a corner property at the corner of Quincy Street and Brookville Road, these will be very visible changes. It is very important that the expansion of this house be done sensitively and compatibly.

Staff does not oppose a second floor expansion of this one-story house. In fact, there are many examples of successful expansions of one-story non-historic houses in historic districts that are appropriately scaled and designed and blend in very well with the other historic homes. However, staff has substantial concerns about this expanded house as proposed.

In this submission are a height comparison provided by the applicant (Circles 32 + 33) and a rough sketch of a footprint comparison provided by staff (Circle 41). It appears that the house immediately adjacent to the left at 35 Quincy will be approximately the same height as the proposed house at 37 Quincy although it is difficult to tell based on the rendering submitted since the distance between the houses is skewed and there are no dimensions shown. In terms of the footprint, it appears that the proposed footprint will be larger than the adjacent house and in fact larger than others on that end of the block. It is very important that the scale and massing of this house be compatible with this block and not overwhelm the other resources, including the Contributing Resources at 35 and 36 Quincy Street. [If the applicant submits an application, there must be an accurate height and footprint comparison provided.]

The two-story addition that projects out from the front seems inappropriate and incompatible and adds substantial massing to the front of the house. If the applicants were to propose a smaller, simpler one-story foyer addition that sits well behind the plane of the existing garage, staff may support that but it seems that the proposed second floor space adds massing that is too prominent and overpowering.

In terms of details on the front elevation, staff suggests that the front door be a single wood door instead of

two full-lite doors and perhaps there be a small, simple covered entry. Staff does not support the proposed portico with the columns and balustrade and the fan light above the windows on the second story. It is unclear if the applicants are replacing the garage door but staff would support a change to a more compatible garage door. The spacing between the 2nd floor windows on the front elevation could be more symmetrical.

On the right or east side, it is unclear what purpose the new side entrance will serve since there is already an existing door at the rear out to the patio. If this entrance and covered entry were removed, it may help reduce the amount of detail and projections on this visible Brookville Road side elevation.

In terms of materials, stucco is appropriate and staff recommends that the applicant also choose compatible and sympathetic materials for the whole house including wood windows with simulated divided light and wood trim.

The proposed house appears to have a larger footprint than the neighboring houses and possibly also larger overall square footage. Staff recommends that the two-story front and rear additions be removed. The applicants would gain a substantial amount of space just by adding a second floor to the existing house. Additionally, the Chevy Chase Guidelines state that it is “of paramount importance that the HPC recognize and foster the Village’s open, park-like character, which necessitates respect for environmental settings, landscaping, and patterns of open space.” In the past, the Commission has not supported projects that have impaired sightlines or impacted the existing openness of the setting. This proposed increased massing will be very visible and will have an impact on the openness of this corner and streetscape.

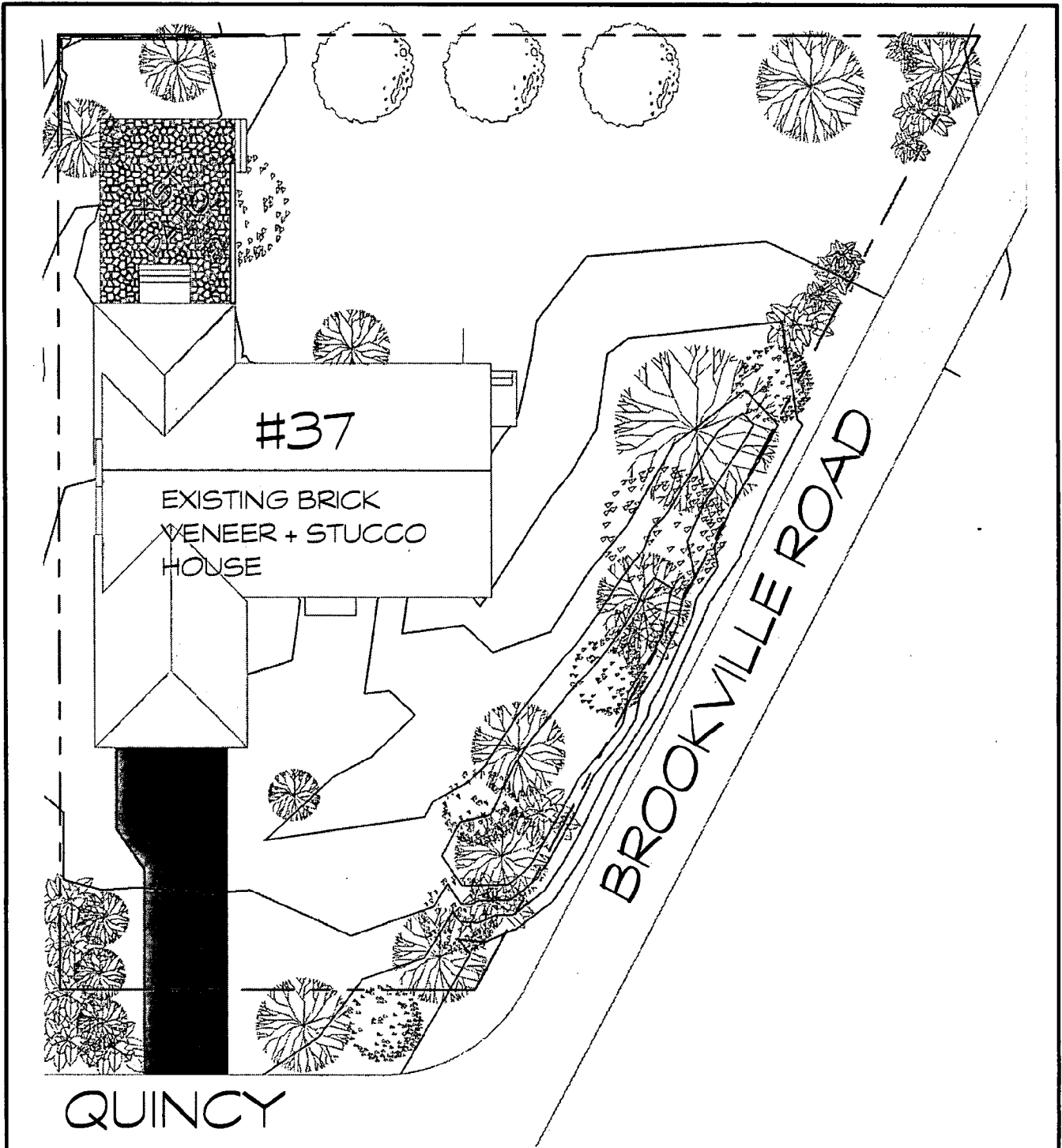
The HPC should provide the applicant with very clear guidance on whether or not they support:

- 1) The second floor expansion of this house
- 2) The front and rear additions on this house
- 3) The proposed materials
- 4) The proposed design and detailing

Additionally, the HPC should inform the applicant what changes the applicant needs to make so this can be an approvable project that is in keeping with the guidelines and any additional information is required for future review (e.g., height and footprint comparisons).

STAFF RECOMMENDATION

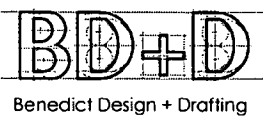
Staff recommends that the applicant revise the proposal based on the comments of the HPC and then return with a Historic Area Work Permit application.



① SITE PLAN EXISTING
1" = 20'-0"

DRAWN	JAB
DATE	12/609
SCALE	AS NOTED
SHEET NO.	C1

GRENNA RESIDENCE
37 QUINCY ST
CHEVY CHASE, MD



John Benedetto
Designer
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john@benedictdesign.com

DATE	APPROVAL

NOTES

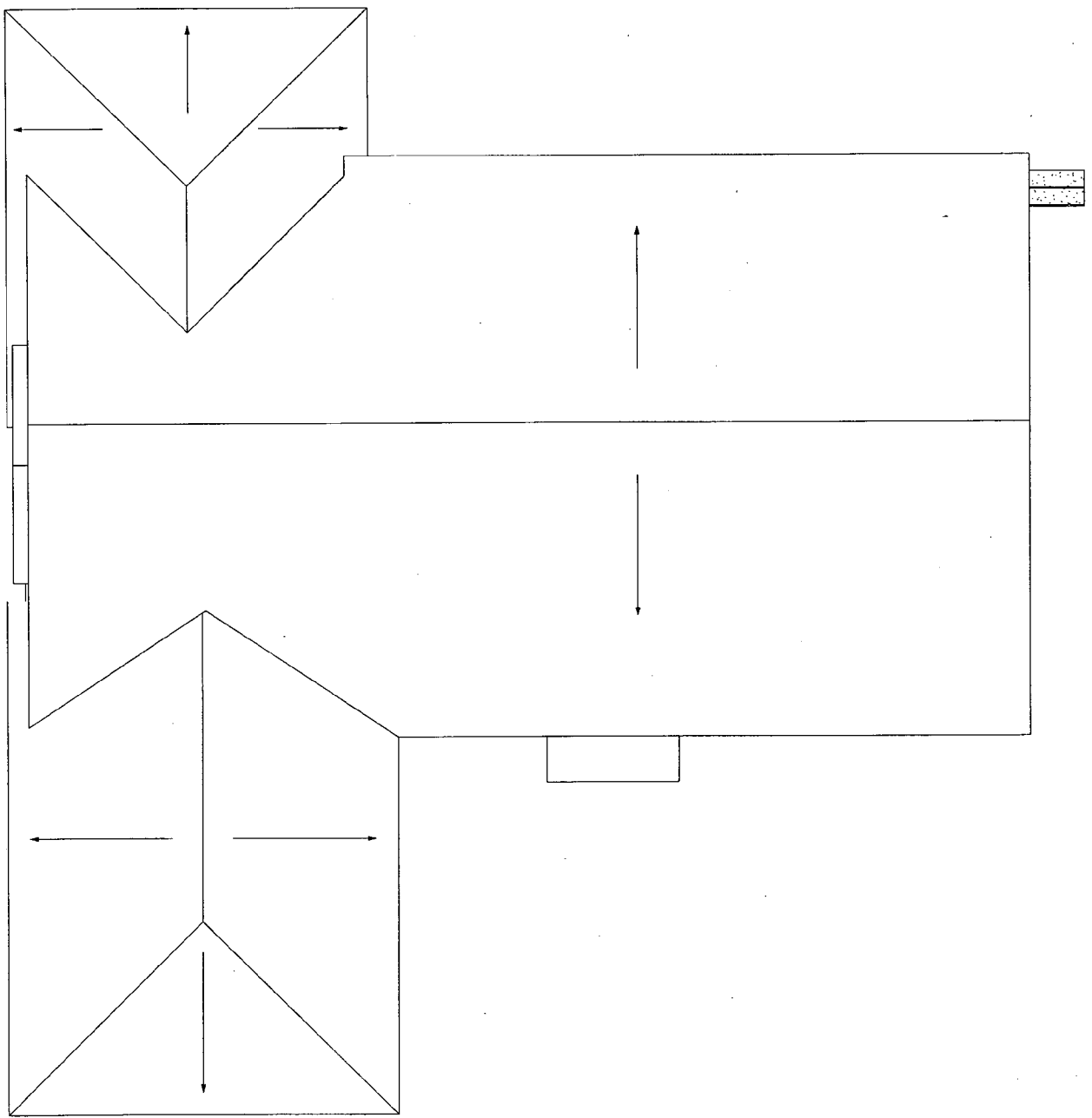
GRENNA
RESIDENCE
37 QUINCY ST
CHEVY CHASE, MD

DRAWING SET	DATE

PLAN
EXISTING

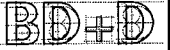
DRAWN	JAB
DATE	11/22/09
SCALE	AS NOTED

A10



① ROOF PLAN EXISTING
1/4" = 1'-0"

12



Benedic Design + Drafting

John Benedetto
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Great Falls, VA 22064
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f: 703.636.2653
john@benedicdesign.com

DATE	APPROVAL

NOTES

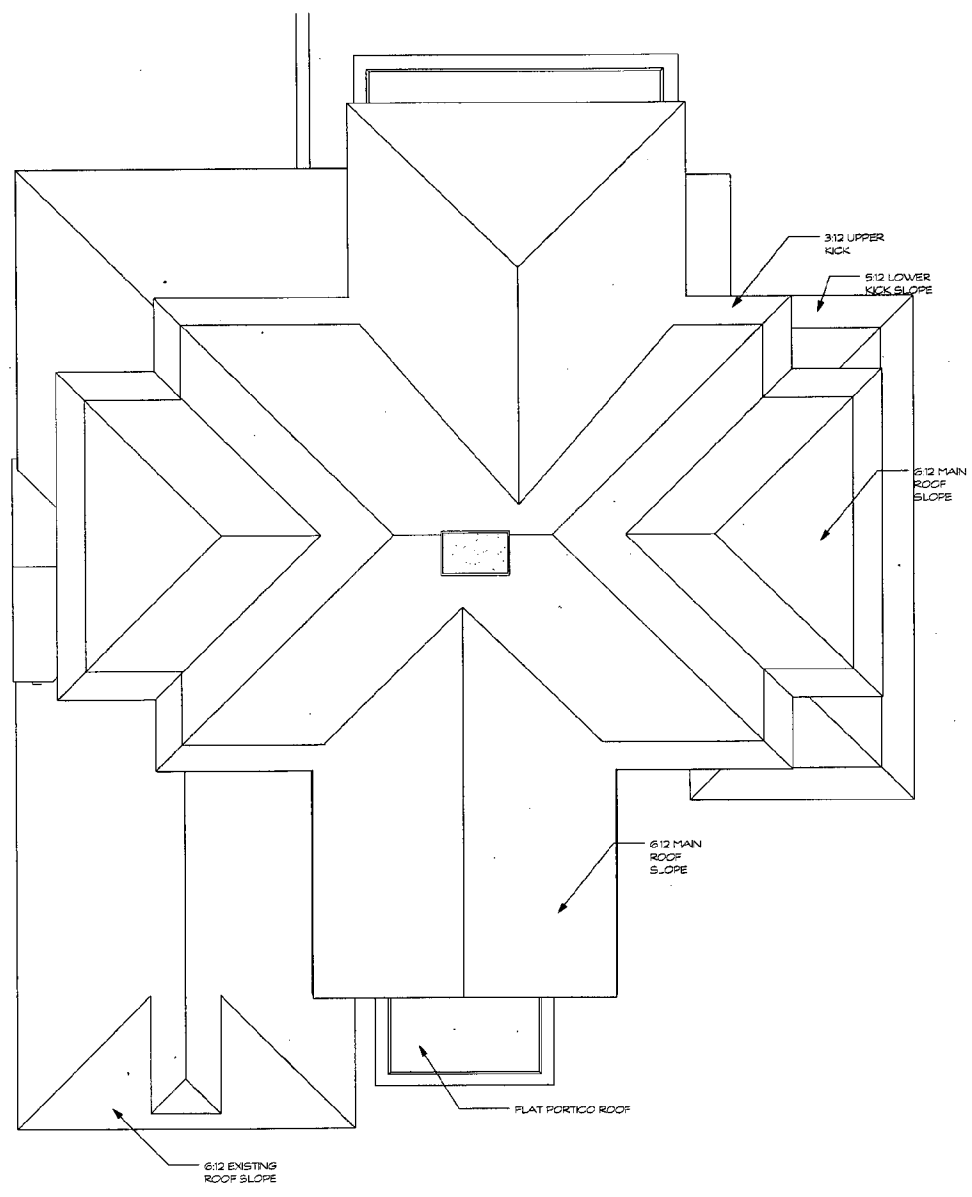
GRENNA
RESIDENCE
37 QUINCY ST
CHEVY CHASE, MD

DRAWING SET	DATE

PLAN
PROPOSED

DRAWN	JAB
DATE	1/22/09
SCALE	AS NOTED

A 13



1 ROOF PLAN PROPOSED
3/16" = 1'-0"

13



Benedict Design + Drafting

John Benedetto
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Great Falls, VA 22066

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f: 703.636.2633
john@benedictdesign.com

DATE	APPROVAL

NOTES

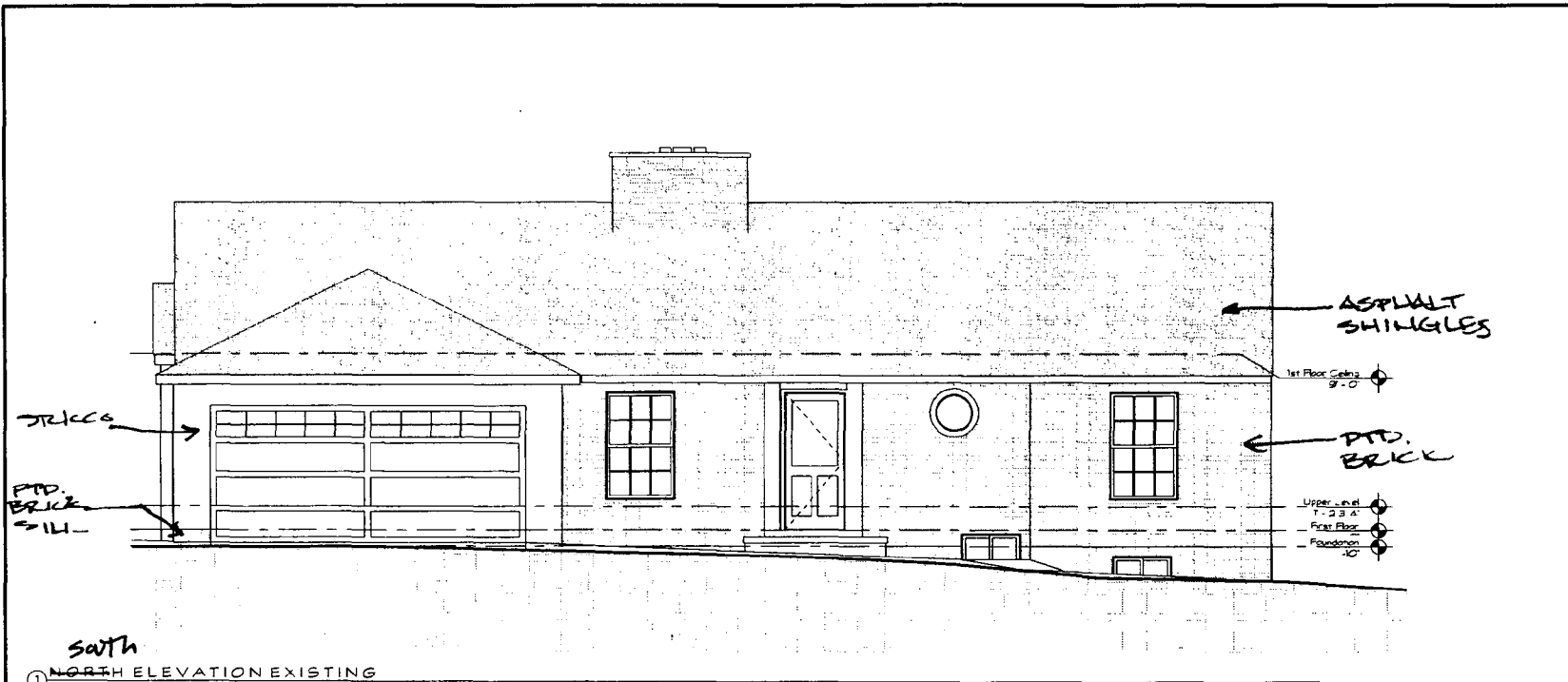
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RESIDENCE
37 QUINCY ST
GREY CHASE, MD

DRAWN BY	DATE

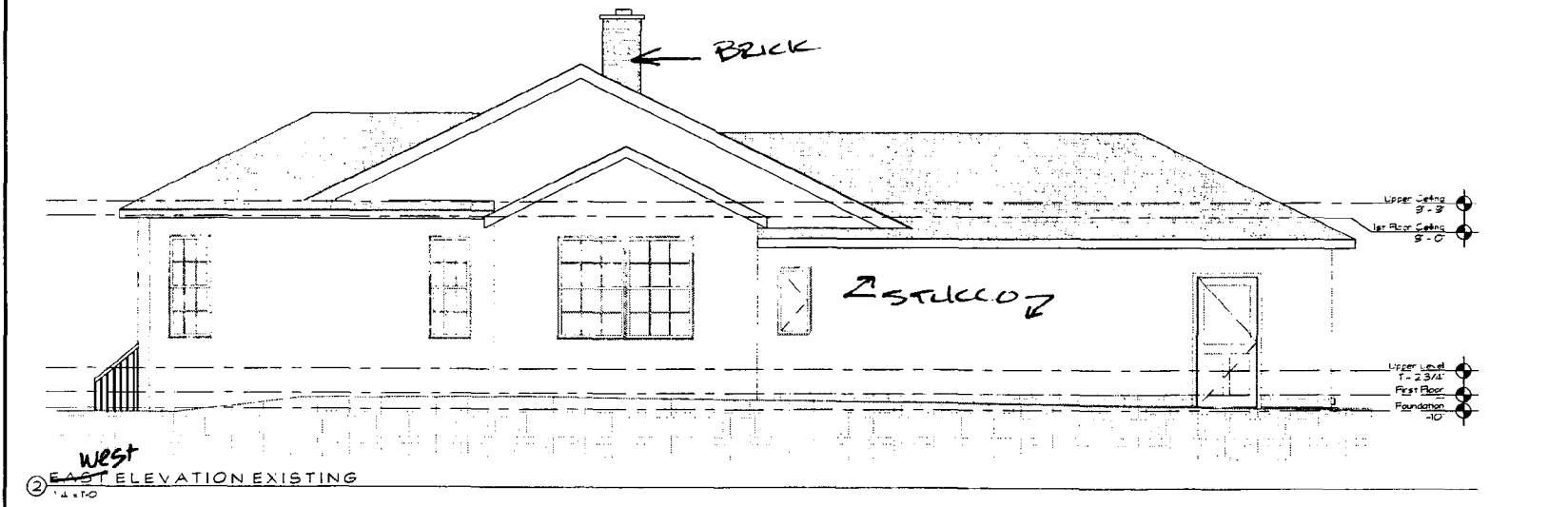
EXISTING
ELEV

DRAWN	JAB
DATE	11/22/09
SCALE	AS NOTED

A1

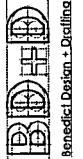


South
① NORTH ELEVATION EXISTING
11.17.10



West
② EAST ELEVATION EXISTING
11.17.10

(14)



Benedict Design + Drafting
 John Benedetto
 10000 Lakeside Blvd., Suite 200
 Great Falls, VA 22066
 P: 703.772.3506
 F: 703.630.2633
 john@benedictdesign.com

DATE	APPROVAL

NOTES

GREINNA
 RESIDENCE
 37 QUINCY ST.
 CHEVY CHASE, MD

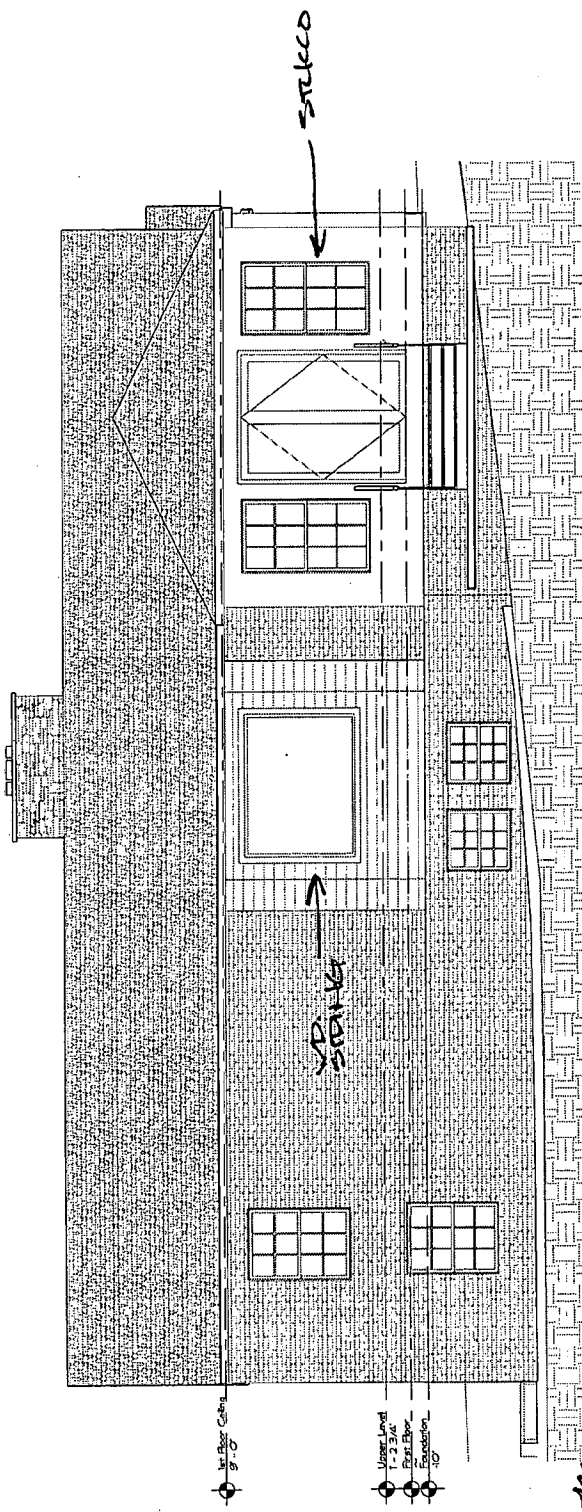
DRAWING SET	DATE

EXISTING
 ELEV

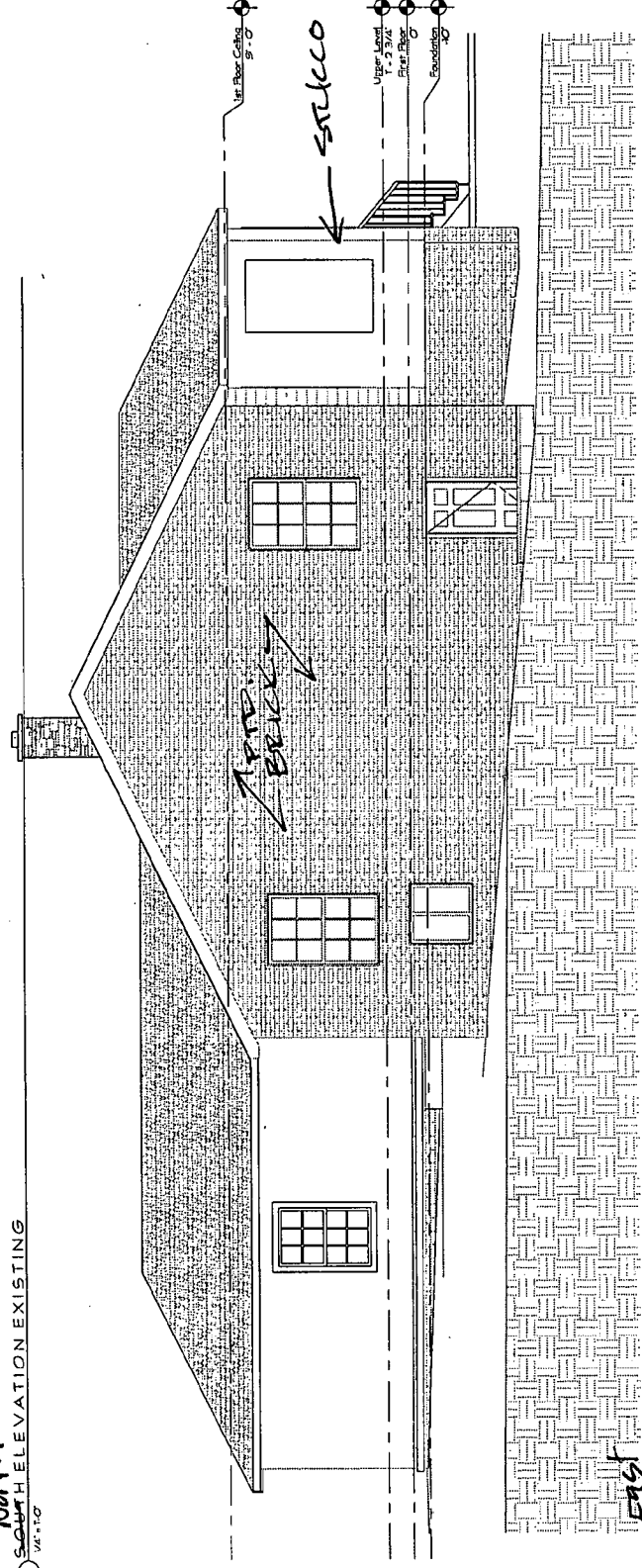
DESIGNER	JAS

AS NOTED

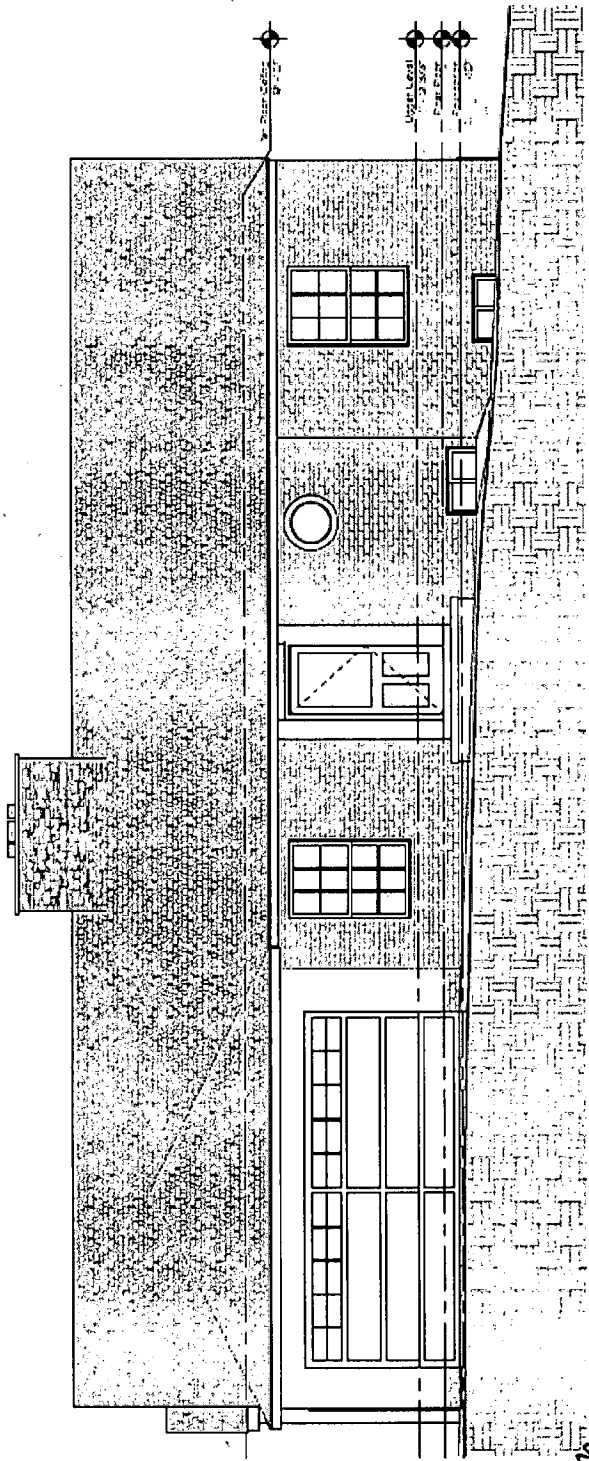
A 2



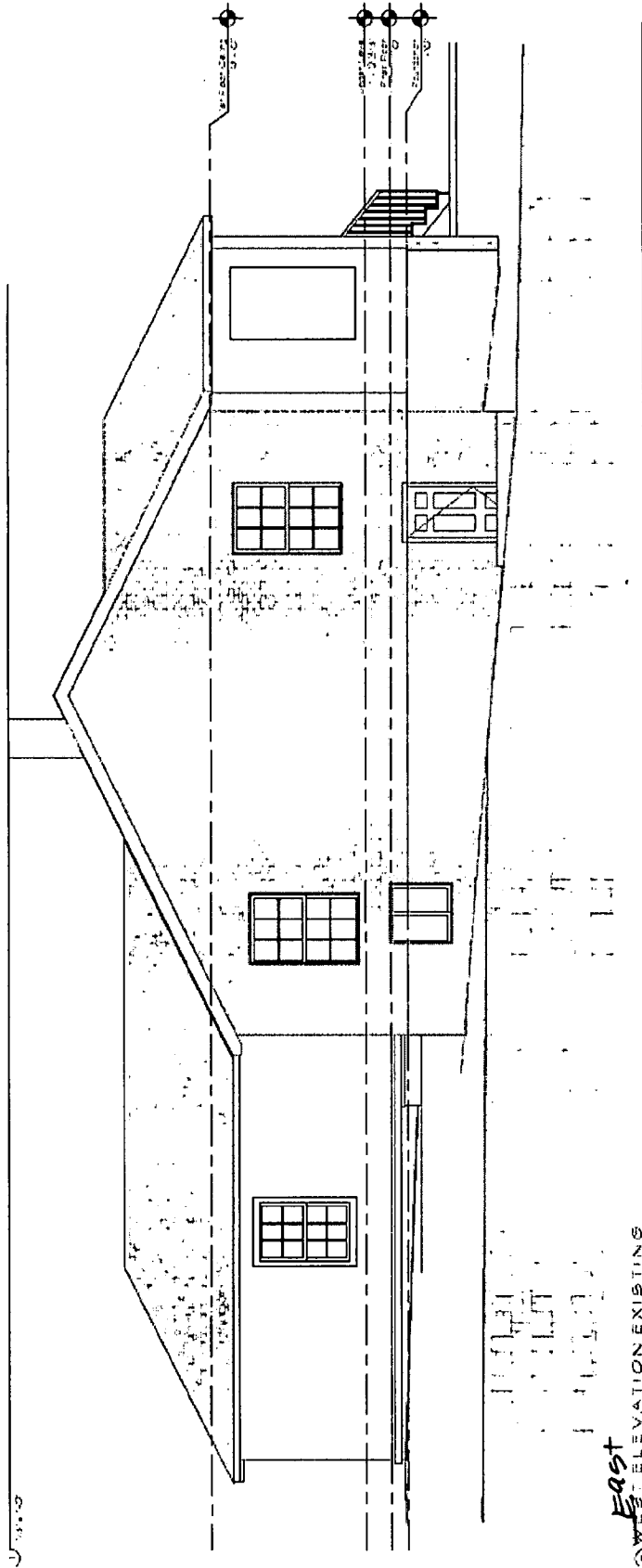
North
 ① NORTH ELEVATION EXISTING
 VA. 1-0



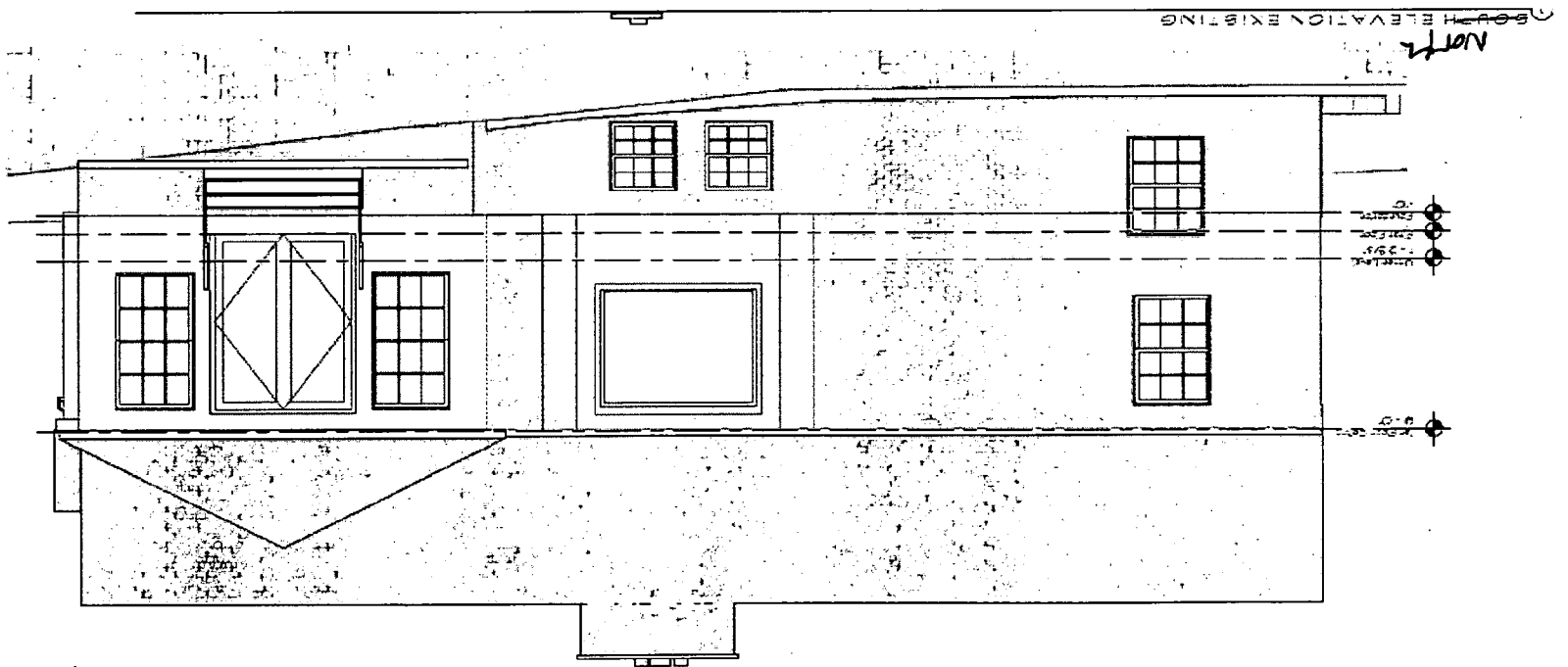
West
 ② WEST ELEVATION EXISTING
 VA. 1-0

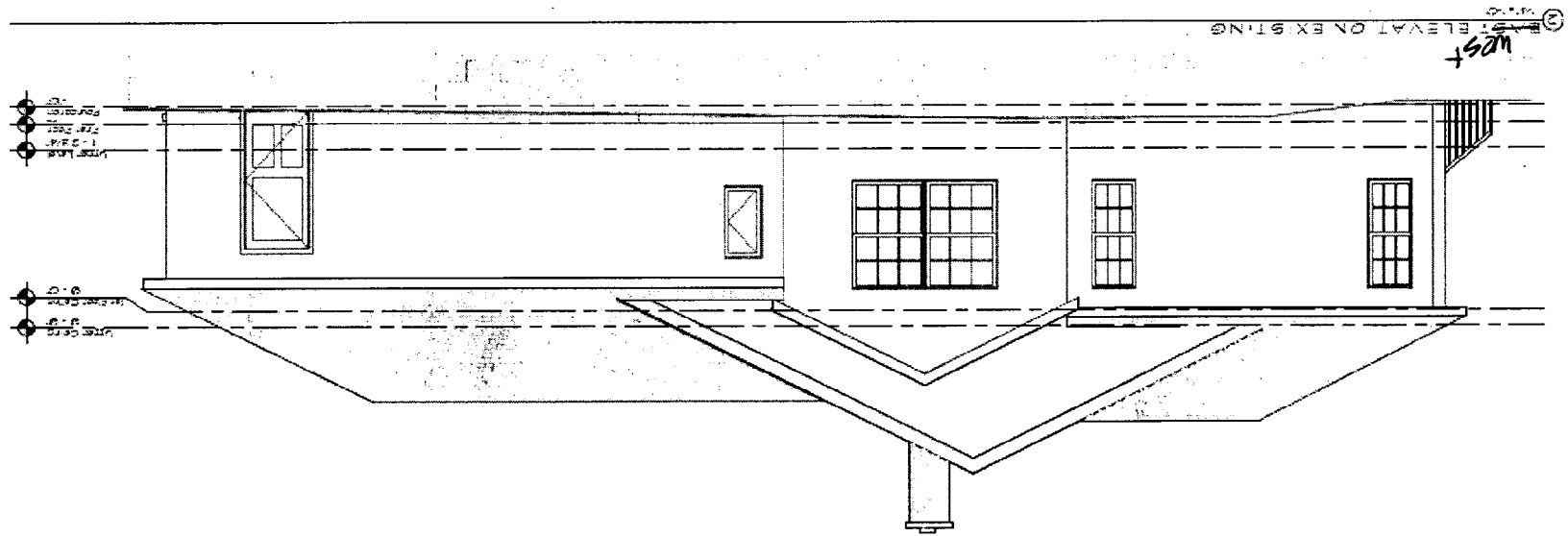


South
① NORTH ELEVATION EXISTING



East
ELEVATION EXISTING







Benedict Design + Drafting

John Benedetto
P.O. Box 251
Great Falls, VA 22066

ph: 703.772.3506
f: 703.436.7653
john@benedicdesign.com

DATE	APPROVAL

NOTES

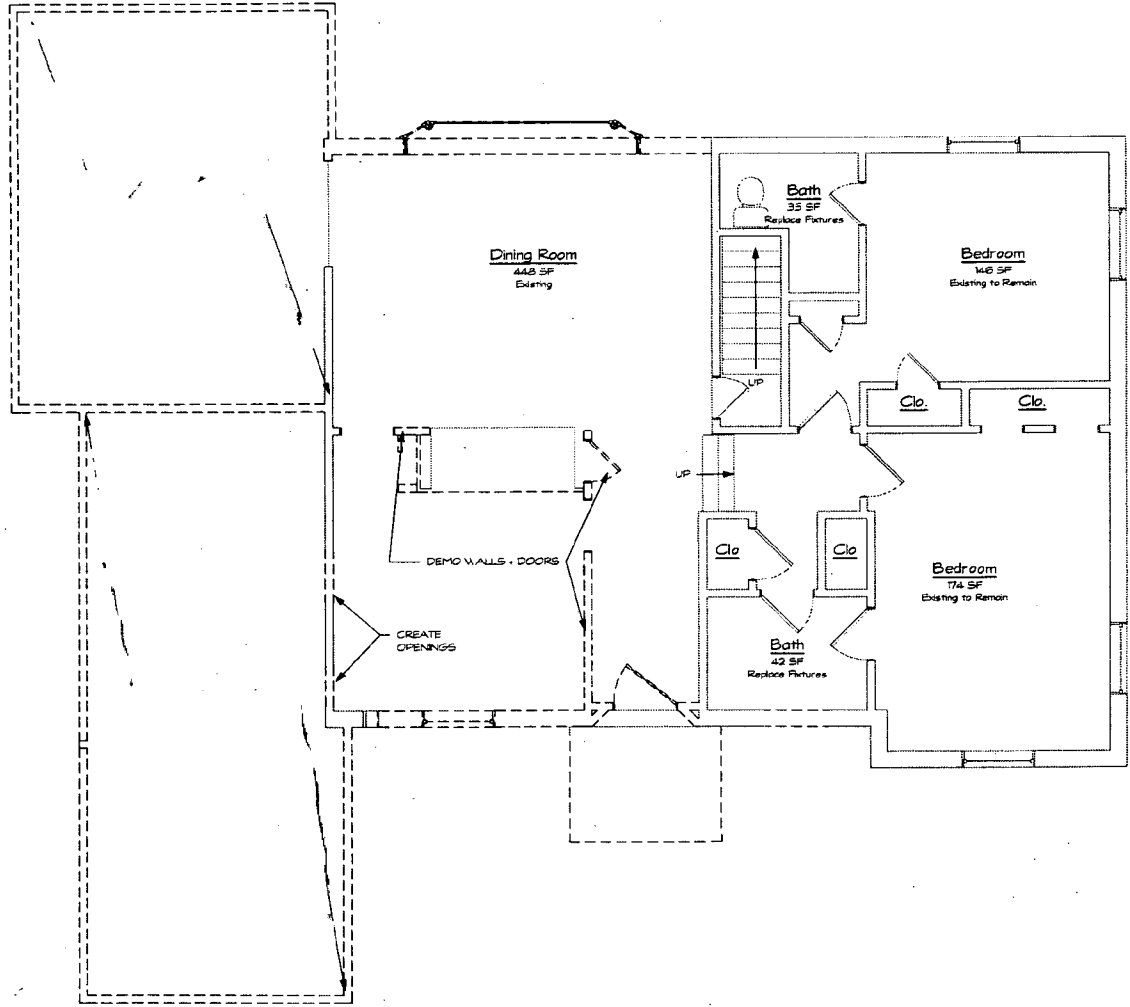
GRENNA RESIDENCE
37 QUINCY ST
CHEVY CHASE, MD

DRAWING SET	DATE

PLAN EXISTING

DRAWN BY	JAS
DATE	1/22/09
SCALE	AS NOTED

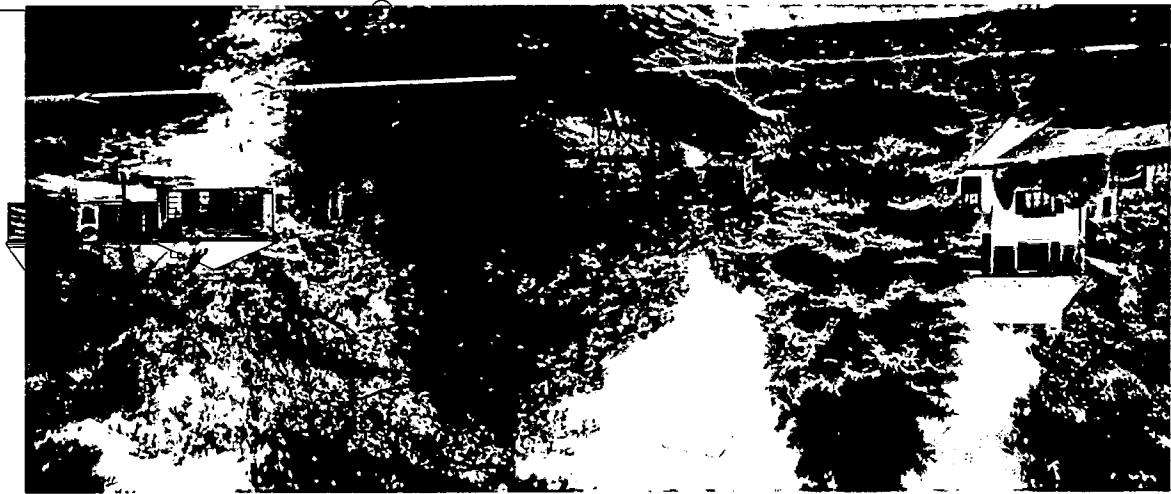
A9



③ FIRST FLOOR EXISTING
1/4" = 1'-0"

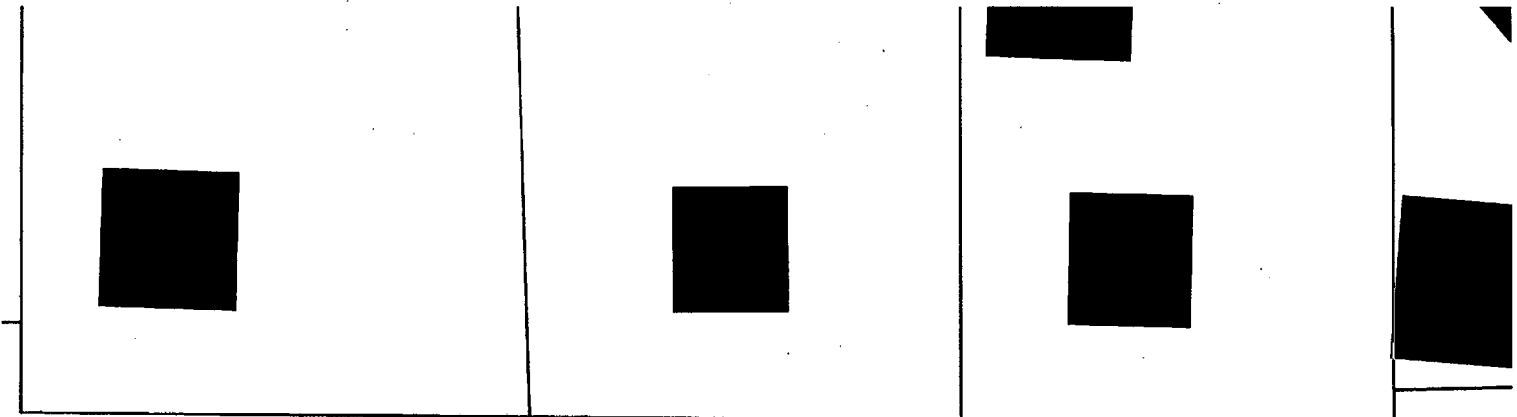
12

EXISTING

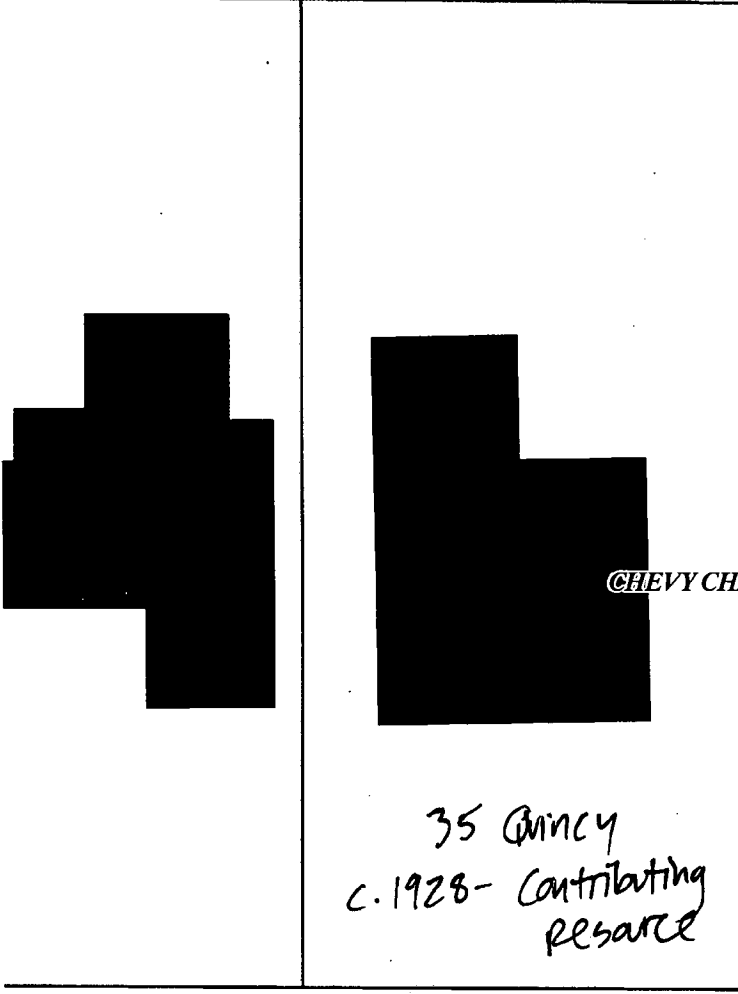


Proposed





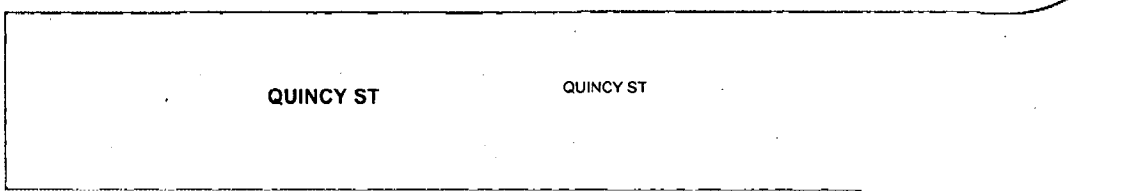
Rough sketch of proposed footprint drawn by staff



CHEVY CHASE VILLAGE

35 Quincy
c. 1928 - Contributing Resource

37 Quincy



QUINCY ST

QUINCY ST

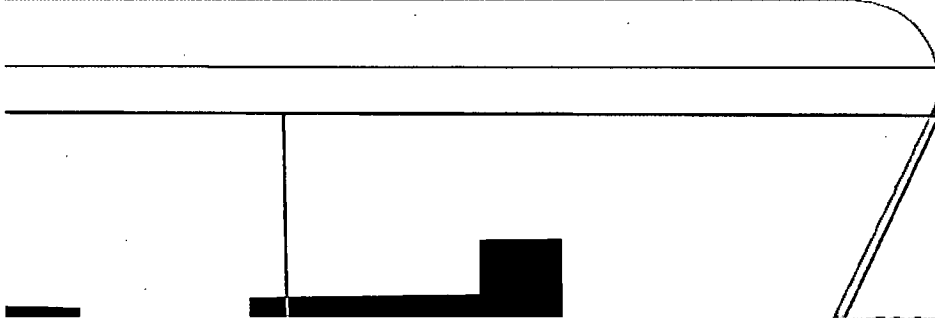
BROOKVILLE RD

186

MARTINS ADDITION

BROOKVILLE RD

41



24

37



35

37



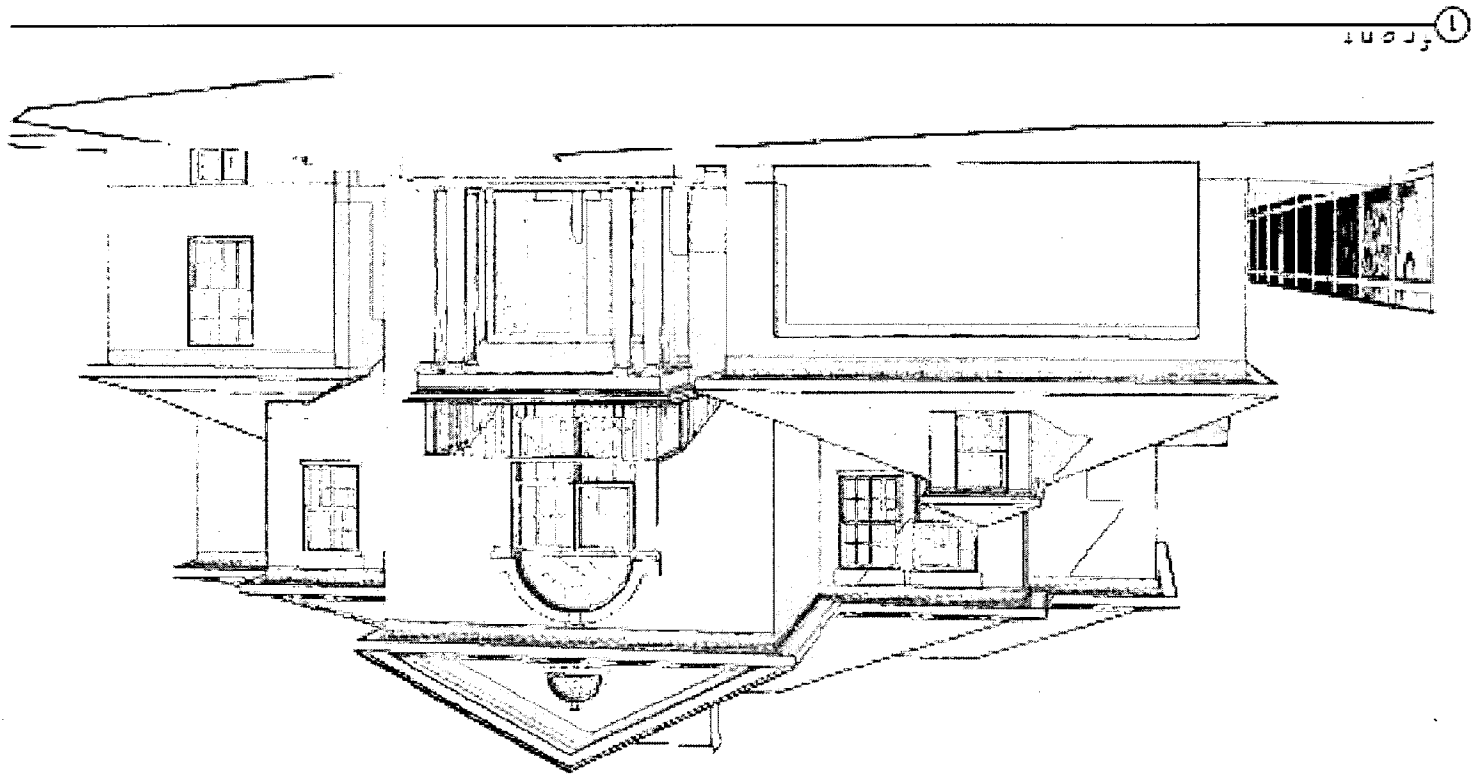
35

37

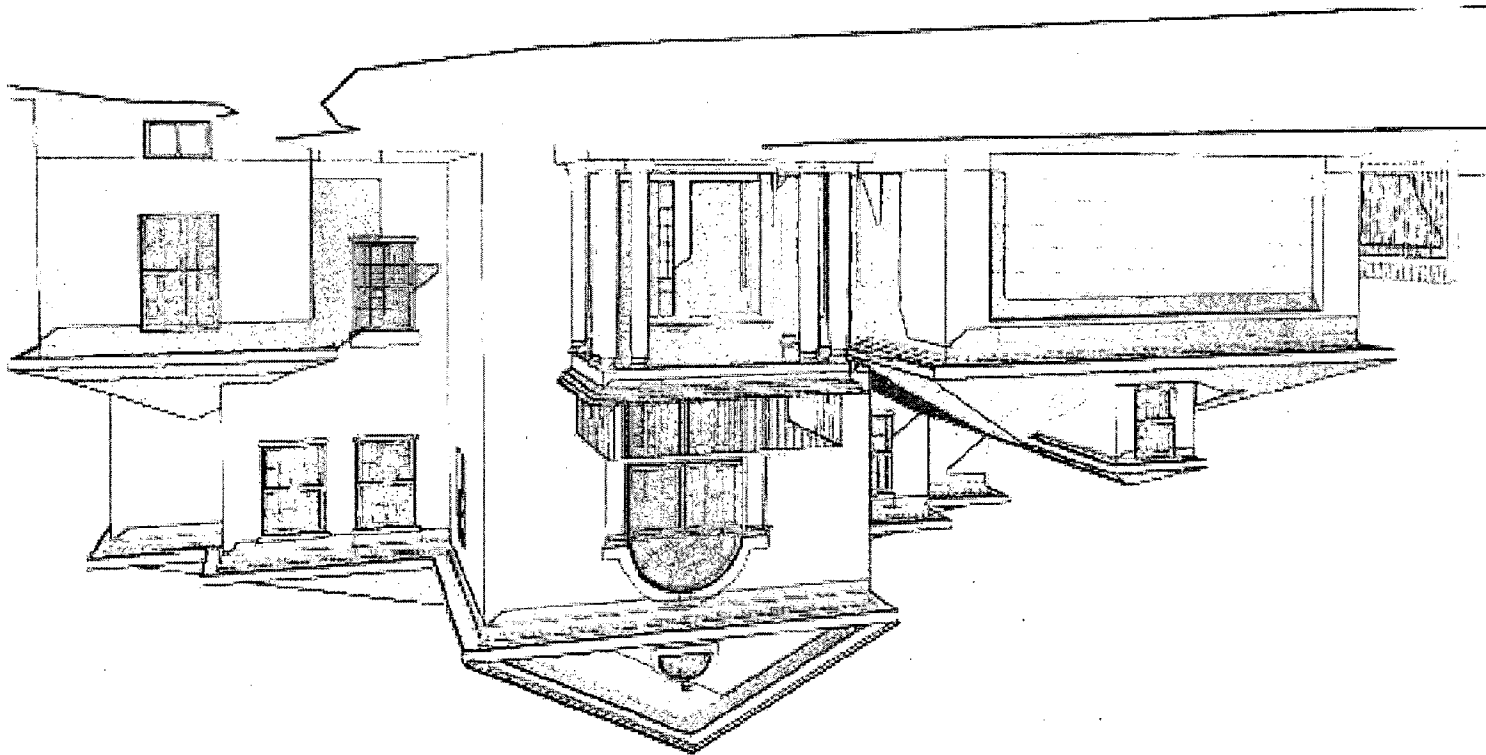


35

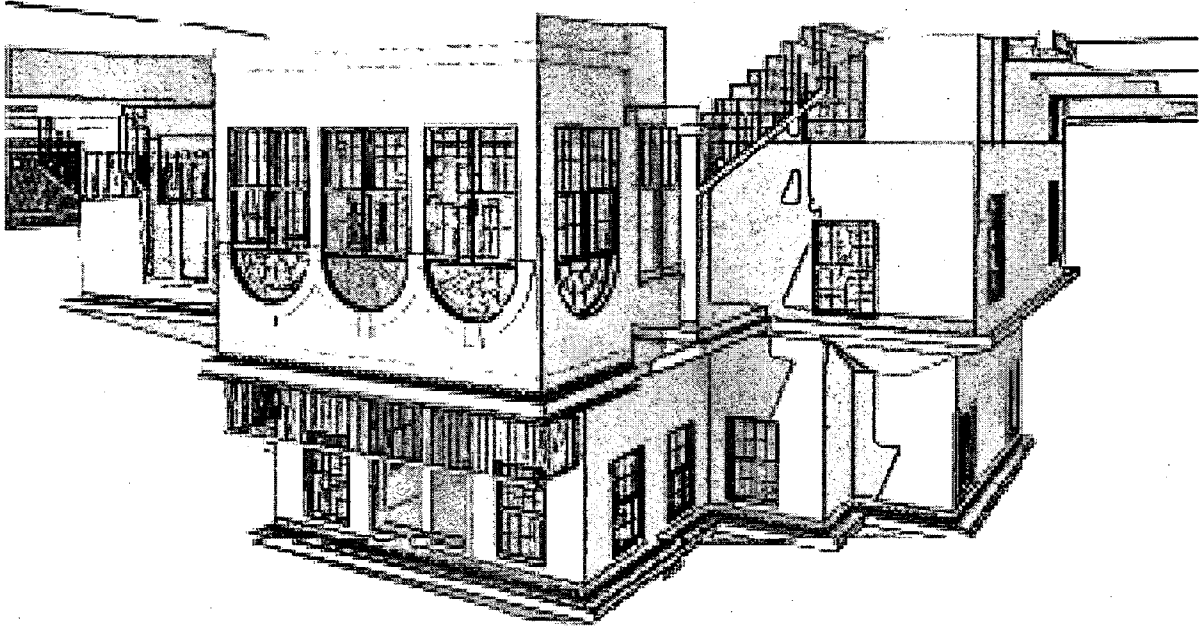


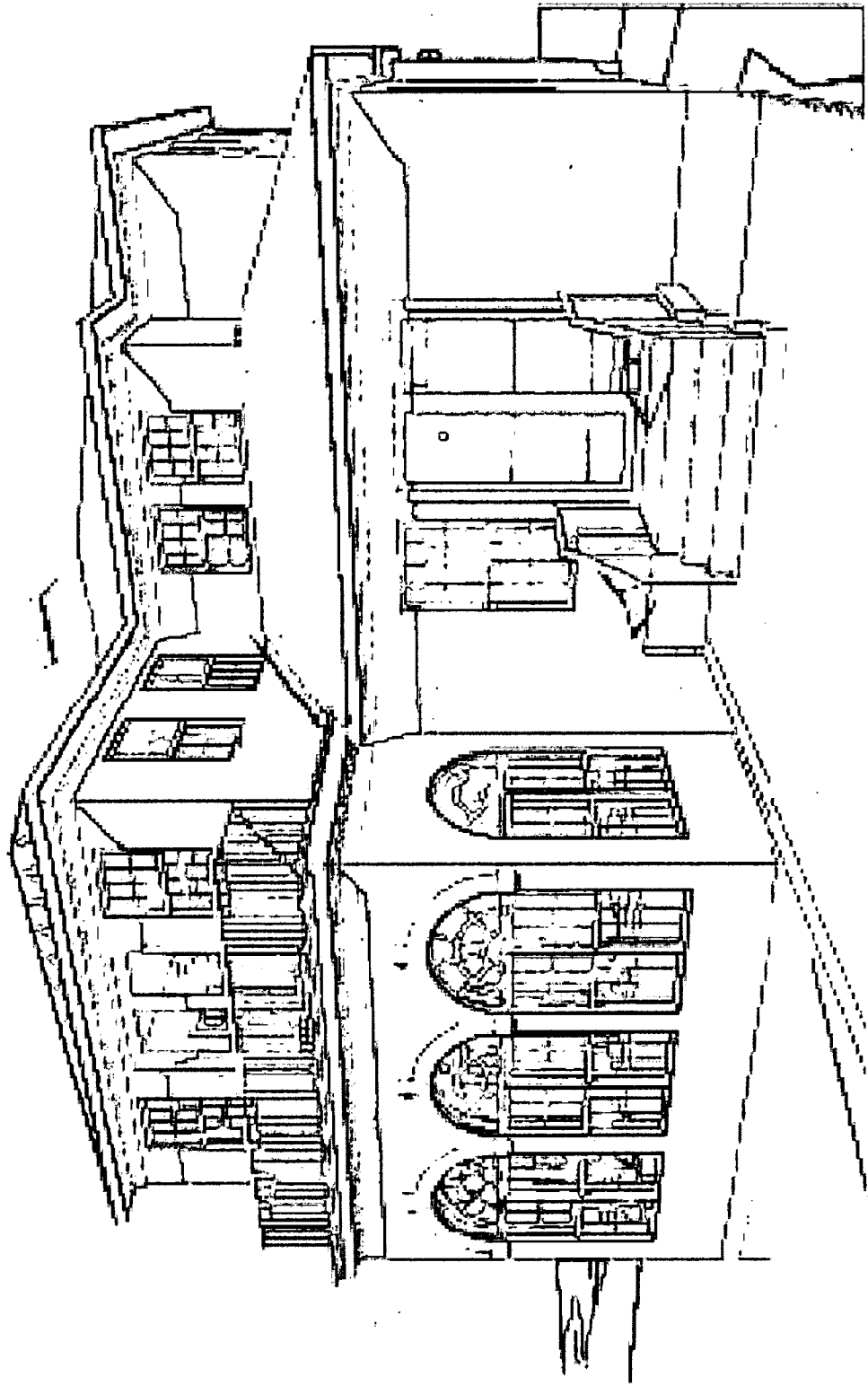


③ FRONT 3



LEVEL 1





4 rear 2

GEOFFREY B. BIDDLE
Village Manager
DAVID R. PODOLSKY
Legal Counsel

CHEVY CHASE VILLAGE
5906 CONNECTICUT AVENUE
CHEVY CHASE, MD 20815
Telephone (301) 654-7300
Fax (301) 907-9721
ccv@montgomerycountymd.gov

7/21/2009

Property Owner Name: Grenna

Contractor Name: John Benedetto

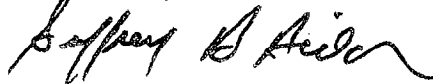
Location of Requested Building Permit: 37 Quincy Street
Address: 37 Quincy Street
City, State, Zipcode Chevy Chase, MD 20815

Proposed Scope of Work: Add 2nd story, build new detached garage, replace fencing and
add new fence with gate, build 1-story addition, install in-
ground pool.

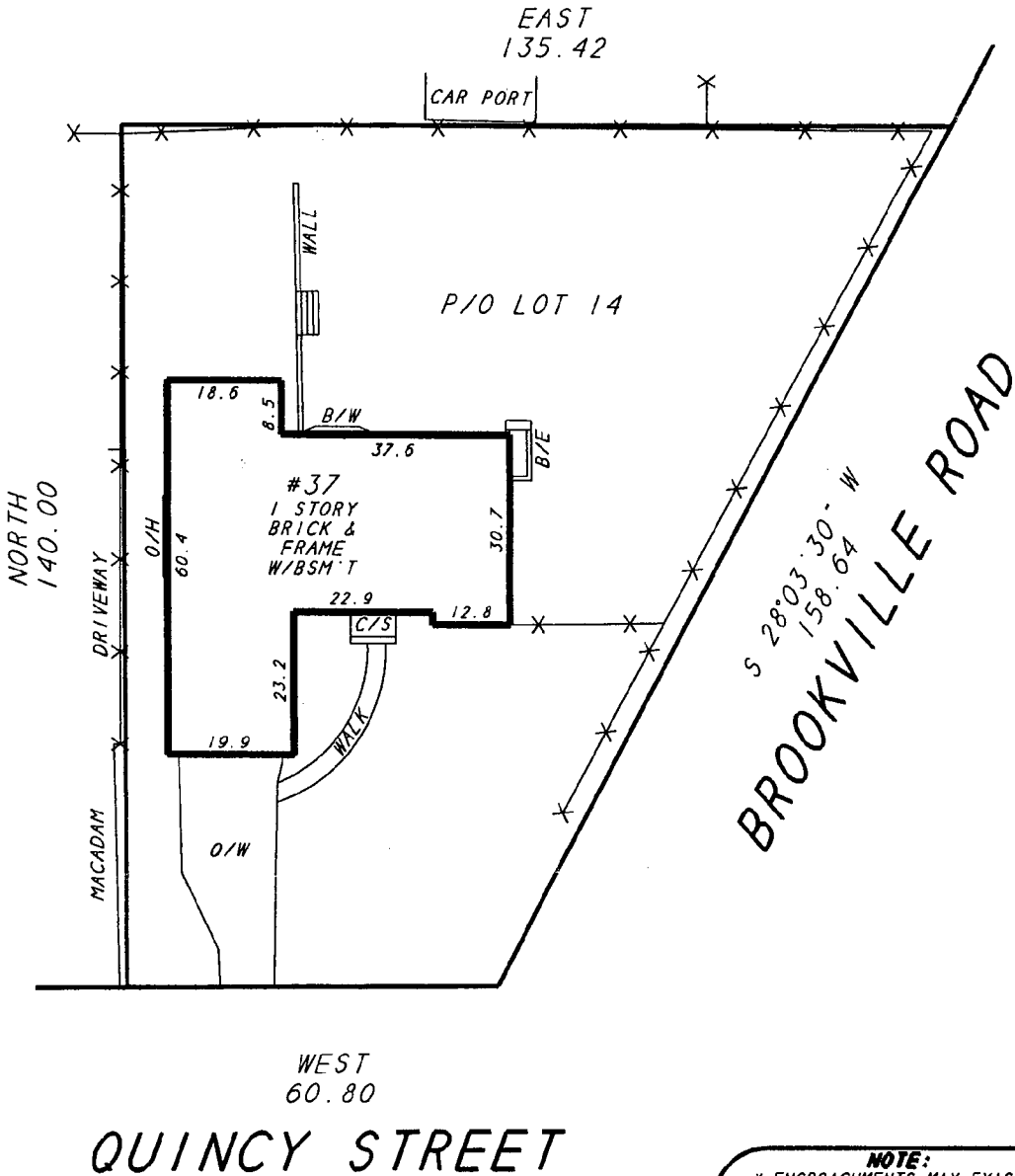
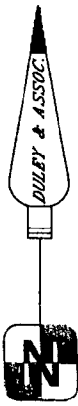
Dear Department of Permitting Services:

The above homeowner/contractor has notified Chevy Chase Village that they are planning to apply for both County and Municipal permits for the above summarized construction project. We have supplied them with a full set of the appropriate regulations, and they fully understand that a permit from the County does not guarantee a permit from this municipality, unless they comply with all the rules and regulations given to them with this letter. They have been provided with this information and the appropriate instructions to file for a Building Permit and/or variance form from this municipality.

Sincerely,



Geoffrey Biddle



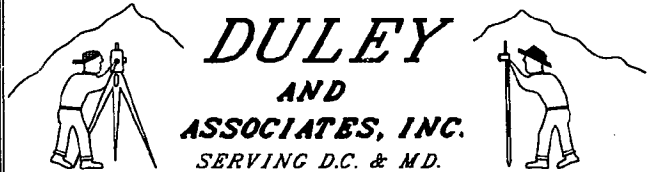
NOTE:
 * ENCROACHMENTS MAY EXIST *
 A BOUNDARY SURVEY IS RECOMMENDED
 TO DETERMINE THE EXACT LOCATION
 OF IMPROVEMENTS. PLEASE SIGN:

FOR SURVEY ORDER/APPROVAL FORMS, PRICES & MORE VISIT US AT WWW.DULEY.BIZ
LOCATION DRAWING OF:

#37 QUINCY STREET
 PART OF LOT 14 BLOCK 61
 N/F PROPERTY OF
ERIC H. MYRLAND
 LIBER: 6032 FOLIO: 499
 MONTGOMERY COUNTY, MD

SCALE: 1"=30' DATE: 6-15-09

A LAND SURVEYING COMPANY



14604 ELM STREET
 UPPER MARLBORO, MD. 20772

PHONE : 301-888-1111 FAX : 301-888-1114
 PHONE : 1-888-88-DULEY FAX : 1-888-55-DULEY

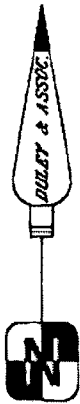
CASE # 56090906
 MYRLAND
 FILE # 092460-608
 DRAWN BY: CP



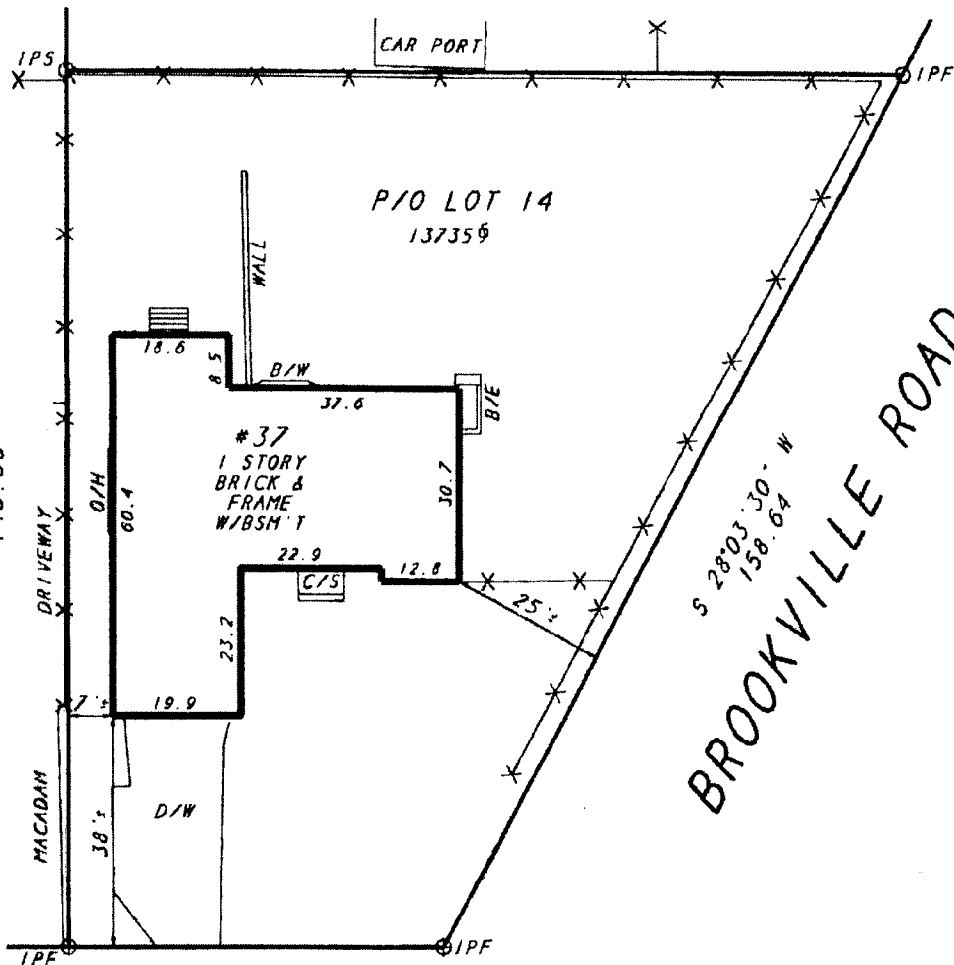
SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT THE EXISTING VISIBLE IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY ACCEPTED METHODS AND THAT THE IMPROVEMENTS APPEAR TO LIE WITHIN FLOOD ZONE C. A FLOOD CERTIFICATION IS RECOMMENDED TO DETERMINE THE EXACT FLOOD ELEVATION AND FLOOD ZONE. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF ANY FENCE, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1". NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYORS OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN.

2-1-15



N 90°00'00" E
135.42



S 90°00'00" W
60.80

QUINCY STREET

IPF - IRON PIPE FOUND
IPS - IRON PIPE SET

SURVEY OF:

#37 QUINCY STREET

PART OF LOT 14 BLOCK 61

N/F PROPERTY OF

ERIC H. MYRLAND

LIBER: 6032 FOLIO: 499

MONTGOMERY COUNTY, MD

SCALE: 1"=30'

DATE: 10-01-2009

A LAND SURVEYING AND DESIGN COMPANY



**DULEY
AND
ASSOCIATES, INC.**
SERVING D.C. MD. VA.



HOUSE LOCATION SURVEYS
BOUNDARY SURVEYS - ALTA SURVEYS
TOPOGRAPHIC SURVEYS - SITE PLANS

14604 FLW STREET
UPPER MARLBORO, MD. 20772

PHONE: 301-888-1111
PHONE: 1-888-88-DULEY

FAX: 301-888-1114
FAX: 1-888-56-DULEY



CASE # GRENNIA
FILE # 094418-200
DRAWN BY: WRH
CHECKED BY: ACD

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT THE EXISTING VISIBLE IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY ACCEPTED METHODS AND THAT THE IMPROVEMENTS APPEAR TO LIE WITHIN FLOOD ZONE C. THIS SURVEY MAY BE USED FOR THE ESTABLISHMENT OF FENCES, BUILDINGS, OR OTHER IMPROVEMENTS. THIS PLAT PROVIDES FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES. THE LEVEL OF ACCURACY FOR THIS SURVEY IS 1 IN 15,000. NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS NOT SHOWN ON RECORD PLAT MAY NOT BE SHOWN HEREON.

CONFRONTING AND ADJACENT PROPERTIES TO 37 QUINCY ST. CHEVY CHASE, MD 20815

SACKS, STEPHEN K & CHARLOTTE M HOGG
35 QUINCY ST
CHEVY CHASE MD 20815-4226

BOURKE, THOMAS K & D H
36 QUINCY ST
CHEVY CHASE MD 20815

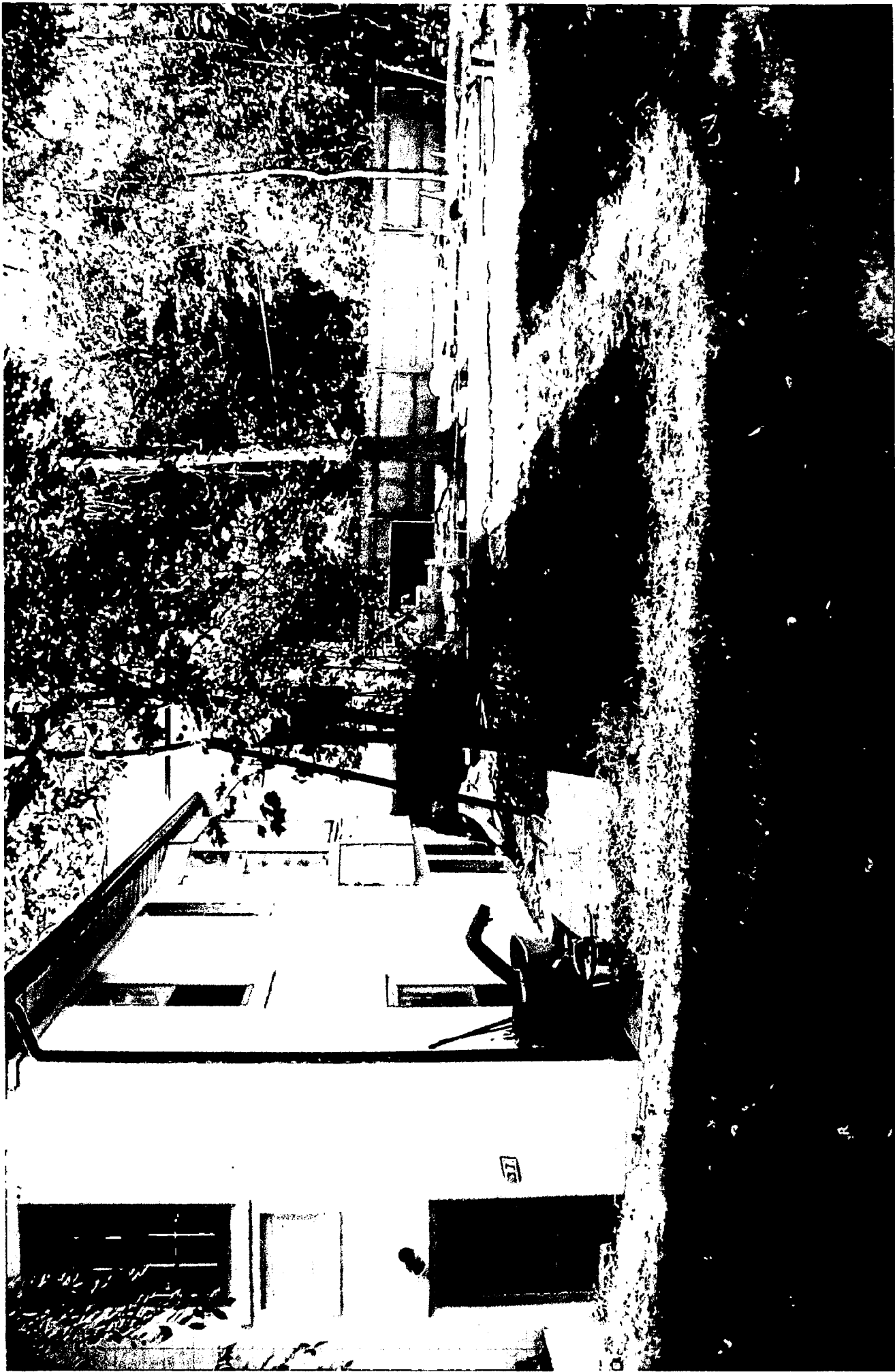
HORNING, MARK F
KATHLEEN M FALLO
6515 BROOKVILLE RD
CHEVY CHASE MD 20815-3336

WOOD, WILLIAM T & M R
3707 BRADLEY LANE
CHEVY CHASE MD 20815

ISELL, DAVID B ET AL
3709 BRADLEY LN
BETHESDA MD 20815-4256



37 QUINCY ST - RIGHT SIDE



37 QUINCY ST - BEAR

37 QUINCY ST. - FRONT





37 QUINCY ST - LEFT SIDE



Benedict Design + Drafting

John Benedetto
P.O. Box 251
Great Falls, VA 22066

p: 703.772.3506
f: 703.636.2653
john@benedictdesign.com

DATE	APPROVAL

NOTES

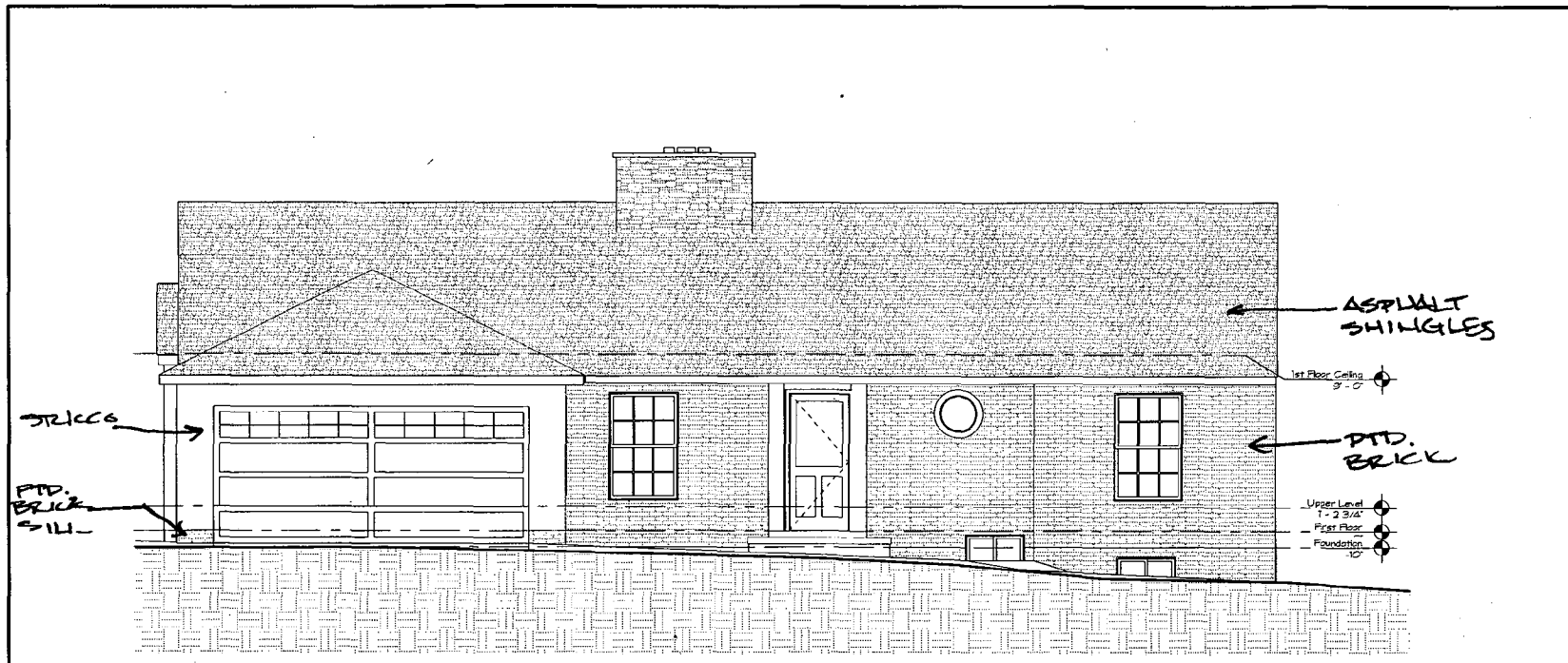
GRENNA
RESIDENCE
37 QUINCY ST
CHEVY CHASE, MD

DRAWING SET	DATE

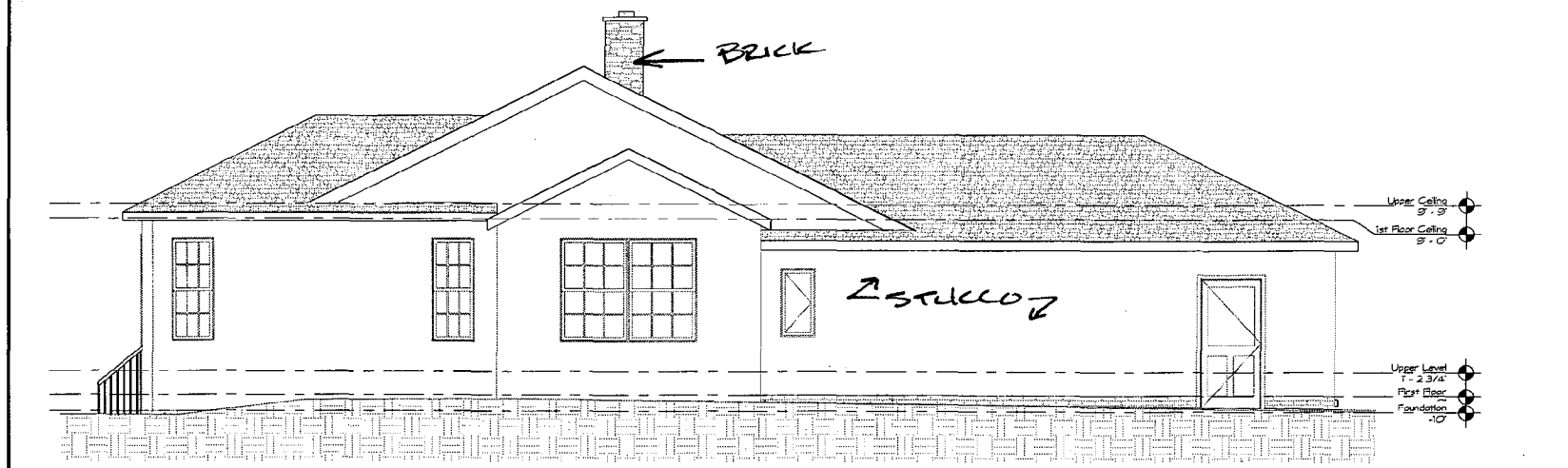
EXISTING
ELEV

DRAWN	JAB
DATE	11/22/09
SCALE	AS NOTED

A1



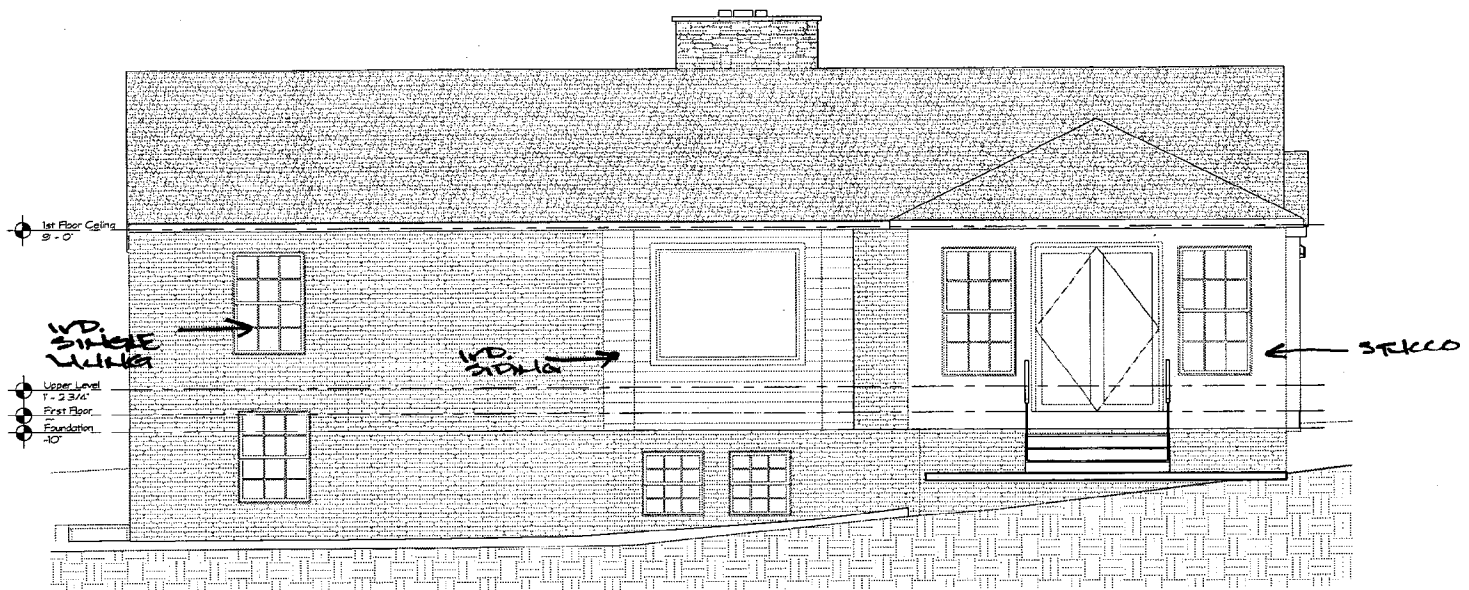
① NORTH ELEVATION EXISTING
1/4" = 1'-0"



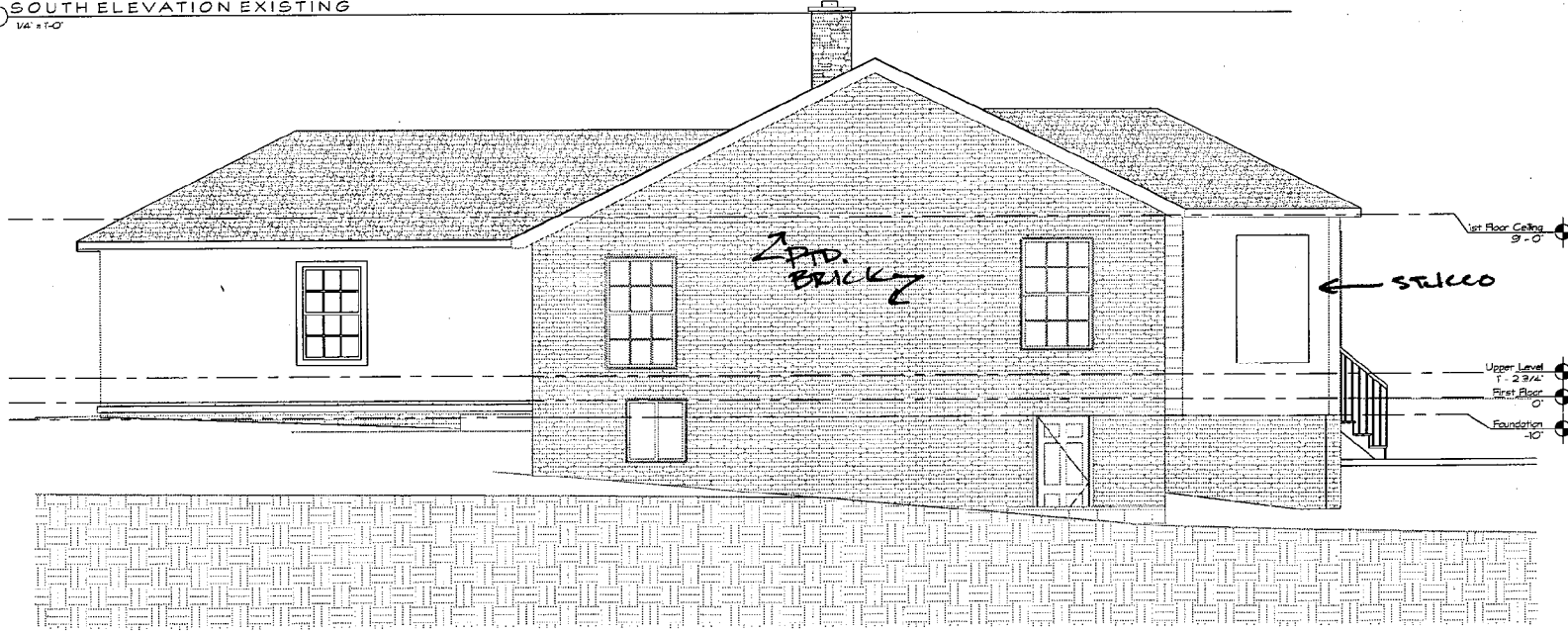
② EAST ELEVATION EXISTING
1/4" = 1'-0"

DATE	APPROVAL

NOTES



① SOUTH ELEVATION EXISTING
1/4" = 1'-0"



② WEST ELEVATION EXISTING
1/4" = 1'-0"

GRENNA
RESIDENCE
37 QUINCY ST
CHEVY CHASE, MD

DRAWING SET	DATE

EXISTING
ELEV

DRAWN	JAB
DATE	11/22/09
SCALE	AS NOTED

A2

BD+D

Benedict Design + Drafting

John Benedetto
P.O. Box 251
Great Falls, VA 22066

p: 703.772.3506
f: 703.636.2653
john@benedicdesign.com

DATE	APPROVAL

NOTES *

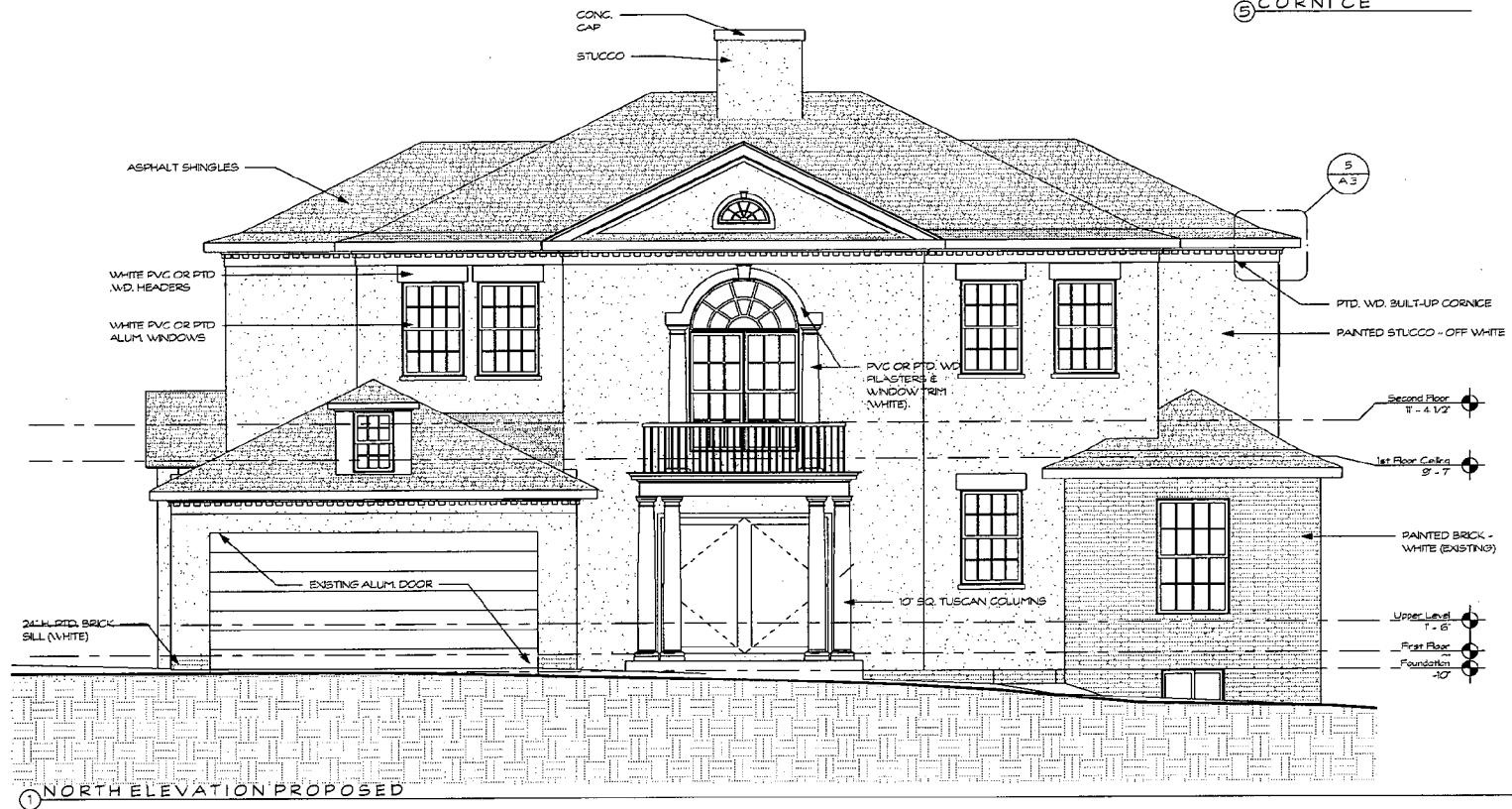
**GRENNA
RESIDENCE**
37 QUINCY ST
CHEVY CHASE, MD

DRAWING SET	DATE

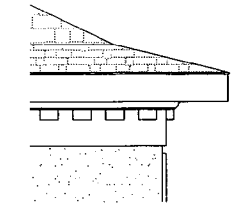
**PROPOSED
ELEVATION**

DRAWN	JAS
DATE	11/22/09
SCALE	AS NOTED

A3



① NORTH ELEVATION PROPOSED



⑤ CORNICE

⑤
A2

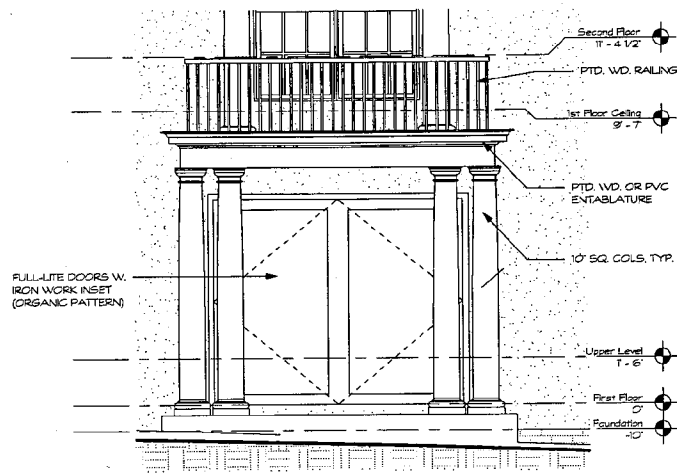
Second Floor
1' - 4 1/2"

1st Floor Ceiling
9' - 7"

Upper Level
7' - 6"

First Floor
10' - 0"

Foundation
-10'



② PORTICO ELEVATION



① SOUTH ELEVATION PROPOSED

BD+D

Benedict Design + Drafting

John Benedetto
P.O. Box 251
Great Falls, VA 22066

p: 703.772.3506
f: 703.636.2653
john@benedictdesign.com

DATE	APPROVAL

NOTES

GRENNA RESIDENCE
37 QUINCY ST
CHEVY CHASE, MD

DRAWING DET.	DATE

PROPOSED ELEVATION

DRAWN	JAB
DATE	11/22/09
SCALE	AS NOTED

A4



Benedict Design + Drafting

John Benedetto
P.O. Box 251
Great Falls, VA 22066
p: 703.772.3506
f: 703.636.2553
john@benedictdesign.com

DATE	APPROVAL

NOTES

GRENNA
RESIDENCE
37 QUINCY ST.
CHEVY CHASE, MD

DRAWING SET	DATE

PROPOSED
ELEVATION

DRAWN	JAB
DATE	11/22/09
SCALE	AS NOTED

A5



1 EAST ELEVATION PROPOSED

BD+D

Benedict Design + Drafting

John Benedetto
P.O. Box 251
Great Falls, VA 22064

p: 703.772.3506
f: 703.636.2653
john@benedictdesign.com

DATE	APPROVAL

NOTES

**GRENNA
RESIDENCE**
37 QUINCY ST
CHEVY CHASE, MD

DRAWING SET	DATE

**PROPOSED
ELEVATION**

DRAWN	JAB
DATE	11/22/09
SCALE	AS NOTED

A6



BD+D

Benedict Design + Drafting

John Benedetto
P.O. Box 251
Great Falls, VA 22066

p: 703.772.3506
f: 703.636.2653
john@benedictdesign.com

DATE	APPROVAL

NOTES



④ rear 2



① front



③ front 3



② rear 1

GRENNA
RESIDENCE
37 QUINCY ST
CHEVY CHASE, MD

DRAWING SET	DATE

PERSPECTIVES

DRAWN	JAB
DATE	11/22/09
SCALE	AS NOTED

A7

BD+D

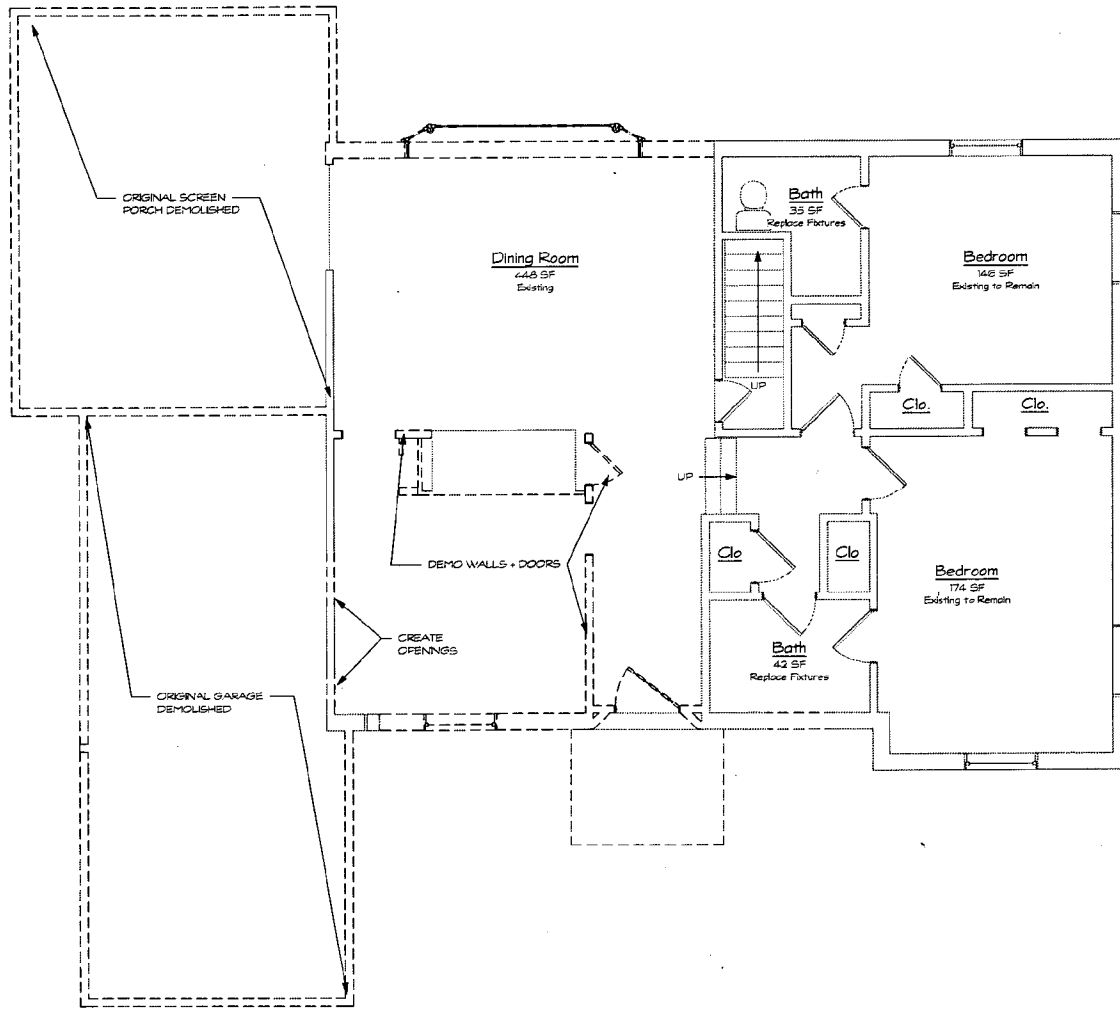
Benedic Design + Drafting

John Benedicello
P.O. Box 251
Great Falls, VA 22066

p: 703.772.3506
f: 703.636.2653
john@benedicdesign.com

DATE	APPROVAL

NOTES



③ FIRST FLOOR EXISTING
1/4" = 1'-0"

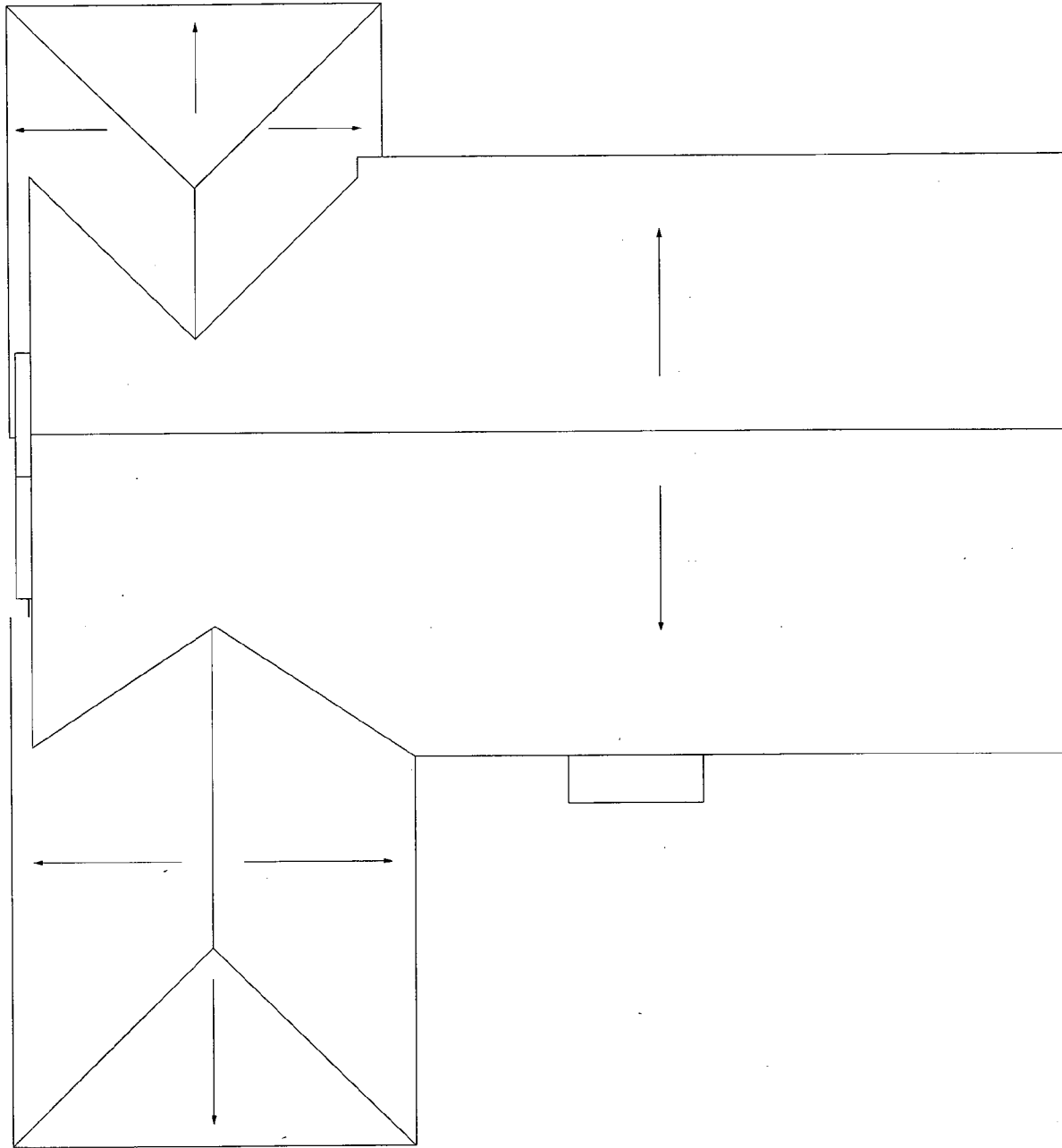
**GRENNA
RESIDENCE**
37 QUINCY ST.
CHEVY CHASE, MD

DRAWING SET	DATE

PLAN
EXISTING

DRAWN	JAB
DATE	11/22/09
SCALE	AS NOTED

A9



① ROOF PLAN EXISTING
1/4" = 1'-0"



Benedict Design + Drafting

John Benedetto
P.O. Box 251
Great Falls, VA 22066
p: 703.772.3306
f: 703.634.2653
john@benedictdesign.com

DATE	APPROVAL

NOTES

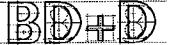
**GRENNA
RESIDENCE**
37 QUINCY ST
CHEVY CHASE, MD

DRAWING SET	DATE

**PLAN
EXISTING**

DRAWN	JAB
DATE	11/22/09
SCALE	AS NOTED

A 10



Benedict Design + Drafting

John Benedetto
P.O. Box 251
Great Falls, VA 22064

p: 703.772.3506
f: 703.636.2653
john@benedicdesign.com

DATE	APPROVAL

NOTES

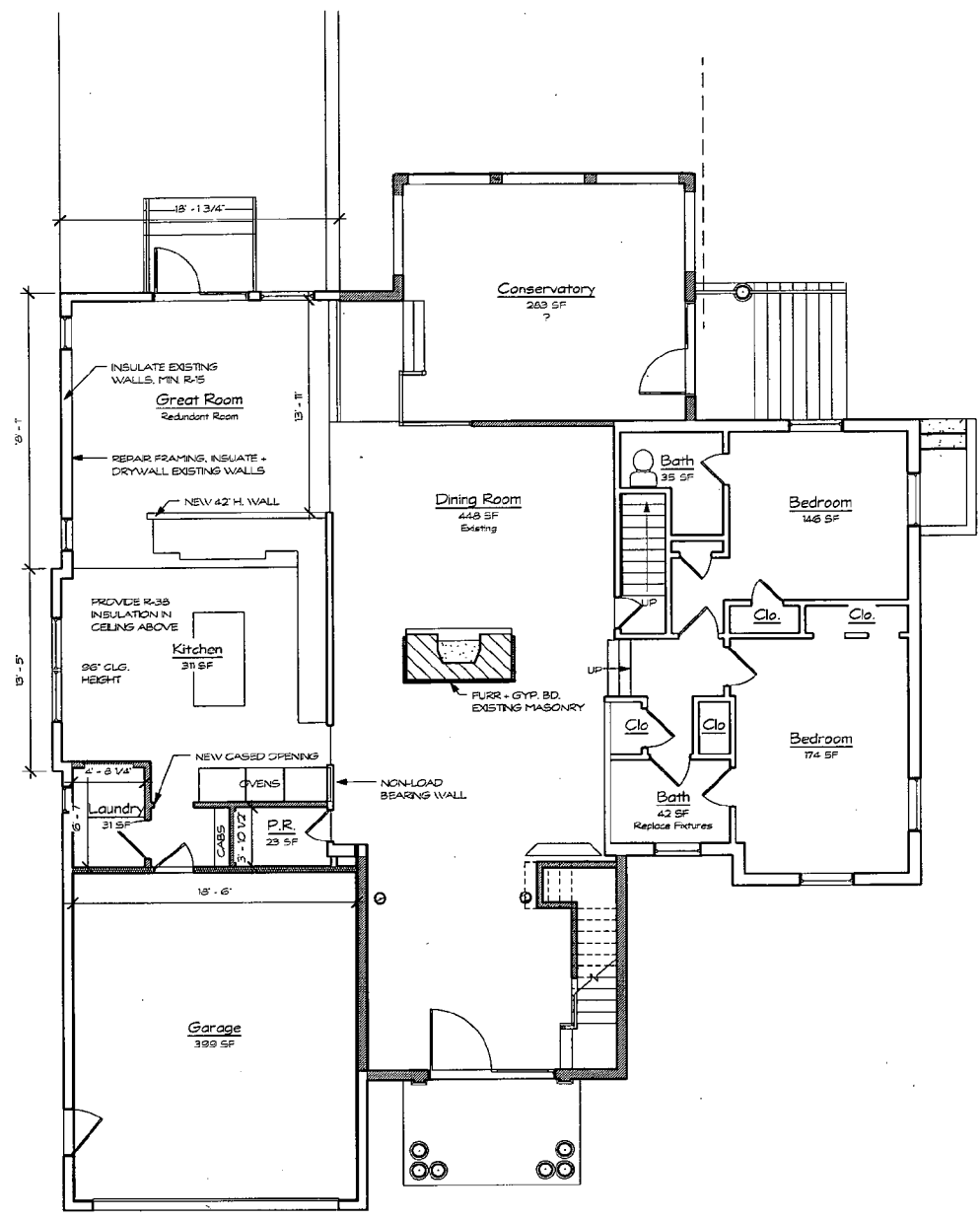
GRENNA RESIDENCE
37 QUINCY ST
CHEVY CHASE, MD

DRAWING SET	DATE

PLAN PROPOSED

DRAWN	JAB
DATE	11/22/09
SCALE	AS NOTED

A 11



① **FIRST FLOOR PROPOSED**
3/16" = 1'-0"

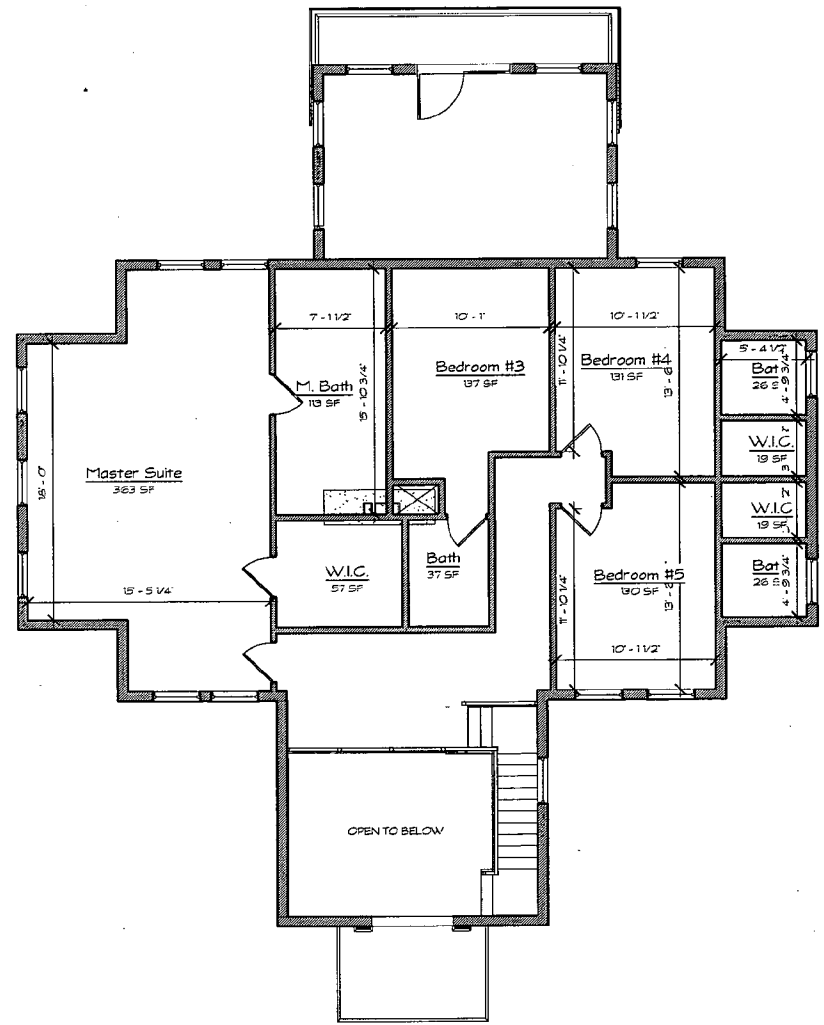


Benedict Design + Drafting

John Benedetto
P.O. Box 251
Great Falls, VA 22066
p: 703.772.3506
f: 703.636.2653
john@benedictdesign.com

DATE	APPROVAL

NOTES



GRENNA
RESIDENCE
37 QUINCY ST.
CHEVY CHASE, MD

DRAWING SET	DATE

PLAN
PROPOSED

DRAWN	JAS
DATE	11/22/09
SCALE	AS NOTED

① SECOND FLOOR PROPOSED
3/16" = 1'-0"

A 12



Benedict Design + Drafting

John Benedetto
P. O. Box 251
Great Falls, VA 22066
p: 703.772.3506
f: 703.636.2653
john@benedictdesign.com

DATE	APPROVAL

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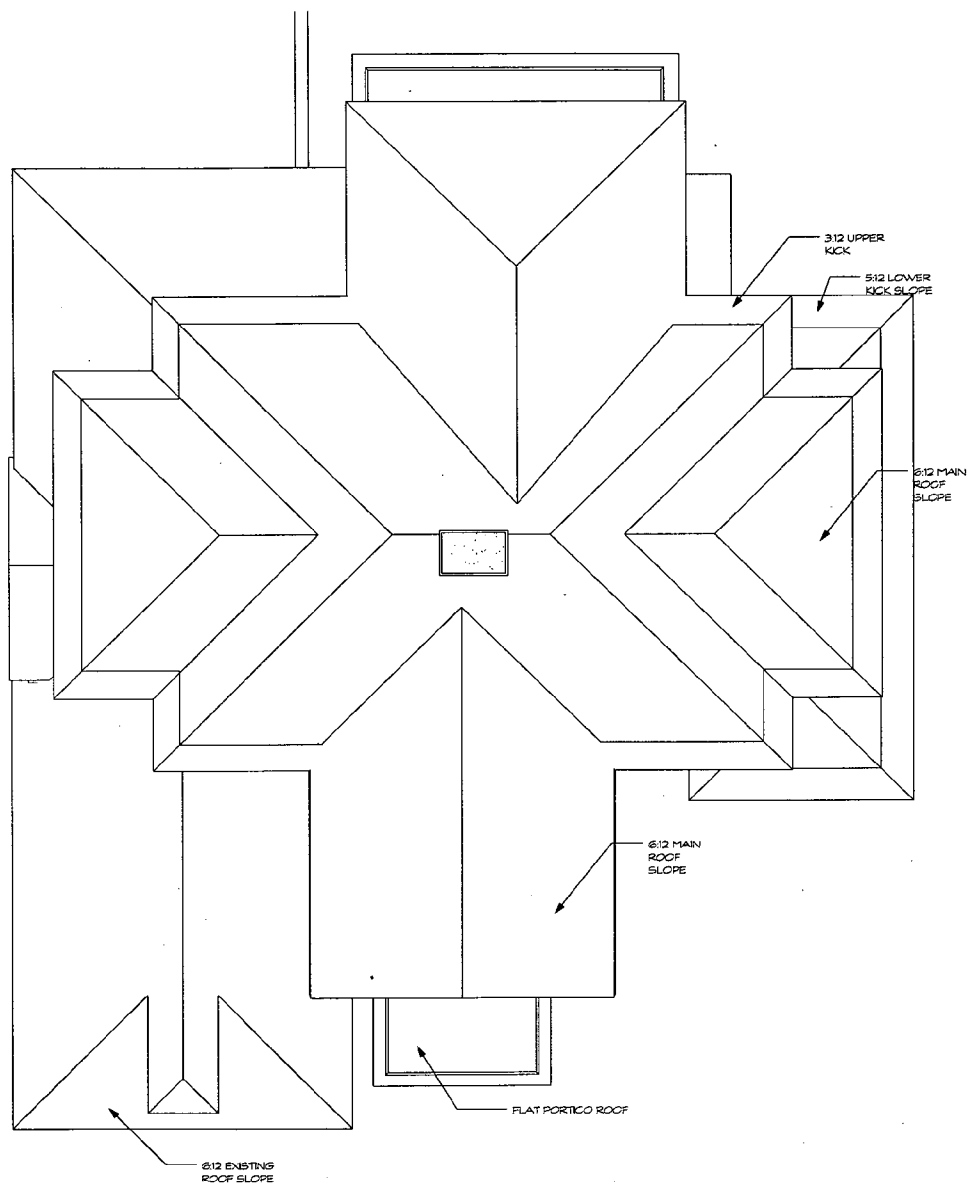
GRENNA
RESIDENCE
37 GUNCY ST
CHEVY CHASE, MD

DRAWING SET	DATE

PLAN
PROPOSED

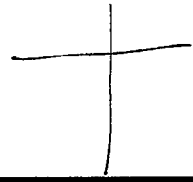
DRAWN	JAB
DATE	1/22/09
SCALE	AS NOTED

A 13

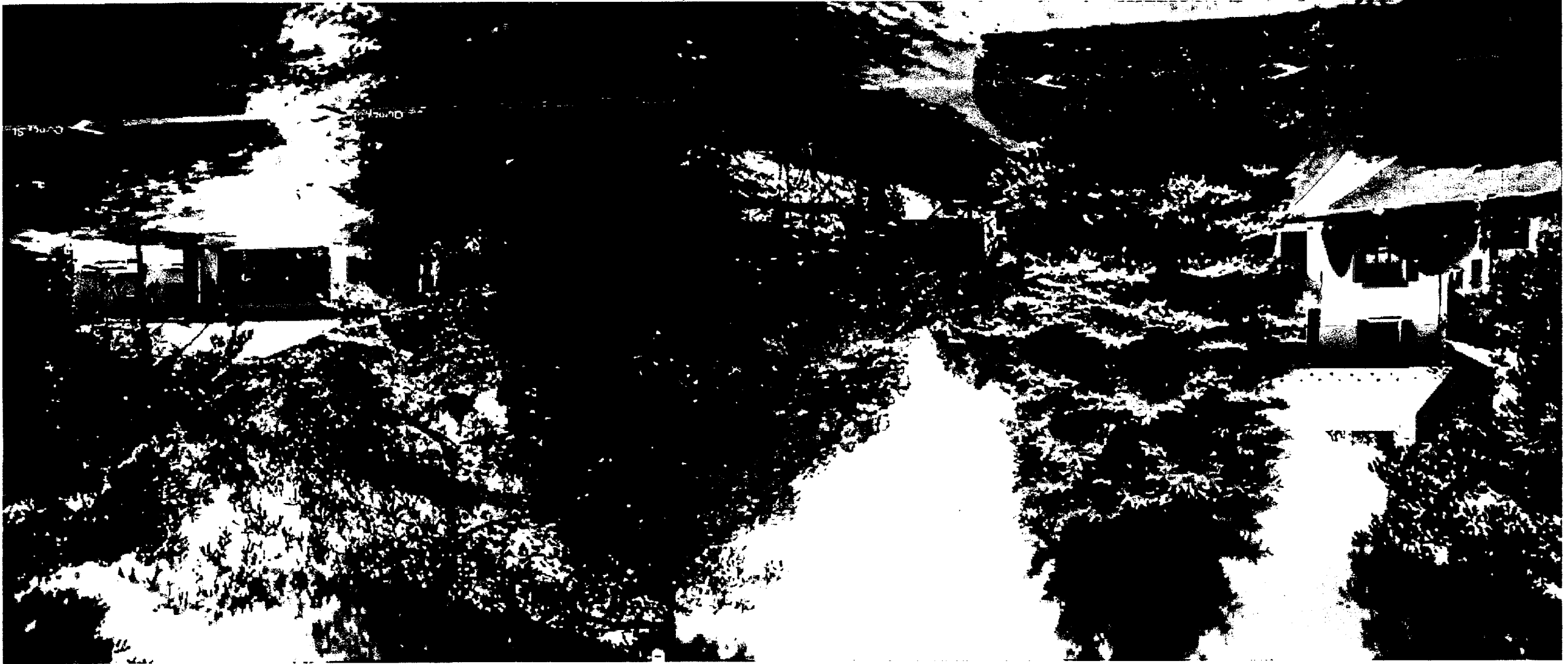


1 ROOF PLAN PROPOSED
3/16" = 1'-0"

27 QUICK



35 QUICK



GEOFFREY B. BIDDLE
Village Manager
DAVID R. PODOLSKY
Legal Counsel

CHEVY CHASE VILLAGE
5906 CONNECTICUT AVENUE
CHEVY CHASE, MD 20815
Telephone (301) 654-7300
Fax (301) 907-9721
ccv@montgomerycountymd.gov

7/21/2009

Property Owner Name: Grenna

Contractor Name: John Benedetto

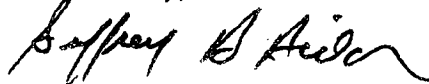
Location of Requested Building Permit: 37 Quincy Street
Address: 37 Quincy Street
City, State, Zipcode Chevy Chase, MD 20815

Proposed Scope of Work: Add 2nd story, build new detached garage, replace fencing and add new fence with gate, build 1-story addition, install in-ground pool.

Dear Department of Permitting Services:

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Sincerely,



Geoffrey Biddle



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: John Benedetto

Daytime Phone No.: 703.772.3506

Tax Account No.: _____

Name of Property Owner: Lucia Grenna Daytime Phone No.: 202-415-3831

Address: 37 Quincy St Chay Chase, MD 20815
Street Number City State Zip Code

Contractor: Owner Phone No.: 202-415-3831

Contractor Registration No.: N/A

Agent for Owner: John Benedetto Daytime Phone No.: 703.772.3506

LOCATION OF BUILDING/PREMISE

House Number: 37 Street: Quincy

Town/City: Chay Chase Nearest Cross Street: Essexville Rd.

Lot: _____ Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renove
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: 2nd story Addn.

1B. Construction cost estimate: \$ 120,000

1C. If this is a revision of a previously approved active permit, see permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height: 3 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

9/15/09
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 521347 Date Filed: 9/16/09 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

2nd story Addition to existing SFD, 2-story addition to
front of SFD

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Project will change exterior massing and character of
existing property. Proposed developments will be in character
with adjacent properties.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Fothergill, Anne

From: Fothergill, Anne
Sent: Tuesday, August 10, 2010 10:02 AM
To: 'CCV Permitting'
Cc: 'frank.delange@montgomerycountymd.gov'
Subject: 37 Quincy fence violation

Frank DeLange from Montgomery County DPS (copied on this email) has taken over this case from Jim Martin who retired. He will be in touch with your office soon to discuss the status of this violation.

thanks, Anne

Anne Fothergill
Planner Coordinator
Urban Design | Historic Preservation Section
Maryland-National Capital Park and Planning Commission
301-563-3400 phone | 301-563-3412 fax
<http://www.montgomeryplanning.org/historic>

Office Location:

1400 Spring Street, Suite 500 W
Silver Spring, MD 20910

Mailing Address:

8787 Georgia Avenue
Silver Spring, MD 20910

Fothergill, Anne

From: CCV Permitting [ccvpermitting@montgomerycountymd.gov]
Sent: Thursday, August 12, 2010 4:47 PM
To: Fothergill, Anne; De Lange, Frank
Cc: ahfarazad@aai-poggenpohl.com; Lucia; npiccioni@worldbank.org
Subject: RE: 37 Quincy fencing update
Attachments: 37 Quincy St Post Re-Measure 060110.pdf

Dear Ms. Fothergill and Mr. DeLange,

Thank you for the update. The applicant's also need to obtain a retroactive variance. A variance is required because the fence exceeds the Village's maximum allowable height. The application for which must be received by August 23, 2010. The attached PDF contains photos and measurements of the existing fence. Thank you for keeping us informed.

Wayne C. Fowler
Code Enforcement Officer
Chevy Chase Village
Tele. 301-654-7300
FAX 301-907-9721

ccvpermitting@montgomerycountymd.gov
www.chevychasevillagemd.gov

From: Fothergill, Anne [mailto:Anne.Fothergill@mncppc-mc.org]
Sent: Wednesday, August 11, 2010 1:48 PM
To: De Lange, Frank; CCV Permitting
Cc: ahfarazad@aai-poggenpohl.com; Lucia
Subject: 37 Quincy fencing update

Mr. DeLange and Chevy Chase Village enforcement:

I spoke with the owner's architect today and they plan to submit the revised fencing plans to the HPC for retroactive approval since the owner installed something different than the fencing shown in their Historic Area Work Permit. They will provide me the revised site plan showing the fence locations and the new elevations clearly showing the fence style, height and materials, along with photos of existing conditions. However, since there is only one HPC meeting in August and it is tonight, they plan to submit their proposed (retroactive) plans to me before the **September 8th HPC meeting**.

After that meeting, I will let you both know if the HPC approved the new fencing or if they required the applicants to change it to what was approved. If you have any questions about this, please let me know.

thanks,
Anne

Anne Fothergill
Planner Coordinator
Urban Design | Historic Preservation Section
Maryland-National Capital Park and Planning Commission
301-563-3400 phone | 301-563-3412 fax
<http://www.montgomeryplanning.org/historic>

Office Location:

1400 Spring Street, Suite 500 W
Silver Spring, MD 20910

Mailing Address:

8787 Georgia Avenue
Silver Spring, MD 20910

Fothergill, Anne

From: Fothergill, Anne
Sent: Thursday, August 13, 2009 12:32 PM
To: 'John Benedetto'
Subject: 37 Quincy

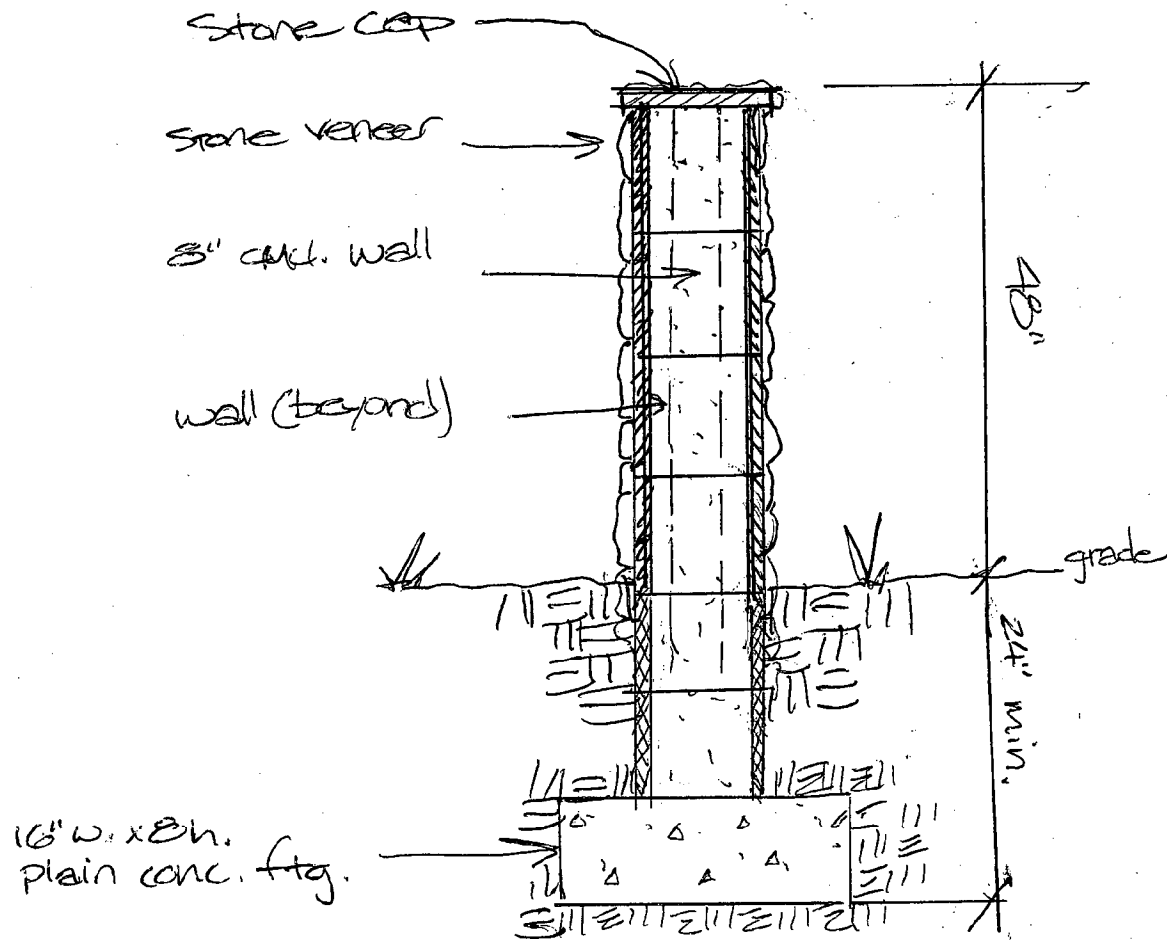
Last night the HPC approved the proposed fencing at 37 Quincy with the following conditions:

1. The new span of fencing to be installed along the west side property line will be no taller than 4 feet. Final design to be reviewed and approved at the staff level.
2. The new 4' tall fencing and gate along Quincy Street will be wood picket, not metal. Final design to be reviewed and approved at the staff level.
3. The applicants will push the new fencing and wall along Brookville Road back from the road. Final site plan to be reviewed and approved at the staff level.

I understand that the owners are not sure if they will install fencing at all, but if they do decide to go forward please provide me the revised plans when you have them. Also, if you want to meet to talk about an addition to this house, please let me know and we can set up a time.

thanks,
Anne

Anne Fothergill
Planner Coordinator
Historic Preservation Section
Urban Design and Preservation Division
Montgomery County Planning Department
The Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910
301-563-3400 phone
301-563-3412 fax
<http://www.montgomeryplanning.org/historic>



Stone Wall e Front - Section

Fothergill, Anne

From: Fothergill, Anne
Sent: Monday, July 27, 2009 4:06 PM
To: 'John Benedetto'
Subject: RE: 37 Quincy

Thank you for the additional information and photos. I still have questions.

Is the existing fencing along the rear property line also the 6' wood stockade fencing? It isn't clear on the site plan and I don't have a photo. If it is, is the proposal to match it exactly in height, style, material, and location?

Also, the HPC generally does not support new fencing taller than 6' located forward of the rear plane of the house. Since I don't have photos, I cannot tell if 6' stockade fencing is an existing condition along the left side property line but it looks like you are proposing an approximately 30' section of new fencing there that will be 6' privacy fencing from the front of the property (at Quincy) back. If this is correct, most likely the HPC will require that it be lowered at the front of the property. I got your 2nd email with the front photo, but I still can't see the existing fencing so I can't tell if the existing fencing is on your property or the neighbors and what you are proposing for the rest of the left side. If you are open to making that height change now before the HPC reviews it, I would recommend that and you could adjust your proposed site plan to show lower wood fencing and then stepping up to taller fencing toward the rear. You could propose wood picket or maybe the solid style that you are doing along Brookville Road (but without the wall underneath).

Thank you for answering these questions. Please take another look at your proposed site plan and make it as clear as possible and get me the other photos showing existing fencing. Let's see if we can resolve these issues by tomorrow morning so this can stay on the August agenda and if not it will be postponed as incomplete. But I think we can get there with your help and clarification.

thanks,
Anne

From: John Benedetto [mailto:john@benedictdesign.com]
Sent: Monday, July 27, 2009 3:48 PM
To: Fothergill, Anne
Subject: RE: 37 Quincy

Anne,

Elevations are attached. I am trying to get someone to send over the pictures you requested of the front and side of the property from across the streets. Also, the stockade fence style is attached.

If I am unable to get the photos this afternoon, can I send them to you tomorrow and still have the hearing in August?

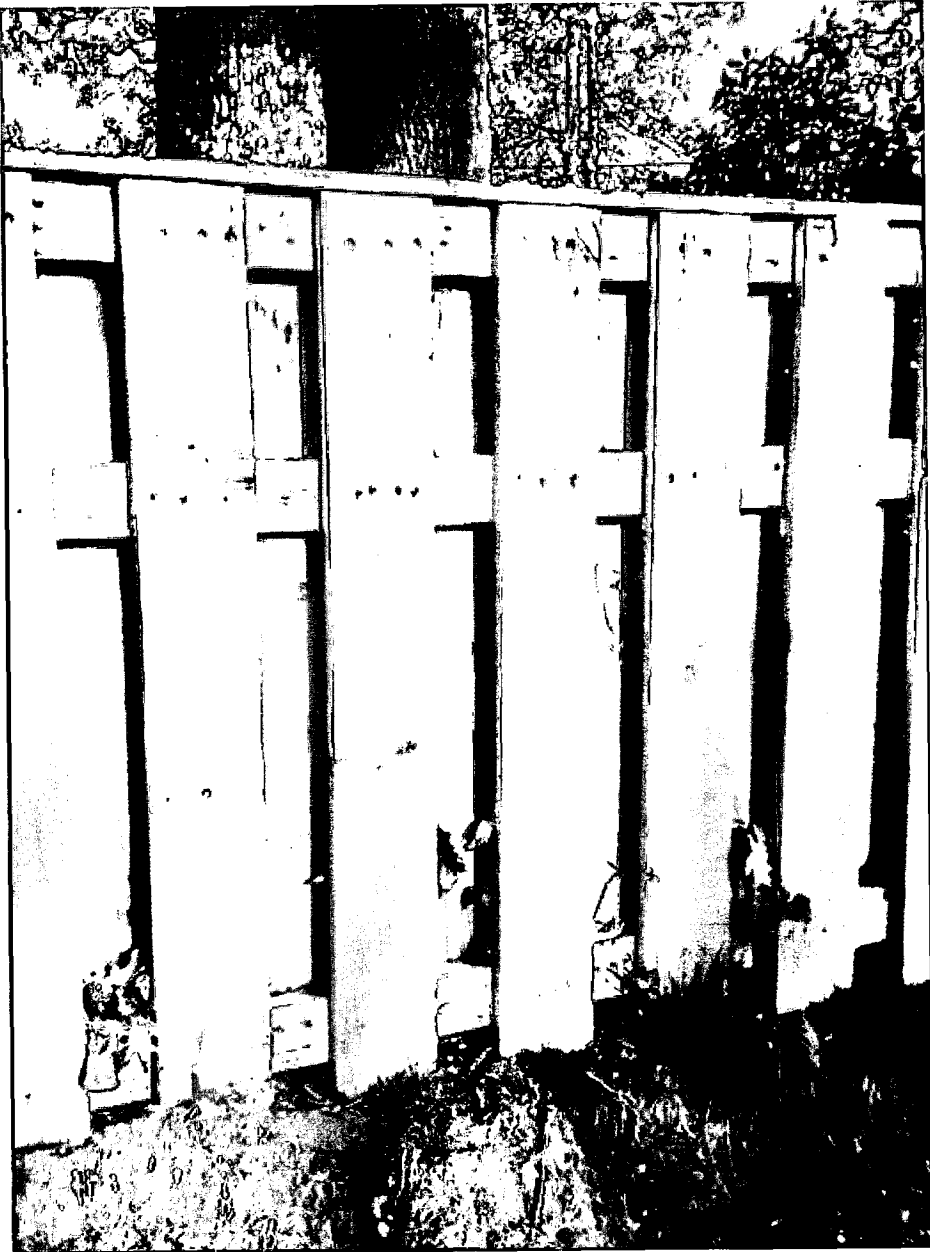
Thanks,

John
Benedict Design + Drafting
P.O. Box 251
Great Falls, VA 22066
(c) 703.772.3506
(f) 703.636.2653

Fothergill, Anne

Subject:

FW: 37 Quincy Street



IMG_0165



IMG_0166



IMG_0167



IMG_0168

301-

907-

9721

fax to
michael
yanes

Service Request

110141624
DPS



HISTORIC PRESERVATION COMMISSION

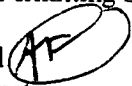
Isiah Leggett
County Executive

David Rotenstein
Chairperson

Date: 12/7/09

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #516953

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved with conditions** at the August 12, 2009 HPC meeting. The conditions of approval are:

1. The new span of fencing to be installed along the west side property line will be no taller than 4 feet. Final design to be reviewed and approved at the staff level.
2. The new 4' tall fencing along Quincy Street will be wood picket, not metal. Final design to be reviewed and approved at the staff level.
3. The applicants will push the new fencing and wall along Brookville Road back from the road. Final site plan to be reviewed and approved at the staff level.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Lucia Grenna
Address: 37 Quincy Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: JILL BENEDETTO

Daytime Phone No.: 703 3506772

Tax Account No.: _____

Name of Property Owner: LUKIA GREENNA Daytime Phone No.: 202-415-3881

Address: 6107 MCKINLEY ST, NW, WASH, DC
Street Number City State Zip Code

Contractor: OWNER Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 37 Street: QUINCY ST

Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE RD.

Lot: P/O 154 Block: 51 Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

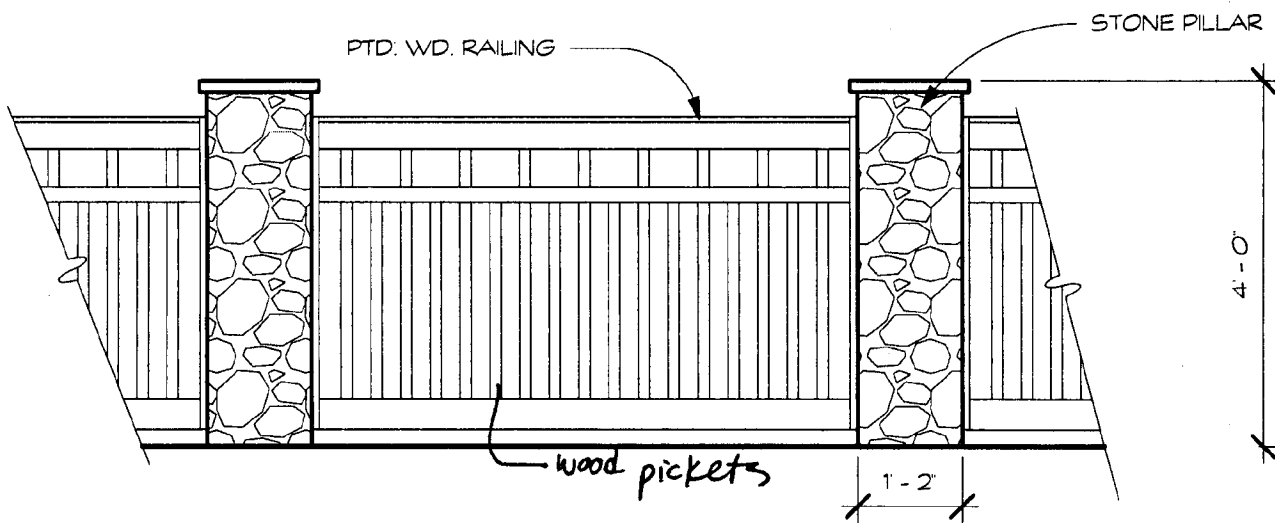
3A. Height 4 feet 0 inches / 6 FEET 6 INCHES (REAR)

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

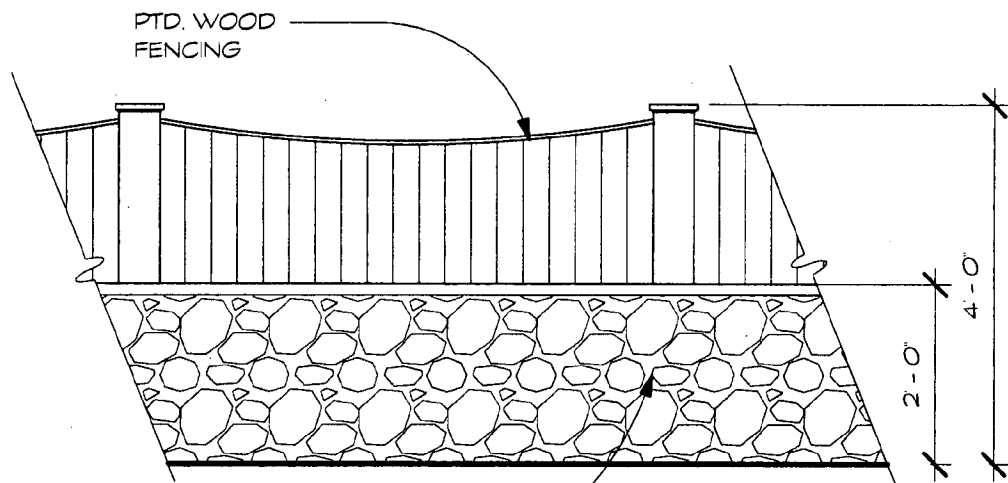
I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 7/22/09

Approved: with 3 conditions For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 12/7/09
Application/Permit No.: 516953 7/22/09 Date Filed: _____ Date Issued: _____



① FENCE @ QUINCY STREET
1/2" = 1'-0"



RETAINING WALL
W/STONE VENEER

② FENCE @ BROOKVILLE ROAD
1/2" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

12/7/09

DRAWN	JAB
DATE	12/5/09
SCALE	AS NOTED
SHEET NO.	A1

QUINCY STREET
37 QUINCY ST.
CHEVY CHASE, MD.

BD+D
Benedict Design + Drafting

John Benedetto
Designer
P.O. Box 251
Great Falls, VA 22066
(c) 703.772.3506
(f) 703.636.2653



MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING
SERVICES
 255 Rockville Pike, 2nd Floor
 Rockville, Maryland 20850-4166

NOTICE OF VIOLATION

Case # 262952

Permit
Number

Permit Type

FOR MONTGOMERY COUNTY, MARYLAND the undersigned issuer, being duly authorized, states that:
 On, May 17, 2010 the recipient of this NOTICE: Lucia Grenna and Norman Piccioni
 37 Quincy Street
 Chevy Chase Maryland 20815-4226

Who represents the permittee/defendant,
 Is notified that a violation of Montgomery County Code, Section(s) as noted below
 exists at: 37 Quincy Street Chevy Chase Maryland 20815-4226

VIOLATION

CORRECTIVE ACTION

Violation 1: 59-A-3.1 Failure to obtain a fence permit Obtain a fence permit

Violation Comments / Remarks: a new fence has been constructed on the property
 The previous permit has been revoked. A fence application may be obtained by calling 240-777-6240

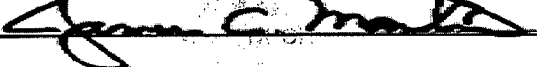
CORRECTIVE / Action / Remarks: Discontinue work on the fence until a permit has been issued by the
 Department of Permitting services

See attached Inspection Report(s) for additional violations and/or required corrective actions
Fence permit 527811 has been revoke because it does not conform to Historic Area
Work permit #516953.

An inspection fee of \$0.00 is required in addition to any application fee(s).
 Compliance Time: 15 Calendar days. Re-Inspection Date(s) code /Edition:

Failure to comply with this notice may result in the issuance of one or more civil citations
Seeking fines of \$ 500.00 or more.

A STOP WORK ORDER is also issued this date at the above referenced project, All construction activities
 on these premises must cease immediately. Only those activities required to correct violations
 may continue. Written permission is required to resume construction

ISSUED BY: James C. Martin  May 17, 2010
 Printed Name Date

Phone No. (301) 370-0042

RECEIVED BY: _____
 Printed Name Signature Date

Phone No. _____ Sent by Registered Mail/Return Receipt On: _____

RECIPIENT'S SIGNATURE ACKNOWLEDGES RECEIPT OF A COPY OF THIS NOTICE OF VIOLATION

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	37 Quincy Street, Chevy Chase	Meeting Date:	8/12/09
Resource:	Non-Contributing Resource Chevy Chase Village Historic District	Report Date:	8/05/09
Applicant:	Lucia Grenna (John Benedetto, Agent)	Public Notice:	7/29/09
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-09Q	Staff:	Anne Fothergill
Proposal:	Fencing and wall installation and replacement		

STAFF RECOMMENDATION

Staff recommends that the HPC approve this application with the following conditions of approval:

1. The new span of fencing to be installed along the west side property line will be no taller than 4 feet. Final design to be reviewed and approved at the staff level.
2. The new 4' tall fencing along Quincy Street will be wood picket, not metal. Final design to be reviewed and approved at the staff level.
3. The applicants will push the new fencing and wall along Brookville Road back from the road. Final site plan to be reviewed and approved at the staff level.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Chevy Chase Village Historic District
STYLE: Modern
DATE: 1951

PROPOSAL

The applicants are proposing fencing replacement and new fencing installation. Specifically, they are proposing to:

- Install 3'6" tall black metal fencing with 4' stone pillars across the front of the property along Quincy Street with a metal arched gate across the end of the driveway (see Circles 9 + 10)
- Replace the existing chain link fencing along the Brookville Road side of the property and install 2' tall wood fencing on a 2' stone retaining wall (see Circle 9)
- Replace the existing chain link fencing at the north (rear) property line with 6' tall wood privacy fencing (See Circle 11)
- Install an approximately 40' span of 6' tall wood stockade fencing from the southwest (front left) property line back to the front plane of the house where it will meet existing fencing of the same height, style and material (see Circle 8)

This proposal has been preliminarily approved by the Chevy Chase Village and their arborist.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District

Basic policies noted in the *Guidelines* include:

1. Preserving the integrity of the proposed Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
5. Alterations to the portion of a property that are not visible from the public right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The Historic Preservation Ordinance directs the HPC to be lenient in its judgment of plans for structures in historic districts which are of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historical or architectural value of surrounding historic resources or would impair the character of the historic district.

The Guidelines define a Non-Contributing or Out-of-Period Resource as "A resource which does not directly contribute to the historicity of the district because of its lack of architectural and historical significance and/or because of major alterations that have eliminated most of the resource's original architectural integrity. Or a resource that is a newer building, which possibly contributes to the overall streetscape but is out of the district's primary historical and architectural context."

The Guidelines state:

Non-contributing/out-of-period resources are either buildings that are of little or no architectural and historical significance to the historic district or newer buildings constructed outside the district's primary period of historical importance. HAWP applications for exterior alterations, changes, and/or additions to these type of resources should receive the most lenient level of design review.

Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The applicants are proposing new and replacement fencing around this property. Even though the house is a non-contributing resource some of the fencing will be visible and therefore will have an impact on the streetscape. Generally the HPC does not support metal fencing and since the proposed metal fencing will be very visible along Quincy Street (and at the corner of Brookville Road), staff is recommending that the applicants change the material to wood picket which is very common in the historic district. The HPC also does not approve 6' tall fencing in front of a house, and staff is recommending that the new span of fencing along the west side of the driveway will be no taller than 4 feet. Additionally, along Brookville Road, the more successful fences and walls are pushed back slightly from the road. Recognizing that there may be existing trees or conditions that dictate the location of the fencing, staff is recommending that the applicants push the stone wall and fencing back from the road. Staff can work with the applicants on the appropriate location after existing conditions (trees, vegetation, topography) are evaluated.

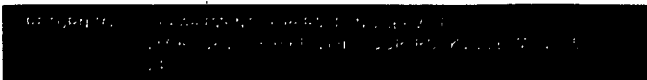
STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with the conditions listed on page one** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JILL BENEDETTO

Daytime Phone No.: 202-415-3881

Tax Account No.:

Name of Property Owner: LUCIA GREENGLASS Daytime Phone No.: 202-415-3881

Address: 6907 MCKINLEY ST, NW, WASH, DC

Contractor: OWNER Phone No.:

Contractor Registration No.:

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 37 Street: QUINCY ST

Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE RD.

Lot: P/O L 4 Block: 51 Subdivision:

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, Move, Install, Wreck/Raze, Revision, Repair, Revocable, A/C, Slab, Room Addition, Porch, Deck, Shed, Solar, Fireplace, Woodburning Stove, Single Family, Fence/Wall (complete Section 4), Other.

1B. Construction cost estimate: \$ 20,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 4 feet 0 inches / 6 FEET 6 INCHES (REAR)

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date: 7/22/09

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 516953 7/22/09 Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

add fence + gate to bt line along Quarry St.
~~add fence to back line along Brookville Rd.~~
replace existing fence at rear & along Brookville Rd.
add fence at side prop. line

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

project will be built to match character of existing
improvements and improvements to adjacent properties.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. **Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

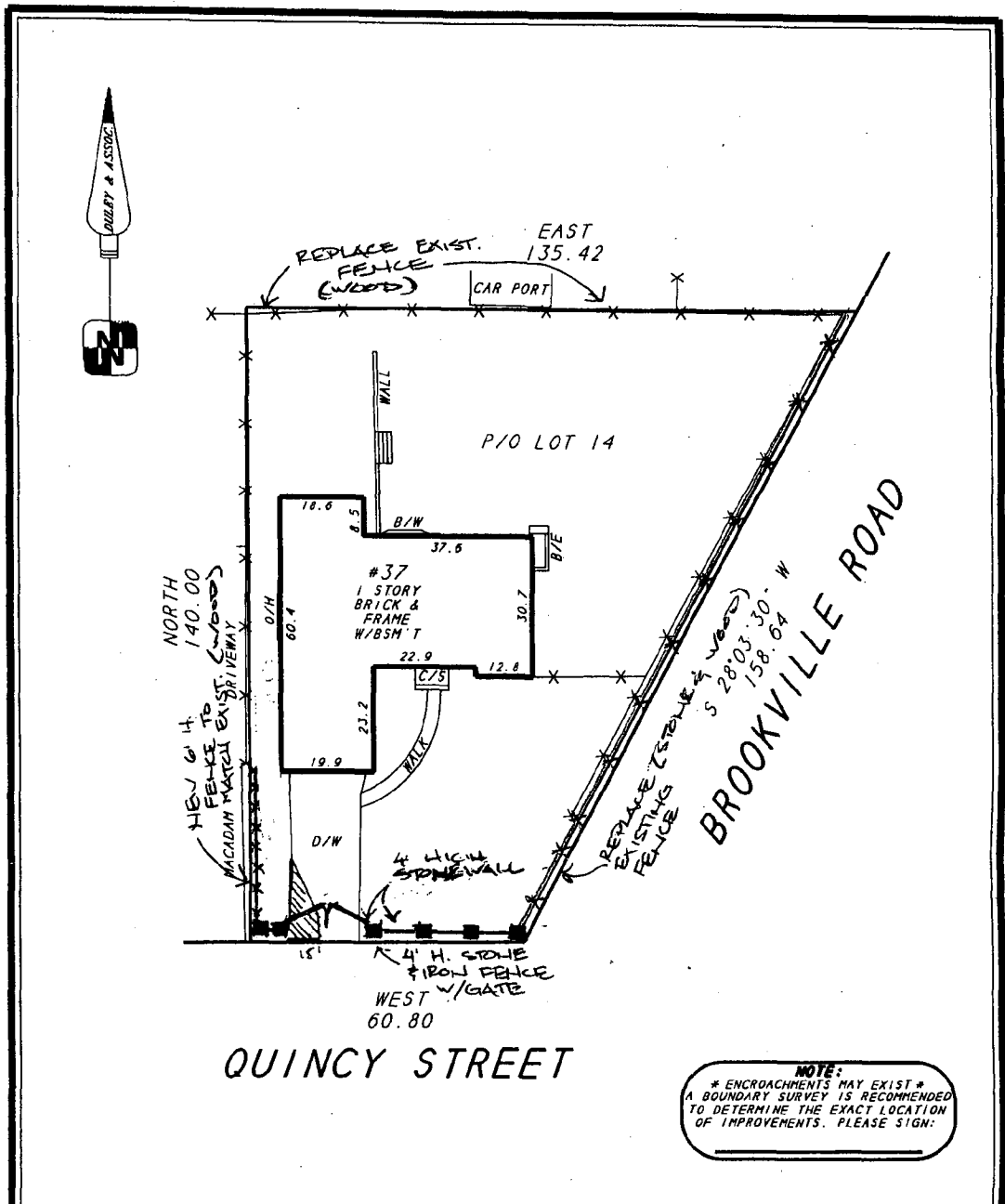
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6



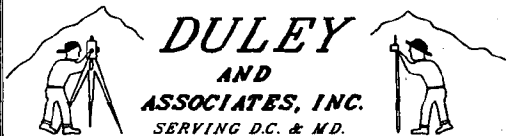
FOR SURVEY ORDER/APPROVAL FORMS, PRICES & MORE VISIT US AT WWW.DULEY.BIZ

LOCATION DRAWING OF:

#37 QUINCY STREET
 PART OF LOT 14 BLOCK 61
 N/F PROPERTY OF
ERIC H. MYRLAND
 LIBER: 6032, FOLIO: 499
 MONTGOMERY COUNTY, MD

SCALE: 1"=30' DATE: 6-15-09

A LAND SURVEYING COMPANY



14604 ELM STREET
 UPPER MARLBORO, MD. 20772

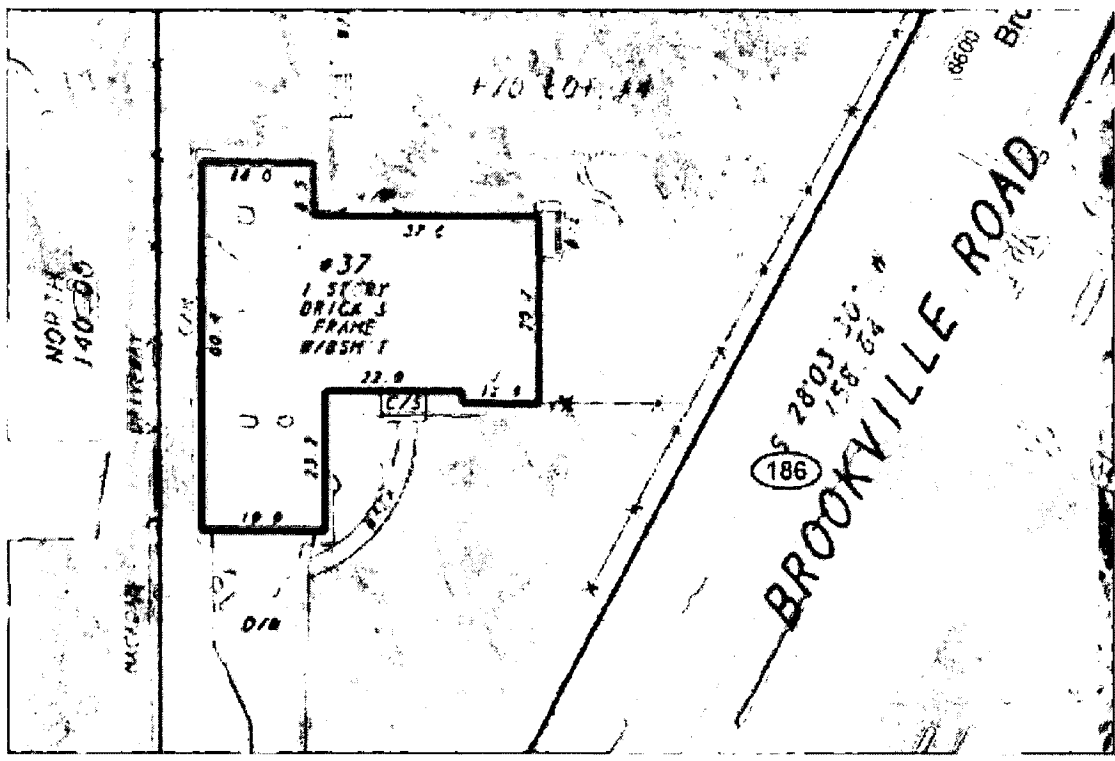
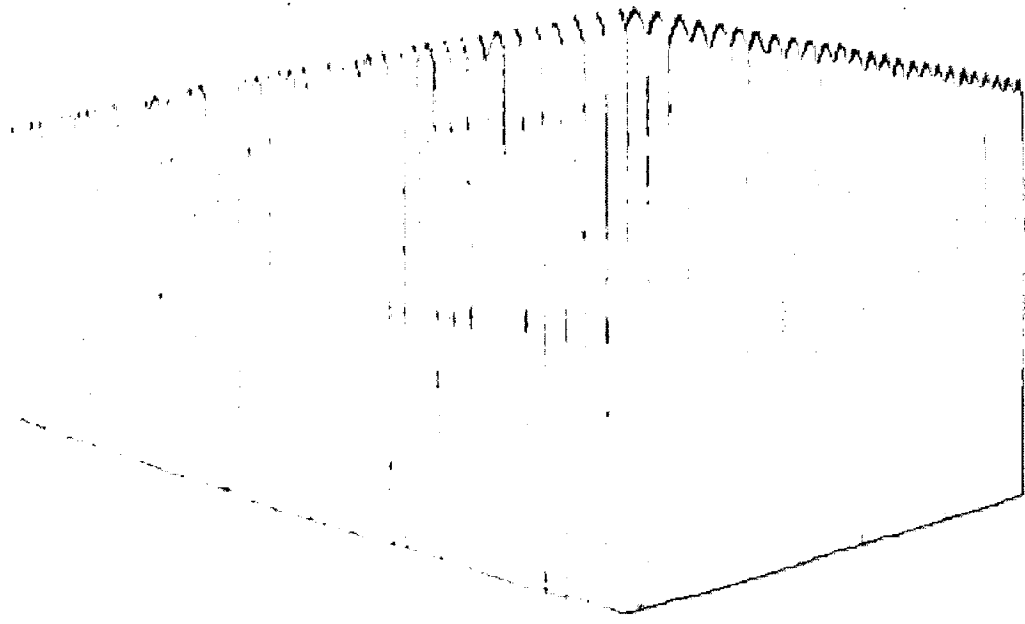
CASE # 56090906
 MYRLAND
 FILE # 092460-608
 DRAWN BY: CP

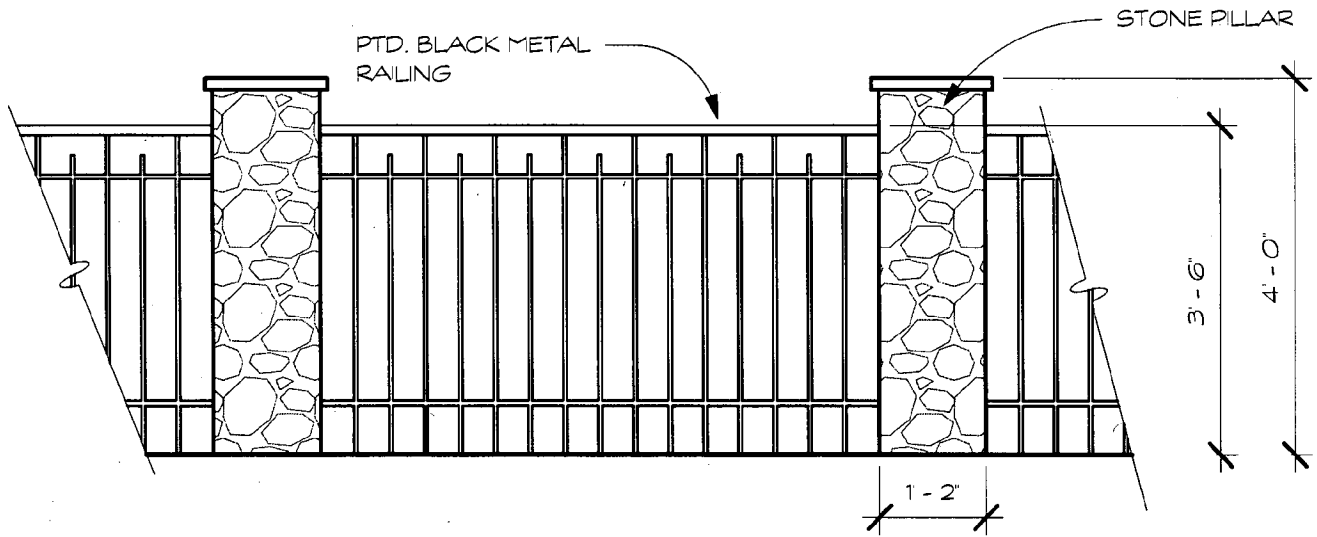
PHONE: 301-888-1111 FAX: 301-888-1114
 PHONE: 1-888-88-DULEY FAX: 1-888-55-DULEY



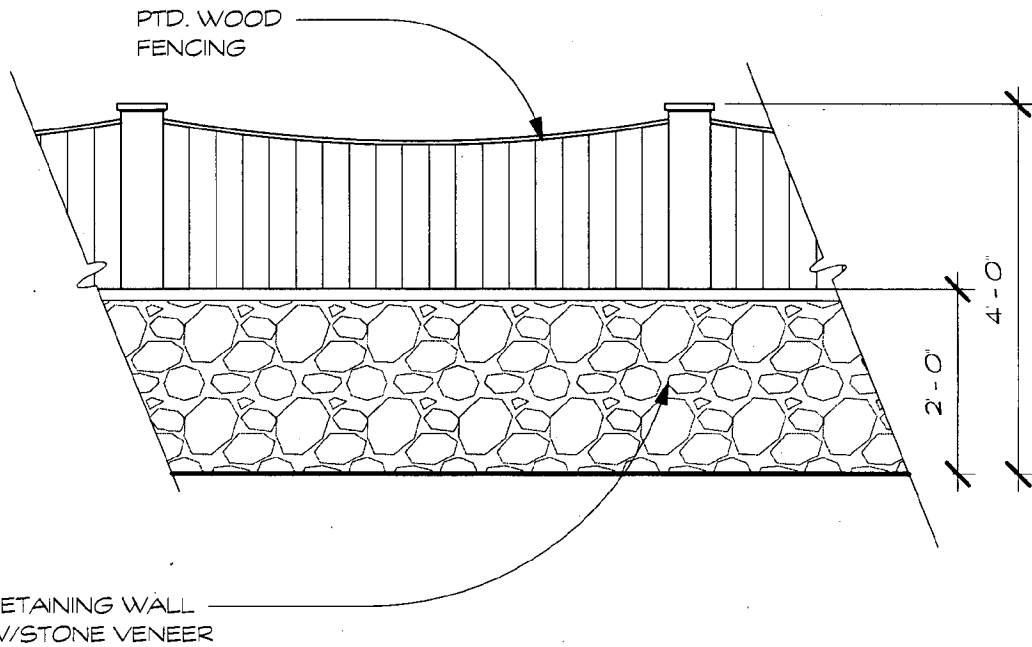
SURVEYOR'S CERTIFICATE
 I HEREBY STATE THAT THE EXISTING VISIBLE IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY ACCEPTED METHODS AND THAT THE IMPROVEMENTS APPEAR TO LIE WITHIN FLOOD ZONE C. A FLOOD CERTIFICATION IS RECOMMENDED TO DETERMINE THE EXACT FLOOD ELEVATION AND FLOOD ZONE. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF ANY FENCE, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES. BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1". NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYORS OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN.

proposed fencing at west side of lawn





① FENCE @ QUINCY STREET
1/2" = 1'-0"



② FENCE @ BROOKVILLE ROAD
1/2" = 1'-0"

DRAWN	JAB
DATE	07/27/09
SCALE	AS NOTED
SHEET NO.	A1

QUINCY STREET
37 QUINCY ST.
CHEVY CHASE, MD.

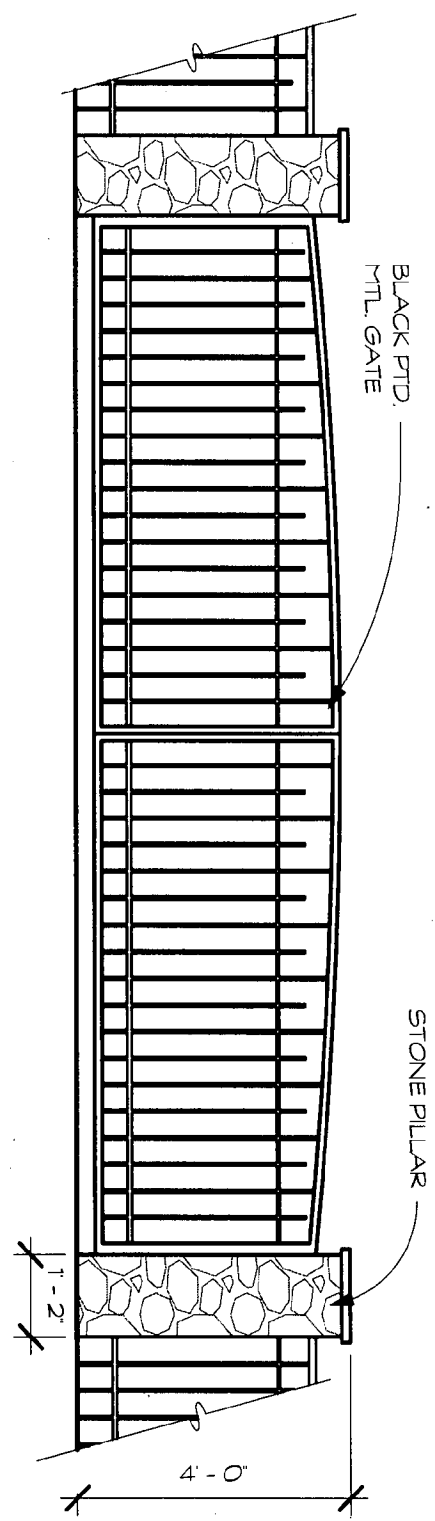


Benedict Design + Drafting

John Benedetto
Designer
P.O. Box 251
Great Falls, VA 22066
(c) 703.772.3506
(f) 703.636.2653

01

1 FENCE + GATE @ QUINCY STREET
3/8" = 1'-0"

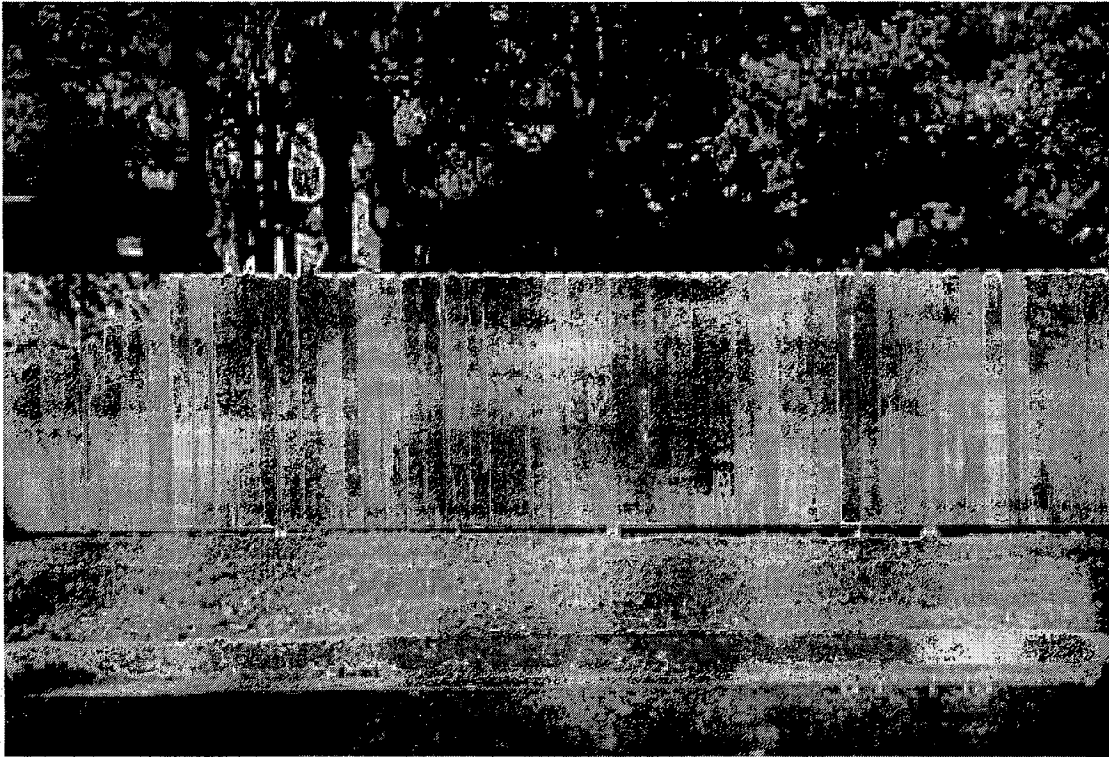


DRAWN	JAB
DATE	07/28/09
SCALE	AS NOTED
SHEET NO.	A2

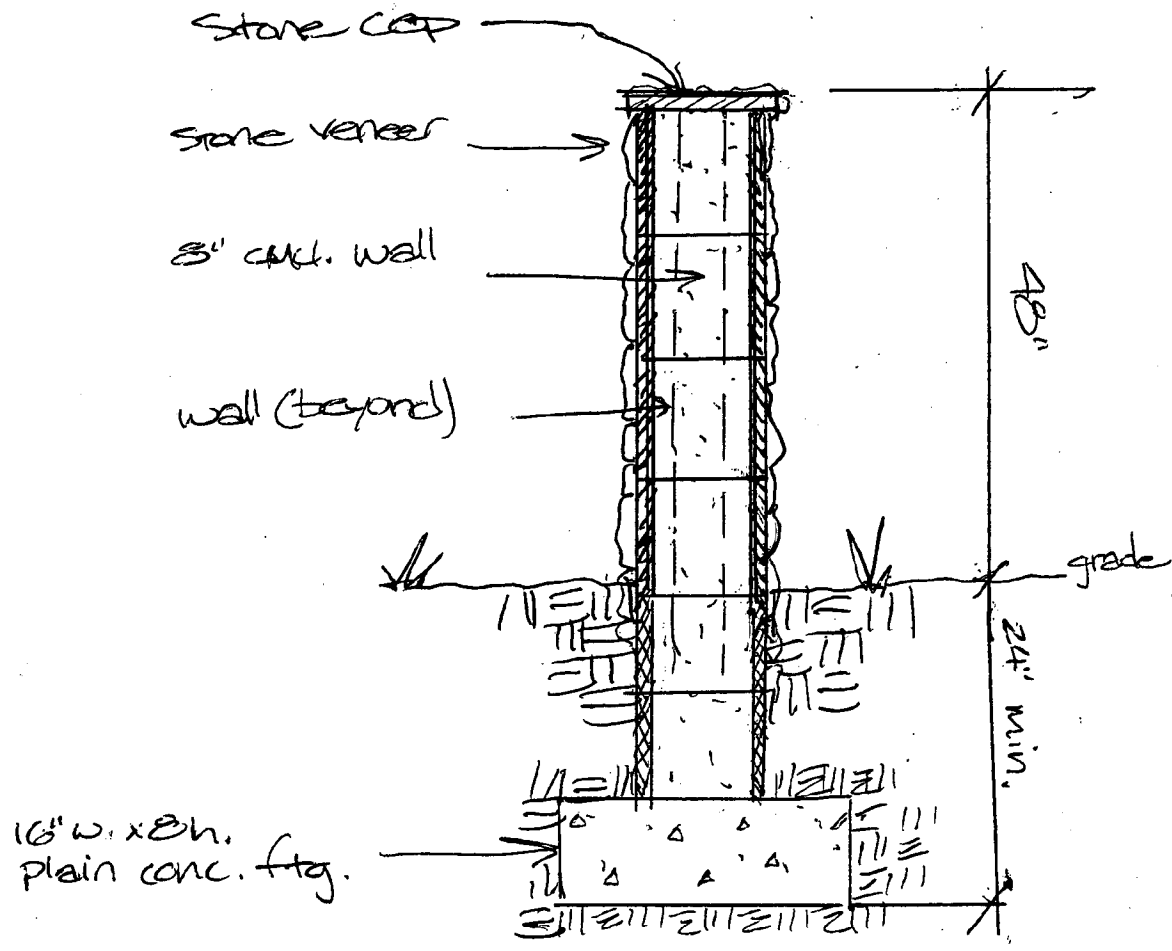
QUINCY STREET
37 QUINCY ST.
CHEVY CHASE, MD.

BD+D
Benedict Design + Drafting

John Benedetto
Designer
P.O. Box 251
Great Falls, VA 22066
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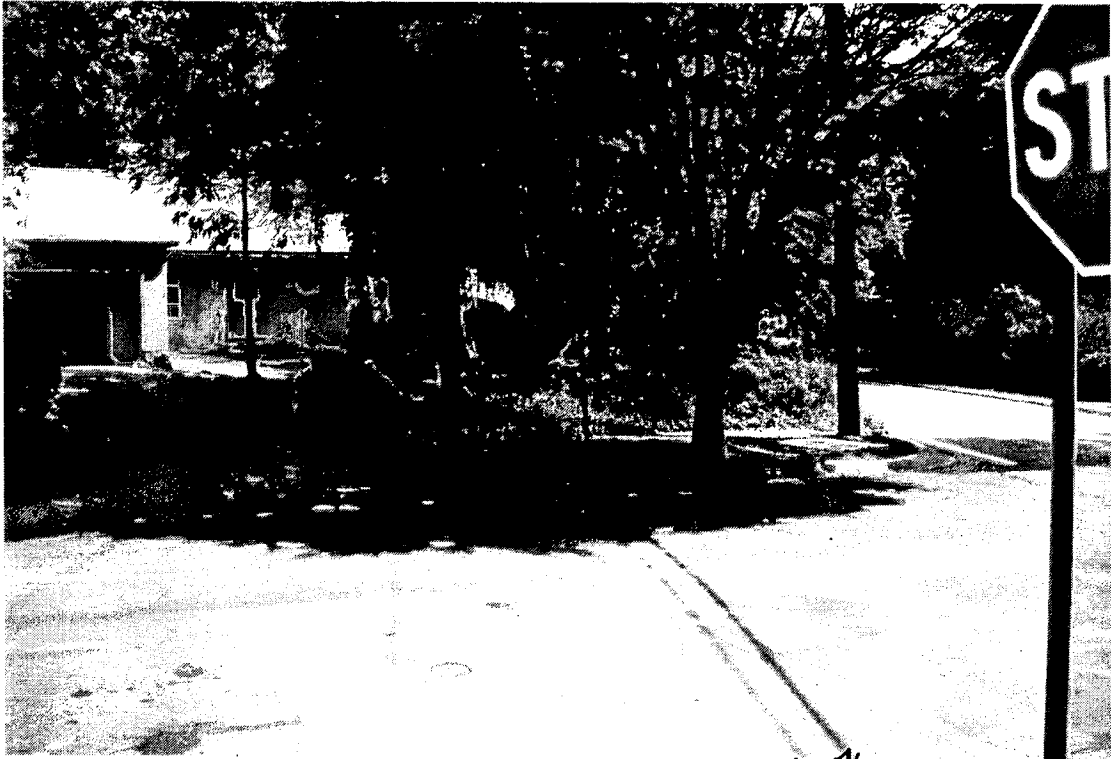
Proposed fencing along rear
property line to replace
existing chain link fencing



Stone Wall e Front - Section

37 Quincy





corner of Quincy + Brookville



37 Quincy





left side property line (note fencing)



rear yard

back yard



front



ad 0, 2, 3, 4, 5

rows, 2, 3 + 4

right, 2

left, 2

front, 2 + 3



left (west) side
of house

note existing fencing to
remain

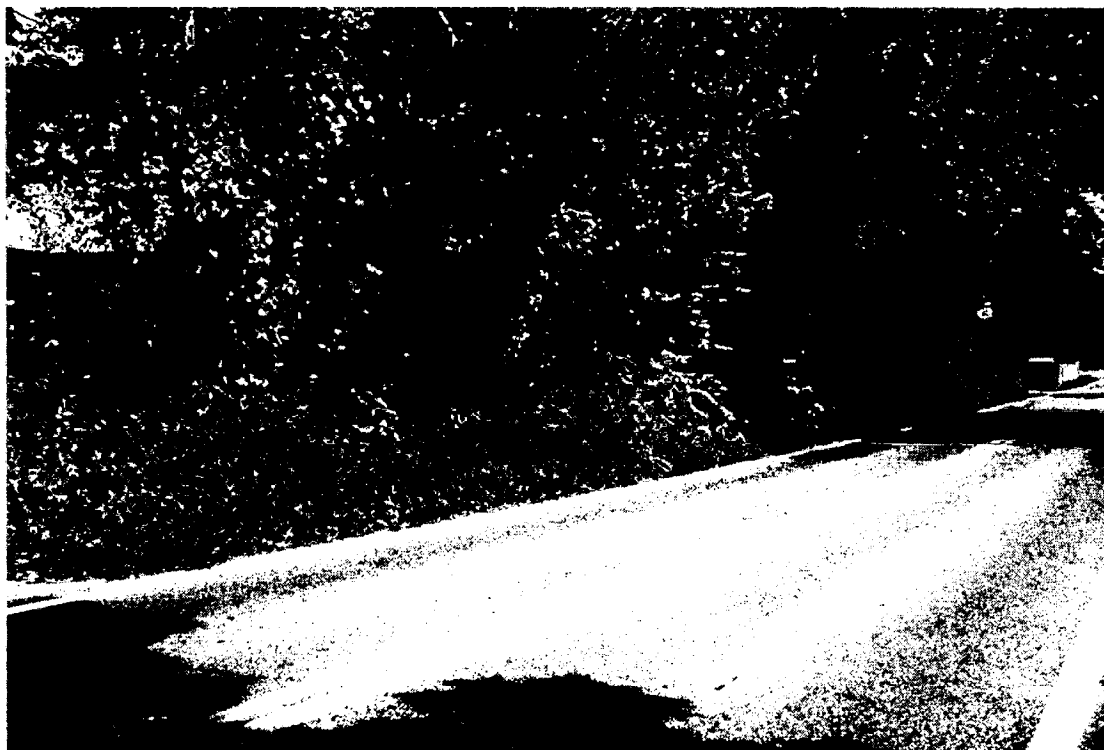
back yard



existing
chain link
fence →



corner of Brookville + Quincy





LAP 8/12/09

37 Quincy
Non-contributing Resource
fencing and wall replacement

Staff recommends approval : west property line 4' max, Quincy St fence to the wood picket not metal, staff to review final design; fence on Brookville to be approved at staff level

LAP concurs with Staff and has no issue with future approval with a Staff review.

Submitted on behalf of the LAP by Tom Bourke, Chair



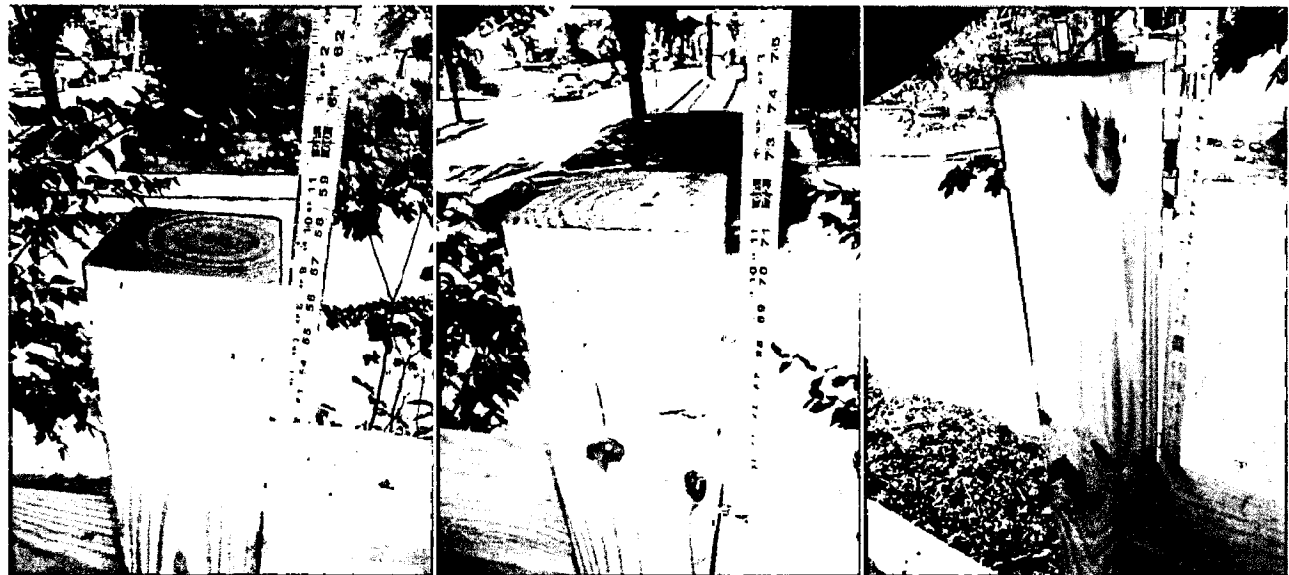
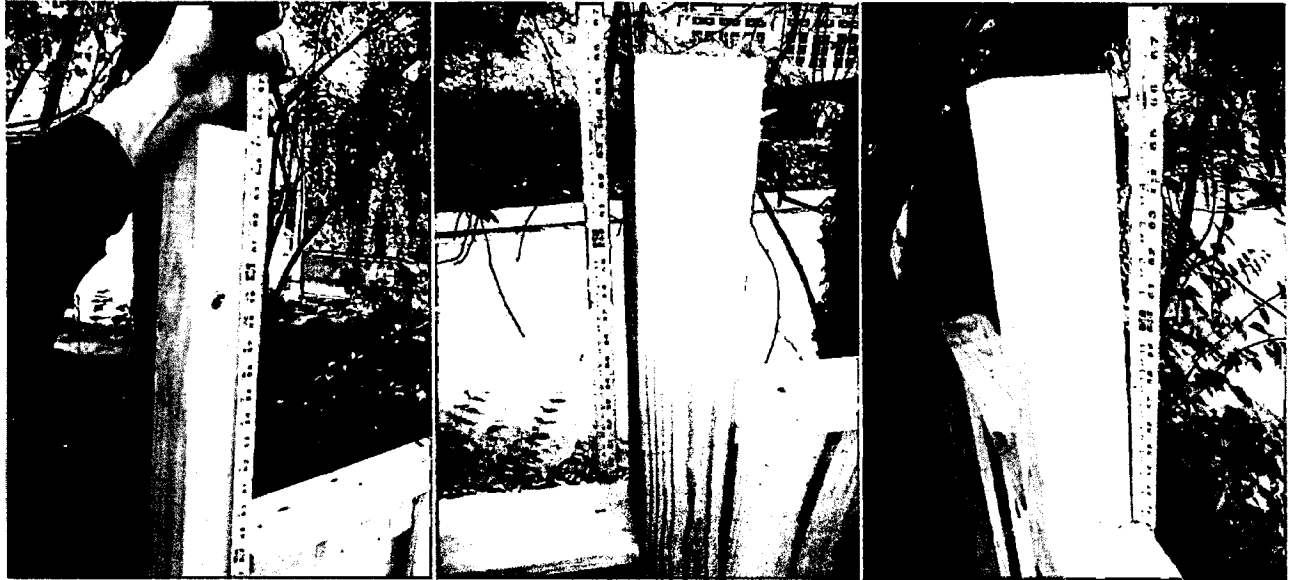


Along Brookville Road



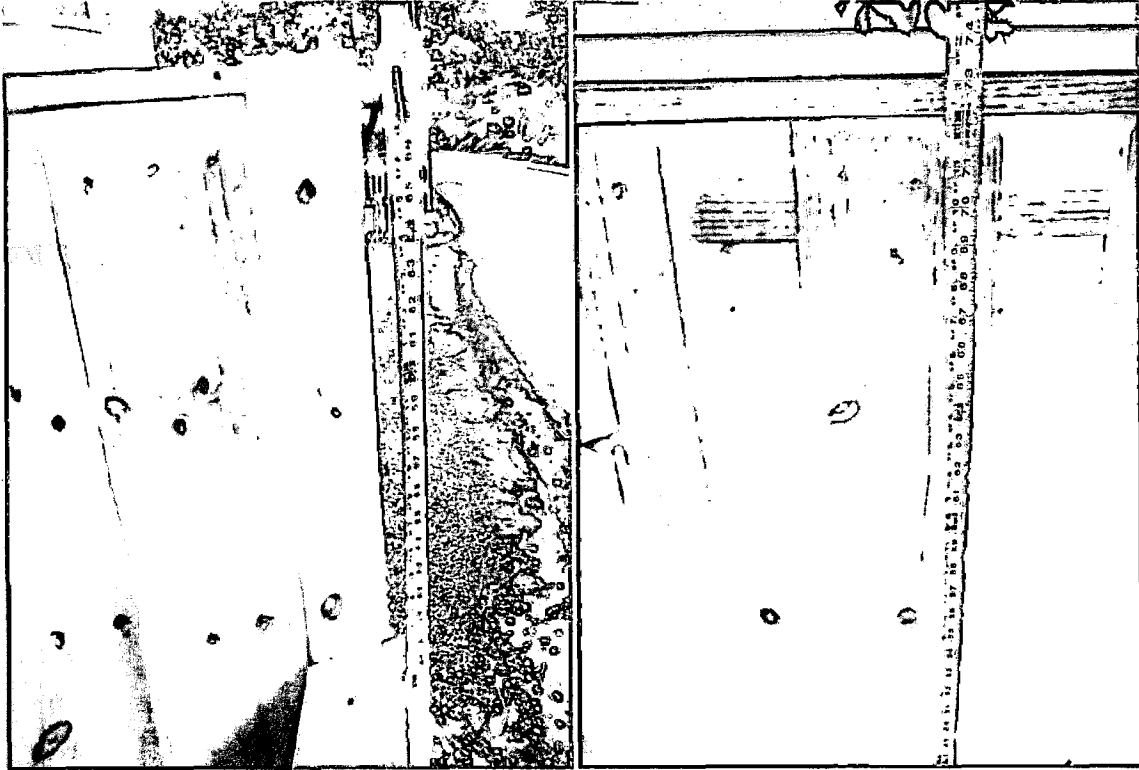


37 Quincy Street



These photos are in sequence starting at the South end of the Brookville fence and run North.

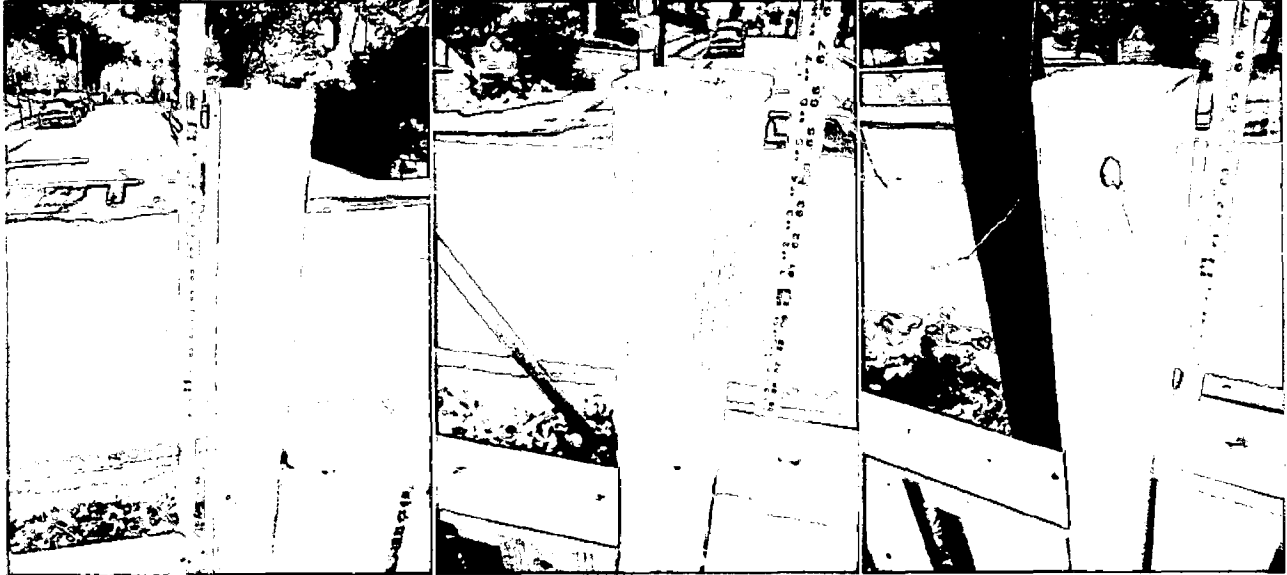
37 Quincy Street



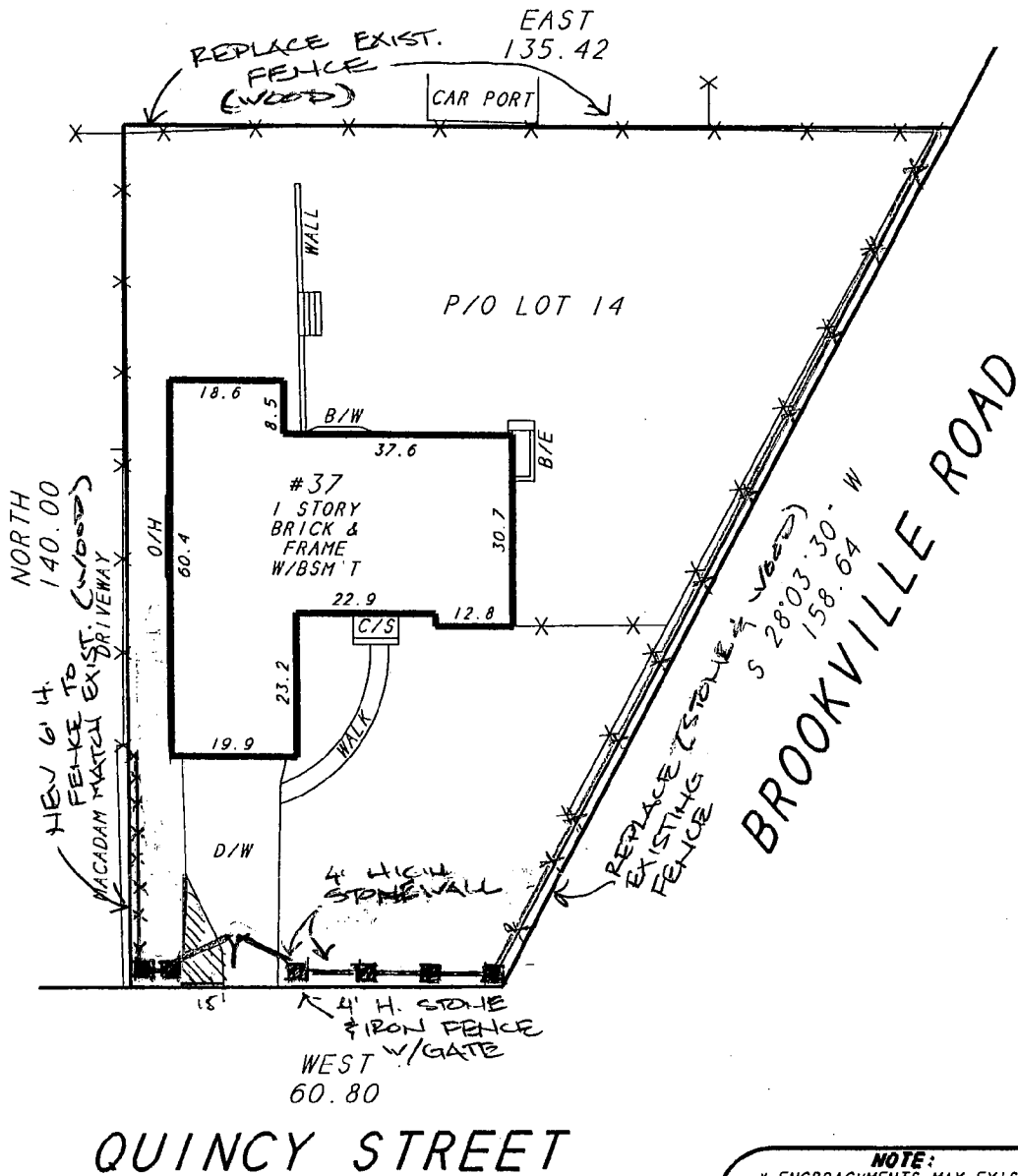
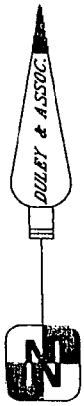
These photos are in sequence starting at the North East corner of the property and run 25ft. West to the pencil line.

Page 3 of 3.

37 Quincy Street



These photos are in sequence starting at the South end of the Brookville fence and run North.



NOTE:
 * ENCROACHMENTS MAY EXIST *
 A BOUNDARY SURVEY IS RECOMMENDED
 TO DETERMINE THE EXACT LOCATION
 OF IMPROVEMENTS. PLEASE SIGN:

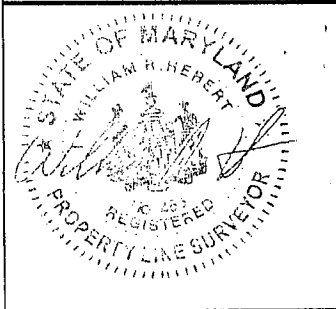
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A LAND SURVEYING COMPANY

DULEY
 AND
ASSOCIATES, INC.
 SERVING D.C. & M.D.

14604 ELM STREET
 UPPER MARLBORO, MD. 20772



CASE # 56090906
 MYRLAND
 FILE # 092460-608
 DRAWN BY: CP

PHONE : 301-888-1111 FAX : 301-888-1114
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