

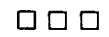
Rotter Property - proposed  
subdivision (Brookeville HD)

2,4,6 WATER STREET 1.23.02  
BROOKEVILLE H.D. 23/65-02A

SUBDIV. 301 Market Street  
(Brookeville Historic District)

PRELIM: New construction on  
Rotter Property (Brookeville HD)

**THOMAS J. TALTAVULL**  
ARCHITECT



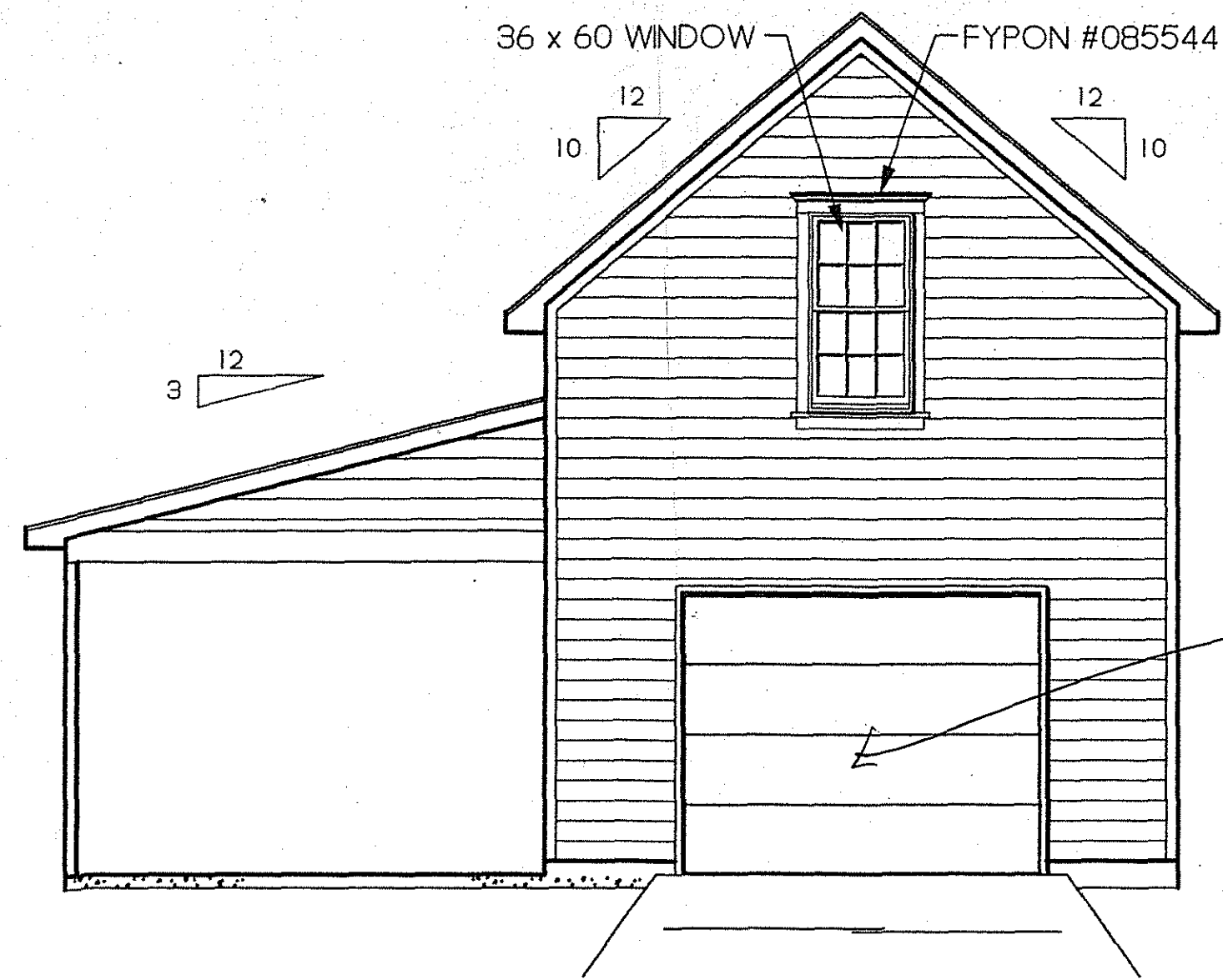
**20650 PLUM CREEK COURT**  
**GAITHERSBURG, MARYLAND 20882**  
**301-840-1847**

1000 plan & Lots on  
North Street

Ordinance

application, etc.

9/6/61 1-2:15



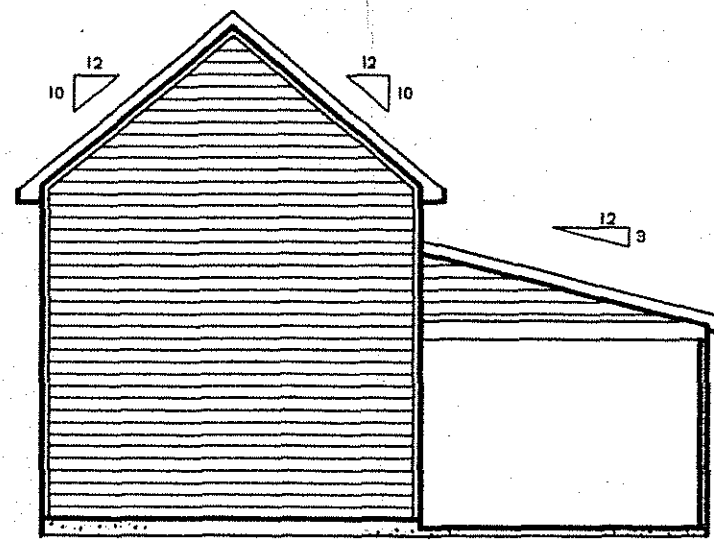
FRONT ELEVATION

SCALE 1/4" = 1' 0"



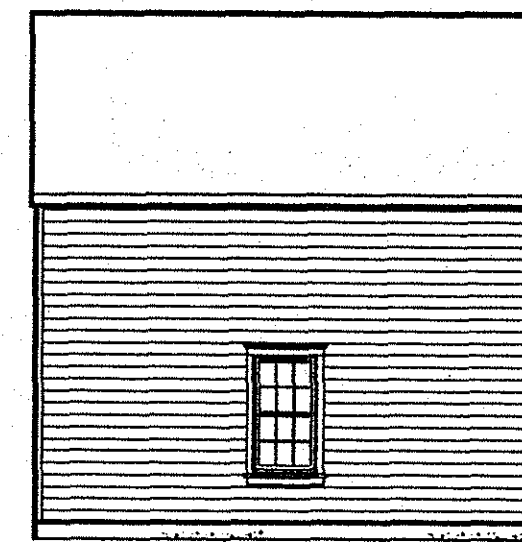
LEFT ELEVATION

SCALE 1/8" = 1' 0"



REAR ELEVATION

SCALE 1/8" = 1' 0"



RIGHT ELEVATION

SCALE 1/8" = 1' 0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 11/10/02

THE USE OF THESE PLANS AND DETAILS FOR CONSTRUCTION OR ANY OTHER PURPOSE WITHOUT WRITTEN PERMISSION FROM CAVCO HOMES, INC. IS PROHIBITED.  
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**CAVCO HOMES, INC.**  
P.O. BOX 75  
12105 MAPLEVILLE RD.  
CAVETOWN, MD 21720  
PHONE: (301) 733-7940  
FAX #: (301) 824-3944  
DIVISION OF CAVETOWN  
PLANING MILL COMPANY

CUSTOMER  
**Crane Homes LLC**  
MODEL: 1 CAR GARAGE W/ CARPORT  
JOB: LOT #01 @ BROOKEVILLE

REVISIONS:	
DATE	REMARKS

DRAWN BY: RAY REBERT
DATE: 11/12/2002
PROD. BY:
DATE:
APPROVED BY:
DATE:

DWG NO. <b>5393</b>
QUOTE NO. <b>0000</b>
ORDER NO. <b>0000</b>

FOOTING

- A. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND BELOW FROST LINE (MIN. 2'-6" FINISHED GRADE TO BOTTOM).
- B. MIN. CONTINUOUS FOOTING SIZE IS: DEPTH: 8" WIDTH: OF FOUNDATION WALL + 4" EACH SIDE.
- C. MIN. CHIMNEY FOOTING SIZE IS: DEPTH: 12" WIDTH & LENGTH: W & L MASONRY + 6" ALL SIDES.
- D. MIN. COLUMN OR PIER FOOTING SIZE (FOR NORMAL RESIDENTIAL LOADING AND AVERAGE ASSUMED SOIL BEARING CAPACITY) UNLESS OTHERWISE DETERMINED BY CALCULATION IS 24"x24"x12" THICK, ONE STORY, AND 30"x30"x18" TWO STORY.
- E. STEPS IN ELEVATION SHOULD PROVIDE MIN. 1.5 UNITS HORIZONTAL LAP FOR EACH UNIT OF VERTICAL RISE.

CONC. REB. SLAB

- A. INTERIOR CONCRETE FLOOR SLAB (MIN. 4" THICK)
- B. PREPARED SUB GRADE COMPACTED, NO VEGETATION.
- C. MIN. 4" THICK BASE COURSE GRAVEL, SAND OR EQUAL.
- D. VAPOR BARRIER LAP JOINTS 6".
- E. CONTROL JOINTS NO EXPANSE TO EXCEED 30 LF, AND AT OFFSETS GREATER THAN 10' -OR- 6"x6" 10 GAGE WELDED WIRE MESH AT MID-DEPTH OF SLAB.

DAMP-PROOFING

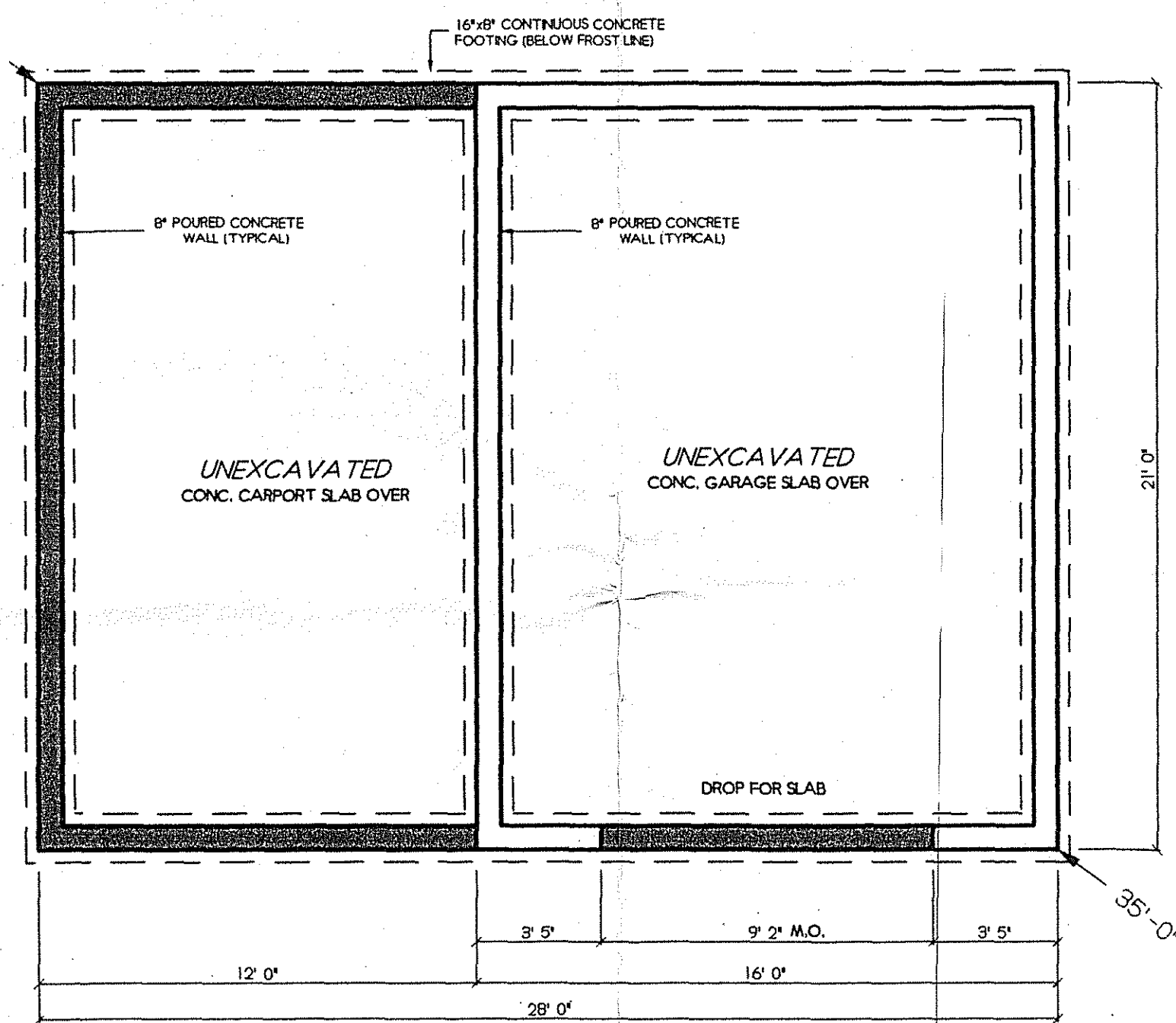
- A. EXTERIOR FOUNDATION WALLS OF CONCRETE ENCLOSING BASEMENT; BITUMINOUS COATING FOOTING TO FINISHED GRADE.
- B. EXTERIOR FOUNDATION WALLS OF MASONRY ENCLOSING BASEMENT; 3/8" PORTLAND CEMENT PARGING (COVERED) AT FOOTING TO FINISHED GRADE + BITUMINOUS COATING, FOOTING TO FINISHED GRADE.

FOUNDATION DRAINAGE

- A. SUB SOIL DRAIN SHALL BE PROVIDED AROUND PERIMETER OF ALL BASEMENTS, CELLARS, CRAWL SPACES WHERE INTERIOR GRADE IS LOWER THAN EXTERIOR.
- B. BELOW LEVEL OF FLOOR.
- C. MIN. 3" DIAMETER.
- D. MIN. 4" GRAVEL (OR EQUAL) ON ALL SIDES.
- E. TOPPED WITH #2 ROSSIN PAPER.
- F. DISCHARGED TO GRAVITY OUTFALL OR SWAMP PIT WITH PUMP.

DECAY & TERMITE PROTECTION

- A. USE APPROVED OR TREATED WOODS, OR
- B. SILL: 6" CLEAR TO EARTH, MIN.
- C. SIDING: 6" CLEAR TO EARTH, MIN.
- D. NO WOOD OR CONCRETE SLAB WHICH IS IN DIRECT CONTACT WITH EARTH.
- E. BEAMS POCKETED IN EXTERIOR MASONRY OR CONC. WALLS 1/2" CLEAR ON TOP, SIDES & ENDS



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Chris* 11/18/02  
**FOUNDATION PLAN**  
 SCALE 1/4" = 1'-0"

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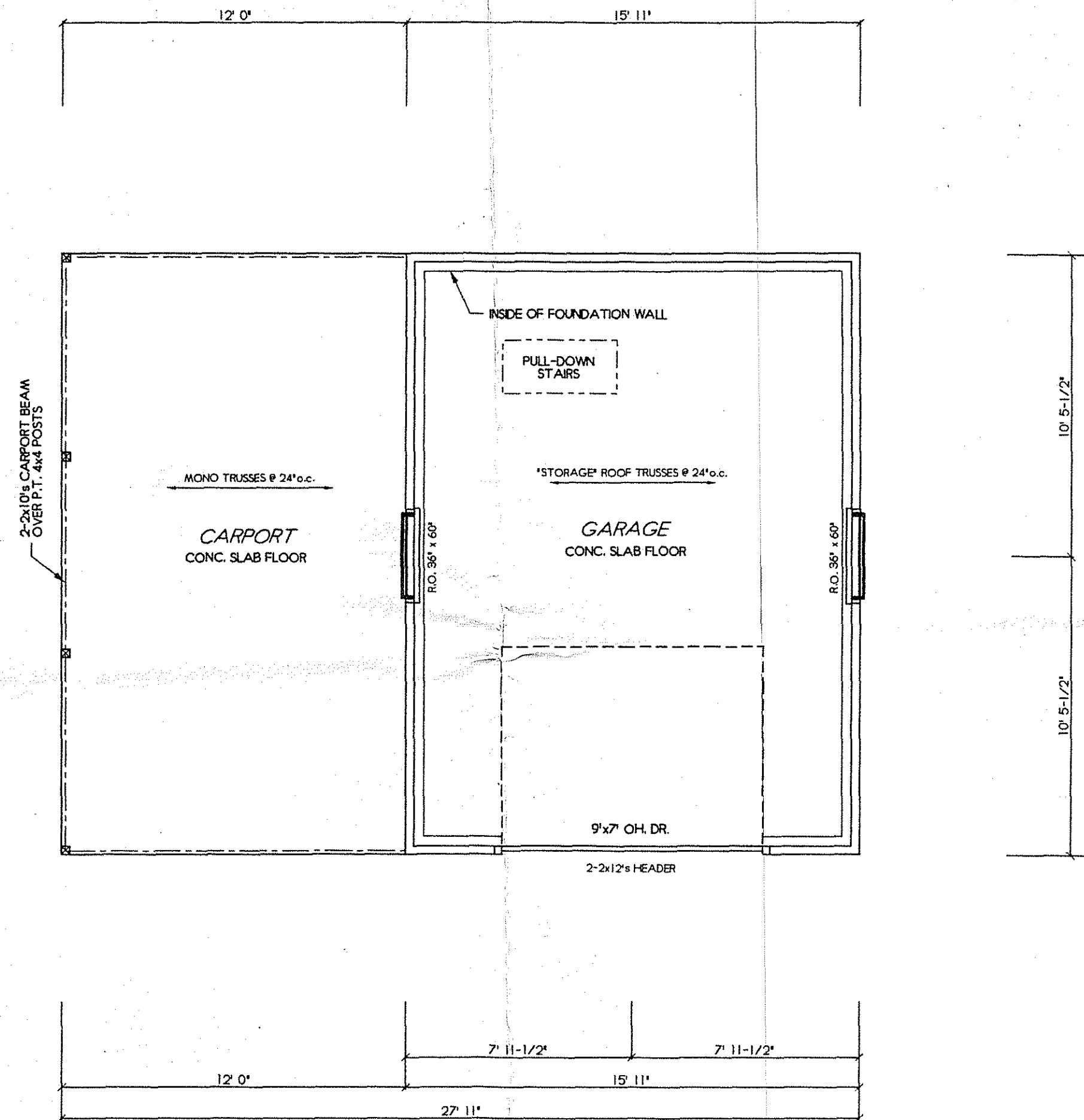
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 PHONE: (301) 733-7940  
 FAX #: (301) 824-3944  
 DIVISION OF CAVETOWN PLANNING HILL COMPANY

CUSTOMER:  
  
 MODEL: 1 CAR GARAGE W/ CARPORT  
 JOB: LOT #01 • BROOKEVILLE

REVISIONS:	
DATE	REMARKS

DRAWN BY: RAY REBERT
DATE: 11/12/2002
PROD. BY:
DATE:
APPROVED BY:
DATE:

DWG NO. <b>5393</b>
QUOTE NO. <b>0000</b>
ORDER NO. <b>0000</b>



**NOTE :**

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**1ST FLOOR PLAN**

SCALE 1/4" = 1'-0"

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DIVISION OF CAVETOWN  
 PLANING MILL COMPANY

**CUSTOMER:**



MODEL: 1 CAR GARAGE W/ CARPORT  
 JOB: LOT #01 @ BROOKEVILLE

**REVISIONS:**

DATE	REMARKS

**DRAWN BY:**

RAY REBERT  
 DATE 11/12/2002  
 PROD. BY:

DATE  
 APPROVED BY:

DATE

**DWG NO.**

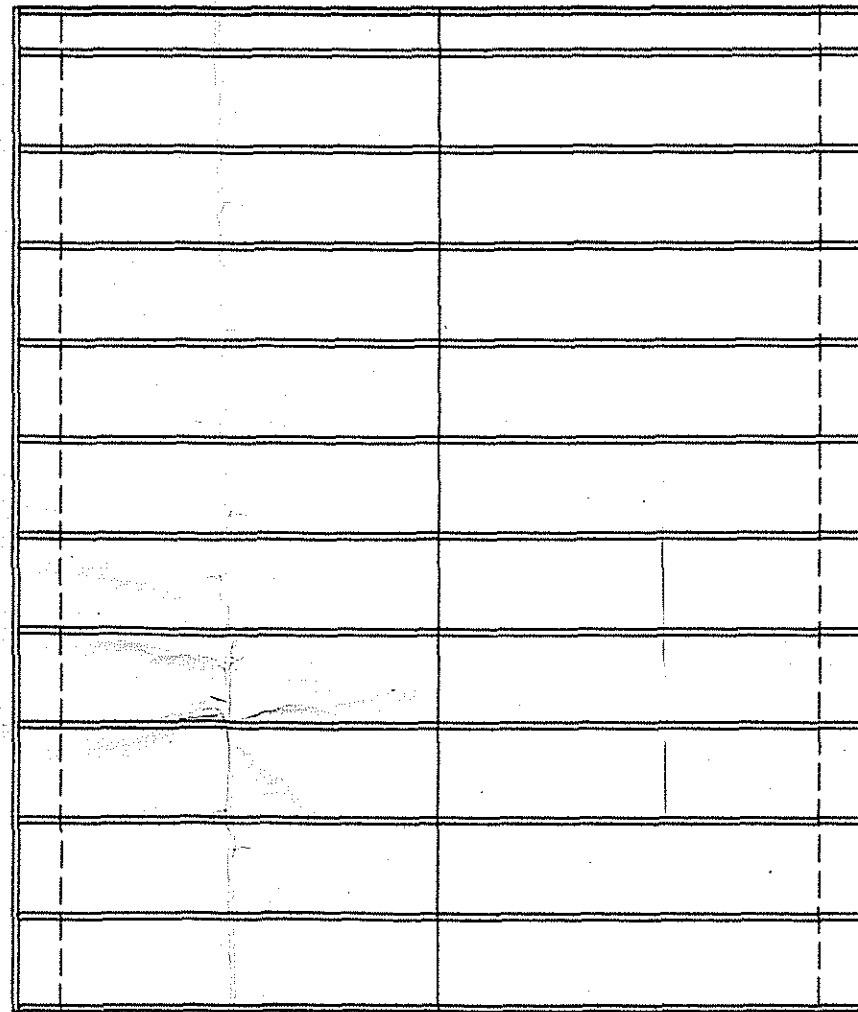
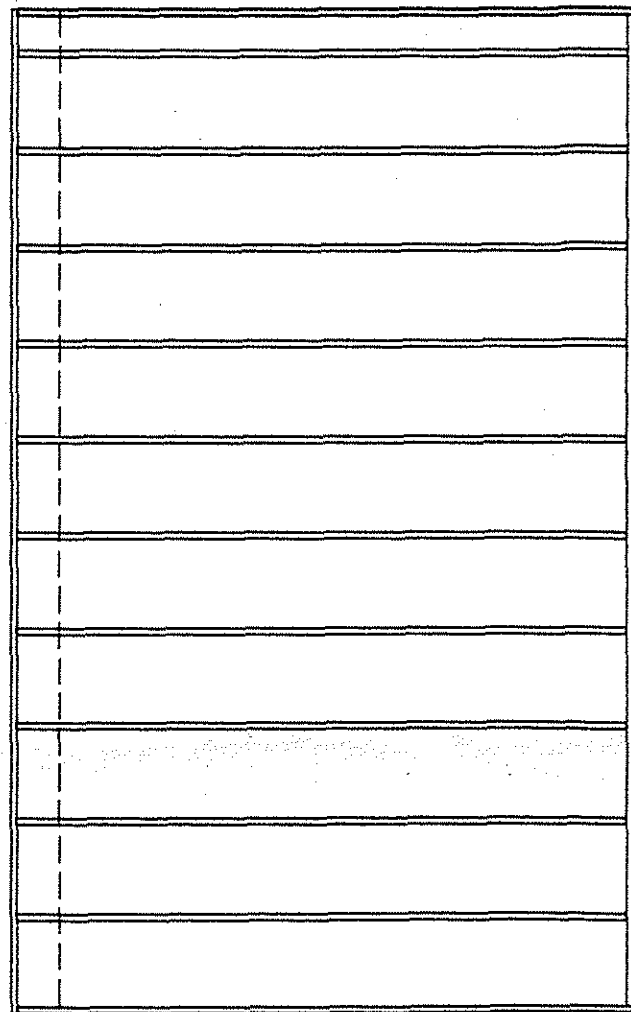
5393

**QUOTE NO.**

0000

**ORDER NO.**

0000



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Chaz* 11/18/02  
**ROOF LAYOUT**

SCALE 1/4" = 1'

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 FAX #1 (301) 824-3944

DIVISION OF CAVETOWN  
 PLANING MILL COMPANY

CUSTOMER



MODEL: 1 CAR GARAGE W/ CARPORT  
 JOB: LOT #01 • BROOKEVILLE

REVISIONS:

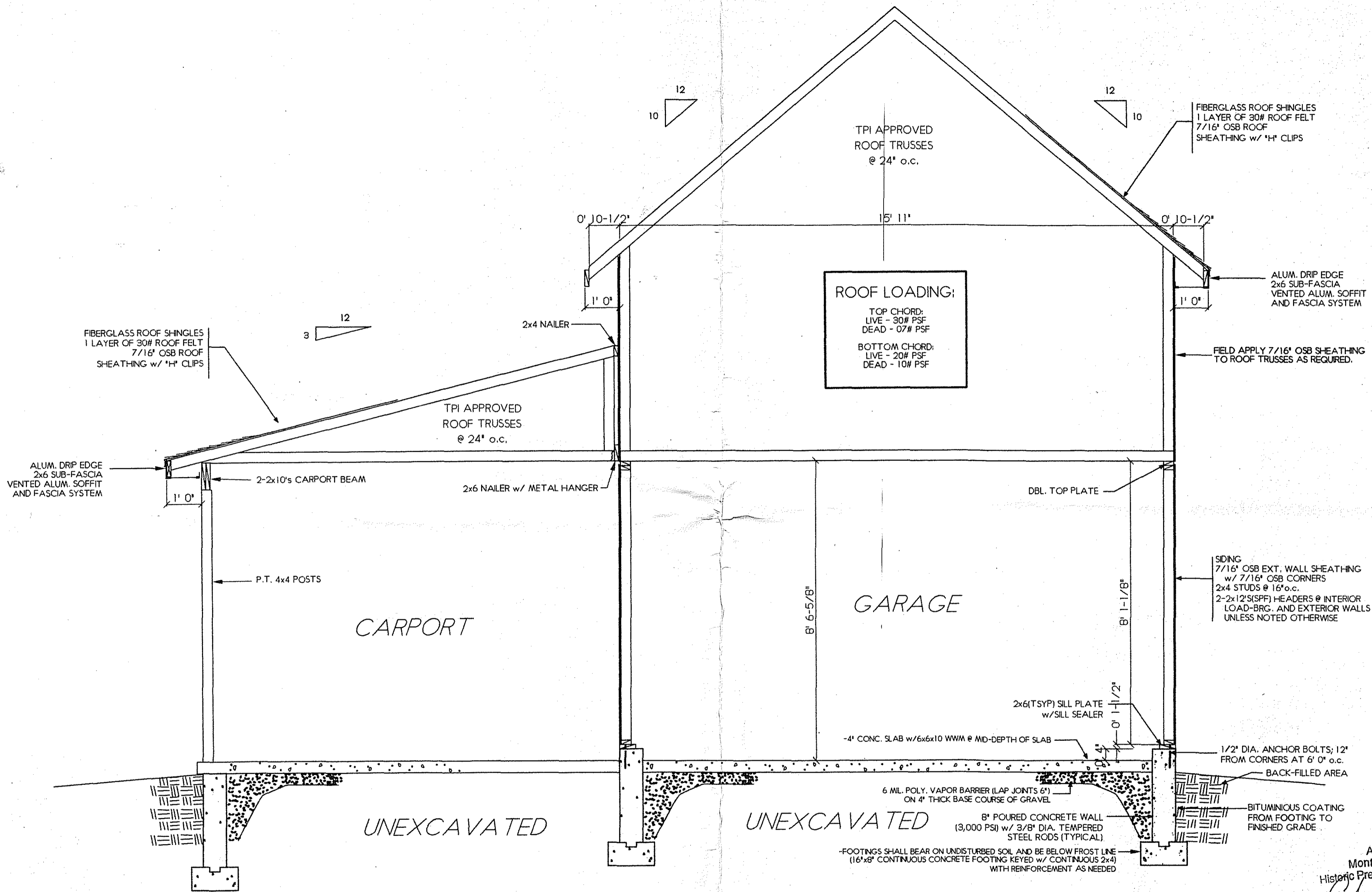
DATE	REMARKS

DRAWN BY:

RAY REBERT  
 DATE 11/12/2002  
 PROD. BY:  
 DATE  
 APPROVED BY:  
 DATE

DWG NO.

5393  
 QUOTE NO.  
 0000  
 ORDER NO.  
 0000



**ROOF LOADING:**  
 TOP CHORD:  
 LIVE - 30# PSF  
 DEAD - 07# PSF  
 BOTTOM CHORD:  
 LIVE - 20# PSF  
 DEAD - 10# PSF

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 4/18/02  
**CROSS-SECTION**  
 SCALE 1/2" = 1'-0"

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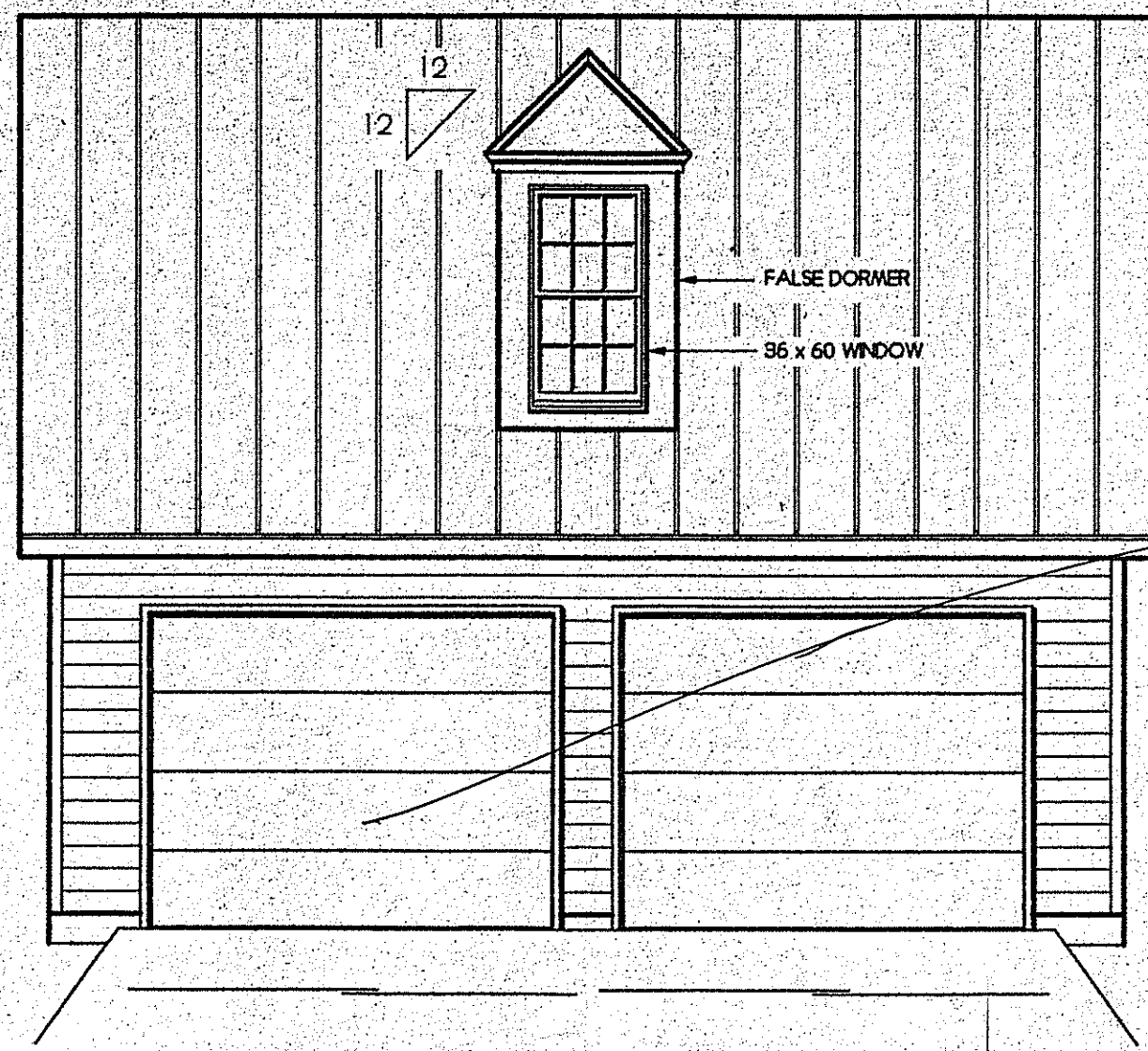
CUSTOMER:  
  
 MODEL: 1 CAR GARAGE W/ CARPORT  
 JOB: LOT #01 @ BROCKEVILLE

REVISIONS:	
DATE	REMARKS

DRAWN BY:  
 RAY REBERT  
 DATE: 11/12/2002  
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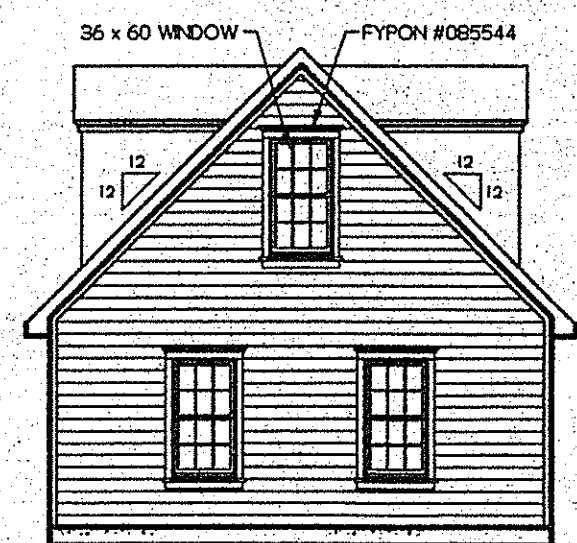




FRONT ELEVATION

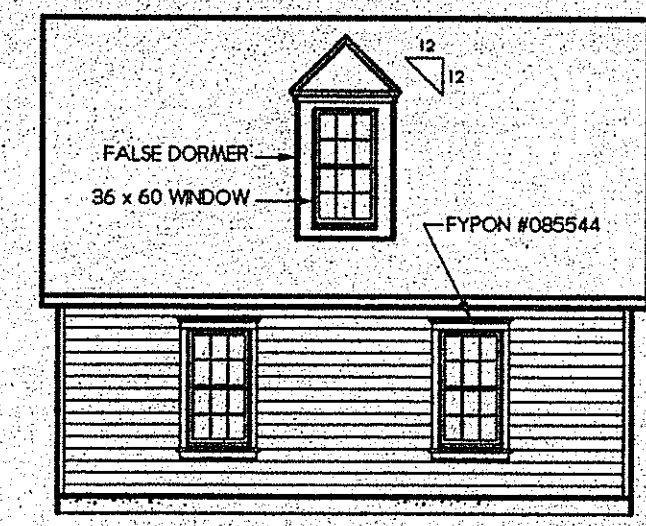
SCALE 1/4" = 1'-0"

*2 Carriage style doors*



SIDE ELEVATION

SCALE 1/8" = 1'-0"



REAR ELEVATION

SCALE 1/8" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
 11/18/02

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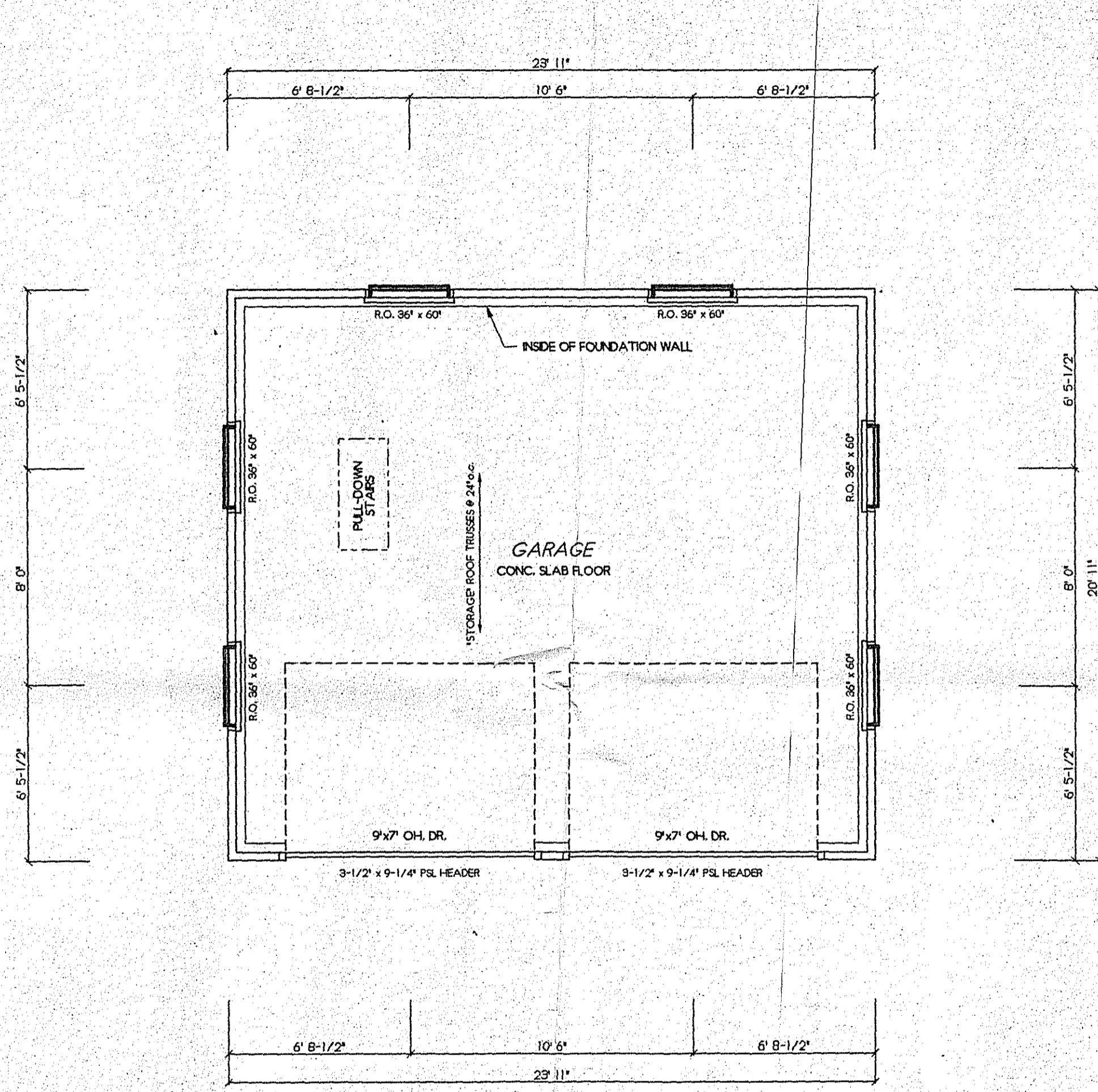
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 FAX #: (301) 824-3944  
 DIVISION OF CAVETOWN  
 PLANNING MILL COMPANY

CUSTOMER  
**Cranet Homes** LLC  
 MODEL: 2 CAR GARAGE  
 JOB: BROOKVILLE

REVISIONS	
DATE	REMARKS
11/12/2002	PERMIT PLANS

DRAWN BY: RAY REBERT
DATE: 10/28/2002
PROD. BY:
DATE:
APPROVED BY:
DATE:

DWG. NO. <b>5379</b>
QUOTE NO. <b>0000</b>
ORDER NO. <b>0000</b>



**NOTE 1**  
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APPROVED  
 Montgomery County  
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*[Signature]* 1/18/02  
**1ST FLOOR PLAN**  
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CUSTOMER  
  
**MODEL: 2 CAR GARAGE**  
**JOB: BROOKEVILLE**

REVISIONS	
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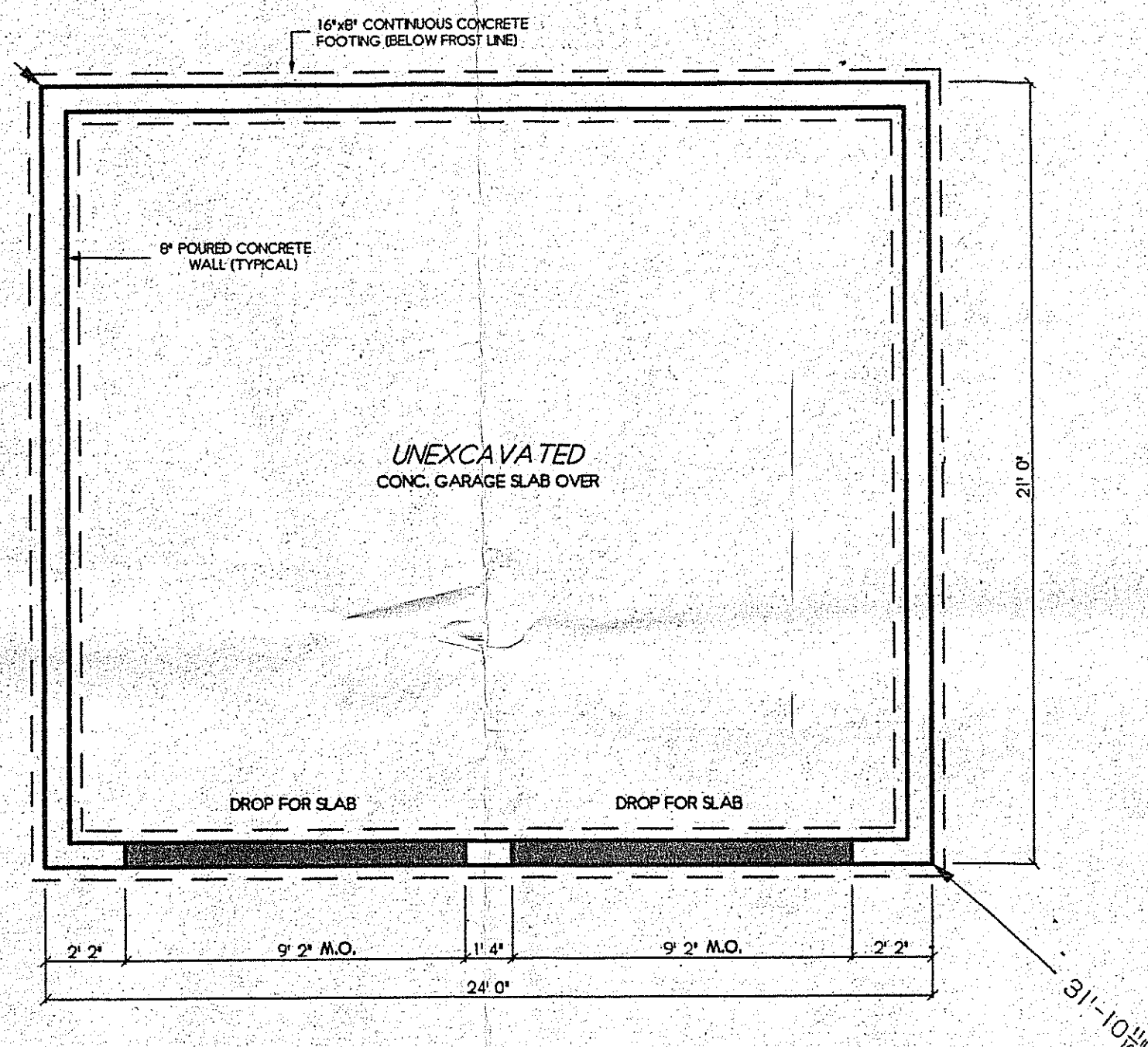
- FOOTING**
- A. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND BELOW FROST LINE (MIN. 2'-6" FINISHED GRADE TO BOTTOM).
  - B. MIN. CONTINUOUS FOOTING SIZE IS DEPTH 8" WIDTH, OF FOUNDATION WALL + 4" EACH SIDE.
  - C. MIN. CHIMNEY FOOTING SIZE IS DEPTH 12" WIDTH & LENGTH WALL MASONRY + 6" ALL SIDES.
  - D. MIN. COLUMN OR PER FOOTING SIZE (FOR NORMAL RESIDENTIAL LOADING AND AVERAGE ASSUMED SOIL BEARING CAPACITY) UNLESS OTHERWISE DETERMINED BY CALCULATION IS 24"x24"x12" THICK, ONE STORY; AND 30"x30"x15" TWO STORY.
  - E. STEPS IN ELEVATION SHOULD PROVIDE MIN. 1.5 UNITS HORIZONTAL LAP FOR EACH UNIT OF VERTICAL RISE.

- CONC. FLOOR SLAB**
- A. INTERIOR CONCRETE FLOOR SLAB (MIN. 4" THICK)
  - B. PREPARED SUB GRADE COMPACTED, NO VEGETATION.
  - C. MIN. 4" THICK BASE COURSE GRAVEL, SAND OR EQUAL.
  - D. VAPOR BARRIER LAP JOINTS 6"
  - E. CONTROL JOINTS NO EXPOSE TO EXCEED 90 LF, AND AT OFFSETS GREATER THAN 10' - OR - 6"x6" 10 GAGE WELDED WIRE MESH AT MID-DEPTH OF SLAB.

- DAMP-PROOFING**
- A. EXTERIOR FOUNDATION WALLS OF CONCRETE ENCLOSING BASEMENT; BITUMINOUS COATING FOOTING TO FINISHED GRADE.
  - B. EXTERIOR FOUNDATION WALLS OF MASONRY ENCLOSING BASEMENT; 9/8" PORTLAND CEMENT PARING (COVERED) AT FOOTING TO FINISHED GRADE + BITUMINOUS COATING, FOOTING TO FINISHED GRADE.

- FOUNDATION DRAINAGE**
- A. SUB SOIL DRAIN SHALL BE PROVIDED AROUND PERIMETER OF ALL BASEMENTS, CELLARS, CRAWL SPACES WHERE INTERIOR GRADE IS LOWER THAN EXTERIOR.
  - B. BELOW LEVEL OF FLOOR.
  - C. MIN. 3" DIAMETER.
  - D. MIN. 4" GRAVEL (OR EQUAL) ON ALL SIDES.
  - E. TOPPED WITH 1/2" RED ROBIN PAPER.
  - F. DISCHARGED TO GRAVITY OUTFALL OR SUMP PIT WITH PUMP.

- DECAY & TERMITE PROTECTION**
- A. USE APPROVED OR TREATED WOODS, OR
  - B. SILL 6" CLEAR TO EARTH, MIN.
  - C. SING. 6" CLEAR TO EARTH, MIN.
  - D. NO WOOD OR CONCRETE SLAB WHICH IS IN DIRECT CONTACT WITH EARTH.
  - E. BEAMS POCKETED IN EXTERIOR MASONRY OR CONC. WALLS 1/2" CLEAR ON TOP, SIDES & ENDS



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 11/08/02  
**FOUNDATION PLAN**  
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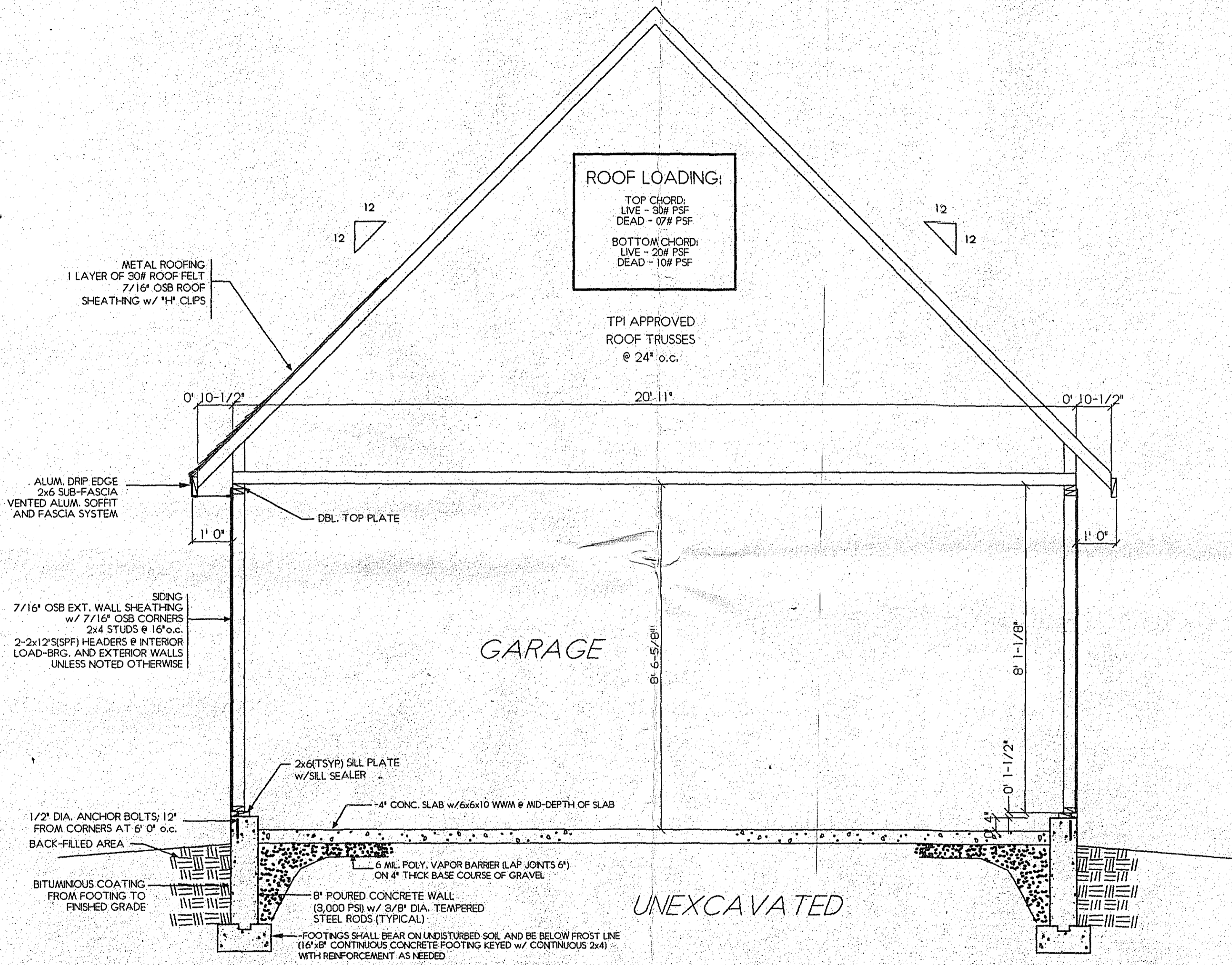
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CUSTOMER:  
  
**MODEL: 2 CAR GARAGE**  
**JOB: BROOKEVILLE**

REVISIONS	
DATE	REMARKS
11/12/2002	PERMIT PLANS.

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APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]* 11/18/02

CROSS-SECTION

SCALE 1/2" = 1'

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**CAVCO HOMES, INC.**  
 P.O. BOX 75  
 12105 MAPLEVILLE RD.  
 CAVETOWN, MD 21720  
 PHONE (301) 733-7940  
 FAX #1 (301) 824-3944

DIVISION OF CAVETOWN  
 PLANING MILL COMPANY

CUSTOMER

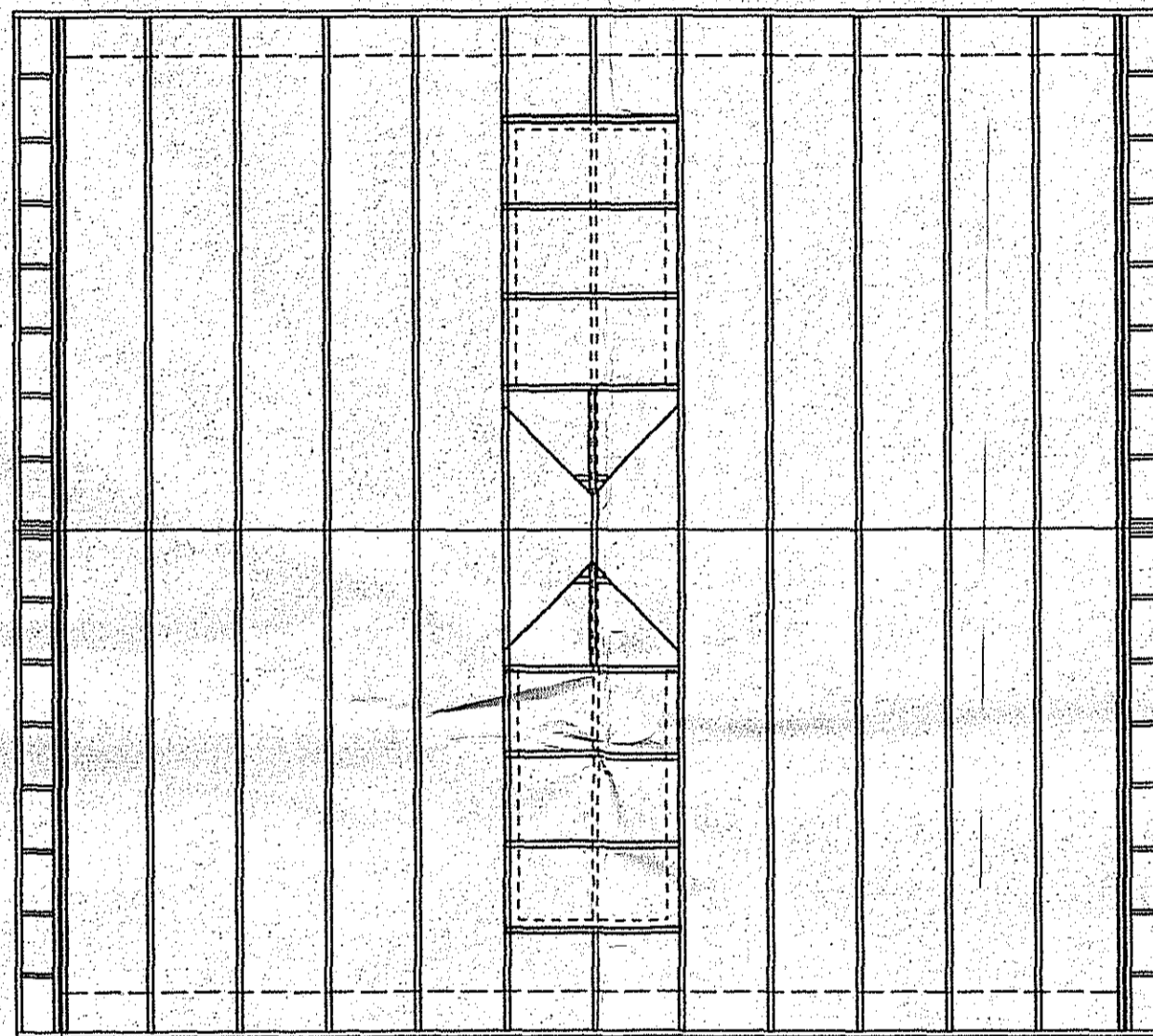
**Crane Homes** LLC

MODEL: 2 CAR GARAGE  
 JOB: BROOKEVILLE

REVISIONS	
DATE	REMARKS
11/12/2002	PERMIT PLANS.

DRAWN BY RAY REBERT
DATE 10/28/2002
PROD. BY
DATE
APPROVED BY
DATE

DWG NO. 5379
QUOTE NO. 0000
ORDER NO. 0000



ROOF TRUSSES @ 24"o.c. →

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* 11/18/02  
**ROOF LAYOUT**

SCALE 1/4" = 1'-0"

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**CAVCO HOMES**

DIVISION OF CAVETOWN  
PLANNING & MILL COMPANY

CUSTOMER

**Crane Homes**  
LLC

MODEL: 2 CAR GARAGE  
JOB: BROOKEVILLE

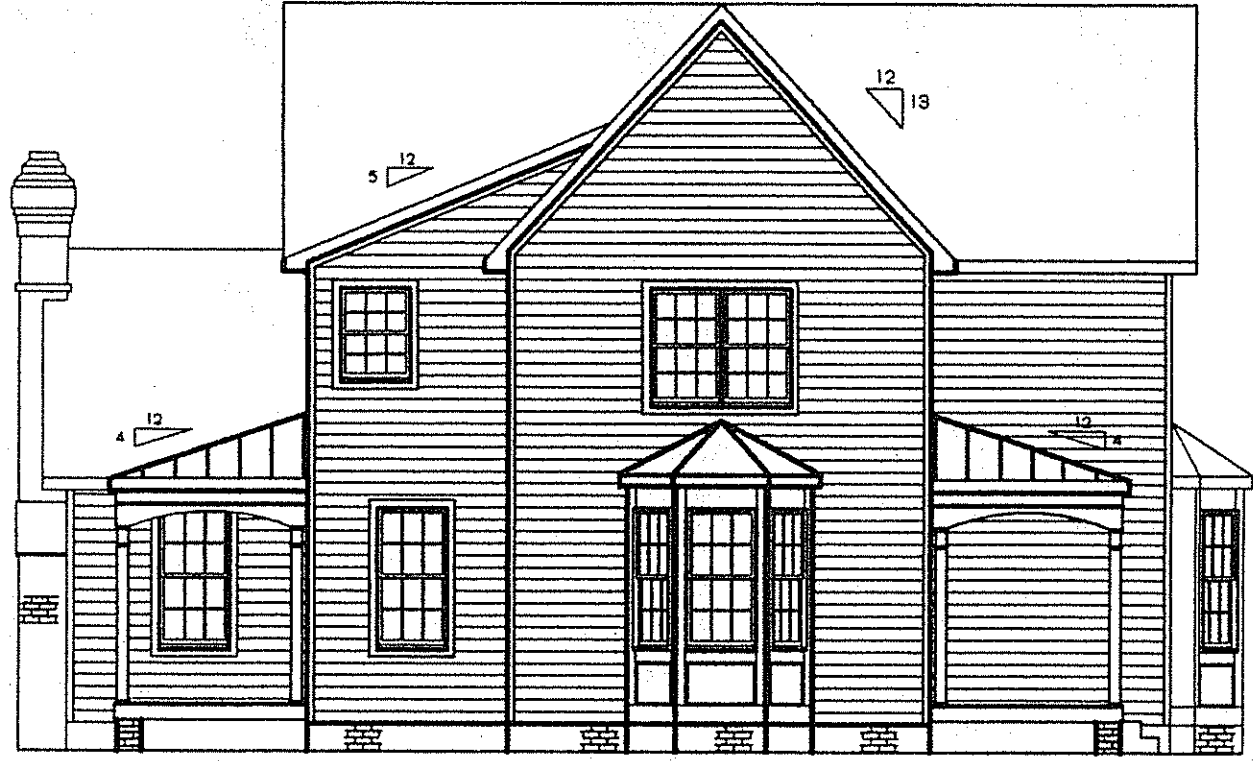
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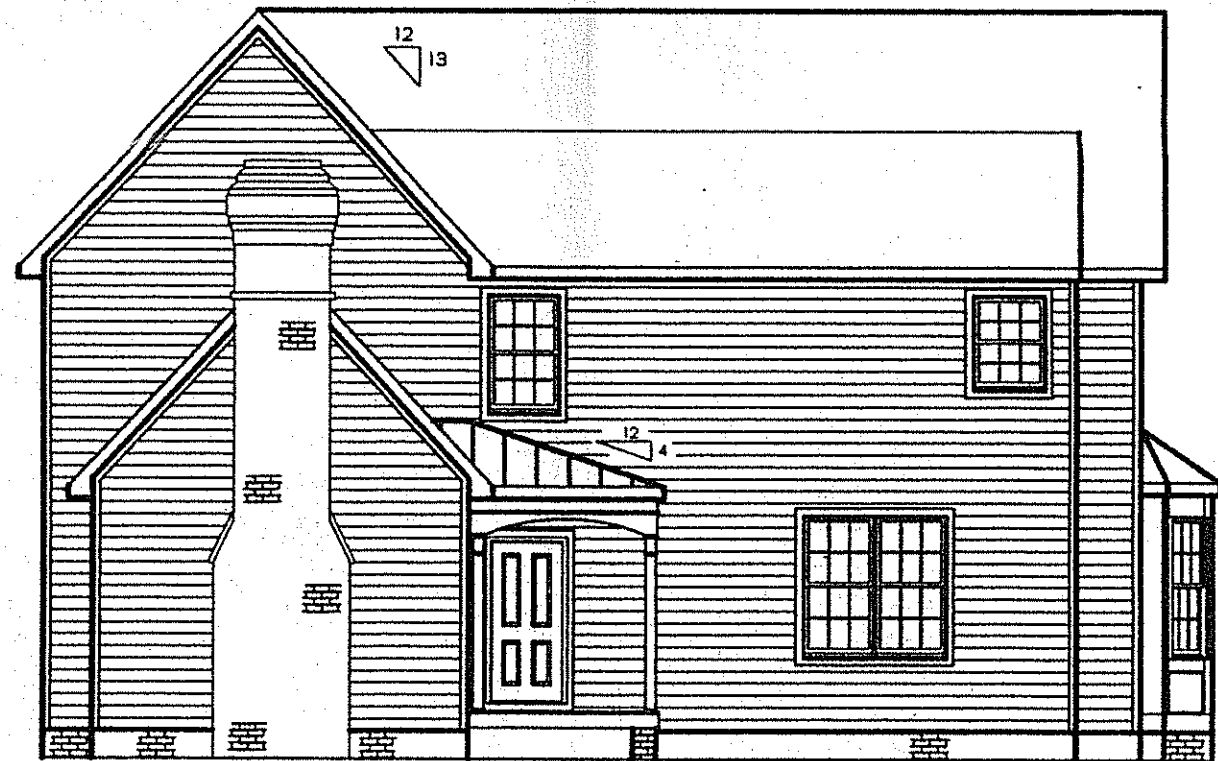
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QUOTE NO. <b>0000</b>
ORDER NO. <b>0000</b>



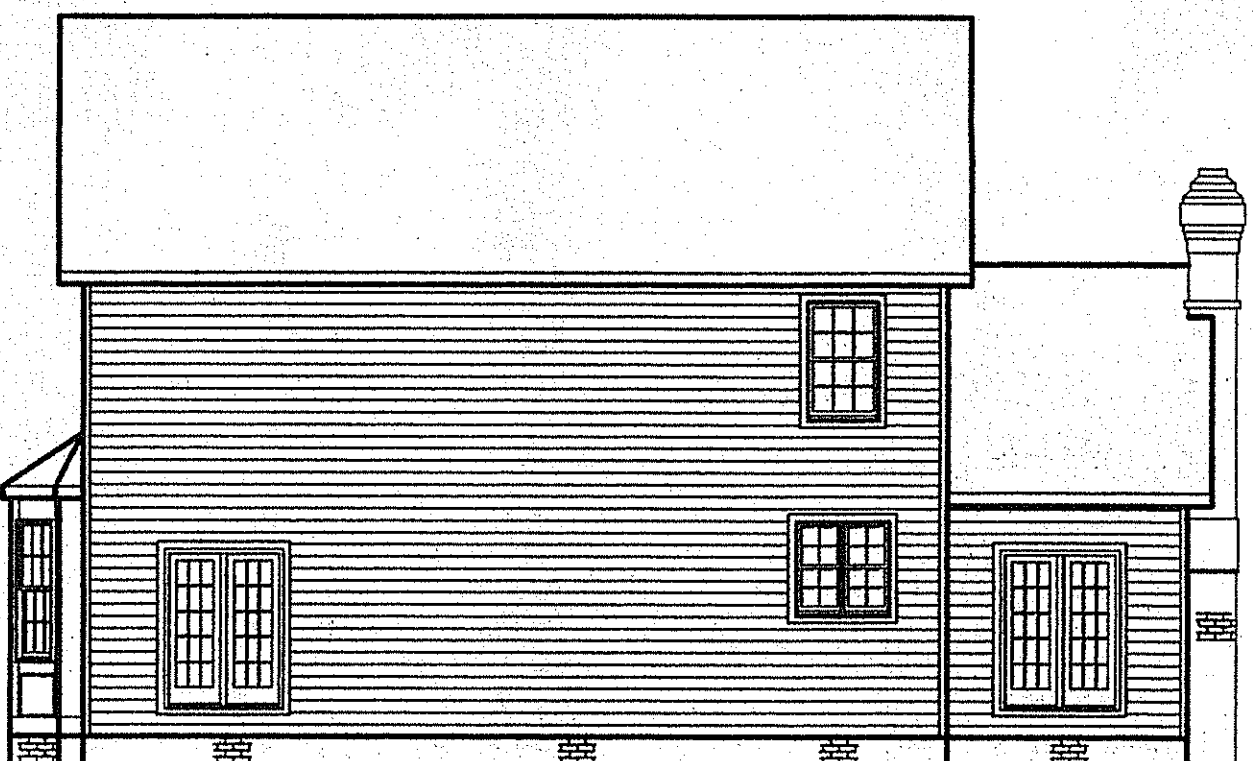
FRONT ELEVATION  
SCALE 1/4" = 1'-0"



LEFT ELEVATION  
SCALE 1/8" = 1'-0"



REAR ELEVATION  
SCALE 1/8" = 1'-0"



RIGHT ELEVATION  
SCALE 1/8" = 1'-0"

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Montgomery County  
Historic Preservation Commission  
*[Signature]* 11/13/02

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CAVETOWN, MD 21720  
PHONE: (301) 793-7940  
FAX #: (301) 624-3944

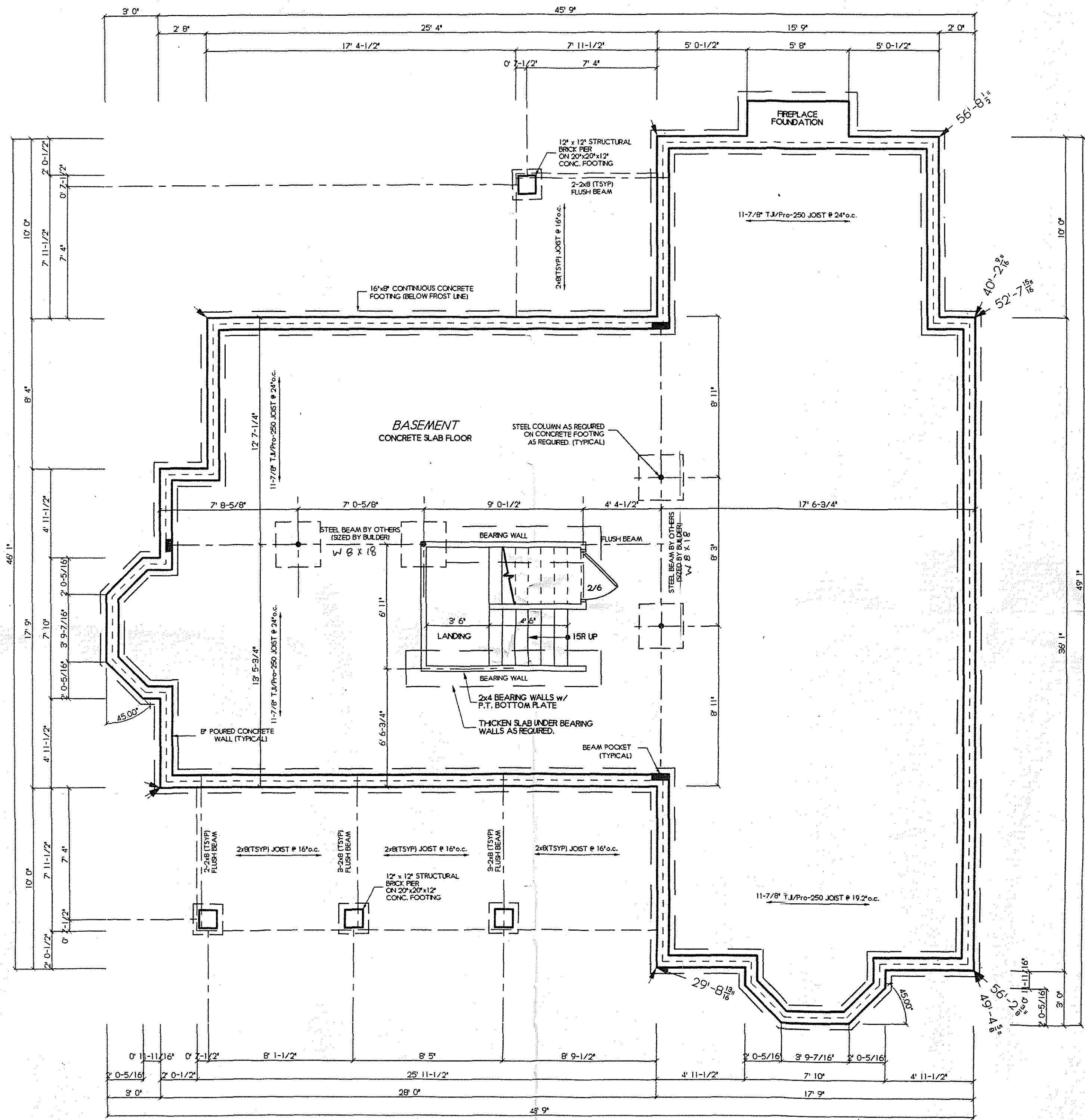
**CAVCO HOMES**  
DIVISION OF CAVETOWN PLANNING HILL COMPANY

CUSTOMER:

**Crane Homes LLC**  
MODEL: THE JACKSON  
JOB: LOT #03 • BROCKEVILLE

REVISIONS		DRAWN BY:	DWG NO.
DATE	REMARKS	RAY REBERT	5378
11/13/2002	CHANGES PER MARKED UP PLANS, PERMIT PLANS, (RLR)	DATE	QUOTE NO.
		10/25/2002	0000
		PROD. BY:	ORDER NO.
		DATE	0000

- FOOTINGS**
  - A. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND BELOW FROST LINE (MIN. 2'-0" FINISHED GRADE TO BOTTOM).
  - B. MIN. CONTINUOUS FOOTING SIZE IS 12" x 12" x 12".
  - C. MIN. CHIMNEY FOOTING SIZE IS 12" x 12" x 12" WITH 4" LENGTH W/L MASONRY + 6" ALL SIDES.
  - D. MIN. COLUMN OR PER FOOTING SIZE FOR NORMAL RESIDENTIAL LOADING AND AVERAGE ASSUMED SOIL BEARING CAPACITY UNLESS OTHERWISE DETERMINED BY CALCULATION IS 24" x 24" x 12" THICK, ONE STORY; AND 30" x 30" x 12" TWO STORY.
  - E. STEPS/ELEVATION SHOULD PROVIDE MIN. 1.5 UNITS HORIZONTAL LAP FOR EACH UNIT OF VERTICAL RISE.
- CONCRETE SLAB**
  - A. INTERIOR CONCRETE FLOOR SLAB (MIN. 4" THICK)
  - B. PREPARED SUB GRADE COMPACTED, NO VEGETATION.
  - C. MIN. 4" THICK BASE COURSE GRAVEL, SAND OR EQUAL.
  - D. VAPOR BARRIER LAP JOINTS 6" +
  - E. CONTROL JOINTS NO SPANSE TO EXCEED 30 LF. AND AT OFFSETS GREATER THAN 10' - OR - 6" x 6" 10 GAGE WELDED WIRE MESH AT MID-DEPTH OF SLAB.
- DAMP-PROOFING**
  - A. EXTERIOR FOUNDATION WALLS OF CONCRETE ENCLOSED BASEMENT; BITUMINOUS COATING FOOTING TO FINISHED GRADE.
  - B. EXTERIOR FOUNDATION WALLS OF MASONRY ENCLOSED BASEMENT; 3/8" PORTLAND CEMENT PARSING (COVERED) AT FOOTING TO FINISHED GRADE + BITUMINOUS COATING; FOOTING TO FINISHED GRADE.
- FOUNDATION DRAINAGE**
  - A. 3/8" SOIL DRAIN SHALL BE PROVIDED AROUND PERIMETER OF ALL BASEMENTS, CELLARS, CRAWL SPACES WHERE INTERIOR GRADE IS LOWER THAN EXTERIOR.
  - B. BELOW LEVEL OF FLOOR.
  - C. MIN. 3" DIAMETER.
  - D. MIN. 4" GRAVEL (OR EQUAL) ON ALL SIDES.
  - E. TOPPED WITH "RED ROBIN PAPER".
  - F. DISCHARGED TO GRAVITY OUTFALL OR SUMP PIT WITH PUMP.
- CRAWL SPACE**
  - A. JOIST 18" CLEAR BEAMS 12" CLEAR TO EARTH, MIN.
  - B. MIN. 18" x 24" ACCESS PANEL.
  - C. MIN. 1/150 UNDERFLOOR AREA VENTS - OR - 1/1500 UNDERFLOOR AREA WITH VAPOR BARRIER, ONE VENT WITH 8 FT. OF EACH CORNER.
- DECAY & TERMITES PROTECTION**
  - A. USE APPROVED OR TREATED WOODS, OR
  - B. 3/4" x 6" CLEAR TO EARTH, MIN.
  - C. 3/4" x 6" CLEAR TO EARTH, MIN.
  - D. NO WOOD OR CONCRETE SLAB WHICH IS IN DIRECT CONTACT WITH EARTH.
  - E. BEAMS POCKETED IN EXTERIOR MASONRY OR CONC. WALLS 1/2" CLEAR ON TOP, SIDES & ENDS.
- MASONRY VENEER**
  - A. WEATHER RESISTANT MEMBRANCE (15# FELT) REQUIRED TO COVER ALL EXPOSED WOOD AND 6" STRIPS TO COVER OPEN JOINTS OF OTHERWISE APPROVED SHEATHING MATERIAL.
  - B. ATTACHED TO WOOD FRAME W/APPROVED TIES @ 24" o.c. HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 8'-1/4" SQ. FT. OF WALL AREA WITH 1" AIR SPACE.
- CHIMNEYS**
  - A. FIREPLACE OPENING IS LESS THAN 6 SQ. FT., MIN. HEARTH PROJECTION IS 16" FRONT, 8" EACH SIDE, 6 SQ. FT. OR MORE, 20" FRONT, 12" SIDE.
  - B. INTERIOR CHIMNEY'S MIN. 2" CLEARANCE TO COMBUSTIBLE EXTERIOR MIN. 1"
  - C. CHIMNEY'S SHALL EXTEND AT LEAST 2' ABOVE THE HIGHEST POINT WHERE THEY PASS THE ROOF OF A BUILDING AND AT LEAST 2' HIGHER THAN ANY PORTION OF BUILDING WITH-IN 10'.



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**FOUNDATION PLAN**  
SCALE 1/4" = 1'-0"

**CAVCO HOMES, INC.**  
P.O. BOX 75  
12105 MAPLEVILLE RD.  
CAVETOWN, MD 21720  
PHONE (301) 793-7940  
FAX # (301) 824-9944

DIVISION OF CAVETOWN PLANNING HILL COMPANY

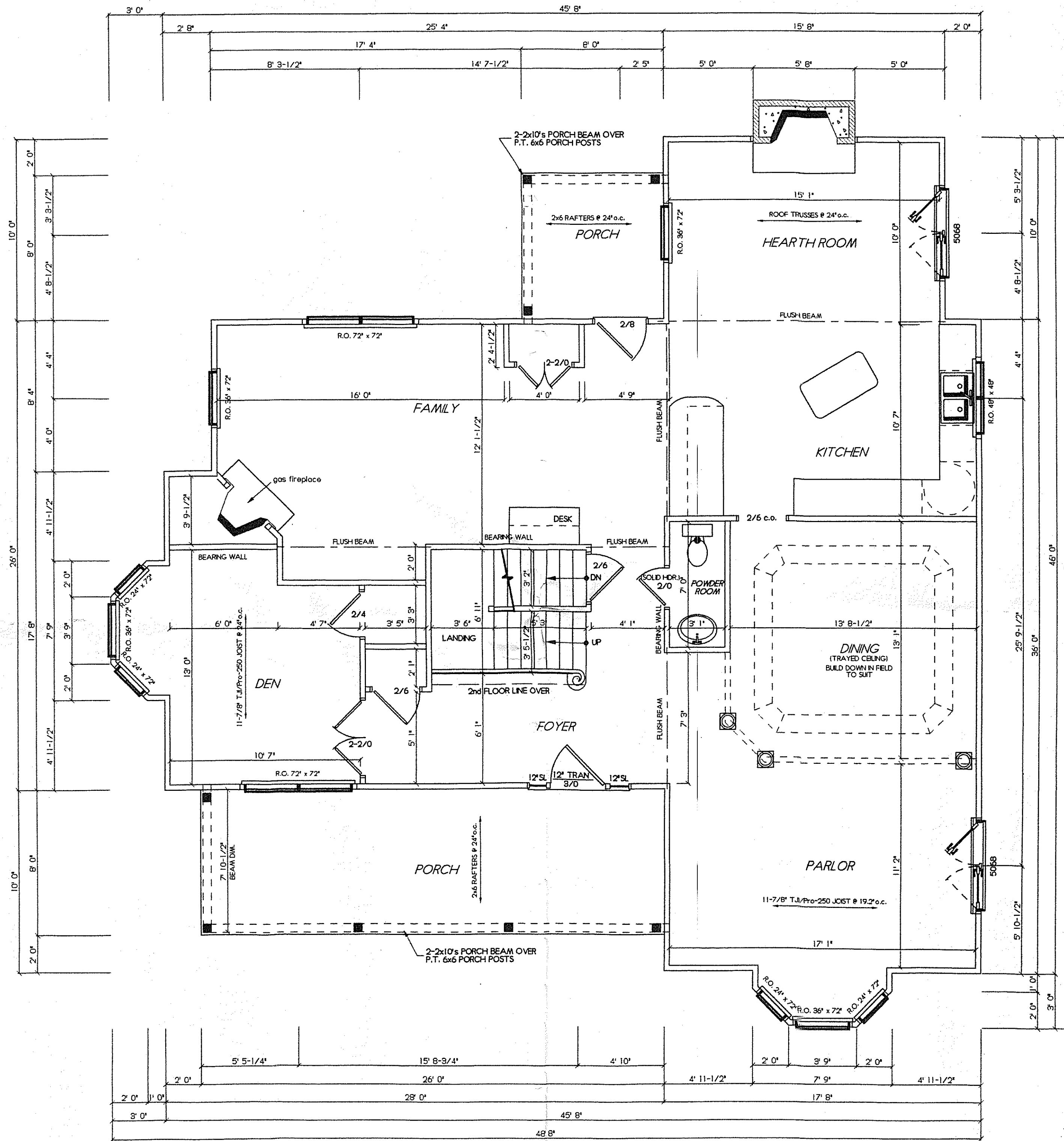
CUSTOMER:

**Crane Homes LLC**  
MODEL: THE JACKSON  
JOB: LOT #03 @ BROOKVILLE

REVISIONS	
DATE	REMARKS
RLS 11/15/02	CHANGES PER MARKED UP PLANS
11/15/2002	CHANGES PER MARKED UP PLANS, PERMIT PLANS. (RLR)

DRAWN BY: RAY REBERT	DWG NO. 5378
DATE 10/25/2002	QUOTE NO. 0000
PROD. BY	ORDER NO. 0000
DATE	

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 11/18/02



SHEATHING FLUSH w/ DECK

**NOTE:**

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1537 SQ. FT.  
**1ST FLOOR PLAN**  
SCALE 1/4" = 1'-0"

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DIVISION OF CAVETOWN  
PLANNING MILL COMPANY

CUSTOMER:

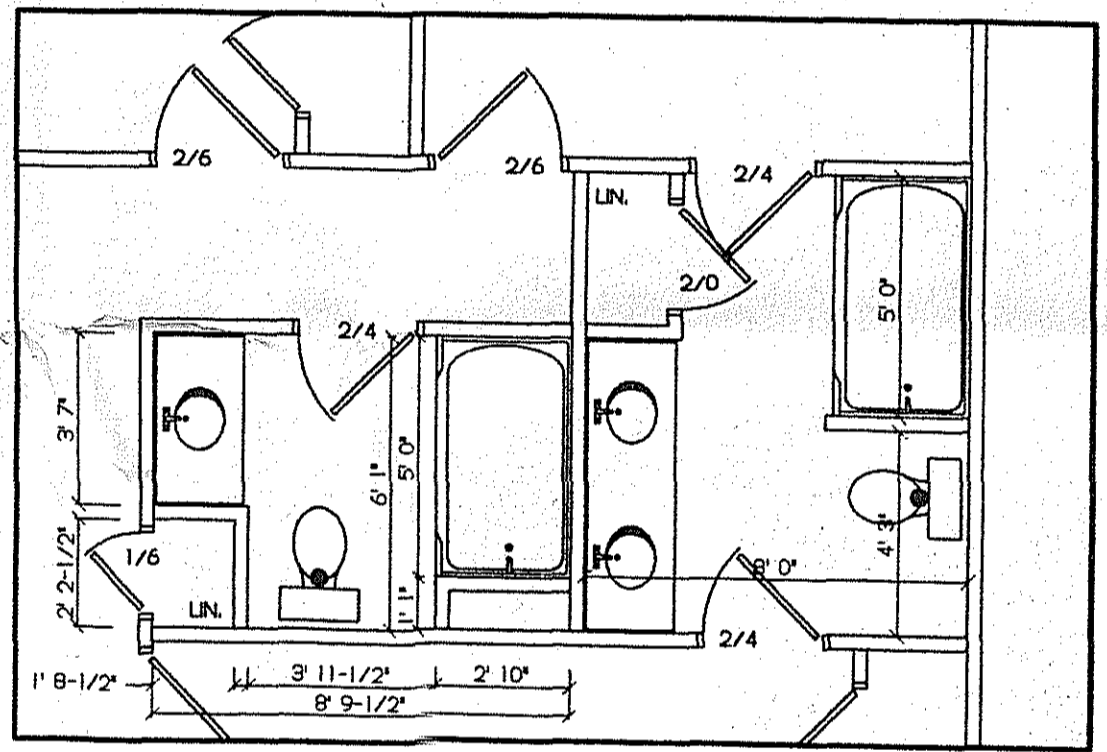
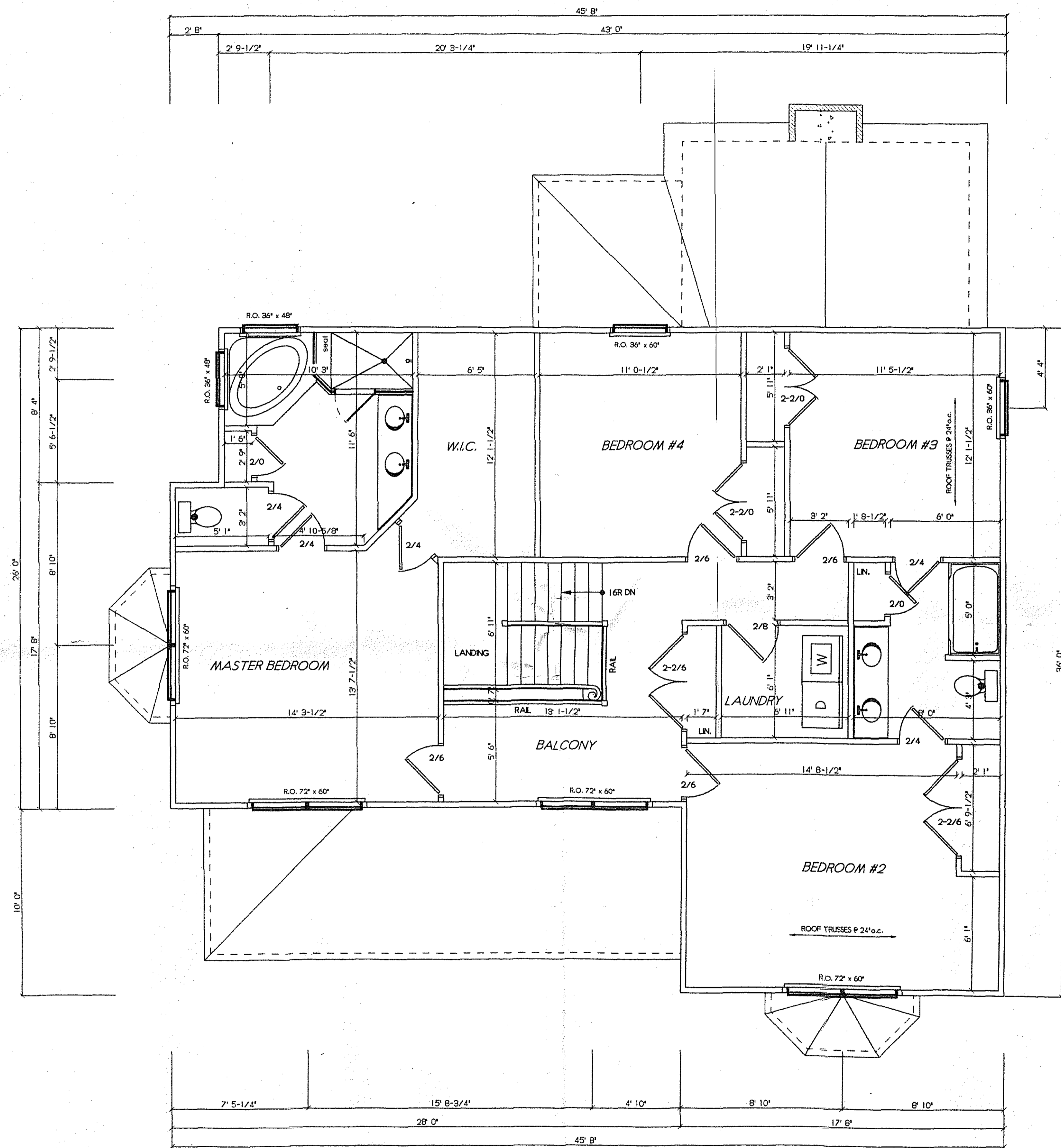
**Crane Homes**  
LLC  
MODEL: THE JACKSON  
JOB: LOT #03 @ BROCKEVILLE

DATE	REVISIONS	REMARKS
11/13/2002	1	CHANGES PER MARKED UP PLANS, PERMIT PLANS, (PLR)

DRAWN BY:	RAY REBERT
DATE:	10/25/2002
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 Historic Preservation Commission  
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1275 SQ. FT.  
**2ND FLOOR PLAN**  
 SCALE 1/4" = 1'

**CAVCO HOMES, INC.**  
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 12105 MAPLEVILLE RD.  
 CAVETOWN, MD 21720  
 PHONE (301) 733-7940  
 FAX # (301) 824-3944

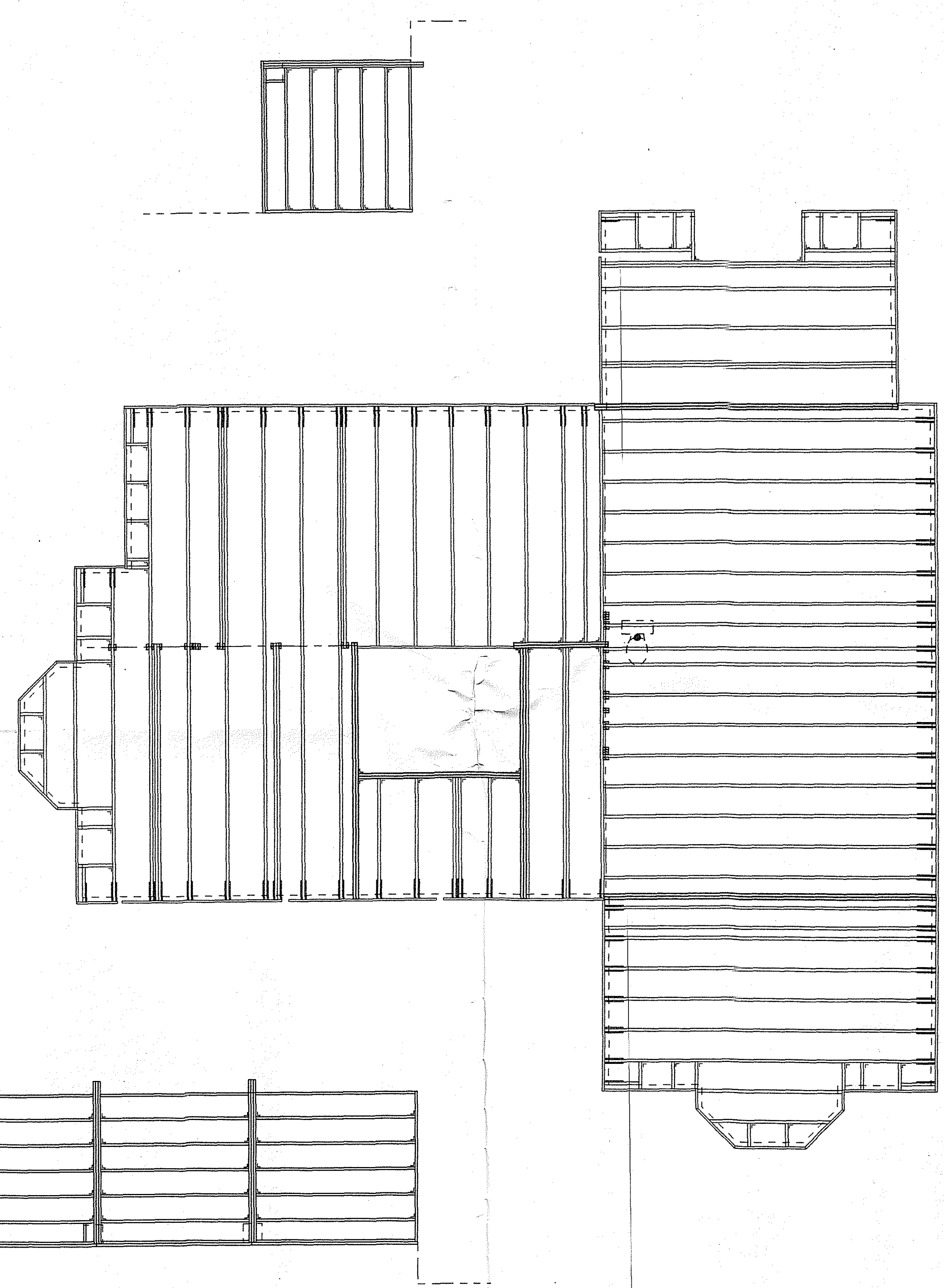
DIVISION OF CAVETOWN PLANNING HILL COMPANY

CUSTOMER

**Crane Homes** LLC  
 MODEL: THE JACKSON  
 JOB: LOT #03 @ BROCKEVILLE

DATE	REMARKS
11/14/02	CHANGES PER MARKED UP PLANS
11/13/2002	CHANGES PER MARKED UP PLANS, PERMIT PLANS (PLR)

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1ST FLOOR SYSTEM  
 SCALE 1/4" = 1'-0"

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**CAVCO HOMES**  
 DIVISION OF CAVETOWN PLANNING HILL COMPANY

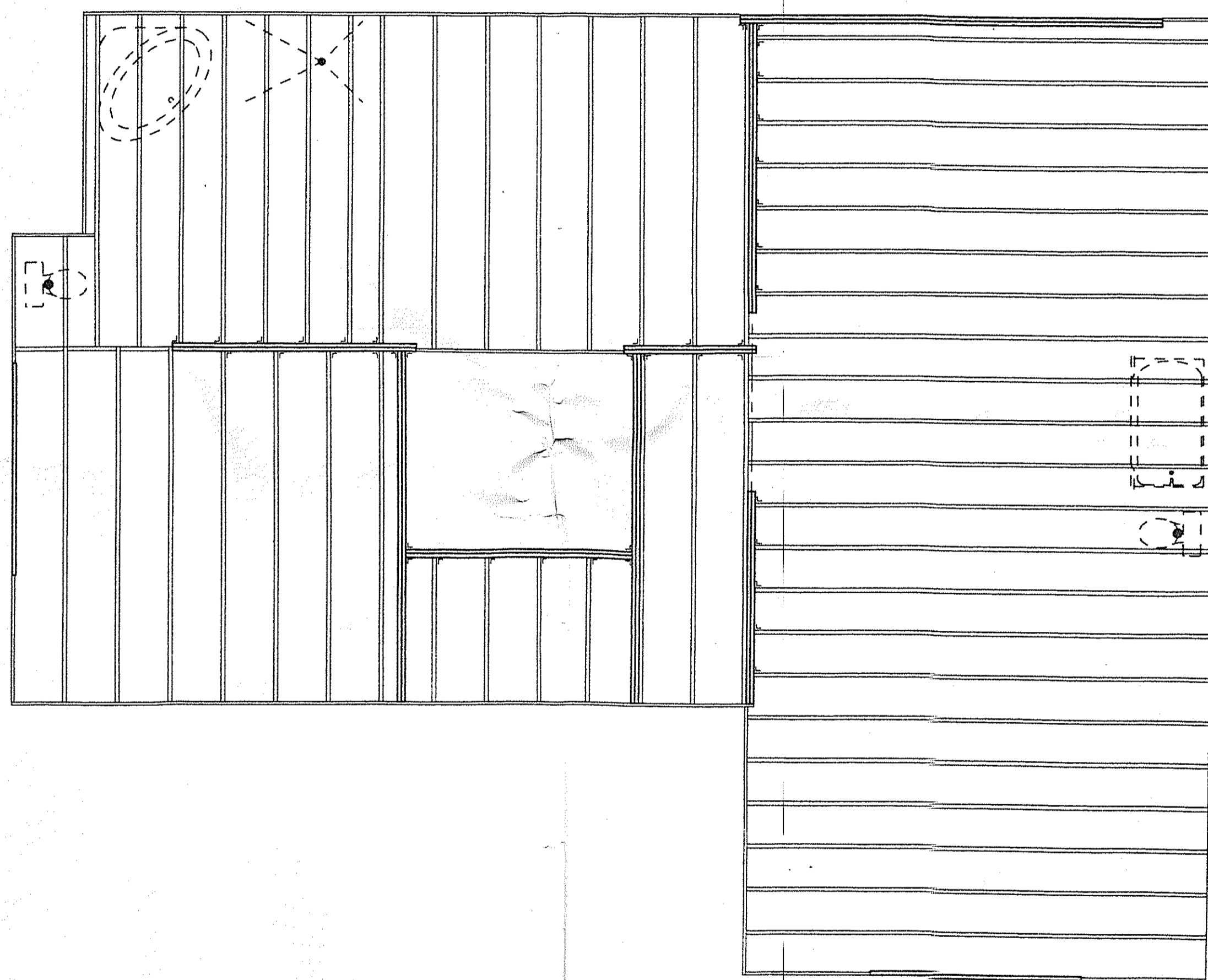
CUSTOMER:

**Cranet Homes LLC**  
 MODEL: THE JACKSON  
 JOB: LOT #03 @ BROCKEVILLE

REVISIONS	REMARKS
DATE: 11/13/2002	CHANGES PER MARKED UP PLANS, PERMIT PLANS, (RL)
DATE: 11/13/2002	CHANGES PER MARKED UP PLANS, PERMIT PLANS, (RL)

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Historic Preservation Commission

*[Signature]* 11/19/02

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2ND FLOOR SYSTEM

SCALE 1/4" = 1'-0"



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DIVISION OF CAVETOWN  
PLANNING MILL COMPANY

CUSTOMER:



MODEL: THE JACKSON  
JOB: LOT #03 @ BROOKEVILLE

REVISIONS:

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RAY REBERT

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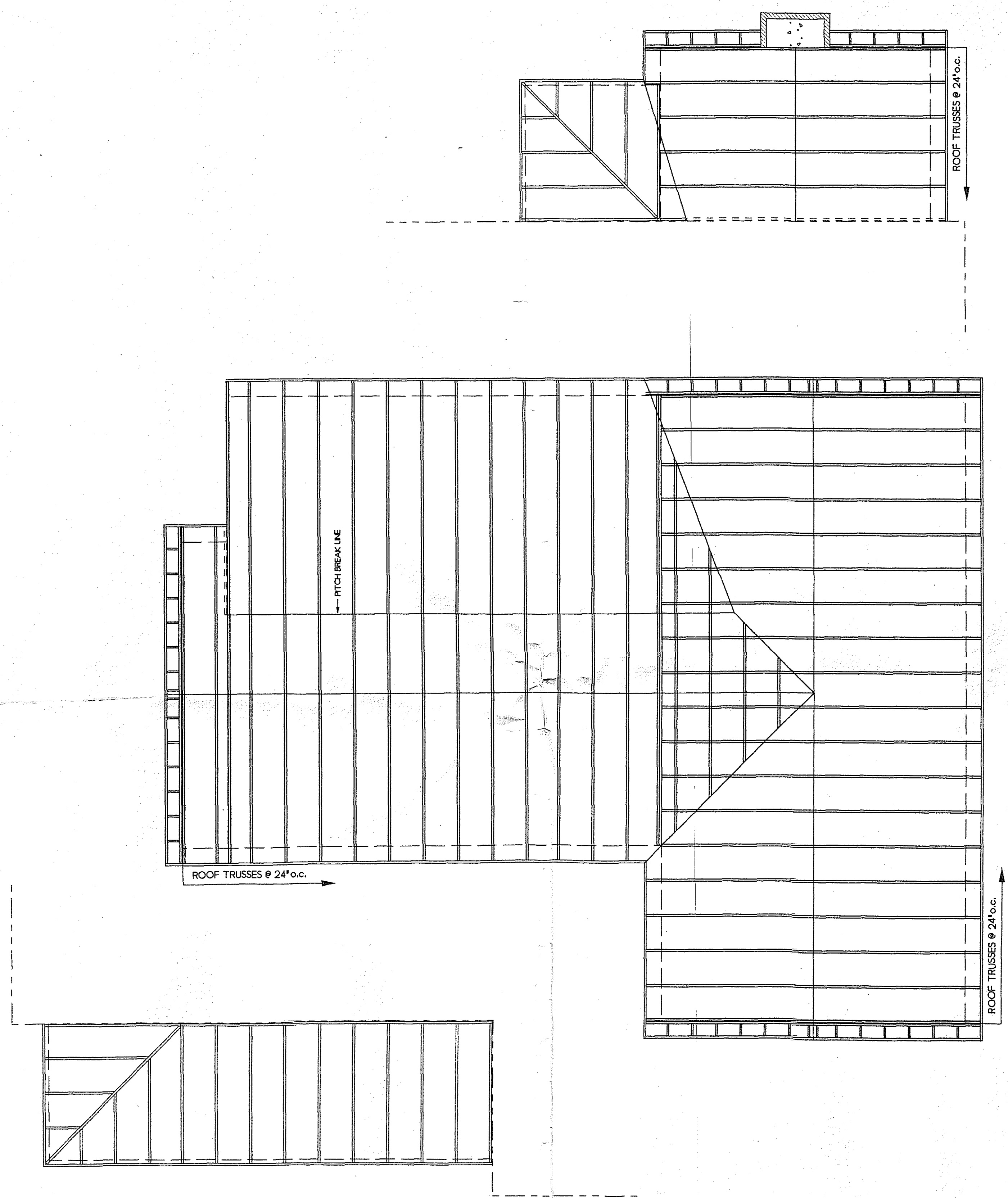
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ROOF LAYOUT  
 SCALE 1/4" = 1'-0"

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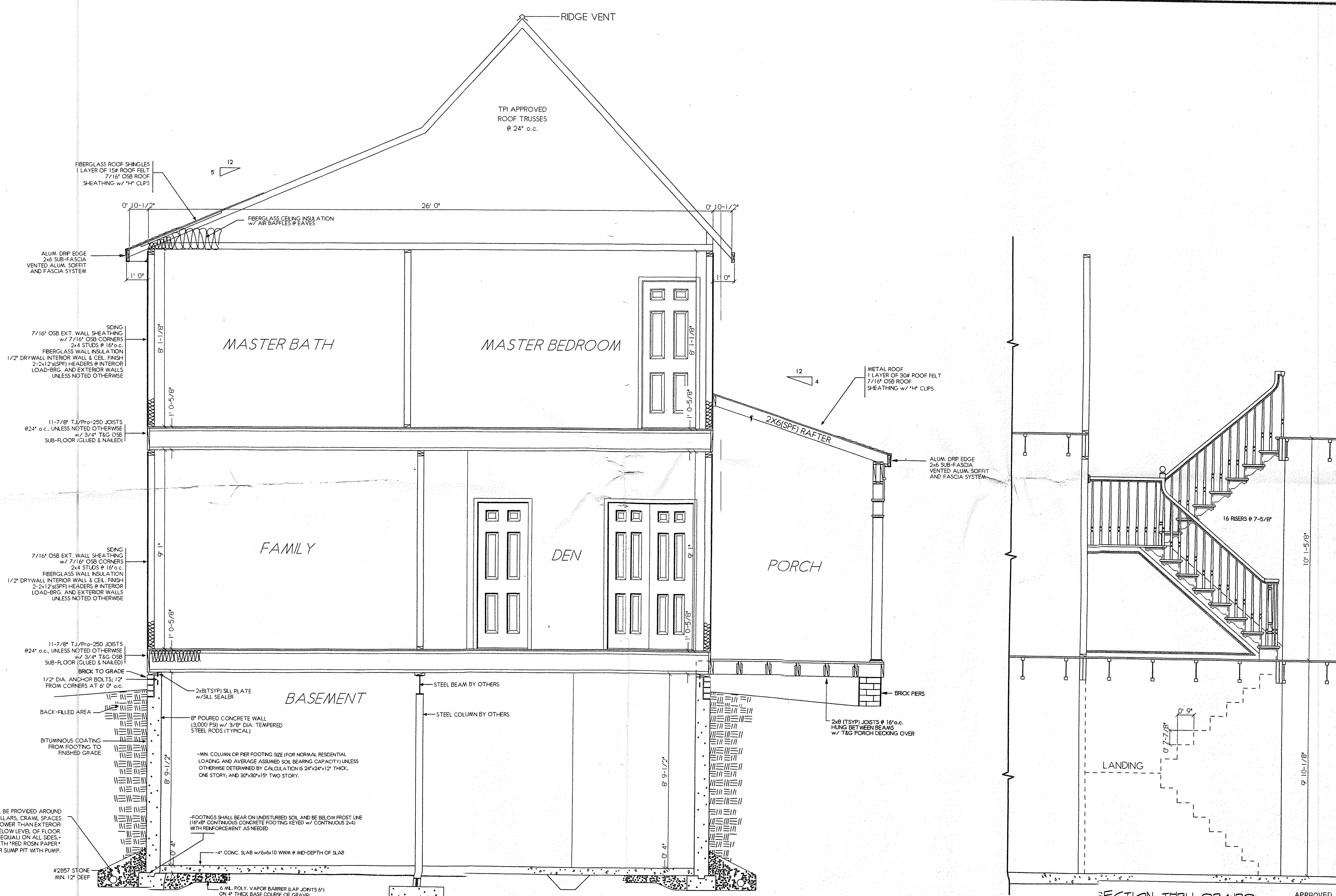
CUSTOMER:

**Cranet Homes LLC**  
 MODEL: THE JACKSON  
 JOB: LOT #03 @ BROOKVILLE

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FIBERGLASS ROOF SHINGLES  
 1 LAYER OF 15# ROOF FELT  
 7/16" OSB ROOF SHEATHING w/ 1/4" CLIPS

TPI APPROVED  
 ROOF TRUSSES  
 @ 24" o.c.

12  
 5

FIBERGLASS CEILING INSULATION  
 w/ AIR BAFFLES @ EAVES

ALUM. DRP EDGE  
 2x6 SUB-FASCIA  
 VENTED ALUM. SOFFIT  
 AND FASCIA SYSTEM

SD/NG  
 7/16" OSB EXT. WALL SHEATHING  
 w/ 7/16" OSB CORNERS  
 2x4 STUDS @ 16" o.c.  
 FIBERGLASS WALL INSULATION  
 1/2" DRYWALL INTERIOR WALL & CEL. FINISH  
 2-2x12(SPP) HEADERS @ INTERIOR  
 LOAD-BRG. AND EXTERIOR WALLS  
 UNLESS NOTED OTHERWISE

MASTER BATH

MASTER BEDROOM

11-7/8" T&G/Pro-250 JOISTS  
 @ 24" o.c., UNLESS NOTED OTHERWISE  
 w/ 3/4" T&G OSB  
 SUB-FLOOR (GULLED & VALED)

SD/NG  
 7/16" OSB EXT. WALL SHEATHING  
 w/ 7/16" OSB CORNERS  
 2x4 STUDS @ 16" o.c.  
 FIBERGLASS WALL INSULATION  
 1/2" DRYWALL INTERIOR WALL & CEL. FINISH  
 2-2x12(SPP) HEADERS @ INTERIOR  
 LOAD-BRG. AND EXTERIOR WALLS  
 UNLESS NOTED OTHERWISE

FAMILY

DEN

PORCH

11-7/8" T&G/Pro-250 JOISTS  
 @ 24" o.c., UNLESS NOTED OTHERWISE  
 w/ 3/4" T&G OSB  
 SUB-FLOOR (GULLED & VALED)

BRICK TO GRADE  
 1/2" DIA. ANCHOR BOLTS, 12"  
 FROM CORNERS AT 6' 0" o.c.

BACK-FILLED AREA  
 BITUMINOUS COATING  
 FROM FOOTING TO  
 FINISHED GRADE

BASEMENT

STEEL BEAM BY OTHERS

STEEL COLUMN BY OTHERS

2x8(T&G) SILL PLATE  
 w/SILL SEALER

8" POURED CONCRETE WALL  
 (3,000 PSI) w/ 3/8" DIA. TEMPERED  
 STEEL RODS (TYPICAL)

\*MIN. COLUMN OR PER FOOTING SIZE (FOR NORMAL RESIDENTIAL  
 LOADING AND AVERAGE ASSUMED SOIL BEARING CAPACITY) UNLESS  
 OTHERWISE DETERMINED BY CALCULATION IS 24"x24"x12" THICK,  
 ONE STORY; AND 30"x30"x15" TWO STORY.

\*FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND BE BELOW FROST LINE  
 (16"x8" CONTINUOUS CONCRETE FOOTING KEYED w/ CONTINUOUS 2x4)  
 WITH REINFORCEMENT AS NEEDED

\*4" CONC. SLAB w/ 6x6x10 W/M @ MD-DEPTH OF SLAB

\*6 MIL. POLY. VAPOR BARRIER (LAP JOINTS @)  
 ON 4" THICK BASE COURSE OF GRAVEL

\*#2857 STONE  
 MIN. 12" DEEP

\*4" SUB SOL DRAIN SHALL BE PROVIDED AROUND  
 PERIMETER OF ALL BASEMENTS, CELLARS, CRAWL SPACES  
 WHERE INTERIOR GRADE IS LOWER THAN EXTERIOR.  
 \*INST ALL BELOW LEVEL OF FLOOR.  
 \*MIN. 4" GRAVEL (OR EQUAL) ON ALL SIDES,  
 \*TOPPED WITH "RED ROBIN PAPER"  
 \*DISCHARGED TO GRAVITY OUTFALL OR SUMP PIT WITH PUMP.

12  
 4

METAL ROOF  
 1 LAYER OF 30# ROOF FELT  
 7/16" OSB ROOF SHEATHING w/ 1/4" CLIPS

2X6(SPP) RAFTER

ALUM. DRP EDGE  
 2x6 SUB-FASCIA  
 VENTED ALUM. SOFFIT  
 AND FASCIA SYSTEM

16 RISERS @ 7-5/8"

LANDING

SECTION THRU STAIRS

SCALE 1/2" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

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CROSS-SECTION  
 SCALE 1/2" = 1'-0"

**CAVCO HOMES, INC.**  
 P.O. BOX 75  
 12105 MAPLEVILLE RD.  
 CAVETOWN, MD 21720  
 PHONE (301) 733-7940  
 FAX # (301) 824-3944

DIVISION OF CAVETOWN  
 PLANNING MLL COMPANY

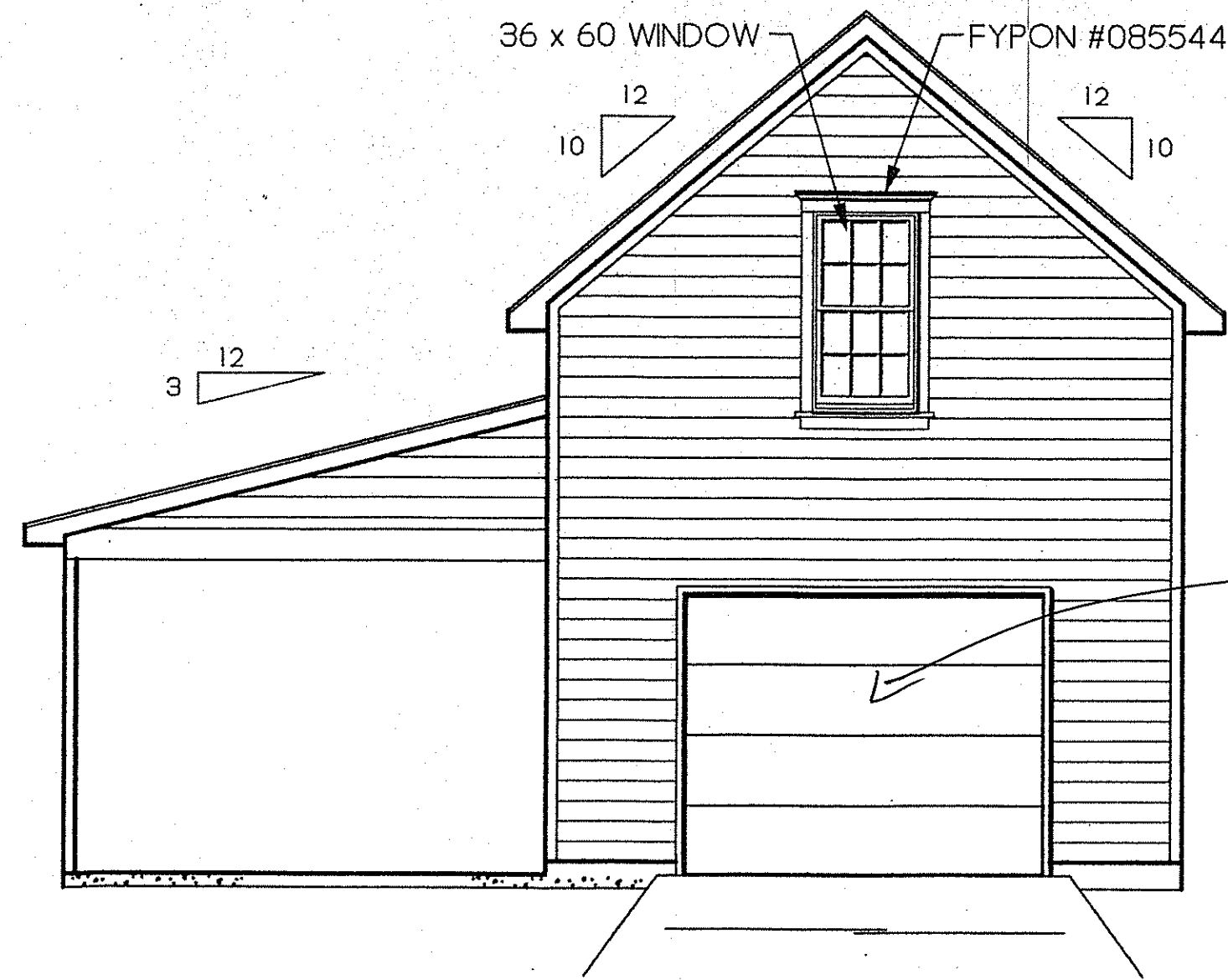
CUSTOMER

**Cranes Homes**  
 LLC

MODEL: THE JACKSON  
 JOB: LOT #03 @ BROOKVILLE

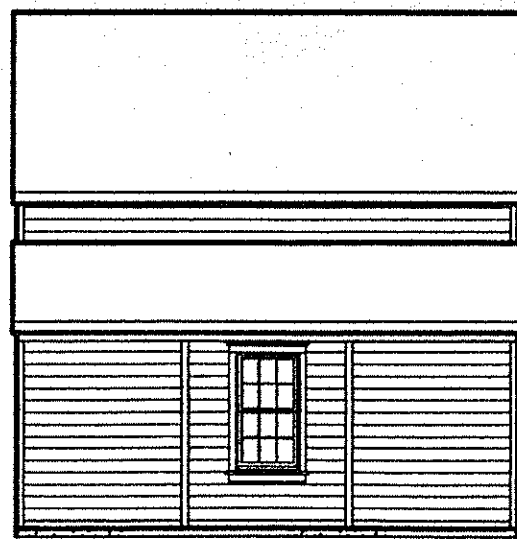
DATE	REVISIONS	REMARKS
11/13/2002	PLS 11/6/02	CHANGES PER MARKED UP PLANS
		CHANGES PER MARKED UP PLANS, PERMIT PLANS, (RLR)

DRAWN BY: RAY REBERT.	DWG NO. 5378
DATE: 10/25/2002	QUOTE NO. 0000
DATE APPROVED BY:	ORDER NO. 0000
DATE	



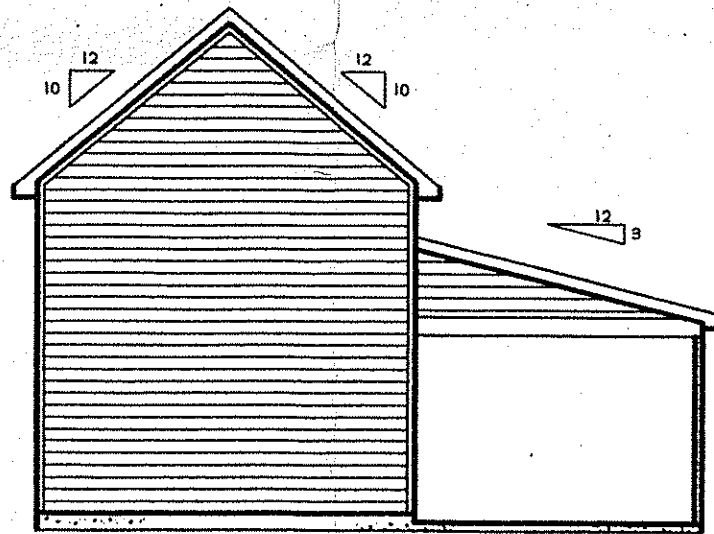
FRONT ELEVATION

SCALE 1/4" = 1'-0"



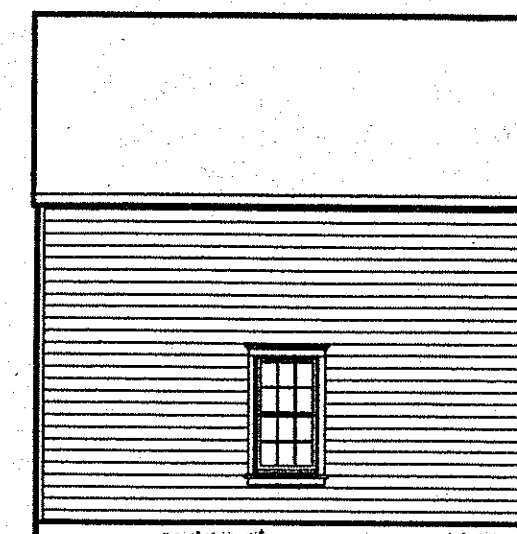
LEFT ELEVATION

SCALE 1/8" = 1'-0"



REAR ELEVATION

SCALE 1/8" = 1'-0"



RIGHT ELEVATION

SCALE 1/8" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
1/18/02

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CAVETOWN, MD 21720  
PHONE: (301) 733-7940  
FAX #: (301) 824-3944

DIVISION OF CAVETOWN  
PLANNING MILL COMPANY

CUSTOMER:



MODEL: 1 CAR GARAGE W/ CARPORT  
JOB: LOT #03 • BROCKVILLE

REVISIONS

DATE	REMARKS

DRAWN BY:

RAY REBERT

DATE 11/12/2002

PROD. BY:

DATE

APPROVED BY:

DATE

DWG NO.

5393

QUOTE NO.

0000

ORDER NO.

0000

FOOTING

- A. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND BELOW FROST LINE (MIN. 2'-6" FINISHED GRADE TO BOTTOM).
- B. MIN. CONTINUOUS FOOTING SIZE IS DEPTH 8" WIDTH OF FOUNDATION WALL + 4" EACH SIDE.
- C. MIN. CHIMNEY FOOTING SIZE IS DEPTH 12" WIDTH & LENGTH W & L MASONARY + 6" ALL SIDES.
- D. MIN. COLUMN OR PIER FOOTING SIZE (FOR NORMAL RESIDENTIAL LOADING AND AVERAGE ASSUMED SOIL BEARING CAPACITY) UNLESS OTHERWISE DETERMINED BY CALCULATION IS 24"x24"x12" THICK, ONE STORY; AND 30"x30"x15" TWO STORY.
- E. STEPS IN ELEVATION SHOULD PROVIDE MIN. 1.5 UNITS HORIZONTAL LAP FOR EACH UNIT OF VERTICAL RISE.

CONC. FLOOR SLAB

- A. INTERIOR CONCRETE FLOOR SLAB (MIN. 4" THICK)
- B. PREPARED SUB GRADE COMPACTED, NO VEGETATION.
- C. MIN. 4" THICK BASE COURSE GRAVEL, SAND OR EQUAL.
- D. VAPOR BARRIER LAP JOINTS 6".
- E. CONTROL JOINTS NO EXPANSE TO EXCEED 30 LF., AND AT OFFSETS GREATER THAN 10' -OR- 6"x6" 10 GAGE WELDED WIRE MESH AT MID-DEPTH OF SLAB.

DAIRY-PROOFING

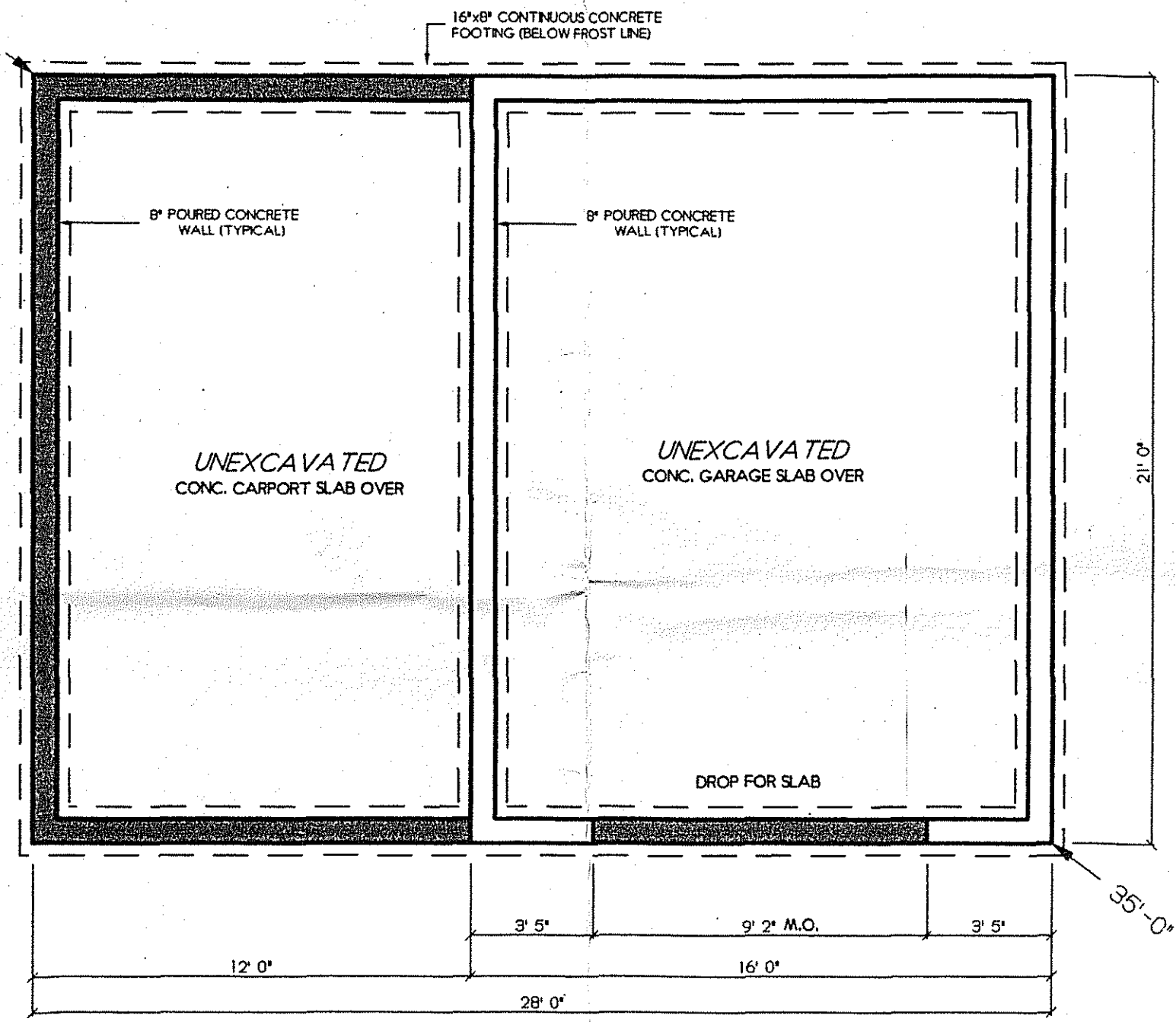
- A. EXTERIOR FOUNDATION WALLS OF CONCRETE ENCLOSING BASEMENT; BITUMINOUS COATING FOOTING TO FINISHED GRADE.
- B. EXTERIOR FOUNDATION WALLS OF MASONARY ENCLOSING BASEMENT; 3/8" PORTLAND CEMENT PARGING (COVERED) AT FOOTING TO FINISHED GRADE + BITUMINOUS COATING, FOOTING TO FINISHED GRADE.

FOUNDATION DRAINAGE

- A. SUB SOIL DRAIN SHALL BE PROVIDED AROUND PERIMETER OF ALL BASEMENTS, CELLARS, CRAWL SPACES WHERE INTERIOR GRADE IS LOWER THAN EXTERIOR.
- B. BELOW LEVEL OF FLOOR.
- C. MIN. 3" DIAMETER.
- D. MIN. 4" GRAVEL (OR EQUAL) ON ALL SIDES.
- E. TOPPED WITH "RED ROBIN PAPER".
- F. DISCHARGED TO GRAVITY OUTFALL OR SUMP PIT WITH PUMP.

DECAY & TERMITES PROTECTION

- A. USE APPROVED OR TREATED WOODS, OR
- B. SILL 6" CLEAR TO EARTH, MIN.
- C. SIDING 6" CLEAR TO EARTH, MIN.
- D. NO WOOD OR CONCRETE SLAB WHICH IS IN DIRECT CONTACT WITH EARTH.
- E. BEAMS POCKETED IN EXTERIOR MASONARY OR CONC. WALLS 1/2" CLEAR ON TOP, SIDES & ENDS



APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 11/18/02  
**FOUNDATION PLAN**  
SCALE 1/4" = 1'-0"

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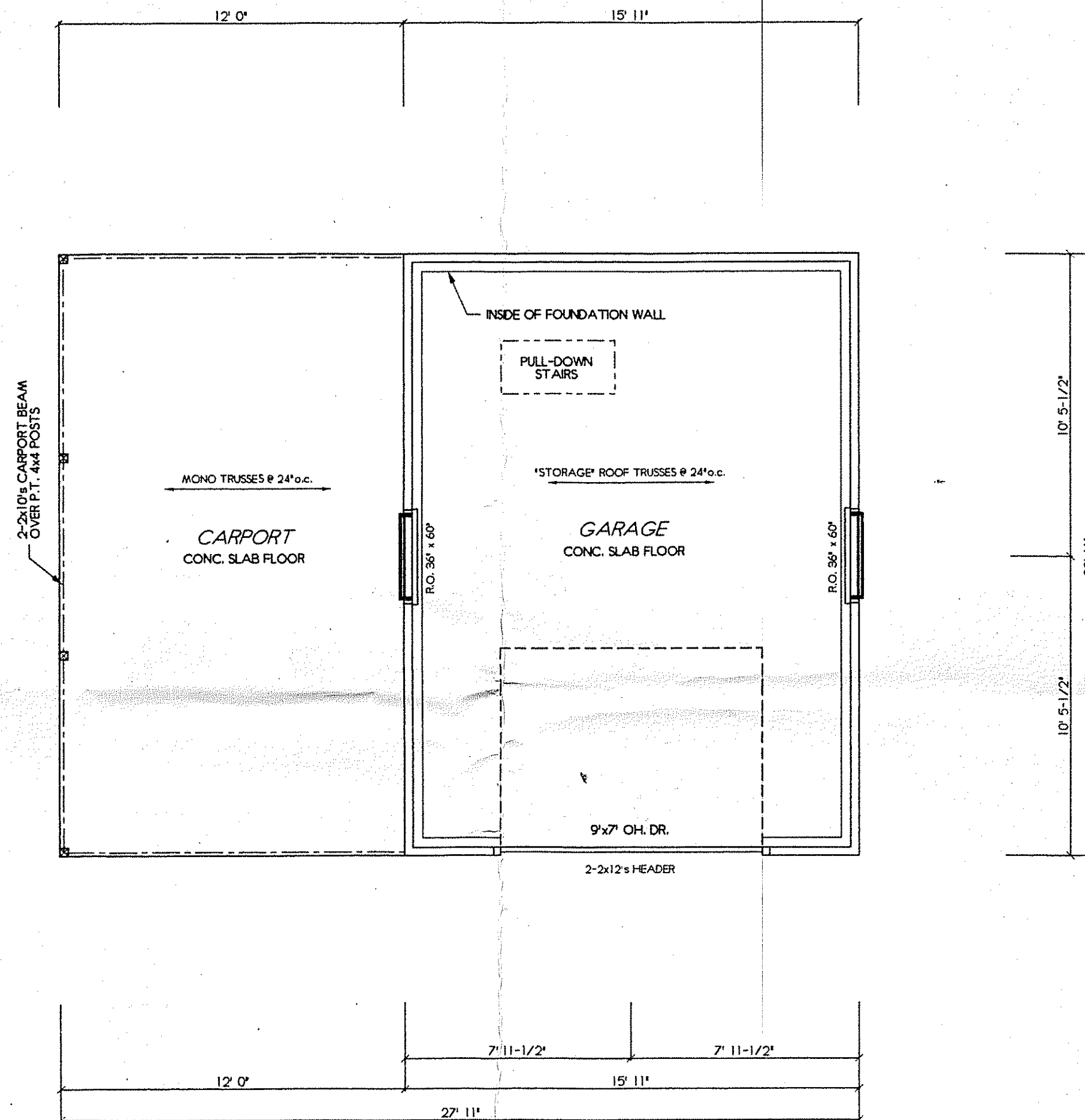
**CAVCO HOMES, INC.**  
P.O. BOX 75  
12105 MAPLEVILLE RD.  
CAVETOWN, MD 21720  
PHONE: (301) 733-7940  
FAX #: (301) 824-3944  
DIVISION OF CAVETOWN PLANNING MILL COMPANY

CUSTOMER  
**Crane Homes LLC**  
MODEL: 1 CAR GARAGE W/ CARPORT  
JOB: LOT # 2 @ BROCKVILLE

REVISIONS	
DATE	REMARKS

DRAWN BY: RAY REBERT
DATE: 11/12/2002
PROD. BY:
DATE:
APPROVED BY:
DATE:

DWG NO. <b>5393</b>
QUOTE NO. <b>0000</b>
ORDER NO. <b>0000</b>



**NOTE :**

IT IS THE RESPONSIBILITY OF CRANE HOMES and THE FRAMING CONTRACTOR TO INSURE THAT ALL WINDOW and DOOR ROUGH OPENINGS ARE CORRECT, AS NOTED, ON THIS PLAN. ANY DISCREPANCY SHALL BE REPORTED TO CAVCO HOMES, INC. DRAFTING DEPARTMENT BEFORE ANY SHOP PRODUCTION IS STARTED. IF REPORTED AFTER SHOP PRODUCTION IS STARTED, CRANE HOMES and THE FRAMING CONTRACTOR SHALL BEAR ANY and ALL COST TO CORRECT ANY ROUGH OPENINGS THAT NEED ALTERATIONS.

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 11/18/02  
**1ST FLOOR PLAN**

SCALE 1/4" = 1'-0"

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 PLANING MILL COMPANY

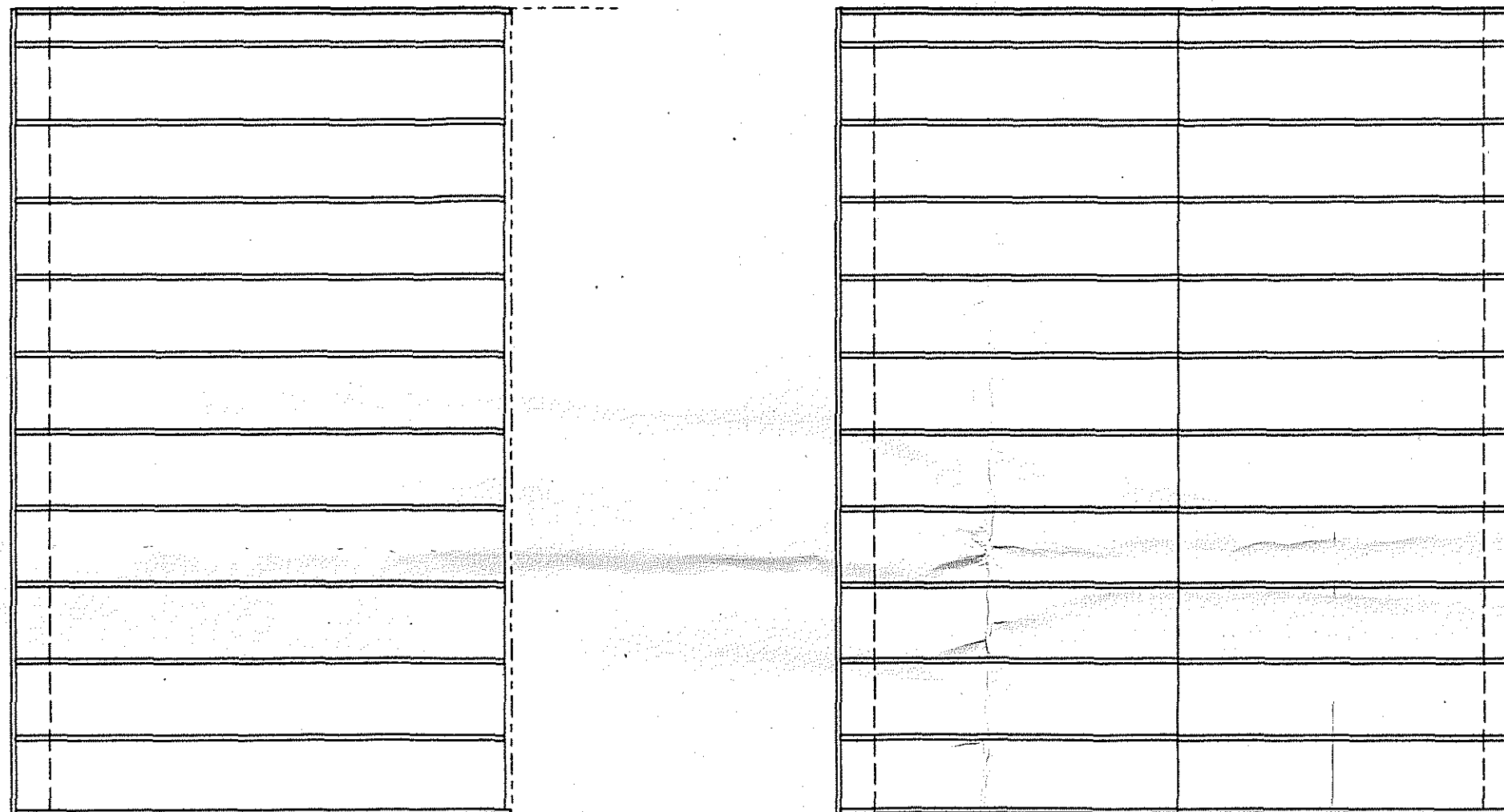
CUSTOMER:  
  
 MODEL: 1 CAR GARAGE W/ CARPORT  
 JOB: LOT #3 @ BROCKEVILLE

REVISIONS:	
DATE:	REMARKS:

DRAWN BY: RAY REBERT
DATE 11/12/2002
PROD. BY:
DATE
APPROVED BY:
DATE

DWG NO. <b>5393</b>
QUOTE NO. <b>0000</b>
ORDER NO. <b>0000</b>





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 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 11/18/02  
**ROOF LAYOUT**

SCALE 1/4" = 1'-0"

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DIVISION OF CAVETOWN  
 PLANING MILL COMPANY

CUSTOMER:



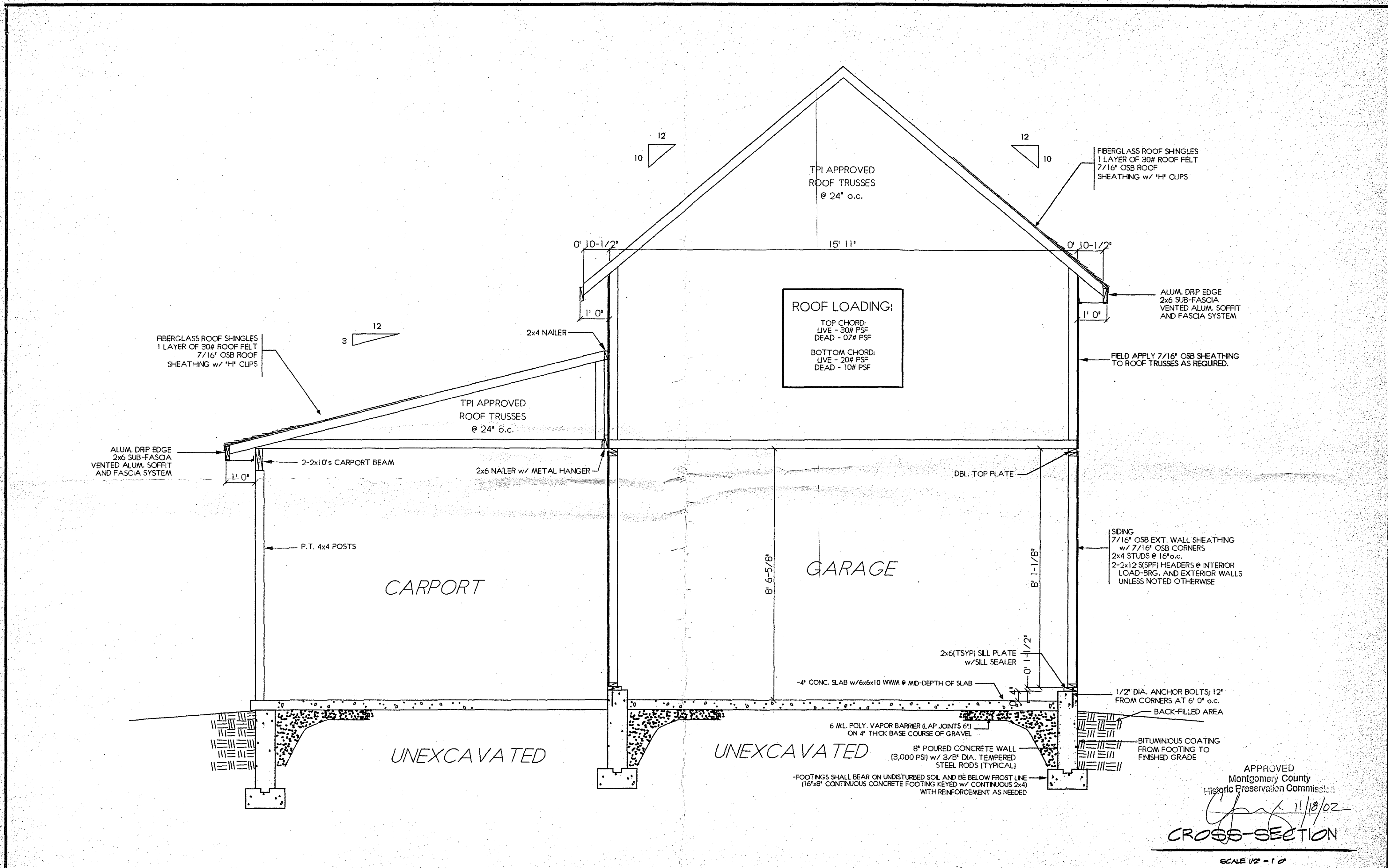
MODEL: 1 CAR GARAGE W/ CARPORT  
 JOB: LOT #03 @ BROCKEVILLE

REVISIONS:

DATE	REMARKS

DRAWN BY: RAY REBERT  
 DATE: 11/12/2002  
 PROD. BY:  
 DATE:  
 APPROVED BY:  
 DATE:

DWG NO.: 5393  
 QUOTE NO.: 0000  
 ORDER NO.: 0000



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 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 11/18/02  
**CROSS-SECTION**  
 SCALE 1/2" = 1'-0"

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 CAVETOWN, MD 21720  
 PHONE (301) 733-7940  
 FAX #1 (301) 824-3944  
 DIVISION OF CAVETOWN  
 PLANING MILL COMPANY

CUSTOMER:  
  
 MODEL: 1 CAR GARAGE W/ CARPORT  
 JOB: LOT #3 @ BROOKEVILLE

REVISIONS:	
DATE	REMARKS

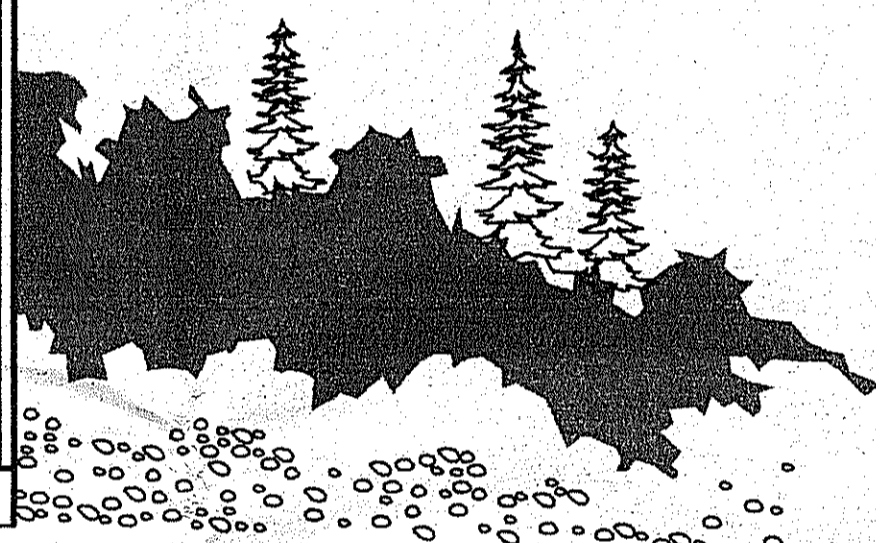
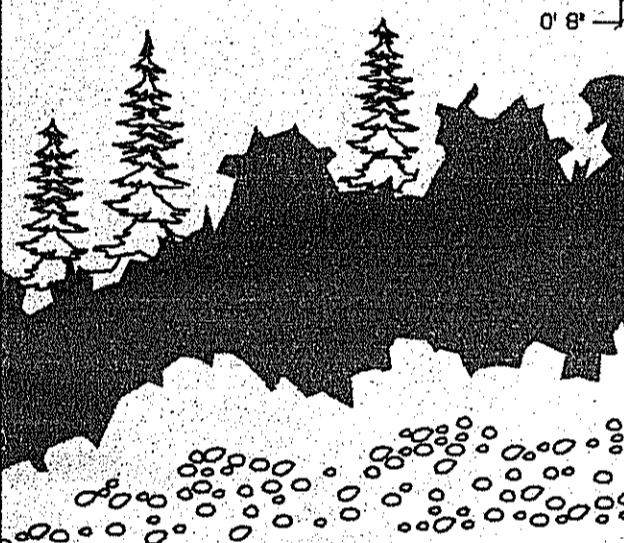
DRAWN BY: RAY REBERT
DATE 11/12/2002
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ORDER NO. <b>0000</b>

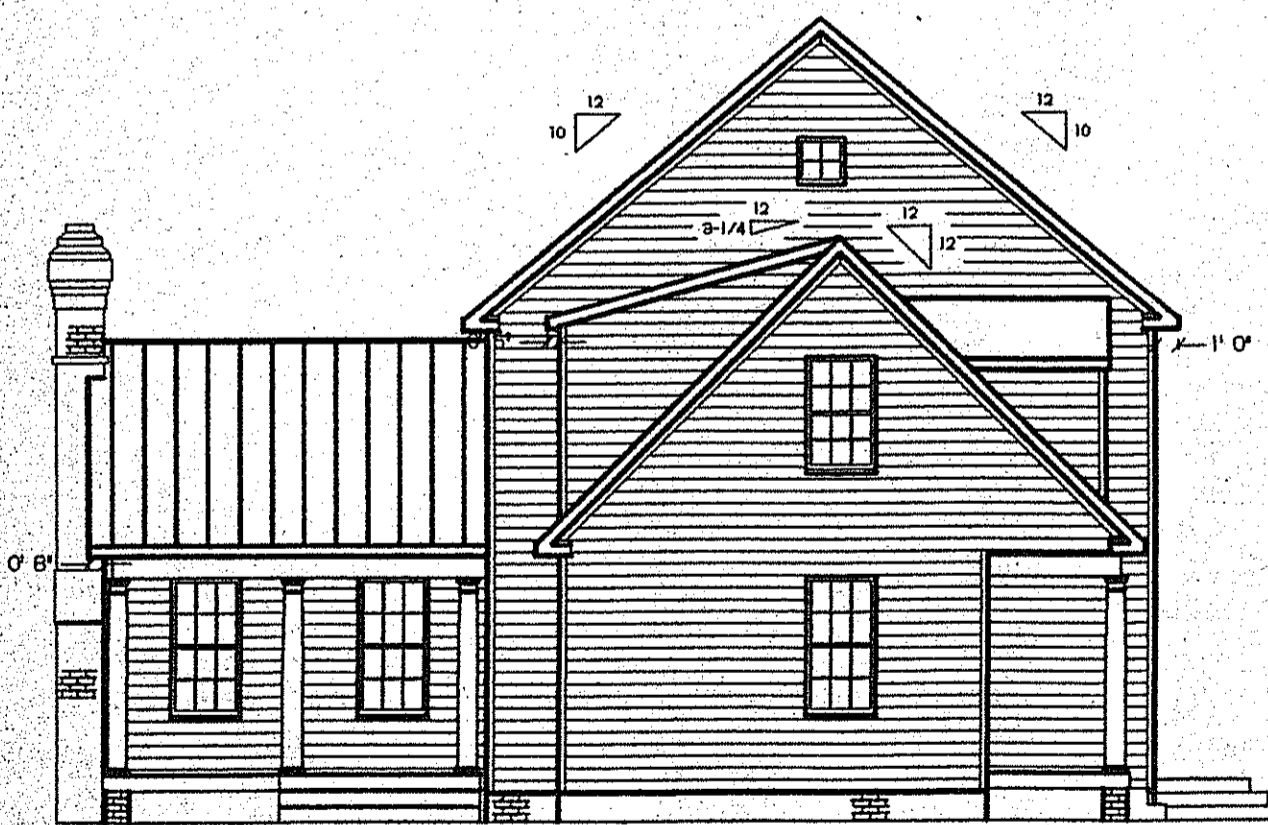


**FRONT ELEVATION**

SCALE 1/4" = 1'



TO BE SET 8" IN WITH  
ELLIPTICAL TRIM ABOVE DOOR/TRANSOM. RD



**ELEVATIONS**

SCALE 1/8" = 1'

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PHONE (301) 733-7940  
FAX #1 (301) 824-3944

**CAVCO HOMES**

DIVISION OF CAVETOWN  
PLANNING MILL COMPANY

CUSTOMER:

**Cranet Homes** LLC

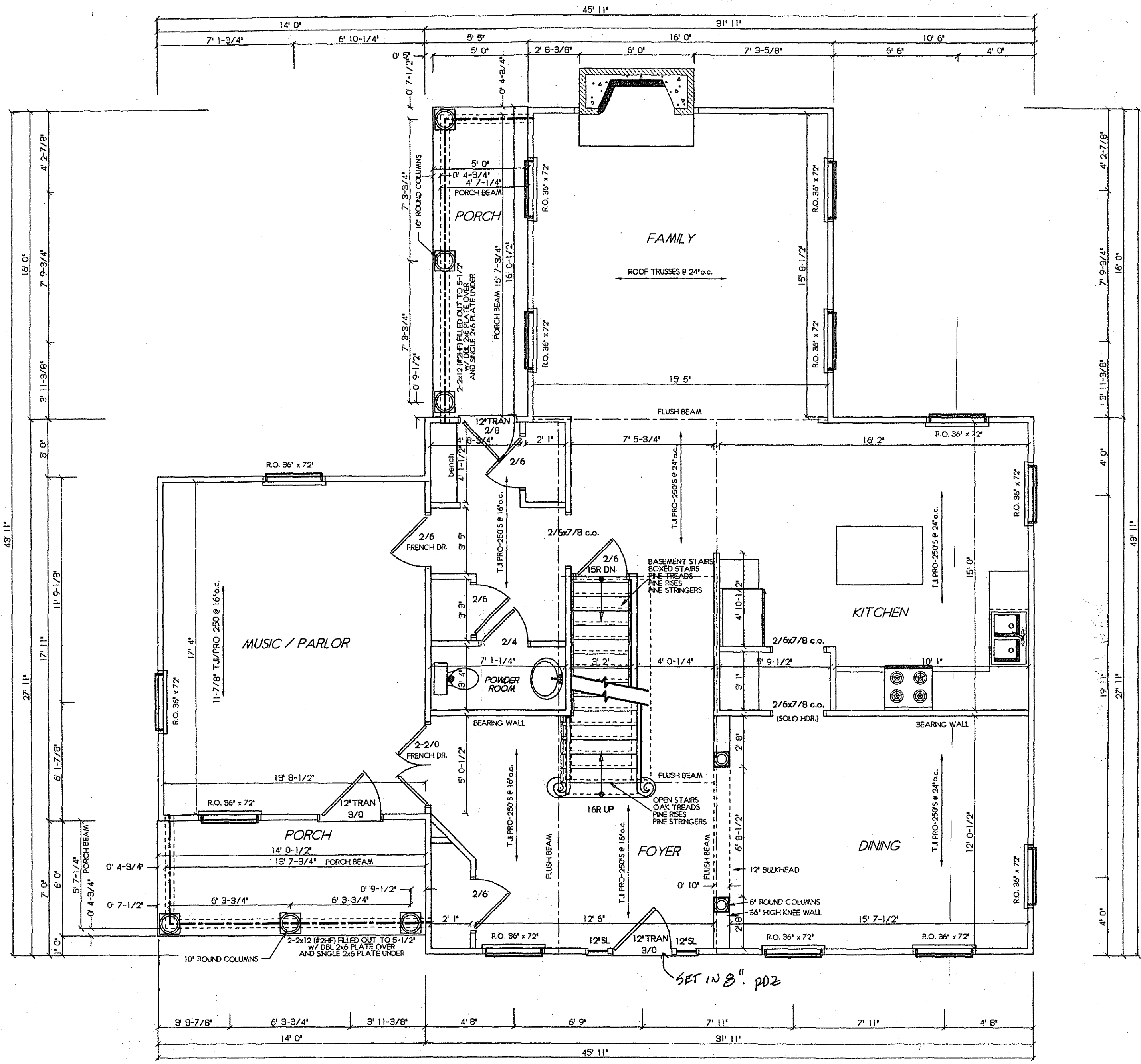
MODEL: THE CALHOUN  
JOB: BROOKEVILLE LOT# 2

REVISIONS	
DATE	REMARKS
10/24/2002	CHG's PER MARKED UP PRINT. (RLR)
11/06/2002	CHG's & PERMIT PLANS, INCLUDING FLOOR & ROOF LAYOUTS.

DRAWN BY: R. SUDERS	DWG NO. 5365
DATE 10/9/02	QUOTE NO.
PROD. BY:	
DATE	

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* 10/2002



WINDOW HDR. HGT. FOR 1ST FLOOR IS TO BE 7' 10-1/2" A.F.F.

1998 SQ. FT.  
1ST FLOOR PLAN

SCALE 1/4" = 1'-0"

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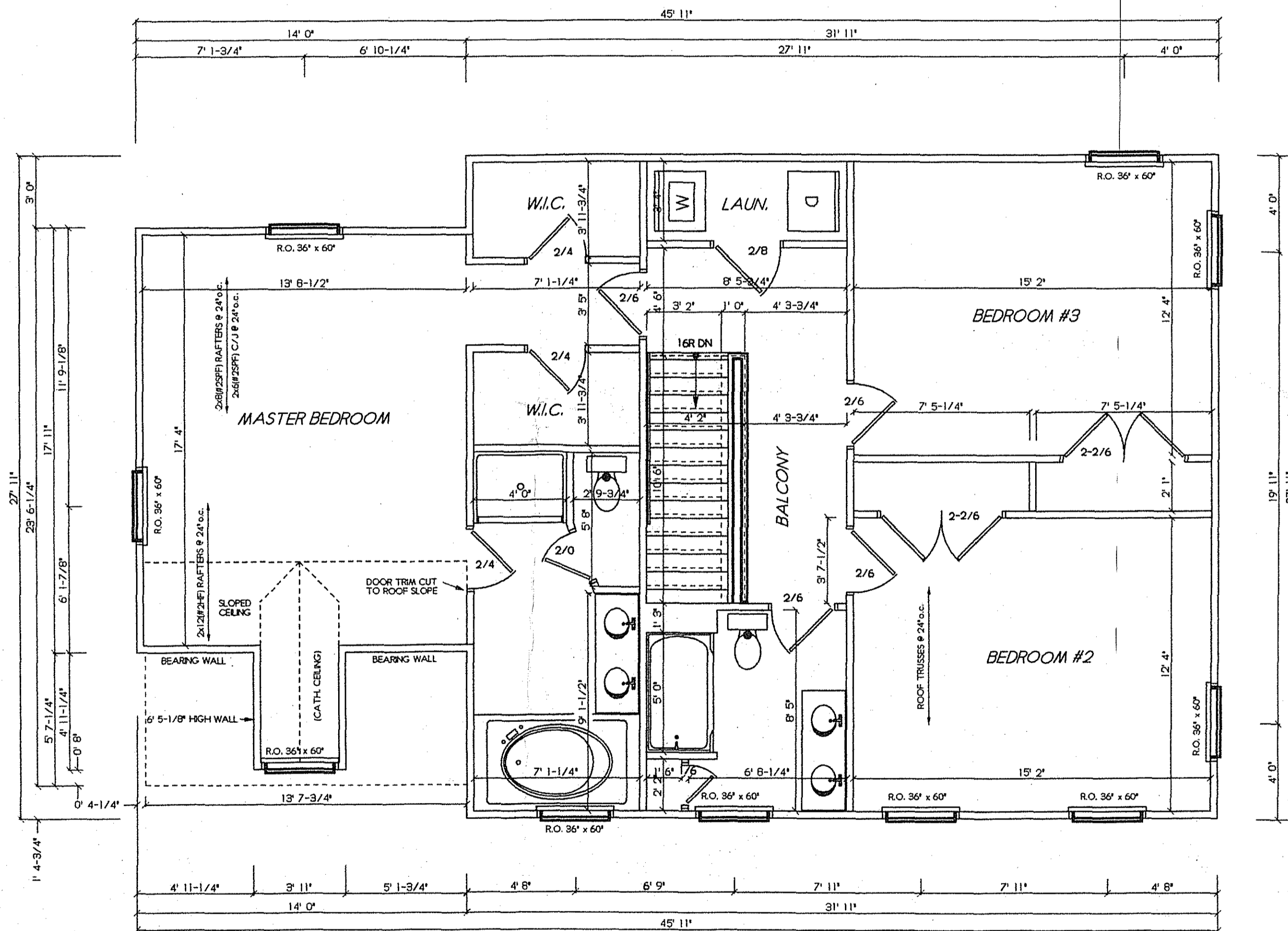
**CAVCO HOMES, INC.**  
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CAVETOWN, MD 21720  
PHONE: (301) 733-7940  
FAX #: (301) 824-3944  
DIVISION OF CAVETOWN  
PLANNING MLL COMPANY

CUSTOMER:  
**Cranel Homes** LLC  
MODEL: THE CALHOUN  
JOB: BROOKEVILLE LOT# 2

REVISIONS	
DATE	REMARKS
10/24/2002	CHG'S. PER MARKED UP PRINT. (RLR)
11/06/2002	CHG'S. & PERMIT PLANS, INCLUDING FLOOR & ROOF LAYOUTS.

DRAWN BY: R. SUDERS	DWG NO. 5365
DATE 10/9/02	QUOTE NO.
PROD. BY:	ORDER NO.
DATE APPROVED BY: APPROVED DAN Montgomery Historic Preservation Commission	

*[Handwritten signature]*



1161 SQ. FT.  
**2ND FLOOR PLAN**

SCALE 1/4" = 1'-0"

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**CAVCO HOMES**

DIVISION OF CAVETOWN  
 PLANNING MILL COMPANY

CUSTOMER:

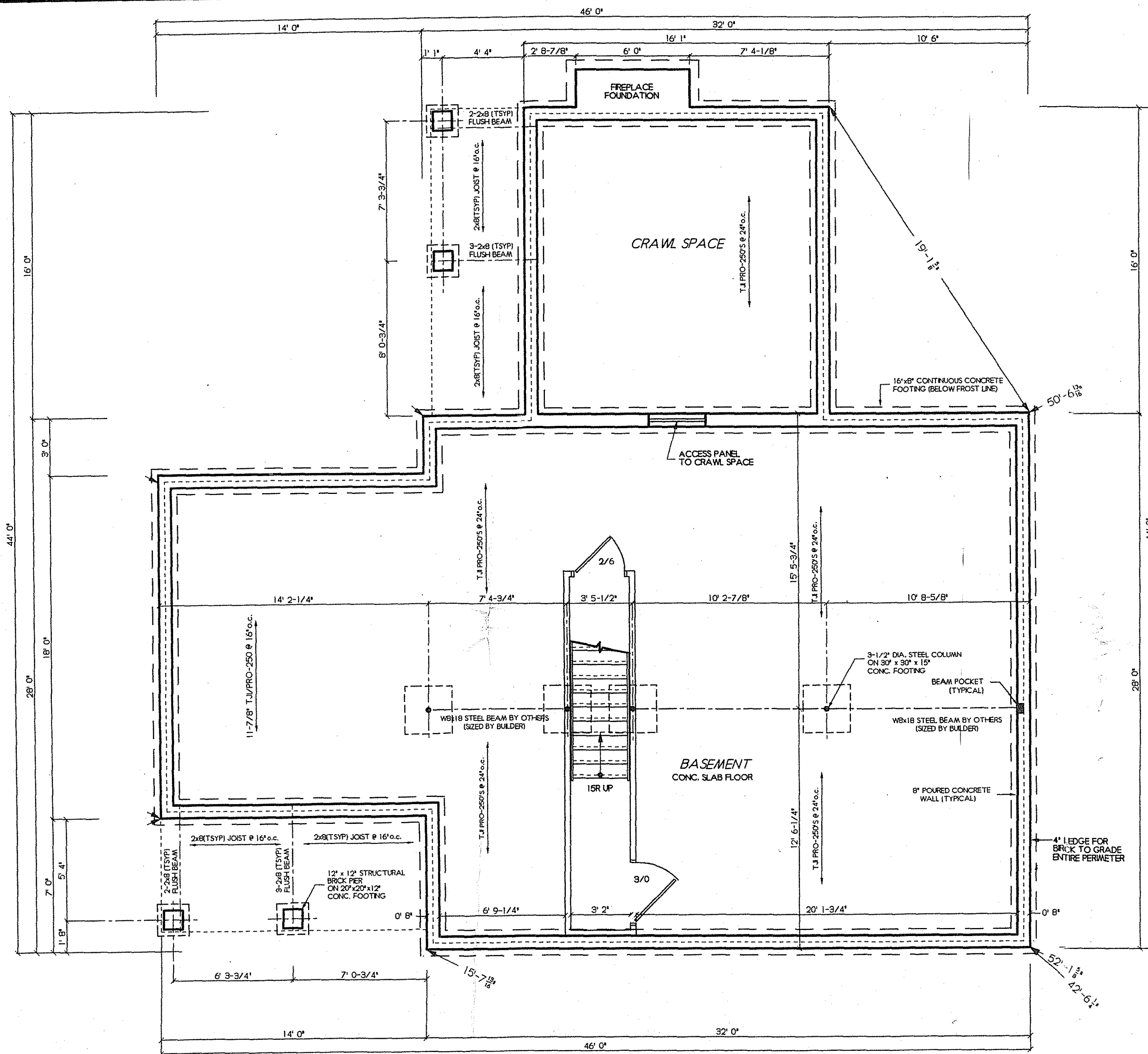
**Crane Homes**  
 LLC

MODEL: THE CALHOUN  
 JOB: BROOKEVILLE LOT# 2

DATE	REMARKS
10/24/2002	CHG'S. PER MARKED UP PRINT. (R.L.R)
11/06/2002	CHG'S. & PERMIT PLANS, INCLUDING FLOOR & ROOF LAYOUTS.

DRAWN BY: R. SUDERS	DWG. NO. 5365
DATE 10/9/02	QUOTE NO.
PROD. BY:	ORDER NO.
DATE	APPROVED
APPROVED BY:	Montgomery County Historic Preservation Commission
DATE	

*[Handwritten signature]*



- FOOTING**
  - A. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND BELOW FROST LINE (MIN. 2'-6" FINISHED GRADE TO BOTTOM).
  - B. MIN. CONTINUOUS FOOTING SIZE IS: DEPTH 8" WIDTH 12" OF FOUNDATION WALL + 4" EACH SIDE.
  - C. MIN. CHIMNEY FOOTING SIZE IS: DEPTH 12" WIDTH & LENGTH: W & L MASONRY + 6" ALL SIDES.
  - D. MIN. COLUMN OR PIER FOOTING SIZE (FOR NORMAL RESIDENTIAL LOADING AND AVERAGE ASSUMED SOIL BEARING CAPACITY) UNLESS OTHERWISE DETERMINED BY CALCULATION IS 24"x24"x12" THICK, ONE STORY, AND 30"x30"x15" TWO STORY.
  - E. STEPS IN ELEVATION SHOULD PROVIDE MIN. 1.5 UNITS HORIZONTAL LAP FOR EACH UNIT OF VERTICAL RISE.
- CONC. FLOOR SLAB**
  - A. INTERIOR CONCRETE FLOOR SLAB (MIN. 4" THICK)
  - B. PREPARED SUB GRADE COMPACTED, NO VEGETATION.
  - C. MIN. 4" THICK BASE COURSE GRAVEL, SAND OR EQUAL.
  - D. VAPOR BARRIER LAP JOINTS 6".
  - E. CONTROL JOINTS NO EXPANSE TO EXCEED 30 LF, AND AT OFFSETS GREATER THAN 10' -OR- 6"x6" 10 GAGE WELDED WIRE MESH AT MID-DEPTH OF SLAB.
- DAWK-PROOFING**
  - A. EXTERIOR FOUNDATION WALLS OF CONCRETE ENCLOSING BASEMENT; BITUMINOUS COATING FOOTING TO FINISHED GRADE.
  - B. EXTERIOR FOUNDATION WALLS OF MASONRY ENCLOSING BASEMENT; 3/8" PORTLAND CEMENT PARPING (COVERED) AT FOOTING TO FINISHED GRADE + BITUMINOUS COATING, FOOTING TO FINISHED GRADE.
- FOUNDATION DRAINAGE**
  - A. SUB SOIL DRAIN SHALL BE PROVIDED AROUND PERIMETER OF ALL BASEMENTS, CELLARS, CRAWL SPACES WHERE INTERIOR GRADE IS LOWER THAN EXTERIOR.
  - B. BELOW LEVEL OF FLOOR.
  - C. MIN. 3" DIAMETER
  - D. MIN. 4" GRAVEL (OR EQUAL) ON ALL SIDES.
  - E. TOPPED WITH 'RED ROBIN PAPER.'
  - F. DISCHARGED TO GRAVITY OUTFALL OR SUMP PIT WITH PUMP.
- DECAY & TERMITES PROTECTION**
  - A. USE APPROVED OR TREATED WOODS, OR:
  - B. SILL 8" CLEAR TO EARTH, MIN.
  - C. SIKING 6" CLEAR TO EARTH, MIN.
  - D. NO WOOD OR CONCRETE SLAB WHICH IS IN DIRECT CONTACT WITH EARTH.
  - E. BEAMS POCKETED IN EXTERIOR MASONRY OR CONC. WALLS 1/2" CLEAR ON TOP, SIDES & ENDS.
- CRAWL SPACE**
  - A. JOIST 18" CLEAR BEAMS 12" CLEAR TO EARTH, MIN.
  - B. MIN. 18"x24" ACCESS PANEL.
  - C. MIN. 1/150 UNDERFLOOR AREA VENTS - OR - 1/1500 UNDERFLOOR AREA WITH VAPOR BARRIER ONE VENT WITH-IN SFT. OF EACH CORNER.
- MASONRY VENEER**
  - A. WEATHER RESISTANT MEMBRANCE (15# FELT) REQUIRED TO COVER ALL EXPOSED WOOD AND 6" STRIPS TO COVER OPEN JOINTS OF OTHERWISE APPROVED SHEATHING MATERIAL.
  - B. ATTACHED TO WOOD FRAME W/APPROVED TIES @ 24" o.c. HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 3-1/4 SQ. FT. OF WALL AREA WITH 1" AIR SPACE.
- FIREPLACE CHIMNEYS**
  - A. IF FIREPLACE OPENING IS LESS THAN 6 SQ. FT., MIN. HEARTH PROJECTION IS 16" FRONT, 8" EACH SIDE IF 6 SQ. FT. OR MORE, 20" FRONT, 12" SIDE.
  - B. INTERIOR CHIMNEYS MIN. 2' CLEARANCE TO COMBUSTIBLE EXTERIOR MIN. 1"
  - C. CHIMNEYS SHALL EXTEND AT LEAST 2' ABOVE THE HIGHEST POINT WHERE THEY PASS THE ROOF OF A BUILDING AND AT LEAST 2' HIGHER THAN ANY PORTION OF BUILDING WITH-IN 10'.

FOUNDATION PLAN  
SCALE 1/4" = 1'

THE USE OF THESE PLANS AND DETAILS FOR CONSTRUCTION OR ANY OTHER PURPOSE WITHOUT WRITTEN PERMISSION FROM CAVCO HOMES, INC. IS PROHIBITED. DO NOT SCALE THESE DRAWINGS. DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED. ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE INDICATED. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO INSURE THAT THESE PLANS AND ALL WORK PERFORMED IS IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS. OWNER AND CONTRACTOR SHALL VERIFY ALL CONDITION AND DIMENSIONS BEFORE CONSTRUCTION WORK IS STARTED. ANY DISCREPANCIES SHALL BE REPORTED TO CAVCO HOMES, INC. DRAFTING DEPARTMENT FOR JUSTIFICATION AND/OR CORRECTION BEFORE WORK IS PERFORMED. OWNER AND CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED TO CAVCO HOMES, INC. DRAFTING DEPARTMENT FOR JUSTIFICATION AND/OR CORRECTION.

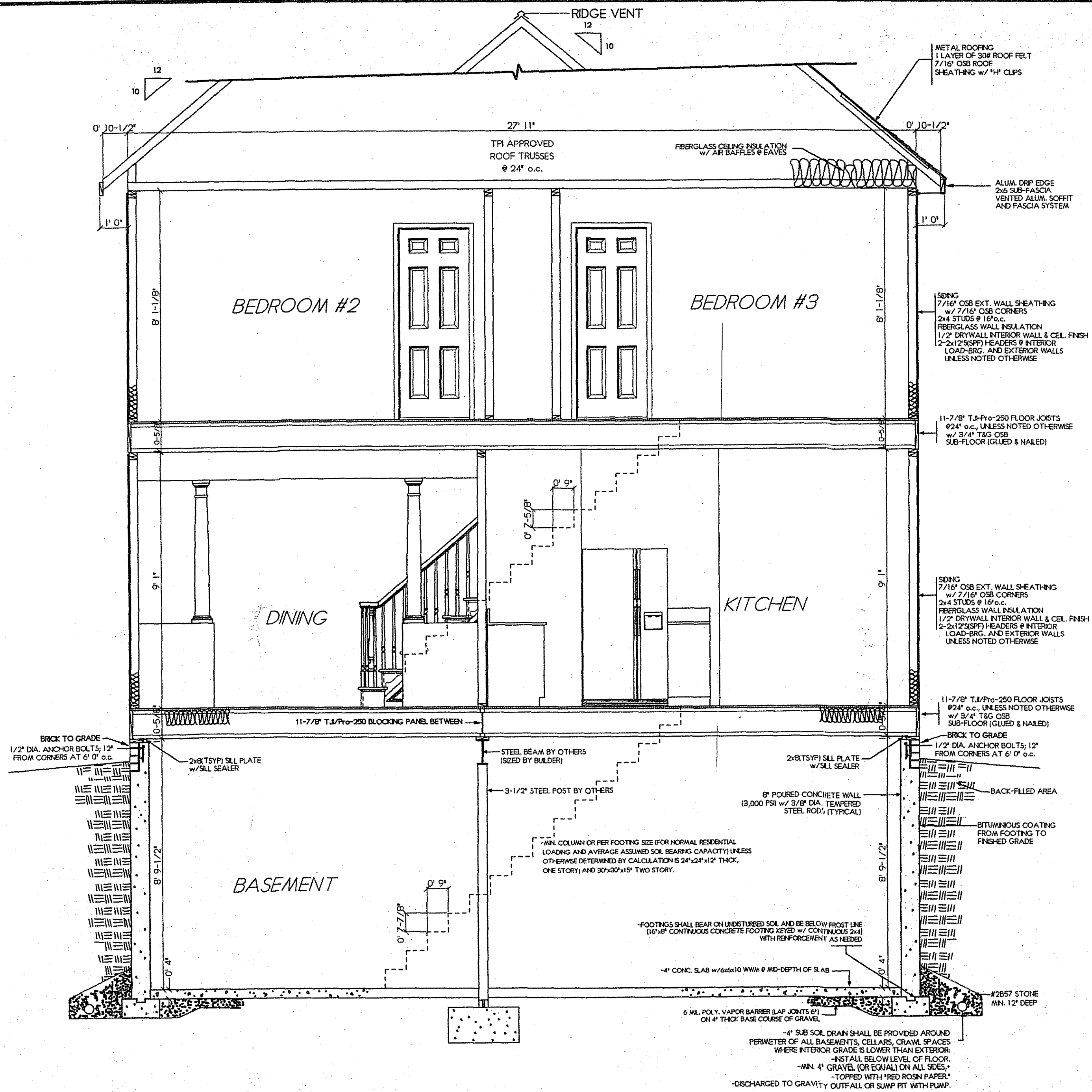
**CAVCO HOMES, INC.**  
 P.O. BOX 75  
 12105 MAPLEVILLE RD.  
 CAVETOWN, MD 21720  
 PHONE: (301) 733-7940  
 FAX #1 (301) 824-3944  
 DIVISION OF CAVETOWN  
 PLANNING MILL COMPANY

CUSTOMER  
**Crane Homes LLC**  
 MODEL: THE CALHOUN  
 JOB: BROOKEVILLE LOT# 2

DATE	REMARKS
10/24/2002	CHG'S. PER MARKED UP PRINT. (RLR)
11/06/2002	CHG'S. & PERMIT PLANS, INCLUDING FLOOR & ROOF LAYOUTS.

DRAWN BY: R. SUDERS	DWG NO. 5365
DATE: 10/9/02	QUOTE NO.
PROD. BY:	ORDER NO.
DATE	APPROVED
APPROVED BY:	DATE
DATE	Montgomery County Historic Preservation Commission

*[Handwritten signature]*



**RIGHT CROSS-SECTION**

SCALE 3/8" = 1'-0"

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DIVISION OF CAVETOWN PLANNING HILL COMPANY

CUSTOMER

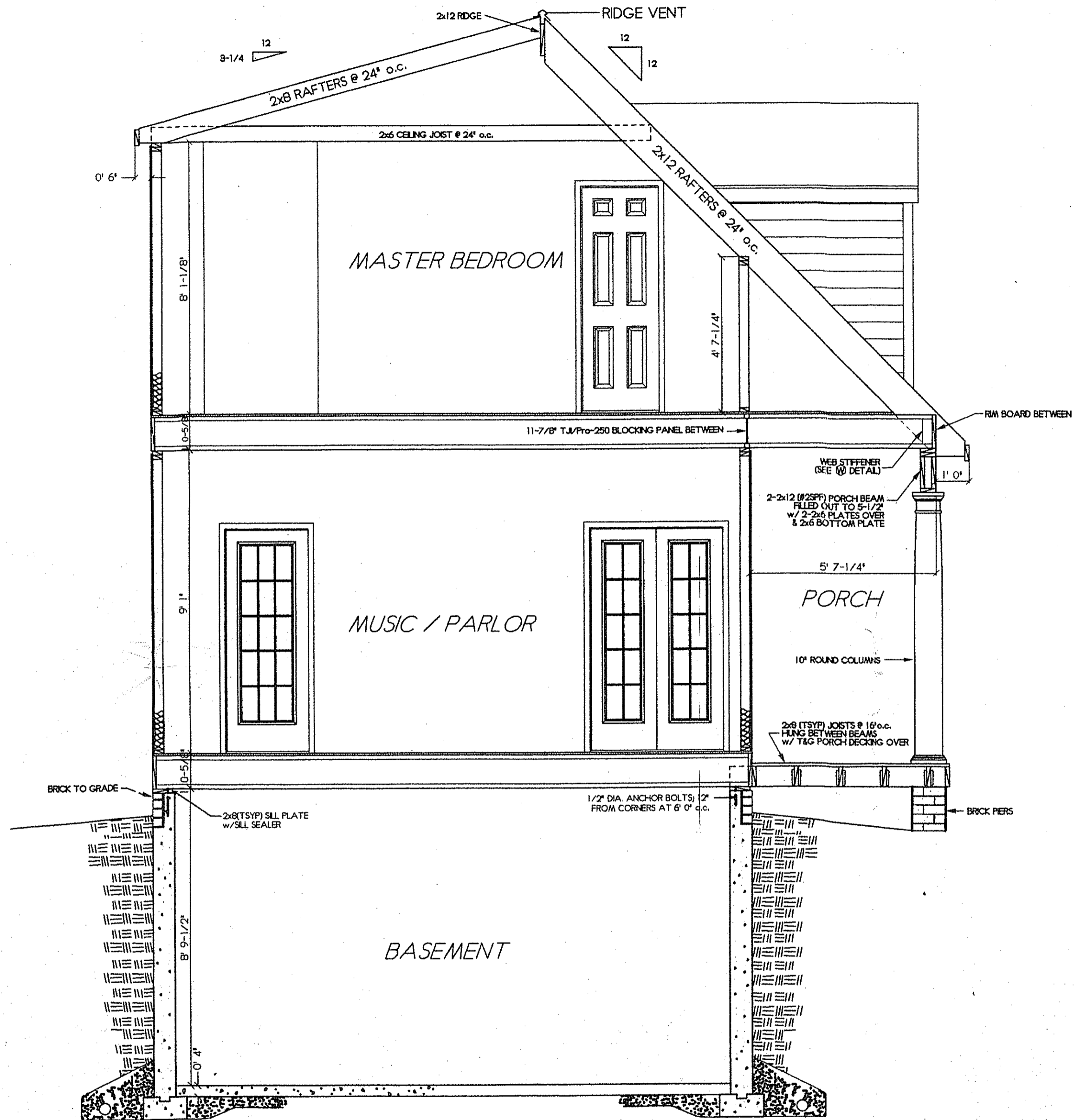
**Crane Homes LLC**

MODEL: THE CALTOUN  
 JOB: BROOKEVILLE LOT# 2

REVISIONS	
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DATE	
APPROVED BY: APPROVED	ORDER NO.
Montgomery County	
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*[Handwritten signature]*



SECTION THRU MASTER BEDROOM

SCALE 3/8" = 1'

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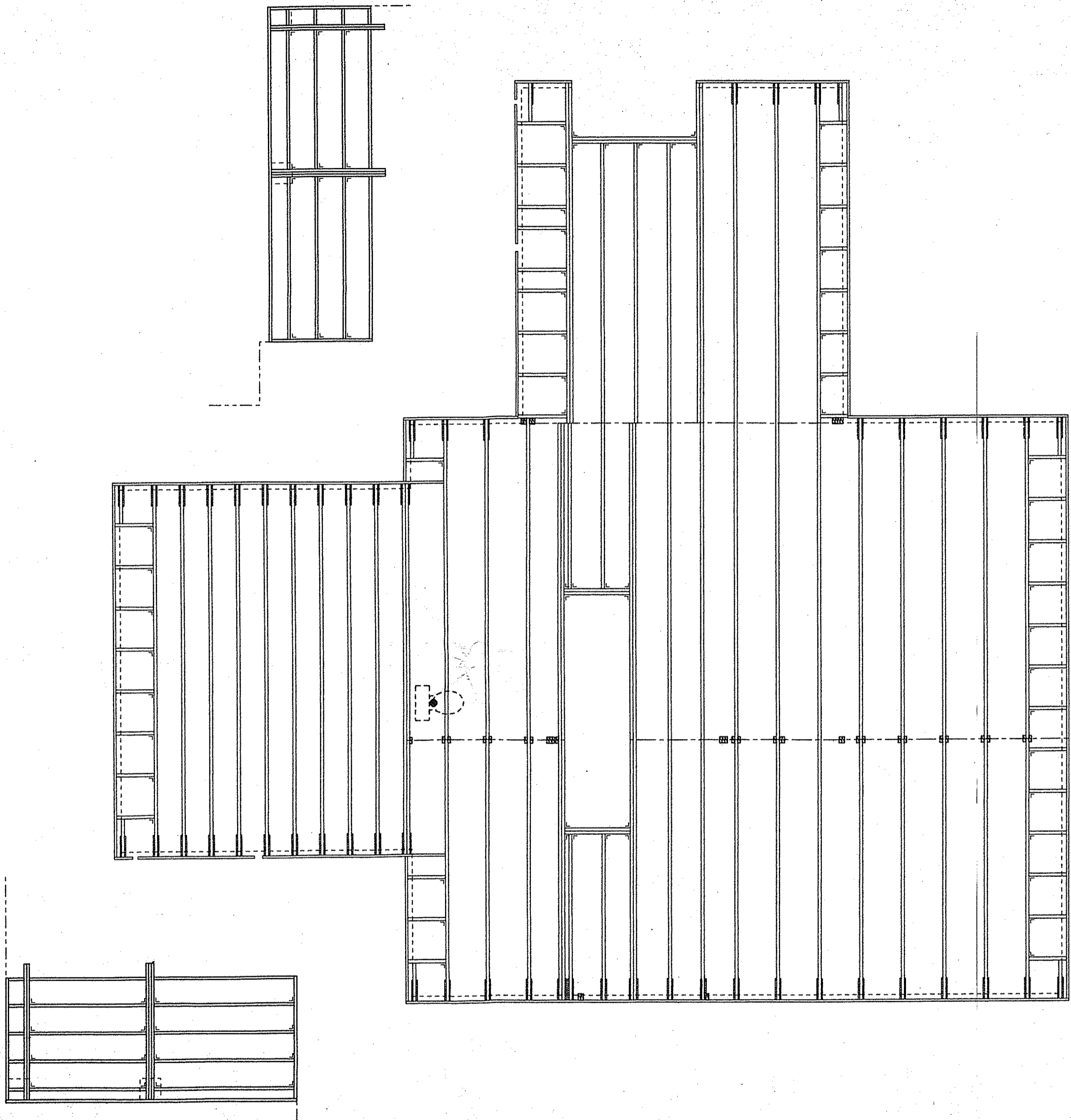
CUSTOMER:  
  
 MODEL: THE CALHOUN  
 JOB: BROOKEVILLE LOT# 2

REVISIONS:	
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DRAWN BY: R. SUDERS	DWG NO. 5365
DATE 10/9/02	QUOTE NO.
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Montgomery County  
 Historic Preservation Commission





1ST FLOOR SYSTEM

SCALE 1/4" = 1'-0"

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**CAVCO HOMES**  
 DIVISION OF CAVETOWN  
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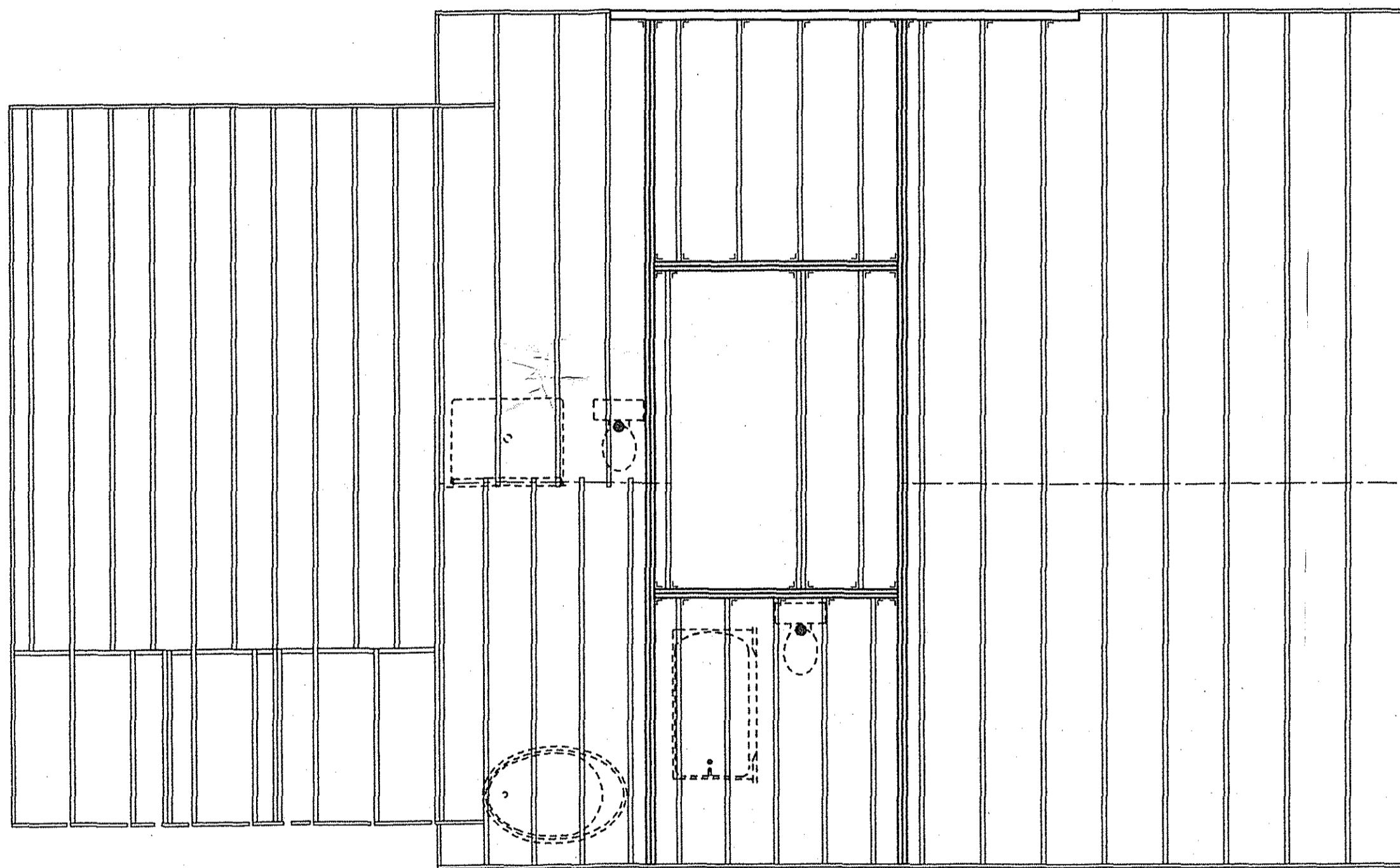
CUSTOMER:

**Crane Homes**  
 LLC

MODEL: THE CALHOUN  
 JOB: BROOKEVILLE LOT# 2

REVISIONS:	
DATE	REMARKS
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APPROVED BY:	Montgomery County Historic Preservation Commission
DATE	<i>[Signature]</i>




APPROVED  
Montgomery County  
Historic Preservation Commission

**2ND FLOOR SYSTEM**


SCALE 1/4" = 1'-0"

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FAX #: (301) 824-3944  
DIVISION OF CAVETOWN  
PLANNING MILL COMPANY

CUSTOMER:

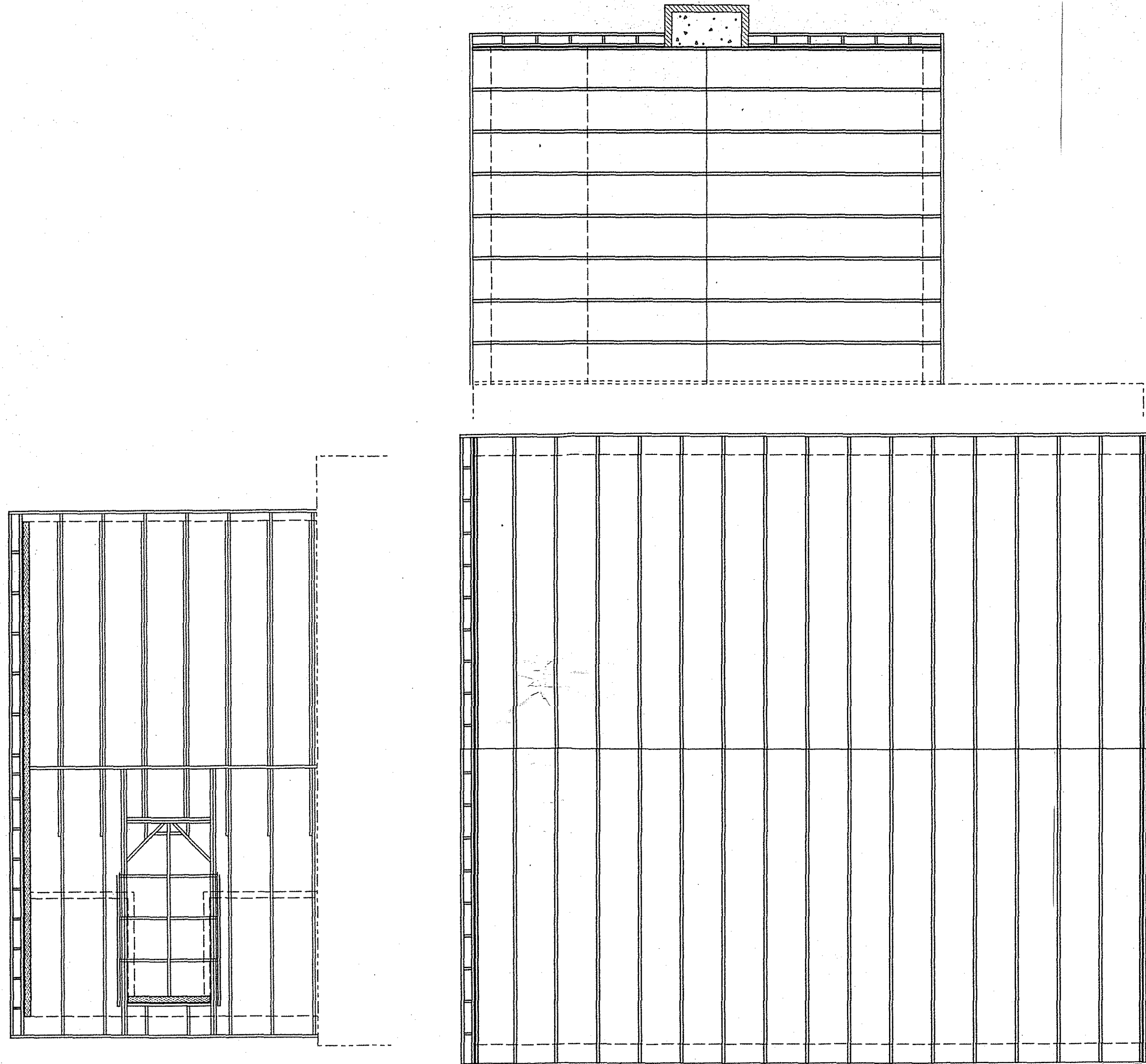


MODEL: THE CALHOUN  
JOB: BROOKEVILLE LOT# 2

DATE	REMARKS
11/06/2002	CHG's PER MARKER PERMITS (RLR) CHG's & PERMIT PLANS, INCLUDING FLOOR & ROOF LAYOUTS.

DRAWN BY: R. SUDERS
DATE: 10/9/02
PROD. BY:
DATE
APPROVED BY:
DATE

DWG NO: 5365
QUOTE NO.
ORDER NO.



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*[Signature]*

**ROOF LAYOUT**

SCALE 1/4" = 1'-0"

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 FAX #: (301) 824-3944  
 DIVISION OF CAVETOWN  
 PLANNING MILL COMPANY

CUSTOMER:  
  
 MODEL: THE CALHOUN  
 JOB: BROOKEVILLE LOT# 2

DATE	REMARKS
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11/06/2002	CHG's. & PERMIT PLANS, INCLUDING FLOOR & ROOF LAYOUTS.

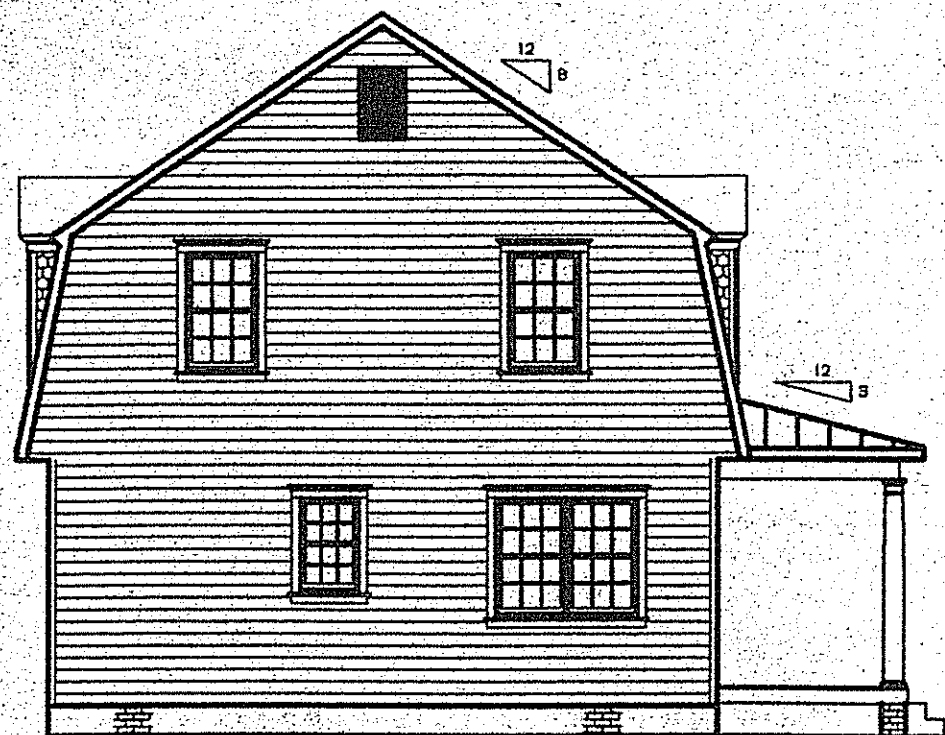
DRAWN BY: R. SUDERS
DATE 10/9/02
PROD. BY:
DATE
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DATE

DWG NO. 5365
QUOTE NO.
ORDER NO.



FRONT ELEVATION

SCALE 1/4" = 1'-0"



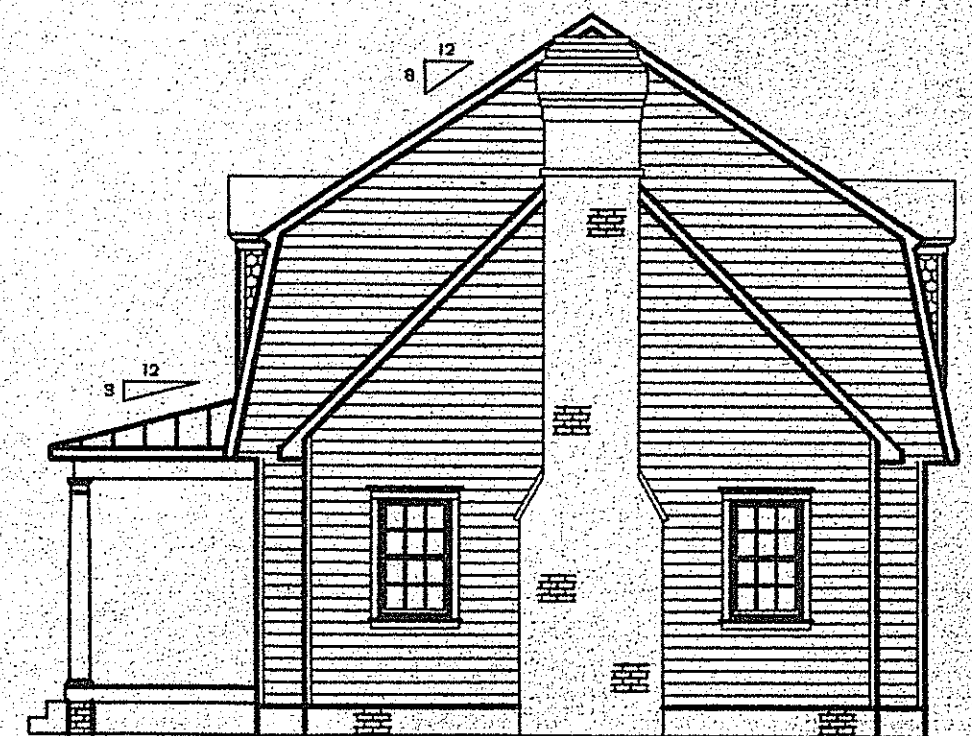
LEFT ELEVATION

SCALE 1/8" = 1'-0"



REAR ELEVATION

SCALE 1/8" = 1'-0"



RIGHT ELEVATION

SCALE 1/8" = 1'-0"

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Montgomery County  
Historic Preservation Commission  
11/6/02

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CAVETOWN, MD 21720  
PHONE (301) 733-7940  
FAX # (301) 824-3944

DIVISION OF CAVETOWN  
PLANNING MILL COMPANY

CUSTOMER:



MODEL: THE MADISON  
JOB: BROOKEVILLE LOT #01

REVISIONS:

DATE	REMARKS
10/23/2002	CHG. DORMERS / ARCH. SKETCH (FLR)
11/05/2002	PERMIT PLANS, INCLUDE FLOOR & ROOF LAYOUTS (FLR)

DRAWN BY:

R. SUDERS

DATE: 9/20/02

PROD. BY:

DATE

APPROVED BY:

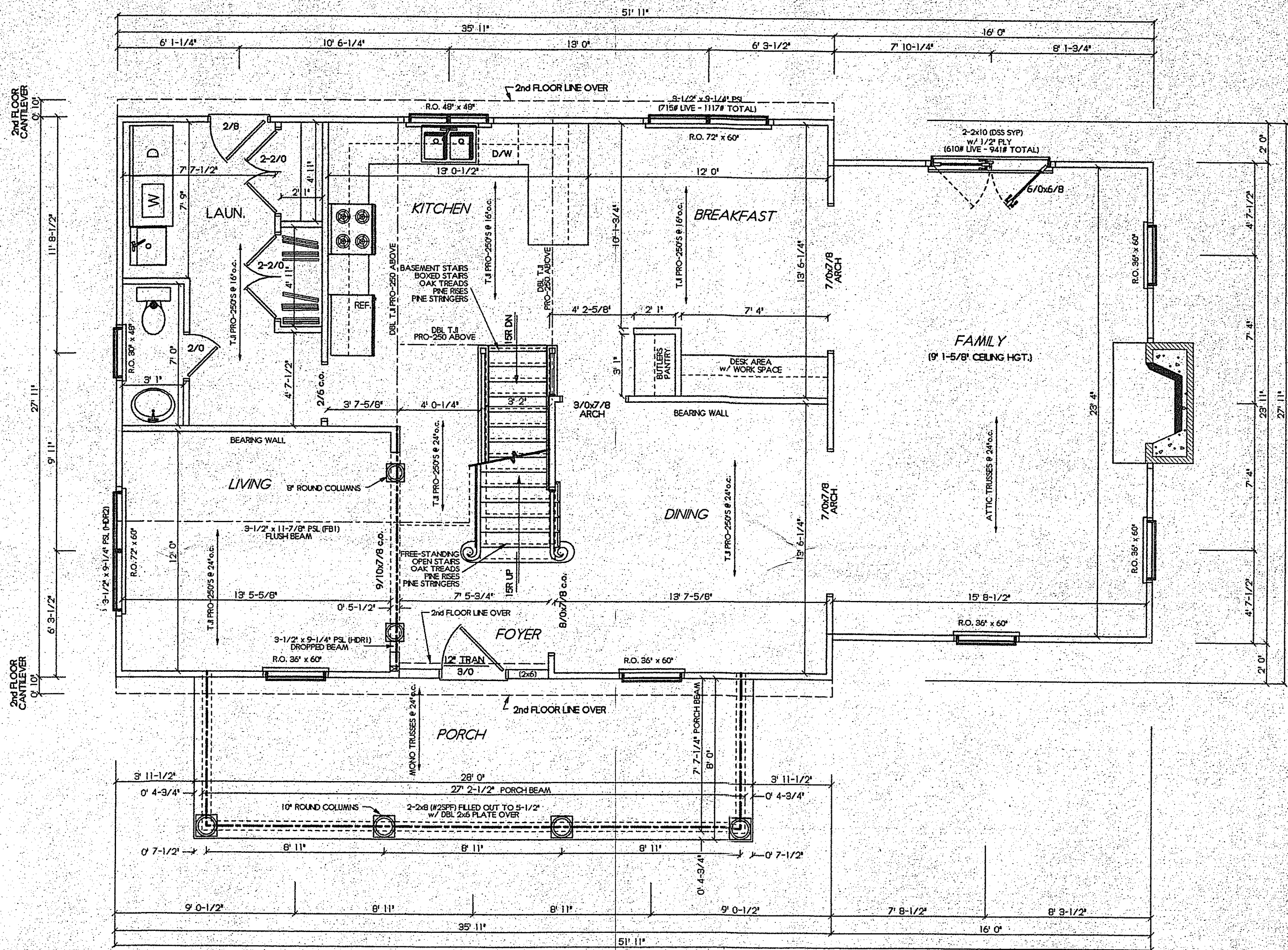
DATE

DWG NO.

5342

QUOTE NO.

ORDER NO.



WINDOW HDR. HGT. FOR 1ST FLOOR IS TO BE 7' 6" A.F.F.

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 11/6/02

1385 SQ. FT.  
**1ST FLOOR PLAN**

SCALE 1/4" = 1'-0"

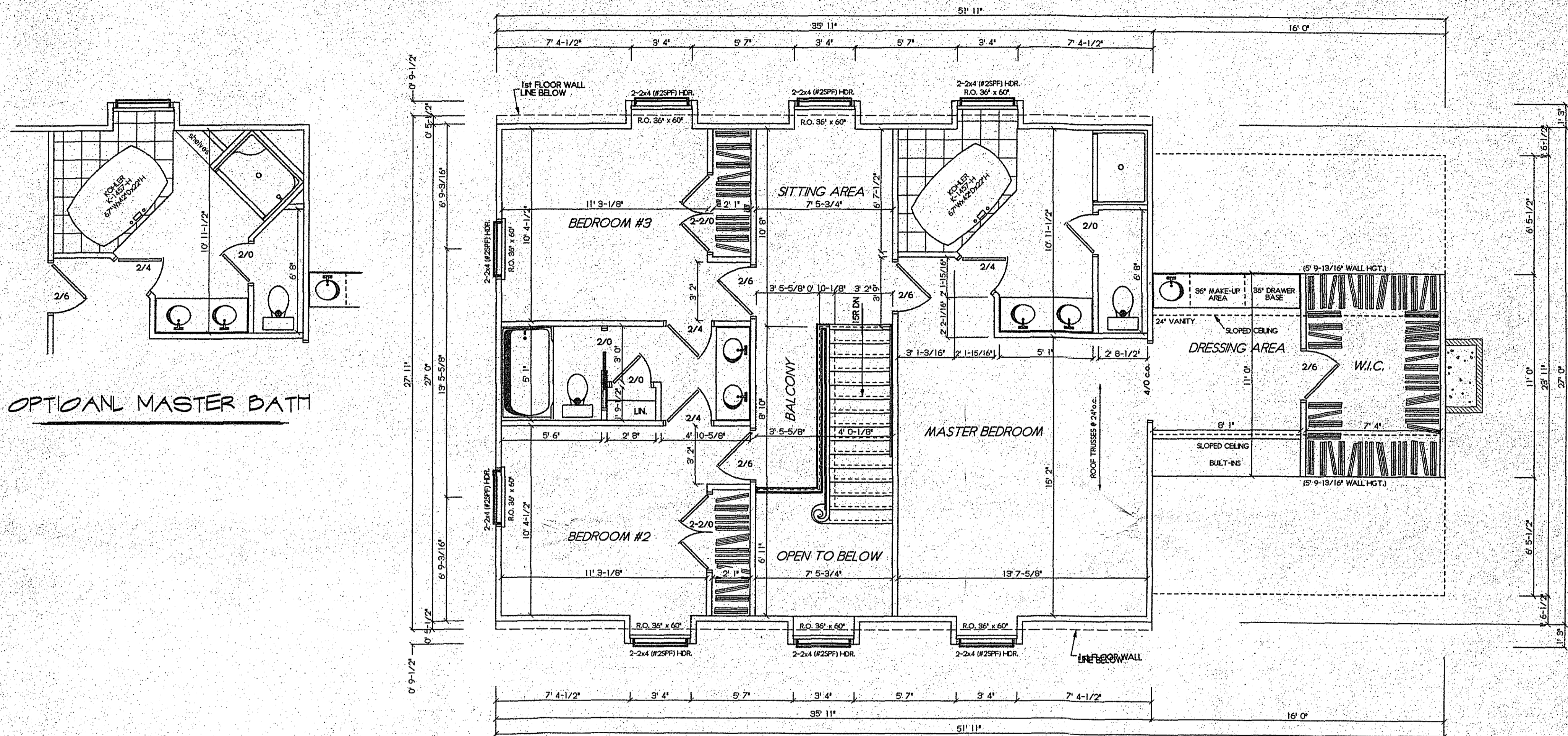
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PHONE: (301) 733-7940  
FAX #: (301) 824-3944  
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PLANNING AND COMPANY

CUSTOMER  
**Crane Homes LLC**  
MODEL: THE MADISON  
JOB: BROOKVILLE LOT #01

REVISIONS:	
DATE	REMARKS
10/23/2002	CHG. DORMERS / ARCH. SKETCH (RLR)
11/05/2002	PERMIT PLANS, INCLUDE FLOOR & ROOF LAYOUTS. (RLR)

DRAWN BY: R. SUDERS	DWG NO. 5342
DATE 9/20/02	QUOTE NO.
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DATE	



OPTIONAL MASTER BATH

WINDOW HDR. HGT. FOR 2ND FLOOR IS TO BE 7' 6-5/8" A.F.F.

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*  
 1175 SQ. FT.  
**2ND FLOOR PLAN**  
 SCALE 1/4" = 1'-0"

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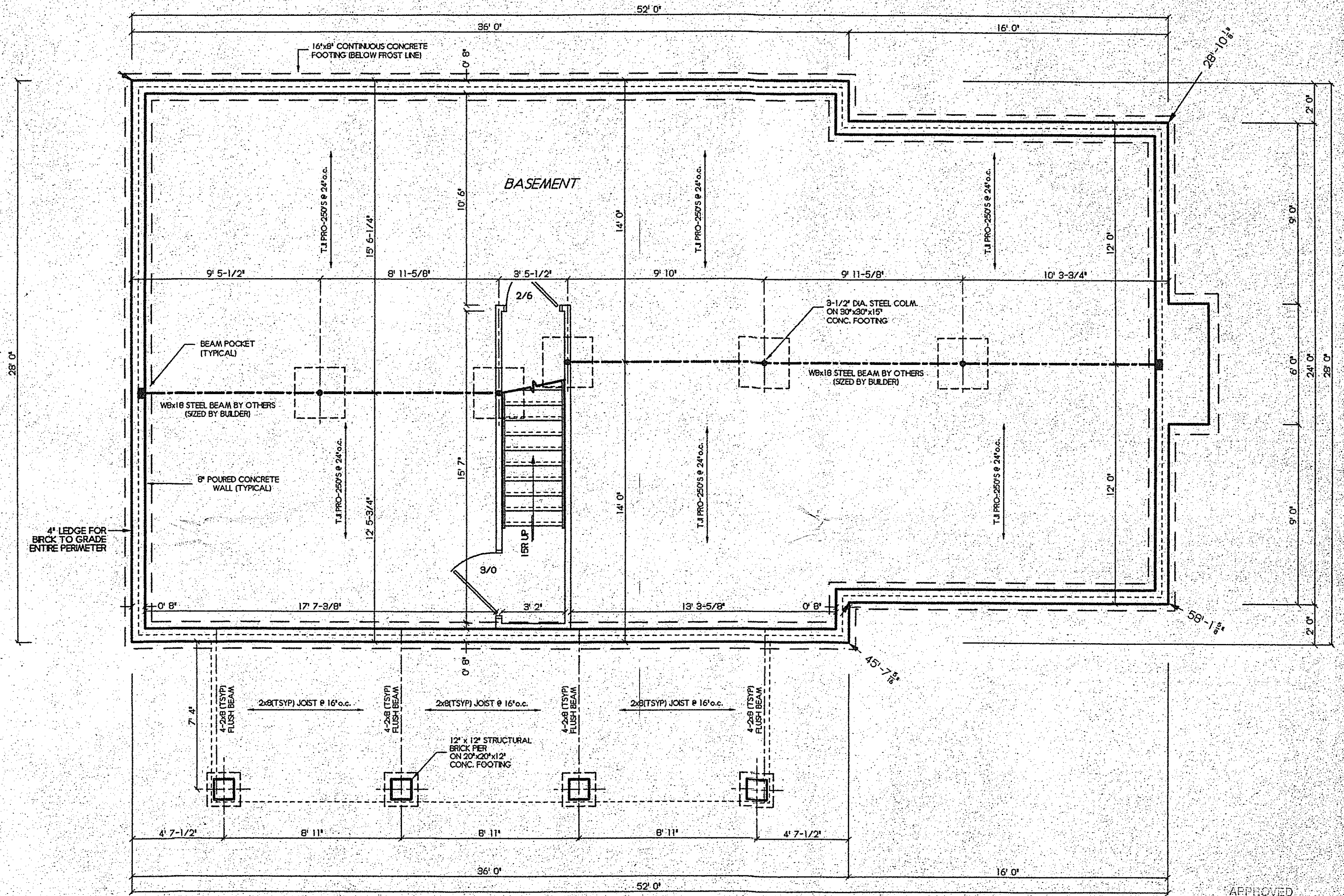
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CUSTOMER  
  
 MODEL: THE MADISON  
 JOB: BROOKVILLE LOT #01

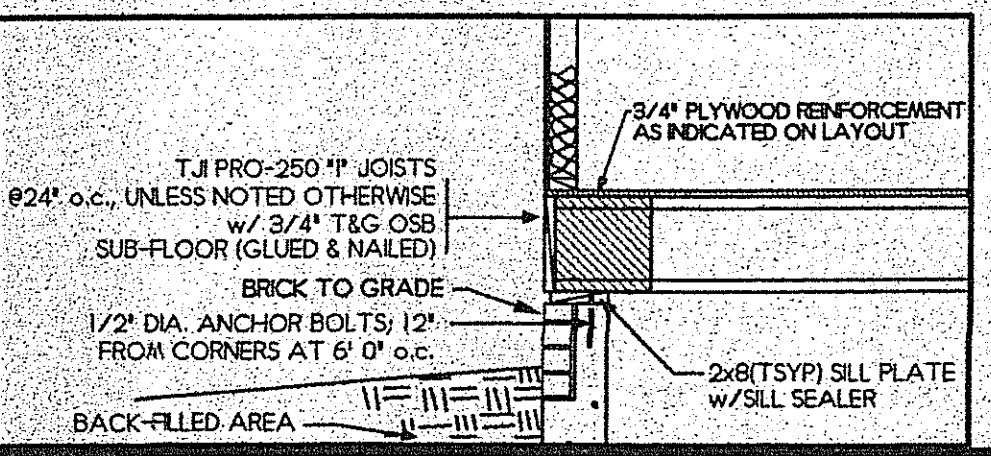
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DATE 9/20/02	QUOTE NO.
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- FOOTINGS**
  - A. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND BELOW FROST LINE (MIN. 2'-6" FINISHED GRADE TO BOTTOM).
  - B. MIN. CONTINUOUS FOOTING SIZE IS DEPTH: 8" WIDTH: OF FOUNDATION WALL + 4" EACH SIDE.
  - C. MIN. CHIMNEY FOOTING SIZE IS DEPTH: 12" WIDTH & LENGTH: W & L MASONRY + 6" ALL SIDES.
  - D. MIN. COLUMN OR PER FOOTING SIZE (FOR NORMAL RESIDENTIAL LOADING AND AVERAGE ASSUMED SOIL BEARING CAPACITY) UNLESS OTHERWISE DETERMINED BY CALCULATION IS 24"x24"x12" THICK, ONE STORY; AND 30"x30"x18" TWO STORY.
  - E. STEPS IN ELEVATION SHOULD PROVIDE MIN. 1.5 UNITS HORIZONTAL LAP FOR EACH UNIT OF VERTICAL RISE.
- CONC. FLS. SLAB**
  - A. INTERIOR CONCRETE FLOOR SLAB (MIN. 4" THICK)
  - B. PREPARED SUB GRADE COMPACTED, NO VEGETATION.
  - C. MIN. 4" THICK BASE COURSE GRAVEL, SAND OR EQUAL.
  - D. VAPOR BARRIER LAP JOINTS 6" +
  - E. CONTROL JOINTS NO EXPANSE TO EXCEED 30 LF, AND AT OFFSETS GREATER THAN 10' - OR - 6" x 2' TO GAGE WELDED WIRE MESH AT MID-DEPTH OF SLAB.
- DAMP-PROOFING**
  - A. EXTERIOR FOUNDATION WALLS OF CONCRETE ENCLOSING BASEMENT; BITUMINOUS COATING FOOTING TO FINISHED GRADE.
  - B. EXTERIOR FOUNDATION WALLS OF MASONRY ENCLOSING BASEMENT; 3/4" PORTLAND CEMENT PARING (COVERED) AT FOOTING TO FINISHED GRADE + BITUMINOUS COATING; FOOTING TO FINISHED GRADE.
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  - B. BELOW LEVEL OF FLOOR.
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  - E. TOPPED WITH 'RED ROBIN PAPER'.
  - F. DISCHARGED TO GRAVITY CUTFALL OR SWAMP PIT WITH PUMP.
- DECAY & TERMITES PROTECTION**
  - A. USE APPROVED OR TREATED WOODS, OR
  - B. SILL 8" CLEAR TO EARTH, MIN.
  - C. SIDING 6" CLEAR TO EARTH, MIN.
  - D. NO WOOD OR CONCRETE SLAB WHICH IS IN DIRECT CONTACT WITH EARTH.
  - E. BEAMS POCKETED IN EXTERIOR MASONRY OR CONC. WALLS 1/2" CLEAR ON TOP, SIDES & ENDS.
- CRAWL SPACE**
  - A. JOIST 18" CLEAR BEAMS 12" CLEAR TO EARTH, MIN.
  - B. MIN. 18"x24" ACCESS PANEL.
  - C. MIN. 1/150 UNDERFLOOR AREA VENTS - OR - 1/1500 UNDERFLOOR AREA WITH VAPOR BARRIER, ONE VENT WITHIN 8 FT. OF EACH CORNER.



**BRICK TO GRADE DETAIL**  
SCALE 1/2" = 1' 0"



- DECAY & TERMITES PROTECTION**
  - A. USE APPROVED OR TREATED WOODS, OR
  - B. SILL 8" CLEAR TO EARTH, MIN.
  - C. SIDING 6" CLEAR TO EARTH, MIN.
  - D. NO WOOD OR CONCRETE SLAB WHICH IS IN DIRECT CONTACT WITH EARTH.
  - E. BEAMS POCKETED IN EXTERIOR MASONRY OR CONC. WALLS 1/2" CLEAR ON TOP, SIDES & ENDS.
- MASONRY VENEER**
  - A. WEATHER RESISTANT MEMBRANCE (15# FELT) REQUIRED TO COVER ALL EXPOSED WOOD AND 6" STRIPS TO COVER OPEN JOINTS OF OTHERWISE APPROVED SHEATHING MATERIAL.
  - B. ATTACHED TO WOOD FRAME W/APPROVED TIES @ 24" o.c. HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 9-1/4 SQ. FT. OF WALL AREA WITH 1" AIR SPACE.
- PREFRAMES CHIMNEYS**
  - A. IF PREFRAME OPENING IS LESS THAN 6 SQ. FT., MIN. HEARTH PROJECTION IS 16" FRONT, 8" EACH SIDE; IF 6 SQ. FT. OR MORE, 20" FRONT, 12" SIDE.
  - B. INTERIOR CHIMNEYS MIN. 2" CLEARANCE TO COMBUSTIBLE; EXTERIOR MIN. 1"
  - C. CHIMNEYS SHALL EXTEND AT LEAST 2' ABOVE THE HIGHEST POINT WHERE THEY PASS THE ROOF OF A BUILDING AND AT LEAST 2' HIGHER THAN ANY PORTION OF BUILDING WITHIN 10'.

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 11/6/02  
**FOUNDATION PLAN**  
SCALE 1/4" = 1' 0"

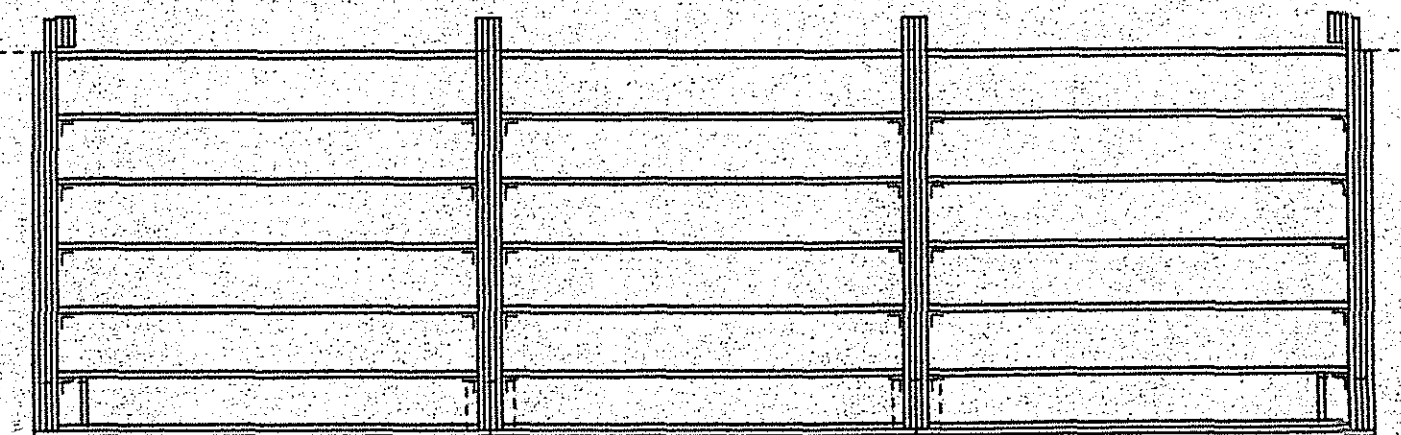
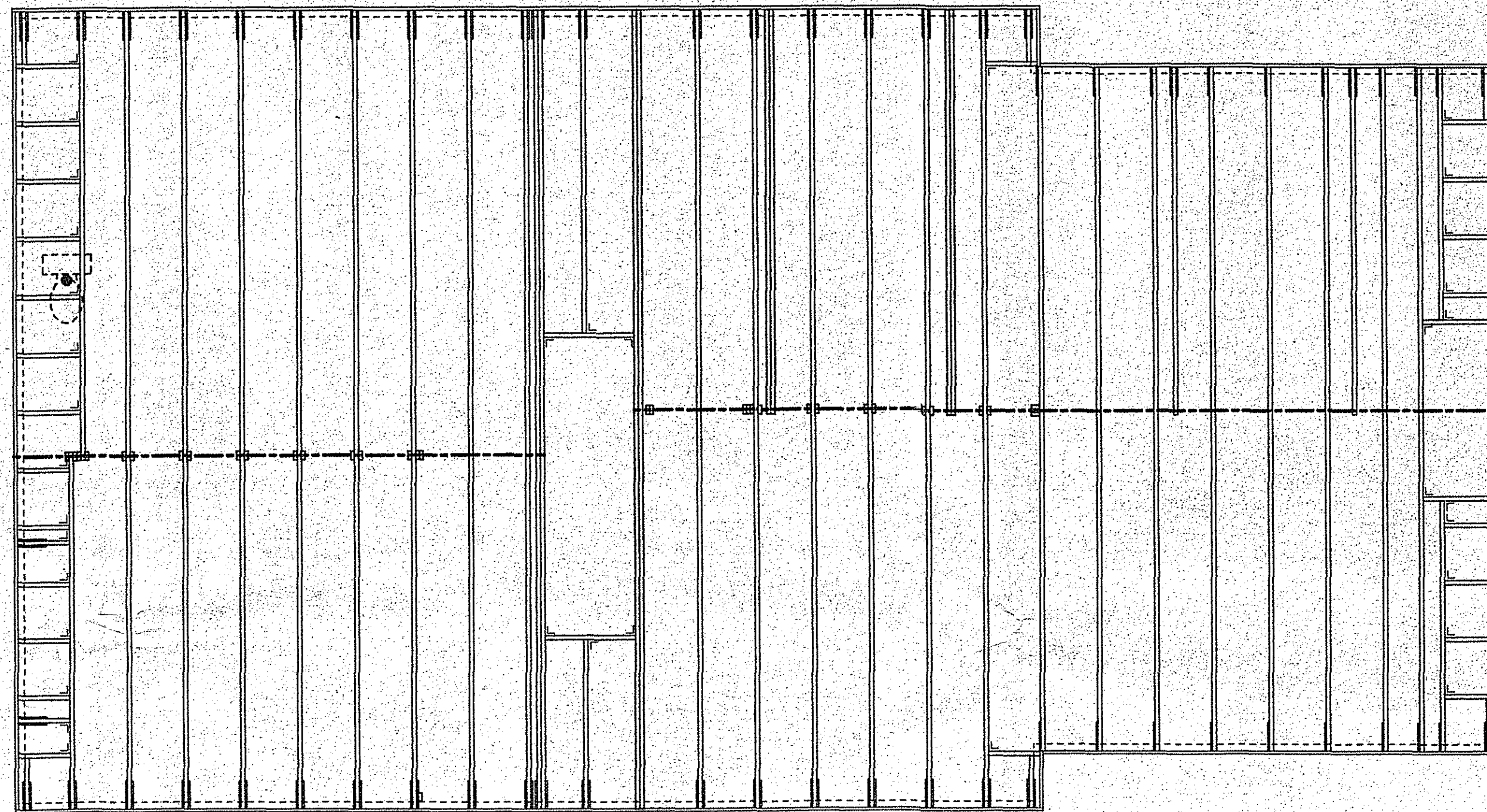
THE USE OF THESE PLANS AND DETAILS FOR CONSTRUCTION OR ANY OTHER PURPOSE WITHOUT WRITTEN PERMISSION FROM CAVCO HOMES, INC. IS PROHIBITED. DO NOT SCALE THESE DRAWINGS. DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED. ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE INDICATED. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO INSURE THAT THESE PLANS AND ALL WORK PERFORMED IS IN ACCORDANCE WITH ALL LOCAL CODES AND REGULATIONS. OWNER AND CONTRACTOR SHALL VERIFY ALL CONDITION AND DIMENSIONS BEFORE CONSTRUCTION WORK IS STARTED. ANY DISCREPANCIES SHALL BE REPORTED TO CAVCO HOMES, INC. DRAFTING DEPARTMENT FOR JUSTIFICATION AND/OR CORRECTION BEFORE WORK IS PERFORMED. OWNER AND CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED TO CAVCO HOMES, INC. DRAFTING DEPARTMENT FOR JUSTIFICATION AND/OR CORRECTION.

**CAVCO HOMES, INC.**  
P.O. BOX 75  
12105 MAPLEVILLE RD.  
CAVETOWN, MD 21720  
PHONE: (301) 793-7940  
FAX #1 (301) 824-3944  
DIVISION OF CAVETOWN PLANNING MILL COMPANY

CUSTOMER:  
**Crane Homes LLC**  
MODEL: THE MADISON  
JOB: BROOKVILLE LOT #01

REVISIONS	
DATE	REMARKS
10/23/2002	CHG: DORMERS / ARCH. SKETCH. (RLR)
11/05/2002	PERMIT PLANS, INCLUDE FLOOR & ROOF LAYOUTS. (RLR)

DRAWN BY: R. SUDERS	DWG NO. 5342
DATE 9/20/02	QUOTE NO.
PROD. BY:	ORDER NO.
DATE	
APPROVED BY:	
DATE	




EXTERIOR FRONT PORCH DECK

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 11/6/02  
**1ST FLOOR SYSTEM**  
 SCALE 1/4" = 1'-0"

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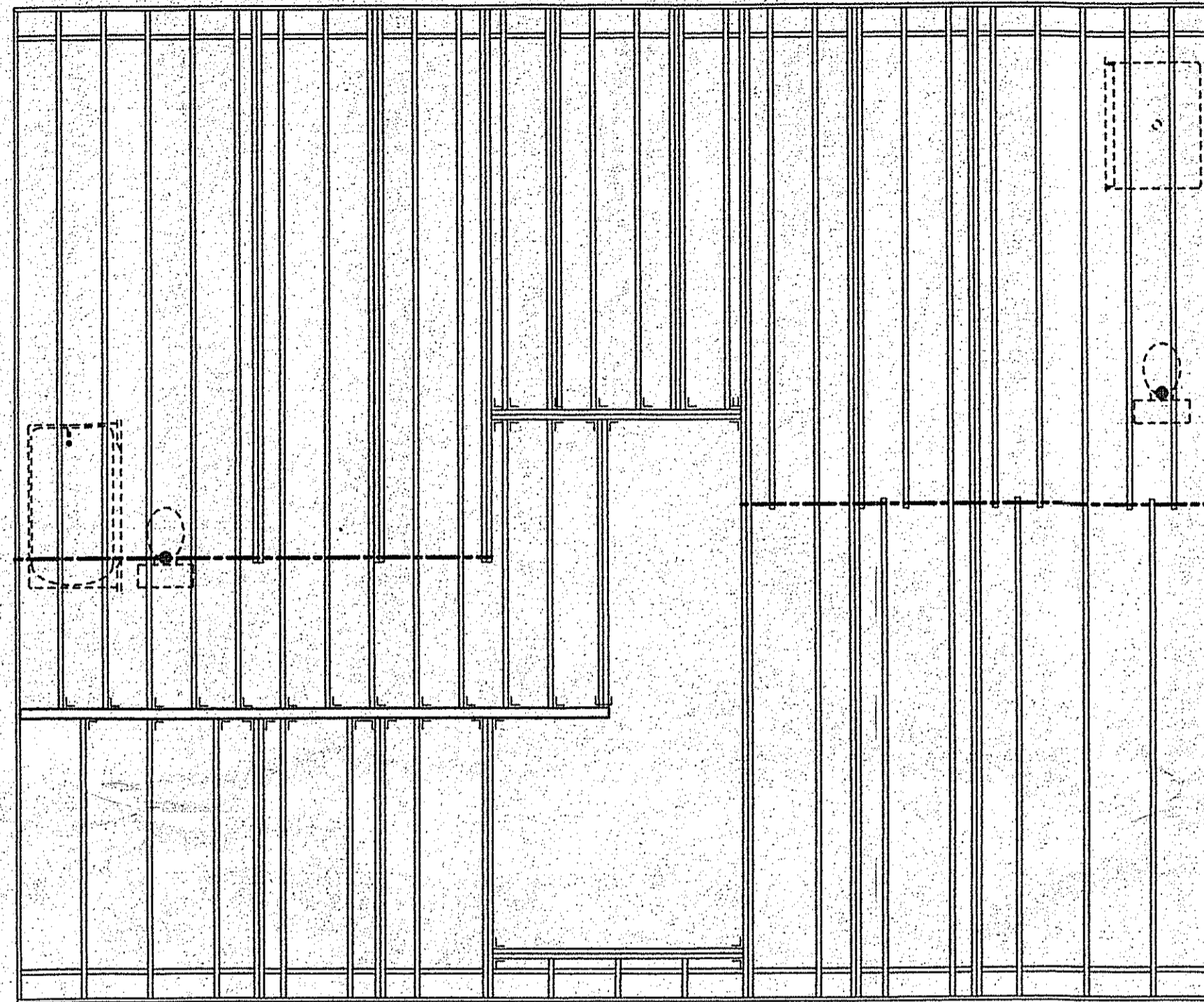
CUSTOMER  
  
 MODEL: THE MADISON  
 JOB: BROOKEVILLE LOT #01

REVISIONS	
DATE	REMARKS
10/23/2002	CHG. DORMERS / ARCH. SKETCH (RLR)
11/05/2002	PERMIT PLANS, INCLUDE FLOOR & ROOF LAYOUTS. (RLR)

DRAWN BY: R. SUDERS
DATE: 9/20/02
PROD. BY:
DATE:
APPROVED BY:
DATE:

DWG NO. 5342
QUOTE NO.
ORDER NO.





APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 11/6/02

**2ND FLOOR SYSTEM**

SCALE 1/4" = 1'-0"

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DIVISION OF CAVETOWN  
 PLANNING HILL COMPANY

CUSTOMER



MODEL: THE MADISON  
 JOB: BROOKVILLE LOT #01

REVISIONS

DATE	REMARKS
11/05/2002	PERMIT PLANS, INCLUDE FLOOR & ROOF LAYOUTS, (RLR)

DRAWN BY:

R. SUDERS  
 DATE: 9/20/02

PROD. BY:

DATE:  
 APPROVED BY:

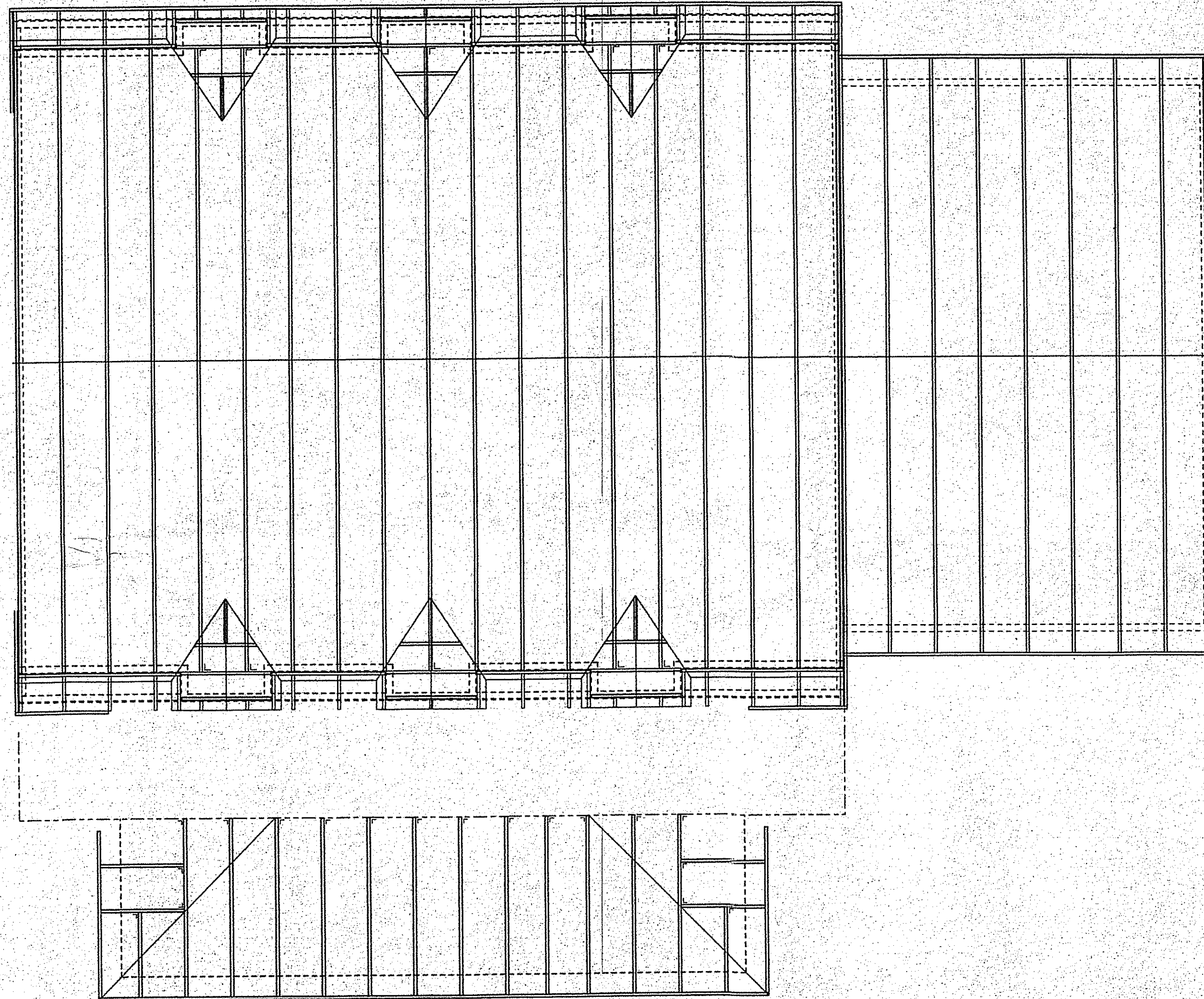
DATE

DWG NO.

5342

QUOTE NO.

ORDER NO.



APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* 11/6/02  
**ROOF LAYOUT**

SCALE 1/4" = 1'-0"

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DIVISION OF CAVETOWN  
PLANING MILL COMPANY

CUSTOMER



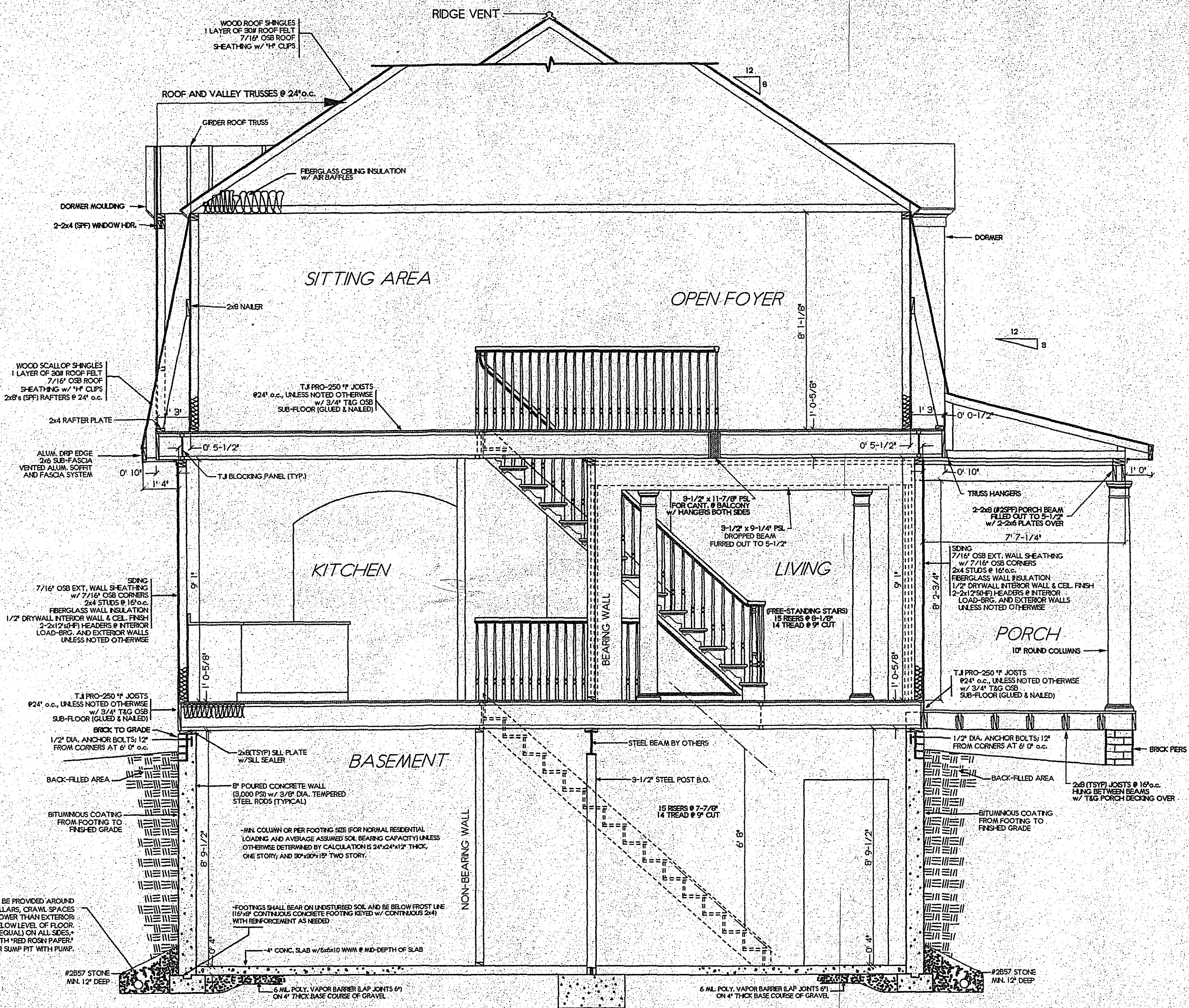
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JOB: BROOKEVILLE LOT #01

REVISIONS:

DATE	REMARKS
10/29/2002	CHG. DORMERS / ARCH. SKETCH. (RLR)
11/05/2002	PERMIT PLANS, INCLUDE FLOOR & ROOF LAYOUTS. (RLR)

DRAWN BY:  
R. SUDERS  
DATE: 9/20/02  
PROD. BY:  
DATE:  
APPROVED BY:  
DATE:

DWG NO. 5342  
QUOTE NO.  
ORDER NO.



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 11/16/02

**LEFT CROSS-SECTION**  
 SCALE 3/8" = 1'

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 PLANNING MILL COMPANY

CUSTOMER:  
  
**Crane Homes LLC**  
 MODEL: THE MADISON  
 JOB: BROOKVILLE LOT #01

DATE	REMARKS
10/23/2002	CHG. DORMERS / ARCH. SKETCH (RJR)
11/05/2002	PERMIT PLANS, INCLUDE FLOOR & ROOF LAYOUTS. (RJR)

DRAWN BY: R. SUDERS
DATE: 9/20/02
PROD. BY:
DATE:
APPROVED BY:
DATE:

DWG. NO. 5342
QUOTE NO.
ORDER NO.



**OWNER'S CERTIFICATION**

I, Sidney Isadore Rotter, owner of the property shown hereon, hereby adopt this plan of subdivision, grant an area of dedication along Water Street for the public use, and further grant a Public Utilities Easement (10' P.U.E.) as shown hereon to the parties named in a document entitled "Terms and Provisions of Public Utility Easements" as recorded in Liber 3834 at Folio 457 among the Land Records of Montgomery County, Maryland, subject to all current and applicable regulations of all federal, state, and local governing agencies, and further grant a Conservation Easement as shown hereon to the parties named in a document entitled "Conservation Easement Agreement, Category I" as recorded in Liber 13178 at Folio 412 among the Land Records of Montgomery County, Maryland, subject to the terms set forth therein. I also grant an access easement as shown hereon, for the use and benefit of the owners of Lots 60, 14-18, and properties described as P535 and P537, their successors and assigns.

There are no suits, liens, mortgages, or trusts, affecting the property including in this plat of subdivision, except for a certain lien and the party interest thereto has hereon indated their assent.

By: Sidney Isadore Rotter 5/30/02 S.P. Wood  
Date Date Witness  
By: Gary Weltman 9/19/02 Mary Marcella  
Date Date Witness  
Substitute Trustee for  
Formerly Mary Rotter

**SURVEYOR'S CERTIFICATION**

I hereby certify that the plat shown hereon is correct; that it is a subdivision of part of the land described in a deed from Sidney Isadore Rotter and Mary Elizabeth Rotter to Sidney Isadore Rotter, dated July 27, 1990 and recorded Liber 9447 at Folio 473, among the land records of Montgomery County, Maryland. I further certify that all monuments and all property markers and other boundary markers have been set as delineated hereon. The total area included on this plat is 3.252 acres of land of which 0.423 acres is dedication to public use.

DATE: 5/30/02  
Thomas A. Maddox  
THOMAS A. MADDOX - REGISTERED  
PROFESSIONAL LAND SURVEYOR MD #10850

**NOTES**

- 1. ZONING PER TOWN OF BROOKEVILLE ZONING ORDINANCE, CHAPTER 10: HVR, HISTORIC VILLAGE RESIDENTIAL. BUILDING HEIGHT NOT TO EXCEED 35'. BUILDING RESTRICTION LINES: 15' FRONT YARD, 8' SIDE YARD, 40' REAR YARD. ACCESSORY BUILDINGS MUST BE BUILT A MINIMUM OF 2' FROM PROPERTY LINES.
- 2. APPROVAL OF THIS PLAT PREDICATED ON THE AVAILABILITY OF PUBLIC WATER AND SEWER. CATEGORIES S-3, W-3.
- 3. THIS PLAT IS NOT INTENDED TO SHOW EVERY MATTER AFFECTING OR RESTRICTING THE OWNERSHIP AND USE OF THE PROPERTY. THIS PLAT IS NOT INTENDED TO REPLACE AN EXAMINATION OF TITLE OR TO DEPICT OR NOTE ALL MATTERS AFFECTING TITLE.
- 4. PROPERTY FOUND ON MONTGOMERY COUNTY TAX MAP HU562.
- 5. THIS PROPERTY DOES NOT LIE WITHIN A FLOOD PLAIN AS SHOWN ON TOWN OF BROOKEVILLE, MONTGOMERY COUNTY, MARYLAND. FEMA COMMUNITY PANEL NO. 240166 0001A, DATED JUNE 19, 1989.

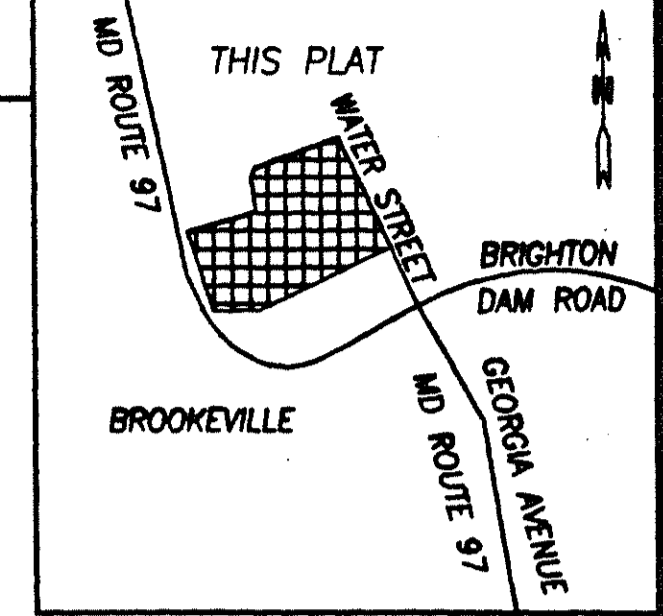
APPROVED  
Montgomery County  
Historic Preservation Commission

FOR PUBLIC WATER AND SEWER SYSTEMS

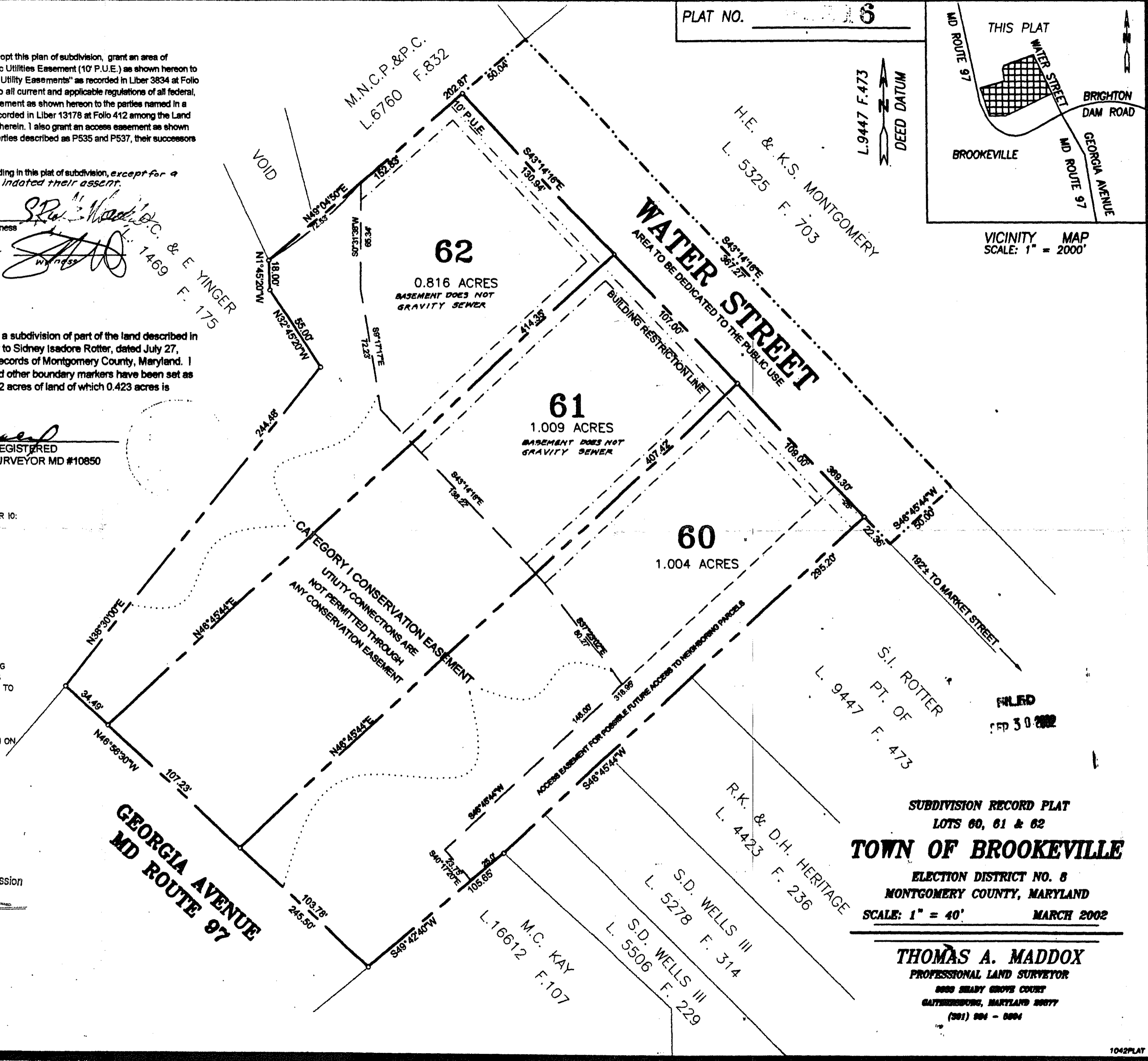
TOWN OF BROOKEVILLE PLANNING COMMISSION

Christopher T. Scanlon 9/27/2002  
CHAIRMAN DATE  
CHRISTOPHER T. SCANLON

PLAT NO. 6



VICINITY MAP  
SCALE: 1" = 2000'



FILED  
SEP 30 2002

SUBDIVISION RECORD PLAT  
LOTS 60, 61 & 62  
**TOWN OF BROOKEVILLE**  
ELECTION DISTRICT NO. 8  
MONTGOMERY COUNTY, MARYLAND  
SCALE: 1" = 40' MARCH 2002

**THOMAS A. MADDOX**  
PROFESSIONAL LAND SURVEYOR  
8800 SHADY GROVE COURT  
GAITHERSBURG, MARYLAND 20877  
(301) 984 - 0804

64617 MSA SSU 1247.28188

SITE PLAN APPROVAL

On March 5, 2002, the Planning Commission of the Town of Brookeville approved the Site Plan for the Rotter Property. This approval is subject to the conditions approved by the Planning Commission, as stated in the record dated information shown on these plans may be superseded by those conditions of approval.

The Town of Brookeville \_\_\_\_\_ Date \_\_\_\_\_

Developer's Certificate

The Developer of this property, agrees to develop this property in accordance with the Town of Brookeville's Zoning Ordinance and Subdivision Ordinance, and with the conditions of the Town of Brookeville's Planning Commission's Site Plan approval on March 5, 2002.

*S.P.A. [Signature]* Date 4-2-02

New street to be open-section gravel roadway 16' in width +

TERMINAL MANHOLE OF SEWER

NOTE: All trees outside of conservation area are subject to removal for construction of homesites and new street. Individual trees to be retained on a case-by-case basis as permitted and determined at a pre-construction meeting with Town of Brookeville, M-NCPPC, and HPC staff.

NOTES:

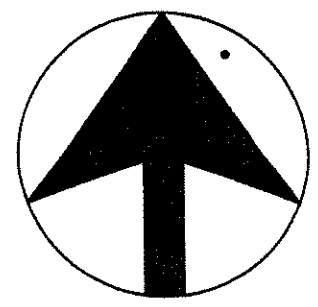
1. AREA OF PROPERTY - 3.3 ACRES
4. EXISTING ZONING - HVR (Historic Village Residential)
6. PERMITTED DENSITY - 1 DWELLING UNIT PER ACRE
7. NUMBER OF LOTS SHOWN - 3
8. MINIMUM LOT SIZE PERMITTED - 10,000 SF
9. MINIMUM LOT SIZE SHOWN - 1.0 AC +-
12. REQUIRED SETBACKS:  
Frontyards - 15'  
Sideyards - 8'  
Rearyards - 40'
13. SITE TO BE SERVED BY PUBLIC WATER & SEWER (WSSC)
14. EXISTING SEWER & WATER SERVICE CATEGORIES: S-3; W-3\*

\* per letter from Montgomery County Department of Environmental Protection dated December 11, 2001

SITE PLAN NOTES:

1. Extended High Street is to be constructed by developer of Rotter Property to specifications approved by the Town of Brookeville.
2. Geotechnical engineer to perform soil borings to determine ultimate paving thickness prior to construction of street.
3. Existing High Street is to be reconstructed as necessary to match extended High Street. This may include the removal of the existing roadway material as determined to be necessary by the geotechnical engineer prior to construction.
4. In addition to the driveway access shown for Lot 1, the 25' "Ingress/Egress and Utility Easement" shown on Lot 1 is for future possible access to properties adjacent to the subject site. All public utilities (electric, gas, telephone, etc.) needed to serve these properties may be located within this easement as determined to be necessary in the future.
4. All houses shown as sited on this plan will connect to public sewer by gravity connection. Basement level for lots 2 and 3 will require ejector pump for sewer service.
5. Montgomery County will require submission of an engineered sediment control plan prior to release of any permits for the property (per approval letter for waiver of stormwater dated April, 23, 2001). The berm shown on lot 3 is intended to direct runoff water away from buildings on the adjacent property to the west as noted in the letter from Montgomery County.

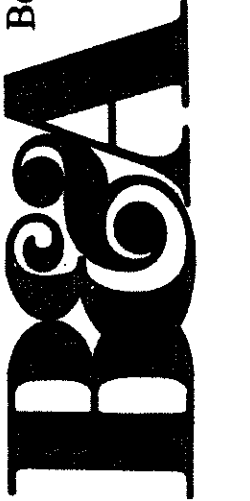
Revisions
2/28/02
3/5/02



date: January 4, 2001

scale: 1" = 30'

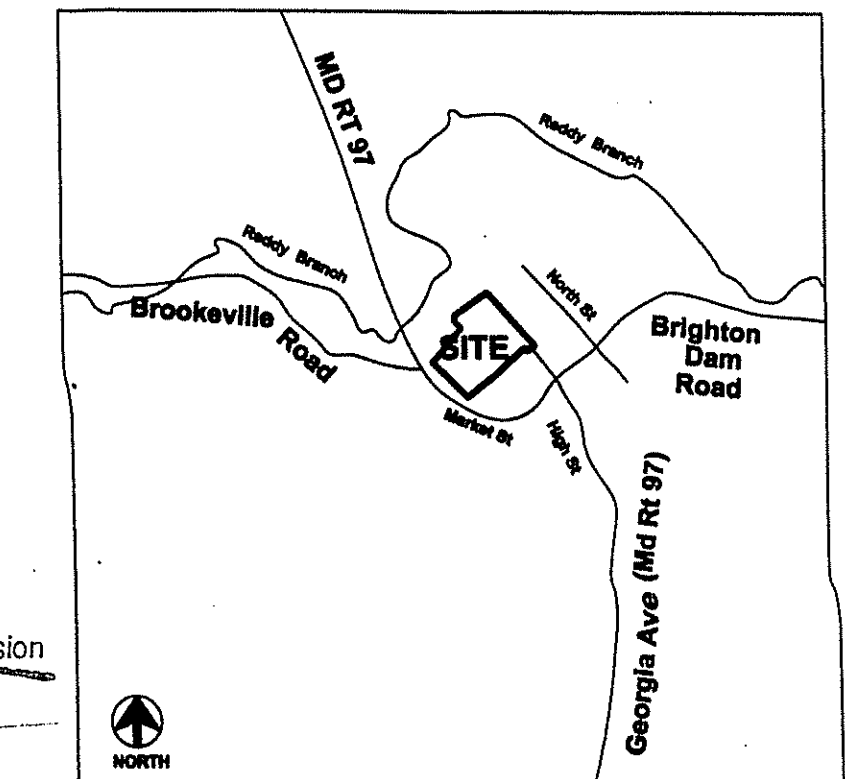
Benning & Associates, Inc.  
Land Planning Consultants  
8933 Shady Grove Court  
Gaithersburg, MD 20877  
(301)946-0240



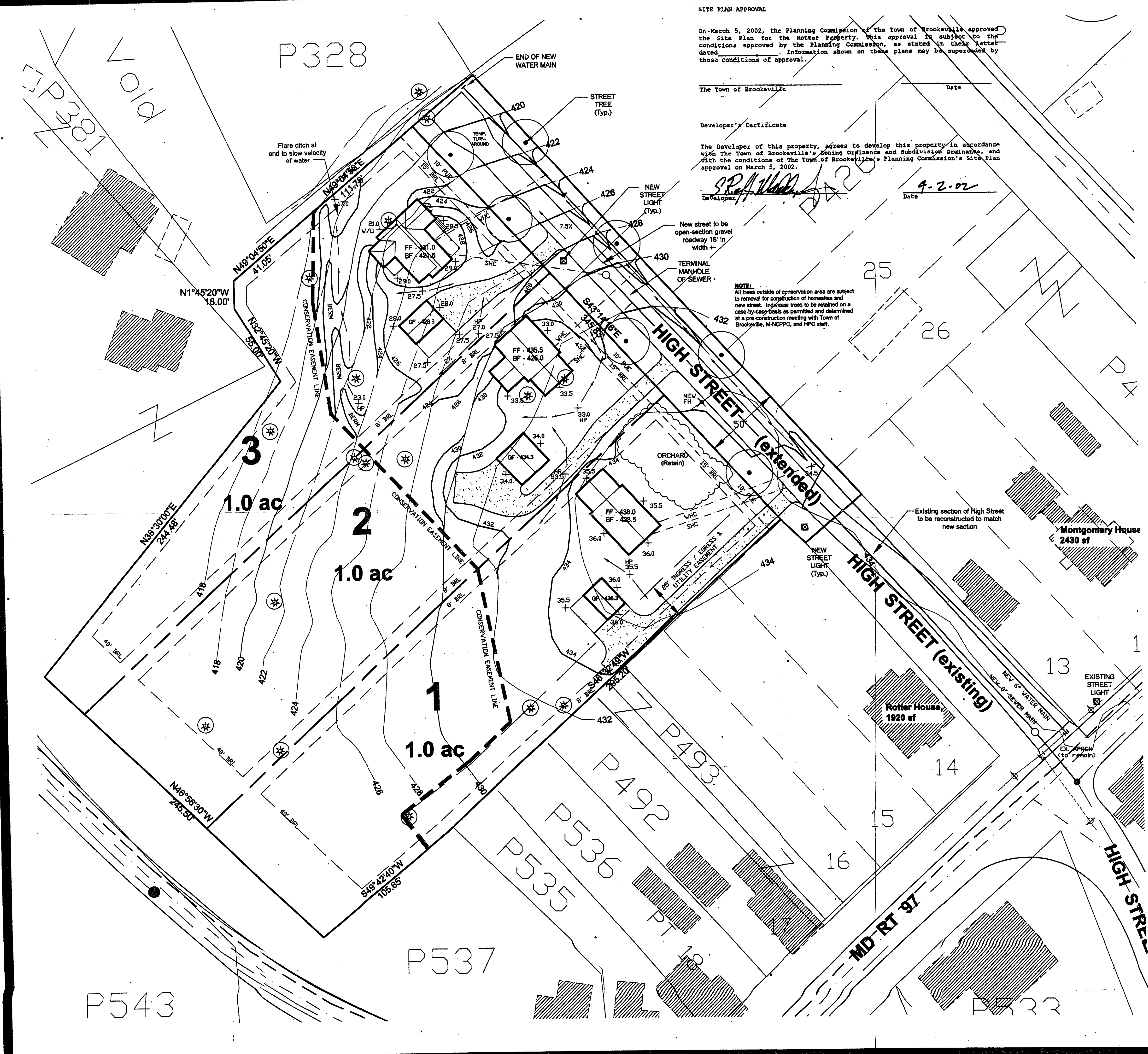
SITE PLAN  
ROTTER PROPERTY  
Town of Brookeville, Maryland

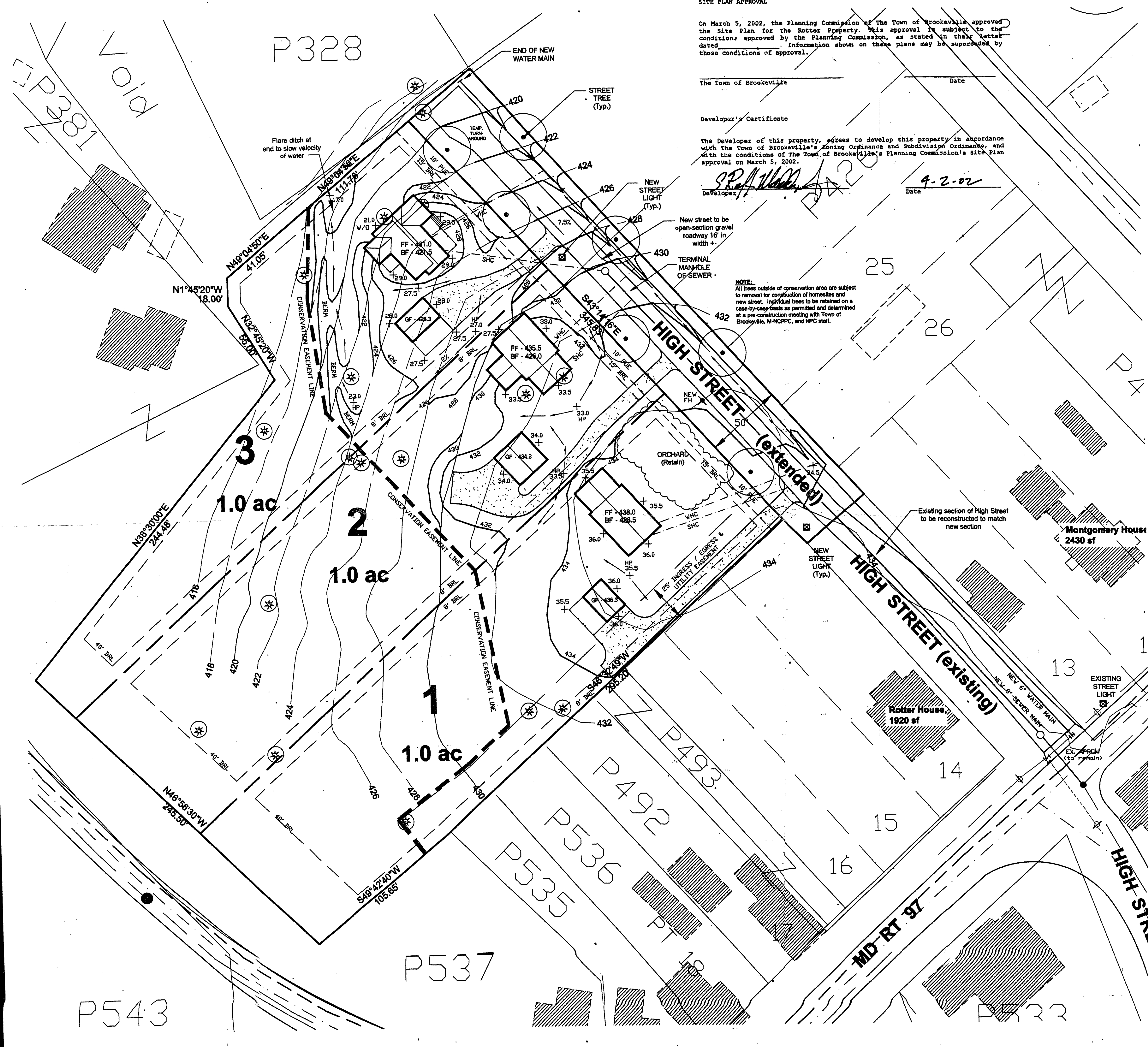
Prepared for:  
**Ruffin Maddox / Rory Coakley**  
20 Court House Square  
Rockville, MD 20850  
301-340-8700

VICINITY MAP  
SCALE: 1" = 1,000'



APPROVED  
Montgomery County  
Historic Preservation Commission





**SITE PLAN APPROVAL**

On March 5, 2002, the Planning Commission of The Town of Brookeville approved the Site Plan for the Rottor Property. This approval is subject to the conditions approved by the Planning Commission, as stated in the letter dated [redacted]. Information shown on these plans may be superseded by those conditions of approval.

The Town of Brookeville \_\_\_\_\_ Date \_\_\_\_\_

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*[Signature]* \_\_\_\_\_ Date 9-2-02

Developer \_\_\_\_\_

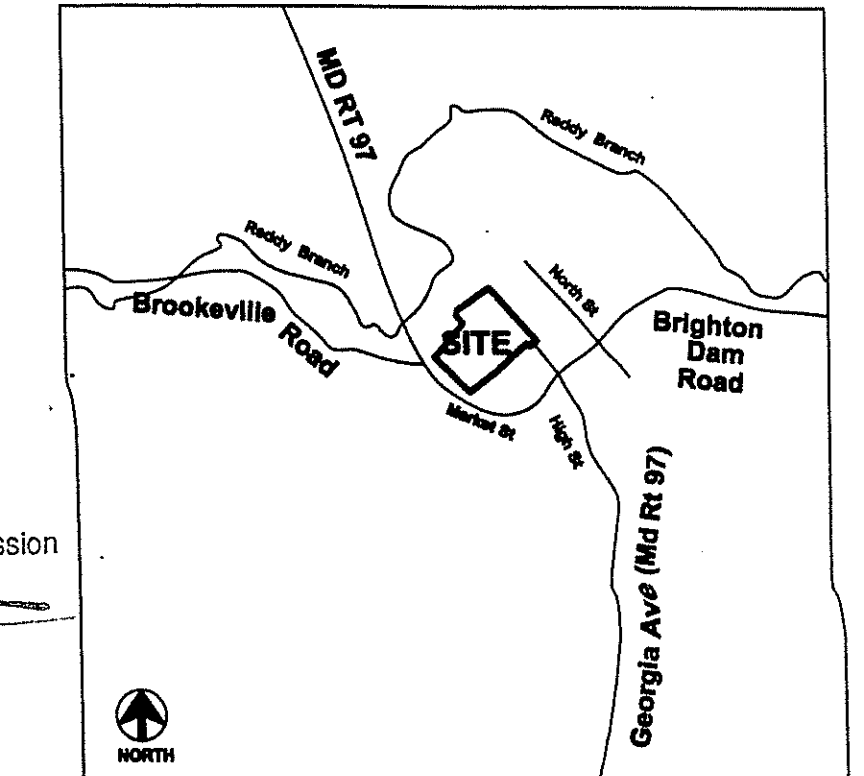
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  6. PERMITTED DENSITY - 1 DWELLING UNIT PER ACRE
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Prepared for:  
**Ruffin Maddox / Rory Coakley**  
20 Court House Square  
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301-340-8700

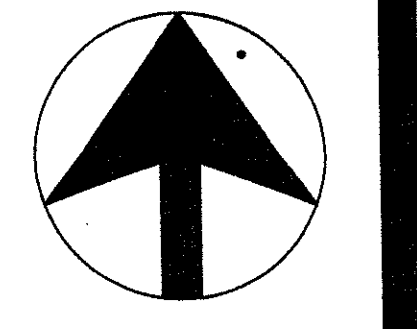
VICINITY MAP  
SCALE: 1" = 1,000'



APPROVED  
Montgomery County  
Historic Preservation Commission

Revisions

2/26/02
3/5/02



date: January 4, 2001  
scale: 1" = 30'

Benning & Associates, Inc.  
Lead Planning Consultants  
8933 Shady Grove Court  
Gaithersburg, MD 20877  
(301)948-0240

**SITE PLAN**  
**ROTTOR PROPERTY**  
Town of Brookeville, Maryland

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address: High Street - Extended Meeting Date: 6/27/01 [4/25/01]  
 Applicant: Ruffin Maddox & Rory Coakley Report Date: 6/20/01 [4/18/01]  
 (David McKee, Agent)  
 Resource: Brookeville Historic District Public Notice: 6/13/01 [4/11/01]  
 Review: **SUBDIVISION** Tax Credit: No  
 District Number: #23/65 Staff: Robin D. Ziek

**PROPOSAL:** Subdivide the Rotter Property, creating three 1-acre home sites.

**RECOMMEND:** Support proposed subdivision

*Doug - Hokes motion to support this subdivision as shown -*

This Subdivision was initially scheduled for the 4/25/01 HPC agenda, but was postponed at the request of the applicant. At this time, there is additional information provided with a tree survey, and the tree conservation area has been studied and refined.

*The actual layout of conservation easement area will come back with more detail for HPC approval. Unanimous*

**Administrative Background**

The Town of Brookeville has undertaken, in the past several years, the termination of the 1959 Agreement with M-NCPPC. With this action, the Town takes up the exercise of its planning and zoning authority. This subdivision proposal of the Rotter Property is the first to be reviewed by the HPC in conjunction with the Planning Commission of Brookeville rather than Montgomery County's Planning Board.

As with the Montgomery County Planning Board, the HPC works in an advisory capacity on the subdivision plan. With this opportunity, the HPC can provide its comments on the lot layout and development, especially to the extent that the subdivision plan will shape the future construction on the site. When the Planning Commission of Brookeville takes action on the proposed subdivision, they can take the opportunity to provide comments to the HPC in consideration of the HPC preservation and architectural review of the upcoming proposal[s].

As the *Comprehensive Plan for the Town of Brookeville* (adopted in 1994) describes, the Town has a large *Master Plan* Historic District, and continues to work with the county under Chapter 24A. As with all historic districts, the HPC has review and approval authority over exterior alterations of existing structures and provides design review of new construction to assure compatible new development. The HPC review includes architectural elevations, building size and siting, and landscaping. The *Comprehensive Plan* provides some guidance for the HPC about Town concerns for preservation and compatible development, including the preservation of

*N.B.: Back to Town for Site Plan review (after Subdivision)*

significant vistas and natural or historical features. Brookeville is notable for its concentration of 19<sup>th</sup> and 20<sup>th</sup> century structures (mostly residential), and for its existing open areas which were not previously developed due to environmental constraints such as steep slopes, wetlands, in conjunction with the Reddy Branch and tributaries which flow at the edge of town. In addition, there are known archaeological sites, such as the two mills at either end of town, and a church site at the end of North Street; and there is high archaeological potential in various areas of the Town.

## SITE DESCRIPTION

The Town of Brookeville was laid out with main streets – High Street and Market Street, and minor streets – North and South Streets, and High Street [extended]. Until fairly recently, the minor streets were used mostly as shared driveways and had the general character of alleys, or “village lanes”. Recently, three new homes were constructed on North Street. That subdivision proposal developed from an analysis of the existing layout of Brookeville, and an identification of character defining features. With this, the feel and character of the narrow gravel lane was preserved and the new construction was integrated into the existing historic plan of the Town.

The proposed new development is on the west side of High Street [extended]. Today, this street appears to be a private driveway shared by the adjacent property owners at 211 and 301 Market Street. The brick house at 301 Market Street dates to the 1<sup>st</sup> quarter of the 19<sup>th</sup> century. It began as a Federal style house, but was renovated in the Italianate style in the middle of the 19<sup>th</sup> century. The prominent brackets and flat roof are notable features. This house is sited close to the intersection of Market Street and High Street [extended], and its east side elevation will be highly visible. The owner currently parks alongside his house, with High Street [extended] serving as the driveway.

The property at 211 Market Street includes a prominent wood frame house which developed from a small cottage, constructed ca. 1820, and was enlarged as a Gothic Revival style house in 1863. Access to the garage associated with this property is from High Street [extended]; and, an in-ground pool behind the garage was recently approved by the HPC. The view north along High Street [extended] provides a sense of the rural landscape surrounding Brookeville. This includes the row of outbuildings (associated with 301 Market Street), open fields, a small apple orchard, woods extending into the Reddy Branch park area, and a sheep barn and exercise area associated with 211 Market Street on the east side of the road.

A large percentage of the subject property is relatively flat, with steeper slopes at the north and west edges. The forest covers the back and west half of the property, which is bounded on the west side by Georgia Avenue. To the north, the property abuts parkland associated with the stream valley of the Reddy Branch which is owned by M-NCPPC and by Montgomery County. Trails are being planned by the county for this parkland.

## PROPOSAL

The applicant proposes to subdivide the three-acre property into three one-acre building lots. They would all have access from High Street [extended], which will be fully dedicated as a public road to the Town of Brookeville (see Circle 12 ). At this time, the applicant is



proposing only the subdivision of the property, with the understanding that any new construction proposals will come before the HPC in the future for review and approval.

In the original layout for Brookeville (see Circle 10), four narrow lots were proposed on the subject property, but this was never platted. The new zoning ordinance (Section 10-301(a)) stipulates that the minimum lot size in this area will have a maximum density of one dwelling per acre. As the subject property includes 3 acres, the applicant proposes three lots of relatively equal size (see Circle 12). In addition, an alley is proposed, in the form of a 25' "Access Easement" to run at the back of the neighboring lots which front Market Street and provide safer access to these lots from the rear. Two homes in the curve of Market Street, #311, and #313, do not currently have any driveway access off of Market Street.

The tree survey demonstrates that this is a new growth forest. Of the 15 trees of substantial size, 13 are within the proposed Conservation Easement Area (see Circle 13). The proposed conservation area would assure the preservation of the tree buffer along the north and west edges of the property.

### STAFF DISCUSSION

For all its small size, Brookeville has a diverse landscape and each building site has unique characteristics. The subdivision process is the precursor of new construction, which has been approved within the Town of Brookeville on a limited basis. In each case, the design and development has been tailored to the site-specific conditions. In all cases, the goal is to promote the integration of the new development into the existing conditions of the historic district.

This proposed new subdivision is consistent with general conditions in the Town, and the applicants have taken steps to respond to concerns expressed in meetings with HPC staff. This includes the extensive conservation easement area and the establishment of lots which conform with the existing lots patterns in town.

The proposed tree conservation area will help to address a major concern which is voiced in the *Brookeville Master Plan*, and which HPC staff reiterated, which is the desire to maintain a natural edge as a buffer around Brookeville. This serves to preserve town identity and ambiance, especially with all the new development in the area. This project should be viewed from all directions, especially as the north and west edges of the property are visible from Georgia Avenue, the north gateway entrance into town. In addition, everyone driving north on Georgia Avenue has a straight view into the proposed development area.

The proposal indicates a tree conservation area which will preserve the town's forested edge in this area. The final plat should contain more specific language for future owners that more clearly defines this as a "no-build" area, where the trees may not be removed for anything other than forest conservation purposes.

The alley will provide access only for existing properties. All of the properties which back up to the proposed alley are under one acre and there is no additional development which can occur because there is an alley. That said, the alley will be dedicated only to a point sufficient to

provide access for 313 Market Street. This will preserve a maximum amount of forest at this edge along Market Street. The alley should be maintained as a gravel road, in keeping with the character of the other small roads and lanes.

With the dedication of **High Street [extended]**, consideration should be given to future development (Lauder Property, with its potential for two additional homes to the northeast, and of the Montgomery Property, with the potential for 1 additional home to the east). This roadway dedication could be built as a narrow gravel road to the end of the property, or could be partially developed as a walking path for residents that would loop over to North Street, or to connect to trails in the parkland.

The extension of High Street [extended] will have the effect of changing two middle-of-the-block historic properties into two corner lots. The existing collection of outbuildings associated with the Rotter Property will become highly visible. These outbuildings are in varying levels of disrepair, and this will need to be addressed from a public safety point of view once public access to this area is provided. Staff would not encourage the demolition of these outbuildings, but would urge repairs and stabilization of the buildings as soon as possible. Outbuildings and farm buildings are characteristic of Brookeville, with the variety of ancillary buildings such as barns, hen houses and privies.

#### **STAFF RECOMMENDATION**

Staff recommends that the HPC support the subdivision proposal.



**Benning & Associates, Inc.**  
Land Planning Consultants

8933 Shady Grove Court  
Gaithersburg, Md. 20877  
(301) 948-0240

March 8, 2001

Ms. Robin Ziek  
Historic Preservation Staff  
M-NCP&PC  
8787 Georgia Avenue  
Silver Spring, MD 20910

Re: Rotter Property - Town of Brookeville

Dear Robin,

Attached is an application for "Historic Area Work Permit" for the subject property. Several weeks ago, my clients and I met with you to discuss the planned subdivision of the property. The plans being submitted to you today are very much like we talked about at the meeting.

Three single family homes are proposed with detached garages on the more than three acres of land. The new road to serve the three lots will be a gravel road similar to North Street in keeping with the character of the Town and the wishes of the Town Planning Commission. The plans are being submitted to the Town for concurrent review and approval.

Please let us know if you need anything else at this time.

Sincerely,

A handwritten signature in cursive script that reads 'David W. McKee'.

David W. McKee

5

**BENNING & ASSOCIATES, INC**  
**LAND PLANNING CONSULTANTS**

**8933 SHADY GROVE COURT**  
**GAITHERSBURG, MD 20877**

**Phone: (301) 948-0240**

**Fax: (301) 948-0241**

To: Ms. Gwen Wright

Date: 6/14/01

M-NCP&PC

Project: Rotter Property

8787 Georgia Avenue

(Town of Brookeville)

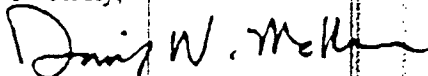
Silver Spring, MD 20910

Gwen:

As discussed at our meeting with you several weeks ago, attached are copies of a "Tree Survey" for the subject property. In addition, as per our discussion, the houses and garages have been removed from the Preliminary Plan so that the focus at this time is on the subdivision of the property only. We are showing a conservation easement line on the plan for the purpose of protecting a substantial amount of the forest on-site and most of the larger trees while still allowing for some flexibility in siting the three future homesites.

Please call me if you need anything else at this time.

Sincerely,



David W. McKee

cc. R. Maddox  
 R. Coakley  
 G. Bauman

6

Margaret C Kay  
313 Market Street  
Brookeville, Maryland 20833-2505

Sidney D Wells 3<sup>rd</sup>  
309 Market Street  
Brookeville, Maryland 20833

Robert K & DH Heritage  
307 Market Street  
Brookeville, Maryland 20833

Mark T & Al Ennes  
316 Market Street  
Brookeville, Maryland 20833

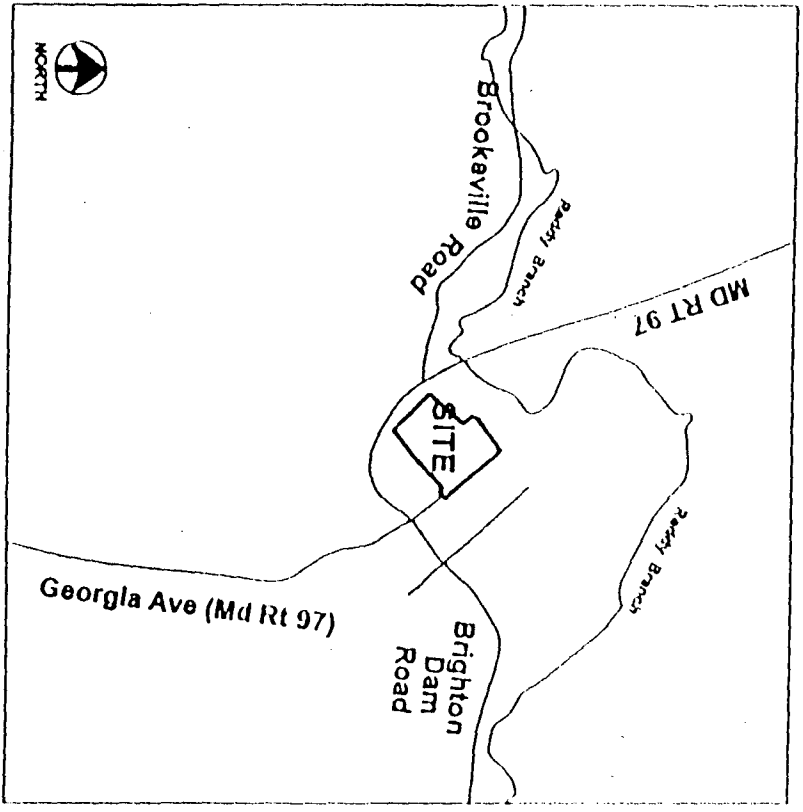
William J Patton &  
Deborah A Harrington-Patton  
318 Market Street  
Brookeville, Maryland 20833-2501

David C & Ea Yinger  
19801 Georgia Ave  
Brookeville, Maryland 20833

J Gordon & P G Lowder  
North Street  
P.O. Box 244  
Brookeville, Maryland 20833

Harry E & KS Montgomery  
211 Market Street  
P.O. Box 68  
Brookeville, Maryland 20833

*Sidney Potter  
301 Market Street  
Brookeville, MD. 20833*

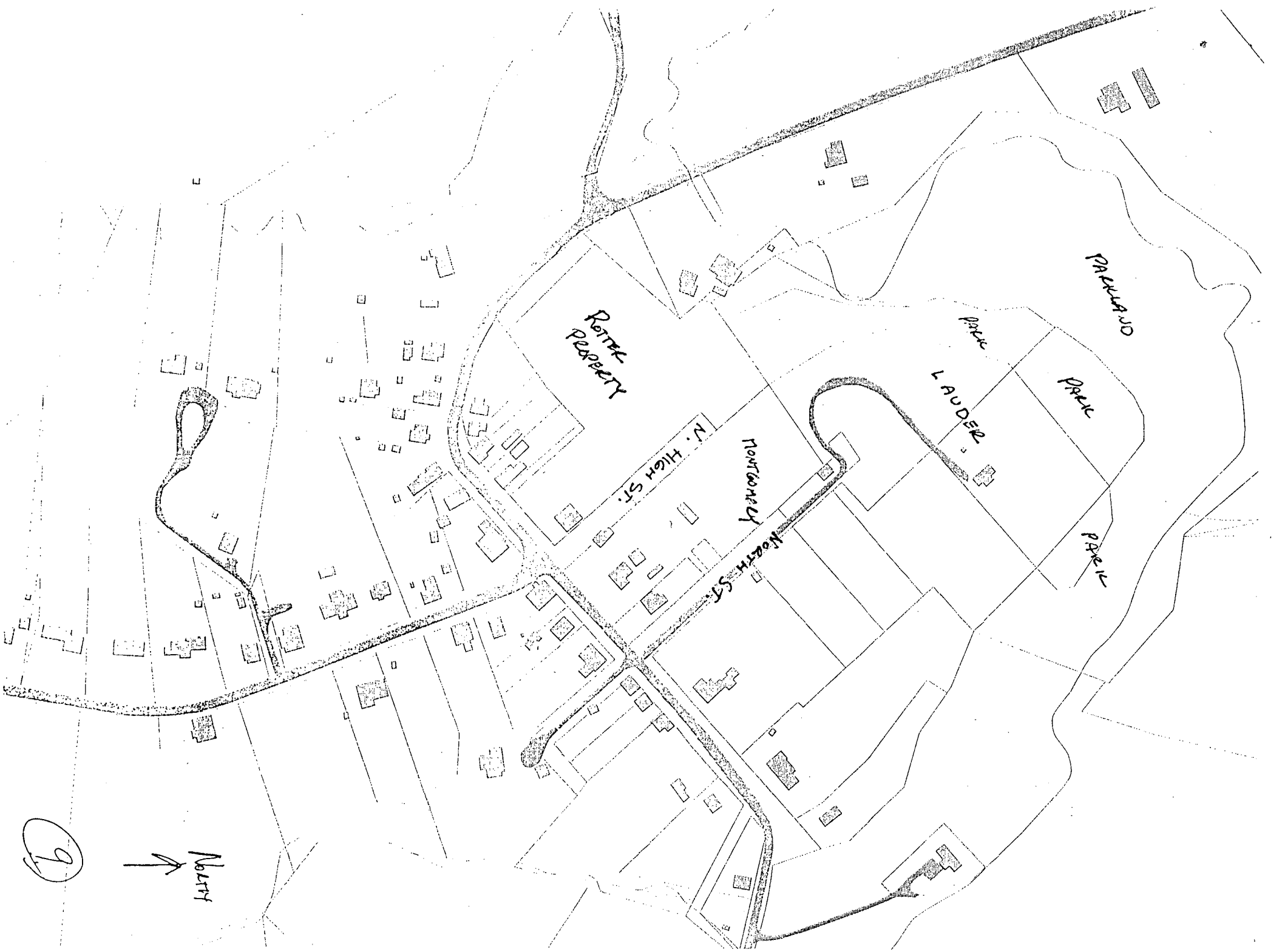


VICINITY MAP  
SCALE: 1" = 1,000'

PRELIMINARY PLAN  
**ROTTER PROPERTY**

Town of Brookeville, Maryland

2



ROTHK  
PROPERTY

N. HIGH ST.

HORTON RD

NORTH ST

LAUDER

PARKWOOD

PARK

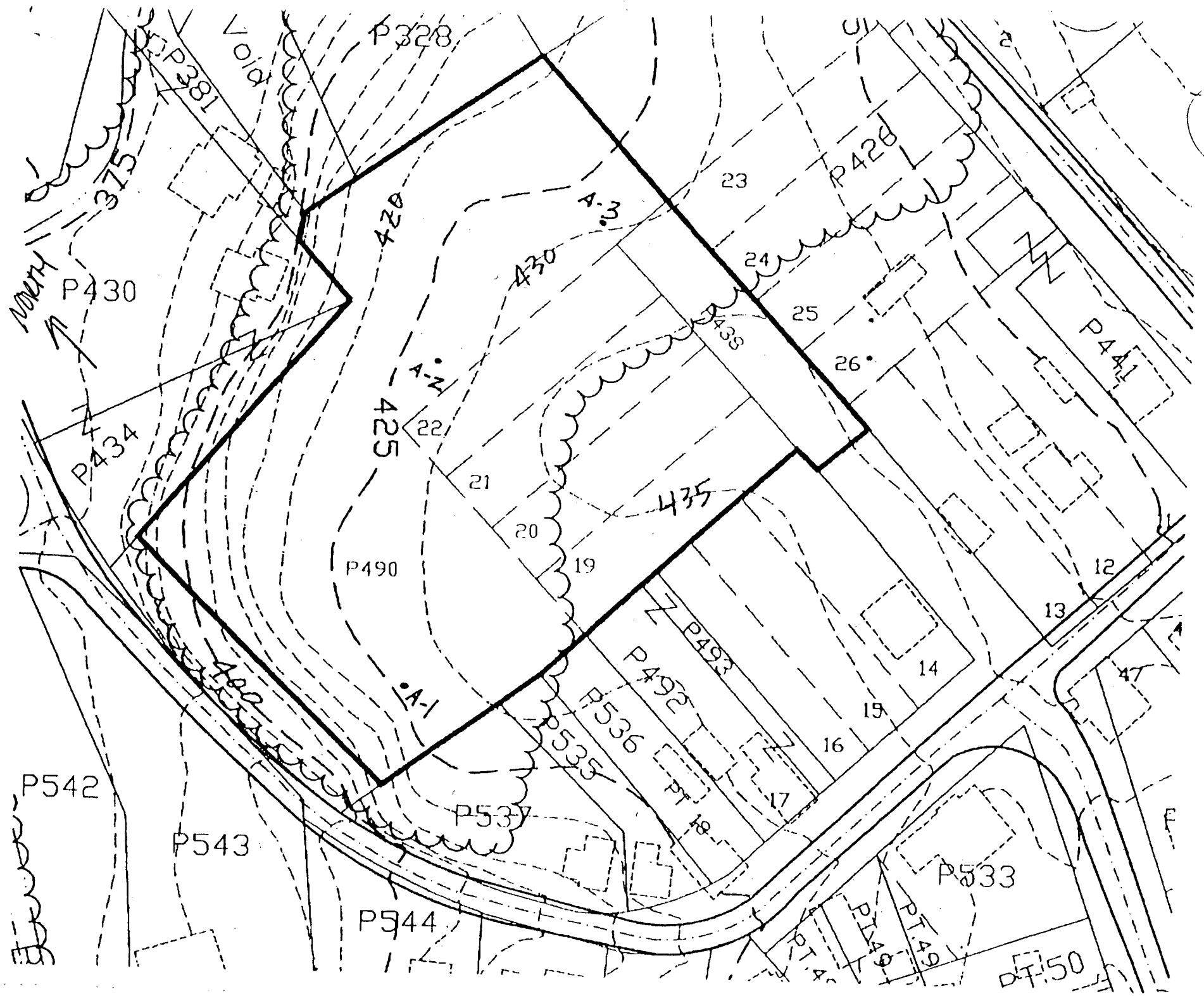
PARK

North  
↑

9

10

EXISTING

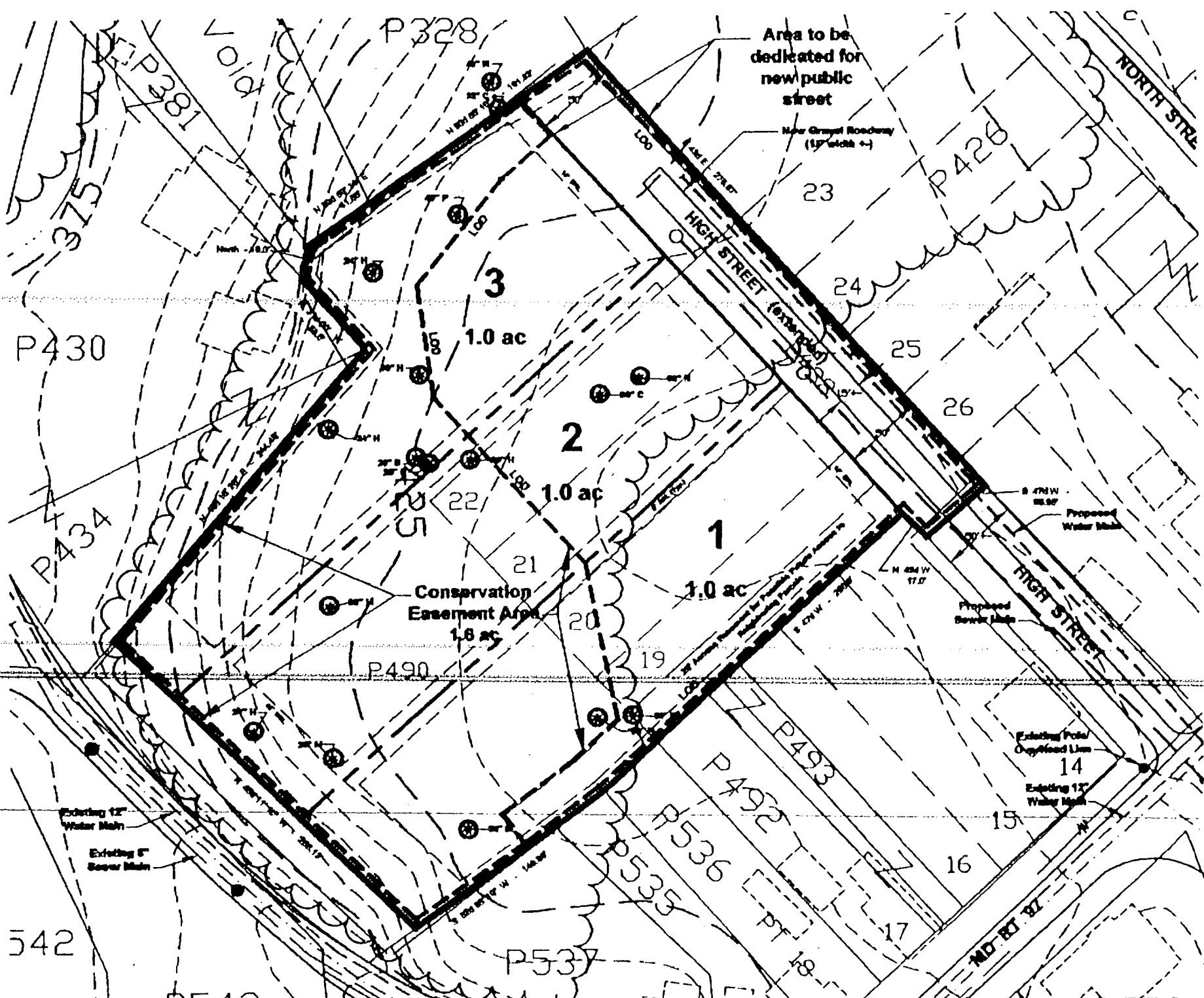




## NOTES:

1. AREA OF PROPERTY - 3.3 ACRES
4. EXISTING ZONING - HVR (Historic Village Residential)
6. PERMITTED DENSITY - 1 DWELLING UNIT PER ACRE
7. NUMBER OF LOTS SHOWN - 3
8. MINIMUM LOT SIZE PERMITTED - 10,000 SF
9. MINIMUM LOT SIZE SHOWN - 1.0 AC +/-
12. REQUIRED SETBACKS:
  - Frontyards - 15'
  - Sideyards - 8'
  - Rearyards - 40'
13. SITE TO BE SERVED BY PUBLIC WATER & SEWER (WSSC)
14. EXISTING SEWER & WATER SERVICE CATEGORIES: S-1; W-1

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Area to be dedicated for new public street

New Gravel Roadway (12' width +/-)

Conservation Easement Area 1.6 ac

1.0 ac

1.0 ac

1.0 ac

Existing 12" Water Main

Existing 8" Sewer Main

Existing Pole Overhead Lim

Existing 12" Water Main

Proposed Sewer Main

Proposed Water Main

542

16

15

14

19

20

21

22

23

24

25

26

3

2

1

23

24

25

26

NORTH STR

MD RT 21

HIGH STREET (existing)

HIGH STREET

P381

P328

P428

P430

P434

P490

P492

P493

P535

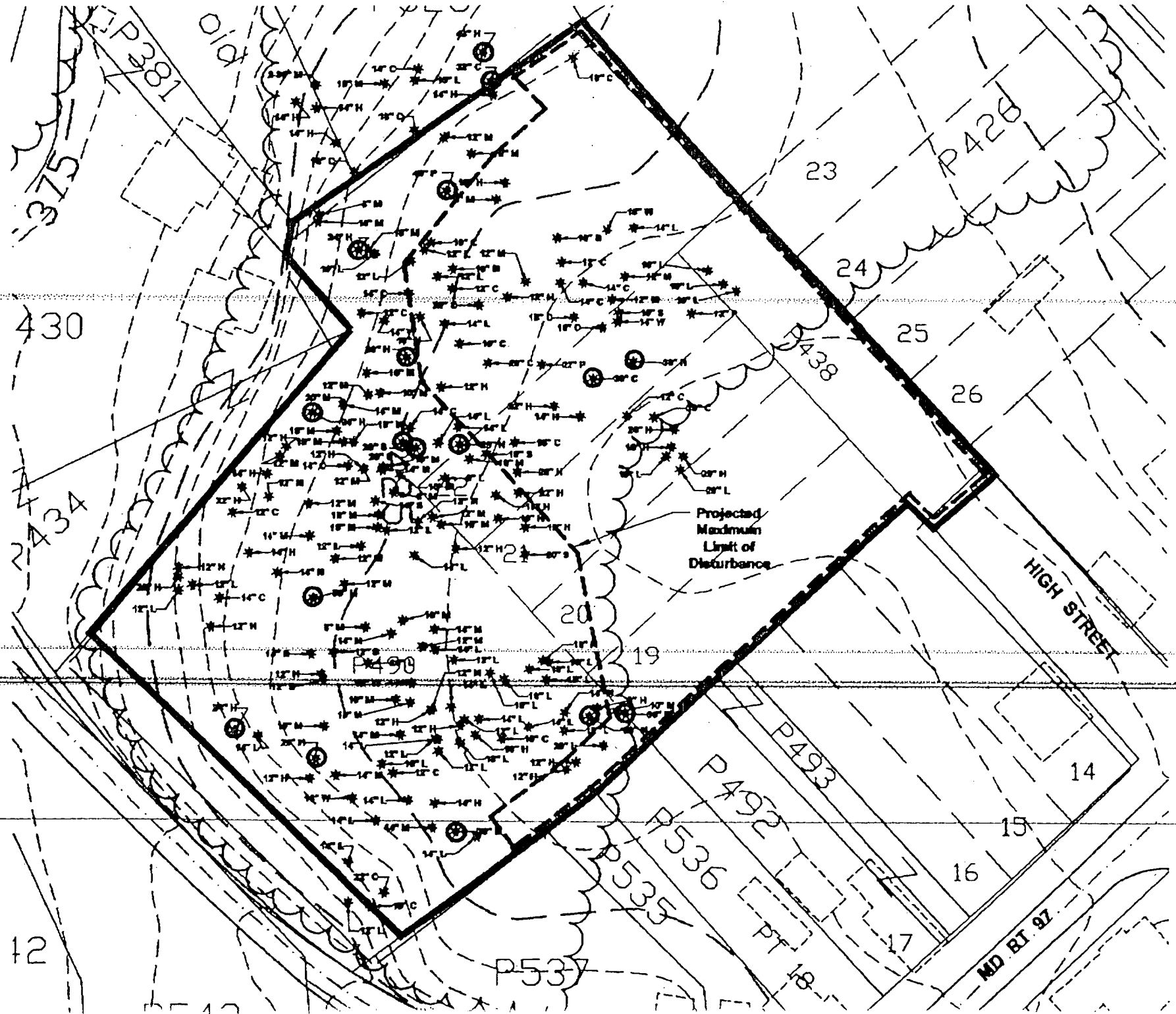
P536

P537

VOID

375

P542



State Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

### Figure B-2 Forest Stand Summary Worksheet

Property Name: ROTTER PROPERTY

Location: BROOKVILLE, MONTGOMERY CO. MAP#21; F-2  
(From County, ADO Map A, and Soil Contouring)

Prepared By: JOSH MAISEL EA#3041 Date: 03-07-01

Stand Variable	Stand # <u>A 12.7</u> acres	Stand # <u>1</u> acres
1. Dominant species/Codominant species	BLACK LOCUST & SYCAMORE	
2. Successional stage	PIONEER	
3. Basal area in s.f. per acre	170	
4. Size class of dominant species	6-11.9"	
5. Percent of canopy closure	N/A - WINTER	
6. Number of tree species per plot	6	
7. Common understory species 3' to 20' tall	SPICE BUSH FLOWERING DOGWOOD	
8. Percent of understory cover 3' to 20' tall	100%	
8. Number of woody plant species 3' to 20' tall	3	
10. Common herbaceous species 0' to 3' tall	JAPANESE HONEYSUCKLE ENGLISH IVY POISON IVY	
11. Percent of herbaceous & woody plant cover 0' to 3' tall	N/A - WINTER	
12. List of major invasive plant species & percent of cover	JAPANESE HONEY-SUCKLE, ENGLISH IVY TREE-OF-HEAVEN 1%	
13. Number of standing dead trees 8" dbh or greater	15	
14. Comments	OPENINGS IN CANOPY CLOSE TO ROAD	
Sheet <u>1</u> of <u>4</u>		Source: DNR

State Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

# Figure B-1 Forest Sampling Data Worksheet

Property: ROTTER PROPERTY Prepared By: JOHN MAIBEL  
Stand #: A Plot #: 1 Plot Size: 1/10 AC Date: 03-07-01

Tree Species	Size Class of Trees > 20' Height within Sample Plot					Total											
	Number of Trees 2-5.9" dbh			Number of Trees 6-11.9" dbh			Number of Trees 12-19.9" dbh		Number of Trees 20-29.9" dbh		Number of Trees > 30" dbh						
Canopy Position	Dist.	CoD	Other	Dist.	CoD	Other	Dist.	CoD	Other	Dist.	CoD	Other	Dist.	CoD	Other	Total	
BLACK CHERRY			1			1										1	3
BLACK BUSH					3			3									6
RED MAPLE						2											2
NYCAMORE	3			5				1									9
MULIP PLAK						1											1
CONSERVING BROWNWOOD			1														1
SCARLET OAK						2											2
Total Number of Trees per Size Class	5			14			4			1			0			24	
Number & Size of Standing Dead Trees	1			7			0			0			0			8	
List of Common Understory Species 3'-20': SPICE BUSH CHERRY SPS MULIP POPLAR				Percent of Canopy Closure C N E S W Total W I N T E R					Percent of Invasive Cover per Plot (All Layers): 5%			Plot Successional Stage: PIONEER					
List of Herbaceous Species 0'-3': FERNS JAPANESE HONEY SUCKLE WILD ONION GRAPE VINE ENGLISH IVY POISON IVY				Percent of Understory Cover 3'-20' C N E S W Total Y Y Y Y Y 100%					List of Major Invasive Species per Plot (All Layers): JAPANESE HONEY-SUCKLE, ENGLISH IVY								
Comments: POINT AT TOP OF SLOPE CAN SEE ROAD SONG BIRDS & CROWS Total 2 of 4				CLOSE TO OPENING IN CANOPY LOTS OF DEER DROPPINGS IVY ENGULFING TREES													

Source: DNR

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State Forest Conservation Manual  
 Appendix B: Worksheet and Preparation Guidelines

# Figure B-1 Forest Sampling Data Worksheet

Property: ROTTER PROPERTY Prepared By: JOSH MAISEL  
 Stand #: A Plot #: Z Plot Size: 1/10 AC Date: 03-07-01

Size Class of Trees > 20' Height within Sample Plot																
Tree Species	Number of Trees 2-5.9" dbh			Number of Trees 6-11.9" dbh			Number of Trees 12-19.9" dbh			Number of Trees 20-29.9" dbh			Number of Trees > 30" dbh			Total
	Dist	CoD	Other	Dist	CoD	Other	Dist	CoD	Other	Dist	CoD	Other	Dist	CoD	Other	
BLACK LOGSIT				2			2									4
SYCAMORE		5		2			3									10
BLACK CHERRY				2			3									5
RED MAPLE			1		9			5								15
TULIP POPLAR					2											2
TREE-OF-HEAVEN			2		1											3
<b>Total Number of Trees per Size Class</b>	8			18			13			0			0			39
<b>Number &amp; Size of Standing Dead Trees</b>	7			3			1			0			0			11
List of Common Understory Species 3'-20':			Percent of Canopy Closure					Percent of Invasive Cover per Plot (All Layers):			Plot Successional Stage:					
SPICE BUSH			C	N	E	S	W	Total	3%			PIONEER				
RED MAPLE			W	I	N	T	E	R								
FLOWERING DOGWOOD			Percent of Understory Cover 3'-20'					100%			List of Major Invasive Species per Plot (All Layers):					
			C	N	E	S	W							Total	TREE-OF-HEAVEN ENGLISH IVY	
List of Herbaceous Species 0'-3':			Percent of Herbaceous Cover 0'-3'													
WILD ONION			C	N	E	S	W	Total								
ENGLISH IVY			W	I	N	T	E	R								
POISON IVY																
Comments			ROAD NOISE					SMALL AMOUNT OF ENGLISH IVY								
DENSE SHRUB LAYER			CAN SEE ROAD					DEER RUB								
MANY SNAGS			DEER DROPPINGS					UP GRADE OF ADJACENT HOUSE								
SONG BIRDS																
Sheet <u>3</u> of <u>4</u>								Source: CNR								

16

State Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

# Figure B-1 Forest Sampling Data Worksheet

Property: ROTTER PROPERTY Prepared By: JOSH MAISEL  
Stand #: A Plot #: 3 Plot Size: 1/10 AC Date: 03-07-01

Tree Species	Size Class of Trees > 20' Height within Sample Plot					Total										
	Number of Trees 2-5.9" dbh			Number of Trees 6-11.9" dbh			Number of Trees 12-19.9" dbh		Number of Trees 20-29.9" dbh		Number of Trees > 30" dbh					
Canopy Position	Open	CoD	Other	Open	CoD	Other	Open	CoD	Other	Open	CoD	Other	Total			
BLACK CHERRY				4			3			1			8			
BLACK LOCUST						1		1					2			
RED MAPLE			1			4							5			
SYCAMORE		2						6					8			
SCARLET OAK									1				1			
Total Number of Trees per Size Class											3	9	11	1	0	24
Number & Size of Standing Dead Trees											0	5	3	0	0	8
List of Common Understory Species 3'-20':					Percent of Canopy Closure					Percent of Invasive Cover per Plot (All Layers):		Plot Successional Stage:				
SPICE BUSH					C	N	E	S	W	Total	5%		PIONEER			
FLOWERING DOGWOOD					W	I	N	T	E	R						
					Percent of Understory Cover 3'-20'											
List of Herbaceous Species 0'-3':					C	N	E	S	W	Total	List of Major Invasive Species per Plot (All Layers):					
POISON IVY					Y	Y	Y	Y	Y	100%	ENGLISH IVY					
ENGLISH IVY										JAPANESE HONEY-SUCKLE						
JAPANESE HONEYSUCKLE					C	N	E	S	W	Total						
RUBUS SPS					W	I	N	T	E	R						
Comments					ENGLISH IVY ENGULFING TREES											
VERY DENSE SHRUB					LOTS OF DOWNED TREES											
CAN HEAR ROAD NOICE					SONG BIRDS											
OPENNING IN CANOPY					DEER DROPPINGS											
Sheet 4 of 4													Source: DNR			

17

Julie is suggesting a driveway width  
for new driveway.

Wouldn't people just go straight?

Need to differentiate -

Street standards for Brooksville -

One: winding

narrow,

Conservation area -

Julie - why not stay within the platted area for the  
new construction + to enlarge the conservation  
area.



**BENNING & ASSOCIATES, INC**  
**LAND PLANNING CONSULTANTS**

**8933 SHADY GROVE COURT**  
**GAITHERSBURG, MD 20877**

**Phone: (301) 948-0240**

**Fax: (301) 948-0241**

To: Ms. Robin Ziek

Date: 1/22/02

M-NCP&PC

Project: Rotter

8787 Georgia Avenue

No. of Pages (Inc. Cover): 5

Silver Spring, MD 20910

301-563-3412

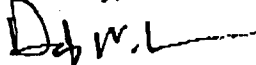
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Robin:

I received your message of earlier this afternoon. We did submit a package to the Town last week in accordance with their requirements. Attached is a copy of the cover letter to the Town that details what was submitted. The Site Plan is exactly the same as was submitted to you earlier this month. We did complete the lighting plan (we show three light poles along the new section of High Street). In addition we completed a Final Forest Conservation Plan (establishing conservation line as shown on Site Plan) and a Grade Establishment Plan for the new street (gravel street on grade - 16' wide as shown on Site Plan). All of these things are in keeping with the information submitted to you. Nothing has changed.

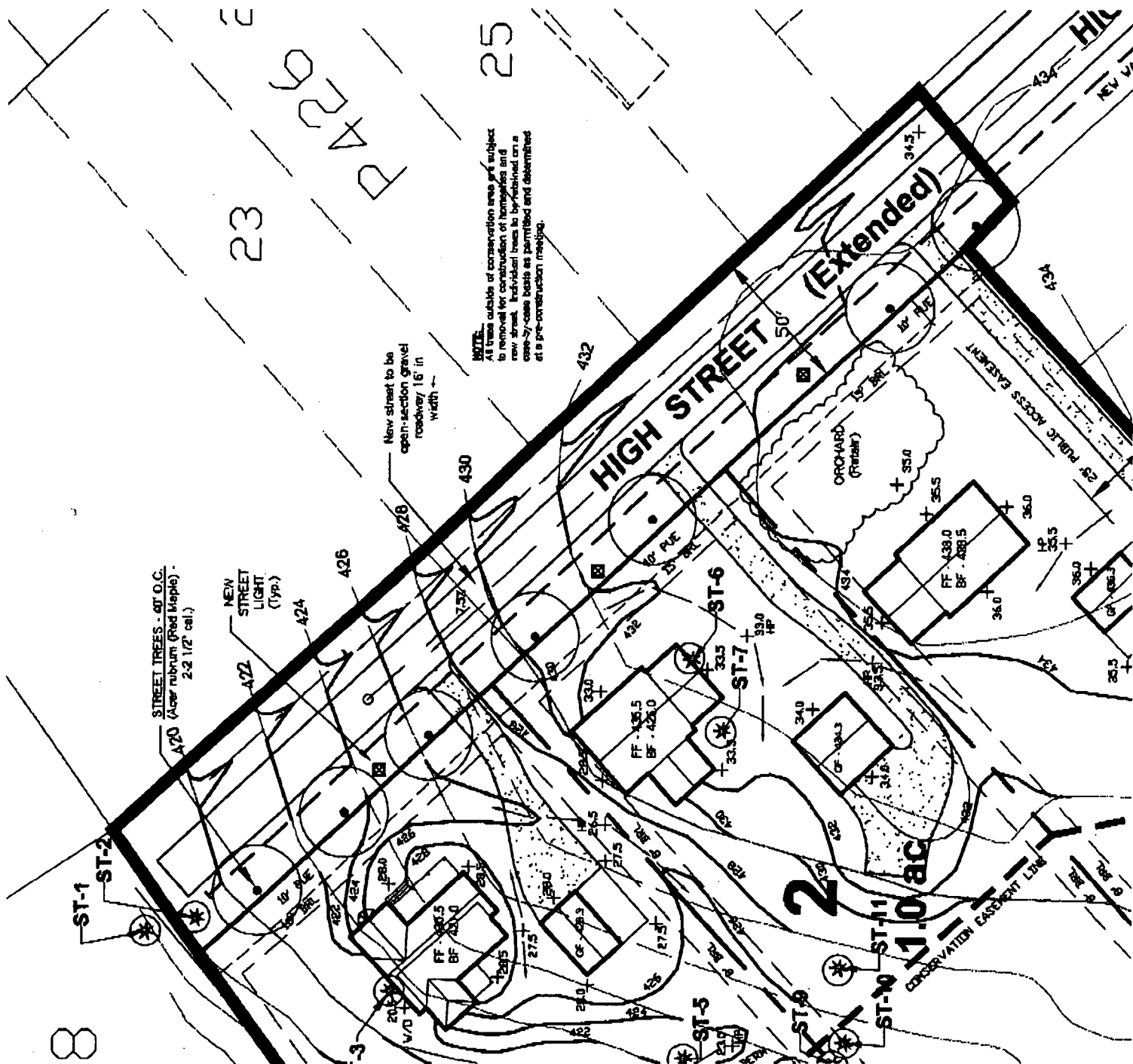
I will deliver a full size set of drawings along with an 11x17" version tomorrow morning for your use. Please let me know if you need anything else.

Sincerely,

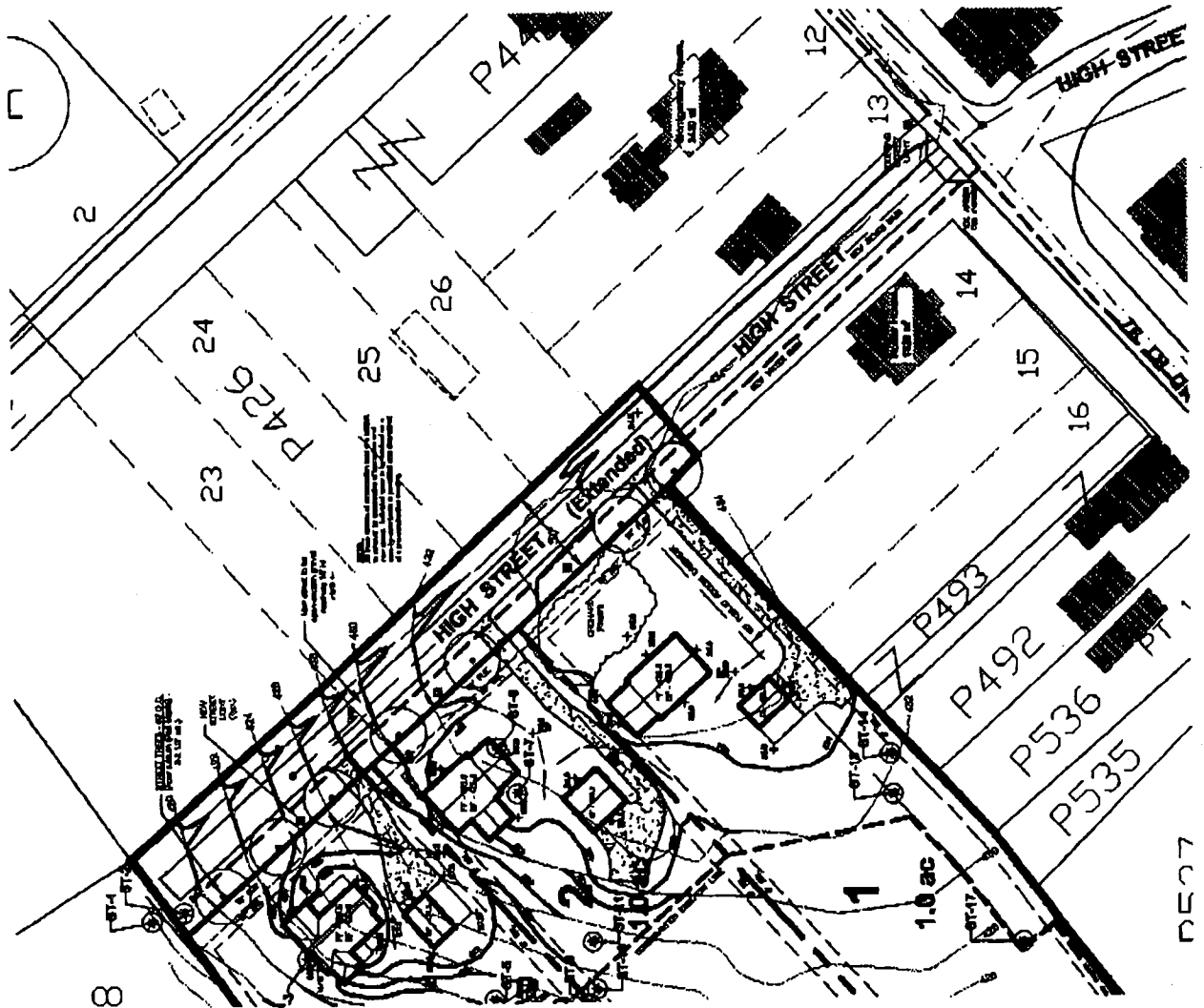


David W. McKee

STREET TREE / LIGHTING



STREET TREE / LIGHTING



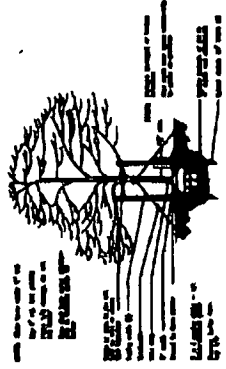
LEGEND:

- Street Light
- Street Tree

LIGHTING SCHEDULE:

Lights are "Therocok Post / Jefferson Luminaires" per specification provided to the Town of Brockville by Spring City Electrical Mfg. Co., Hall and Main Streets, P.O. Drawer 16, Spring City, PA 19476, (610) 945-4000 (see detail).

Three (3) Lights total - approximately 100' o.c. as shown.

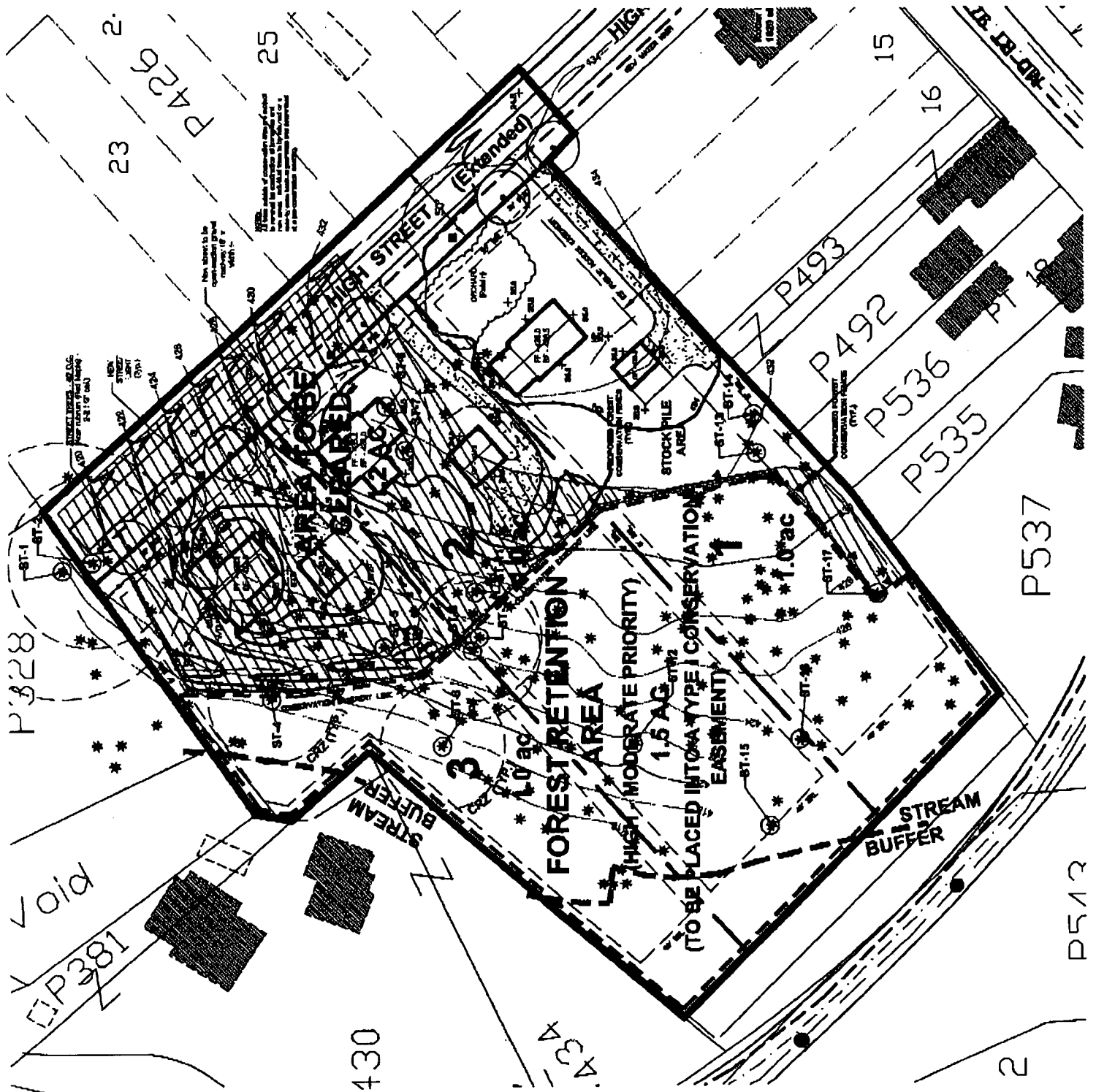


STREET TREES:

Recommended street trees are Red Maple (Acer rubrum) - 2-3 1/2" cal., 80% Plant per detail in quantity shown on plan (7).

Prepared for:  
Ruffin Maddox / Rony Co  
20 Court House Square  
Baltimore, MD 21202  
410-326-0700







**Benning & Associates, Inc.**  
Land Planning Consultants

8933 Shady Grove Court  
Gaithersburg, Md. 20877  
(301) 948-0240

January 16, 2002

Mr. Christopher T. Scanlon, Chairman  
Planning Commission  
Town of Brookeville  
Brookeville, MD 20833

Re: Rotter Property

Dear Mr. Scanlon,

In accordance with Town requirements for subdivision of the subject property, attached is a complete Site Plan submission for your review and comment. As you know, the Preliminary Plan for this property was approved in the Fall of 2001. Prior to our submission of this package to you, we submitted copies of the Site Plan drawing to the Historical Preservation Commission as part of the "Historic Area Work Permit" application. The site plan drawing included herewith is the same as was submitted to the HPC.

Included as part of our Site Plan submission are the following documents:

1. Site Plan
2. Final Forest Conservation Plan
3. Landscape / Street Lighting Plan
4. Tree Survey
5. Architectural plans and elevations (schematic) as submitted to the HPC
6. Grade Establishment Plan for High Street

I have included five (5) sets of all plans for your review. In addition, I have delivered a set to the Town's consultant, Doug Lohmeyer. Please let me know if you need anything further at this time.

Sincerely,

A handwritten signature in black ink, appearing to read 'David W. McKee', written over a horizontal line.

David W. McKee

cc. D. Lohmeyer

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION


8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

January 24, 2002

MEMORANDUM

TO: Robert Hubbard, Director  
Department of Permitting Services

Permit #266830

FROM:  Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit 23/65-02A

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved  Denied  **Approved with Conditions:**

1. Staff to work with applicant at the pre-construction meeting and throughout the project to approve removal of trees within the buildable area of the site.
2. Street lighting may be installed along High Street (extended), with staff approval, working with the Brookeville Planning Commission and applicant. Two (2) lights are anticipated immediately, with the possibility of a third reserved for the future (at the north end of the property).
3. Street trees may be installed along High Street (extended), with staff approval, working with the Brookeville Planning Commission and applicant. Random spacing and a variety of species is anticipated, with input from the staff arborist.
4. Front walks shall be installed for each residence, to be approved at a staff level.

and subject to the general conditions that 1) HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and 2) after issuance of Montgomery County Department of Permitting Services (DPS) permit, applicant to arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

**THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).**

Applicant: Rory Coakley and Ruffin Maddox  
20 Courthouse Sq., Suite 106  
Rockville, MD 20850

**RE: New construction on High Street (extended) – Brookeville Historic District**



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: TOM TALTAVULL  
Daytime Phone No.: 301-840-1847

Tax Account No.: 731 871  
Name of Property Owner: RORY S. COAKLEY & RUFFIN MADDOX Daytime Phone No.: 301-340-8700  
Address: 20 COURTHOUSE SQ, SUITE 106, ROCKVILLE, MARYLAND 20850  
Street Number City Street Zip Code  
Contractor: NOT YET SELECTED Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: THOMAS J. TALTAVULL, ARCHITECT Daytime Phone No.: 301-840-1847

LOCATION OF BUILDING/PREMISE

House Number: LOT 1, 2, 3 Street: HIGH STREET  
Town/City: BROOKEVILLE, Md. Nearest Cross Street: MARKET STREET  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: 490

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 600,000 (TOTAL FOR THREE RESIDENCES)  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas J. Taltavull JAN 7, 2002  
Signature of owner or authorized agent Date

Approved: X in conditions For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 1/23/02  
Application/Permit No.: 2066830 Date Filed: 1/7/2002 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING PARCEL ≈ 3 ACRES IS PART OPEN & WOODED  
UNDEVELOPED PROPERTY. TWO EXISTING HISTORIC  
HOMES - FLANK HIGH STREET ENTRANCE - ROTTER  
HOUSE & MONTGOMERY HOUSE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

NEW DEVELOPMENT WILL SUBDIVIDE PARCEL INTO 3 -  
ONE ACRE LOTS. EXISTING HIGH STREET WILL BE EXTENDED  
AS GRAVEL ROAD - NEW HOMES - PERIOD STYLE WILL  
BE LOCATED ON WEST SIDE WITH DETACHED GARAGES.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

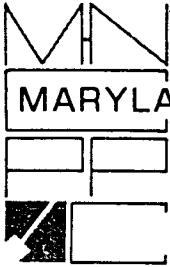
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Office  
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: Cous Baumann FAX NUMBER: 202-789-6190

FROM: Robin Ziek

DATE: 1-22-02

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 5

NOTE:

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Cons: Ruffin Mattox, Tom Tullavolt, Dane.

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Agree with staff's recommendation.

Ruffin wants some yard area for the new homes.

Site plan revisions: Move houses back 15' further  
for grading purposes

Garage on lot 2 was pushed back further.

Town Comments: Maybe go with 2 street lights, with possible  
lighting 3<sup>rd</sup> in the future at the end pre-wired.

trees - would prefer Sycamores! And more  
random planting plan. + cross-crossing  
the road.

Street is important pedestrian path.

Susan V.: concerned not to remove too many trees in the building area.

Walk through ~~land~~ is a requirement of Town of Brooksville.

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address: High Street (north of 301 Market Street) Meeting Date: 1/23/02

Applicant: Ruffin Maddox and Rory Coakley (Tom Taltavull, Agent) Report Date: 1/16/02

Resource: Brookeville Historic District Public Notice: 1/9/01

Review: HAWP Tax Credit: No

District Number: 23/65-02A Staff: Robin D. Ziek

**PROPOSAL:** Construct three new homes;; pave a portion of High Street; dedicate an alley; plant street trees; install street lighting.

**RECOMMEND:** Approval with Conditions:

yes

- Staff to work with applicant at the pre-construction meeting and throughout the project to approve removal of trees within the buildable area of the site.
- Street lighting ~~will not~~ <sup>may</sup> be installed along High Street (extended). *2 street lights now; reserves for 3 discussed. w/ staff approval working with Plan. Comm. + applicant.*
- Street trees ~~will not~~ <sup>may</sup> be installed along High Street (extended), *random spacing, species, w/ Planning Commission, County arborist*
- Front walks shall be installed for each residence, to be approved at a staff level.

The HPC has reviewed the subdivision proposal (June, 2001) and reviewed the proposed new architecture on the site in a Preliminary Consultation (November 2001). The comments have been favorable in general, and the applicant has responded to suggestions by the HPC.

The HPC and the Brookeville Planning Commission are holding a joint hearing in this application to simplify matters for the applicant. For this project, the HPC will consider the final site plan for the subdivision (with grading, drainage, street trees and lighting) and provide comments to the Brookeville Planning Commission, who will vote whether or not to approve the site plan. At the same time, the HPC will consider the HAWP application for the construction of three new houses along High Street (Extended), and will receive comments from the Brookeville Planning Commission in their capacity as the LAP for the Brookeville Historic District.

Moved to approve: w/ Conditions

## PROJECT PROPOSAL

Site Plan: The applicants propose a subdivision of the 4-acre property associated with the Italianate Primary Resource at 301 Market Street. The current topography with all trees greater than 6" in diameter (DBH) is shown on Circle 8. The back three acres of property will be subdivided into three house lots. The proposed grading to accommodate the three new homes and their free-standing garages, is shown on Circle 10. Each house will have a gravel driveway. High Street will be graded and paved with gravel in a manner similar to North Street, and will be only 16' wide (with a 50' R.O.W). Street trees are proposed within the boundary of the 3-acre subdivision, with Red Maples (*Acer Rubrum*) proposed along the new road in front of lots 2, 3 and just before the apple orchard. No street trees are proposed in front of the apple orchard on lot 1. In addition, street lights 14'-2" high are proposed (see Circle 11-13; pole 10'-1" high with luminaire 4'-1" above that). The Town of Brookeville has supplied the specifications for the lighting to the applicant. Finally, the applicant will record a conservation area at the back of the lot, with restrictions concerning future building and tree disturbance. The goal is to retain the forest edge for the Town of Brookeville.

Within the buildable area of the subdivision, the applicant would like to have blanket approval to remove any trees for the construction of the homesites and the new street (see Circle 9). There are numerous trees within this area (see Tree Survey on Circle 8), nine of which are greater than 24" DBH:

1. #2 (32" Cherry) is within the ROW of High Street Extended, but not within the area proposed to be paved;
2. #3 (40" Poplar) is on the edge of Building 3.
3. #5 (30" Hickory) is at the back of lot 3 and may be retained if the grading permits.
4. #6 (38" Hickory) is on the edge of Building 2.
5. #7 (30" Cherry) is very close to Building 2.
6. #1 (25" Hickory) is at the back of Lot 2, and should not be affected by the grading.
7. #13 (35" Hickory) is within the area dedicated for the alley, but outside of the area to be paved for Building 1.
8. #14 (Maple greater than 24") is also within the area dedicated for the alley, but outside the area to be paved for the driveway on Lot 1.
9. #17 (28" Maple), is on the edge of the area proposed for alley dedication.

The site slopes from Market Street to the north. The applicant proposes to reinforce the existing topography with a swale on the NE side of the road, draining into the stream-valley buffer area owned by MNCPPC, at the north corner of the property.

**Architecture Proposal:** The applicant proposes three single-family homes with detached garages. Each structure has a different style (see Circle 14 ): Tide-Water (Lot 1), Georgian (Lot 2), and Victorian Vernacular (Lot 3), but there are similarities in massing, scale and materials. The buildings will be wood frame with clapboard siding. Two homes will have wood shake roofs and one home will have a standing-seam metal roof. Each home has a front door oriented to the street, although no front walks are indicated on the site plan. The houses on Lot 1 and 3 will have front porches, while the house on Lot 2 (a Georgian styled home), will have a front-facing porch at the secondary front entrance. Each home is designed with a free-standing garage. The garage on Lot 2 is a two-car size, while the garages on Lots 1 and 3 are one-car garages with attached shed roofs for additional space (see Circle 10, 14, 25-27 ).

The size of the structures was discussed by the HPC at the Preliminary Consultation. The footprints are somewhat larger than staff had encouraged, but the HPC was comfortable that the massing would address that issue. In addition, given the length of development and lot street frontage, the HPC seemed to be comfortable that the proposal matched the site.

## **STAFF DISCUSSION**

The proposed development is compatible with the district in scale and character, and staff appreciates the time and effort which has been taken to coordinate the project development with this office. The building designs evolved in response to HPC comments, and the final proposal seems to fit the site (see Circle 14 , 10 ). While the applicant has not shown any front walks from the street to the front doors, the applicant has indicated that they intend to provide front walks to each home. Staff notes that this is important in a small town where people walk over to visit.

Staff is concerned with the proposed blanket permission to remove trees in the construction site area without HPC consultation and specific approval. This development will result in a big change for this part of town, as the town will grow with the addition of a new street and homes. The forest in this area will be removed, but staff is concerned at the possibility of having a clear-cut area along the road. The applicant has stated that this is not their intention, and staff would encourage the retention of the maximum number of trees in the buildable area to retain some of the character and feel of the forest and avoid a sharp contrast between the buildable area and the conservation area.

Staff is also concerned at the proposal for street trees and for street lighting along High Street. Within the Town of Brookeville, there are street trees and lighting along Market Street and High Street. This seems appropriate along the main streets in town, where there are sidewalks and one expects to see pedestrians. None of the other subsidiary streets have lighting or street trees, and this proposal would be anomaly. There is a hierarchy in town now, of more public areas and more private areas. These subsidiary streets have developed out of paper streets

and alleys. Each street serves only a few homes. In addition, North Street and High Street are envisioned as part of a walking loop within town. The walk would take people off of the paved Market Street, onto a gravel road, and onto a path through the woods. This progression supports the development hierarchy and chronology in town, and staff feels that street trees and street lighting is out of character in these alley-streets.

Each home will, no doubt, have lighting at their front doors. There may even be flood lights installed at the eaves of the homes and the garages. This will be a substantial amount of new lighting in the community. This may even be an argument in favor of street trees, to block the light and glare from the individual new homes on the existing homes in the general vicinity.

The issue, in this case, is the possibility of over-lighting the new street and the town in general. Staff recommends caution in expanding elements from the main streets down the small subsidiary streets and changing the overall quiet character of the town.

### **STAFF RECOMMENDATION**

Staff recommends, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with *Secretary of the Interior's Standards for Rehabilitation #2*:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

### **CONDITIONS:**

2. Staff to work with applicant at the pre-construction meeting and throughout the project to approve removal at a staff level of trees within the buildable area of the site.
2. Street lighting will not be installed along High Street (extended).
3. Street trees will not be installed along High Street (extended).
4. Front walks shall be installed for each residence, to be approved at a staff level.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: TOM TALTAVULL  
Daytime Phone No.: 301-840-1847

Tax Account No.: 731 871  
Name of Property Owner: RORY S. COAKLEY & RUFFIN MADDOX Daytime Phone No.: 301-340-8700  
Address: 20 COURTHOUSE SQ., SUITE 106 ROCKVILLE, MARYLAND 20850  
Street Number City State Zip Code  
Contractor: NOT YET SELECTED Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: THOMAS J. TALTAVULL, ARCHITECT Daytime Phone No.: 301-840-1847

LOCATION OF BUILDING/PREMISE

House Number: LOT 1, 2, 3 Street: HIGH STREET  
Town/City: BROCKEVILLE, Md. Nearest Cross Street: MARKET STREET  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: 490

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 600,000 (TOTAL FOR THREE RESIDENCES)  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Thomas J. Taltavull JAN 7, 2002  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 206830 Date Filed: 1/7/2002 Date Issued: \_\_\_\_\_



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING PARCEL ≈ 3 ACRES IS PART OPEN & WOODED  
UNDEVELOPED PROPERTY. TWO EXISTING HISTORIC  
HOMES - FLANK HIGH STREET ENTRANCE - ROTTER  
HOUSE & MONTGOMERY HOUSE.

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ONE ACRE LOTS. EXISTING HIGH STREET WILL BE EXTENDED  
AS GRAVEL ROAD - NEW HOMES - PERIOD STYLE WILL  
BE LOCATED ON WEST SIDE WITH DETACHED GARAGES.

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Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

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**3. PLANS AND ELEVATIONS**

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- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
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**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

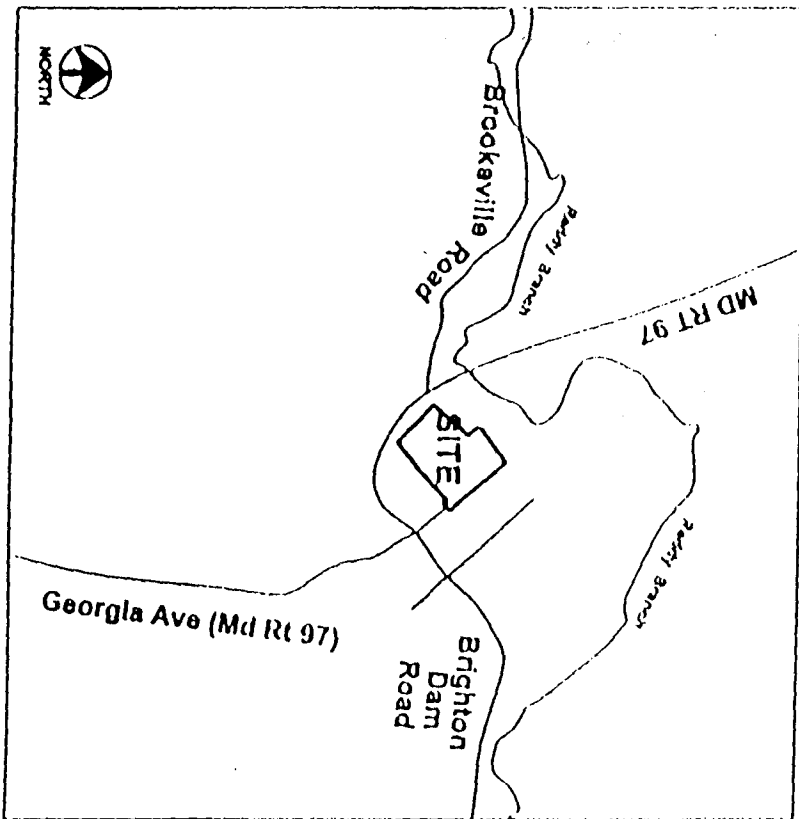
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PRELIMINARY PLAN  
**ROTTER PROPERTY**

Town of Brookeville, Maryland

7

7

# TREE SURVEY ROTTER PROPERTY

Town of Brookeville, Maryland

### LEGEND:

TREES ≥ 24" DBH \*

TREES < 24" DBH \*

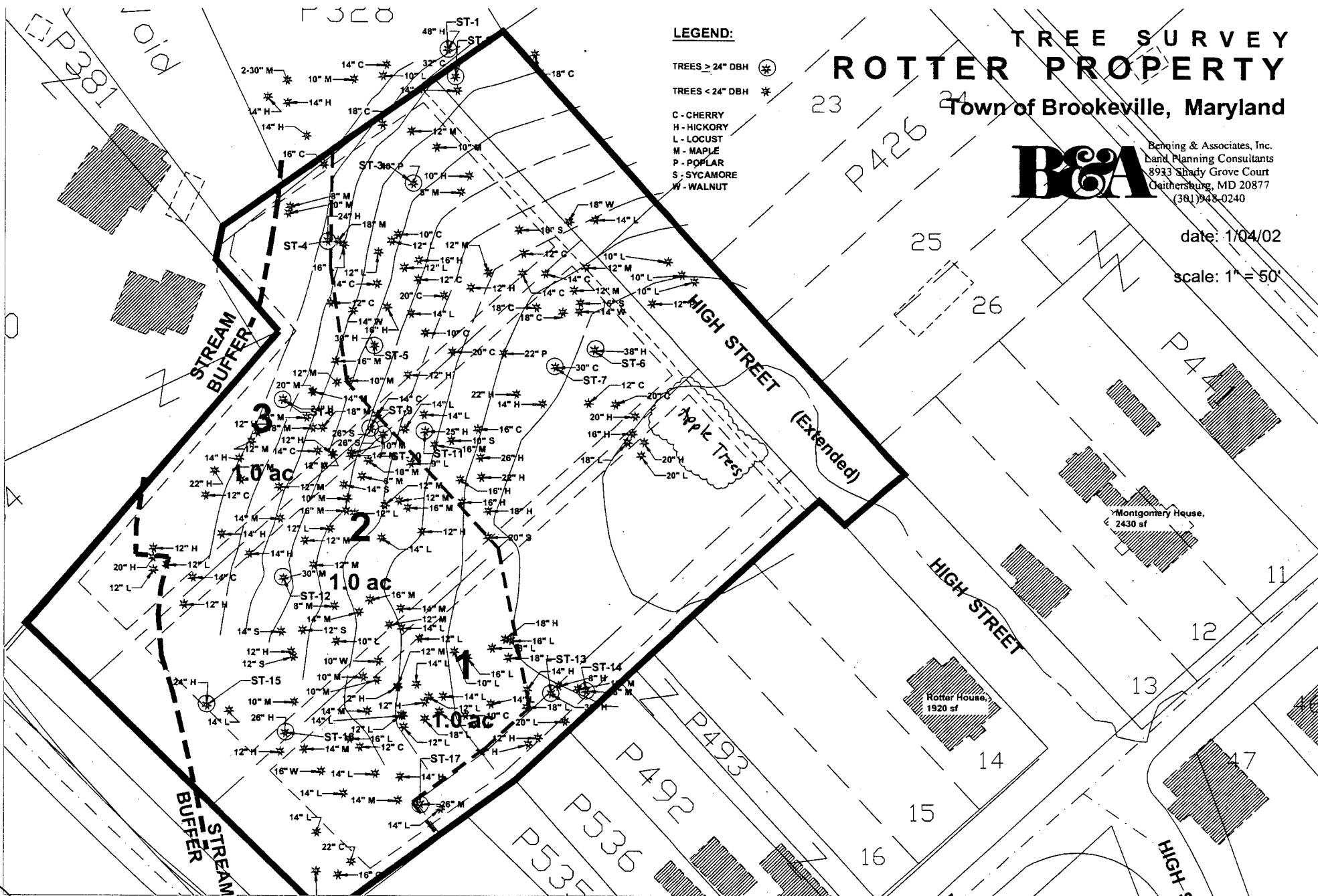
C - CHERRY  
H - HICKORY  
L - LOCUST  
M - MAPLE  
P - POPLAR  
S - SYCAMORE  
W - WALNUT



Benning & Associates, Inc.  
Land Planning Consultants  
8933 Shady Grove Court  
Oathurstburg, MD 20877  
(301) 948-0240

date: 1/04/02

scale: 1" = 50'



2

- New street to be open-section gravel roadway 16' in width +/-

**NOTE:**

All trees outside of conservation area are subject to removal for construction of homesites and new street. Individual trees to be retained on a case-by-case basis as permitted and determined at a pre-construction meeting.

432

7/21/02

9

# SITE PLAN ROTTER PROPERTY

Town of Brookeville, Maryland

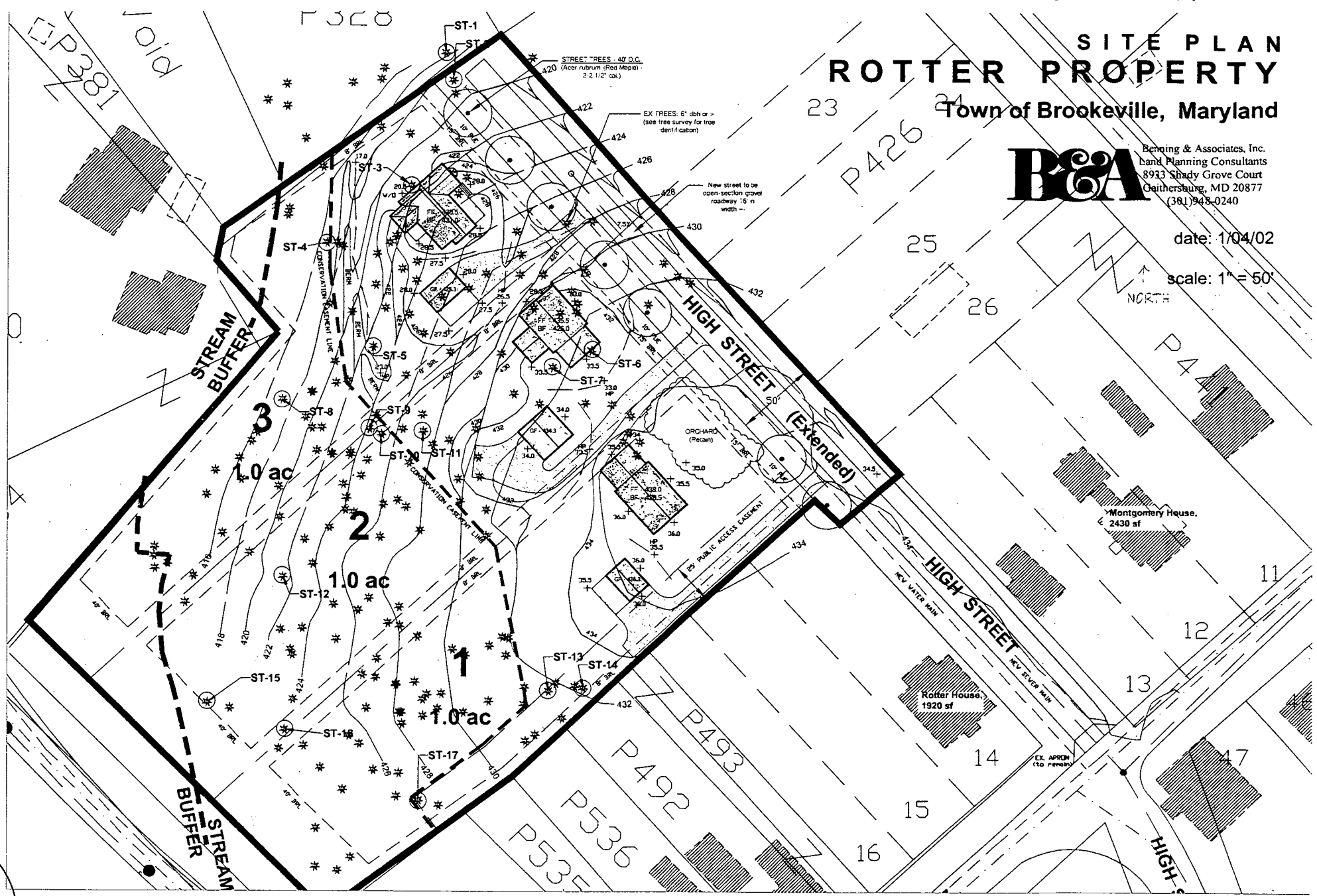


Berning & Associates, Inc.  
Land Planning Consultants  
8913 Shady Grove Court  
Gaithersburg, MD 20877  
(301) 945-0240

date: 1/04/02

scale: 1" = 50'

NORTH



10

This drawing is property of Spring City Mfg. Co. and is loaned to the recipient with the understanding that it shall not be copied, reprinted, passed on to unauthorized parties, nor used for any purpose other than that for which it is specifically furnished except with Spring City's written permission.

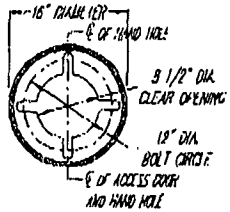
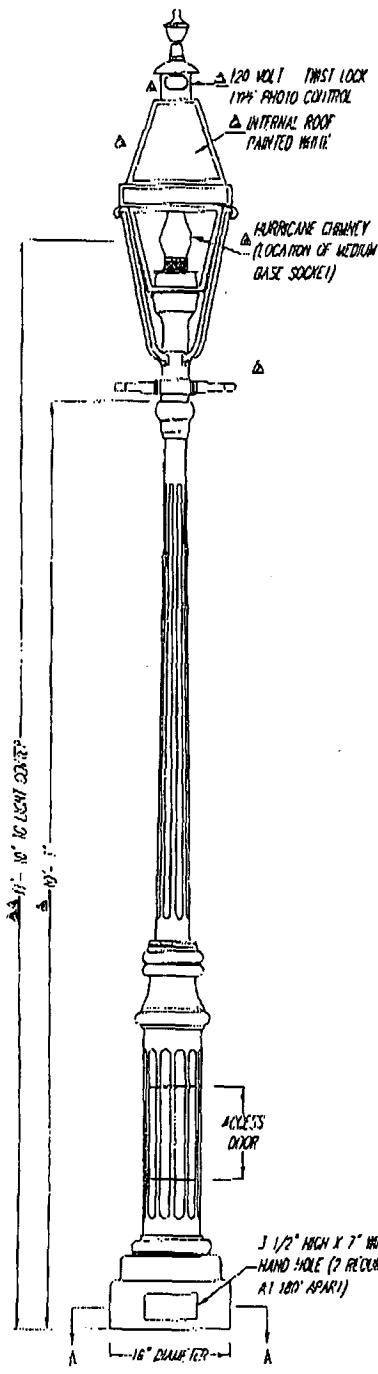
LUMINAIRE SPECIFICATIONS

- STYLE: JEFFERSON WITH LAUSER REST
- HEIGHT: 4'-1"
- WIDTH: 17"
- MATERIAL: CAST ALUMINUM
- FINISH: G. FINISH PART - SHERMAN WILLIAMS ACROBYL CLASSIC DRACK
- PANELS: CLEAR POLYCARBONATE
- LAMPING: 70 WATT HIGH PRESSURE SODIUM (LAMP BY OTHERS)
- VOLTAGE: 120 VOLT
- PHOTO CONTROL: 120 VOLT FIRST LOCK 114"
- SOCKET: MEDIUM BASE

LAMP POST SPECIFICATIONS

- STYLE: HANCOCK 10" INTERNAL ANCHOR BOLT POST
- HEIGHT: 10'-1"
- LIGHT CENTER: 11'-10"
- BASE: 16" DIAMETER
- MATERIAL: ONE PIECE, HEAVY WALL CAST IRON, PER A.S.T.M. A 48-B3 CLASS 30
- FINISH: PRIME PART SHERMAN WILLIAMS 2 PART SECONDARY EPOXY PRIMER (BGM'S - PART G AND BGM'S - PART H)
- ACCESS DOOR: (LOCATED BY BASE SECURED WITH TAMPER PROOF KEY SOCKET SECURITY MACHINE SCREWS)
- ANCHOR STUD PROVISIONS: DRILL AND TAP WALL COMPOSITE ACCESS DOOR TO ACCOMMODATE A 1/4"-20 GRIDDED STUD (STUD BY OTHERS)
- ANCHOR BOLTS: (4) 3/4" X 24" + 3" HOOK (FULLY GALVANIZED WITH 1 GALVANIZED NUT AND 1 GALVANIZED WASHER PER BOLT)
- BOLT PROTECTION: 3" REQUIRED
- FINISH: 2 7/8" DIA. X 1" HIGH

QUANTITY..... 1 REQUIRED PER S.O.# 100885



REVISION BY: W.M.K.	DATE: 12-12-01
REVISION BY: J.S.	DATE: 11-10-01
REVISION BY: D.M.	DATE: 9-28-01
REVISION BY: P.S.	DATE: 11-4-02
REVISION BY: M.B.S.	DATE: 2-9-03
REVISION BY: J.J.	DATE: 12-12-03
REVISION BY: R.H.	DATE: 5-16-05
REVISION BY: H.U.S.	DATE: 11-21-05

Spring City Electrical Mfg. Co.  
 1000 N. 10TH ST. - 1000 N. 10TH ST. - 1000 N. 10TH ST.  
 1000 N. 10TH ST. - 1000 N. 10TH ST. - 1000 N. 10TH ST.

DESCRIPTION	10\"/>		
CUSTOMER	TOWN OF BRUNSWICK		
JOB	BRUNSWICK		
SCALE	DRAWN BY: M.H.S.	DATE: 5-4-05	DRAWING NO: 1P-12085

\* FULL SIZE 11" x 17" COPY FOLLOWS ON NEXT 2 PAGES

11

This drawing is property of Spring City Elec. Mfg. and is issued to the recipient with the understanding that it shall not be copied, duplicated, passed on to unauthorized parties, nor used for any purpose other than that for which it is specifically furnished except with Spring City's written permission.

LUMINAIRE SPECIFICATIONS

STYLE:  $\Delta\Delta$  JEFFERSON WITH LADDER REST

HEIGHT: 49" WIDTH: 4' - 1 1/4"

MATERIAL: CAST ALUMINUM

FINISH:  $\Delta$  FINISH PAINT - SHERWIN WILLIAMS ACRYLON - CLASSIC BLACK

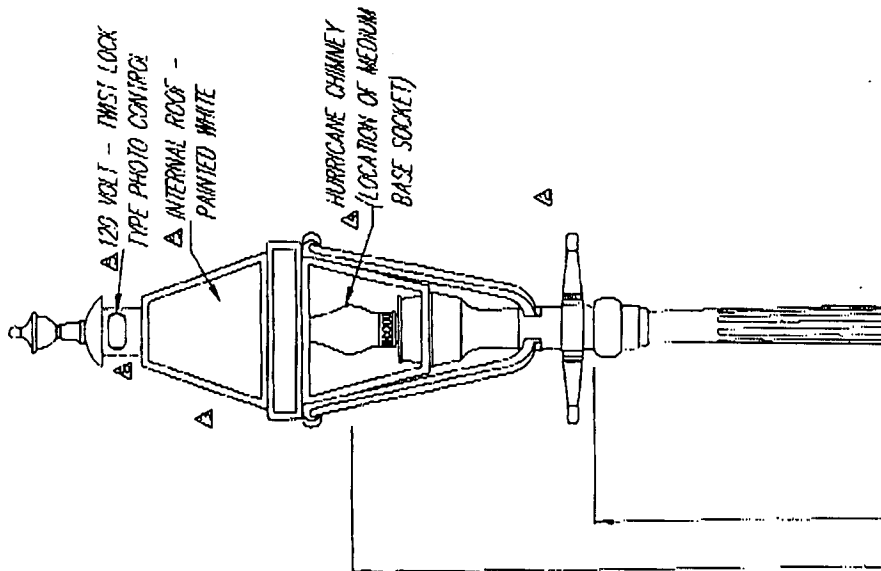
PANELS:  $\Delta$  CLEAR POLYCARBONATE

LAMPING:  $\Delta$  70 WATT HIGH PRESSURE SODIUM (LAMP BY OTHERS)

VOLTAGE:  $\Delta$  120 VOLT

PHOTO CONTROL:  $\Delta$  120 VOLT TWIST LOCK TYPE

SOCKET:  $\Delta$  MEDIUM BASE



LAMP POST SPECIFICATIONS

STYLE: HANCOCK 10' INTERNAL ANCHOR BOLT POST

HEIGHT:  $\Delta$  10' - 1"

LIGHT CENTER:  $\Delta\Delta$  11" - 10"

BASE: 16" DIAMETER

MATERIAL: ONE PIECE, HEAVY WALL CAST IRON, PER A.S.I.M. A 48-83 CLASS 30

FINISH:  $\Delta$  PRIME PAINT SHERWIN WILLIAMS 2 PART RECOATABLE EPOXY PRIMER (B67H5 - PART C AND B67H5 - PART H)

ACCESS DOOR:  $\Delta$  LOCATED IN BASE SECURED WITH TAMPER PROOF HEX SOCKET SECURITY MACHINE SCREWS

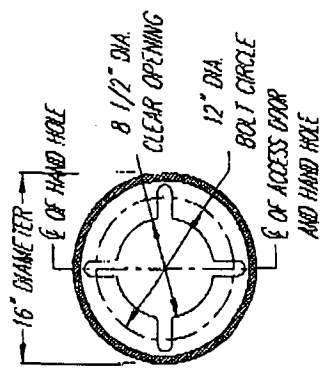
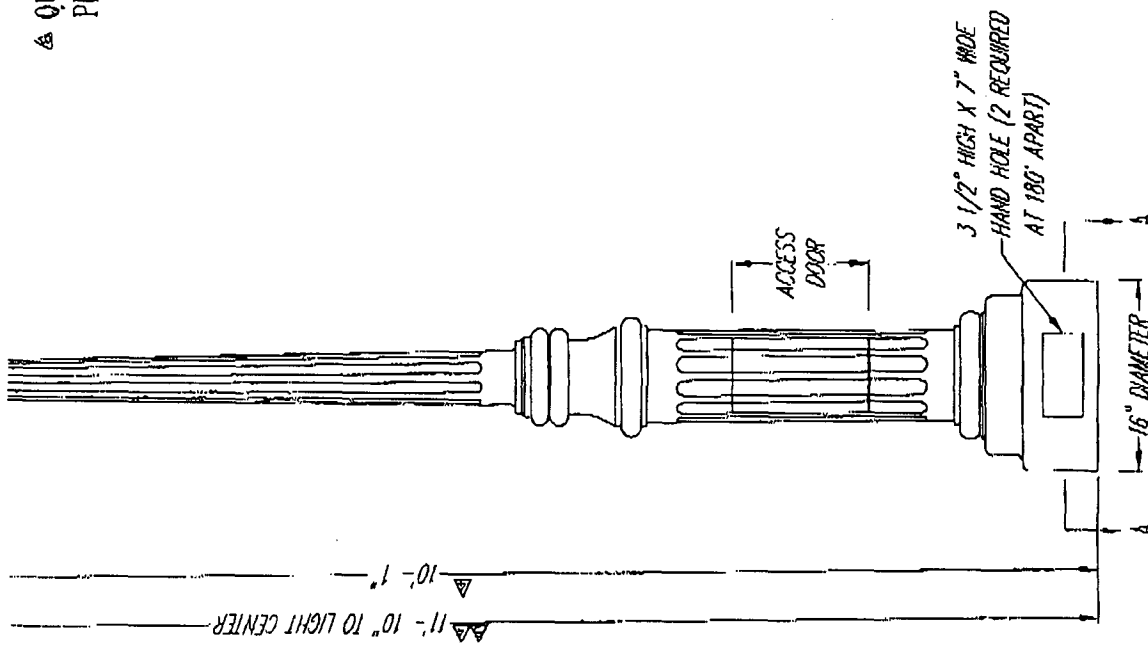
GROUND STUD PROVISIONS:  $\Delta$  DRILL AND TAP WALL OPPOSITE ACCESS DOOR TO ACCOMMODATE A 1/4" - 20 GROUND STUD (STUD BY OTHERS)

ANCHOR BOLTS: (4) 3/4" x 24" + 3" HOOP (FULLY GALVANIZED WITH 1 GALVANIZED W/IT AND 1 GALVANIZED WASHER PER BOLTS)

BOLT PROJECTION: 3" REQUIRED


VENTING: 2 7/8" DIAM. X 3" HIGH

△ QUANTITY..... 1 REQUIRED  
 PER S.O.# 100385



SECTION A-A  
 N.T.S.

△ REVISED BY: W.M.K.	DATE: 12-12-00
△ REVISED BY: J.F.	DATE: 11-10-99
△ REVISED BY: B.R.	DATE: 9-28-95
△ REVISED BY: P.S.	DATE: 11-4-92
△ REVISED BY: M.B.S.	DATE: 2-9-88
△ REVISED BY: J.J.	DATE: 12-12-86
△ REVISED BY: R.H.	DATE: 5-16-85
△ REVISED BY: M.B.S.	DATE: 11-21-85

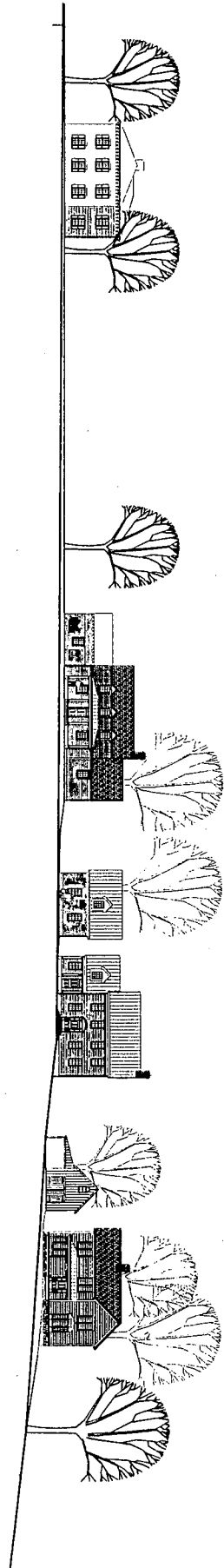
 Spring City Electrical Mfg. Co.  
 1001 HELL AND MAIN STREET - PO. DRAWER 19 - SPRING CITY, PA. 19725  
 PHONE (610) 949-4909  
 FAX (610) 949-5577

DESCRIPTION	THE HANDHOLE 10'-1" (INT. A.B.) POST WITH THE JEFFERSON LUMINAIRE AND LADDER REST		
CUSTOMER	TOWN OF BROOKVILLE BROCKVILLE		
JOB	DRAWN BY:	DATE	DRAWING NO.
	M.B.S.	6-4-85	LP-13685
SCALE	N.T.S.		

△ PROJECT HISTORY  
 1. REVISED PER S.O. # 100385  
 2. REVISED PER S.O. # 100385  
 3. REVISED PER S.O. # 100385

bl

E A S T  
E L E V A T I O N



PROPOSED ELEVATIONS FOR  
**ROTTER PROPERTY**  
 HIGH STREET  
 BROOKEVILLE, MARYLAND

ELEVATIONS

1.7.2002

**THOMAS J. TALTAVULL**  
 ARCHITECT  
 20850 Plum Creek Court  
 Gaithersburg, Maryland 20882  
 301.840.1847





THOMAS J. TALTAVULL

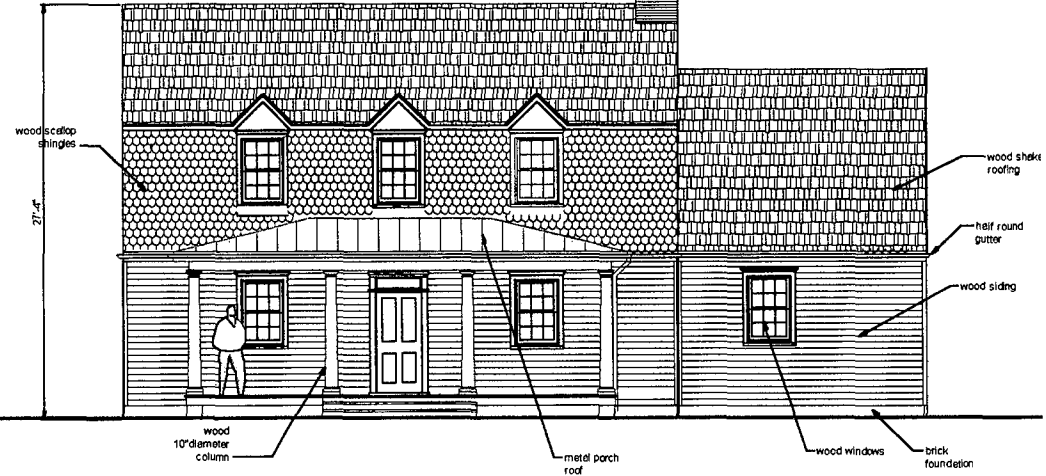
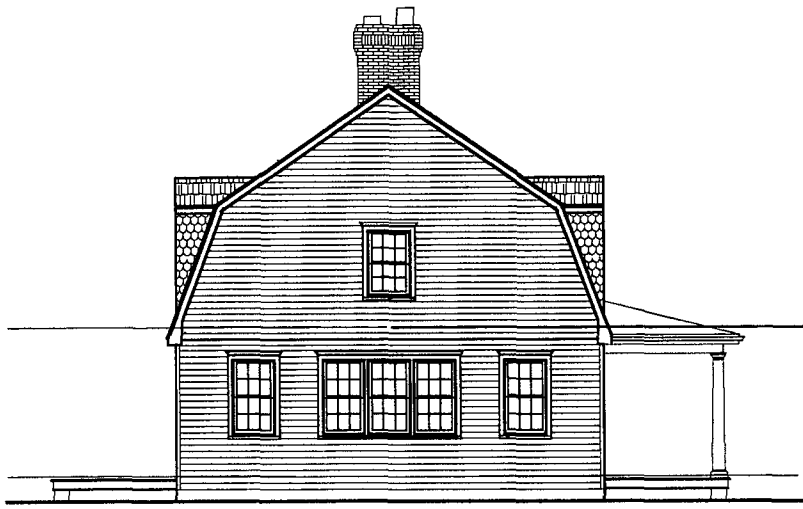
ARCHITECT  
20850 Plum Creek Court  
Gallagher, Maryland 20882  
301.840.1241

1.7.2002

ELEVATIONS

PROPOSED ELEVATIONS FOR LOT 1  
ROFFER PROPERTY  
3800 EIGHT  
BROOKVILLE, MARYLAND

1



SOUTH ELEVATION

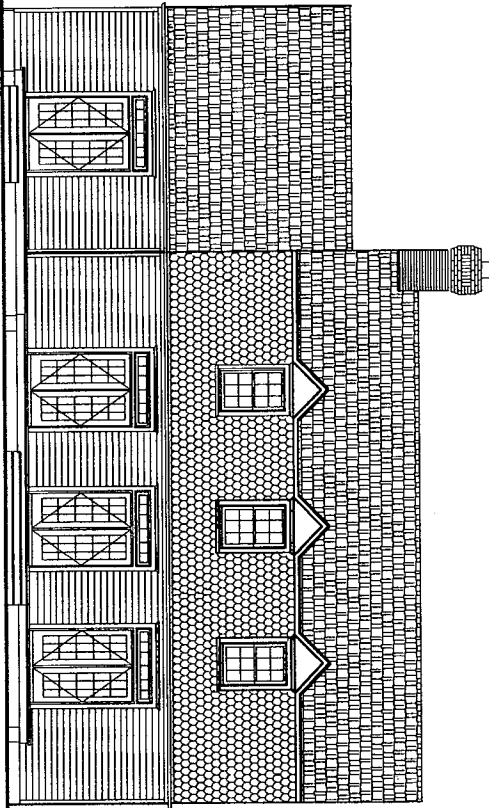
EAST ELEVATION

17'-11"-0"  
15

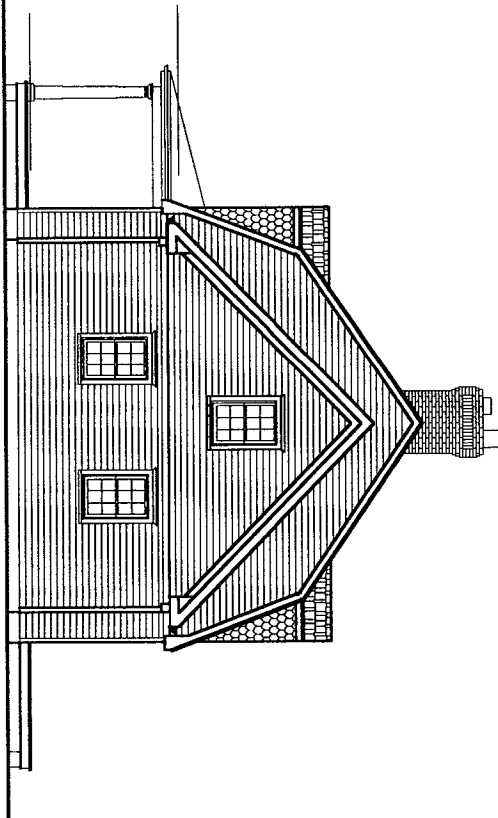
1/4"=1'-0"

91

WEST ELEVATION



NORTH ELEVATION



1

PROPOSED ELEVATIONS FOR LOT 1  
ROTTER PROPERTY  
EDGE STREET  
BROOKVILLE, MARYLAND

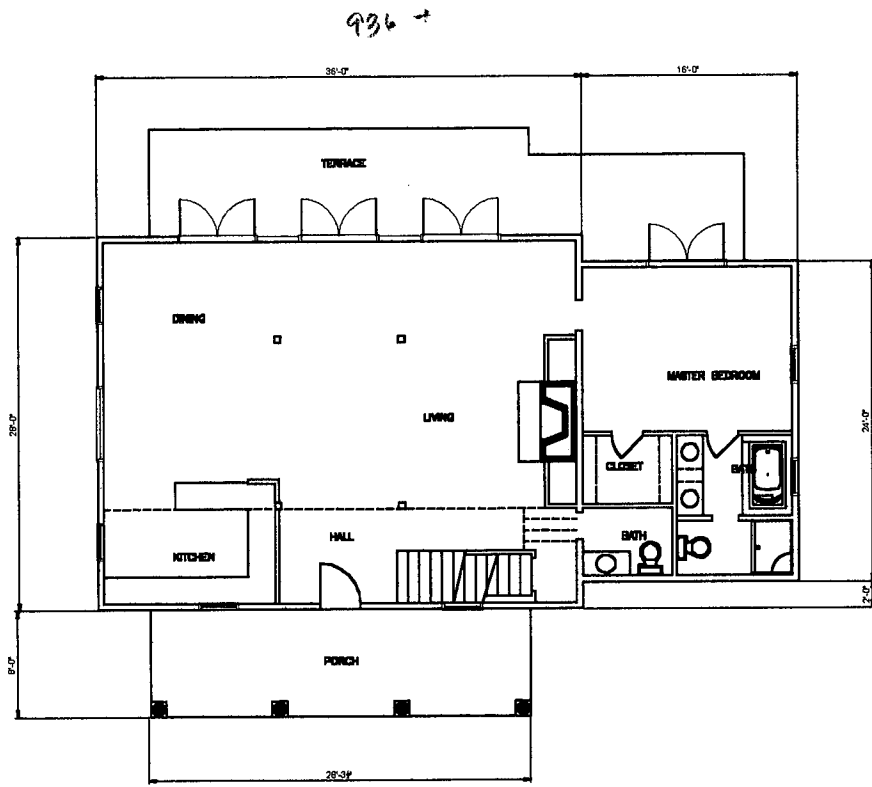
ENCLOSURE

1.7.2002

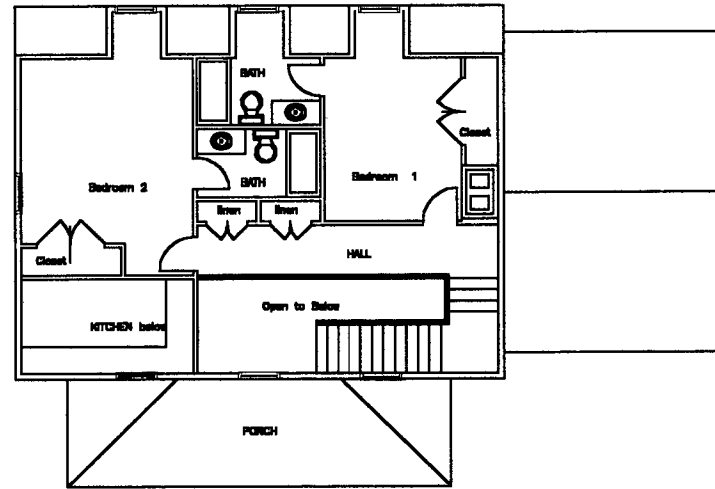
THOMAS J. TALTAVULL

ARCHITECT  
20650 Plum Creek Court  
Gaithersburg, Maryland 20882  
301.940.1947





FIRST FLOOR PLAN Lot 1,  
1/4"=1'-0"



SECOND FLOOR PLAN Lot 1,  
1/4"=1'-0"

71



THOMAS J. TALTAVULL  
 REGISTERED PROFESSIONAL ENGINEER  
 20650 Plum Creek Court  
 Gaithersburg, Maryland 20882  
 301.941.1841

1.7.2002

FLOOR PLAN

PROPOSED PLAN FOR  
 ROTTER PROPERTY, LOT 1  
 HILLS STREET  
 BROOKSVILLE, MARYLAND

1



THOMAS J. TALTAVULL

ARCHITECT  
20650 Plum Creek Court  
Gethersburg, Maryland 20882  
301.947.1847

1.7.2002

ELEVATIONS

PROPOSED ELEVATIONS FOR LOT 2  
ROTTER PROPERTY  
SIDE STREET  
BROOKSVILLE, MARYLAND

2



SOUTH ELEVATION  
1/4"=1'-0"

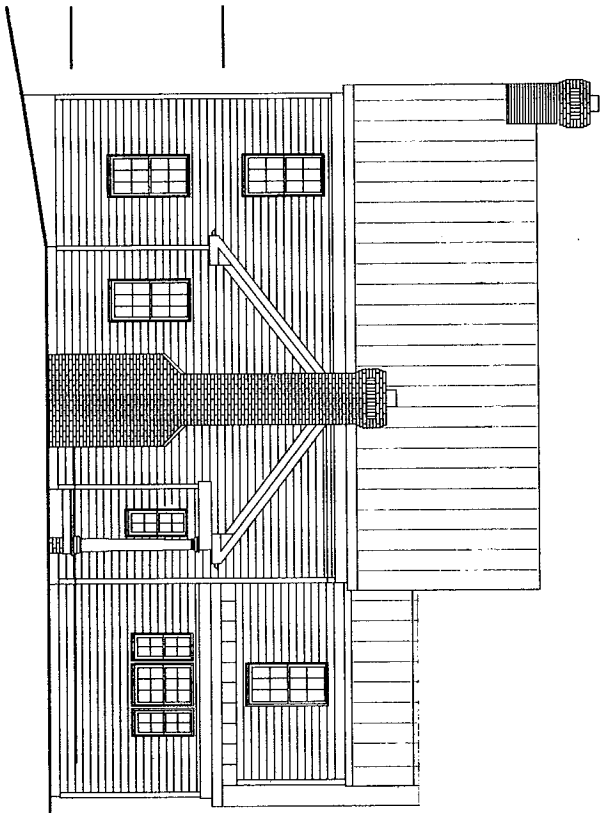


EAST ELEVATION  
1/4"=1'-0"

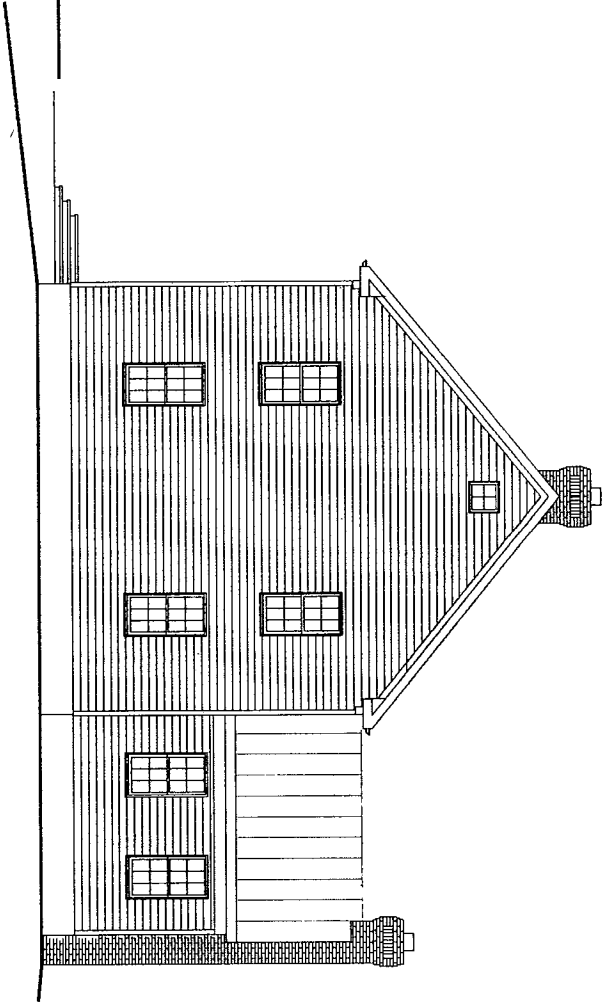
18

61

WEST ELEVATION  
1/8"=1'-0"



NORTH ELEVATION  
1/8"=1'-0"



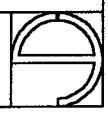
2

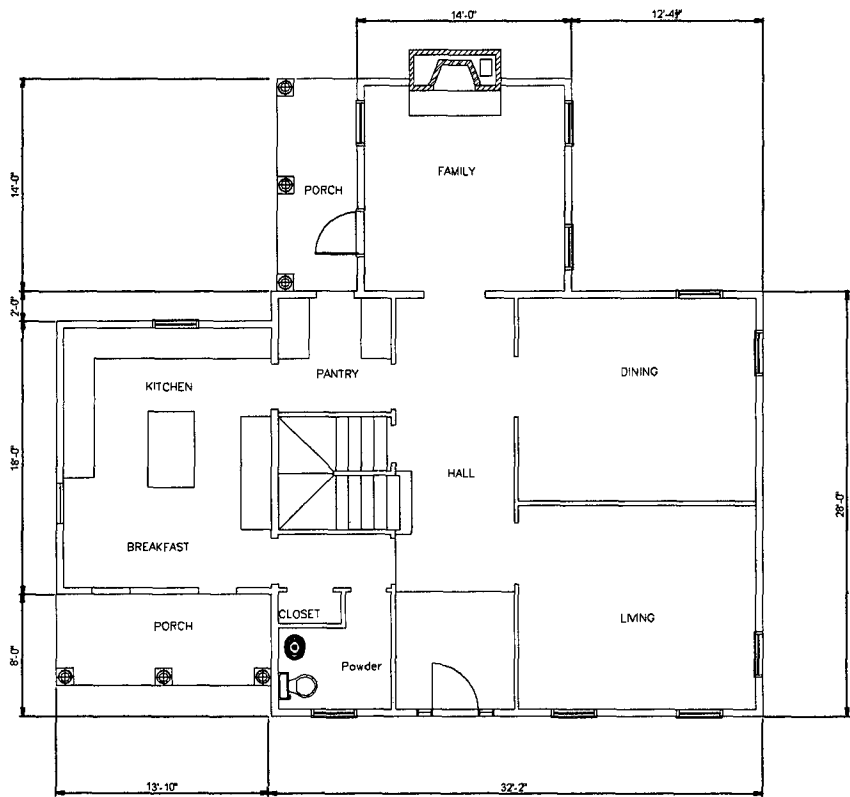
PROPOSED ELEVATIONS FOR LOT 2  
**ROTTER PROPERTY**  
HIGH STREET  
BROOKVILLE, MARYLAND

ENCLOSURE

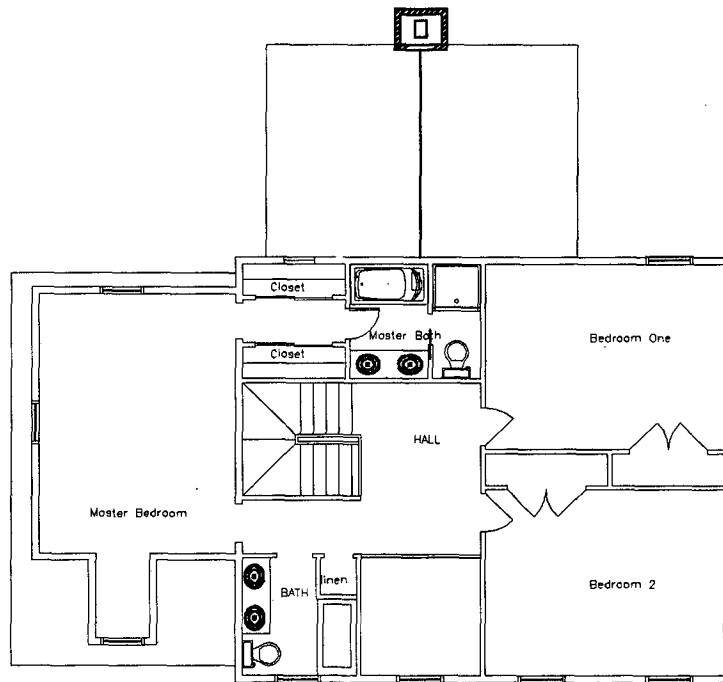
1.7.2002

**THOMAS J. TALTAVULL**  
ARCHITECT  
20650 Plum Creek Court  
Gaithersburg, Maryland 20882  
301.840.1947





FIRST FLOOR PLAN Lot 2,  
1/4"=1'-0"



SECOND FLOOR PLAN Lot 2,  
1/4"=1'-0"

20



THOMAS J. TALAVULL  
REGISTERED PROFESSIONAL ENGINEER  
20850 Plum Creek Court  
Gainesville, Texas 77902  
301.944.1871

1.7.2002

FLOOR PLAN

PROPOSED PLAN FOR  
ROTTER PROPERTY, LOT 2  
HERE BY ROBERT  
BERNARDVILLE, MARYLAND

2



THOMAS J. TALTAVULL

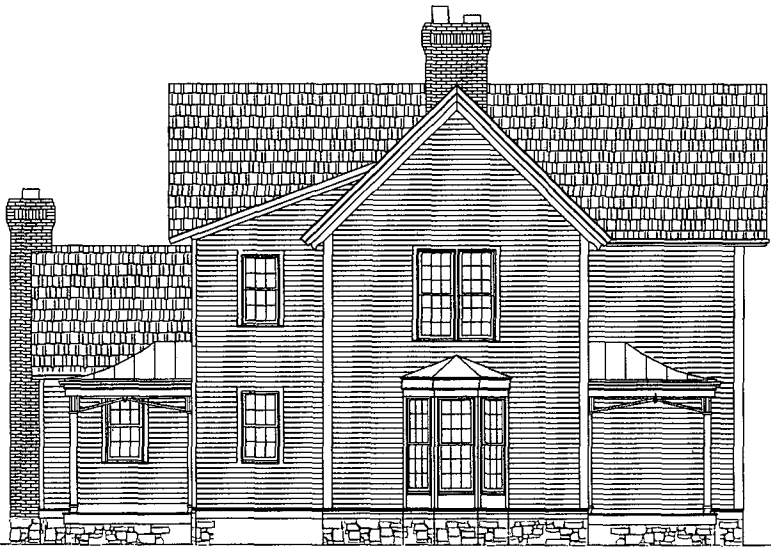
ARCHITECT  
20650 Plum Creek Court  
Gainesville, Virginia 22622  
501.546.1841

1.7.2002

ELEVATIONS

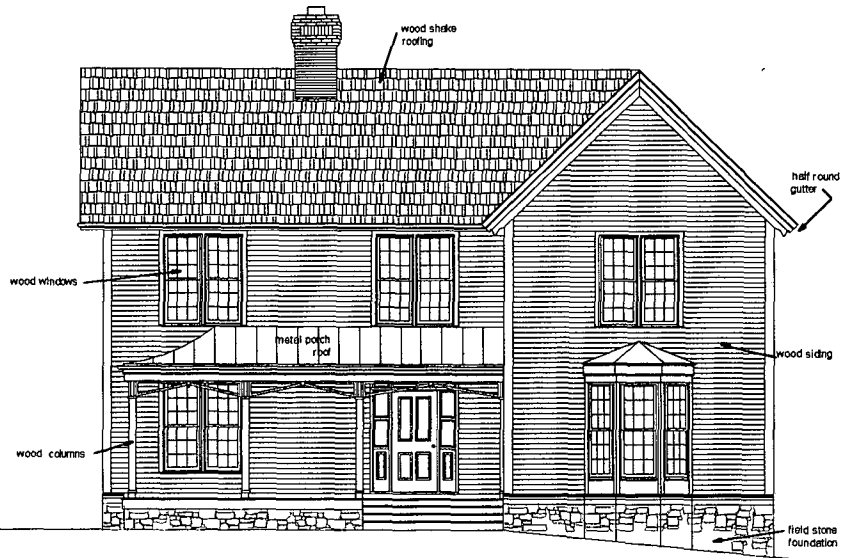
PROPOSED PLAN FOR  
**ROTTER PROPERTY, LOT 3**  
RIDGE HAVEN  
BROOKFIELD, MAINTLAND

3



SOUTH ELEVATION

1/4"=1'-0"

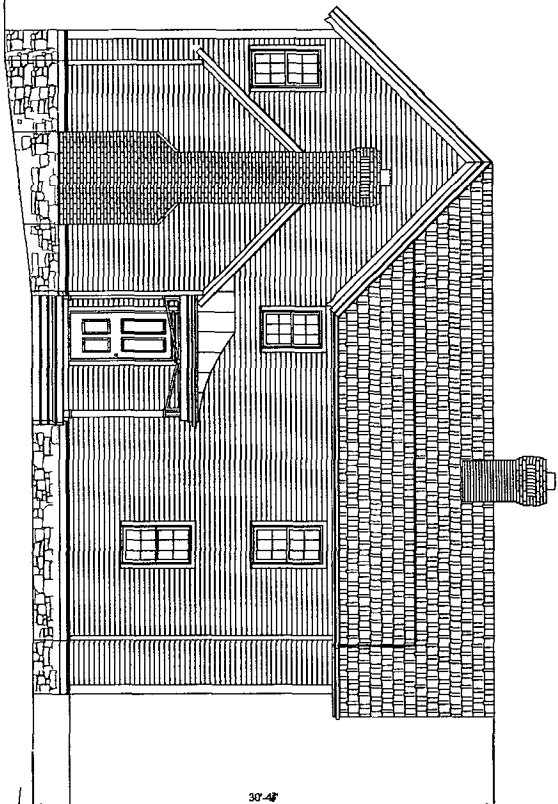


EAST ELEVATION

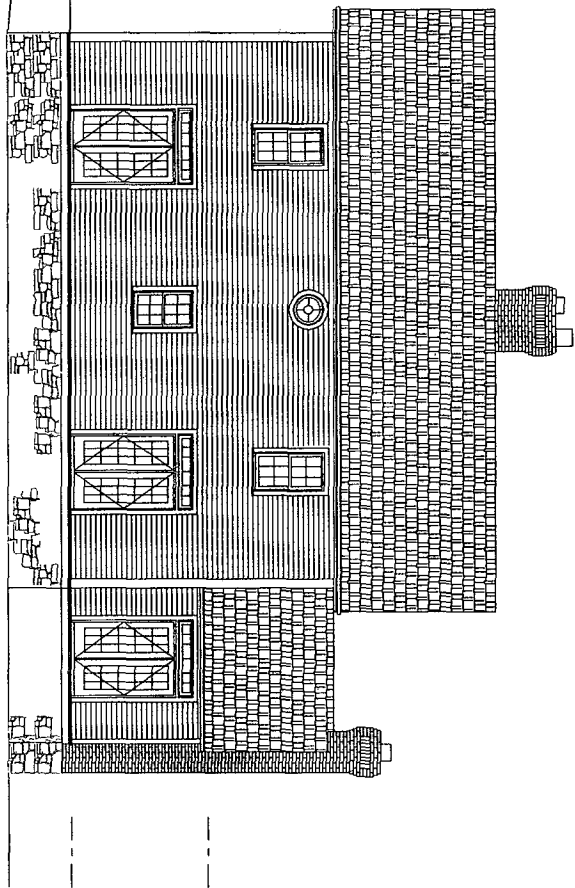
1/4"=1'-0"

21

22



WEST ELEVATION  
1/4"=1'-0"



NORTH ELEVATION  
1/4"=1'-0"

30'-4"

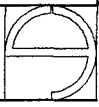
3

PROPOSED PLAN FOR  
**ROTTER PROPERTY, LOT 3**  
SUDE COUNTY  
BROOKVILLE, MARYLAND

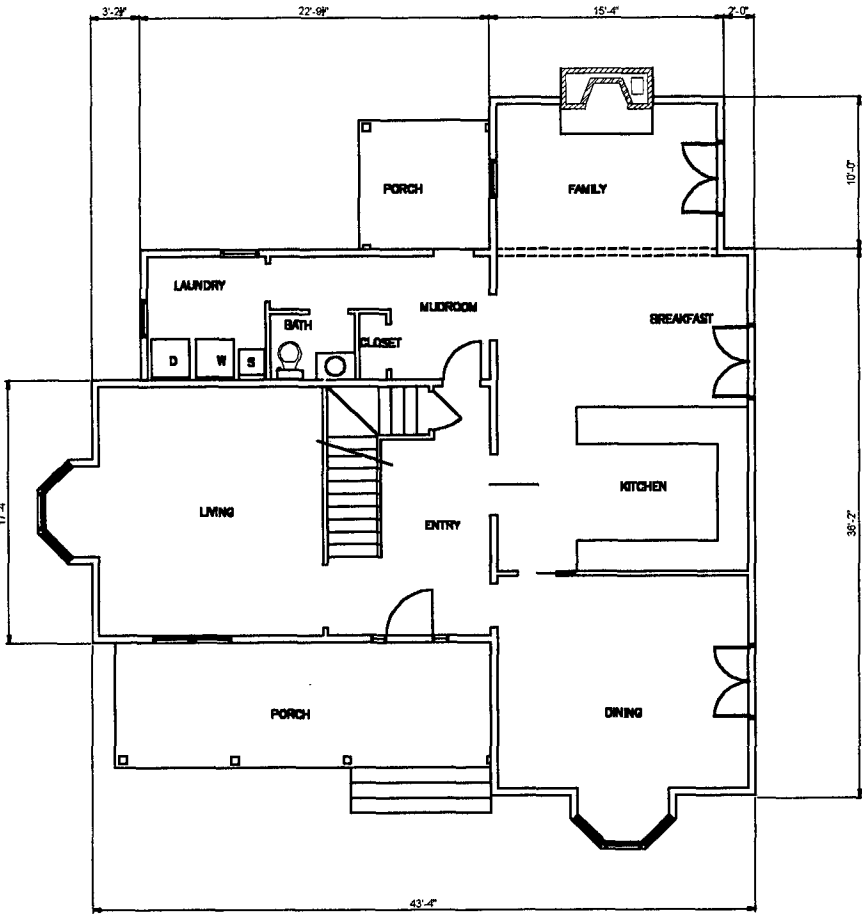
ENCLOSURE

1.7.2002

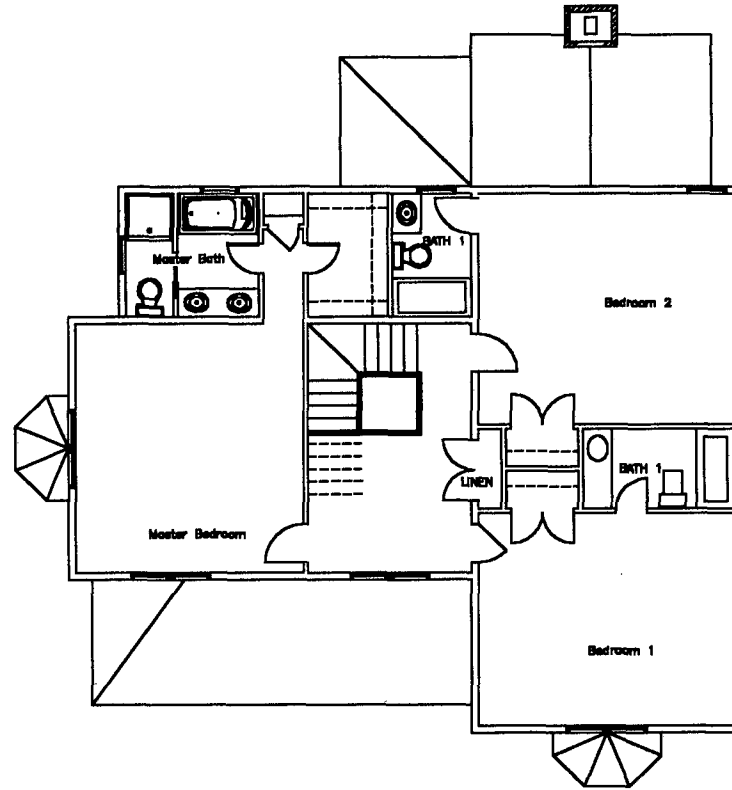
**THOMAS J. TALTAVULL**  
ARCHITECT  
20650 Plum Creek Court  
Gaithersburg, Maryland 20882  
301.840.1847







FIRST FLOOR PLAN Lot 3,  
1/4"=1'-0"



SECOND FLOOR PLAN Lot 3,  
1/4"=1'-0"

23



THOMAS J. TALAVULL  
 ARCHITECT  
 28560 Hillside Court  
 Gaithersburg, Maryland 20882  
 301.943.1847

1.7.2002

FLOOR PLAN

PROPOSED PLAN FOR  
 ROTTER PROPERTY, LOT 3  
 SIDER KENNEDY  
 BROADLEAF, MARYLAND

3

**THOMAS J. TALTAVULL****ARCHITECT**

20650 Plum Creek Court  
Gaithersburg, Maryland 20882  
301.840.1847

**Facsimile Transmission**

---

**To:** Robin Ziek  
M-NCPPC  
Montgomery County \  
Department of Park and Planning  
Silver Spring, Maryl

**Date:** January 16, 2002

**Fax Number:** 301. 563.3412

**Number of Pages Including Cover Sheet:** 4

**Attention:** Robin

**Project:** Rotter Property

---

**Remarks:**

Dear Robin,

Attached are the Garage plans and Elevations for the subject property for review at the upcoming January 23, 2002 Historic Preservation Commission Meeting. Please note that on the plans I have included the building areas for the houses, porches and garages. Thank you for your help.

Please call if you have questions or comments.

Sincerely,

Tom

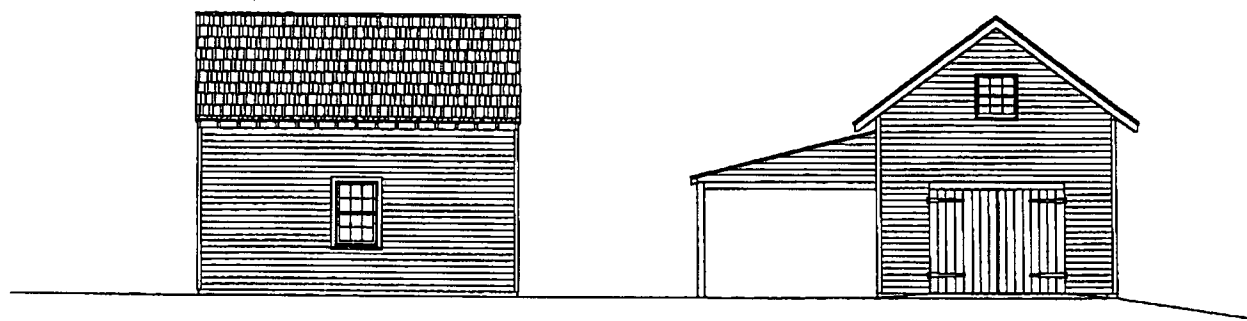
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Signed: Thomas J. Taltavull, Architect

---

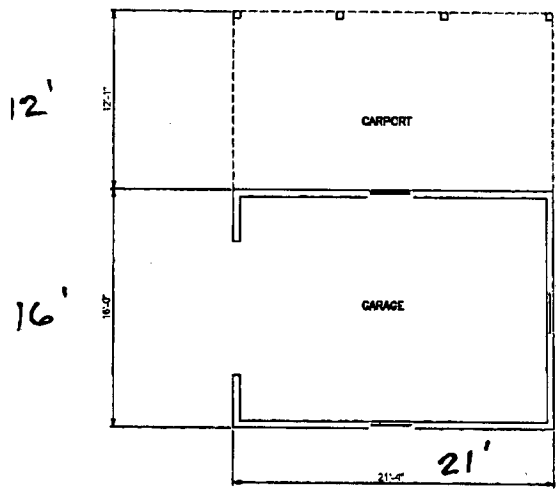
24

SP



Garage East Elevation Lot 1,  
1/4"=1'-0"

Garage South Elevation Lot 1,  
1/4"=1'-0"



Garage Floor Plan Lot 1,  
1/4"=1'-0"

LOT ONE

HOUSE FOOTPRINT = 1392 SF  
 FRONT PORCH = 225 SF  
 GARAGE (ENCLOSE AREA)= 342 SF  
 (COVERED AREA)= 258 SF



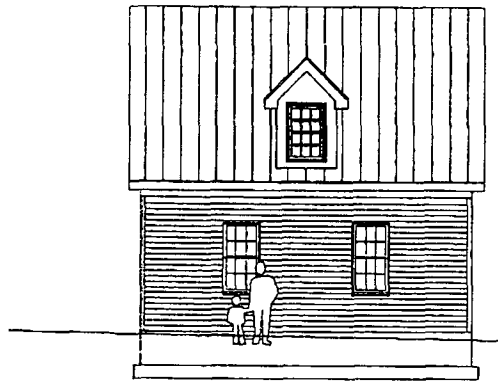
THOMAS J. TALTAVULL

ARCHITECT  
 20650 Plum Creek Court  
 Gaithersburg, Maryland 20878  
 301.977.1877

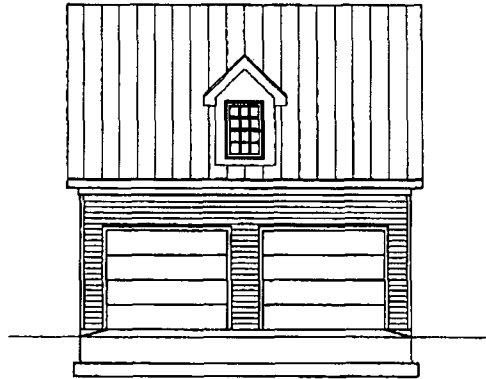
17 2002

FLOOR PLAN

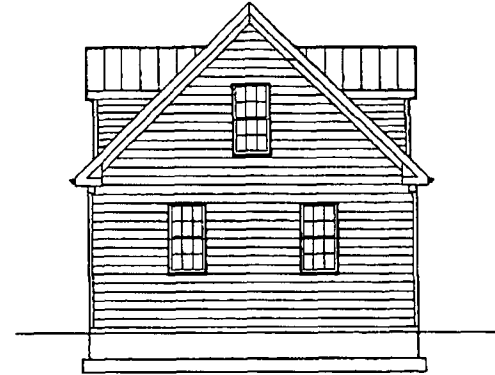
PROPOSED PLAN FOR  
 ROTTER PROPERTY, LOT 1  
 HIGH STREET  
 BROOKSVILLE, MARYLAND



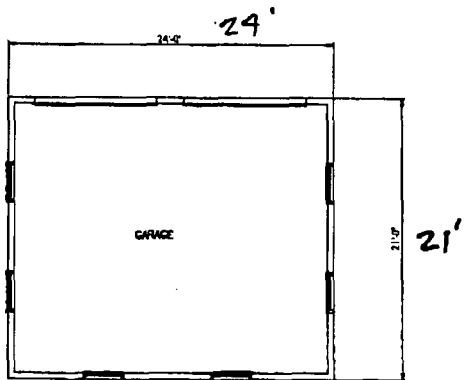
EAST ELEVATION  
1/4"=1'-0"



WEST ELEVATION  
1/4"=1'-0"



SOUTH ELEVATION  
1/4"=1'-0"



GARAGE PLAN  
1/4"=1'-0"

LOT TWO

- HOUSE FOOTPRINT = 1344 SF
- FRONT PORCH = 84 SF
- BACK PORCH = 74 SF
- GARAGE = 504 SF

26



THOMAS J. TALTAVULL  
ARCHITECT  
D.D.O.  
2455 Plum Creek Cir.  
Odenton, MD 21113  
301 840 1847

17 2002

ELEVATIONS

PROPOSED ELEVATIONS FOR LOT 2  
ROTTER PROPERTY  
5188 STREET  
BROOKVILLE, MARYLAND



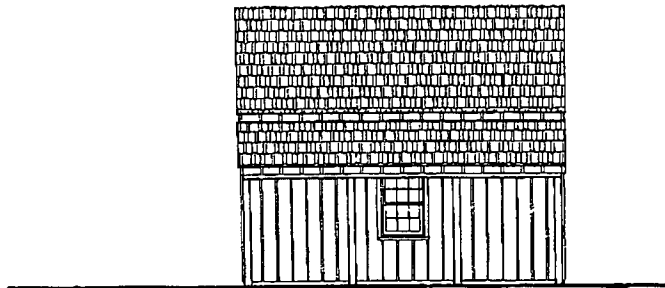
THOMAS J. TALTAVULL  
ARCHITECT  
20650 Plum Creek Court  
P.O. Box 2887  
Garrettsville, OH 43024-0287

17 208

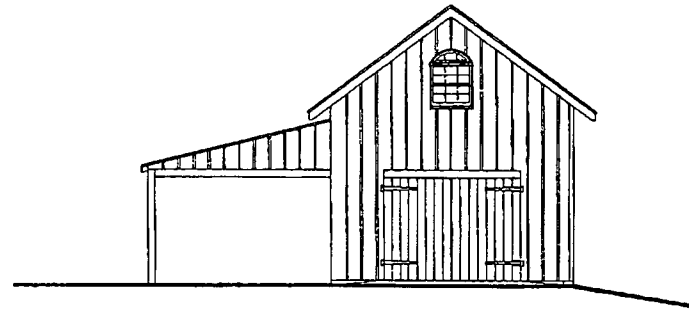
ELEVATIONS

PROPOSED PLAN FOR  
ROTTER PROPERTY, LOT 3  
8232 STREET  
GARRETSVILLE, MARYLAND

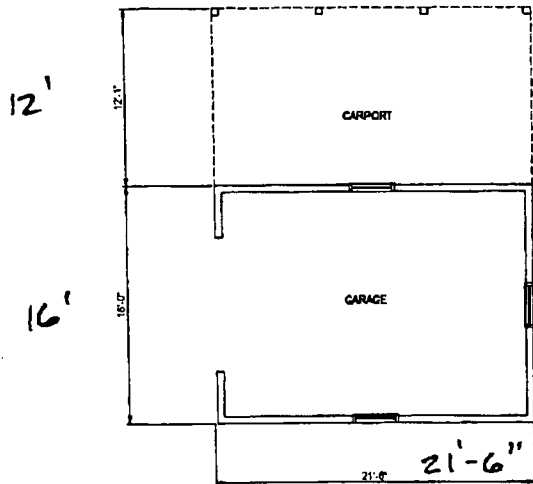
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Garage South Elevation Lot 3  
1/4"=1'-0"



Garage East Elevation Lot 3  
1/4"=1'-0"



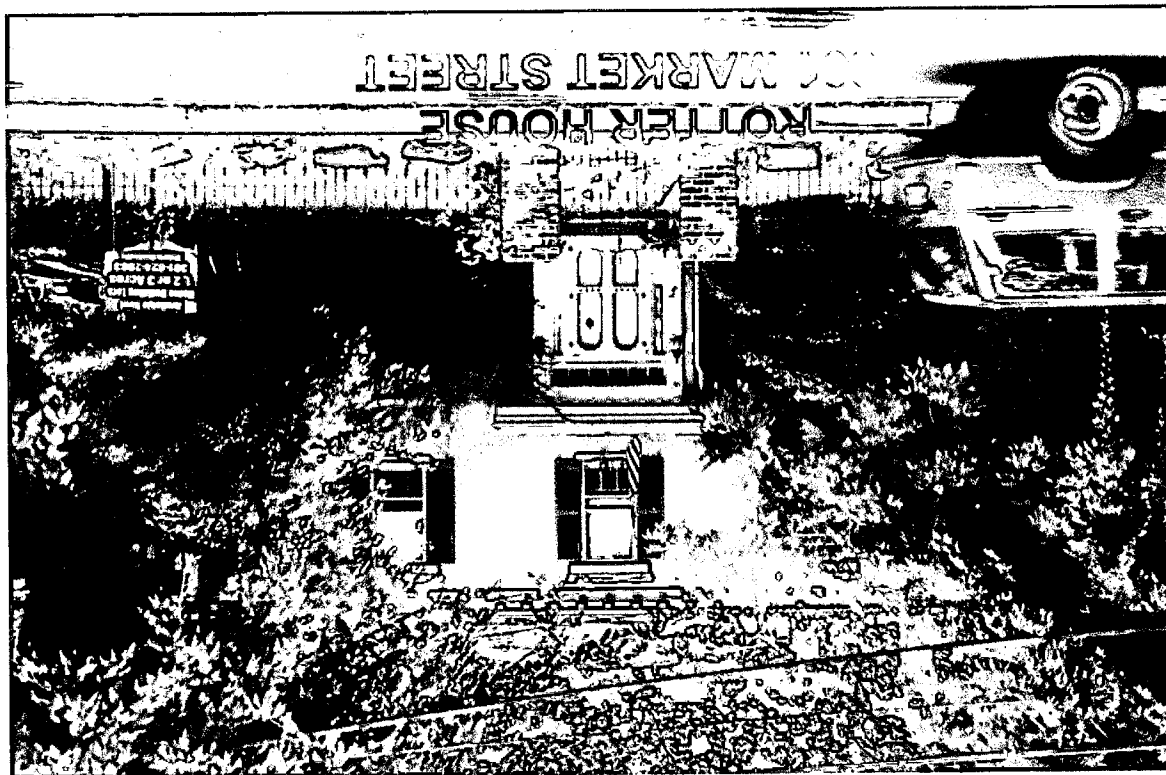
Garage Floor Plan Lot 3  
1/4"=1'-0"

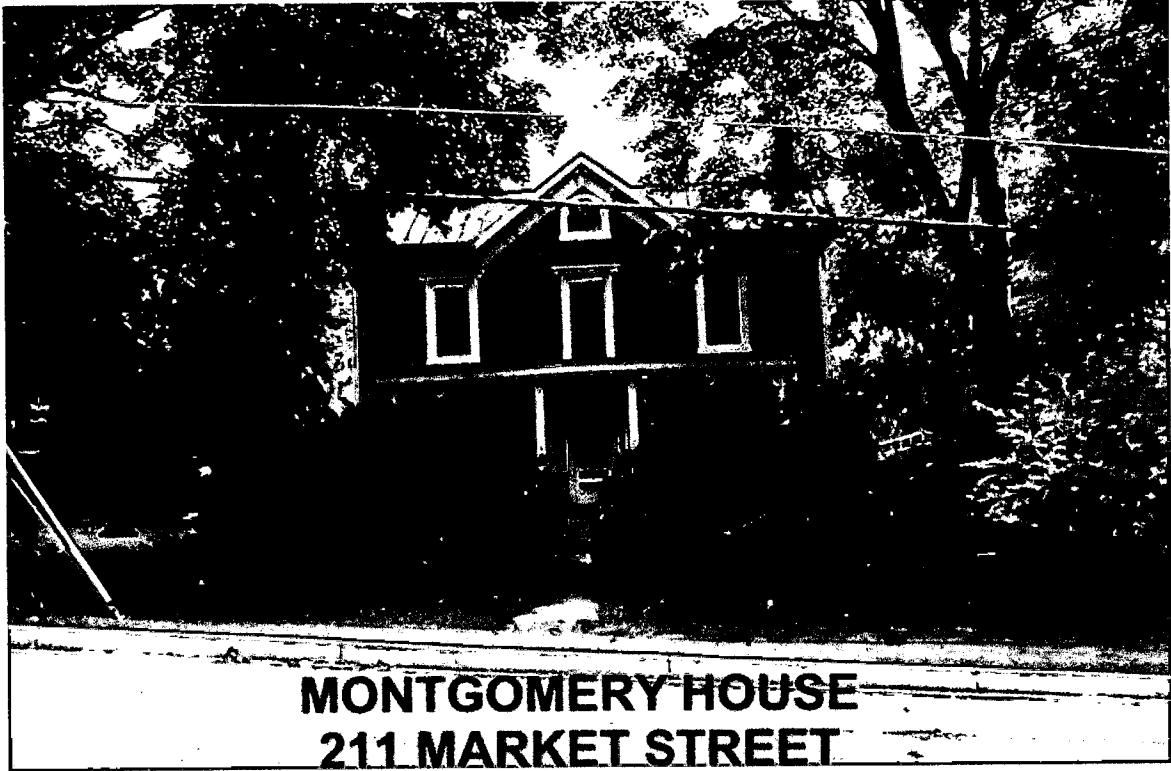
LOT THREE

- HOUSE FOOTPRINT = 1420 SF
- FRONT PORCH = 202 SF
- BACK PORCH = 72 SF
- GARAGE (ENCLOSED) = 342 SF
- (COVERED) = 258 SF

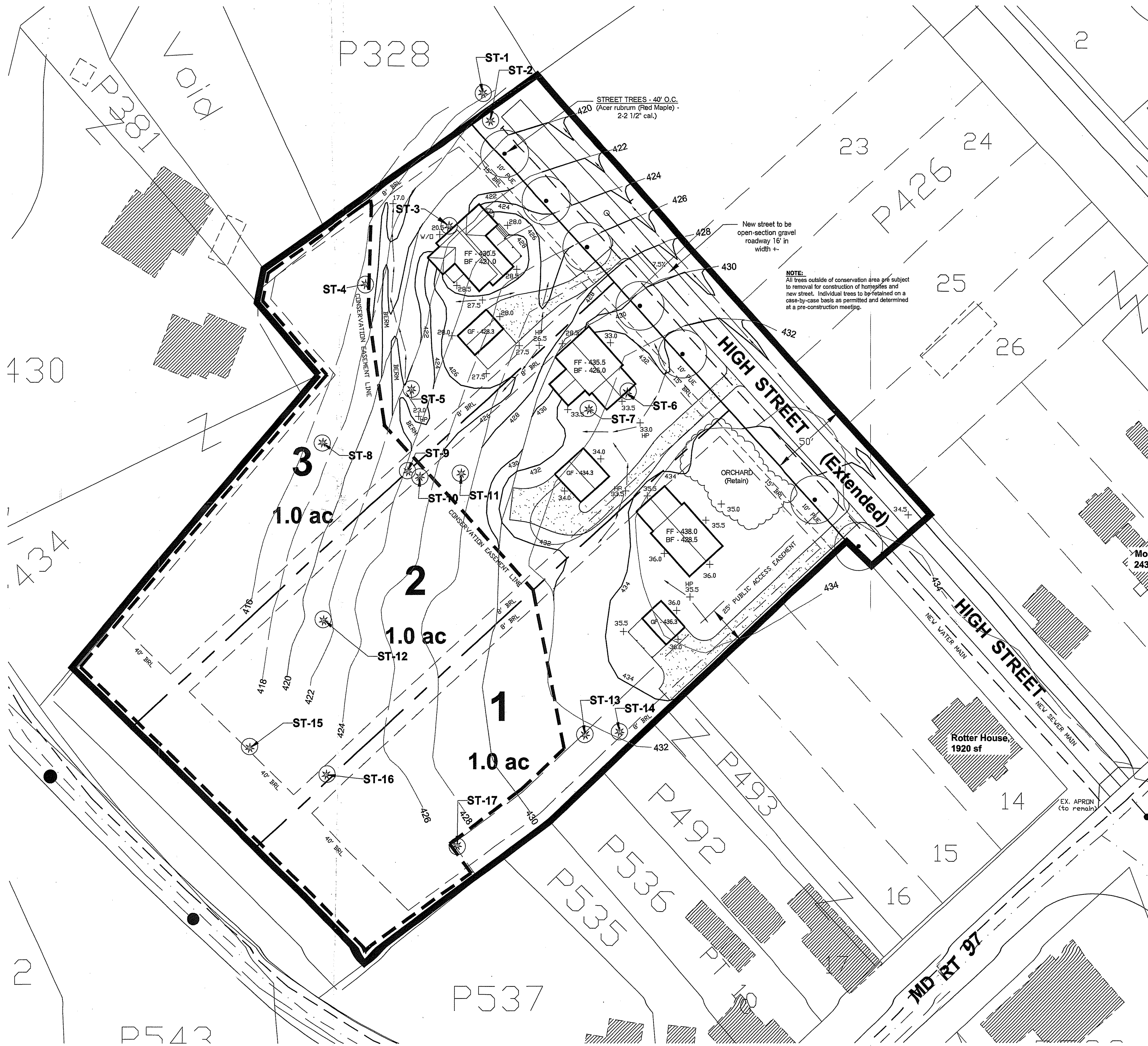
27

82





29

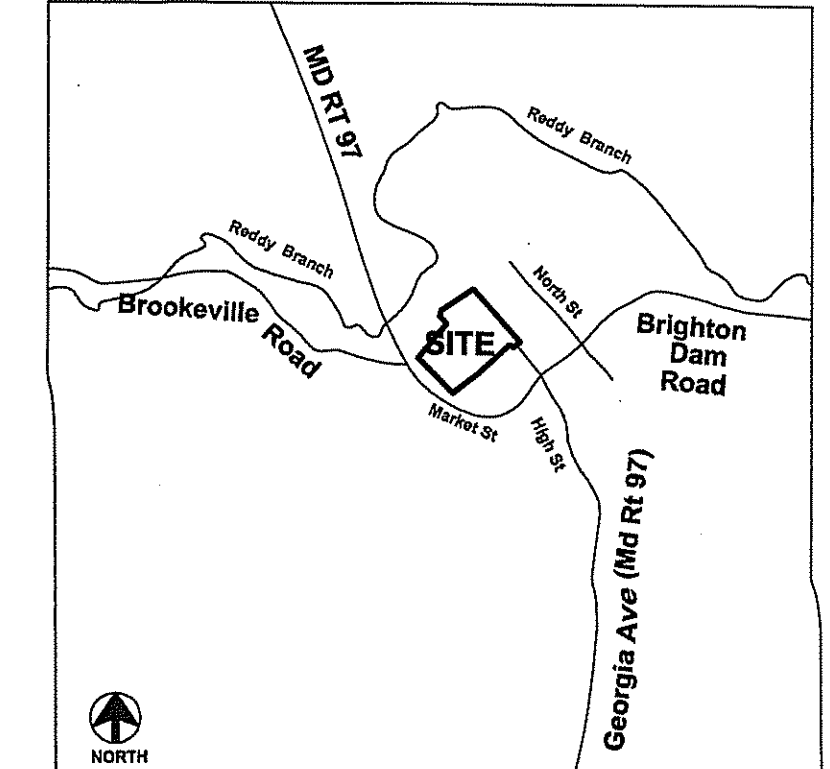


- NOTES:**
1. AREA OF PROPERTY - 3.3 ACRES
  4. EXISTING ZONING - HVR (Historic Village Residential)
  6. PERMITTED DENSITY - 1 DWELLING UNIT PER ACRE
  7. NUMBER OF LOTS SHOWN - 3
  8. MINIMUM LOT SIZE PERMITTED - 10,000 SF
  9. MINIMUM LOT SIZE SHOWN - 1.0 AC +/-
  12. REQUIRED SETBACKS:
    - Frontyards - 15'
    - Sideyards - 8'
    - Rearyards - 40'
  13. SITE TO BE SERVED BY PUBLIC WATER & SEWER (WSSC)
  14. EXISTING SEWER & WATER SERVICE CATEGORIES: S-1; W-1

**NOTE:**  
All trees outside of conservation area are subject to removal for construction of homesites and new street. Individual trees to be retained on a case-by-case basis as permitted and determined at a pre-construction meeting.

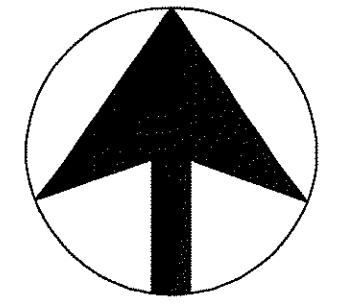
Prepared for:  
**Ruffin Maddox / Rory Coakley**  
20 Court House Square  
Rockville, MD 20850  
301-340-8700

VICINITY MAP  
SCALE: 1" = 1,000'



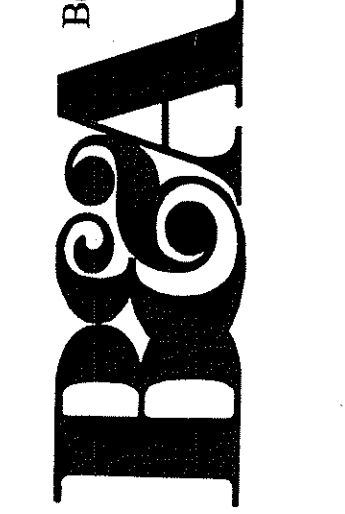
Revisions

11/13/01 (houses added)



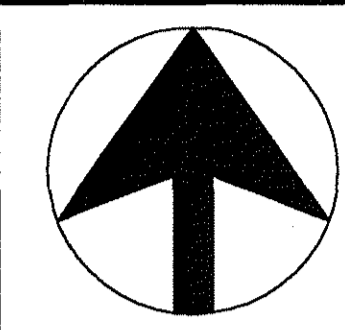
date: January 4, 2001  
scale: 1" = 30'

Benning & Associates, Inc.  
Land Planning Consultants  
8933 Shady Grove Court  
Gaithersburg, MD 20877  
(301)948-0240



**S I T E P L A N**  
**ROTTER PROPERTY**  
Town of Brookeville, Maryland

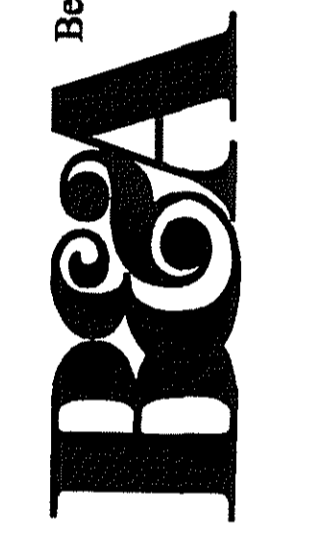




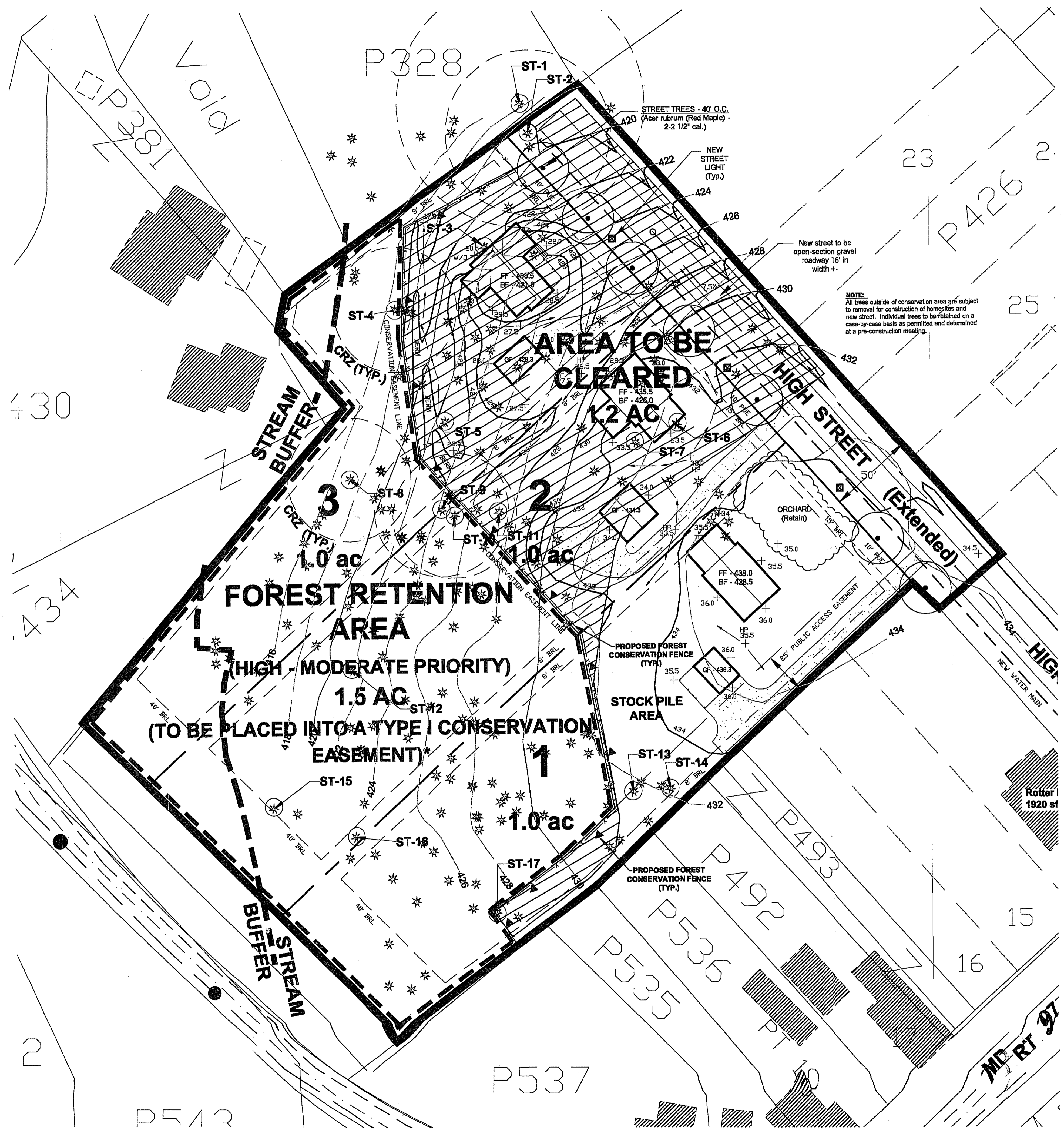
date: January 17, 2002

scale: 1" = 30'

Benning & Associates, Inc.  
Land Planning Consultants  
8933 Shady Grove Court  
Gaithersburg, MD 20877  
(301)948-0240



FINAL FOREST CONSERVATION PLAN  
ROTTER PROPERTY  
Town of Brookeville, Maryland



**NOTES:**

1. AREA OF PROPERTY - 3.3 ACRES
4. EXISTING ZONING - HVR (Historic Village Residential)
6. PERMITTED DENSITY - 1 DWELLING UNIT PER ACRE
7. NUMBER OF LOTS SHOWN - 3
8. MINIMUM LOT SIZE PERMITTED - 10,000 SF
9. MINIMUM LOT SIZE SHOWN - 1.0 AC +/-
12. REQUIRED SETBACKS:  
Frontyards - 15'  
Sideyards - 8'  
Rearyards - 40'
13. SITE TO BE SERVED BY PUBLIC WATER & SEWER (WSSC)
14. EXISTING SEWER & WATER SERVICE CATEGORIES: S-1; W-1

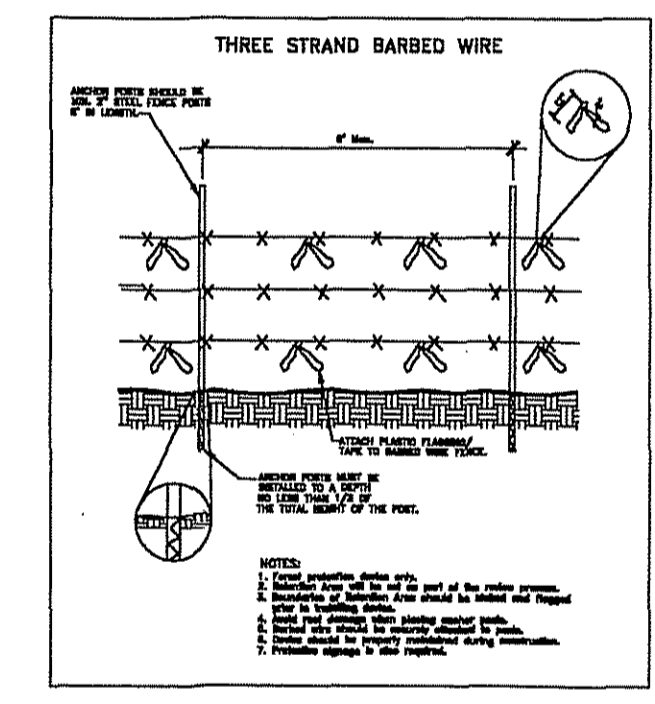
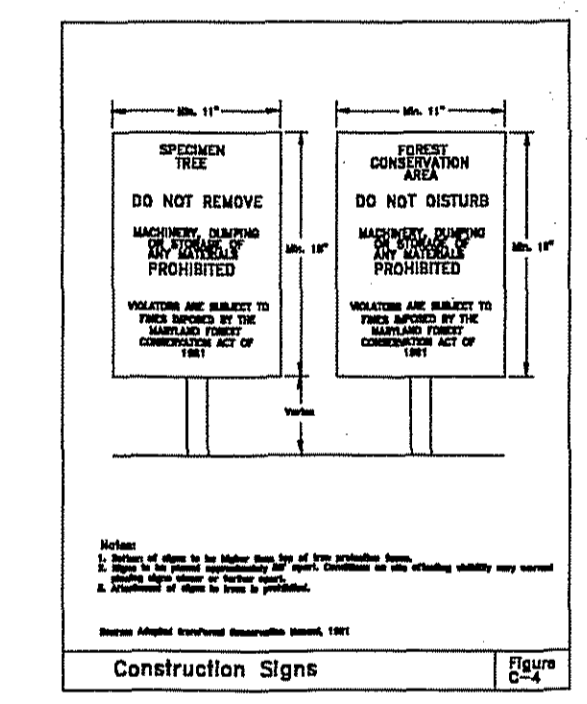
**SPECIMEN TREE CHART**

TREE NUMBER	BOTANICAL NAME	COMMON NAME	SIZE (D.B.H.)	TREE CONDITION	COMMENTS
ST-1	Carya species	Hickory	48"	Good	
ST-2	Prunus serotina	Black Cherry	32"	Good	To Be Removed
ST-3	Liriodendron tulipifera	Tulip Poplar	40"	Good	
ST-4	Carya species	Hickory	24"	Good	
ST-5	Carya species	Hickory	30"	Good	To Be Removed
ST-6	Carya species	Hickory	38"	Good	To Be Removed
ST-7	Prunus serotina	Black Cherry	30"	Good	To Be Removed
ST-8	Carya species	Hickory	24"	Good	
ST-9	Platanus occidentalis	Sycamore	26"	Good	
ST-10	Platanus occidentalis	Sycamore	26"	Good	
ST-11	Carya species	Hickory	25"	Good	To Be Removed
ST-12	Acer rubrum	Red Maple	30"	Good	
ST-13	Carya species	Hickory	30"	Good	
ST-14	Acer rubrum	Red Maple	36"	Good	
ST-15	Carya species	Hickory	24"	Good	
ST-16	Carya species	Hickory	26"	Good	
ST-17	Acer rubrum	Red Maple	28"	Good	To Be Removed

\*Trees located, identified and sized by field survey by Thomas A. Maddox, Professional Land Surveyor

**LEGEND:**

- TREES > 24" DBH WITH CRITICAL ROOT ZONE (TYP.)
- FOREST CONSERVATION FENCE
- FOREST CONSERVATION SIGN
- TREES 6-24" DBH



**FOREST CONSERVATION WORKSHEET**

Project: Rotter Property Date: January 2002

A. Total area of tract:	3.3 ac
B. Area within 100' riparian buffer (100' ac DA or 100' riparian buffer):	0.0 ac
C. Area of land to be used for agriculture:	0.0 ac
D. Area within 100' riparian buffer (Easement for public access):	0.0 ac
E. Net forest area:	3.3 ac
F. Land Use Category: Medium Density Residential Area	0.0 ac
G. Conservation threshold: 25%	0.825 ac
H. Existing Forest Cover:	2.475 ac
I. Forest cover above afforestation threshold:	2.475 ac
J. Forest cover above conservation threshold:	1.65 ac

**CALCULATION OF BREAK-EVEN POINT:**

L. $(K \times A) + (C \times B) + (D \times E) + (F \times G) + (H \times I) + (J \times K)$	N/A
M. Forest cover to be restored:	1.2 ac
N. Total area of forest to be cleared:	1.2 ac

**CALCULATION OF AFFORESTATION REQUIREMENT:**

P. Afforestation requirement:  $(G - J) = 0.0 ac$

**CALCULATION OF REFORESTATION REQUIREMENT:**

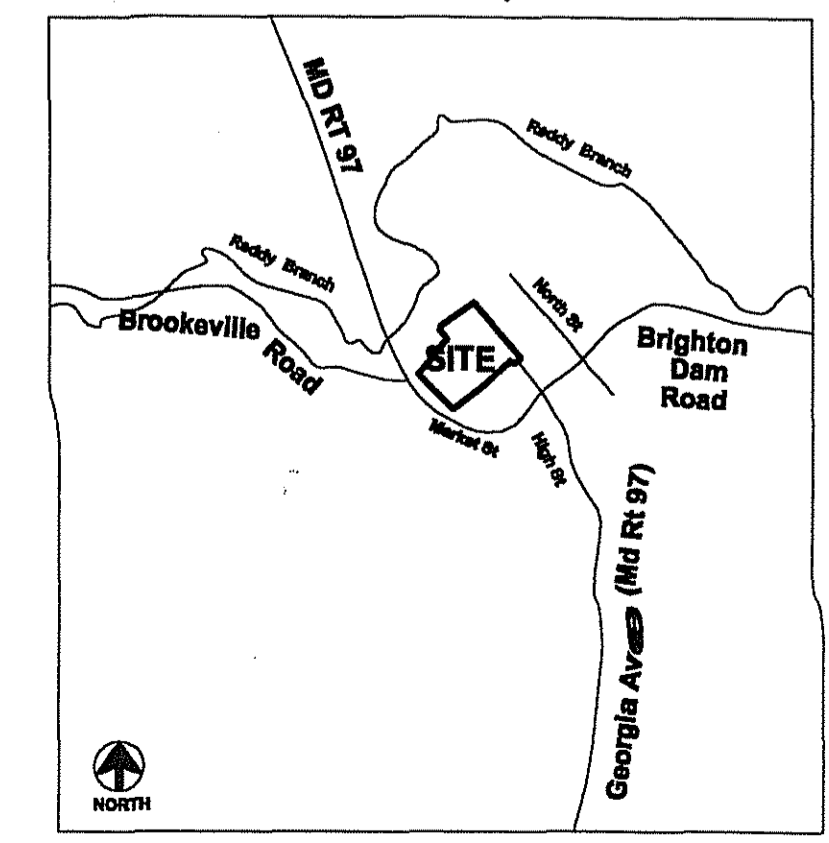
Q. Area of forest above conservation threshold to be cleared:	1.2 ac
R. Area of forest below conservation threshold to be cleared:	0.0 ac
S. Forest area above conservation threshold to be cleared:	0.0 ac
T. Planting required for clearing above threshold (1:1.25):	0.0 ac
U. Planting required for clearing below threshold (1:1.25):	0.0 ac
V. Total planting required above conservation threshold (1:1.25):	0.0 ac
W. Total reforestation requirement (T+U+V):	0.0 ac

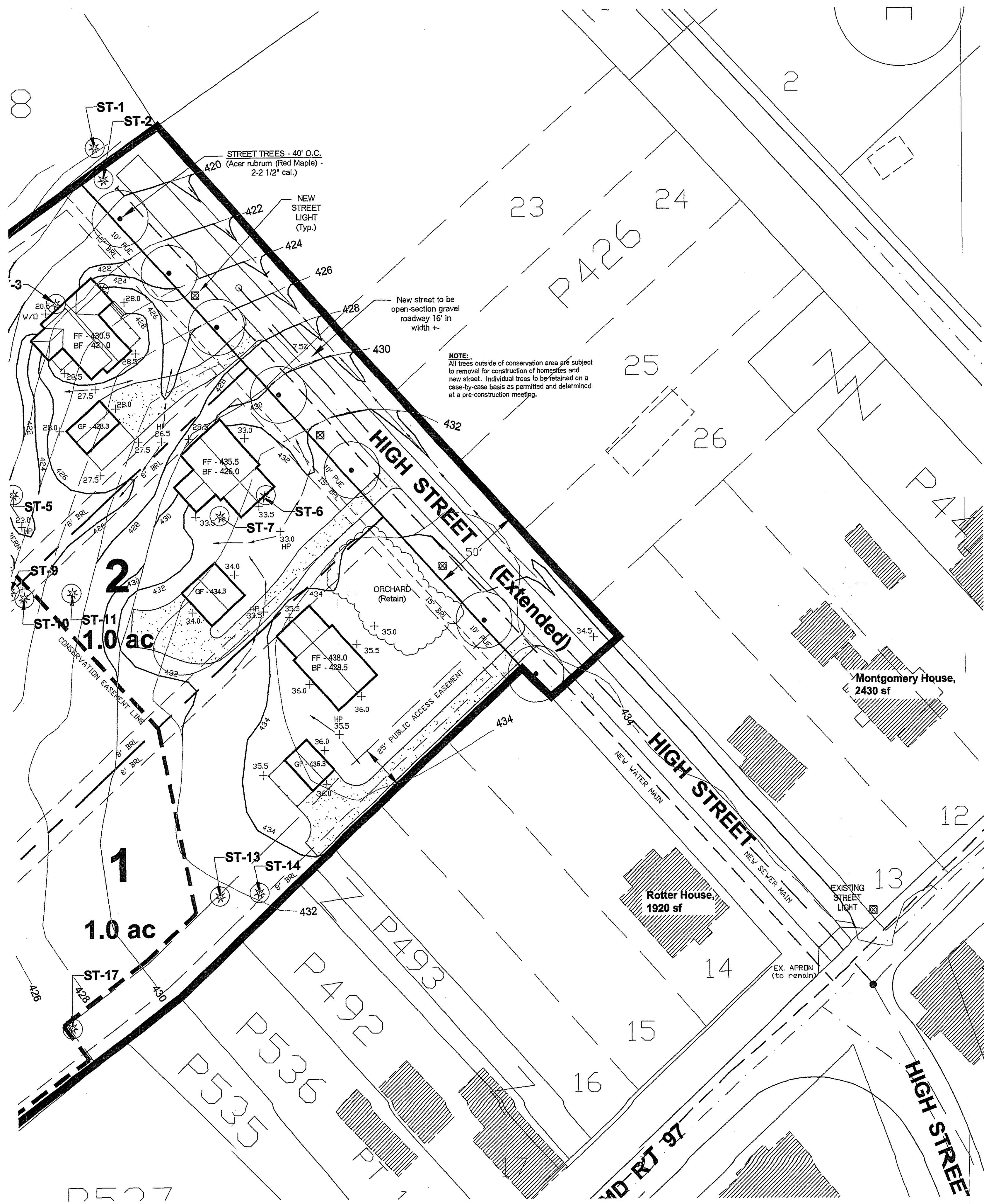
**TOTAL PLANTING REQUIREMENT:**

X. Afforestation and Reforestation:	0.0 ac
Y. Cost for trees and landscaping:	0.0 ac
Z. Total forest planting requirement:	0.0 ac

Prepared for:  
**Ruffin Maddox / Rory Coakley**  
20 Court House Square  
Rockville, MD 20850  
301-340-8700

**VICINITY MAP**  
SCALE: 1" = 1,000'





**LEGEND:**

Street Light

Street Tree

**LIGHTING SCHEDULE:**

Lights are "Hancock Post / Jefferson Luminaire" per specification provided to the Town of Brookeville by Spring City Electrical Mfg. Co., Hall and Main Streets, P.O. Drawer 19, Spring City, PA 19475, (610) 948-4000 (see detail).

Three (3) lights total - approximately 100' o.c. as shown.

NOTES: Stake trees under 3" cal.

Guy 3" cal. and greater

Prune 1/3 canopy, do not cut leader

Tree shall bear some relationship to finished grade as before

Stake or guys to be set 2/3 up tree or above first branches

Guying cable (3)

Turnbuckle

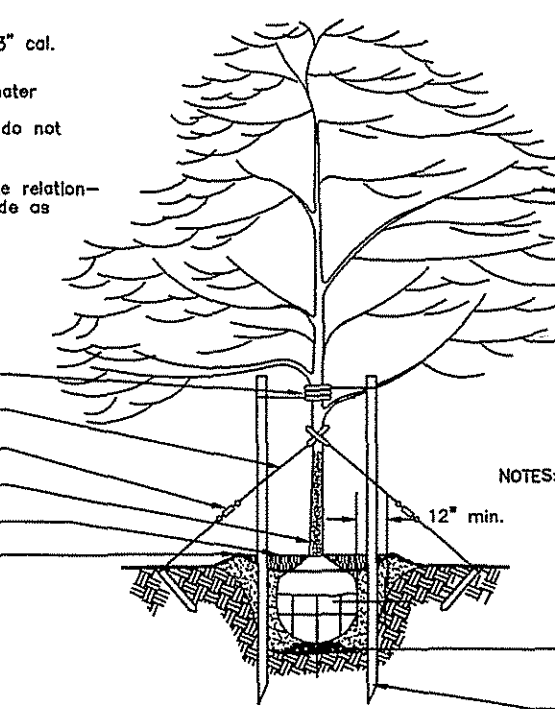
Tree wrap

2" mulch

Mound to form saucer

2 x 4 anchor stake - set below finished grade

Remove burlap from top 1/3



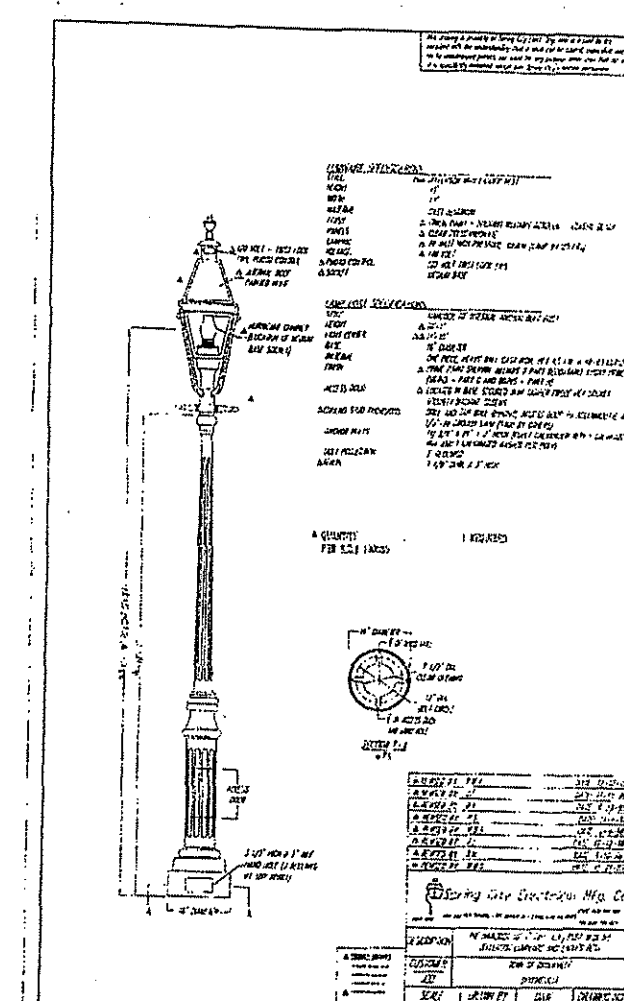
NOTES: Remove damaged or broken branches

Tree shall bear some relationship to grade as previous

Spade bottom of pit to 4" depth and recompact

Extend stakes 18" below pit

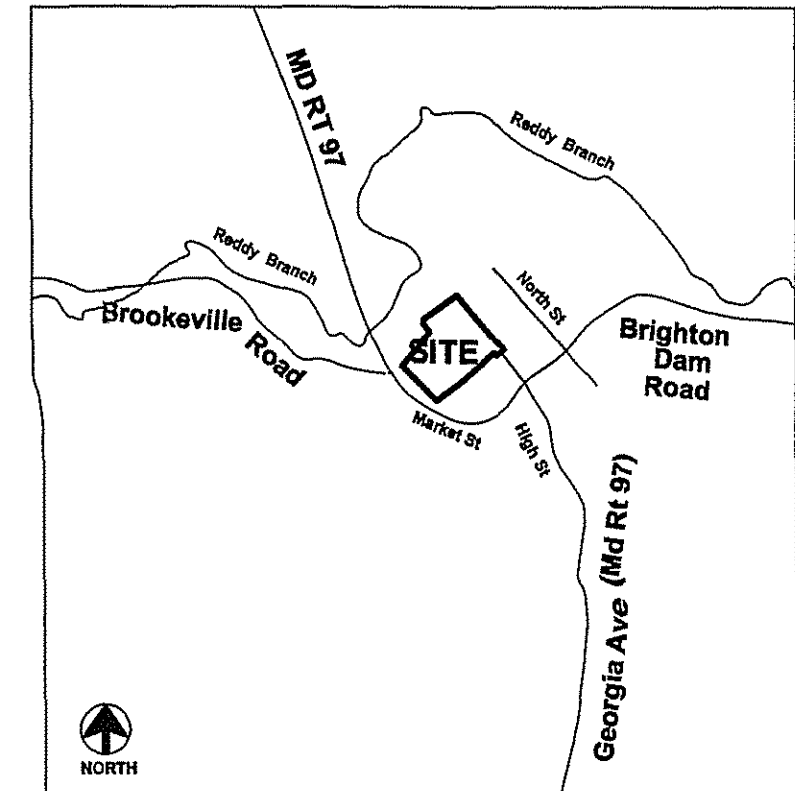
PLANTING DETAIL - SHADE TREE



**STREET TREES:**

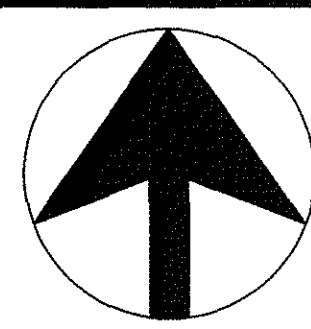
Recommended street trees are Red Maple (*Acer rubrum*) - 2-2 1/2" cal., B&B. Plant per detail in quantity shown on plan (7).

Prepared for:  
**Ruffin Maddox / Rory Coakley**  
 20 Court House Square  
 Rockville, MD 20850  
 301-340-8700  
 VICINITY MAP  
 SCALE: 1" = 1,000'



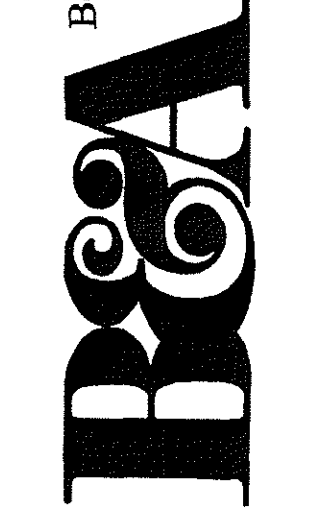
Revisions

11/13/01 (houses added)

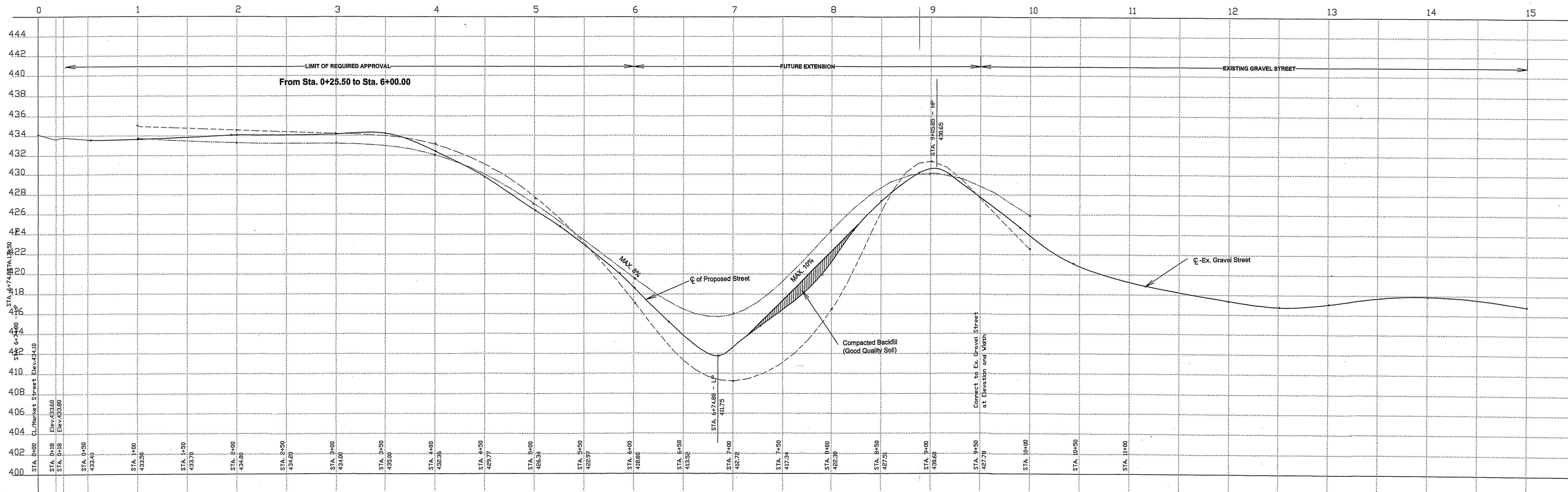


date: January 4, 2001  
 scale: 1" = 30'

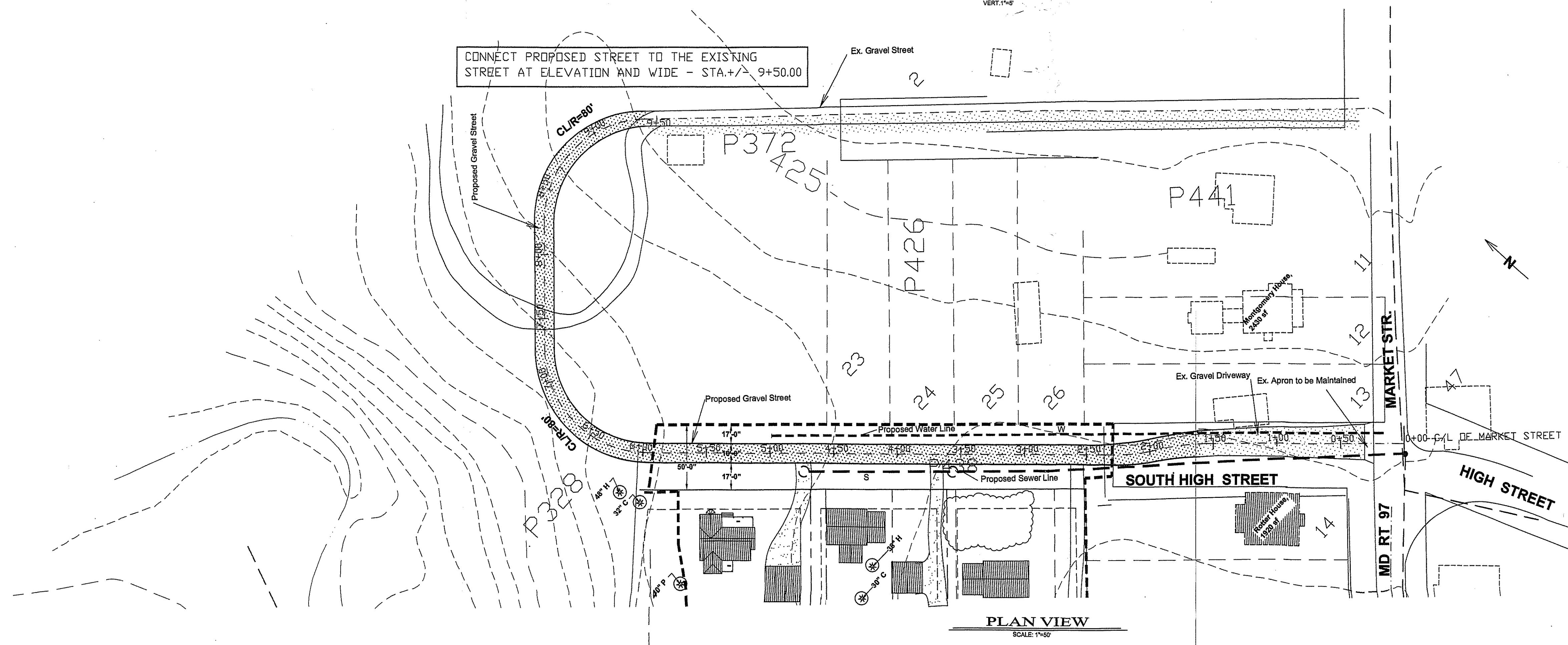
Banning & Associates, Inc.  
 Land Planning Consultants  
 8933 Shady Grove Court  
 Gaithersburg, MD 20877  
 (301)948-0240



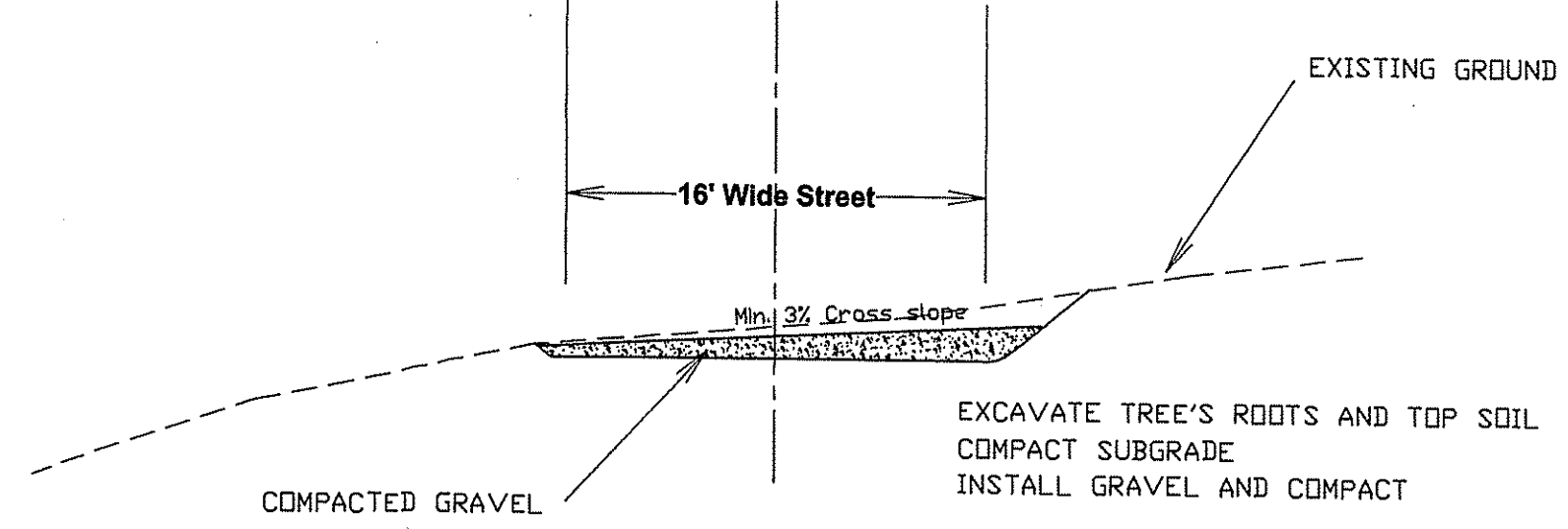
LANDSCAPE / STREET LIGHTING PLAN  
**ROTTER PROPERTY**  
 Town of Brookeville, Maryland



**STREET PROFILE**  
SCALE: HOR. 1"=50'  
VERT. 1"=5'



**PLAN VIEW**  
SCALE: 1"=50'



**TYPICAL CROSS SECTION**  
N.T.S.

- LEGEND**
- PROPOSED C.L. ————
  - EXISTING C.L. ————
  - EXISTING GROUND 30' L.T. - - - - -
  - EXISTING GROUND 30' R.T. - - - - -



**L R ENGINEERING**  
CIVIL ENGINEERING    LAND PLANNING    STRUCTURAL  
10390 Hedgeapple Bend    New Market, MD 21774    (301) 798-0175

Designed	ET				
Drafted					
Checked	YL				
Proj. Eng.	YL				
OFFICE					
DATE	1/08/2002	NO.		REVISIONS	BY DATE

**SOUTH HIGH STREET  
GRADE ESTABLISHMENT PLAN**

**ROTTER PROPERTY**  
Town of Brookeville, Maryland

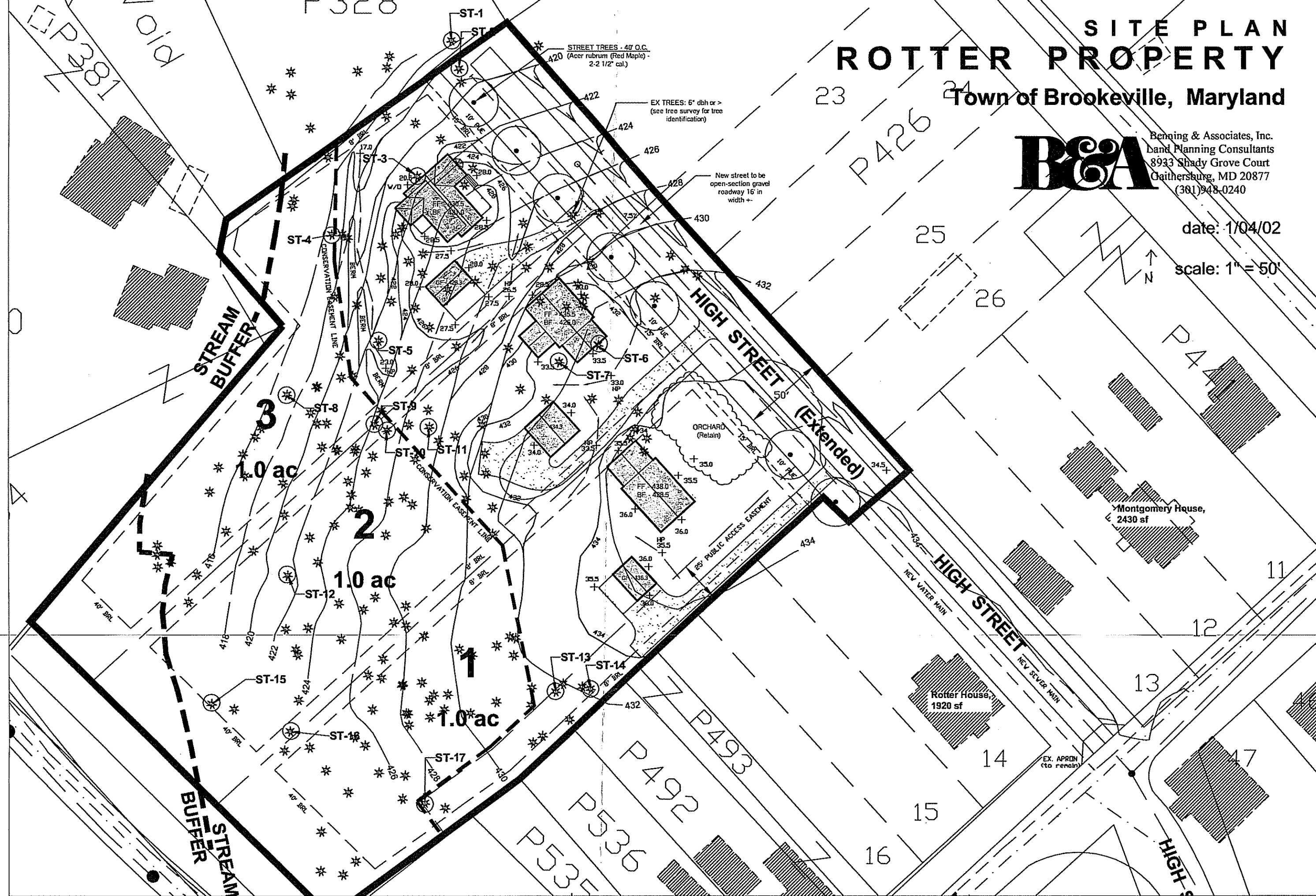
SCALE AS SHOWN SHEET  
1 OF 1 SHEETS  
JOB NO. 2002-02

# SITE PLAN ROTTER PROPERTY

Town of Brookeville, Maryland

**B&A**  
 Benning & Associates, Inc.  
 Land Planning Consultants  
 8933 Shady Grove Court  
 Gaithersburg, MD 20877  
 (301) 948-0240

date: 1/04/02  
 scale: 1" = 50'



Montgomery House,  
2430 sf

Rotter House,  
1920 sf

STREET TREES - 40' O.C.  
(Acer rubrum (Red Maple) -  
2-2 1/2" cal.)

EX TREES: 6" dbh or >  
(see tree survey for tree  
identification)

New street to be  
open-section gravel  
roadway 16' in  
width +

ORCHARD  
(Retain)

25' PUBLIC ACCESS EASEMENT

EX. APRON  
(to remain)

# TREE SURVEY ROTTER PROPERTY

Town of Brookeville, Maryland



Benning & Associates, Inc.  
Land Planning Consultants  
8933 Shady Grove Court  
Gaithersburg, MD 20877  
(301) 948-0240

date: 1/04/02

scale: 1" = 50'

### LEGEND:

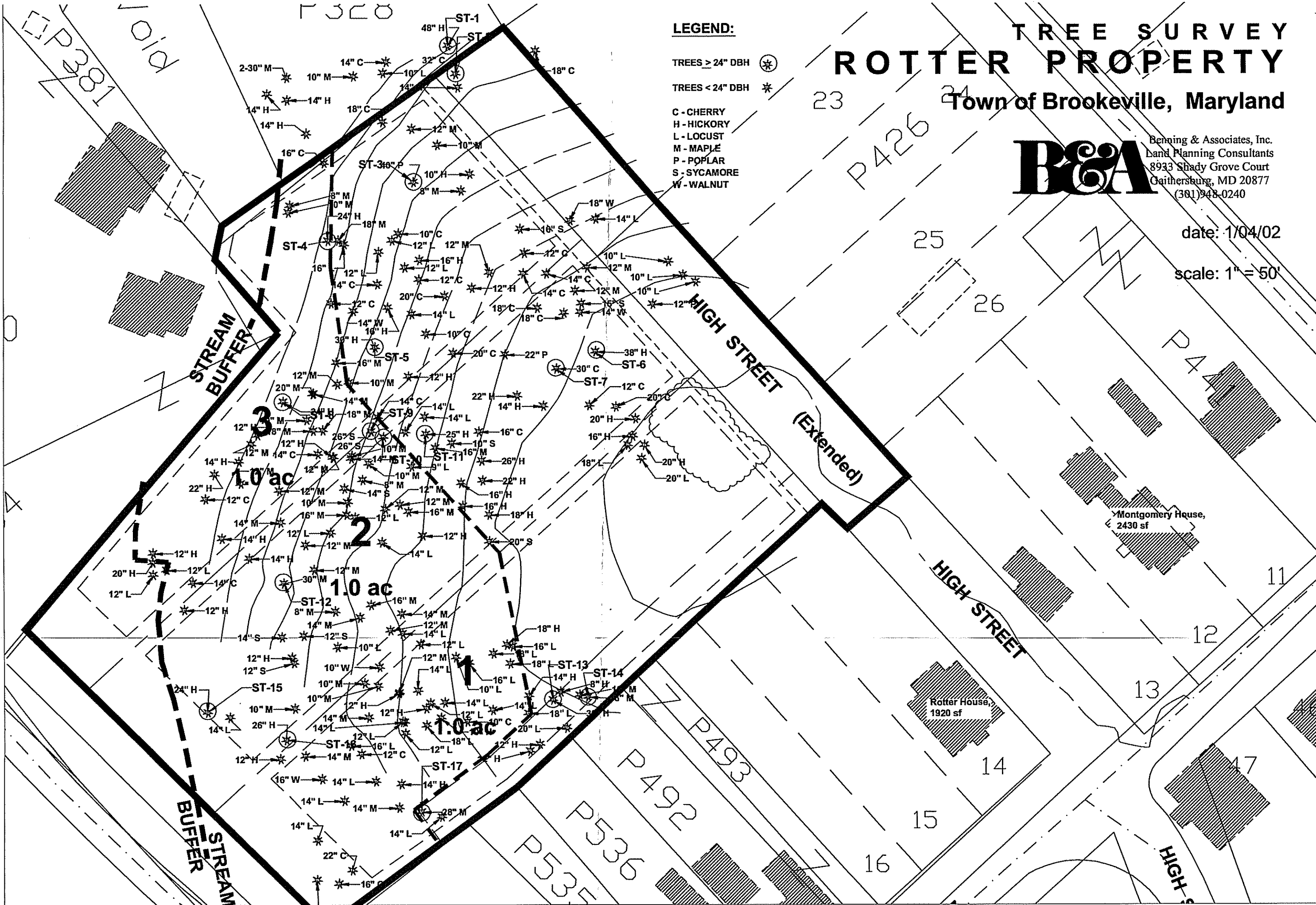
TREES > 24" DBH

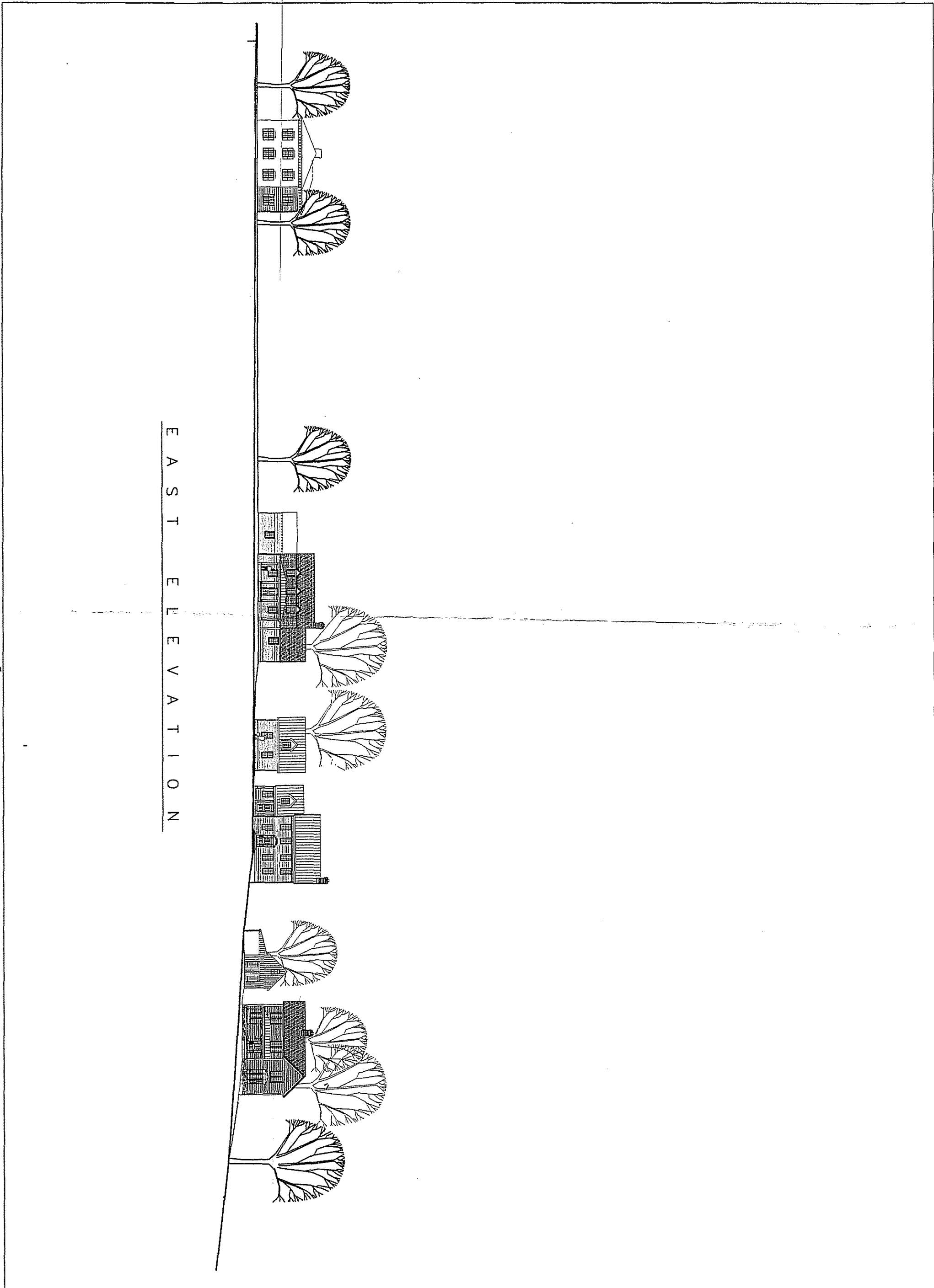


TREES < 24" DBH



- C - CHERRY
- H - HICKORY
- L - LOCUST
- M - MAPLE
- P - POPLAR
- S - SYCAMORE
- W - WALNUT





E A S T E L E V A T I O N

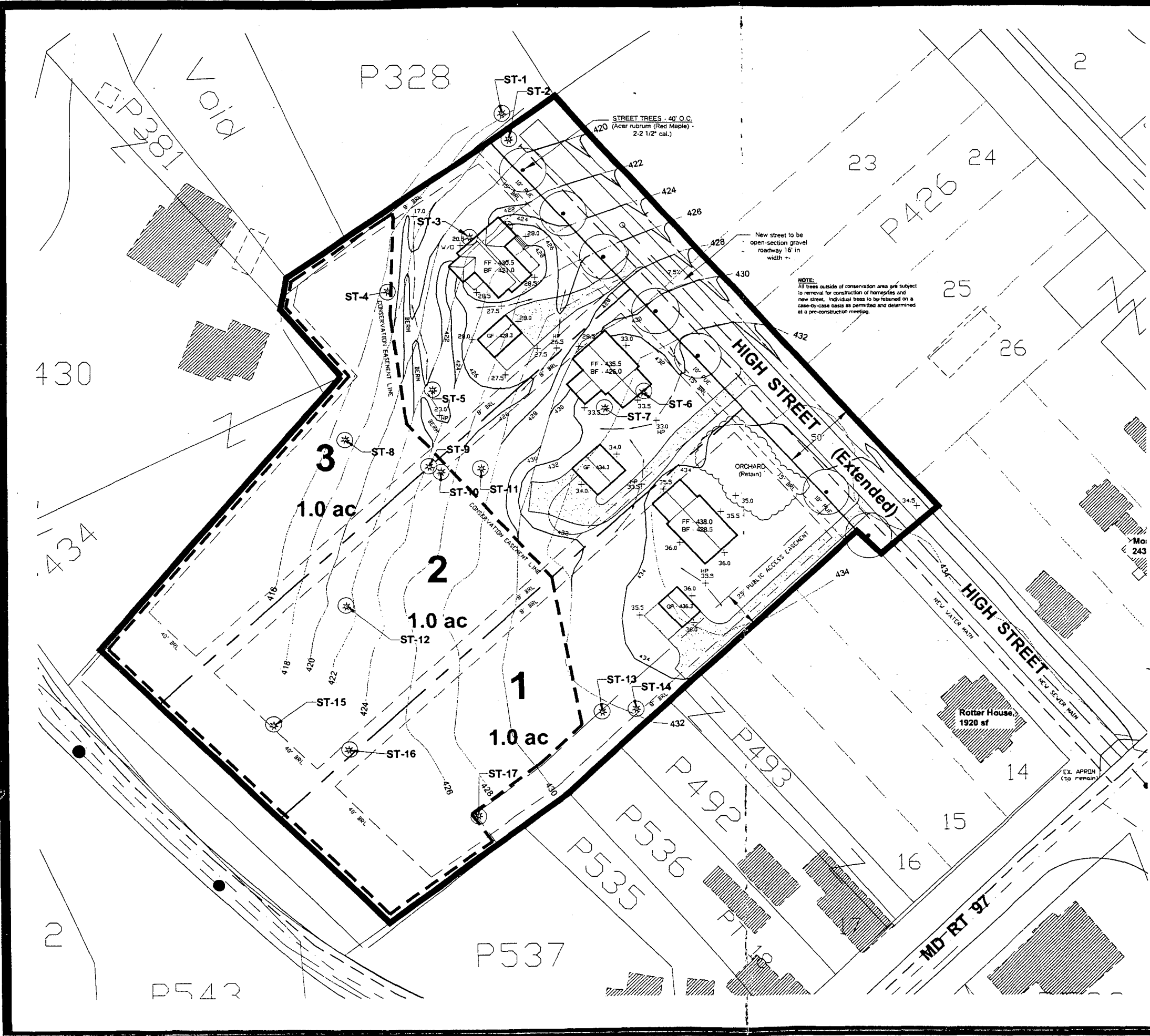
PROPOSED ELEVATIONS FOR  
ROTTER PROPERTY  
HIGH STREET  
BROOKEVILLE, MARYLAND

ELEVATIONS

1.7.2002

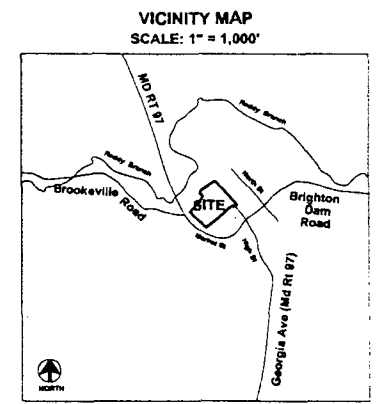
THOMAS J. TALTAVULL  
ARCHITECT  
20850 Plum Creek Court  
Gaithersburg, Maryland 20882  
301.840.1847

Received 1-23-02



- NOTES:**
1. AREA OF PROPERTY - 3.3 ACRES
  4. EXISTING ZONING - HVR (Historic Village Residential)
  6. PERMITTED DENSITY - 1 DWELLING UNIT PER ACRE
  7. NUMBER OF LOTS SHOWN - 3
  8. MINIMUM LOT SIZE PERMITTED - 10,000 SF
  9. MINIMUM LOT SIZE SHOWN - 1.0 AC +/-
  12. REQUIRED SETBACKS:
    - Frontyards - 15'
    - Sideyards - 8'
    - Rearyards - 40'
  13. SITE TO BE SERVED BY PUBLIC WATER & SEWER (WSSC)
  14. EXISTING SEWER & WATER SERVICE CATEGORIES: S-1; W-1

Prepared for:  
**Ruffin Maddox / Rory Coakley**  
 20 Court House Square  
 Rockville, MD 20850  
 301-340-8700



Revisions

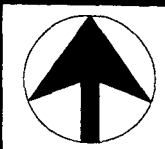
11/13/01 (houses added)



date: January 4, 2001  
 scale: 1" = 30'

Banning & Associates, Inc.  
 Land Planning Consultants  
 8933 Shady Grove Court  
 Gaithersburg, MD 20877  
 (301) 946-6540

**SITE PLAN**  
**ROTTER PROPERTY**  
 Town of Brookeville, Maryland



date: January 17, 2002  
scale: 1" = 30'

Berning & Associates, Inc.  
Land Planning Consultants  
8933 Shady Grove Court  
Gaithersburg, MD 20877  
(301)948-0240



FINAL FOREST CONSERVATION PLAN  
ROTTER PROPERTY  
Town of Brookeville, Maryland

**NOTES:**

1. AREA OF PROPERTY - 3.3 ACRES
4. EXISTING ZONING - HVR (Historic Village Residential)
6. PERMITTED DENSITY - 1 DWELLING UNIT PER ACRE
7. NUMBER OF LOTS SHOWN - 3
8. MINIMUM LOT SIZE PERMITTED - 10,000 SF
9. MINIMUM LOT SIZE SHOWN - 1.0 AC +/-
12. REQUIRED SETBACKS:  
Frontyards - 15'  
Sideyards - 8'  
Rearyards - 40'
13. SITE TO BE SERVED BY PUBLIC WATER & SEWER (WSSC)
14. EXISTING SEWER & WATER SERVICE CATEGORIES: S-1; W-1

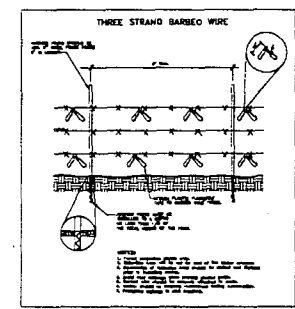
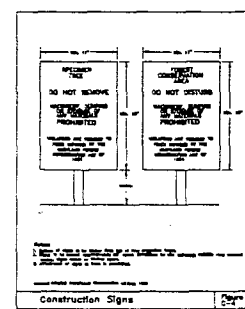
**SPECIMEN TREE CHART**

TREE NUMBER	BOTANICAL NAME	COMMON NAME	SIZE (D.B.H.)	TREE CONDITION	COMMENTS
ST-1	Carya species	Hickory	48"	Good	
ST-2	Prunus serotina	Black Cherry	32"	Good	
ST-3	Liriodendron tulipifera	Tulip Poplar	40"	Good	To Be Removed
ST-4	Carya species	Hickory	24"	Good	
ST-5	Carya species	Hickory	30"	Good	To Be Removed
ST-6	Carya species	Hickory	38"	Good	To Be Removed
ST-7	Prunus serotina	Black Cherry	30"	Good	To Be Removed
ST-8	Carya species	Hickory	24"	Good	
ST-9	Platanus occidentalis	Sycamore	26"	Good	
ST-10	Platanus occidentalis	Sycamore	26"	Good	
ST-11	Carya species	Hickory	25"	Good	To Be Removed
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ST-14	Acer rubrum	Red Maple	36"	Good	
ST-15	Carya species	Hickory	24"	Good	
ST-16	Carya species	Hickory	26"	Good	
ST-17	Acer rubrum	Red Maple	28"	Good	To Be Removed

\*Trees located, identified and sized by field survey by Thomas A. Maddox, Professional Land Surveyor

**LEGEND:**

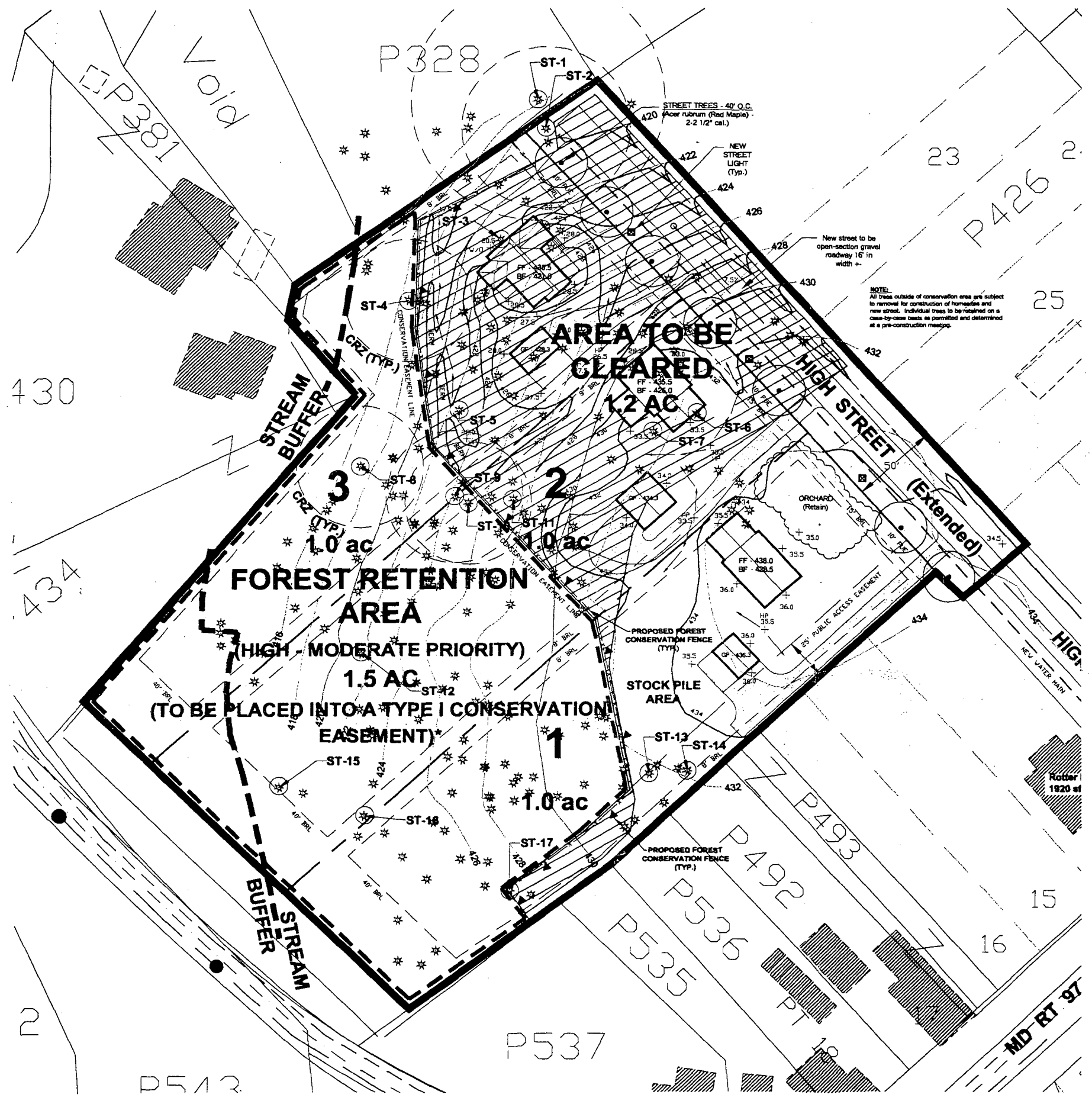
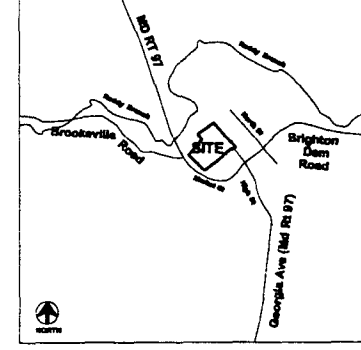
- TREES > 24" DBH  
WITH CRITICAL ROOT ZONE (TYP.)
- FOREST CONSERVATION FENCE
- FOREST CONSERVATION SIGN
- TREES 6-24" DBH



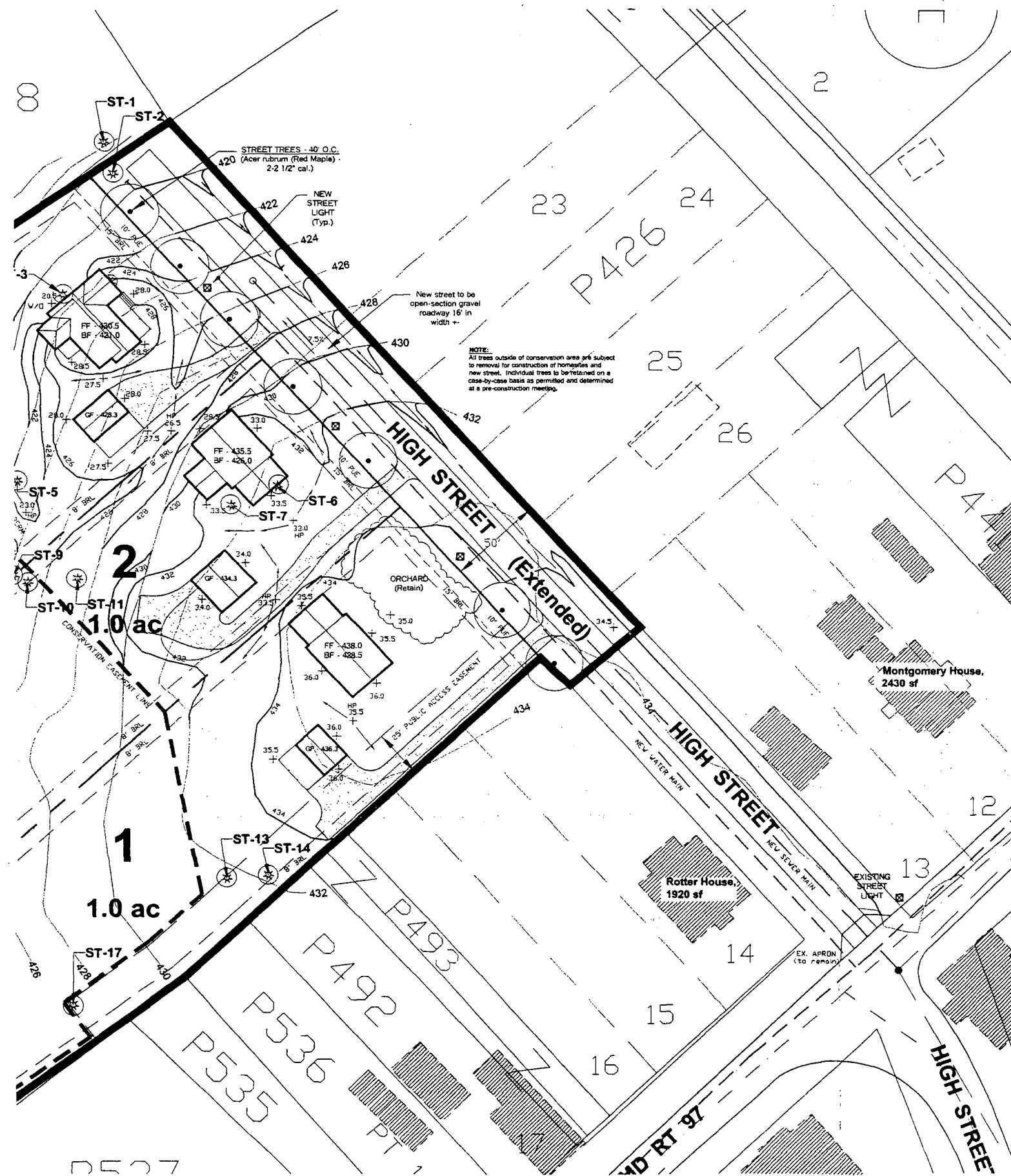
**FOREST CONSERVATION WORKSHEET**

1. Total area of site	3.3 ac
2. Area of stream buffer	0.0 ac
3. Area of stream buffer	0.0 ac
4. Area of stream buffer	0.0 ac
5. Area of stream buffer	0.0 ac
6. Area of stream buffer	0.0 ac
7. Area of stream buffer	0.0 ac
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91. Area of stream buffer	0.0 ac
92. Area of stream buffer	0.0 ac
93. Area of stream buffer	0.0 ac
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95. Area of stream buffer	0.0 ac
96. Area of stream buffer	0.0 ac
97. Area of stream buffer	0.0 ac
98. Area of stream buffer	0.0 ac
99. Area of stream buffer	0.0 ac
100. Area of stream buffer	0.0 ac



**VICINITY MAP**  
SCALE: 1" = 1,000'







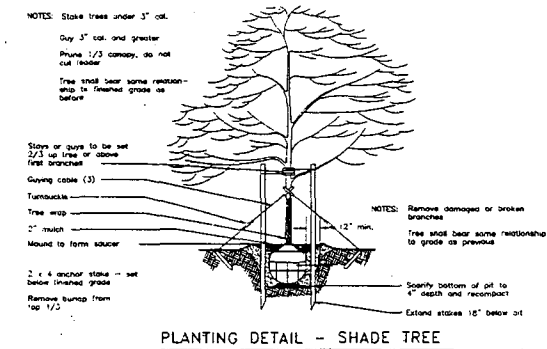
**LEGEND:**

- Street Light 
- Street Tree 

**LIGHTING SCHEDULE:**

Lights are "Hancock Post / Jefferson Luminaire" per specification provided to the Town of Brookeville by Spring City Electrical Mfg. Co., Hall and Main Streets, P.O. Drawer 19, Spring City, PA 19475, (610) 948-4000 (see detail).

Three (3) lights total - approximately 100' o.c. as shown.

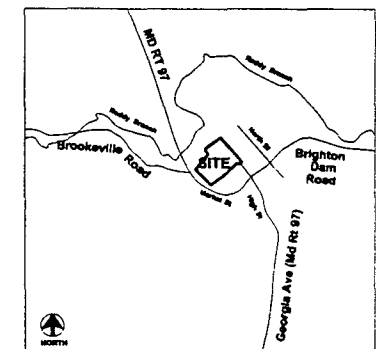


**STREET TREES:**

Recommended street trees are Red Maple (*Acer rubrum*) - 2-2 1/2" cal., B&B. Plant per detail in quantity shown on plan (7).

Prepared for:  
**Ruffin Maddox / Rory Coakley**  
 20 Court House Square  
 Rockville, MD 20850  
 301-340-8700

VICINITY MAP  
 SCALE: 1" = 1,000'




Revisions

11/13/01 (houses added)

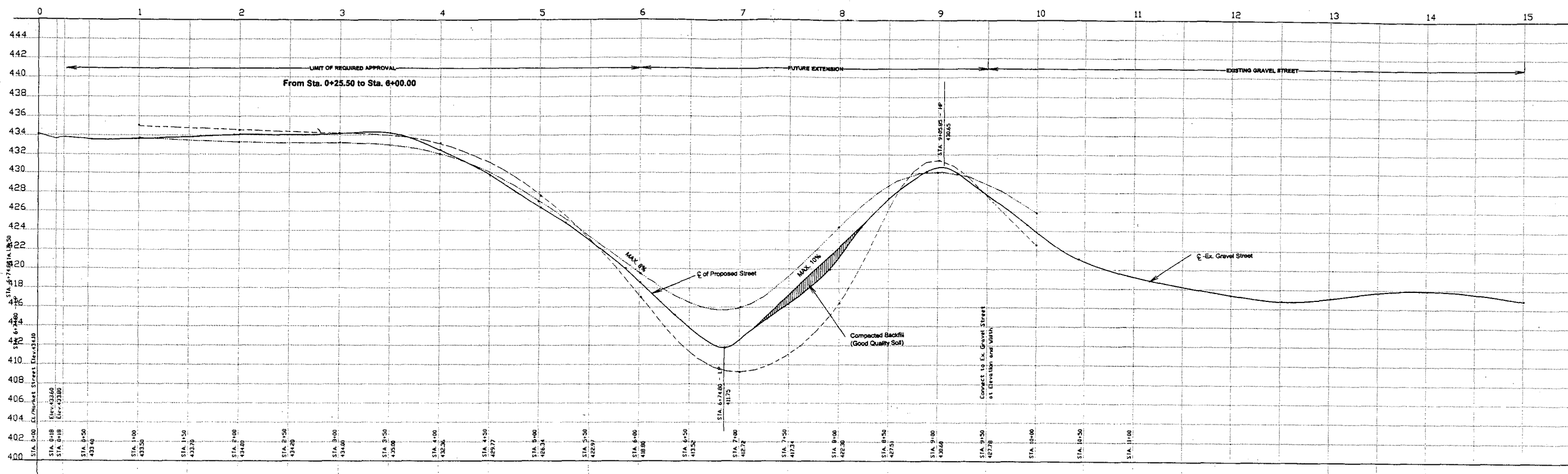


date: January 4, 2001  
 scale: 1" = 30'

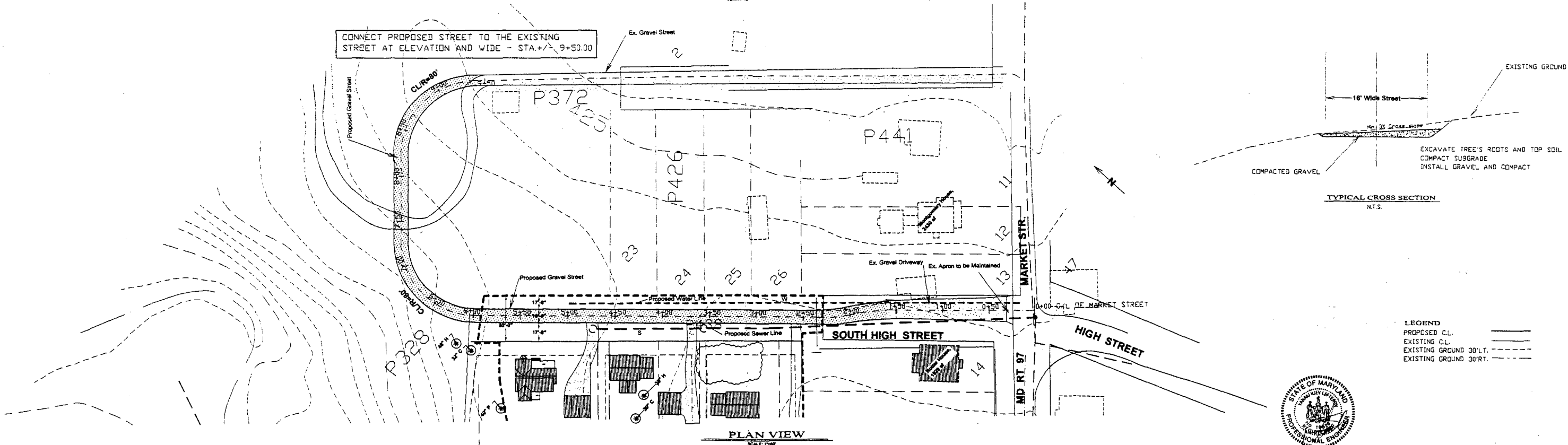
Bentley & Associates, Inc.  
 Land Planning Consultants  
 8913 Shady Grove Court  
 Gaithersburg, MD 20877  
 (301) 948-0240



LANDSCAPE / STREET LIGHTING PLAN  
**ROTTOR PROPERTY**  
 Town of Brookeville, Maryland



**STREET PROFILE**  
SCALE HOR. 1"=40'  
VERT. 1"=4'



**PLAN VIEW**  
SCALE 1"=40'



**L R ENGINEERING**  
CIVIL ENGINEERING    LAND PLANNING    STRUCTURAL  
10390 Hedgeapple Bend    New Market, MD 21774    (301) 798-0175

Designed	ET				
Drafted					
Checked	YL				
Proj. Eng.	YL				
OFFICE					
DATE	1/08/2002	NO.	REVISIONS	BY	DATE

**SOUTH HIGH STREET  
GRADE ESTABLISHMENT PLAN**

**ROTTER PROPERTY**  
Town of Brookeville, Maryland

SCALE AS SHOWN  
1 OF 1 SHEETS  
JOB NO. 2002-02

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	High Street (north of 301 Market Street)	Meeting Date:	1/23/02
Applicant:	Ruffin Maddox and Rory Coakley (Tom Taltavull, Agent)	Report Date:	1/16/02
Resource:	Brookeville Historic District	Public Notice:	1/9/01
Review:	<b>HAWP</b>	Tax Credit:	No
District Number:	23/65-02A	Staff:	Robin D. Ziek

**PROPOSAL:** Construct three new homes;; pave a portion of High Street; dedicate an alley; plant street trees; install street lighting.

**RECOMMEND:** Approval with Conditions:

1. Staff to work with applicant at the pre-construction meeting and throughout the project to approve removal of trees within the buildable area of the site.
2. Street lighting will not be installed along High Street (extended).
3. Street trees will not be installed along High Street (extended).
4. Front walks shall be installed for each residence, to be approved at a staff level.

The HPC has reviewed the subdivision proposal (June, 2001) and reviewed the proposed new architecture on the site in a Preliminary Consultation (November 2001). The comments have been favorable in general, and the applicant has responded to suggestions by the HPC.

The HPC and the Brookeville Planning Commission are holding a joint hearing in this application to simplify matters for the applicant. For this project, the HPC will consider the final site plan for the subdivision (with grading, drainage, street trees and lighting) and provide comments to the Brookeville Planning Commission, who will vote whether or not to approve the site plan. At the same time, the HPC will consider the HAWP application for the construction of three new houses along High Street (Extended), and will receive comments from the Brookeville Planning Commission in their capacity as the LAP for the Brookeville Historic District.

## PROJECT PROPOSAL

Site Plan: The applicants propose a subdivision of the 4-acre property associated with the Italianate Primary Resource at 301 Market Street. The current topography with all trees greater than 6" in diameter (DBH) is shown on Circle 8. The back three acres of property will be subdivided into three house lots. The proposed grading to accommodate the three new homes and their free-standing garages, is shown on Circle 10. Each house will have a gravel driveway. High Street will be graded and paved with gravel in a manner similar to North Street, and will be only 16' wide (with a 50' R.O.W). Street trees are proposed within the boundary of the 3-acre subdivision, with Red Maples (Acer Rubrum) proposed along the new road in front of lots 2, 3 and just before the apple orchard. No street trees are proposed in front of the apple orchard on lot 1. In addition, street lights 14'-2" high are proposed (see Circle 11-13; pole 10'-1" high with luminaire 4'-1" above that). The Town of Brookeville has supplied the specifications for the lighting to the applicant. Finally, the applicant will record a conservation area at the back of the lot, with restrictions concerning future building and tree disturbance. The goal is to retain the forest edge for the Town of Brookeville.

Within the buildable area of the subdivision, the applicant would like to have blanket approval to remove any trees for the construction of the homesites and the new street (see Circle 9). There are numerous trees within this area (see Tree Survey on Circle 8), nine of which are greater than 24" DBH:

1. #2 (32" Cherry) is within the ROW of High Street Extended, but not within the area proposed to be paved;
2. #3 (40" Poplar) is on the edge of Building 3.
3. #5 (30" Hickory) is at the back of lot 3 and may be retained if the grading permits.
4. #6 (38" Hickory) is on the edge of Building 2.
5. #7 (30" Cherry) is very close to Building 2.
6. #1 (25" Hickory) is at the back of Lot 2, and should not be affected by the grading.
7. #13 (35" Hickory) is within the area dedicated for the alley, but outside of the area to be paved for Building 1.
8. #14 (Maple greater than 24") is also within the area dedicated for the alley, but outside the area to be paved for the driveway on Lot 1.
9. #17 (28" Maple), is on the edge of the area proposed for alley dedication.

The site slopes from Market Street to the north. The applicant proposes to reinforce the existing topography with a swale on the NE side of the road, draining into the stream-valley buffer area owned by MNCPPC, at the north corner of the property.

Architecture Proposal: The applicant proposes three single-family homes with detached garages. Each structure has a different style (see Circle 14 ): Tide-Water (Lot 1), Georgian (Lot 2), and Victorian Vernacular (Lot 3), but there are similarities in massing, scale and materials. The buildings will be wood frame with clapboard siding. Two homes will have wood shake roofs and one home will have a standing-seam metal roof. Each home has a front door oriented to the street, although no front walks are indicated on the site plan. The houses on Lot 1 and 3 will have front porches, while the house on Lot 2 (a Georgian styled home), will have a front-facing porch at the secondary front entrance. Each home is designed with a free-standing garage. The garage on Lot 2 is a two-car size, while the garages on Lots 1 and 3 are one-car garages with attached shed roofs for additional space (see Circle 10, 14, 25- 27 ).

The size of the structures was discussed by the HPC at the Preliminary Consultation. The footprints are somewhat larger than staff had encouraged, but the HPC was comfortable that the massing would address that issue. In addition, given the length of development and lot street frontage, the HPC seemed to be comfortable that the proposal matched the site.

### STAFF DISCUSSION

The proposed development is compatible with the district in scale and character, and staff appreciates the time and effort which has been taken to coordinate the project development with this office. The building designs evolved in response to HPC comments, and the final proposal seems to fit the site (see Circle 14, 10 ). While the applicant has not shown any front walks from the street to the front doors, the applicant has indicated that they intend to provide front walks to each home. Staff notes that this is important in a small town where people walk over to visit.

Staff is concerned with the proposed blanket permission to remove trees in the construction site area without HPC consultation and specific approval. This development will result in a big change for this part of town, as the town will grow with the addition of a new street and homes. The forest in this area will be removed, but staff is concerned at the possibility of having a clear-cut area along the road. The applicant has stated that this is not their intention, and staff would encourage the retention of the maximum number of trees in the buildable area to retain some of the character and feel of the forest and avoid a sharp contrast between the buildable area and the conservation area.

Staff is also concerned at the proposal for street trees and for street lighting along High Street. Within the Town of Brookeville, there are street trees and lighting along Market Street and High Street. This seems appropriate along the main streets in town, where there are sidewalks and one expects to see pedestrians. None of the other subsidiary streets have lighting or street trees, and this proposal would be an anomaly. There is a hierarchy in town now, of more public areas and more private areas. These subsidiary streets have developed out of paper streets

and alleys. Each street serves only a few homes. In addition, North Street and High Street are envisioned as part of a walking loop within town. The walk would take people off of the paved Market Street, onto a gravel road, and onto a path through the woods. This progression supports the development hierarchy and chronology in town, and staff feels that street trees and street lighting is out of character in these alley-streets.

Each home will, no doubt, have lighting at their front doors. There may even be flood lights installed at the eaves of the homes and the garages. This will be a substantial amount of new lighting in the community. This may even be an argument in favor of street trees, to block the light and glare from the individual new homes on the existing homes in the general vicinity.

The issue, in this case, is the possibility of over-lighting the new street and the town in general. Staff recommends caution in expanding elements from the main streets down the small subsidiary streets and changing the overall quiet character of the town.

### **STAFF RECOMMENDATION**

Staff recommends, with the following conditions, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with *Secretary of the Interior's Standards for Rehabilitation #2*:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

### **CONDITIONS:**

2. Staff to work with applicant at the pre-construction meeting and throughout the project to approve removal at a staff level of trees within the buildable area of the site.
2. Street lighting will not be installed along High Street (extended).
3. Street trees will not be installed along High Street (extended).
4. Front walks shall be installed for each residence, to be approved at a staff level.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: THOMAS TALTAVULL
Daytime Phone No.: 301-840-1847

Tax Account No.: 731 871
Name of Property Owner: RORY S. COAKLEY & RUFFIN MADDOX Daytime Phone No.: 301-340-8700
Address: 20 COURTHOUSE SQ, SUITE 106 ROCKVILLE, MARYLAND 20850
Contractor: NOT YET SELECTED Phone No.:
Contractor Registration No.:
Agent for Owner: THOMAS J TALTAVULL, ARCHITECT Daytime Phone No.: 301-840-1847

LOCATION OF BUILDING/PREMISE

House Number: LOT 1, 2, 3 Street: HIGH STREET
Town/City: BROOKVILLE, Md. Nearest Cross Street: MARKET STREET
Lot: Block: Subdivision:
Liber: Folio: Parcel: 490

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
[X] Construct [ ] Extend [ ] Alter/Renovate [ ] A/C [ ] Slab [ ] Room Addition [ ] Porch [ ] Deck [ ] Shed
[ ] Move [ ] Install [ ] Wreck/Raze [ ] Solar [ ] Fireplace [ ] Woodburning Stove [X] Single Family
[ ] Revision [ ] Repair [ ] Revocable [ ] Fence/Wall (complete Section 4) [ ] Other:
1B. Construction cost estimate: \$ 600,000 (TOTAL FOR THREE RESIDENCES)
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [X] WSSC 02 [ ] Septic 03 [ ] Other:
2B. Type of water supply: 01 [X] WSSC 02 [ ] Well 03 [ ] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[ ] On party line/property line [ ] Entirely on land of owner [ ] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Thomas J. Taltavull Date: JAN 7, 2002

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_
Application/Permit No.: 3060830 Date Filed: 1/7/2002 Date Issued: \_\_\_\_\_

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING PARCEL ≈ 3 ACRES IS PART OPEN & WOODED  
UNDEVELOPED PROPERTY. TWO EXISTING HISTORIC  
HOUSES - FLANK HIGH STREET ENTRANCE - ROTTEL  
HOUSE & MONTGOMERY HOUSE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

NEW DEVELOPMENT WILL SUBDIVIDE PARCEL INTO 3 -  
ONE ACRE LOTS. EXISTING HIGH STREET WILL BE EXTENDED  
AS GRAVEL ROAD - NEW HOMES - PERIOD STYLE WILL  
BE LOCATED ON WEST SIDE WITH DETACHED GARAGES.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

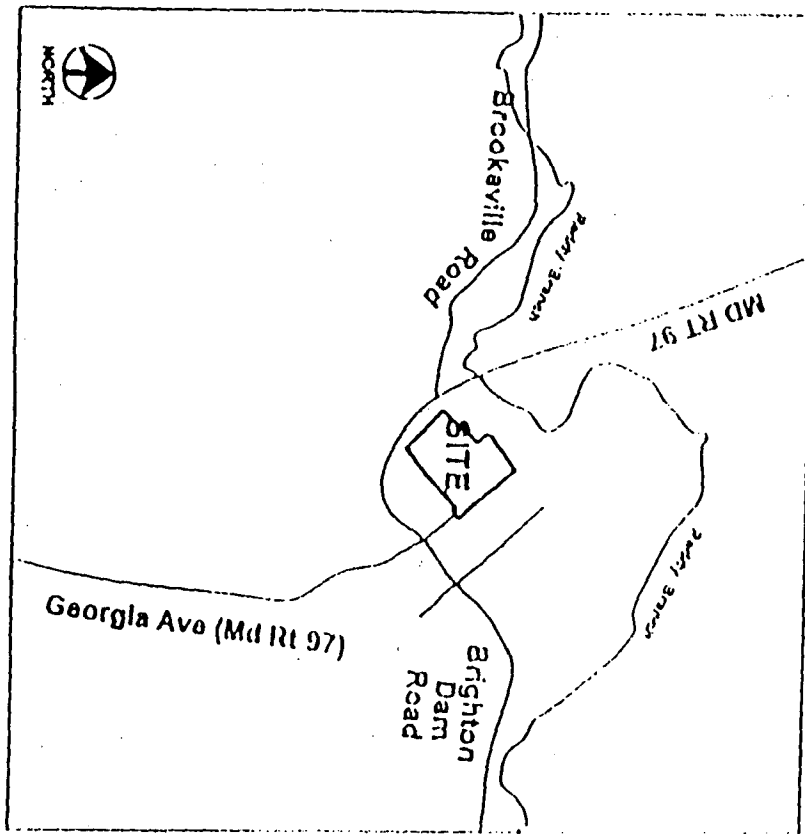
**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).





VICINITY MAP  
SCALE: 1" = 1,000'

# PRELIMINARY PLAN ROTTER PROPERTY

Town of Brookeville, Maryland

*(Handwritten initials)*

*(Handwritten number 17)*

# TREE SURVEY ROTTER PROPERTY

Town of Brookeville, Maryland



Benning & Associates, Inc.  
Land Planning Consultants  
8911 Shady Grove Court  
Gaithersburg, MD 20877  
(301) 918-0240

date: 1/04/02

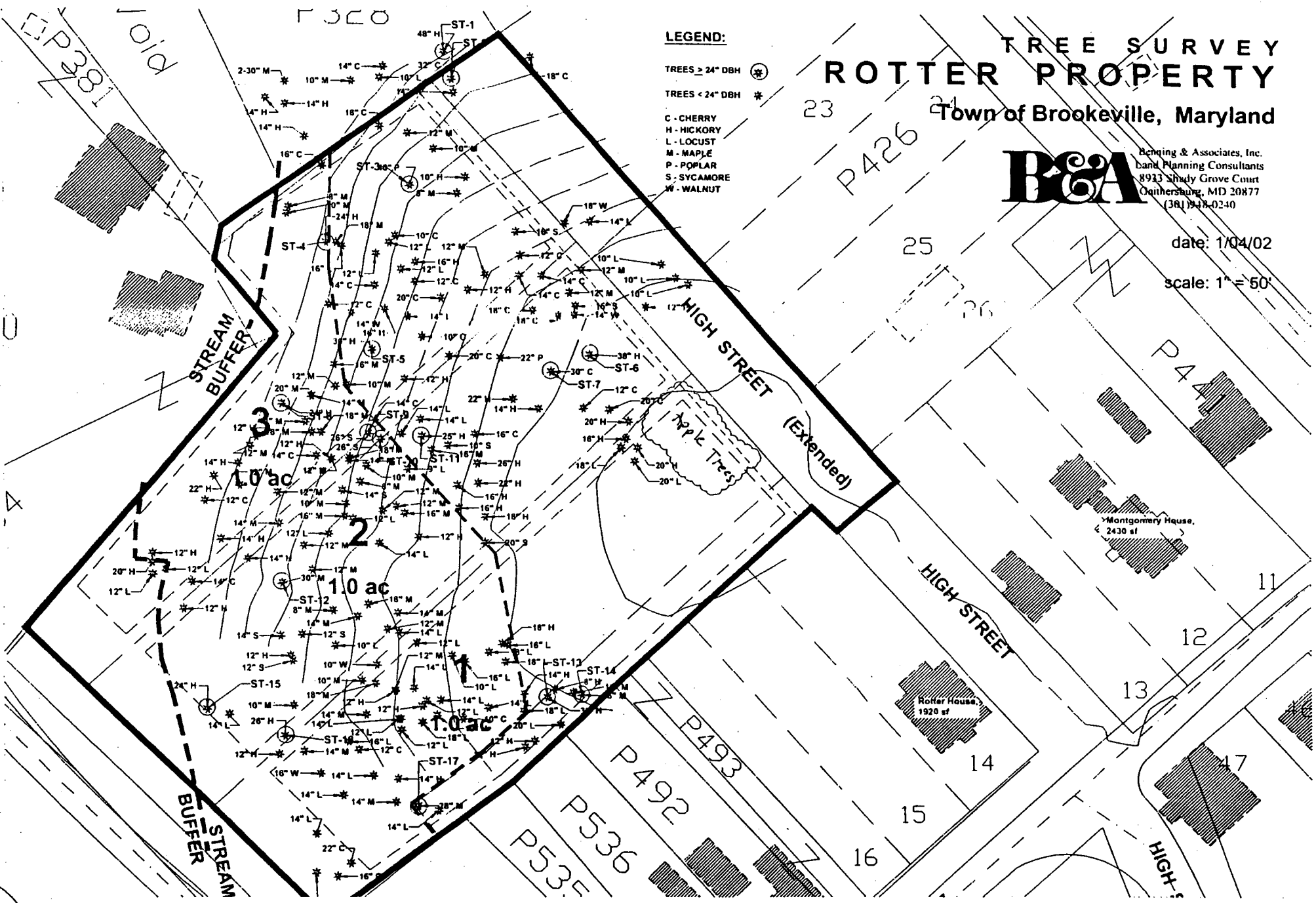
scale: 1" = 50'

### LEGEND:

TREES ≥ 24" DBH

TREES < 24" DBH

C - CHERRY  
H - HICKORY  
L - LOCUST  
M - MAPLE  
P - POPLAR  
S - SYCAMORE  
W - WALNUT



- New street to be open-section gravel roadway 16' in width +/-

**NOTE:**

All trees outside of conservation area are subject to removal for construction of homesites and new street. Individual trees to be retained on a case-by-case basis as permitted and determined at a pre-construction meeting.

432

7/27/02

9

# SITE PLAN ROTTER PROPERTY

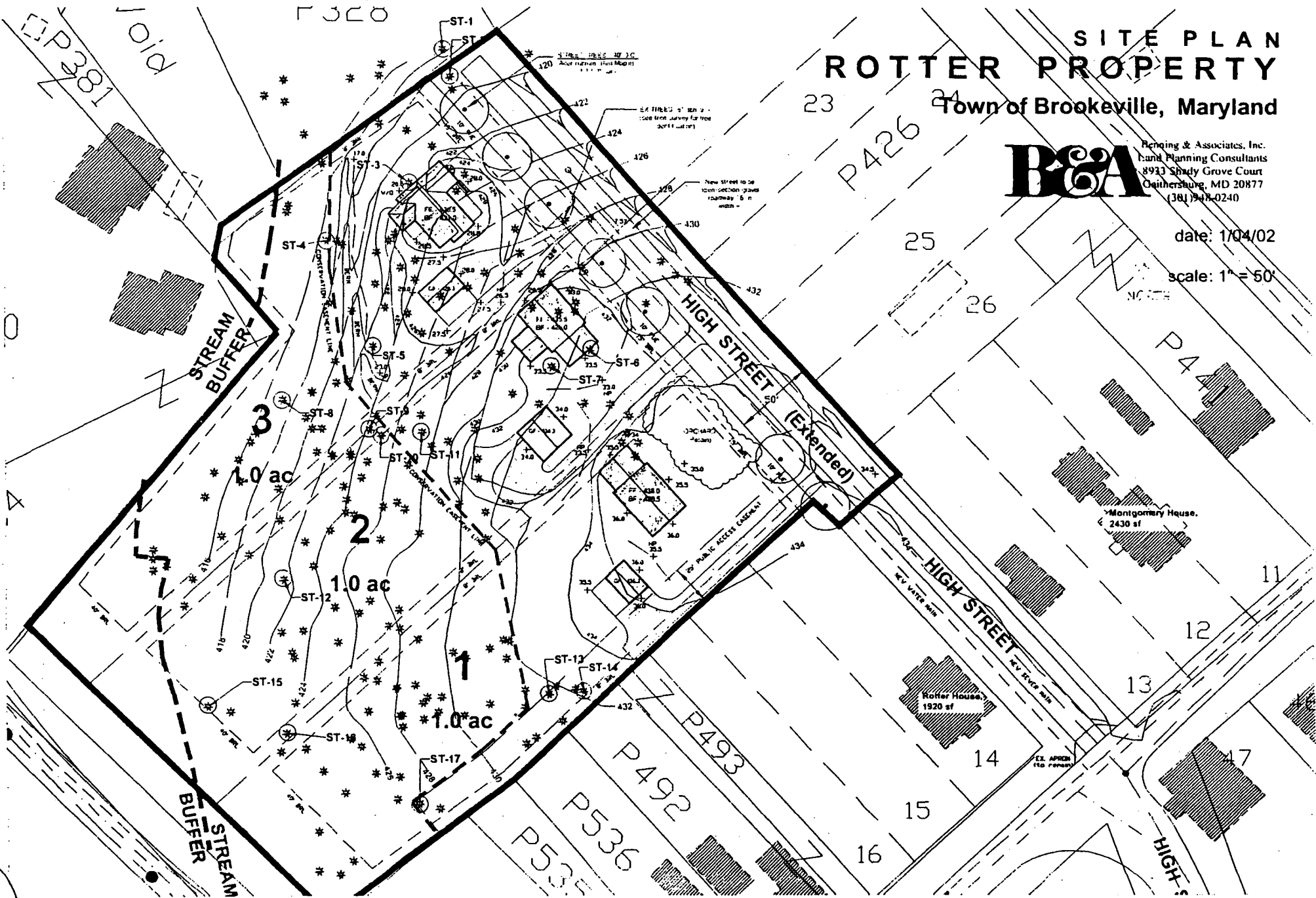
Town of Brookeville, Maryland



Benning & Associates, Inc.  
Land Planning Consultants  
8933 Shady Grove Court  
Gaithersburg, MD 20877  
(301) 948-0240

date: 1/04/02

scale: 1" = 50'



10

This drawing is property of Spring City Mfg. Co. and is loaned to the recipient with the understanding that it shall not be copied, replicated, passed on to unauthorized parties, nor used for any purpose other than that for which it is specifically intended except with Spring City's written permission.

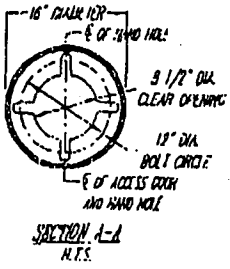
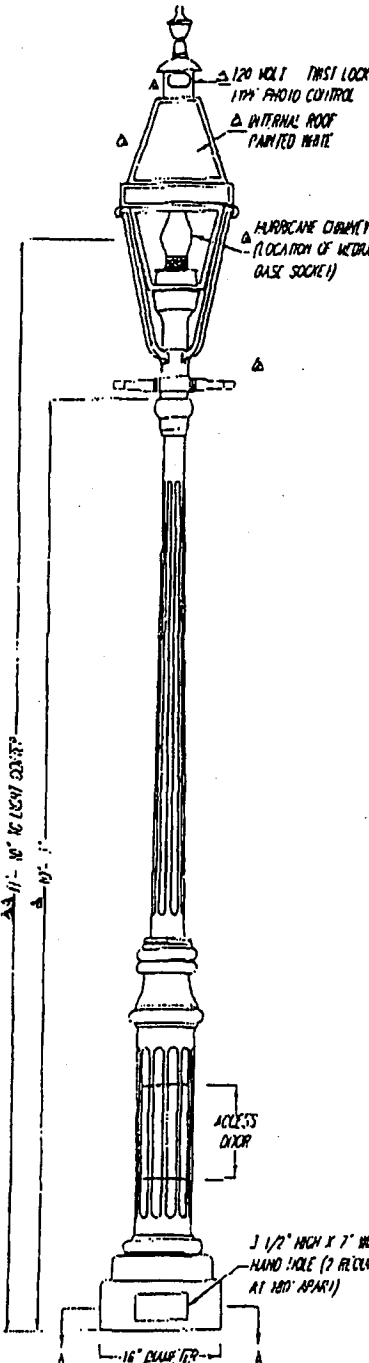
LUMINAIRE SPECIFICATIONS

- STYLE:  $\Delta$  JEFFERSON WITH LARGER REST
- HEIGHT: 49" 4'-1"
- WIDTH: 17"
- MATERIAL: CAST ALUMINUM
- FINISH: PRIME PAINT - SHERWIN WILLIAMS ACROBY CLASSIC BLACK
- PANELS:  $\Delta$  CLEAR POLYCARBONATE
- LAMPING:  $\Delta$  70 WATT HIGH PRESSURE SODIUM (LAMP BY OTHERS)
- VOLTAGE:  $\Delta$  120 VOLT
- $\Delta$  PHOTO CONTROL: 120 VOLT FIRST LOCK 17" MEDIUM BASE
- $\Delta$  SOCKET:

LAMP POST SPECIFICATIONS

- STYLE: HANCOCK 10' INTERNAL ANCHOR BOLT POST
- HEIGHT:  $\Delta$  10'-1" 10'-1"
- WIDTH CENTER:  $\Delta$  11'-10" 16" DIAMETER
- MATERIAL: ONE PIECE HEAVY WALL CAST IRON PER A.S.T.M. A 48-B1 CLASS 30
- FINISH: PRIME PAINT SHERWIN WILLIAMS 2 PART SECOATABLE EPOXY PRIMER (6075 - PART C AND 6075 - PART H)
- ACCESS DOOR:  $\Delta$  (LOCATED IN BASE SECURED WITH TAMPER PROOF KEY SOCKET SECURITY MACHINE SCREWS)
- GROUNDING PROVISIONS: DRILL AND TAP HOLE IMPROVISE ACCESS DOOR TO ACCOMMODATE A 1/4"-20 GROUND STUD (STUD BY OTHERS)
- ANCHOR BOLTS: (1) 3/4" X 24" X 3" RODS (FULLY GALVANIZED WITH 1 GALVANIZED NUT AND 1 GALVANIZED WASHER PER BOLT)
- BOLT PROJECTION: 3" REQUIRED
- ANCHOR: 7/8" DIA. X 5" HIGH

$\Delta$  QUANTITY..... 1 REQUIRED  
PER S.O. # 100185



$\Delta$ REVISED BY: M.M.R.	DATE: 12-12-80
$\Delta$ REVISED BY: J.F.	DATE: 11-11-80
$\Delta$ REVISED BY: B.H.	DATE: 9-28-85
$\Delta$ REVISED BY: P.S.	DATE: 11-1-92
$\Delta$ REVISED BY: M.B.S.	DATE: 2-9-88
$\Delta$ REVISED BY: J.J.	DATE: 12-12-86
$\Delta$ REVISED BY: R.H.	DATE: 5-16-86
$\Delta$ REVISED BY: M.U.S.	DATE: 11-21-85

<p>Spring City Electrical Mfg. Co.  <small>INCORPORATED 1911</small>  <small>1001 1/2 W. 10TH STREET - PO BOX 21 - BRYANville, PA 17003</small>  <small>PH: 717-334-5577</small></p>			
DESCRIPTION	10' HANCOCK 10'-1" (INT. A.B.) POST WITH THE JEFFERSON LUMINAIRE AND LARGER REST		
CUSTOMER	TOWN OF BRYANVILLE, BRYANVILLE		
SCALE	DRAWN BY:	DATE	DRAWING NO.
N.T.S.	M.B.S.	5-1-85	1P-13685

\* FULL SIZE 11" X 17" COPY FOLLOWS ON NEXT 2 PAGES

11

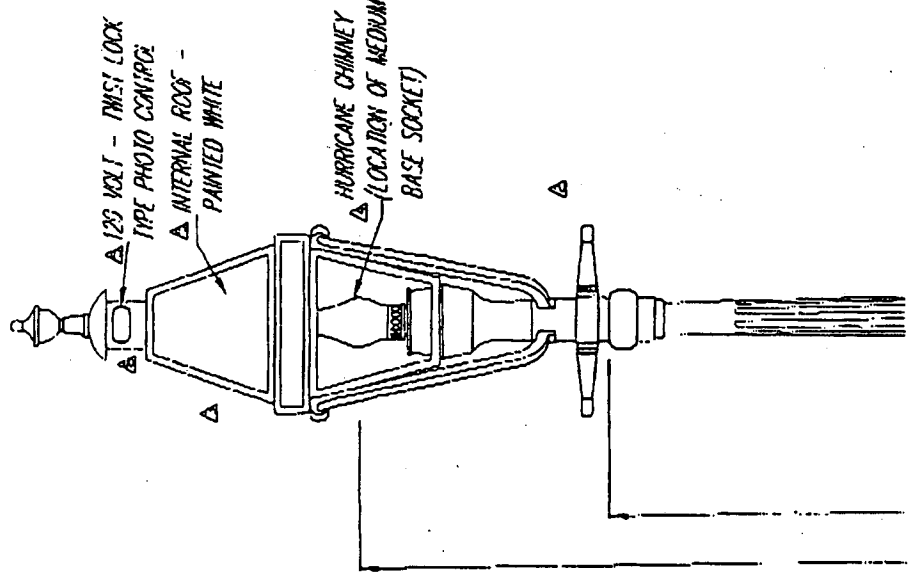
This drawing is property of Spring City Elec. Mfg. and is issued to the recipient with the understanding that it shall not be copied, duplicated, passed on to unauthorized parties, nor used for any purpose other than that for which it is specifically furnished except with Spring City's written permission.

LUMINAIRE SPECIFICATIONS

- STYLE:  $\Delta$  JEFFERSON WITH LADDER REST
- HEIGHT: 49"
- WIDTH: 17"
- MATERIAL: CAST ALUMINUM
- FINISH:  $\Delta$  FINISH PAINT - SHERWIN WILLIAMS ACRYLON - CLASSIC BLACK
- PANELS:  $\Delta$  CLEAR POLYCARBONATE
- LAMPING:  $\Delta$  70 WATT HIGH PRESSURE SODIUM (LAMP BY OTHERS)
- VOLTAGE:  $\Delta$  120 VOLT
- PHOTO CONTROL:  $\Delta$  120 VOLT INST LOCK TYPE
- SOCKET:  $\Delta$  MEDIUM BASE

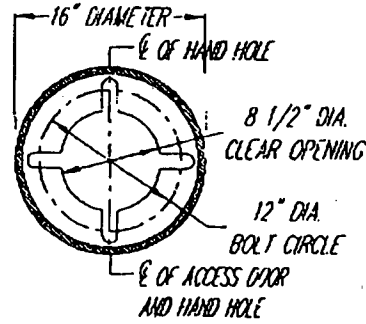
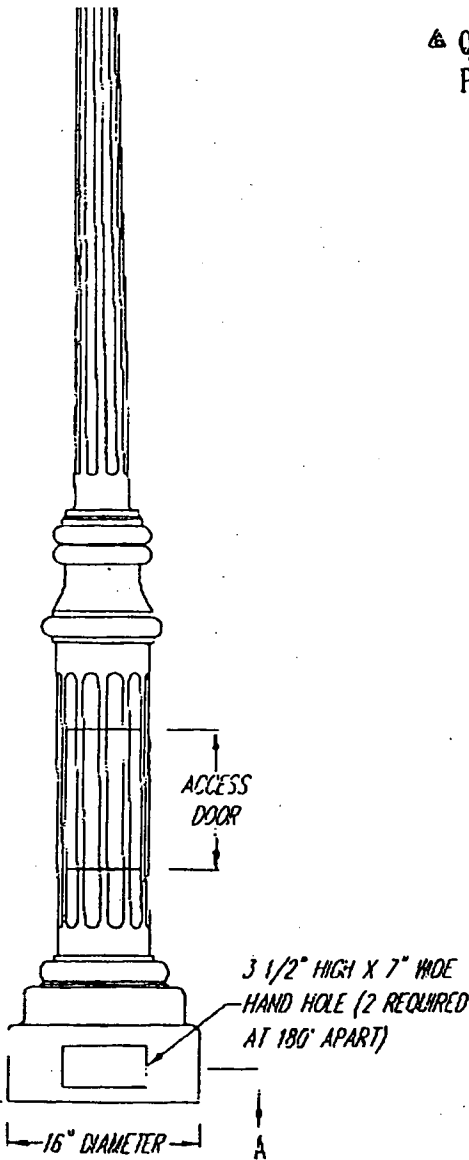
LAMP POST SPECIFICATIONS

- STYLE: HANCOCK 10' INTERNAL ANCHOR BOLT POST
- HEIGHT:  $\Delta$  10'-1"
- LIGHT CENTER:  $\Delta$  11'-10"
- BASE: 16" DIAMETER
- MATERIAL: ONE PIECE, HEAVY WALL CAST IRON PER A.S.T.M. A 48-83 CLASS 30
- FINISH:  $\Delta$  PRIME PAINT SHERWIN WILLIAMS 2 PART RECOATABLE EPOXY PRIMER (867HS - PART G AND 867HS - PART H)
- ACCESS DOOR:  $\Delta$  LOCATED IN BASE SECURED WITH TAMPER PROOF HEX SOCKET SECURITY MACHINE SCREWS
- GROUND STUD PROVISIONS:  $\Delta$  DRILL AND TAP WALL OPPOSITE ACCESS DOOR TO ACCOMMODATE A 1/4"-20 GROUND STUD (STUD BY OTHERS)
- ANCHOR BOLTS: (4) 3/4" X 24" + 3" HOOK (FULLY GALVANIZED WITH 1 GALVANIZED W/ASHER PER BOLT)
- BOLT PROTECTION: 3" REQUIRED
- VENTING: 2 7/8" DIAM. X 3" HIGH



△ QUANTITY.....1 REQUIRED  
 PER S.O.# 100385

AA 11'-10" TO LIGHT CENTER  
 △ 10'-1"



SECTION A-A  
 N.T.S.

△ REVISED BY: W.M.K.	DATE: 12-12-00
△ REVISED BY: J.F.	DATE: 11-10-99
△ REVISED BY: B.R.	DATE: 9-28-95
△ REVISED BY: P.S.	DATE: 11-4-92
△ REVISED BY: M.B.S.	DATE: 2-9-88
△ REVISED BY: J.J.	DATE: 12-12-86
△ REVISED BY: R.H.	DATE: 5-16-85
△ REVISED BY: M.B.S.	DATE: 11-21-85



Spring City Electrical Mfg. Co.

PHONE (610) 940-4070  
 MILL AND MAIN STREET - P.O. DRAWER 19 - SPRING CITY, PA 19415  
 SINCE 1873 FAX (610) 940-5577

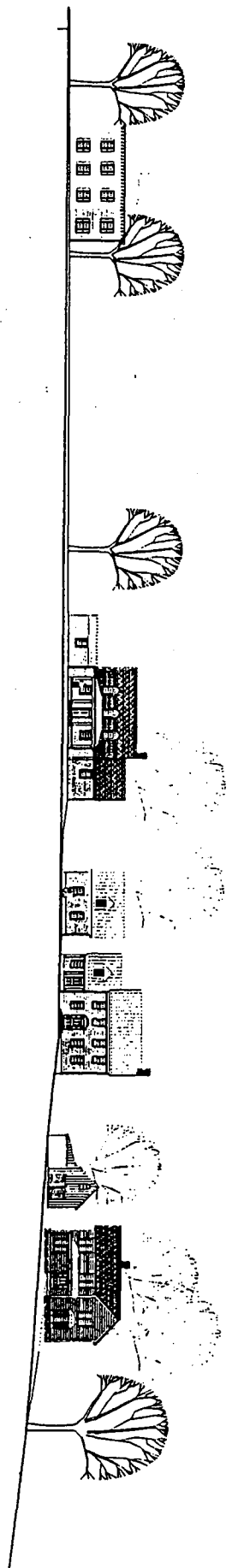
△ PROJECT HISTORY  
 11 REQUIRED FOR (S.O.) 10-10  
 1 REQUIRED FOR (S.O.) 10-10  
 1 REQUIRED FOR (S.O.) 10-10  
 1 REQUIRED FOR (S.O.) 10-10

DESCRIPTION	THE HANCOCK 10'-1" (INT. A.B.) POST WITH THE JEFFERSON LUMINAIRE AND LADDER REST		
CUSTOMER	TOWN OF BROOKVILLE		
JOB	BROCKVILLE		
SCALE	DRAWN BY:	DATE	DRAWING NO.
N.T.S.	M.B.S.	6-4-85	LP-13685

13

71

EAST ELEVATION



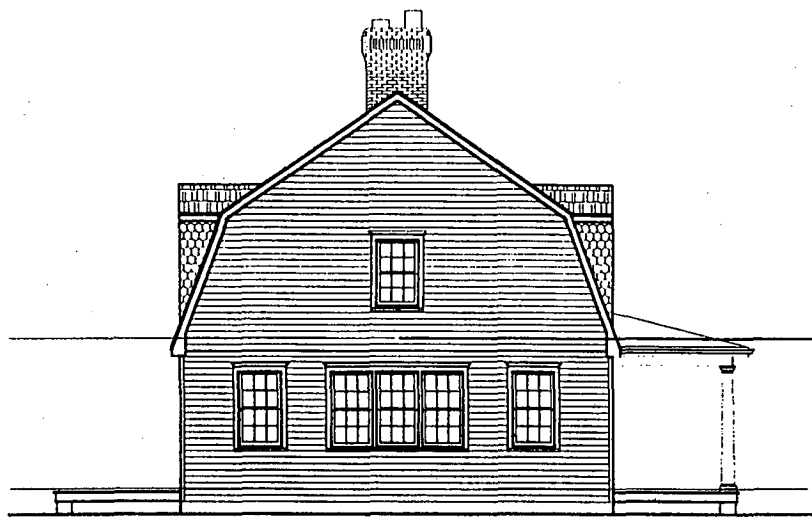
PROPOSED ELEVATIONS FOR  
 ROTTER PROPERTY  
 HIGH STREET  
 GAITHERSBURG, MARYLAND

ELEVATION

1.7.2002

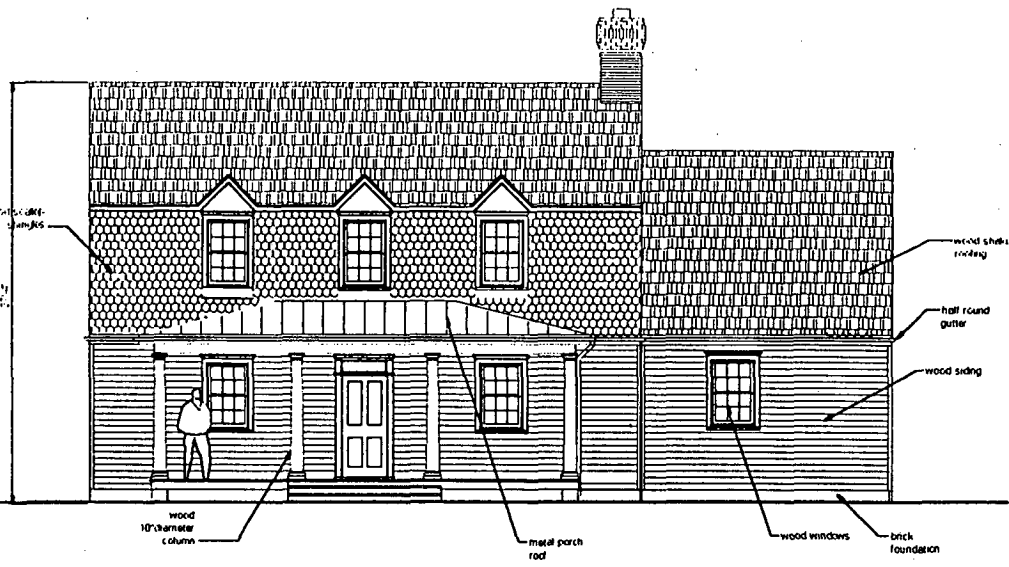
THOMAS J. TALTAVULL  
 ARCHITECT  
 20650 Plum Creek Court  
 Gaithersburg, Maryland 20882





SOUTH ELEVATION

1/4"=1'-0"



EAST ELEVATION

1/4"=1'-0"



THOMAS J. TAL TAVULL

ARCHITECT  
 20650  
 20650  
 GAITHERSBURG, MARYLAND 20878  
 301.840.1897

17.2002

ELEVATIONS

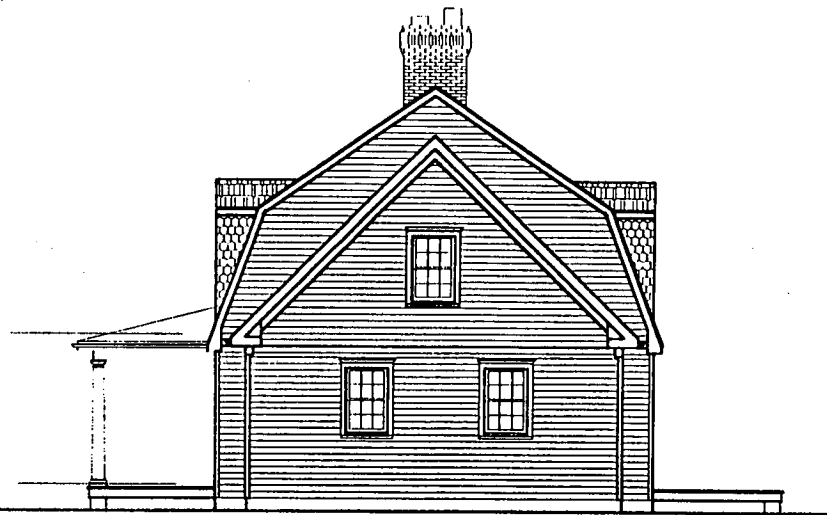
PROPOSED ELEVATIONS FOR LOT 1

ROTTER PROPERTY

3888 STATE  
 ROCKVILLE, MARYLAND



WEST ELEVATION  
1/4"=1'-0"



NORTH ELEVATION  
1/4"=1'-0"



THOMAS J. TAL TAVULL  
ARCHITECT  
2060  
Germantown, Maryland 20862  
301-840-1847

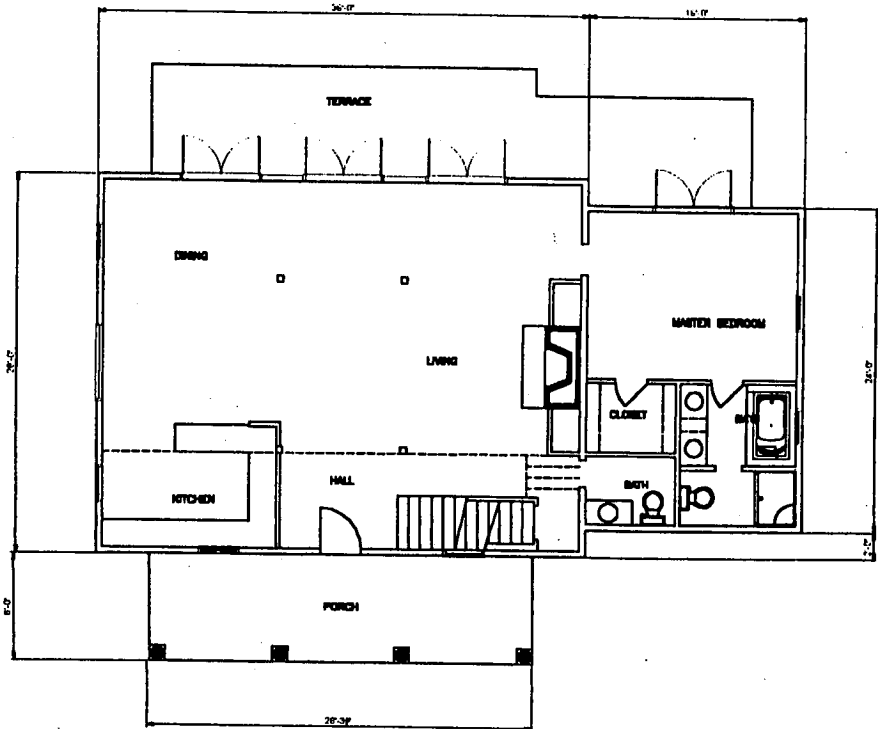
17.500

ELEVATIONS

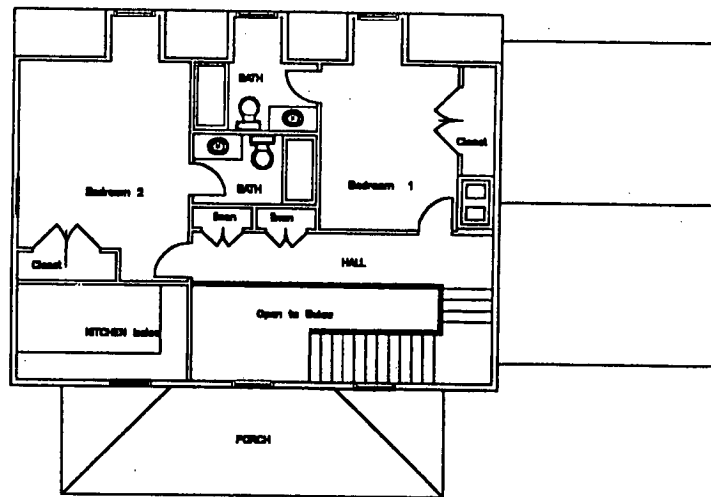
PROPOSED ELEVATIONS FOR LOT 1  
ROTTER PROPERTY  
1800 BERRY  
ROCKSVILLE, MARYLAND

1

19



FIRST FLOOR PLAN Lot 1,  
1/4"=1'-0"



SECOND FLOOR PLAN Lot 1,  
1/4"=1'-0"

17



THOMAS J. TALAVULL

ARCHITECT  
 2065  
 GATHERING PLACE  
 301 640 1847

17.2002

FLOOR PLAN

PROPOSED PLAN FOR  
 BOTTOR PROPERTY, LOT 1  
 2005 STREET  
 WOODSTOCK, VERMONT

1



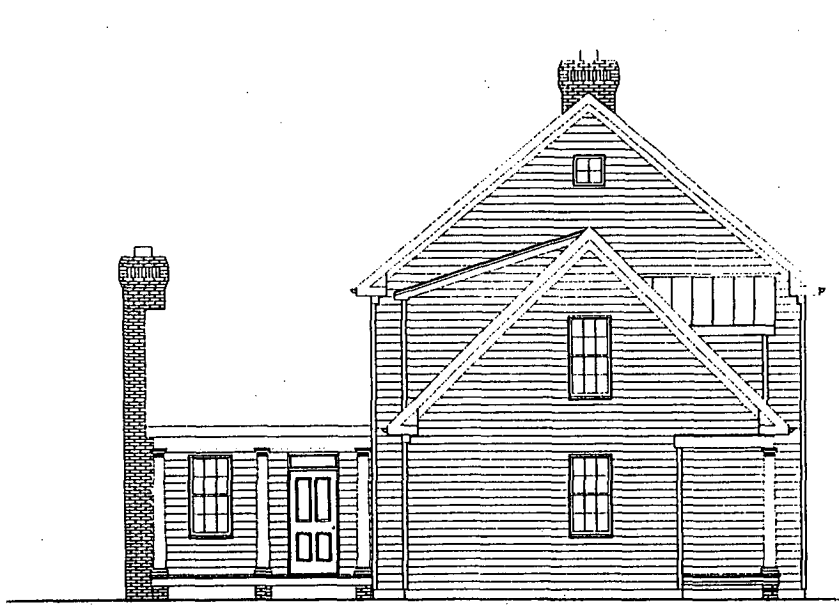
THOMAS J. TALTAVALLO  
 ARCHITECT  
 20550 Plum Creek Court  
 Gammarburg, Maryland 20622  
 307.840.1841

17.000'

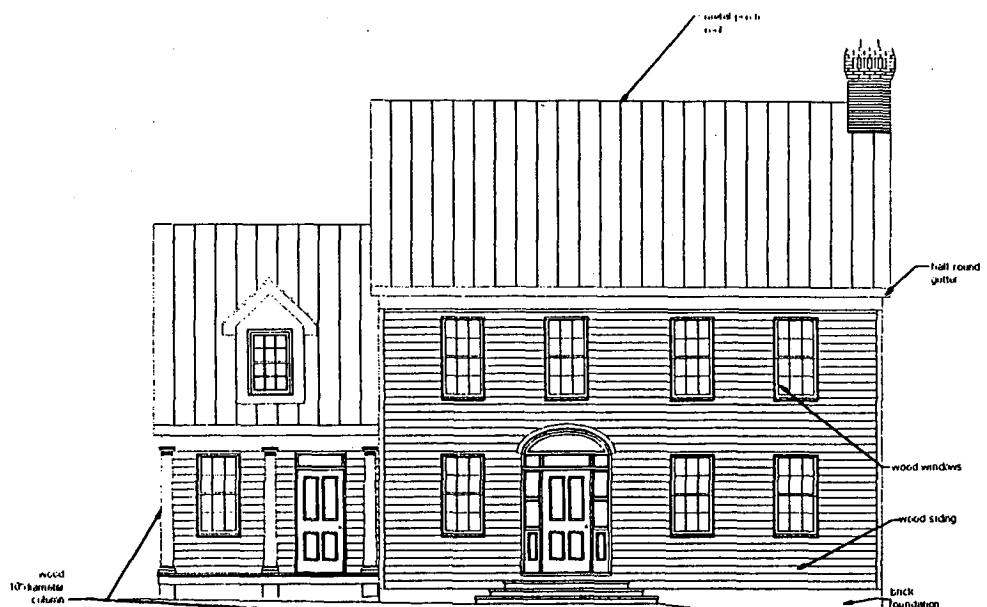
ELEVATIONS

PROPOSED ELEVATIONS FOR LOT 2  
 ROTTER PROPERTY  
 1838 EGRESS  
 BANGORVILLE, MARYLAND

2

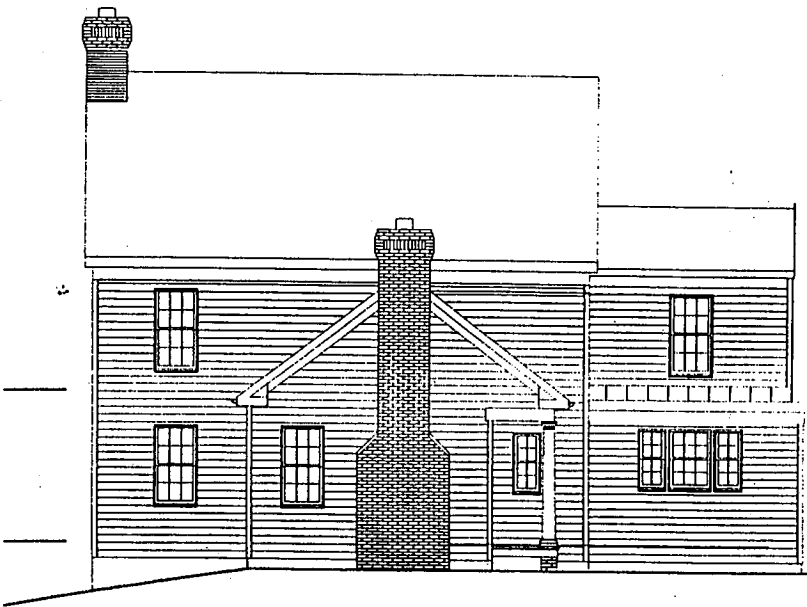


SOUTH ELEVATION  
 1/4"=1'-0"

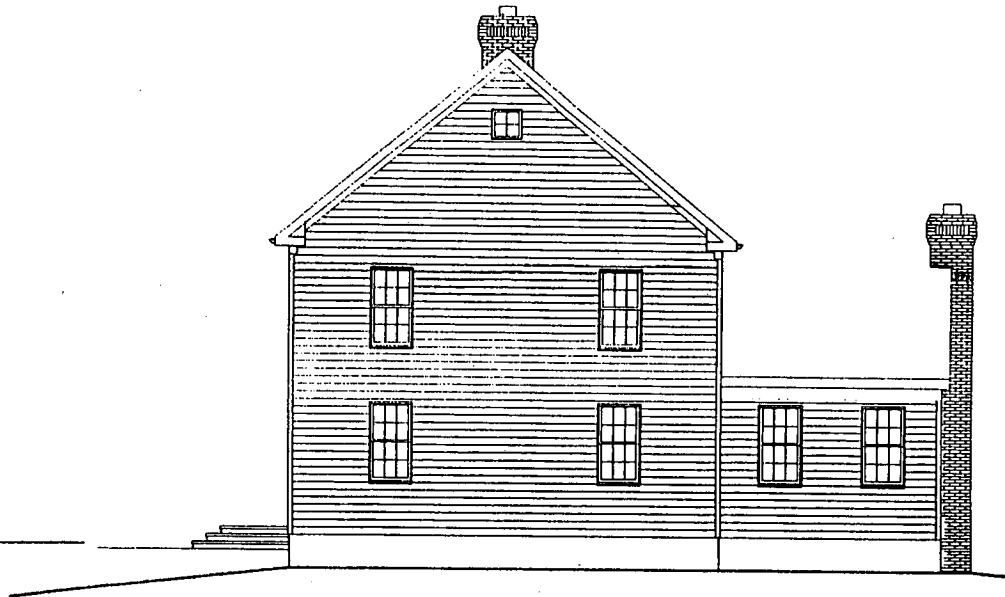


EAST ELEVATION  
 1/4"=1'-0"

816



WEST ELEVATION  
1/4"=1'-0"



NORTH ELEVATION  
1/4"=1'-0"

19



THOMAS J. TALTAULL

ARCHITECT  
20850 Plum Creek Court  
Gainesburg, Maryland 20882  
301 540 1847

17 2002

ELEVATIONS

PROPOSED ELEVATIONS FOR LOT 2  
BOTTER PROPERTY  
MOUNTAIN VIEW  
MOUNTAIN VIEW, MARYLAND

2



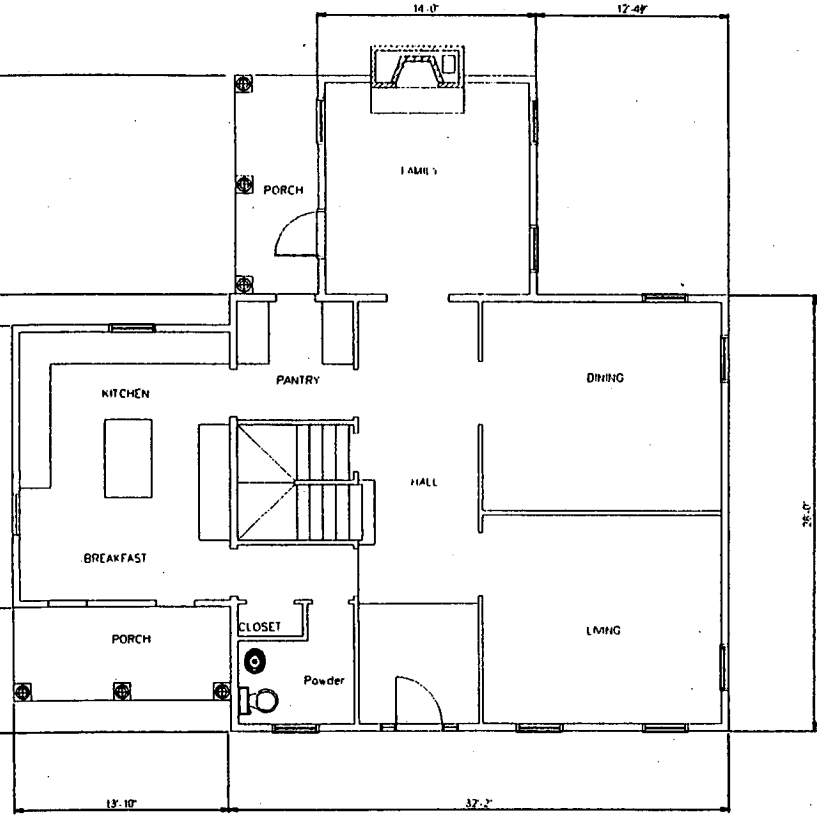
THOMAS J. TALTAVULL  
 ARCHITECT  
 P.O. Box  
 20650, P.O. Cent  
 Gaithersburg, Maryland 20882  
 301 840 1847

17 2002

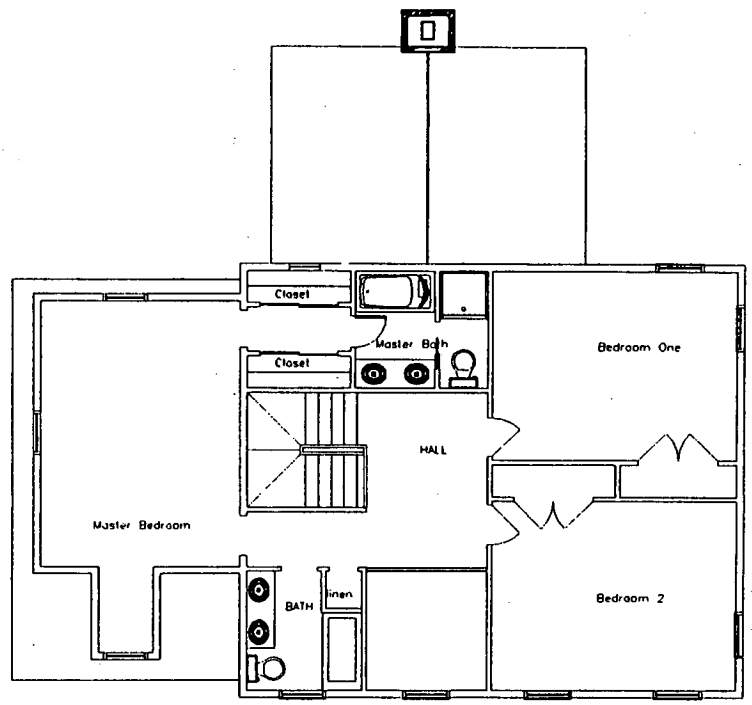
FLOOR PLAN

PROPOSED PLAN FOR  
 BOTTER PROPERTY, LOT 2  
 3800 GREENE  
 ROCKEVILLE, MARYLAND

2



FIRST FLOOR PLAN Lot 2,  
 1/4"=1'-0"



SECOND FLOOR PLAN Lot 2,  
 1/4"=1'-0"

20



THOMAS J. TALTVULL

ARCHITECT  
20650 Plum Creek Court  
Gatherburg, Maryland 21040  
301.547.1847

17 2002

ELEVATIONS

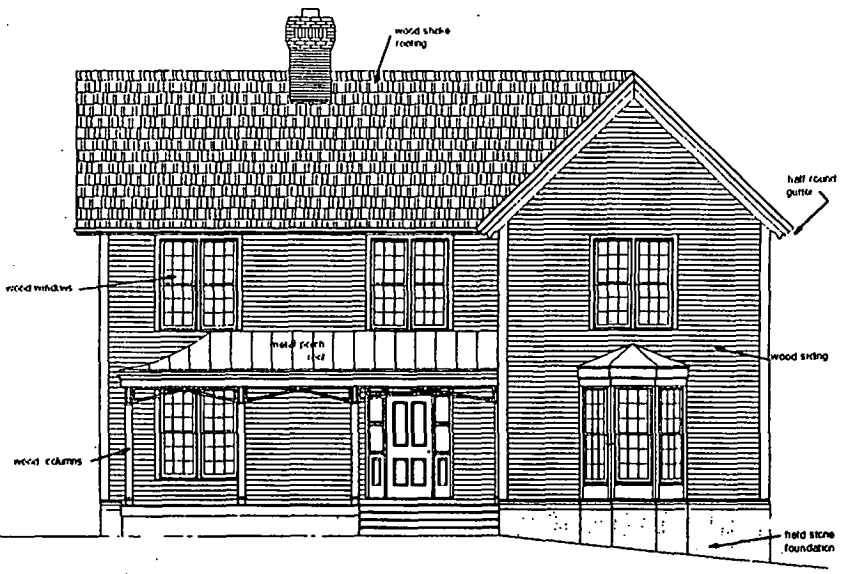
PROPOSED PLAN FOR  
BOTTER PROPERTY, LOT 3  
5200 EIGHTH STREET  
WINDSORVILLE, MARYLAND

3



SOUTH ELEVATION

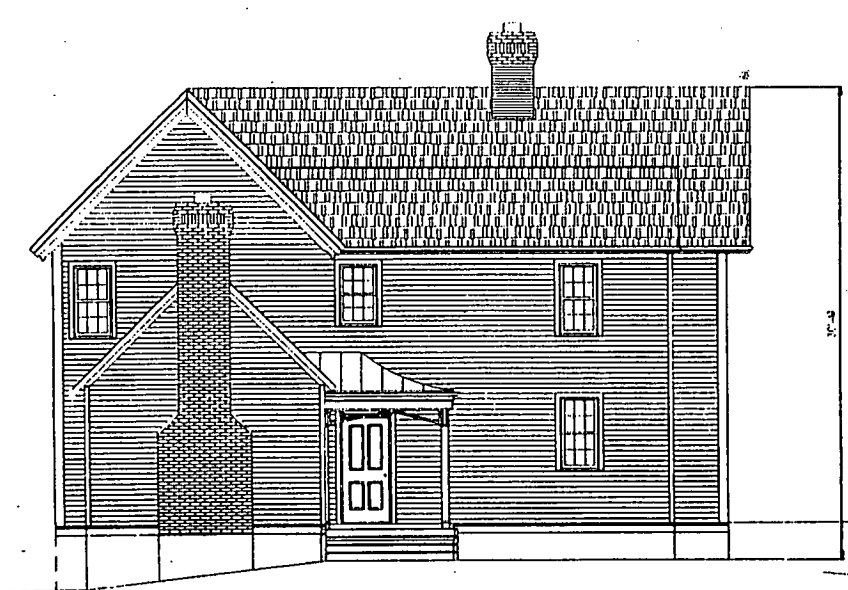
1/4"=1'-0"



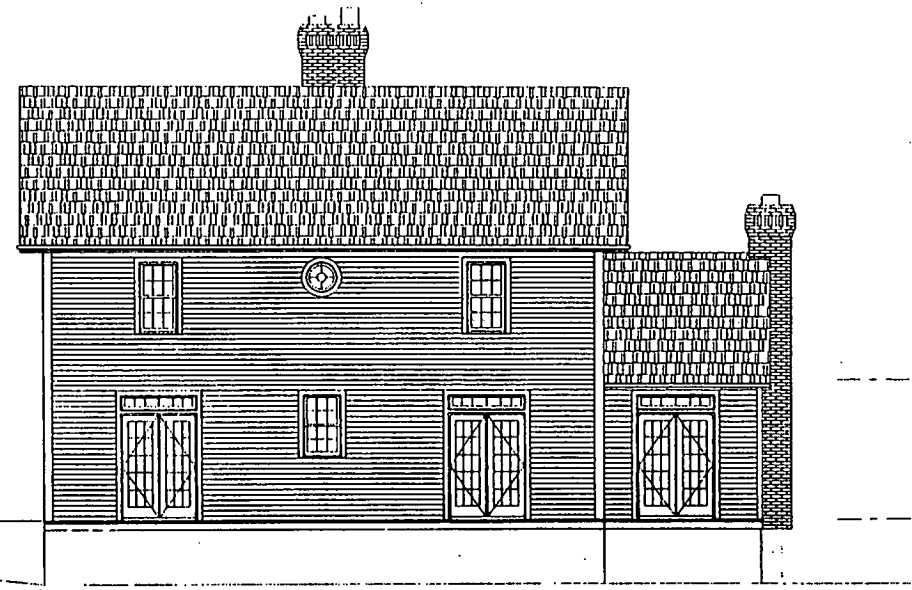
EAST ELEVATION

1/4"=1'-0"

21



WEST ELEVATION  
1/4"=1'-0"



NORTH ELEVATION  
1/4"=1'-0"

THOMAS J. TALTAVULL

ARCHITECT  
P.O. BOX  
20850 Plum Creek Court  
Gaithersburg, Maryland 20878  
301.840.1817

17.2002

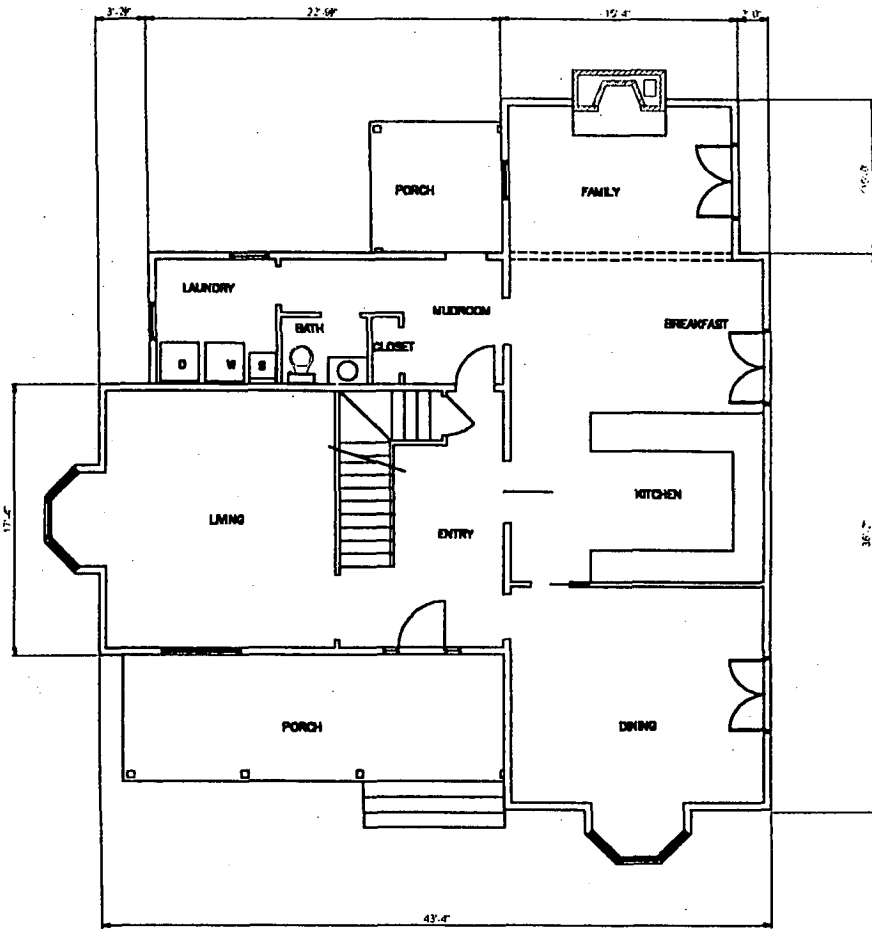
ELEVATIONS

PROPOSED PLAN FOR  
BOTTER PROPERTY, LOT 3  
3838 ECHOES  
BROOKFIELD, MARYLAND

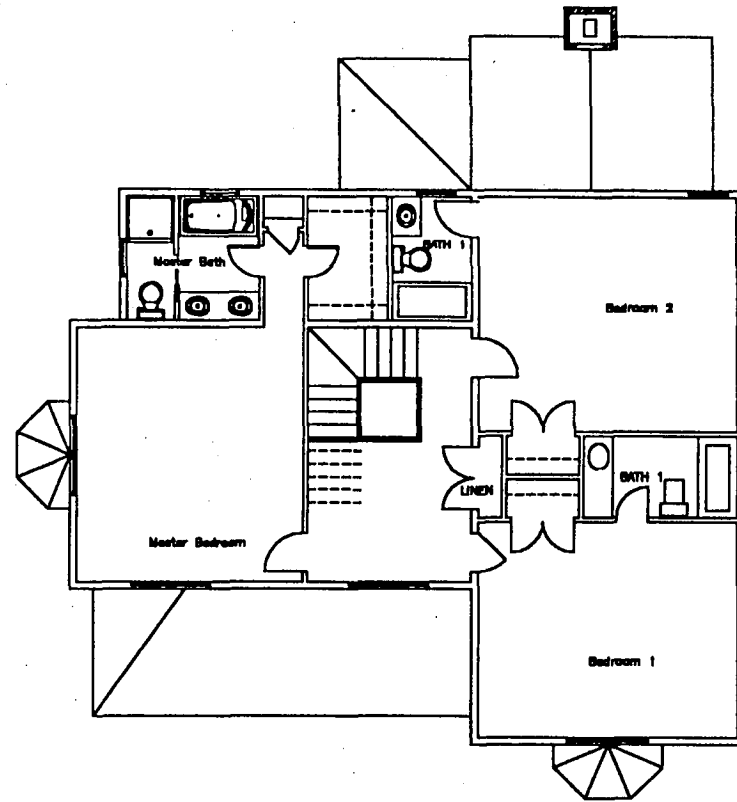
3

29





FIRST FLOOR PLAN Lot 3,  
1/4"=1'-0"



SECOND FLOOR PLAN Lot 3,  
1/4"=1'-0"

23



THOMAS J. TALTVULL  
ARCHITECT  
20650 Plum Creek Court  
Germantown, Maryland 20882  
301.840.1847

17.3M2

FLOOR PLAN

PROPOSED PLAN FOR  
ROTTER PROPERTY, LOT 3  
3300 WINDY HILL ROAD  
BROOKVILLE, MARYLAND

3

**THOMAS J. TALTAVULL****ARCHITECT**

20650 Plum Creek Court  
Gaithersburg, Maryland 20882  
301.840.1847

**Facsimile Transmission**

---

**To:** Robin Ziek  
M-NCPPC  
Montgomery County \  
Department of Park and Planning  
Silver Spring, Maryl

**Date:** January 16, 2002

**Fax Number:** 301. 563.3412

**Number of Pages Including Cover Sheet:** 4

**Attention:** Robin

**Project:** Rotter Property

---

**Remarks:**

Dear Robin,

Attached are the Garage plans and Elevations for the subject property for review at the upcoming January 23, 2002 Historic Preservation Commission Meeting. Please note that on the plans I have included the building areas for the houses, porches and garages. Thank you for your help.

Please call if you have questions or comments.

Sincerely,

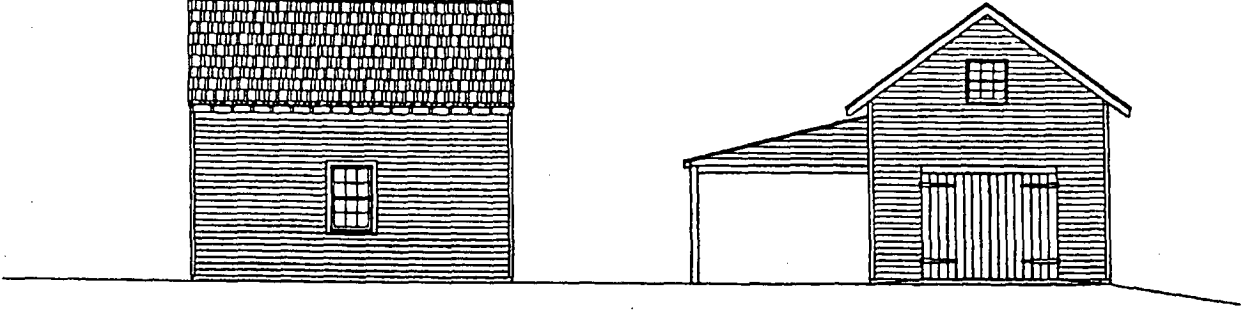
Tom

Copy to: file

Signed: Thomas J. Taltavull, Architect

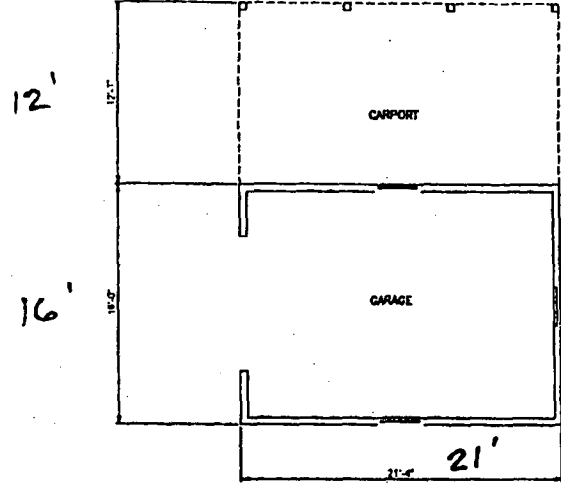
---

24



Garage East Elevation Lot 1,  
1/4"=1'-0"

Garage South Elevation Lot 1,  
1/4"=1'-0"



Garage Floor Plan Lot 1,  
1/4"=1'-0"

LOT ONE  
HOUSE FOOTPRINT = 1392 SF  
FRONT PORCH = 225 SF  
GARAGE (ENCLOSE AREA) = 342 SF  
(COVERED AREA) = 258 SF

58

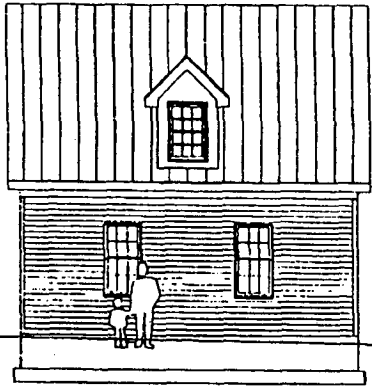
THOMAS J. TALTAVULL  
ARCHITECT  
70650 Plum Creek Court  
Goddardsville, Maryland 20882  
301 977 8767

17 2007

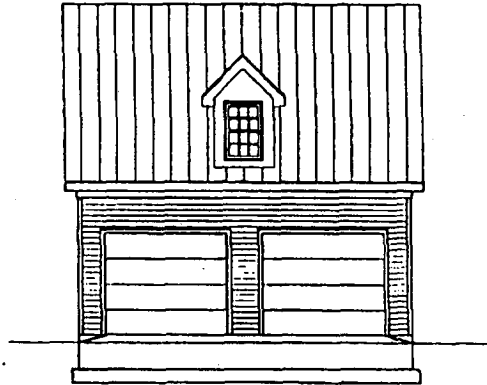
FLOOR PLAN

PROPOSED PLAN FOR  
ROTTER PROPERTY, LOT 1  
1838 STREET  
GODDARDSVILLE, MARYLAND

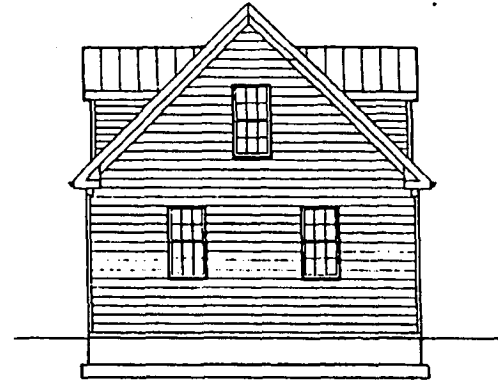
1



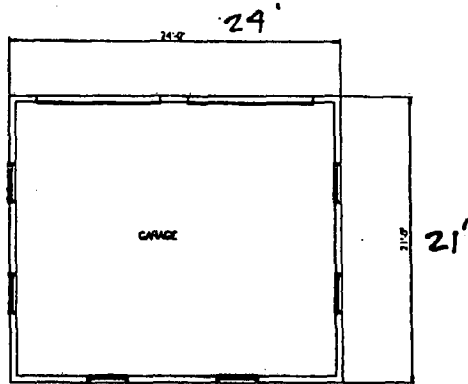
EAST ELEVATION  
1/4"=1'-0"



WEST ELEVATION  
1/4"=1'-0"



SOUTH ELEVATION  
1/4"=1'-0"



GARAGE PLAN  
1/4"=1'-0"

LOT TWO

HOUSE FOOTPRINT = 1344 SF  
 FRONT PORCH = 84 SF  
 BACK PORCH = 74 SF  
 GARAGE = 504 SF

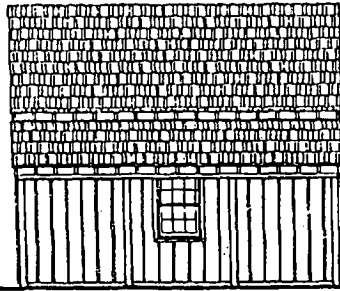
THOMAS J. TALTAVULL  
 ARCHITECT  
 2865 Old  
 Germantown, Maryland, 20878  
 301 840 1147

11 2002

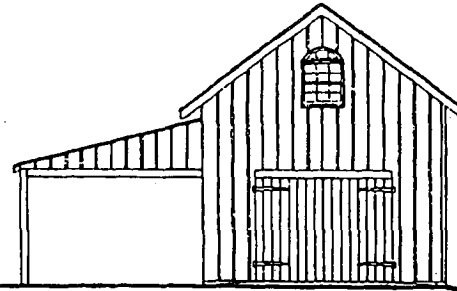
ELEVATIONS

PROPOSED ELEVATIONS FOR LOT 2  
 ROTTER PROPERTY  
 HEDGE STREET  
 BROOKLYN, MARYLAND

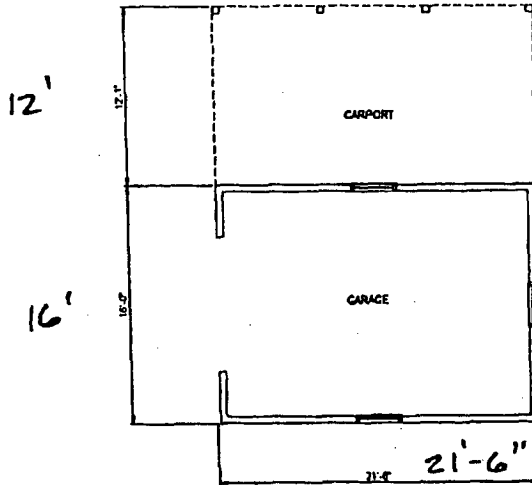
26



Garage South Elevation Lot 3  
1/4"=1'-0"



Garage East Elevation Lot 3  
1/4"=1'-0"



Garage Floor Plan Lot 3  
1/4"=1'-0"

LOT THREE

HOUSE FOOTPRINT	=	1420 SF
FRONT PORCH	=	202 SF
BACK PORCH	=	72 SF
GARAGE (ENCLOSED)	=	342 SF
(COVERED)	=	258 SF



THOMAS J. TALTAVULL  
ARCHITECT  
2655 Plum Creek Court  
Gaithersburg, Maryland 20878  
201.402.1341

11 X 8

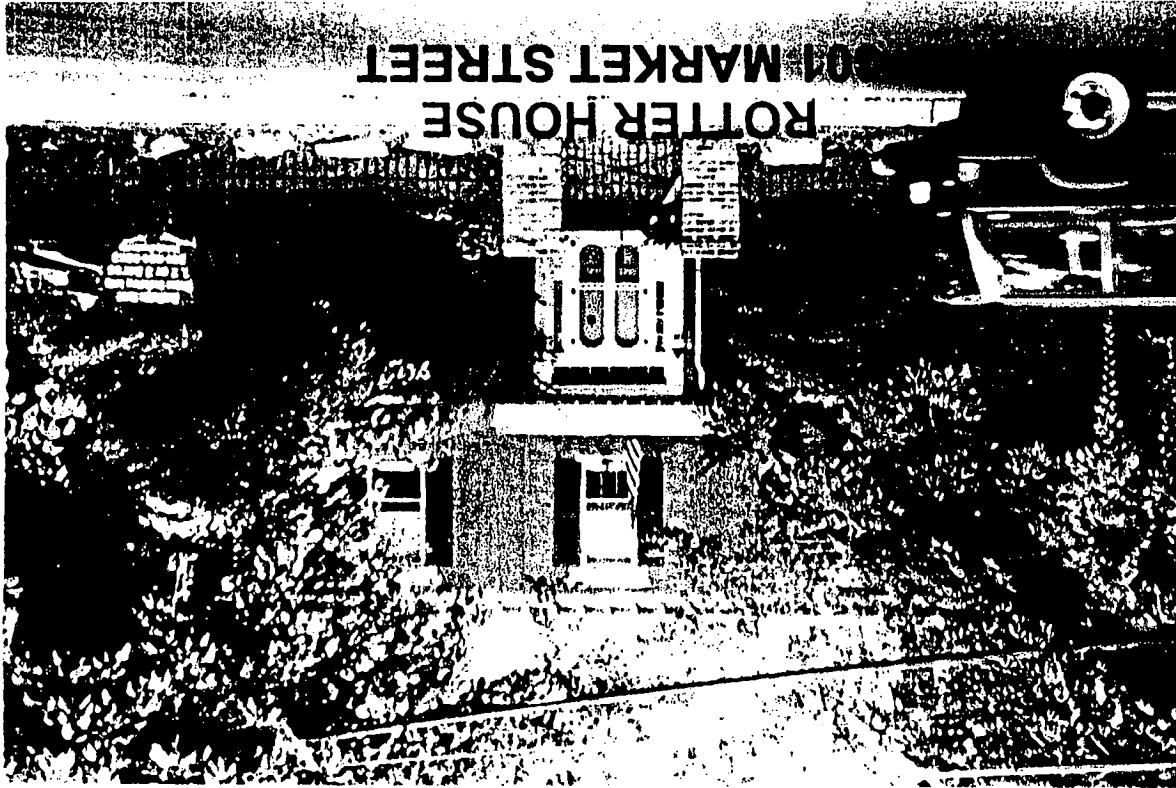
ELEVATIONS

PROPOSED PLAN FOR  
ROTTER PROPERTY, LOT 3  
8282 STREET  
INDOORVILLE, MARYLAND

3

46

(182)





**MONTGOMERY HOUSE  
211 MARKET STREET**

68

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address: 7063 Carroll Avenue Meeting Date: 2/27/02  
 Applicant: Bruno Mukendi Report Date: 2/20/02  
 Resource: Takoma Park Historic District Public Notice: 2/13/02  
 Review: **HAWP** Tax Credit:  
 Project Number: 37/3-01KK REV Staff: Robin D. Ziek

**PROPOSAL:** Replace doors; extend paving by 10', install ceramic tile floor on front porch, install recessed lights on porch.

**RECOMMEND:** Approval with Conditions:

1. The front door will not be replaced, but will be repaired.
2. The rear door will not be replaced, but will be repaired.
3. The right side door may be replaced, if so required by DPS, but the new door shall match the existing door in style and material. A solid door, without glazing, is permissible.
4. The front porch will be repaired in kind, and ceramic tile will not be installed.
5. The applicant will work with staff on the recessed porch lighting. The use of lights on the wall by the front door would also be permissible.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource in the Takoma Park Historic District  
**STYLE:** Craftsman  
**DATE:** c1910

The applicant was approved for a HAWP on October 24, 2001. This 2-1/2 story frame house is sided with stucco. The property is zoned commercial and has several apartments now. The applicant has talked about making this a B&B. The previous HAWP addressed parking and accessibility needs. The applicant had thought that the front door needed to be fire-rated, but has subsequently learned that it doesn't need to be fire-rated (see Circle ).

**PROPOSAL**

The applicant proposes to replace the front door (see Circle 5-7 ), the existing right side door (see Circle 8 ), and the rear door (see Circle 9 ). In addition, he



would like to increase the **parking area** by no more than 10' at the rear (see Circle 10 ). In addition, he notes that the **front porch floor** is wood, and is in need of repair. He proposes to replace the wood floor with ceramic tile. Finally, the applicant proposes to install recessed **lighting** on the front porch. The applicant has been told that the side door has to be fire-rated, as it is part of the stairway/egress system. The back door doesn't have to be fire-rated, although the applicant is concerned that the width comply with ADA, as the handicapped ramp leads to this rear door.

### STAFF DISCUSSION

The applicant should replace original fabric only when the materials are beyond repair, or when required under local health/safety codes.

### DOORS:

Staff notes that the existing **front door** is a typical Craftsman-style door. Most notable is the use of a tall row of vertical panels beneath the glazed portion. This door should be repaired rather than replaced. The design of the proposed new front door is incompatible with the site.

Both the existing **right side door** and the **rear door** are also typical early 20<sup>th</sup> century paneled door, with horizontal panels and ½-lights. The applicant proposes a 6-paneled door more typical of Colonial Revival for the side door replacement, and a 4-paneled door with a faux fanlight (see Circle 5, 9 ). Neither style of replacement door is compatible with the Craftsman style of the house.

The **rear door** does not have to be fire-rated, and this door should be repaired rather than replaced. The ADA width is 32" and this door opening provides 34" clear (information from the applicant).

The **right side door** is included in a fire egress sequence, and apparently doesn't meet the code requirements. As the code varies depending on the number of occupants of the building, the layout, the construction, and the presence or absence of sprinklers, staff does not feel qualified to comment on this request with regard to code requirements. In terms of historic preservation, staff notes that this existing door is the same type of door as the rear door, and *should be retained if this will meet the building code requirements*. If the swing on this door simply needs to be reversed, the door should be repaired and re-hung. If the door needs to be fire-rated, the new door should match the style of the existing door.

### PORCH:

Deterioration of **wood floors** on front porches is a maintenance requirement for anyone with such a porch. Typical maintenance repairs are best done on a yearly cycle. If the porch is deteriorated, the porch and the flooring should be repaired in kind. Tax credits from the local, state and, in this case, federal levels are all available to the applicant to assist with these normal

maintenance costs. The proposed use of ceramic tile would be inconsistent with the resource, and incompatible with the historic district, and should not be pursued.

The proposed use of recessed lighting in the ceiling of the porch is acceptable in theory. The applicant should provide more information to the commission as to the location and number of lights. More typical would be lights attached to the wall at the door, to light the entrance. The applicant might wish to consider this.

### STAFF RECOMMENDATION

Staff recommends, with the following Conditions, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

#### CONDITIONS:

1. The front door will not be replaced, but will be repaired.
2. The rear door will not be replaced, but will be repaired.
3. The right side door may be replaced, if so required by DPS, but the new door shall match the existing door in style and material. A solid door, without glazing, is permissible.
4. The front porch will be repaired in kind, and ceramic tile will not be installed.
5. The applicant will work with staff on the recessed porch lighting. The use of lights on the wall by the front door would also be permissible.

and subject to the general condition that **the applicant shall present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 set for HPC files)** and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

Bruno Mukendi  
7063 Carroll Avenue  
Takoma Park, MD 20912

February 11, 2002

Mrs. Robin D. Ziek  
Historic Preservation Planner  
MCDPP- Historic Preservation Section  
Silver Spring, MD 20910

Dear Mrs. Ziek:

This is in reference to the on-going renovation work at 7063 Carroll Avenue, Takoma Park. I would like to request the authorization to carry out the following work.

1. Replace the existing front door  
The existing front door needs to be replaced by a fire-rated door. Both the existing and the proposed doors are shown in Exhibit 1.
2. Replace the existing right side door  
The right side exterior door has to be replaced by a fire-rated door. Exhibit 2 shows the existing and the proposed doors.
3. Replace the rear door.  
I want to replace the existing rear door which is too old by a new door. The existing and the proposed doors are shown in Exhibit 3.
4. Paving  
Due to the size of the ramp and in order to allow more traffic flexibility in the rear parking, I need to extend the paving to up to 10 feet. I still have a lot of space. (See Exhibit 4).
5. Front Porch  
The existing porch is made in wood and most of it has been damaged. I want to replace the wood by ceramic tile. I also want to put recess lights in the porch.

Please do not hesitate to contact me should you have any questions. My telephone number is (301) 270-8232.

Sincerely,

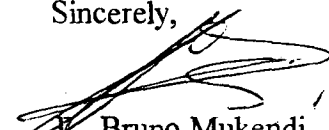
  
B. Bruno Mukendi  
Owner

EXHIBIT 1

ENTRY DOORS

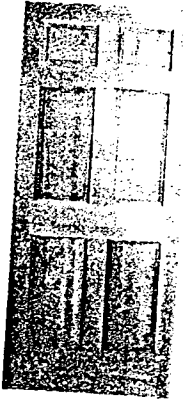
MILLWORK



Orepac Millwork

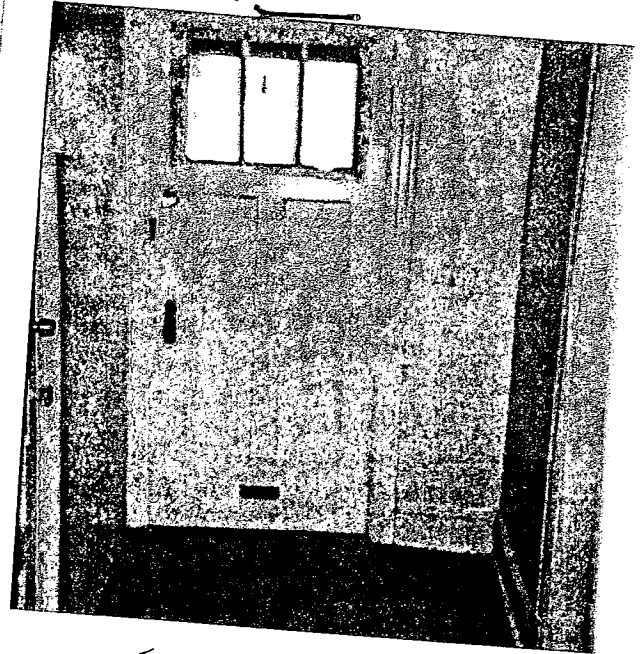
Orepac Millwork

EXISTING



X Proposed

6-Panel Exterior Fir Door Slab



FRONT DOOR  
EXISTING

Bruno Mukendi  
7063 Carroll Avenue  
Takoma Park, MD 20912

February 19, 2002

Mrs. Robin D. Ziek  
Historic Preservation Planner  
MCDPP- Historic Preservation Section  
Silver Spring, MD 20910

Dear Mrs. Ziek:

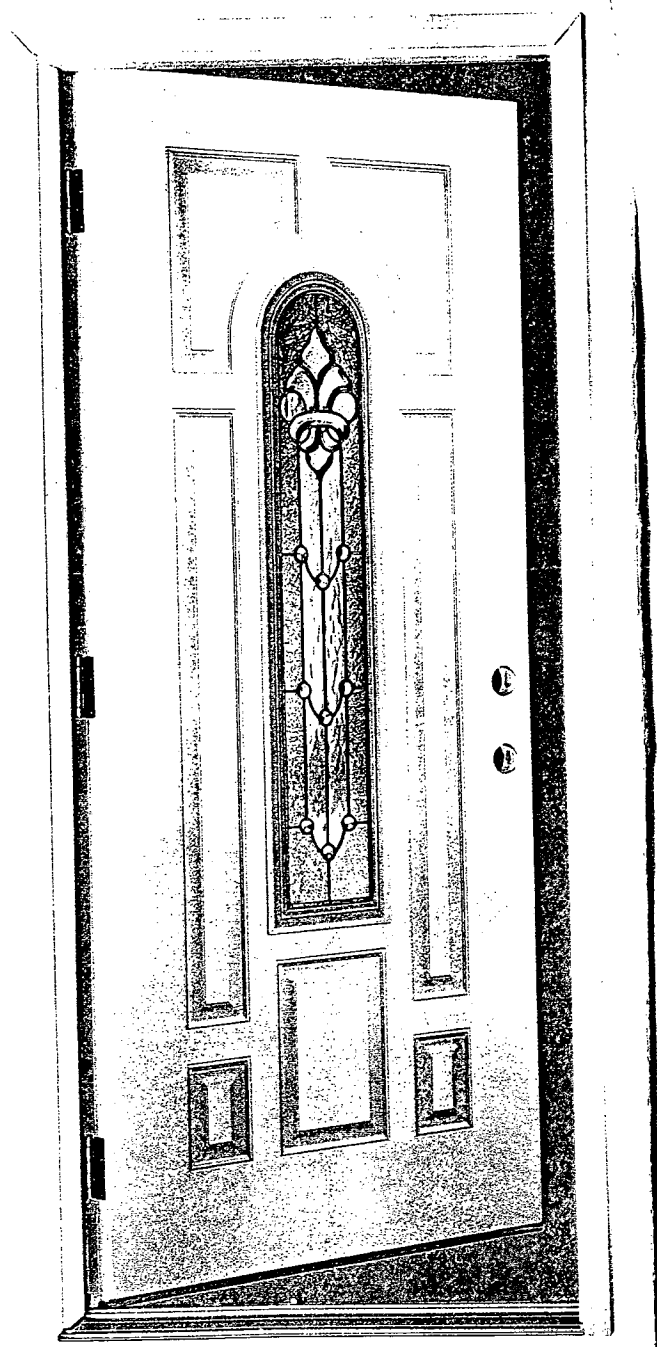
I understand that the front door does not need to be fire rated. In this case, I submit the attached proposed front door for consideration. It would be economical to keep both options (this proposal and the previous one) open.

Sincerely,



T. Bruno Mukendi  
Owner

PROPOSED FRONT DOOR



Door J71 shown

**Ready to  
Install**

**Available at  
The Home Depot**

**Limited  
LIFETIME  
Warranty**

7063 Carroll Avenue  
Takoma Park, MD 20912



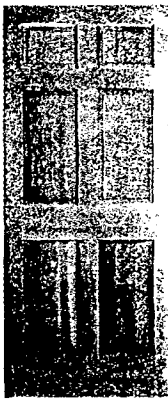
**ENTRY DOORS**

**MILLWORK**

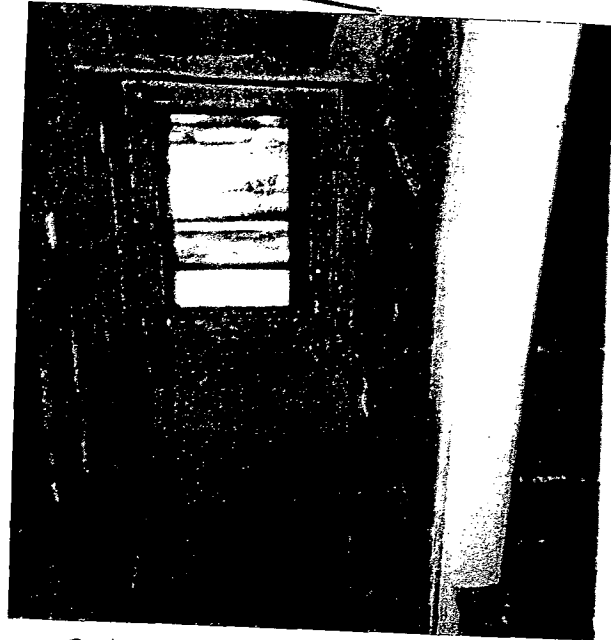
**Orepac Millwork**

**Orepac Millwork**

Existing



*Xproposed*



**6-Panel Exterior Fir Door Slab**

1 3/4-in. thick. Beveled raised panels. Dowel construction. 4 1/2-in. wide stiles. Unfinished.

Size In.	Mfr. No.	SKU	Price Each
32 x 80	NW-2130-2/E	378554	\$139.00
36 x 80	NW2130-3/0	378571	145.00

2-1

1 3/

Size

32

36

N

RIGHT SIDE DOOR EXISTING



**Exterior Paneled Fir Door Slab with Lite**

1 3/4-in. thick. Vertical grain. Single glass. 4 1/2-in. stiles. Dowel construction. Unfinished.

Size In.	Lite Style	Mfr. No.	SKU	Price Each
32 x 80	Fan	F-2/8 2020 3/4	378926	\$169.00
36 x 80	Fan	NW-2020-3/0	378960	174.00

**Exterior Fir French Door Slab**

1 3/4-in. thick solid wood. 15 lites. Dowel construction. Unfinished.

Size In.	Mfr. No.	SKU	Price Each
30 x 80	F-2/6 1515EXT	105511	\$144.00
32 x 80	F-2/8 1515EXT	105538	144.00
36 x 80	NW-1515-3/0	105546	149.00

Not All Products Available in All Markets



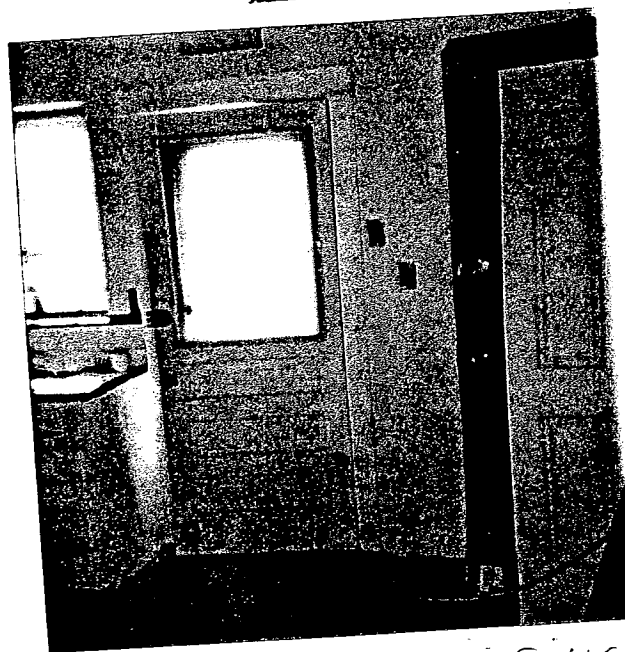
8

EXHIBIT 3

PROPOSED



REAR DOOR  
PROPOSED



REAR DOOR - EXISTING

34" wide

ADA stipulates 32" width.  
(4.13)



CARROLL AVENUE

N 59° 30' E 69' 0"

235' 0" SHARED DRIVEWAY

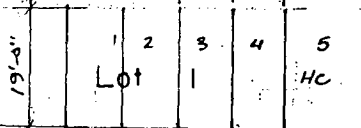
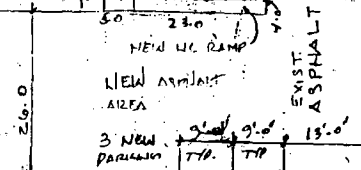
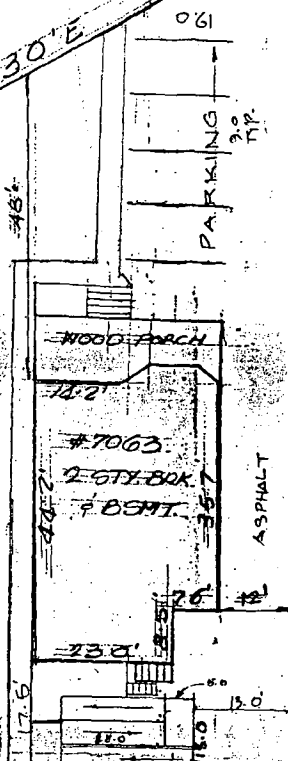
NORTH

200' 0"

N 2° 30' E

30' W

N 87° 30' W 60' 0"



13,050 sq. ft.

GRASS

Lot 2

*Handwritten notes:*

← Addition 10'

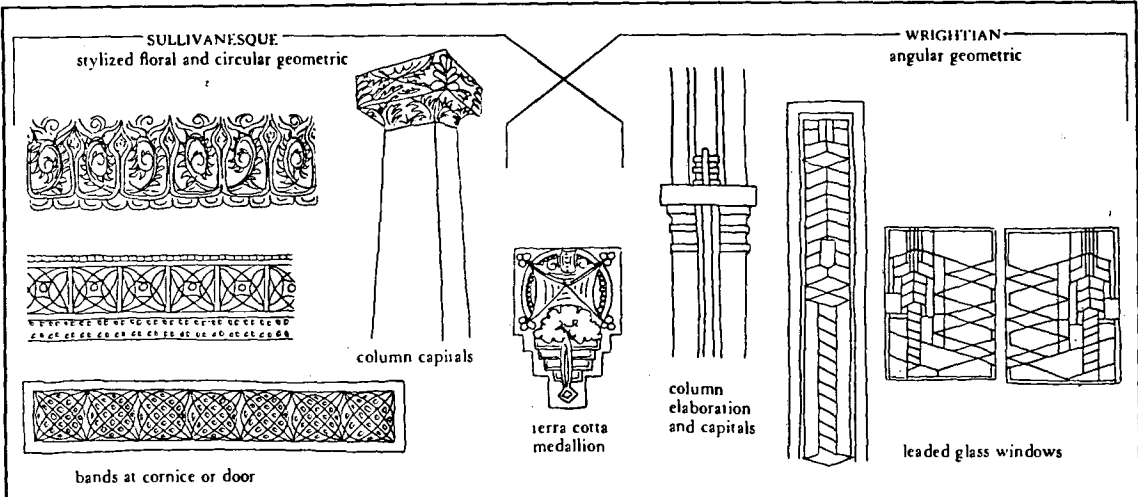
Proposed

BE IN

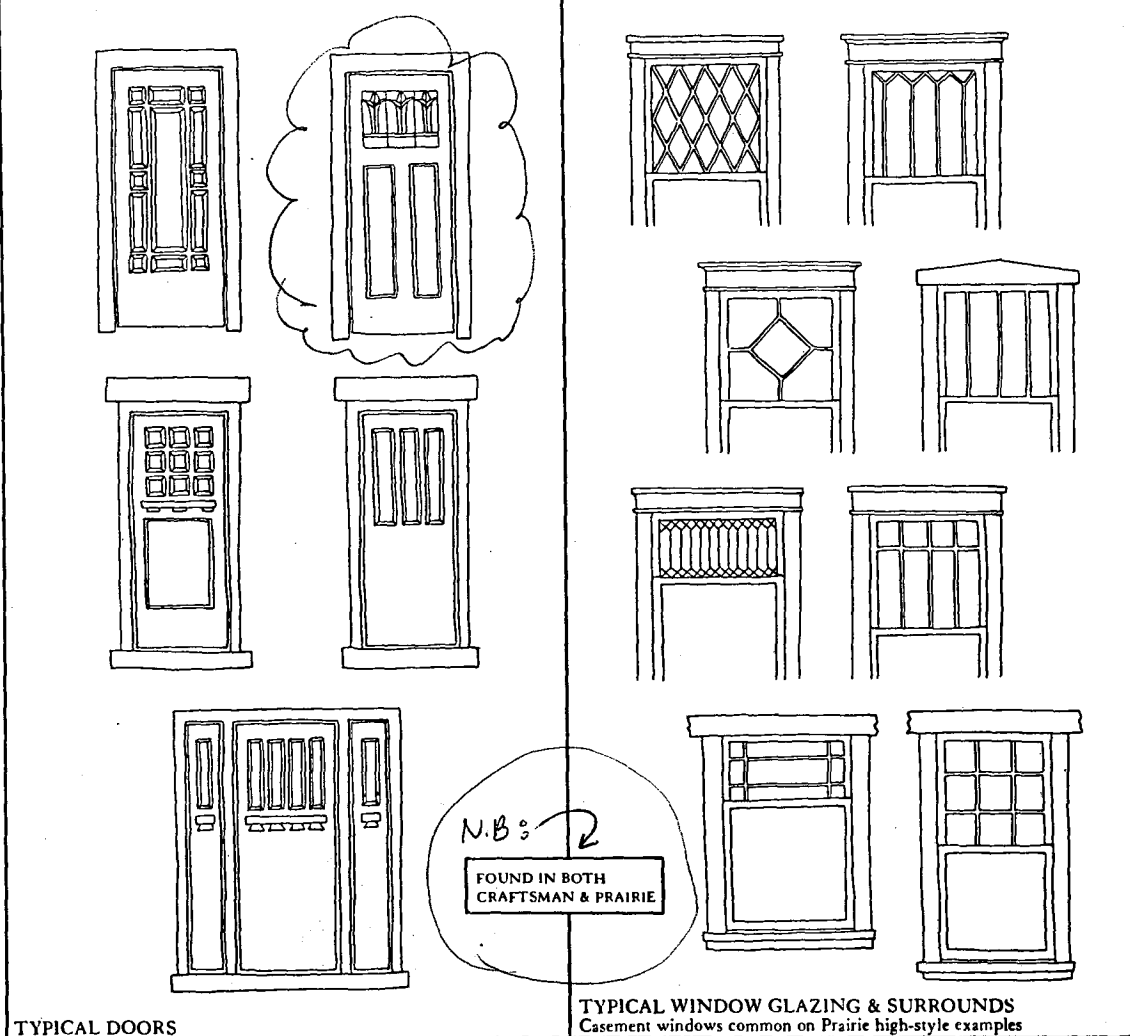
1 PARKING SPACE F  
 9 RMS = 9 PARKS

**VYFHUIS & ASSOCIATES**  
 LAND SURVEYORS, ENGINEERS, PLANNERS  
 3112 RHODE ISLAND AVENUE, NE.  
 WASHINGTON DISTRICT OF COLUMBIA

10



DECORATIVE DETAIL





Becky Fink, Machinist  
 Company Employee Since 1983  
 On Craftsmanship

As A Machinist, I Make Parts For Doors Out Of A Variety Of Woods. Each wood species has its own characteristics, and some are not easy to machine. I run these woods on a moulder. This machine cuts the various profile designs for the L.C. Schmidt Signature Door Series.

The moulder is very precise—with a tolerance of 10/1000 of an inch. You can barely see 10/1000 of an inch! Here at CDC, people have worked for years to achieve that kind of precision. I never imagined any company would put so much time into perfecting their product before I worked here. But since then, I've discovered that craftsmanship isn't something you master, it's something that you're always striving to learn.



Poplar

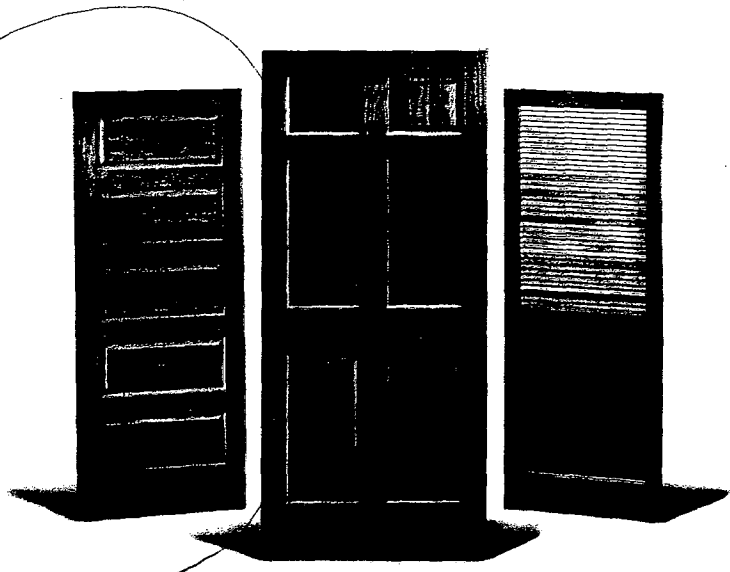


Knotty Pine



Maple

*For Right side door:*  
*Example*  
*of*  
*Solid*  
*door that*  
*matches*  
*existing*  
*style*



Poplar CDC-107

Ash CDC-108

Pine CDC-732  
 Half Louver

**BENNING & ASSOCIATES, INC**  
**LAND PLANNING CONSULTANTS**

**8933 SHADY GROVE COURT**  
**GAITHERSBURG, MD 20877**

**Phone: (301) 948-0240**

**Fax: (301) 948-0241**

To: Ms. Robin Ziek

Date: 1/15/02

M-NCP&PC

Project: Rotter

8787 Georgia Avenue

Silver Spring, MD 20910

301-563-3412  
(5 sheets incl. cover)

Robin:

Attached is the note on removal of trees that I added to our site plan. Also, I have attached a copy of the lighting specification that I received from the Town. I will get back to you with the number of lights / spacing tomorrow.

Dave

**PRELIM: Rotter Property in  
Brookeville**

**Sidney Rotter  
301 Market Street  
Brookeville, MD 20833**

**Thomas J. Taltavull, AIA  
20650 Plum Creek Court  
Gaithersburg, MD 20882**

**Margaret C. Kay  
313 Market Street  
Brookeville, MD 20833-2505**

**Sidney D. Wells, III  
309 Market Street  
Brookeville, MD 20833**

**Robert K. & D.H. Heritage  
307 Market Street  
Brookeville, MD 20833**

**Mark T. & Al Ennes  
316 Market Street  
Brookeville, MD 20833**

**William Patton  
Deborah A. Harrington -Patton  
318 Market Street  
Brookeville, MD 20833-2501**

**David C. & E.A. Yinger  
19801 Georgia Avenue  
Brookeville, MD 20833**

**J. Gordon & P. Lowder  
P.O. Box 244  
Brookeville, MD 20833**

**Harry & K.S. Montgomery  
211 Market Street  
P.O. Box 68  
Brookeville, MD 20833**

Nothstein  
Capitol View Avenue  
Silver Spring, MD 20910

31/7-01K  
S. Diamond & S. Hazelett  
10110 Day Avenue  
Silver Spring, MD 20910

Hector and Gloria Mimiaga  
10107 Capitol View Avenue  
Silver Spring, MD 20910

Nancy Garrison  
10108 Day Avenue  
Silver Spring, MD 20910

George Myers  
GTM Architects  
10415 Armory Avenue  
Kensington, MD 20895

Harry & Denise Orenstein  
10313 Fawcett Street  
Kensington, MD 20895

Thomas J. Taltavull, AIA  
20650 Plum Creek Court  
Gaithersburg, MD 20882

Robert K. & D.H. Heritage  
307 Market Street  
Brookeville, MD 20833

David C. & E.A. Yinger  
19801 Georgia Avenue  
Brookeville, MD 20833

Paul LaGasse & Mary Jo Lazun  
9912 Capitol View Avenue  
Silver Spring, MD 20910

Paxton Holt Jordan, LLC  
Jordan Honeyman, ASLA  
1003 K Street, N.W.  
Washington, DC 20001

Janice Rodgers  
10106 Capitol View Avenue  
Silver Spring, MD 20910

Bob Nowak & David Bergman  
10112 Day Avenue  
Silver Spring, MD 20910

Ken & Kyle Richards  
10312 Fawcett Street  
Kensington, MD 20895

Charlie & Ginny Steuart  
10319 Fawcett Street  
Kensington, MD 20895

**PRELIM: Rotter Property in  
Brookeville**

Margaret C. Kay  
313 Market Street  
Brookeville, MD 20833-2505

Mark T. & Al Ennes  
316 Market Street  
Brookeville, MD 20833

J. Gordon & P. Lowder  
P.O. Box 244  
Brookeville, MD 20833

**CAPITOL VIEW PARK  
LAP**

James Alward  
10109 Capitol View Avenue  
Silver Spring, MD 20910

Celeste & Marius Veraart  
10106 Day Avenue  
Silver Spring, MD 20910

**PRELIM: 10314 Fawcett  
Kensington**

Sean & Kerry Ann Scanlon  
10318 Fawcett Street  
Kensington, MD 20895

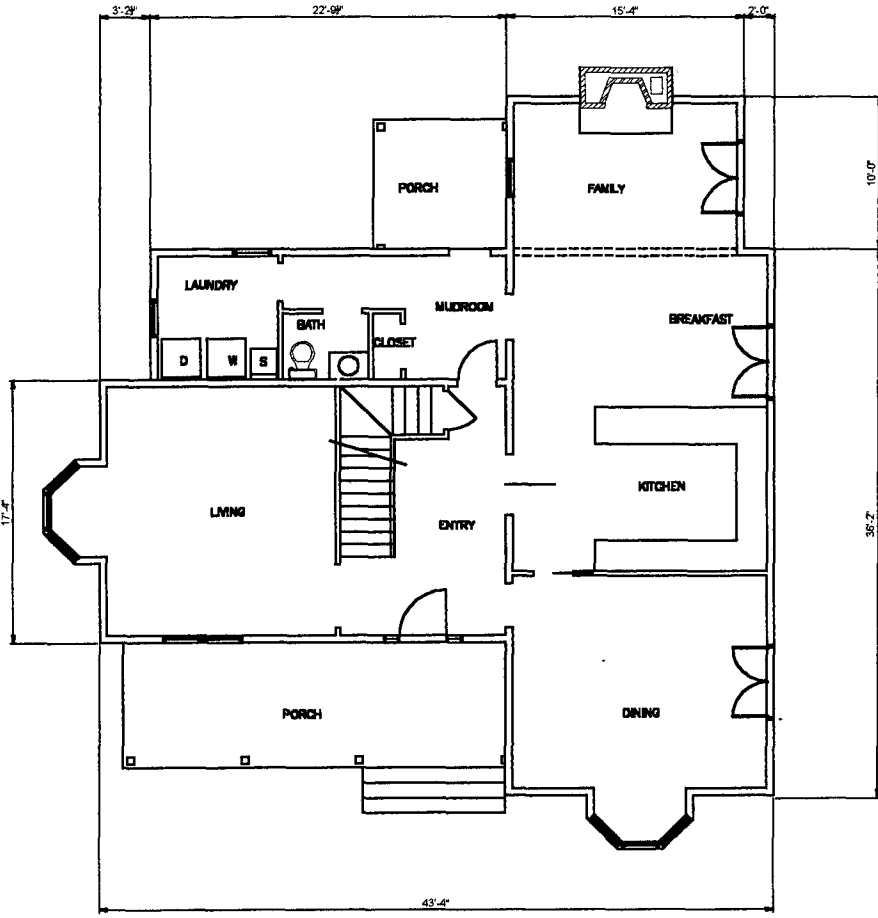
James Sharp  
10226 Carroll Place  
Kensington, MD 20895

**Sidney Rotter  
301 Market Street  
Brookeville, MD 20833**

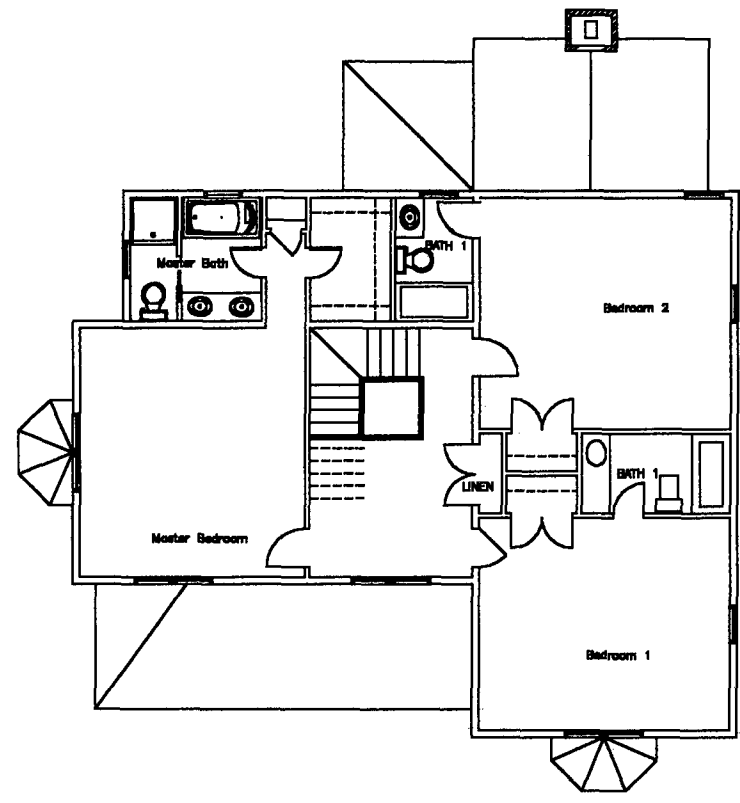
Sidney D. Wells, III  
309 Market Street  
Brookeville, MD 20833

William Patton  
Deborah A. Harrington -Patton  
318 Market Street  
Brookeville, MD 20833-2501

Harry & K.S. Montgomery  
211 Market Street  
P.O. Box 68  
Brookeville, MD 20833



FIRST FLOOR PLAN Lot 3,  
1/4"=1'-0"



SECOND FLOOR PLAN Lot 3,  
1/4"=1'-0"

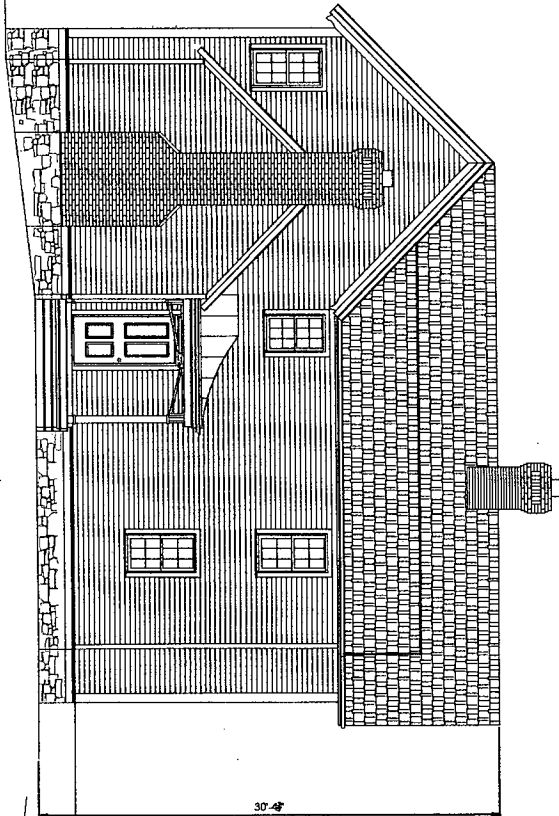


THOMAS J. TALTAVULL  
 LICENSED PROFESSIONAL ENGINEER  
 20650 Plum Creek Court  
 Odessa, Maryland 21852  
 301-940-1871

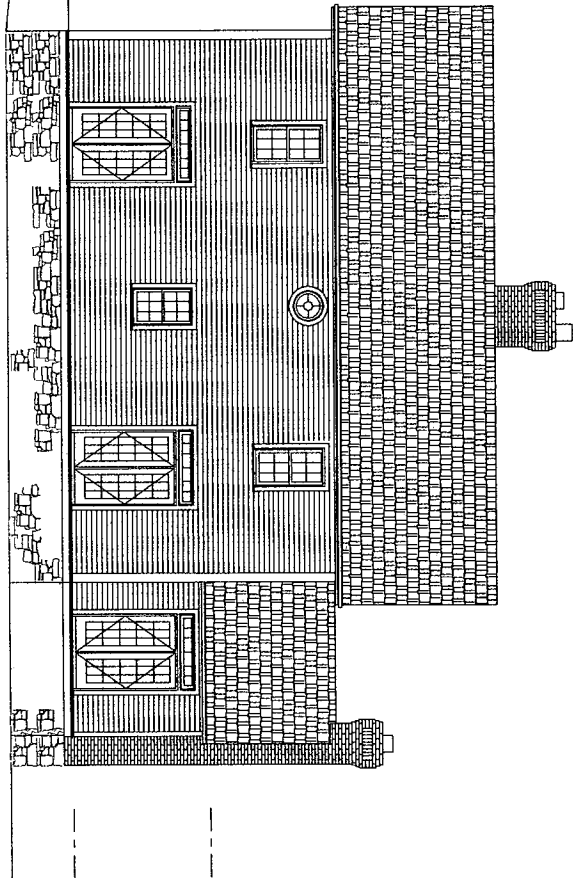
1.7.2002

FLOOR PLAN

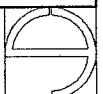
PROPOSED PLAN FOR  
 ROTTER PROPERTY, LOT 3  
 8000 STATE  
 BRIDGEVILLE, MARYLAND



WEST ELEVATION  
1/4"=1'-0"



NORTH ELEVATION  
1/4"=1'-0"







THOMAS J. TAL TAVULL

ARCHITECT  
**OLD**  
20650 Plum Creek Court  
Gatherers Cove, Arden, 28622  
301.340.1871

1.7.2002

ELEVATIONS

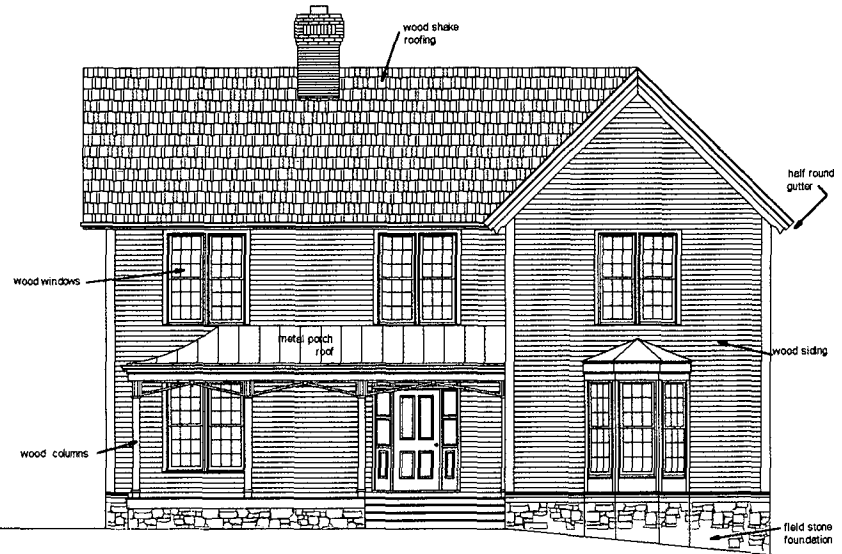
PROPOSED PLAN FOR  
**ROTTER PROPERTY, LOT 3**  
3100 E STREET  
BROOKFIELD, MARYLAND

3



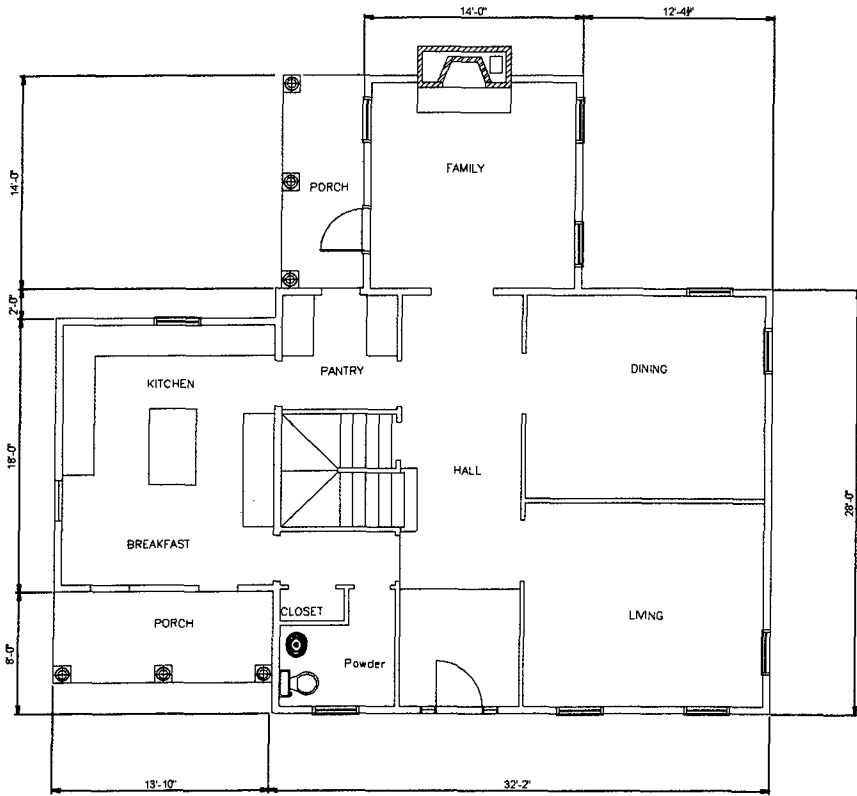
SOUTH ELEVATION

1/4"=1'-0"

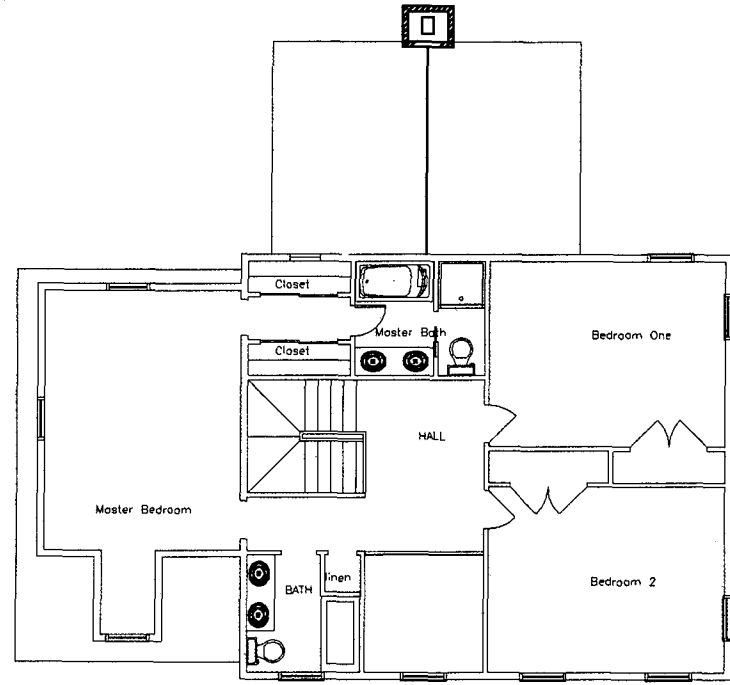


EAST ELEVATION

1/4"=1'-0"



FIRST FLOOR PLAN Lot 2,  
1/4"=1'-0"



SECOND FLOOR PLAN Lot 2,  
1/4"=1'-0"



THOMAS J. TALTAVULL  
ARCHITECT  
20650 Plum Creek Court  
Gethersburg, Maryland 20882  
301.940.7187

1.7.2002

FLOOR PLAN

PROPOSED PLAN FOR  
BOTTLER PROPERTY, LOT 2  
3838 ESTATE  
BROOKLYN, MARYLAND



THOMAS J. TALTVALL

ARCHITECT

20550 Plum Creek Court  
Gathersburg, Maryland 20882  
301.940.1847

1.7.2002

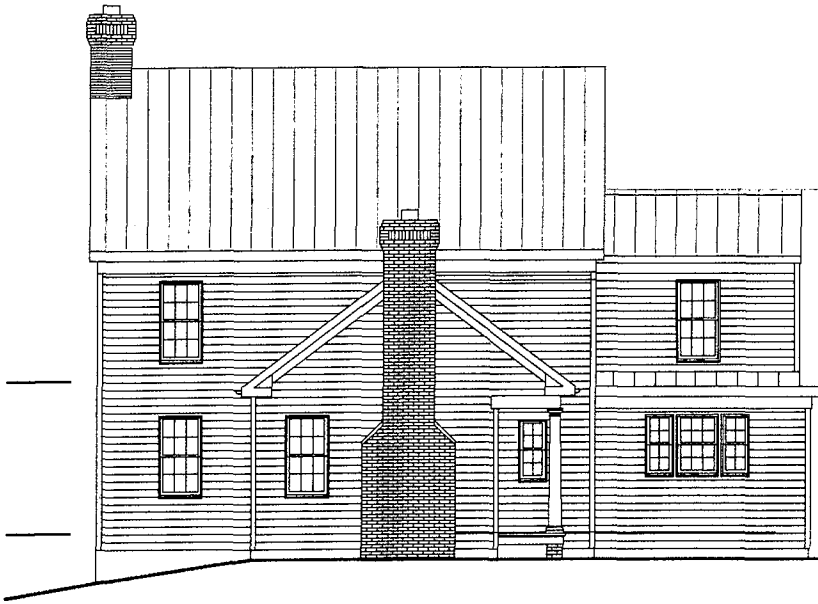
ELEVATIONS

PROPOSED ELEVATIONS FOR LOT 2

ROTTER PROPERTY

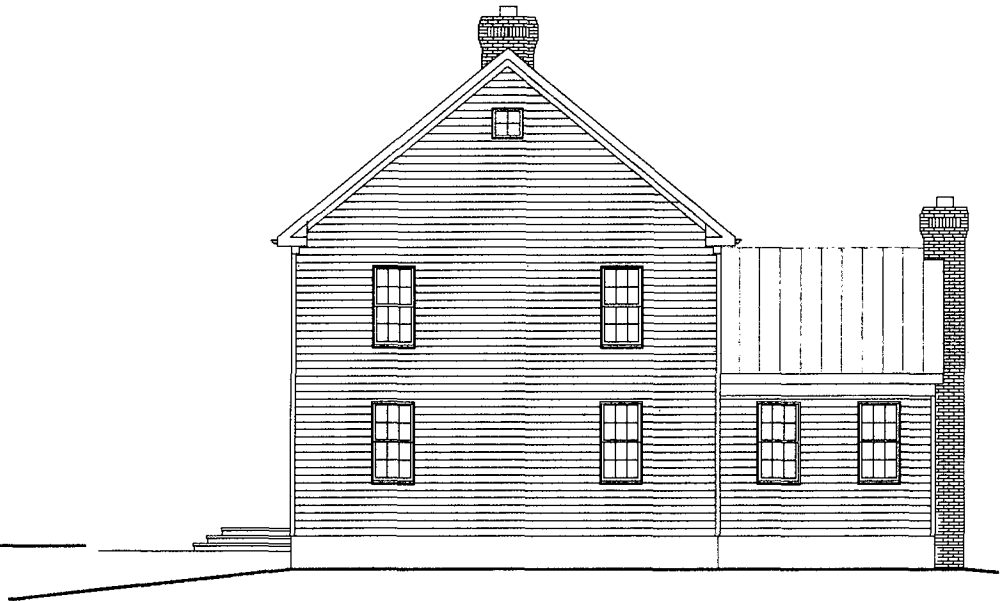
5155 GIBBS  
BROOKVILLE, MARYLAND

2



WEST ELEVATION

1/4"=1'-0"



NORTH ELEVATION

1/4"=1'-0"



THOMAS J. TALTAVULL

ARCHITECT  
20630 Riddle Court  
Cathlamet, WA 98582  
361.840.7847

1.7.2002

ELEVATIONS

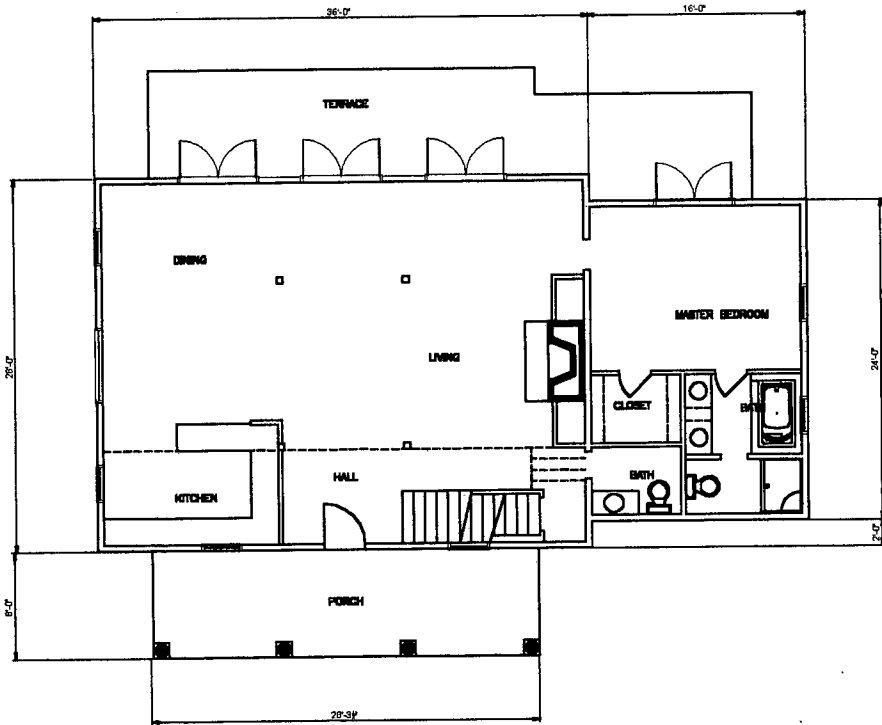
PROPOSED ELEVATIONS FOR LOT 2  
ROTTER PROPERTY  
8305 ROTTER  
BROOKSVILLE, MARYLAND



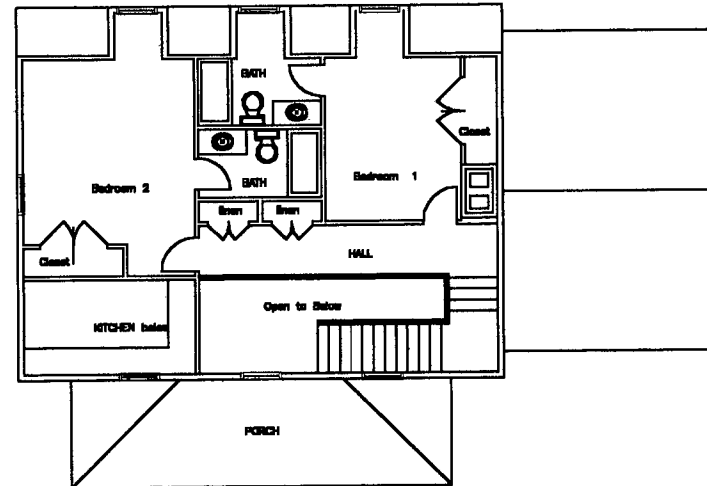
SOUTH ELEVATION  
1/4"=1'-0"



EAST ELEVATION  
1/4"=1'-0"



FIRST FLOOR PLAN Lot 1,  
1/4"=1'-0"



SECOND FLOOR PLAN Lot 1,  
1/4"=1'-0"

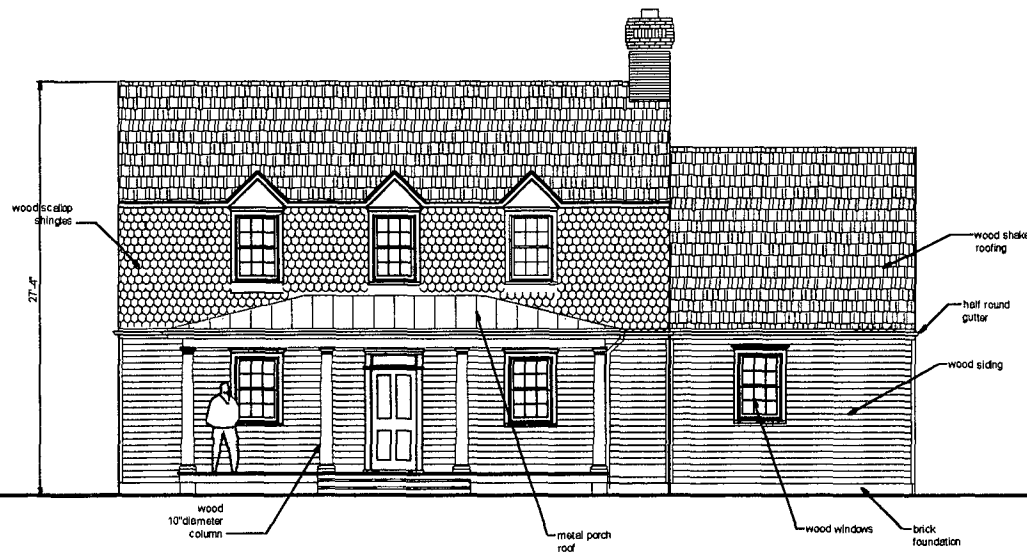


THOMAS J. TALAVULL  
 LICENSED PROFESSIONAL ENGINEER  
 20850 Park Ridge Court  
 Gaithersburg, Maryland 20882  
 301.840.1871

1.7.2002

FLOOR PLAN

PROPOSED PLAN FOR  
 ROTTER PROPERTY, LOT 1  
 EDGE STREET  
 BROOKVILLE, MARYLAND



SOUTH ELEVATION  
1/4"=1'-0"

EAST ELEVATION  
1/4"=1'-0"



THOMAS J. TAL TAVULL

ARCHITECT  
20850 Park Club Court  
Geithersburg, Maryland 20882  
301.840.1847

1.7.2002

ELEVATIONS

PROPOSED ELEVATIONS FOR LOT 1  
ROTTER PROPERTY  
8888 ROBERTSON  
BROOKFIELD, MARYLAND



THOMAS J. TAL TAVULL

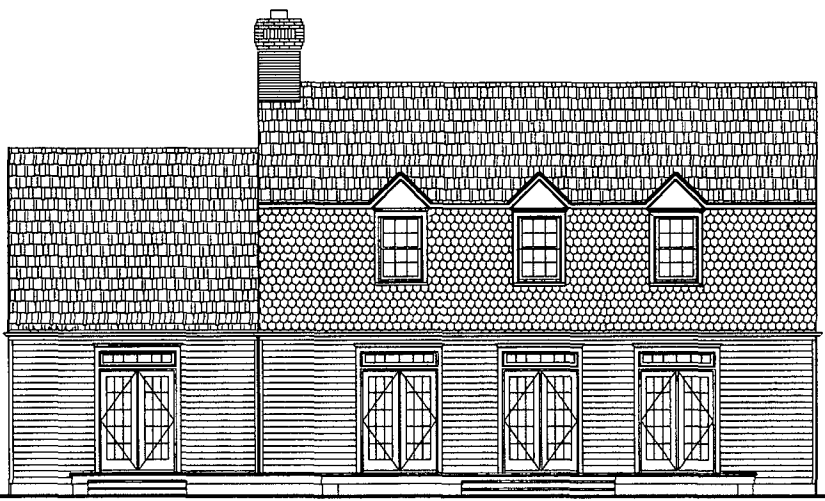
20650 Plum Creek Court  
Germantown, MD 20882  
301.940.1847

1.7.2002

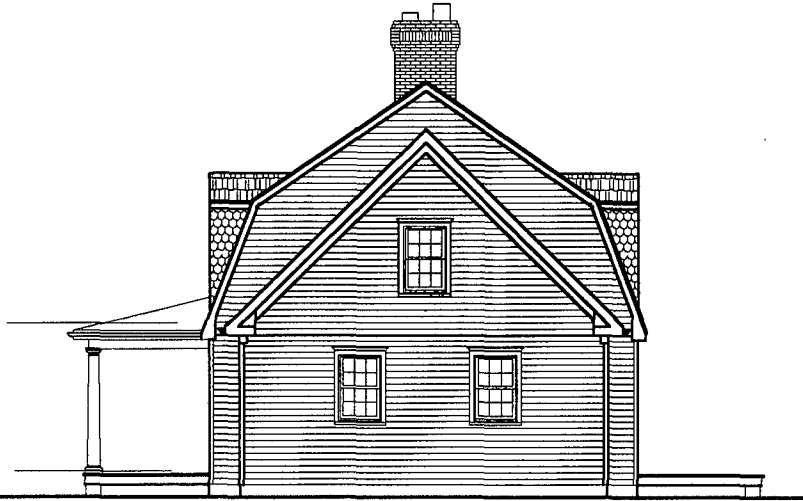
ELEVATIONS

PROPOSED ELEVATIONS FOR LOT 1  
ROTTER PROPERTY  
7888 EIGHTH  
BROOKVILLE, MARYLAND

1



WEST ELEVATION  
1/4"=1'-0"



NORTH ELEVATION  
1/4"=1'-0"

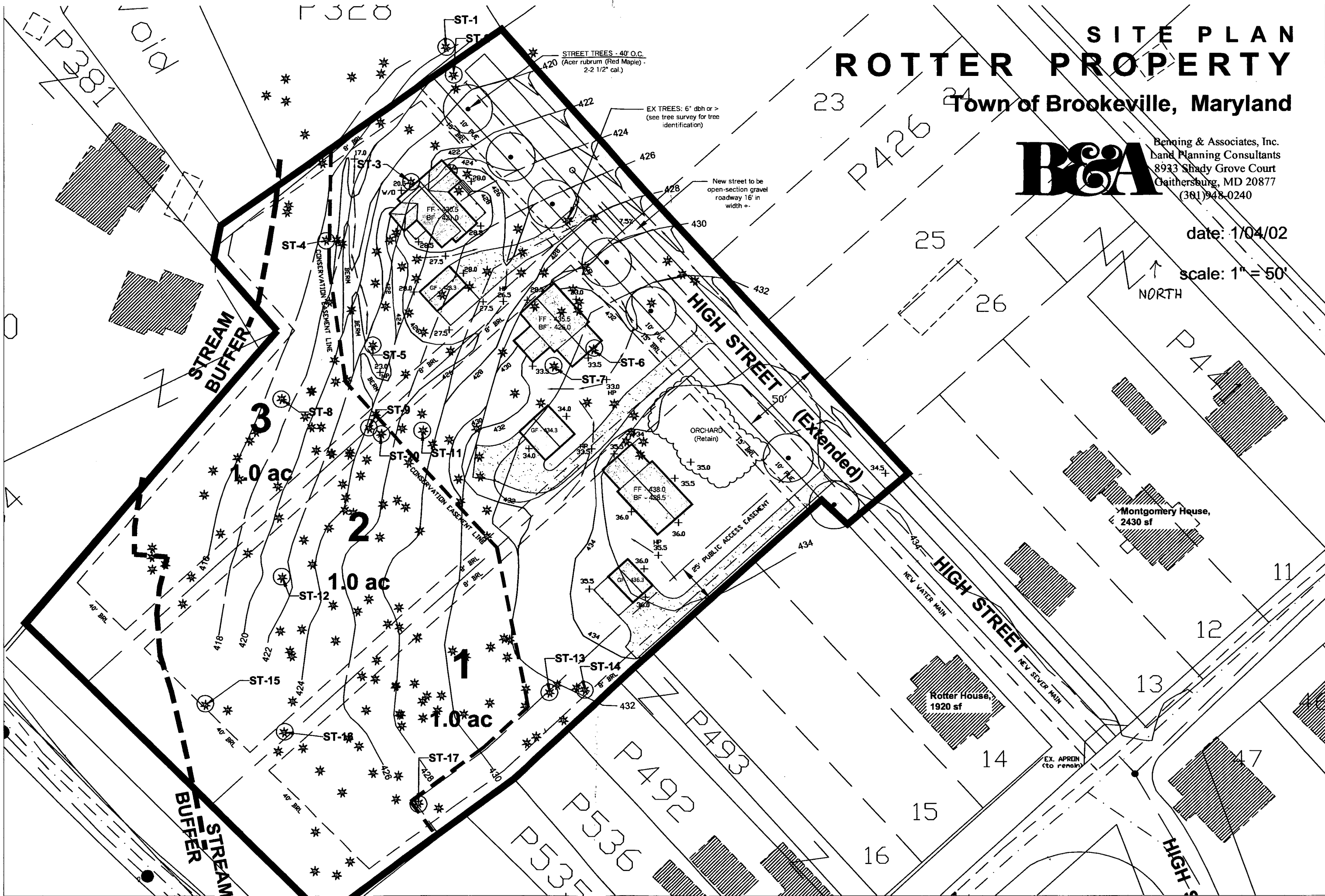
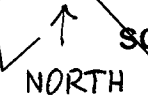
# SITE PLAN ROTTER PROPERTY

Town of Brookeville, Maryland

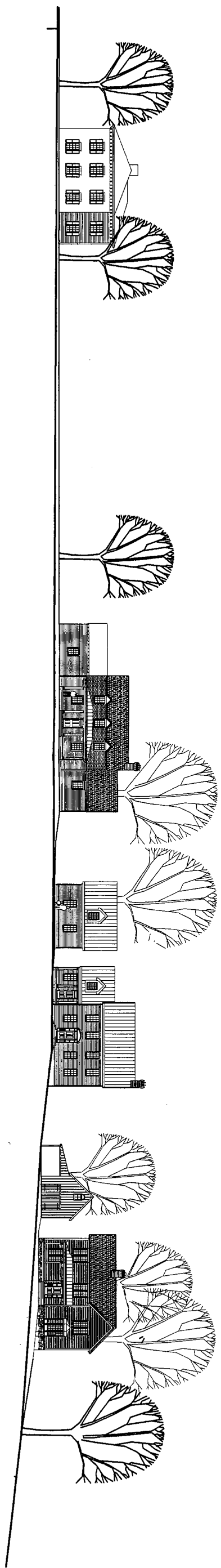
**B&A**  
Benning & Associates, Inc.  
Land Planning Consultants  
8933 Shady Grove Court  
Gaithersburg, MD 20877  
(301) 948-0240

date: 1/04/02

scale: 1" = 50'







E A S T  
E L E V A T I O N

PROPOSED ELEVATIONS FOR  
ROTTER PROPERTY  
HIGH STREET  
BROOKEVILLE, MARYLAND

ELEVATIONS

1.7.2002

THOMAS J. TALTAVULL  
ARCHITECT  
20860 Plum Creek Court  
Gaithersburg, Maryland 20882  
301.840.1847

# TREE SURVEY ROTTER PROPERTY

Town of Brookeville, Maryland



Benning & Associates, Inc.  
Land Planning Consultants  
8933 Shady Grove Court  
Gaithersburg, MD 20877  
(301)948-0240

date: 1/04/02

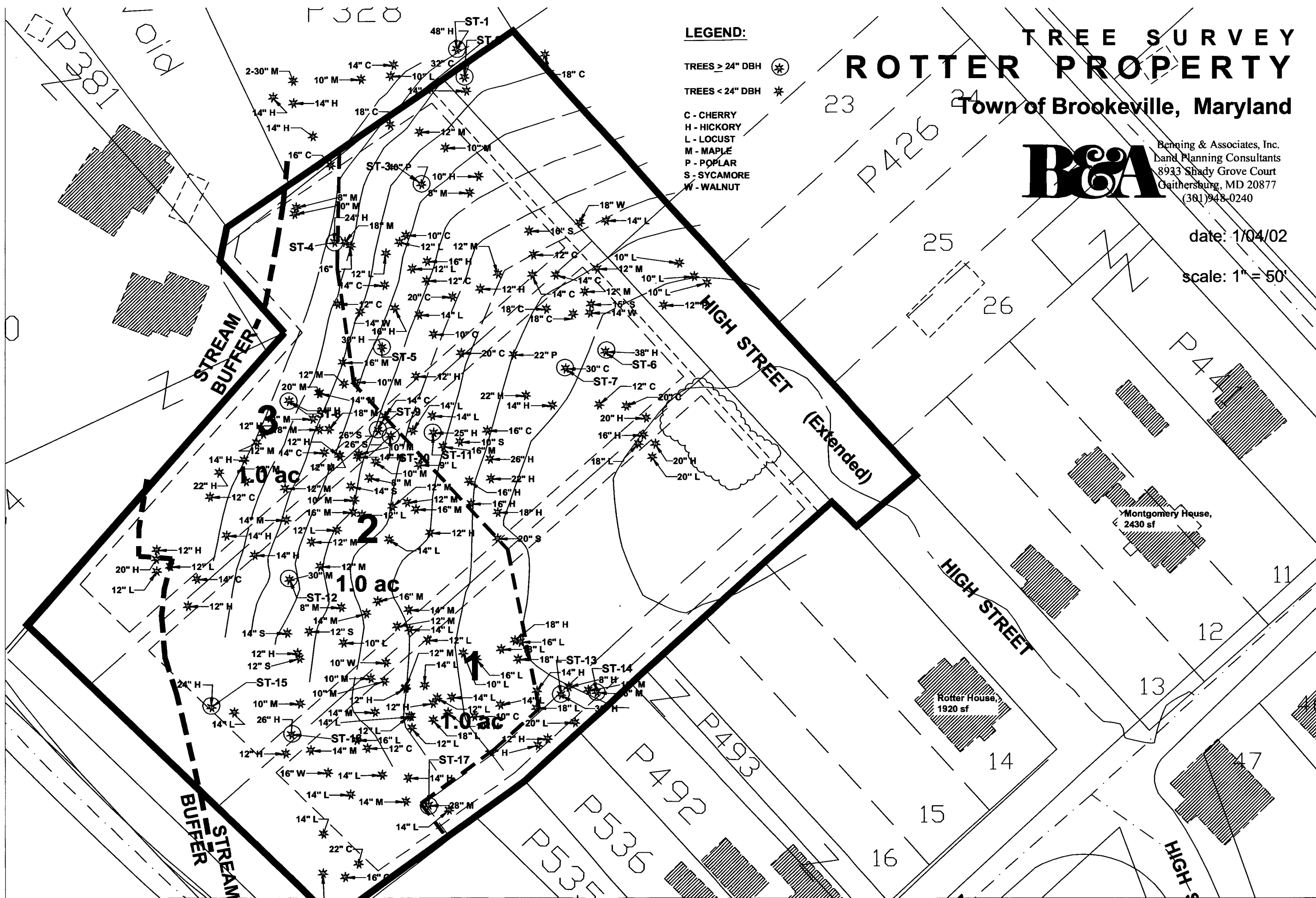
scale: 1" = 50'

### LEGEND:

TREES > 24" DBH

TREES < 24" DBH

- C - CHERRY
- H - HICKORY
- L - LOCUST
- M - MAPLE
- P - POPLAR
- S - SYCAMORE
- W - WALNUT





*historic*

DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

**HISTORIC AREA WORK  
PERMIT**

IssueDate: 1/29/2002

Permit No: 266830  
Expires:  
X Ref:  
Rev. No:

**Approved With Conditions**

THIS IS TO CERTIFY THAT:

RORY S. COAKLEY & RUFFIN MADDOX  
20 COURTHOUSE SQUARE-SUITE 106  
ROCKVILLE MARYLAND 20850

HAS PERMISSION TO: CONSTRUCT

PERMIT CONDITIONS: 3 SINGLE FAMILY HOMES-LOT 1, 2 & 3, PARCEL 490. See attached sheet for conditions.

PREMISE ADDRESS

LOT	BLOCK	PARCEL	ZONE
LIBER	ELECTION DISTRICT	PLATE	GRID
FOLIO	SUBDIVISION		
PERMIT FEE: \$0.00	TAX ACCOUNT NO.:		

HISTORIC MASTER:  
HISTORIC ATLAS:

**HISTORIC APPROVAL ONLY  
BUILDING PERMIT REQUIRED**

Director, Department of Permitting Services

M-NCPPC



**MEMORANDUM**

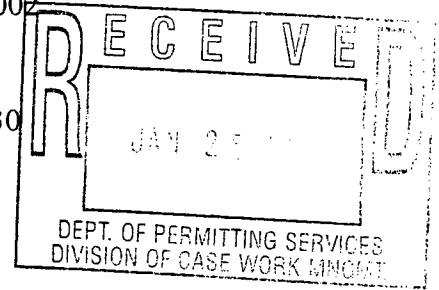
**MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING**

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

January 24, 2002

Permit #266830



TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit 23/65-02A

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved       Denied       **Approved with Conditions:**

1. Staff to work with applicant at the pre-construction meeting and throughout the project to approve removal of trees within the buildable area of the site.
2. Street lighting may be installed along High Street (extended), with staff approval, working with the Brookeville Planning Commission and applicant. Two (2) lights are anticipated immediately, with the possibility of a third reserved for the future (at the north end of the property).
3. Street trees may be installed along High Street (extended), with staff approval, working with the Brookeville Planning Commission and applicant. Random spacing and a variety of species is anticipated, with input from the staff arborist.
4. Front walks shall be installed for each residence, to be approved at a staff level.

and subject to the general conditions that 1) **HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS;** and 2) after issuance of Montgomery County Department of Permitting Services (DPS) permit, applicant to arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

**THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).**

Applicant: Rory Coakley and Ruffin Maddox  
20 Courthouse Sq., Suite 106  
Rockville, MD 20850

**RE: New construction on High Street (extended) – Brookeville Historic District**

11/14/01

Brookville

Stevan Breslon asked about curving High St.

I said The Brookville P.B. didn't agree,  
and they wanted the road to be straight.

Average 1375 ft... So what are the numbers?

average lot coverage = 5.4%

his average lot coverage is 2.9%...

(ask T. of B. about their sense of lot coverage)..

S. Breslon: Nice job. Good detached garages. Maybe push a  
little farther back. Lots are big enough so house  
within is OK.

Julie O'Malley - Likes houses. Lot 2, should push garage  
back further so it's not right next to lot 1..

Kim - generally good. Not too big. Some concern ~~the~~ with  
height.. hard to judge because they look good  
on paper...

Nancy - would like to see the wings to the back.. but side  
is OK -- either pushed back further, ~~but~~  
or to the rear... Your choice..

Kim is concerned about trees - she likes the  
stepped massing... don't want objects  
in the landscape - but wants more streetscape..

Steve S. - likes general approach - as shown.  
Maybe more garage back a bit. Materials sound great

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address:	High Street	Meeting Date:	11/14/01
Applicant:	Ruffin Maddox & Rory Coakley (David McKee, Agent)	Report Date:	11/7/01
Resource:	Brookeville Historic District	Public Notice:	10/31/01
Review:	Preliminary Consultation	Tax Credit:	No
District Number:	#23/65	Staff:	Robin D. Ziek

1-sided original

**PROPOSAL:** Construct three new homes

**RECOMMEND:** Support the proposal, with some modifications

The HPC reviewed a subdivision proposal of this property last June. The subdivision was subsequently approved by the Town of Brookeville, which has planning and zoning authority. The applicant has prepared a proposal for three new homes on the site, and is now coming to the HPC for a Preliminary Consultation for guidance.

Brookeville's *Comprehensive Plan* provides information about the Town's concern for preservation and compatible development, including the preservation of significant vistas and natural or historical features. Brookeville is notable for its concentration of 19<sup>th</sup> and 20<sup>th</sup> century structures (mostly residential), and for its existing open areas which were not previously developed due to environmental constraints such as steep slopes, wetlands, in conjunction with the Reddy Branch and tributaries which flow at the edge of town. In addition, there are known archaeological sites, such as the two mills at either end of town, and a church site at the end of North Street; and there is high archaeological potential in various areas of the Town.

**SITE DESCRIPTION**

The Town of Brookeville was laid out with main streets – High Street and Market Street, and minor streets – North and South Streets, and High Street (extended). Until fairly recently, the minor streets were used mostly as shared driveways and had the general character of alleys, or “village lanes”. Recently, three new homes were constructed on North Street. That subdivision proposal developed from an analysis of the existing layout of Brookeville, and an identification of character defining features. With this, the feel and character of the narrow gravel lane was preserved and the new construction was integrated into the existing historic plan of the Town.

Today, High Street, north of Market Street, appears to be a private driveway shared by the adjacent property owners at 211 and 301 Market Street. The brick house at 301 Market Street dates to the 1<sup>st</sup> quarter of the 19<sup>th</sup> century. It began as a Federal style house, but was renovated in the Italianate style in the middle of the 19<sup>th</sup> century. The prominent brackets and flat roof are notable features. This house is sited close to the intersection of Market Street and High Street, and its east side elevation will be highly visible. The owner currently parks alongside his house, with High Street serving as the driveway.

The property at 211 Market Street includes a prominent wood frame house which developed from a small cottage, constructed ca. 1820, and was enlarged as a Gothic Revival style house in 1863. Access to the garage associated with this property is from High Street. An in-ground pool in the yard area behind the garage was recently approved by the HPC, and has been installed, with a high metal picket fence around it. The current view northwards along High Street helps to reinforce the sense of the rural landscape surrounding Brookeville. This includes the row of outbuildings associated with 301 Market Street, open fields, a small apple orchard, the woods extending into the Reddy Branch park area, and a sheep barn and exercise area associated with 211 Market Street on the east side of the road.

A large percentage of the subject property is flat, with steeper slopes at the north and west edges. The forest covers the back and west half of the property, which is bounded on the west side by Georgia Avenue. To the north, the property abuts parkland associated with the stream valley of the Reddy Branch which is owned by M-NCPPC and by Montgomery County. Trails are being planned for this parkland. The tree survey provided during the subdivision review demonstrates that this is a new growth forest. Of the 15 trees of substantial size, 13 are within the proposed Conservation Easement Area (see Circle 7). The conservation area will assure the preservation of the tree buffer along the north and west edges of the property.

## **PROPOSAL**

The site plan with the three houses and associated detached garages is on Circle 8. The new buildings are all neo-traditional in design (see Circle 9). Each one is designed with different sections, as if the houses were constructed over time. The houses address the street, which will be paved at a narrow width with gravel, similar to North Street. The house on Lot 1 has been pushed back from the street to accommodate an existing young apple orchard. The houses at Lots 2 and 3 are set up to the property line. The garages at lots 1 and 2 are side-loaded, while the garage on Lot 3 faces the street. The applicant has provided footprint measurements, exclusive of porches.

The height of the new home on Lot 1 has been kept lower than the height of its historic neighbors on Market Street (see Circle 5). The property slopes down as one moves northwards, and so the houses on Lots 2 and 3 are taller homes, with the goal that they would still not be higher than their historic neighbors.

## STAFF DISCUSSION

For all its small size, Brookeville has a diverse landscape and each building site has unique characteristics. New construction within the Town has been limited. In all cases, the goal has been to promote the integration of the new development into the existing conditions of the historic district.

This new subdivision will provide an alley which will provide access for existing properties along Market Street where traffic is a concern. In this project, the alley will be dedicated back far enough to provide access for 313 Market Street, but will be constructed as a driveway for Lot 1. In the future, the alley may be extended. Until such time, the existing forest will be preserved. The project also includes the dedication of High Street to the end of the property, with a future connection possible to the MNCPPC Park property and/or the Lauder Property to the northeast. At the time of construction of the three homes, the roadway will only be constructed far enough to provide access to Lot 3 (see Circle 7 ).

Staff supports the overall project in terms of its general approach to the site and design. The siting of the houses matches the building pattern in Brookeville, with the houses fronting the public street. The eccentric placement of the house on Lot 1 behind an existing apple orchard is appealing in that it defers to an existing agricultural feature, and reflects the rural setting for Brookeville.

Staff has some concern with the overall size of the buildings, especially as viewed from the street. The houses in Brookeville range from large to small, and the neighboring historic homes on Market Street are large homes for Brookeville. 301 Market Street has a footprint of approximately 1920 sf. The house at 211 Market street has approximately 2430 sf if one includes a new rear addition. The historic structure has a footprint close to or smaller than 301 Market Street. Smaller homes in Brookeville have footprints under 1000 sf. Staff has recommended to the applicant that the houses be restricted in size to approximately 1200 sf. This is a mid-range size which permits a new house to fit in with the existing district.

This guidance was provided to the developer of the new homes on North Street. The house at Lot 2 has a footprint of 1189 sf; while the house on Lot 3 has a footprint of 1200 sf. These figures reflect the house footprint only, and each of the new homes constructed on North Street also have detached garages. This new construction on North Street provides some guidance as to what would work on High Street, in terms of size, scale, massing and materials.

The applicant is proposing wood frame structures on High Street, with three different styles. Staff feels that, in each case, if the small wings were removed from the proposal, the houses would be just the right size. As presented, however, the houses are very long in their dimension parallel to the road. The house on Lot 1 is approximately 52' in length; the house on Lot 2 is approximately 45' in length; and the house on Lot 3 is approximately 55' in length. Thus, even if the house is not very deep, as is true for the house on Lot 1, it will appear very large from the public right-of-way. Staff feels that the district would be better served if the "additions" went to the rear of the main house block rather than to the side. The lots are much deeper than wide, and there appears to be room to build back.



In terms of overall footprints, the footprints as presented by the applicant do not apparently include porches. While DPS is less concerned with exterior spaces, the HPC may wish to consider the overall effect of the entire building, which includes the porches. Thus, the house on Lot 1 which measures approximately 1390 sf without the front porch becomes 1614 with the front porch. In this method of assessing a project, staff is not recommending that the front porch be deleted as this is a typical feature of Brookeville homes. Staff simply notes that the project moves further and further away from the 1200 sf goal, and starts to become a large house.

The house on Lot 2 has a footprint of 1498 sf, and the House on Lot 3 has a footprint of 1660 sf. Staff appreciates the applicants work to reduce the size of the houses from a standard development house which is, perhaps, double the size of these presented. However, Brookeville is a special place, and the new construction should reflect the historic building patterns, including the size of the new buildings.

In terms of the garages, staff would suggest that the garages on lots 2 and 3 should be set farther back on the property. The garage on Lot 2 apparently has a second floor level, and this makes the building look much bigger than the garage on Lot 1 even though they present the same width to the street. If the garages are pushed further back on the property, they won't be perceived as so tall/large, or so much as part of the building mass along the road. Staff has some concern that the combination of garage and house, as presented, seems to fill up each property. While it is good urban design to come up to the street and be part of that life, there are many opportunities for views past the sides of buildings in Brookeville.

In terms of the design of the buildings, staff feels that the structure on Lot 3 is not coherent, and should be redesigned. The left side of the house is very formal in comparison to the section on the right. In addition, both the left and right-hand sections would be considered very early styles on the east coast and surely would not appear on the same house.

### **STAFF RECOMMENDATION**

Staff recommends that the HPC support the proposal, but provide guidance to the applicant to reduce the overall size of the houses, and to reduce the overall width of the houses as seen from the public right-of-way. In addition, the garages should be pushed back further on the property.

**THOMAS J. TALTAVULL**



**ARCHITECT**

20650 Plum Creek Court  
Gaithersburg, Maryland 20882  
301.840.1847

**Transmittal Letter**

---

To: Robin Ziek  
M-NCPPC  
Montgomery County \\  
Department of Park and Planning  
Silver Spring, Maryland

Date: October 24, 2001

Attention: Robin

Project: Rotter Property

---

Remarks:

Dear Robin,

Enclosed please find schematic plans for the proposed development of the Rotter property for submission to the Historic Planning Commission for the initial review.

# 301

The surveyor has field verified that the Rotter house has a footprint of 1920 square feet, and the height to the top of the fascia is 23' and to the top of ridge is 28'.

# 211 The Montgomery house footprint is 2340 square feet and the height to the top of the fascia is 23.5' and to the top of ridge is 30.5'.

Please call if you have questions or comments.

Sincerely,

Thomas J. Taltavull

Copy to: file

Signed: Thomas J. Taltavull, Architect

---

5

Margaret C Kay  
313 Market Street  
Brookeville, Maryland 20833-2505

Sidney D Wells 3<sup>rd</sup>  
309 Market Street  
Brookeville, Maryland 20833

Robert K & DH Heritage  
307 Market Street  
Brookeville, Maryland 20833

Mark T & Al Ennes  
316 Market Street  
Brookeville, Maryland 20833

William J Patton &  
Deborah A Harrington-Patton  
318 Market Street  
Brookeville, Maryland 20833-2501

David C & Ea Yinger  
19801 Georgia Ave  
Brookeville, Maryland 20833

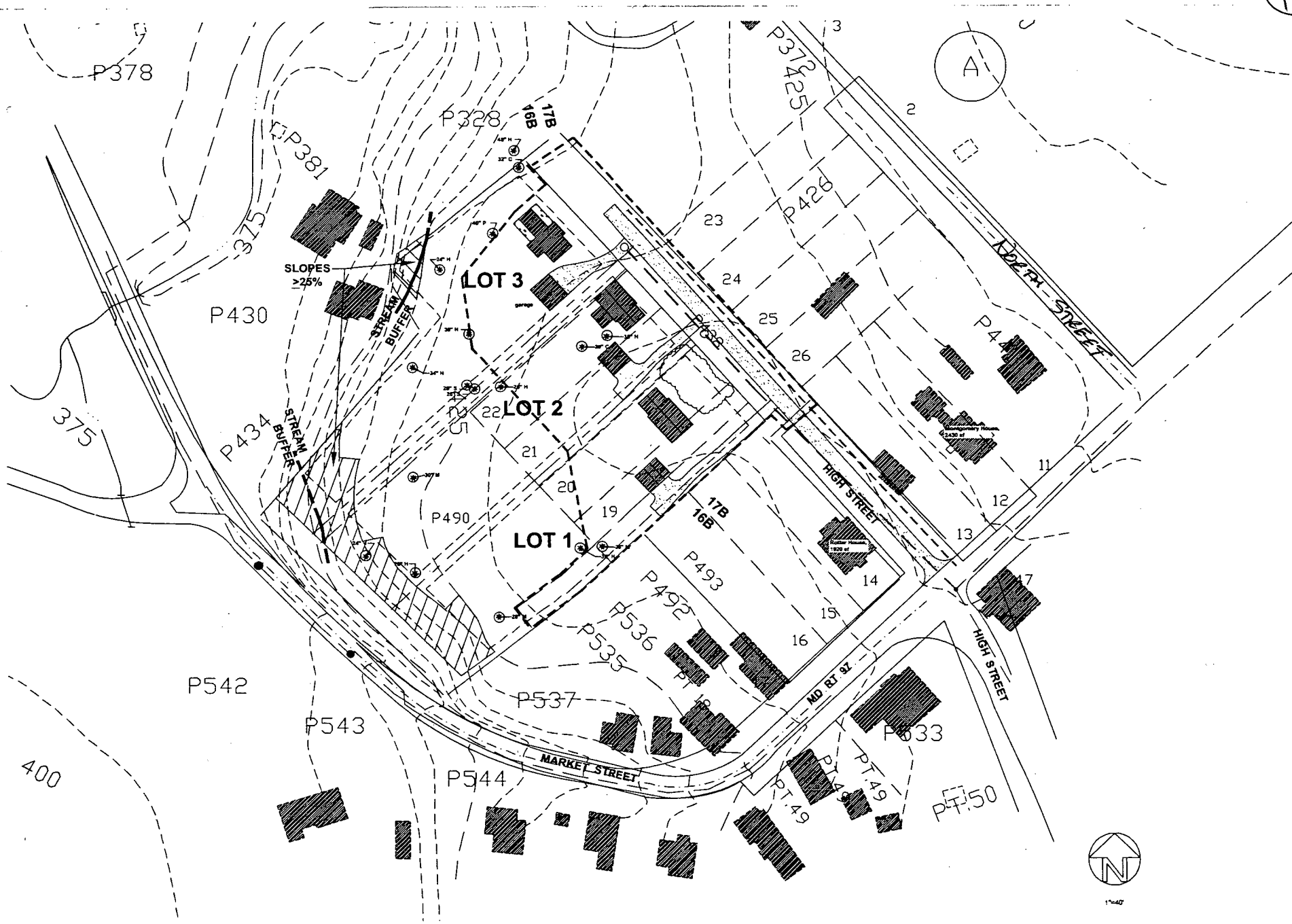
J Gordon & P G Lowder  
North Street  
P.O. Box 244  
Brookeville, Maryland 20833

Harry E & KS Montgomery  
211 Market Street  
P.O. Box 68  
Brookeville, Maryland 20833

*Sidney Potter  
301 Market Street  
Brookeville, MD. 20833*



7

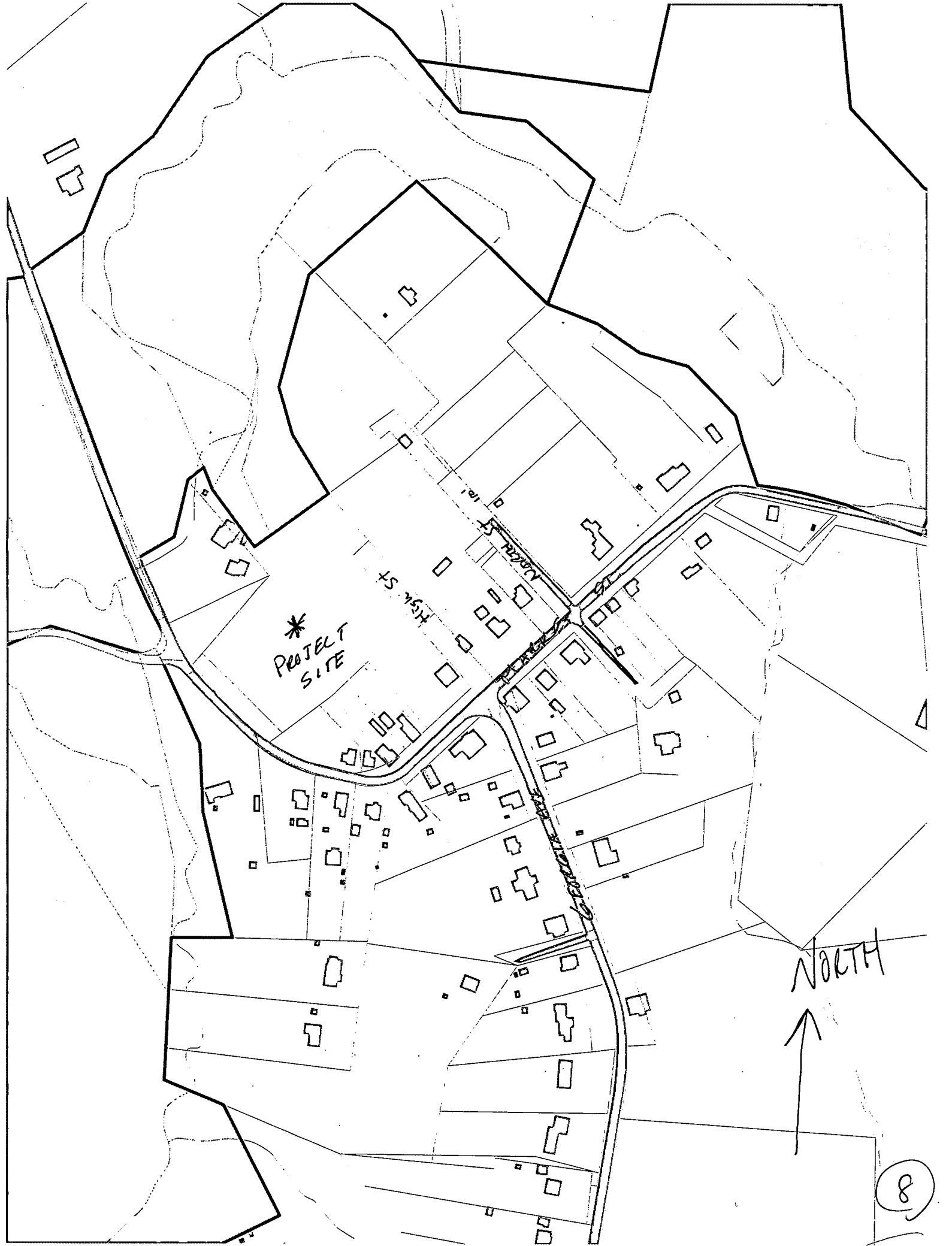


THOMAS J. TALTAVULL  
 ARCHITECT  
 21650 Plain Creek Court  
 Glenmont, MD 20882  
 Phone: 301.840.1847

10.24.2001

PROPOSED SITE DEVELOPMENT FOR  
 ROTTER PROPERTY  
 HIGH STREET  
 BROOKESVILLE, MARYLAND

SP1



\*  
PROJECT  
SITE

HICK ST

NORTH ST

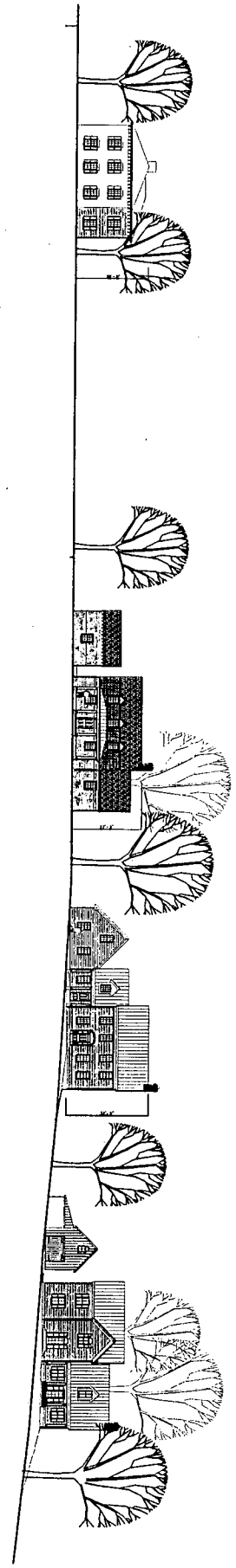
SPRUCE ST

NORTH

8

6

EAST ELEVATION, HIGH STREET  
1" = 20'



PROPOSED ELEVATION FOR HIGH STREET  
 ROTTER PROPERTY  
 HIGH STREET  
 BROOKEVILLE, MARYLAND

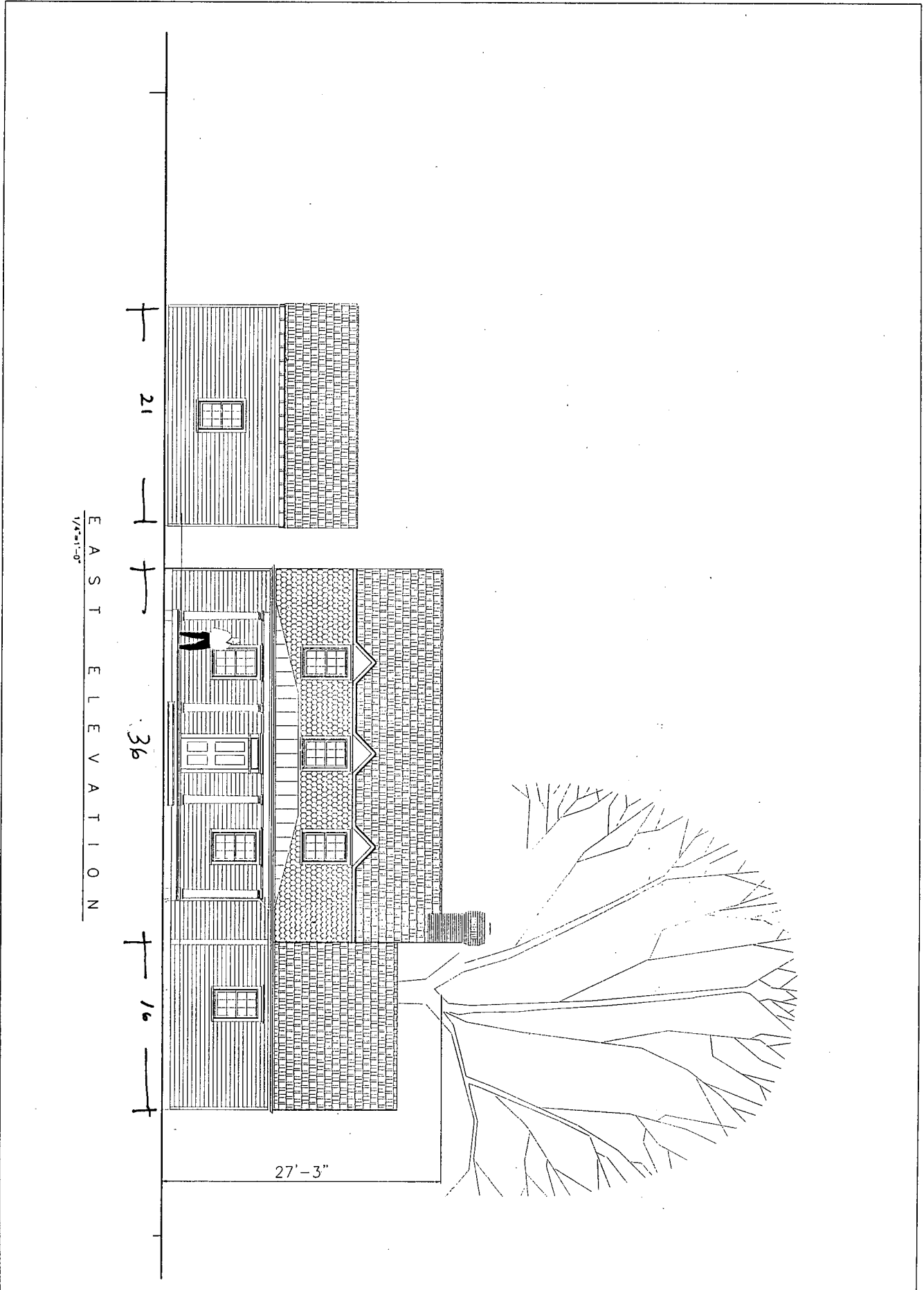
ELEVATIONS

10.24.2011

THOMAS J. TALTAVULL  
 ARCHITECT  
 20650 Paint Creek Court  
 Galtherburg, Maryland 20882  
 301 840 1847



01



EAST ELEVATION  
1/4"=1'-0"

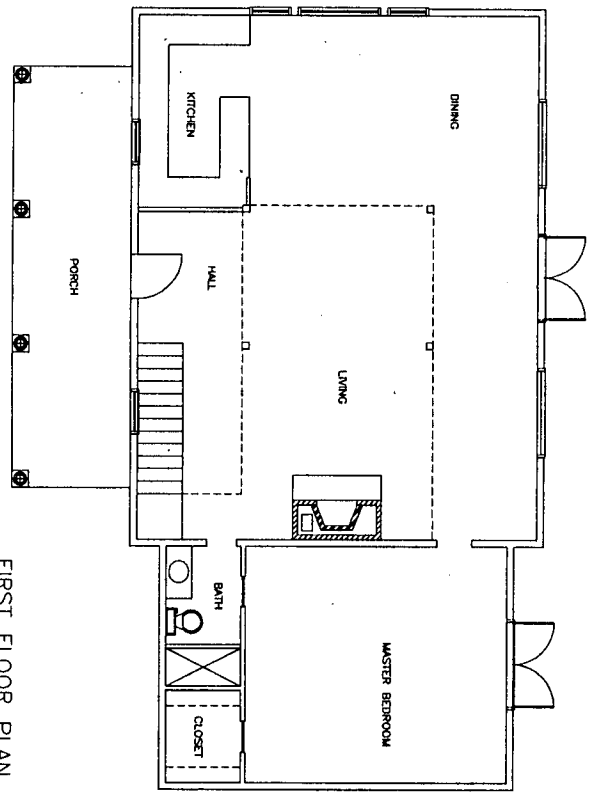
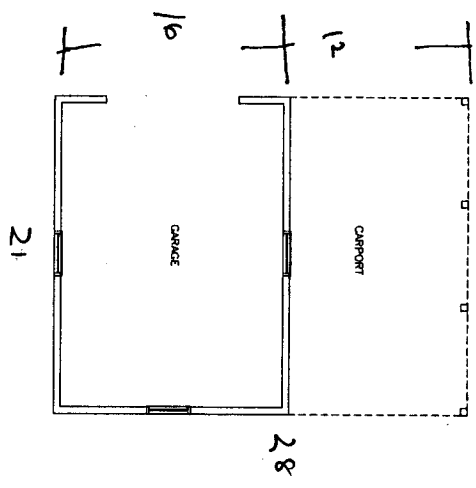
21

36

16

27'-3"

11



FIRST FLOOR PLAN  
 1/4" = 1'-0"  
 Lot 1, 1390 sf

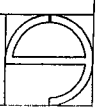
1

PROPOSED PLAN FOR  
 ROTTER PROPERTY, LOT 1  
 HIGH STREET  
 BROOKEVILLE, MARYLAND

FLOOR PLAN

10.24.2001

THOMAS J. TALTAVULL  
 ARCHITECT  
 20660 Plum Creek Court  
 Gaithersburg, Maryland 20882  
 301 840 1847



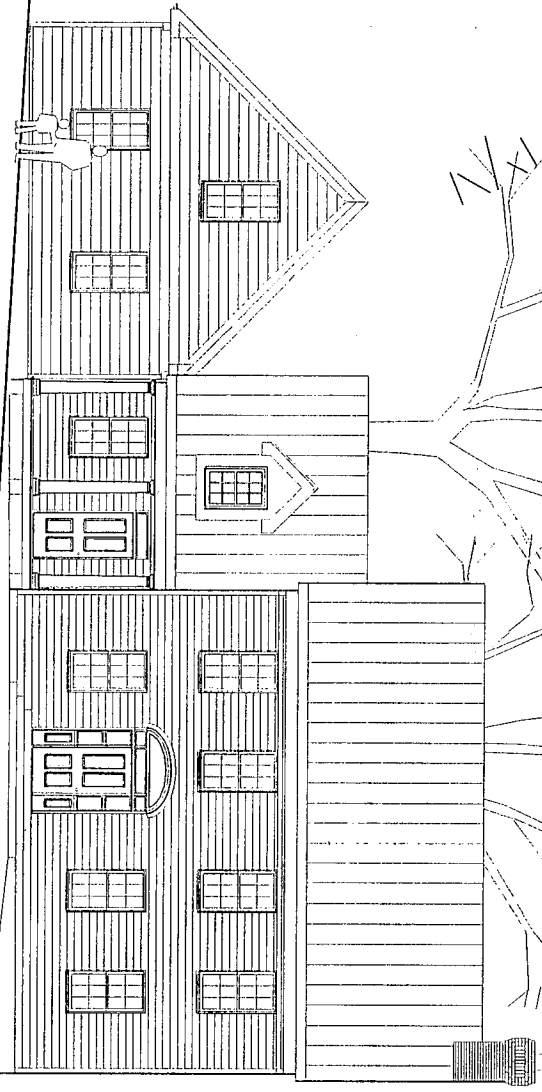


12

EAST ELEVATION  
1/8"=1'-0"

14 32

32'-2"



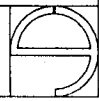
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PROPOSED ELEVATIONS FOR LOT 2  
ROTTER PROPERTY  
HIGH STREET  
BROOKEVILLE, MARYLAND

ELEVATIONS

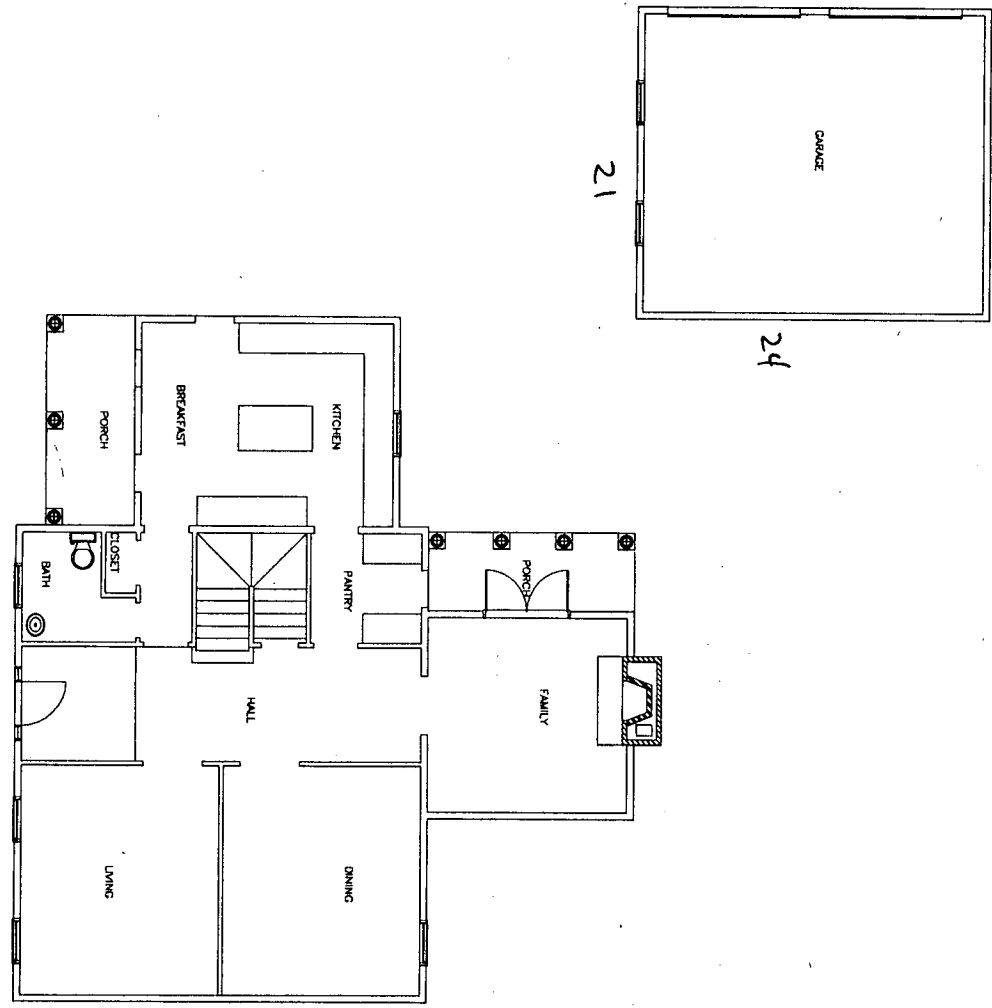
10.24.2007

THOMAS J. TALTAVULL  
ARCHITECT  
20650 Plum Creek Court  
Gethersburg, Maryland 20862  
301.840.1847



13

FIRST FLOOR PLAN  
1/4"=1'-0"  
Lot 2, 1345 sf



2

PROPOSED PLAN FOR  
ROTTER PROPERTY, LOT 2  
HIGH STREET  
BROOKEVILLE, MARYLAND

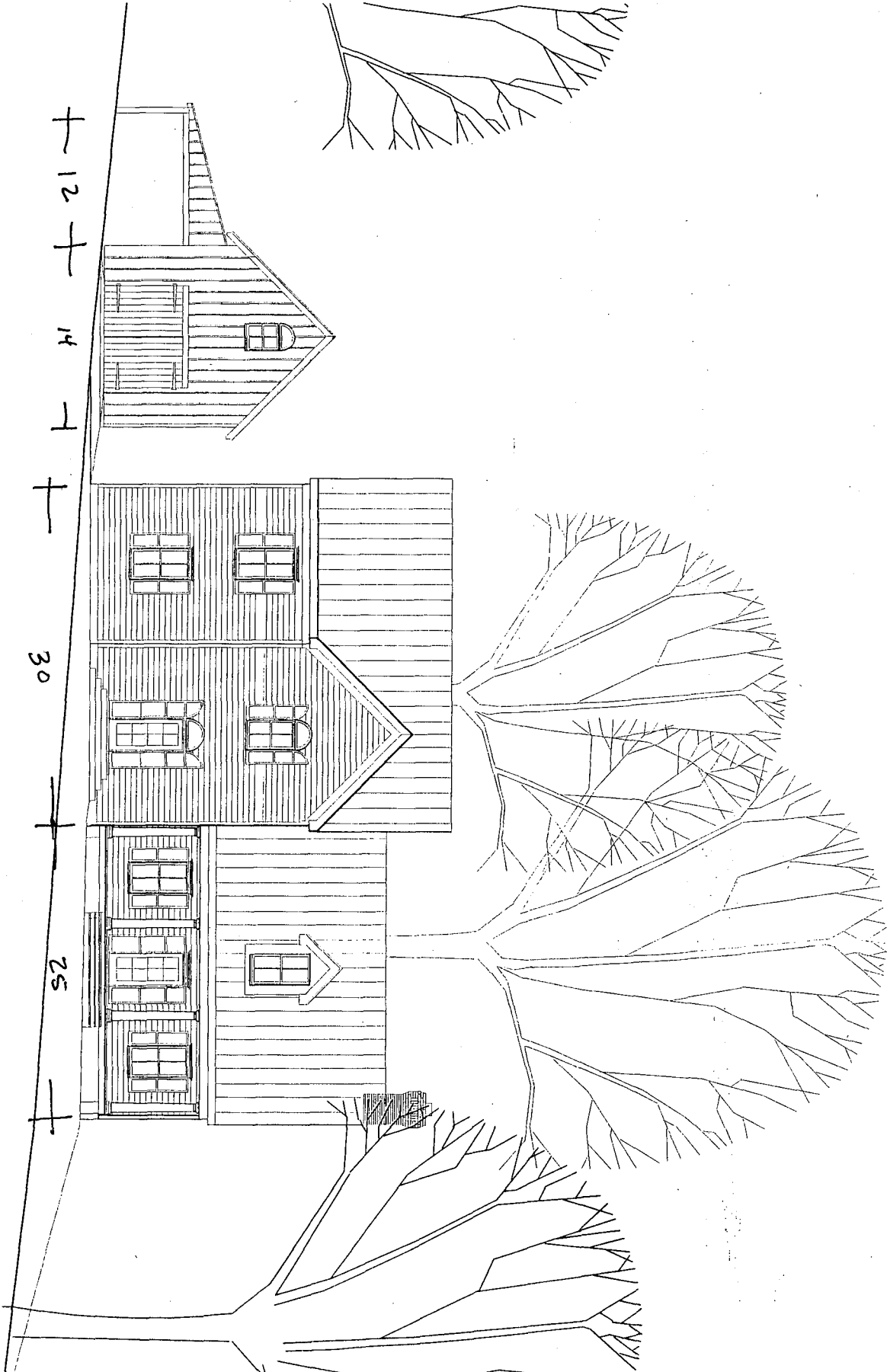
FLOOR PLAN

10.24.2001

THOMAS J. TALTAVULL  
ARCHITECT  
20660 Plum Creek Court  
Gaithersburg, Maryland 20882  
301 840 1847



bl



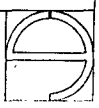
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PROPOSED ELEVATIONS FOR  
 ROTTER PROPERTY, LOT 3  
 HIGH STREET  
 BROOKESVILLE, MARYLAND

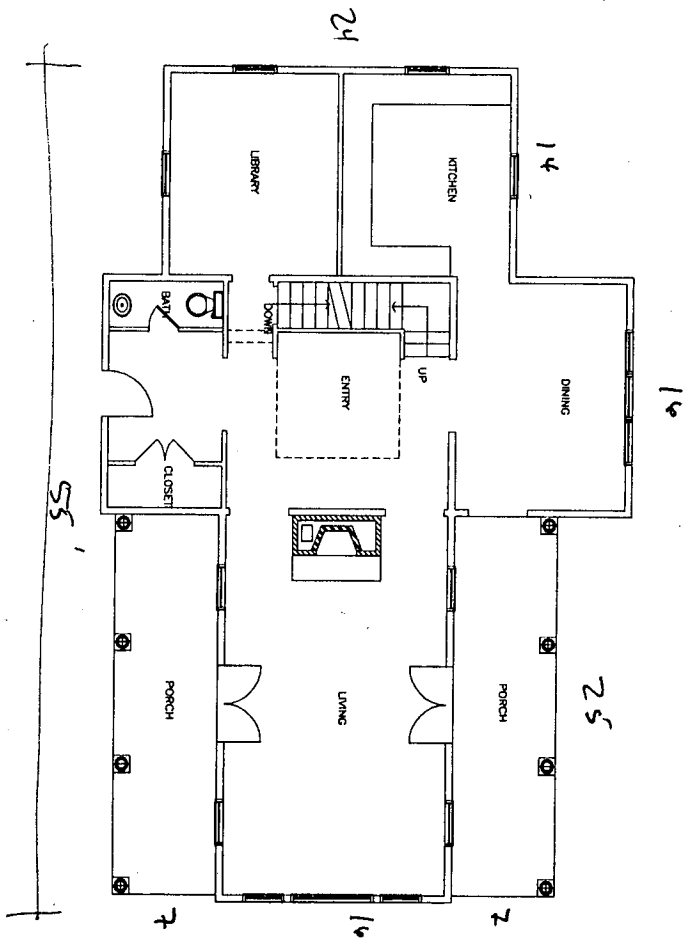
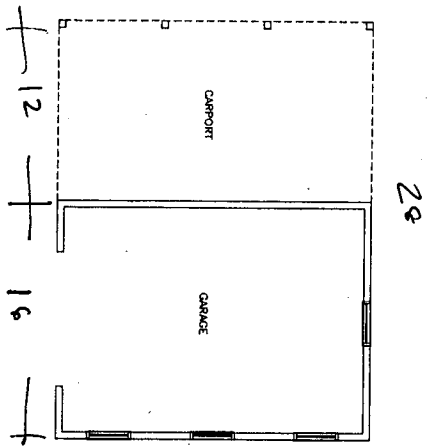
ELEVATION

10.24.2011

THOMAS J. TALTAVULL  
 ARCHITECT  
 20550 Plum Creek Court  
 Gaithersburg, Maryland 20882  
 301 840 1947



15



FIRST FLOOR PLAN  
 1/4"=1'-0"  
 Lot 3, 1290 sf

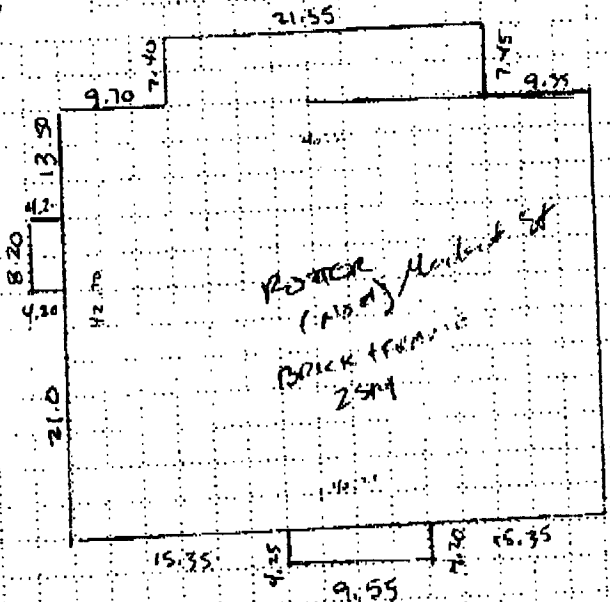


K  
J  
AG

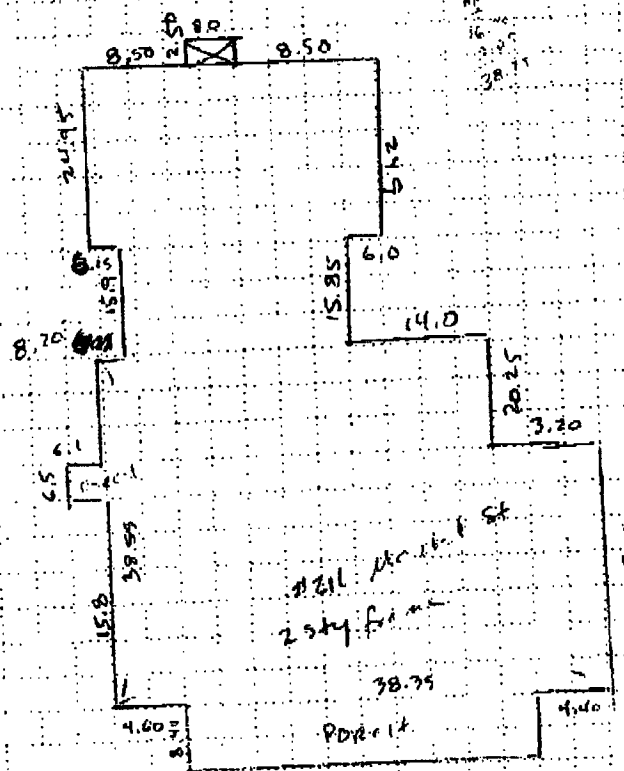
140.65

**THOMAS A. MADDOX**  
PROFESSIONAL LAND SURVEYOR  
4937 Shady Grove Court  
Gallitzburg, MD 20837  
(301) 984-5804

CALL SURVEY



23' facade  
28' to peak



23.5' facade  
30.5' to peak

**HISTORIC PRESERVATION COMMISSION  
SPEAKER'S FORM**

If you wish to speak on an agenda item, please fill out this form and give it to a Historic Preservation staff person sitting at the left end of the table in the front of the auditorium prior to consideration of that item. The Historic Preservation Commission welcomes public testimony on most agenda items.

Please print using ink, and provide your full name, complete address, and name of person/organization that you officially represent (yourself, an adjacent property owner, citizens association, government agency, etc). This provides a complete record and assists with future notification on this case. **This meeting is being recorded. For audio identification, please state your name and affiliation for the record the first time you speak on any item.**

DATE: 11-14-01

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: IV B

NAME: Gus Bauman

COMPLETE MAILING ADDRESS: 1350 I St, NW,  
Suite 700, DC 20005

REPRESENTING (INDIVIDUAL/ORGANIZATION): Applicant

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation.....7 minutes
- Comment by affected property owners on Master Plan designation.....3 minutes
- Comment by adjacent owners/interested parties.....3 minutes
- Comment by citizens association/interested groups.....5 minutes
- Comment by elected officials/government representatives.....7 minutes

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DATE: 11-14-01

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: IB

NAME: RUFFIN MADDOX

COMPLETE MAILING ADDRESS: 3109 BROOKLAWN TER.  
CHENEY CHASE 20815

REPRESENTING (INDIVIDUAL/ORGANIZATION): Applicant

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation.....7 minutes
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- Comment by adjacent owners/interested parties.....3 minutes
- Comment by citizens association/interested groups.....5 minutes
- Comment by elected officials/government representatives.....7 minutes

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DATE: 11/14/01

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: IV B

NAME: David McKee

COMPLETE MAILING ADDRESS: Benning + Assoc., Inc.

8933 Shady Grove Ct. ; Gaithersburg, MD 20877

REPRESENTING (INDIVIDUAL/ORGANIZATION): Applicant

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

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- Comment by adjacent owners/interested parties.....3 minutes
- Comment by citizens association/interested groups.....5 minutes
- Comment by elected officials/government representatives.....7 minutes



**HISTORIC PRESERVATION COMMISSION  
SPEAKER'S FORM**

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DATE: NOVEMBER 14, 2001

AGENDA ITEM ON WHICH YOU WISH TO SPEAK: IV B

NAME: TOM TALTAVULL

COMPLETE MAILING ADDRESS: 20650 PLUM CREEK COURT  
GAITHERSBURG, MARYLAND 20882

REPRESENTING (INDIVIDUAL/ORGANIZATION): APPLICANT

The Montgomery County Historic Preservation Commission observes the following time guidelines for testimony at regular meetings and hearings:

- HAWP applicant's presentation.....7 minutes
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- Comment by elected officials/government representatives.....7 minutes

Thomas J. Taltavull



Architect

## THOMAS J. TALTAVULL

### ARCHITECT

20650 Plum Creek Court  
Gaithersburg, Maryland 20882  
301.840.1847

#### PERSONAL

Born March 28, 1958, Washington, D.C.,  
married, three children.  
Established architectural firm in Maryland in 1991.

#### EDUCATION

The Catholic University of America, Washington, D.C.  
Master of Architecture, 1988

#### PROFESSIONAL PRACTICE

Sole Proprietor of Thomas J. Taltavull, Architects  
1991 to present

#### REGISTRATION

Registered Architect, State of Maryland

#### MEMBERSHIPS

The Historical Society of Washington, D.C.

National Trust for Historic Preservation

Historic Medley District, Board of Director

Preservation Maryland

#### Historic Projects:

- Restoration and preservation of John Poole House
- Restoration of Kentlands Mansion, Gaithersburg, Maryland
- Restoration of Mills house train Museum, City of Gaithersburg
- Design and Construction of  
Two Residences in Harpers Ferry National Historic District
- Feasibility Study for restoration, Warfield House, Laytonsville, Maryland.
- Assist Town of Poolesville in preparation of Design Guidelines for  
New Construction in Poolesville, Maryland

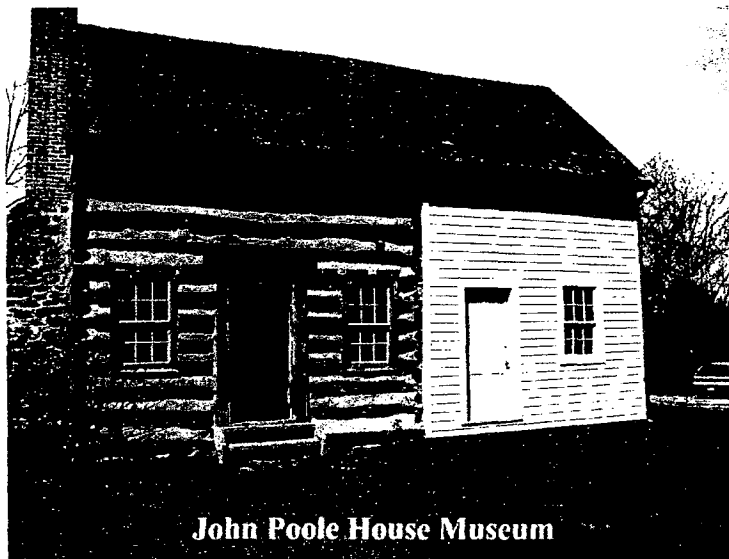
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Brookeville Project



Architect

***Restoration and Preservation of John Poole Museum, Poolesville, Maryland***



**Project Description**

Services Provided: Provided design and contract administration and consultation for restoration and preservation of historic museum.

Contact: Ms. Perry Kephardt  
Result: Ongoing

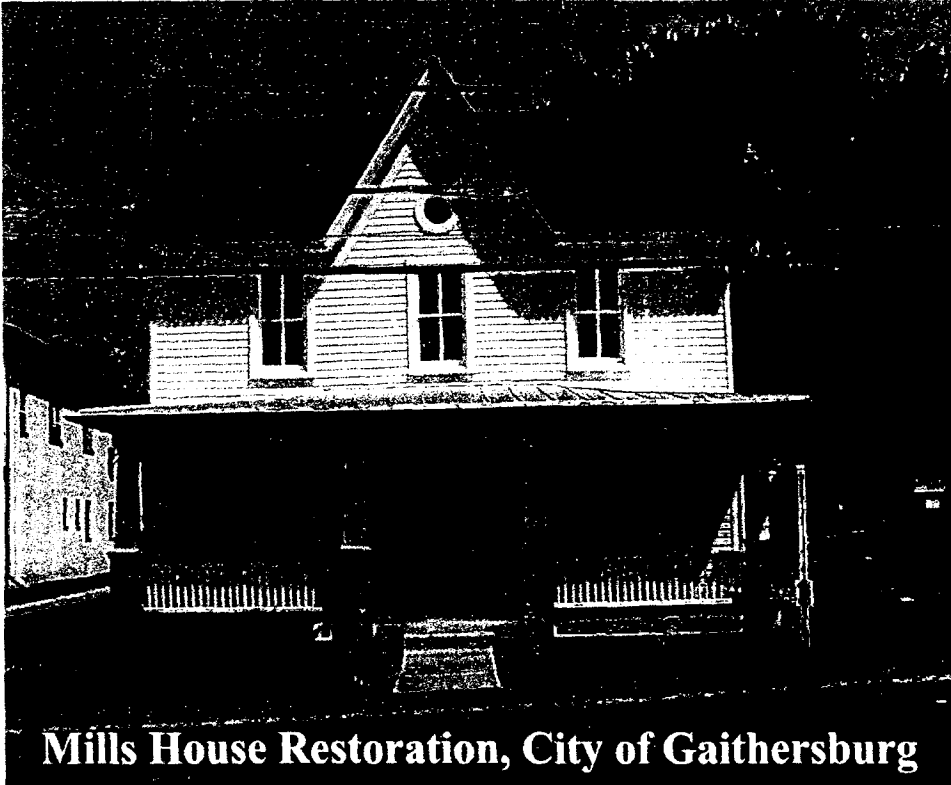
Estimated Cost:  
Construction Cost amount

Thomas J. Taltavull



Architect

***City of Gaithersburg Model Train Museum***



**Mills House Restoration, City of Gaithersburg**

**Project Description**

Services Provided:	Restoration and renovation of Historic house in Old Town Gaithersburg, converting building into Model Train Museum
Contact:	Wes Burnette, 301-258-6330
Result:	Completed on time, on budget
Construction Cost:	\$350,000.00

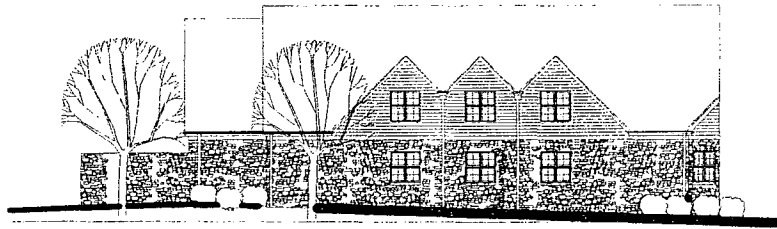
Thomas J. Taltavull



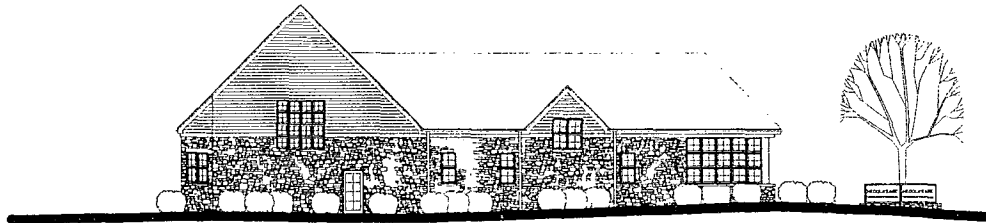
Architect

## PROJECTS

### ***Washingtonian Veterinary Hospital***



Washingtonian Blvd.



Fields Road

### **Project Description**

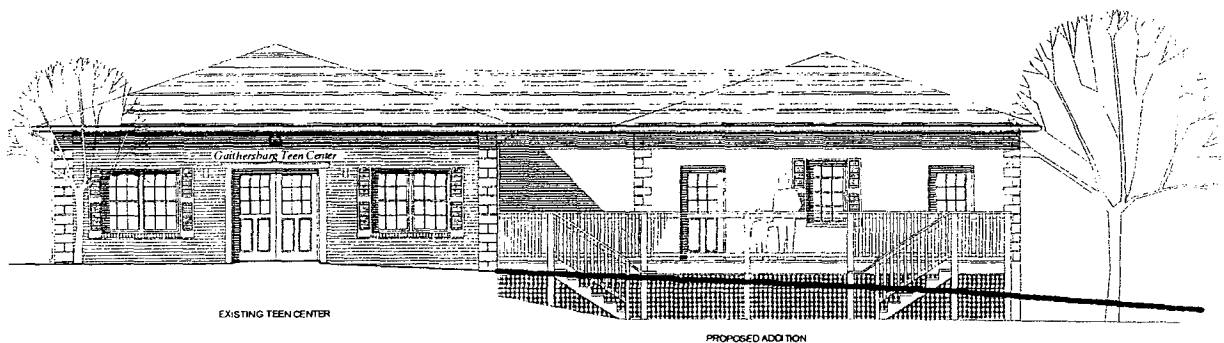
Services Provided:	Design for new construction of 10,000 S.F. veterinary hospital, Washingtonian Center, Gaithersburg
Client:	Negola Holdings LLC
Contact:	Dr. Dan Negola (301) 216-0066
Result:	Currently under construction
Estimated Cost:	\$1,000,000
Construction Cost amount	\$1,008,000

Thomas J. Taltavull



Architect

### ***City of Gaithersburg Teen Center Addition and Renovation***

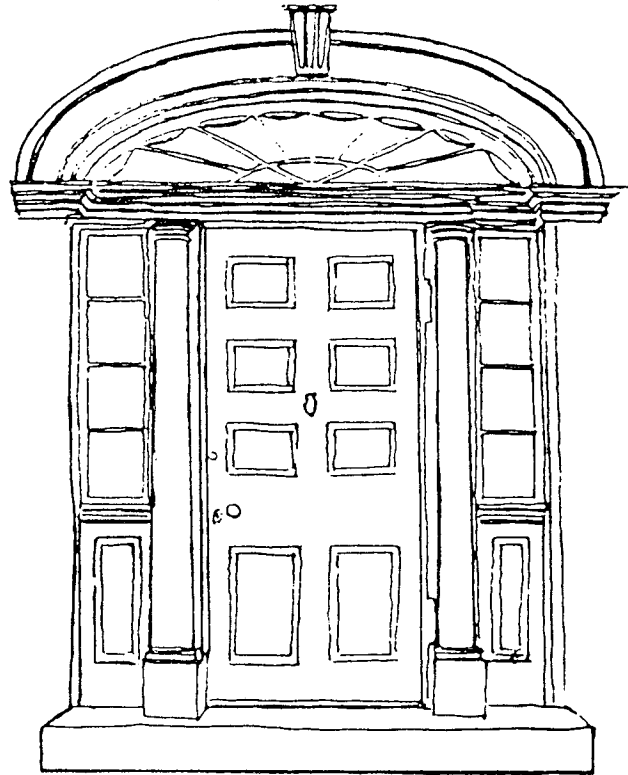


### **Project Description**

Services Provided:	Site development and building design for renovations and addition to existing Teen Center
Contact:	Wayne Appenzellar, 301.258.6370
Result:	Project currently under construction
Estimated Cost:	\$395,600.00
Contract Cost:	\$306,943.00

# A New Town Hall

## Poolesville, Maryland



Thomas J. Taltavull  
Thesis Design

**Conceptual Framework:** My thesis challenge involves a search for ways and means to preserve the small-town character of an existing semi-rural community, protect and restore its historic district, and maintain and strengthen the town center with community and commercial services, in an effort to prevent a loss of its highly desirable characteristics to otherwise unplanned development pressures.

**Rationale of Proposed Project:** Poolesville, Maryland, located in western Montgomery County, offers its residents a small-town lifestyle. The population has grown from 350 in 1970 to 3500 today and is projected to double by the year 2000. The buildings in the town center, established independently over a considerable amount of time (since 1793) are not continuous and are separated by vacant tracts. The future of Poolesville's town center is crucial. This is the area that will provide the town with a link to its historic past, and create, because of its scale and activity, the image of small-town America, despite its projected population growth. The proposed town hall would provide the setting and symbol to establish a viable public and commercial center, while serving as a reminder of the town's historic character.

**Site:** The proposed town hall site is located at the crossroads of the two busiest roads in the town center.

**Program:** The town hall consists of three main parts. A meeting hall for public discussion, public service office space and space for ad hoc community projects.

Thomas J. Taltavull



Architect

## THOMAS J. TALTAVULL

### ARCHITECT

20650 Plum Creek Court  
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301.840.1847

#### PERSONAL

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- Restoration of Kentlands Mansion, Gaithersburg, Maryland
- Restoration of Mills house train Museum, City of Gaithersburg
- Design and Construction of  
Two Residences in Harpers Ferry National Historic District
- Feasibility Study for restoration, Warfield House, Laytonsville, Maryland.
- Assist Town of Poolesville in preparation of Design Guidelines for  
New Construction in Poolesville, Maryland

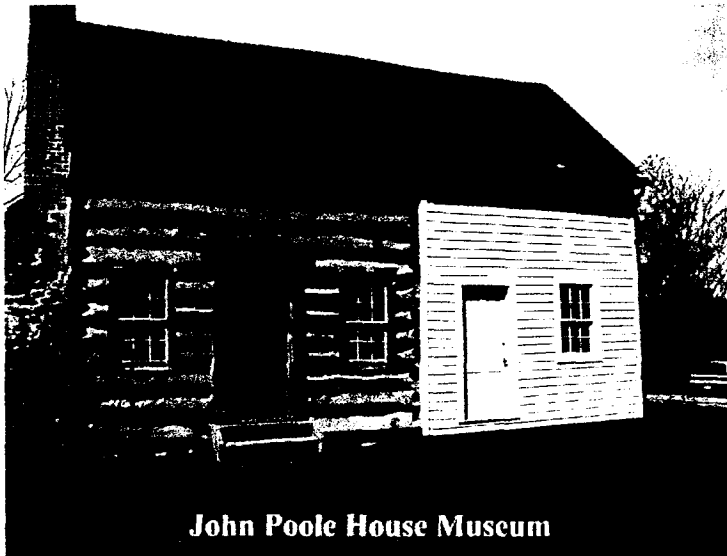


Thomas J. Taltavull



Architect

***Restoration and Preservation of John Poole Museum, Poolesville, Maryland***



**John Poole House Museum**

**Project Description**

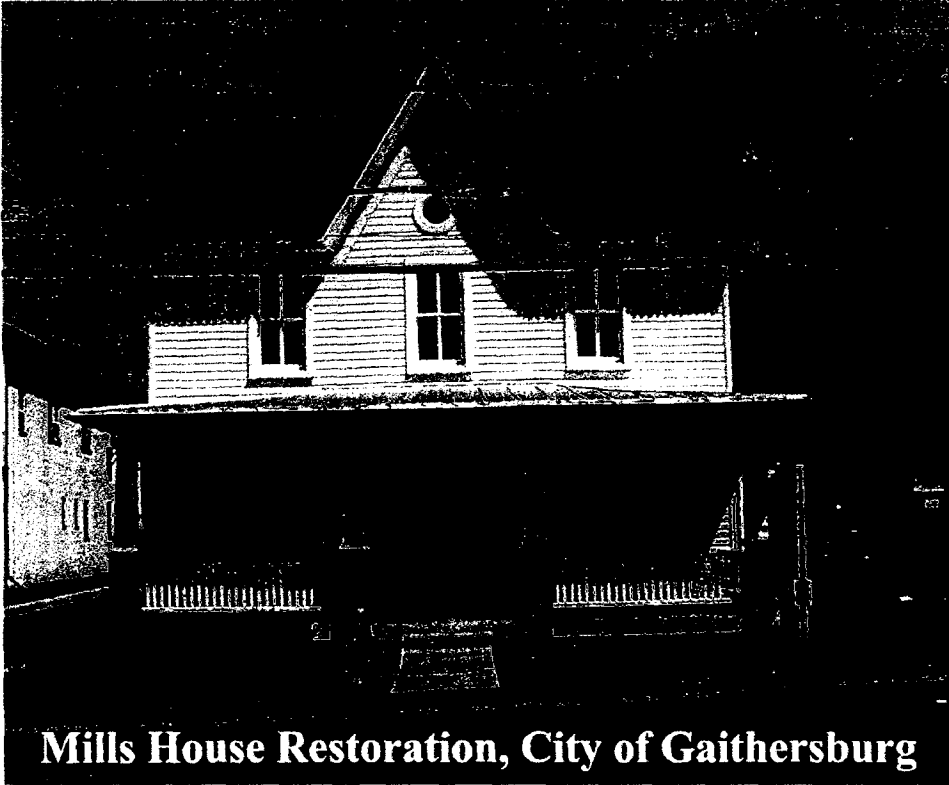
Services Provided:	Provided design and contract administration and consultation for restoration and preservation of historic museum.
Contact:	Ms. Perry Kephardt
Result:	Ongoing
Estimated Cost:	
Construction Cost amount	

Thomas J. Taltavull



Architect

***City of Gaithersburg Model Train Museum***



**Mills House Restoration, City of Gaithersburg**

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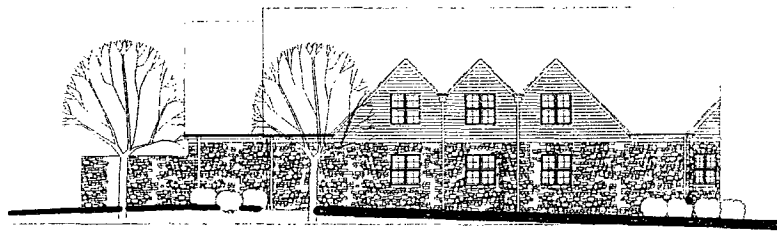
Thomas J. Taltavull



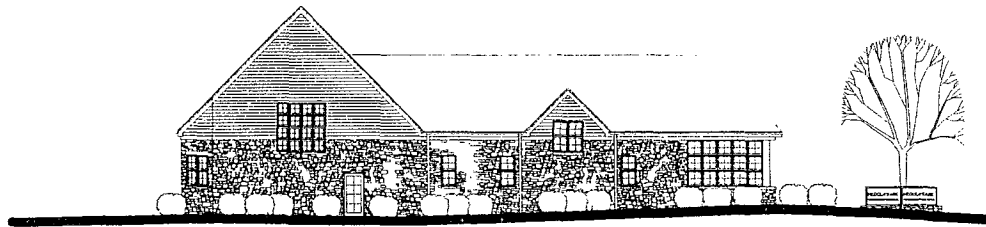
Architect

## PROJECTS

### ***Washingtonian Veterinary Hospital***



Washingtonian Blvd.



Fields Road

### **Project Description**

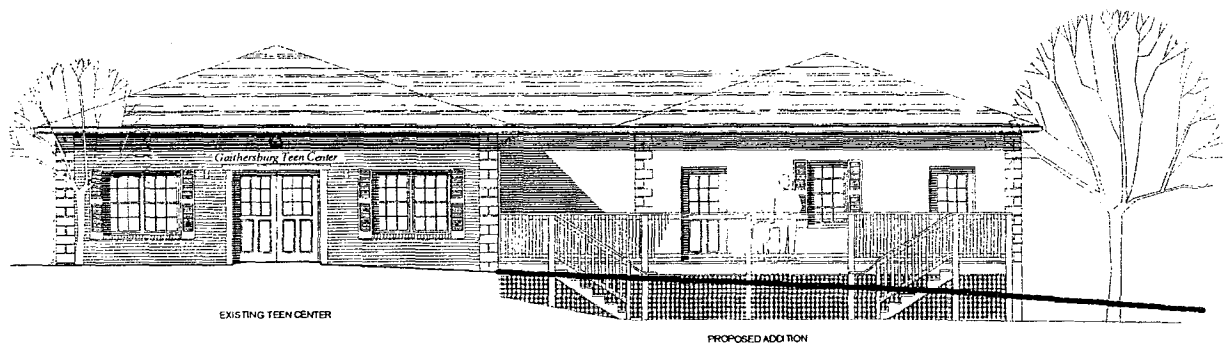
Services Provided:	Design for new construction of 10,000 S.F. veterinary hospital, Washingtonian Center, Gaithersburg
Client:	Negola Holdings LLC
Contact:	Dr. Dan Negola (301) 216-0066
Result:	Currently under construction
Estimated Cost:	\$1,000,000
Construction Cost amount	\$1,008,000

Thomas J. Taltavull



Architect

## ***City of Gaithersburg Teen Center Addition and Renovation***

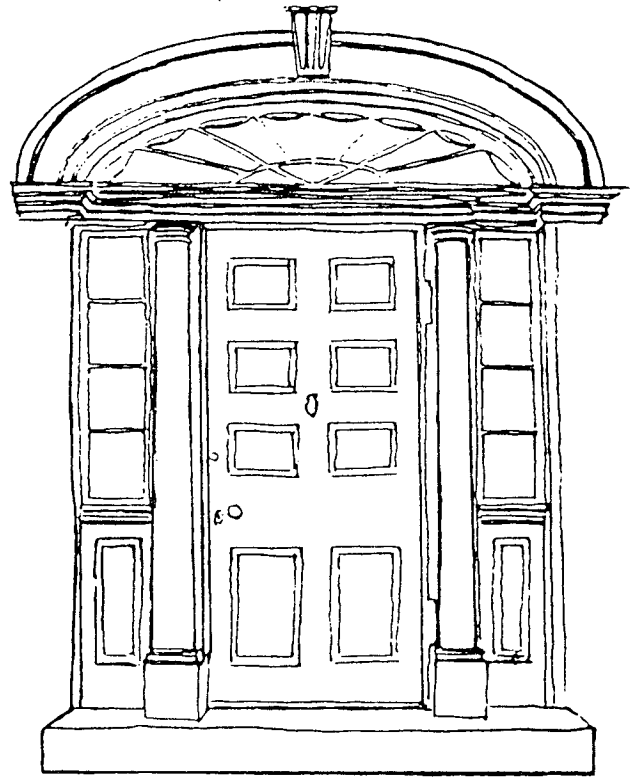


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**vue-all**  
KODAK SAFETY FILM

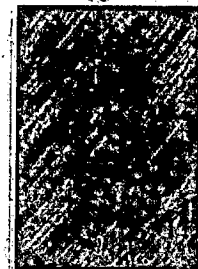
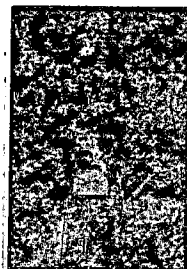
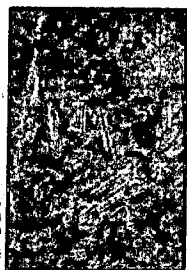
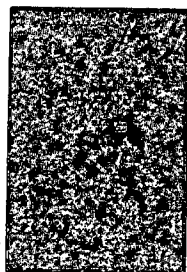
**Slide-Saver**

Made in U.S.A.

DATE \_\_\_\_\_

NO. \_\_\_\_\_

TITLE \_\_\_\_\_



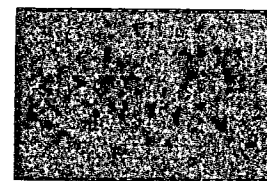
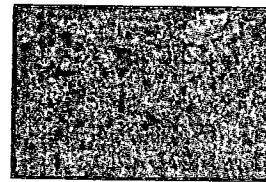
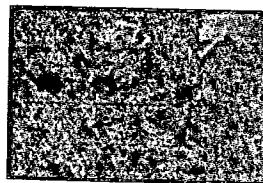
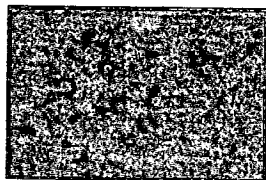
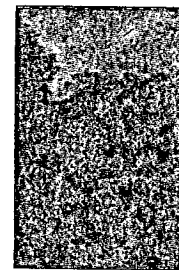
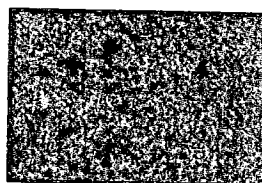
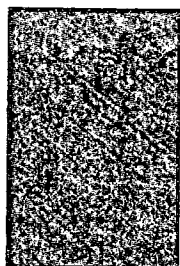
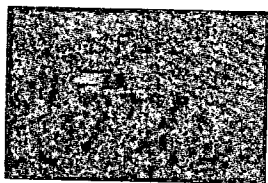
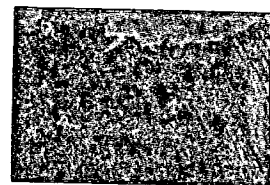
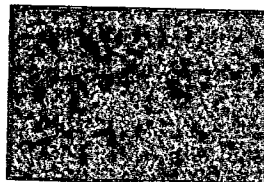
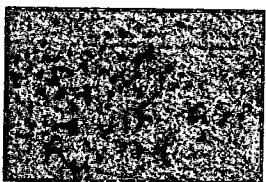
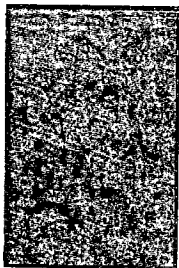
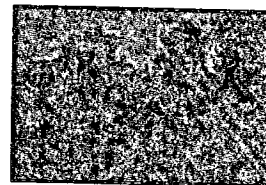
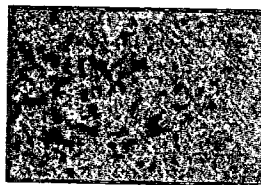
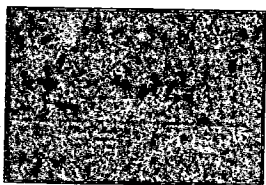
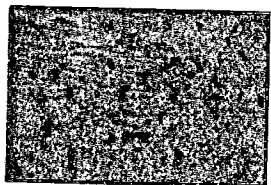
2-14-96

2-14-96

Proskerville

2-14-96

2-14-96



Robert Nothstein  
9918 Capitol View Avenue  
Silver Spring, MD 20910

Paul LaGasse & Mary Jo Lazun  
9912 Capitol View Avenue  
Silver Spring, MD 20910

**CAPITOL VIEW PARK  
LAP**

**31/7-01K**  
**S. Diamond & S. Hazelett**  
**10110 Day Avenue**  
**Silver Spring, MD 20910**

**Paxton Holt Jordan, LLC**  
**Jordan Honeyman, ASLA**  
**1003 K Street, N.W.**  
**Washington, DC 20001**

James Alward  
10109 Capitol View Avenue  
Silver Spring, MD 20910

Hector and Gloria Mimiaga  
10107 Capitol View Avenue  
Silver Spring, MD 20910

Janice Rodgers  
10106 Capitol View Avenue  
Silver Spring, MD 20910

Celeste & Marius Veraart  
10106 Day Avenue  
Silver Spring, MD 20910

Nancy Garrison  
10108 Day Avenue  
Silver Spring, MD 20910

Bob Nowak & David Bergman  
10112 Day Avenue  
Silver Spring, MD 20910

**PRELIM: 10314 Fawcett  
Kensington**

**George Myers**  
**GTM Architects**  
**10415 Armory Avenue**  
**Kensington, MD 20895**

Ken & Kyle Richards  
10312 Fawcett Street  
Kensington, MD 20895

Sean & Kerry Ann Scanlon  
10318 Fawcett Street  
Kensington, MD 20895

Harry & Denise Orenstein  
10313 Fawcett Street  
Kensington, MD 20895

Charlie & Ginny Steuart  
10319 Fawcett Street  
Kensington, MD 20895

James Sharp  
10226 Carroll Place  
Kensington, MD 20895

**KENSINGTON LAP 15 copies**

**Thomas J. Taltavull, AIA**  
**20650 Plum Creek Court**  
**Gaithersburg, MD 20882**

**PRELIM: Rotter Property in  
Brookeville**

**Sidney Rotter**  
**301 Market Street**  
**Brookeville, MD 20833**

*Gas Bauhaus, Attorney  
Beveridge v Diamond, 1350 # "I" St, NW, Wash. DC 20005  
Suite 700*  
Margaret C. Kay  
313 Market Street  
Brookeville, MD 20833-2505

Sidney D. Wells, III  
309 Market Street  
Brookeville, MD 20833

Robert K. & D.H. Heritage  
307 Market Street  
Brookeville, MD 20833

Mark T. & Al Ennes  
316 Market Street  
Brookeville, MD 20833

William Patton  
Deborah A. Harrington -Patton  
318 Market Street  
Brookeville, MD 20833-2501

David C. & E.A. Yinger  
19801 Georgia Avenue  
Brookeville, MD 20833

J. Gordon & P. Lowder  
P.O. Box 244  
Brookeville, MD 20833

Harry & K.S. Montgomery  
211 Market Street  
P.O. Box 68  
Brookeville, MD 20833

*Tom Taltavull, AIA  
20650 Plum Creek Court, Gaithersburg MD 20882*



Lot 3 North St.

1200 sq exclusive of front porch  
+ 713 sq garage;  
+ 240 sq shed.

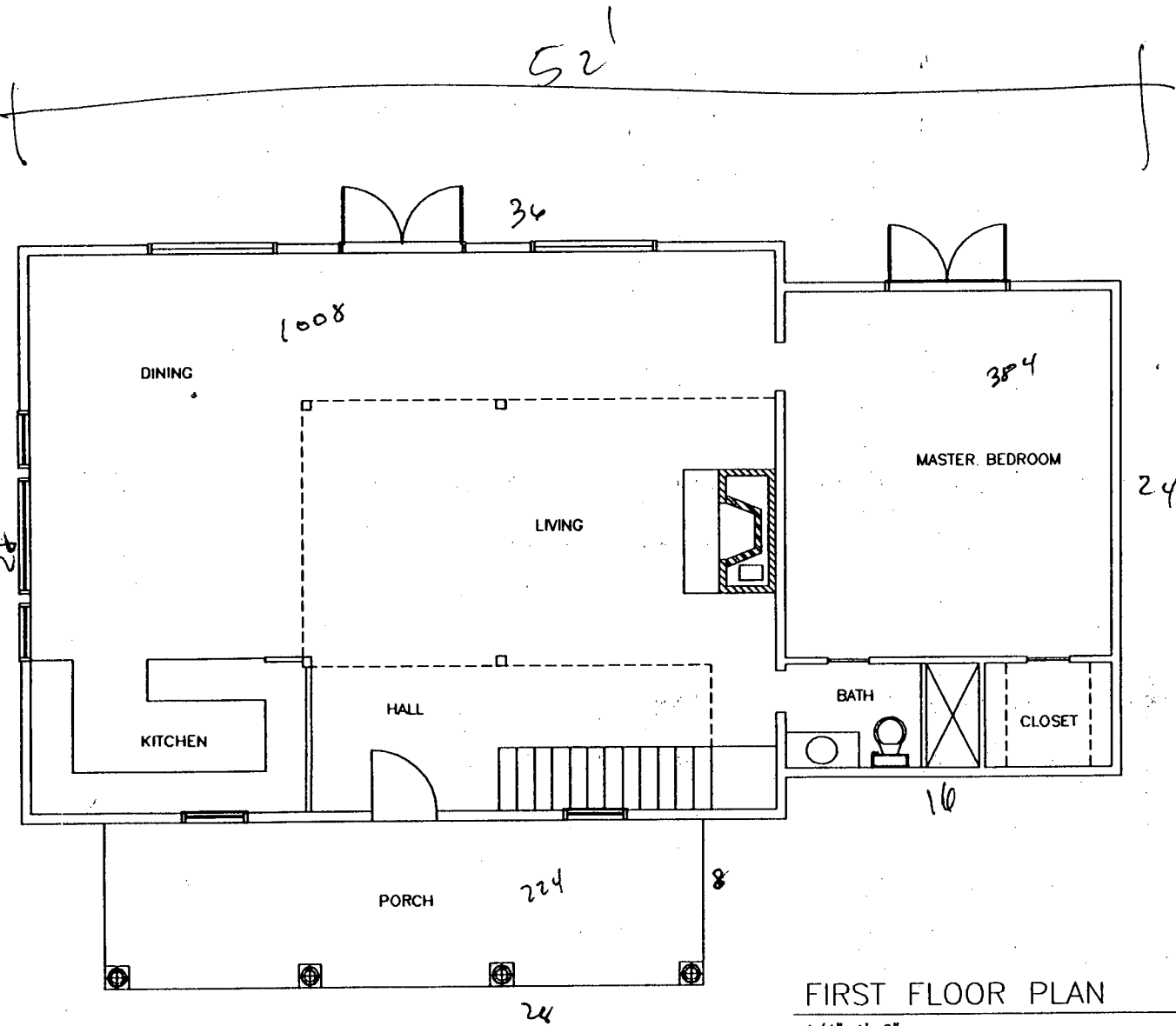
Lot 2: 1189 sq

110' wide lots.



E A S T E L E V A T I O N

1/4"=1'-0"



1614 ±

*exclusive of porch*  
↓

FIRST FLOOR PLAN

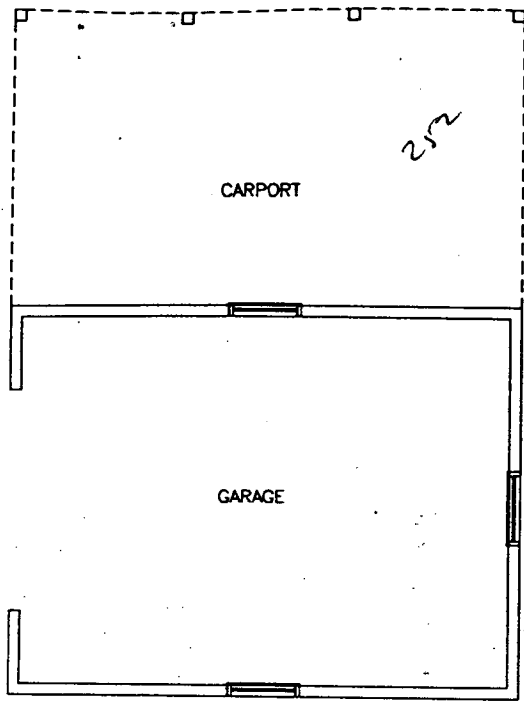
1/4" = 1'-0"

Lot 1, 1390 sf

FLOOR PLAN

PROPOSED PLAN FOR  
ROTTER PROPERTY, LOT 1  
HIGH STREET  
BROOKVILLE, MARYLAND

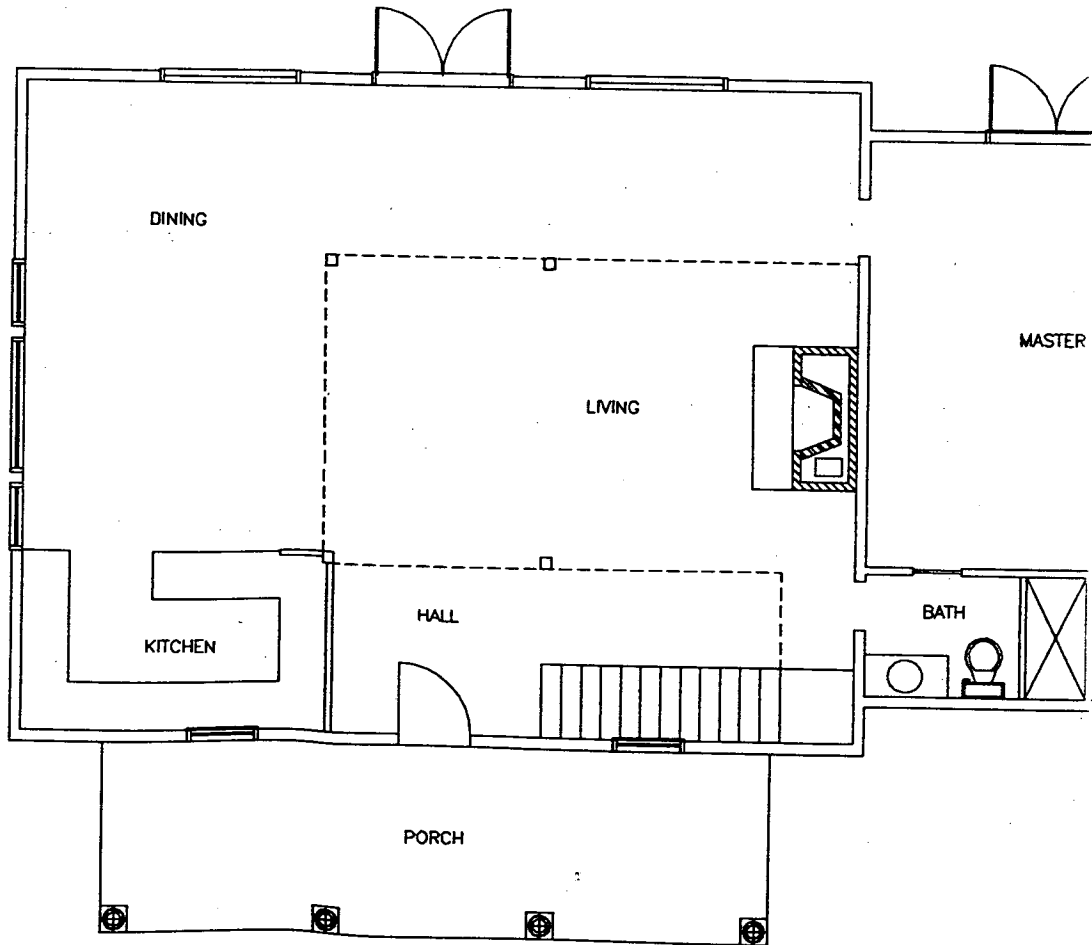
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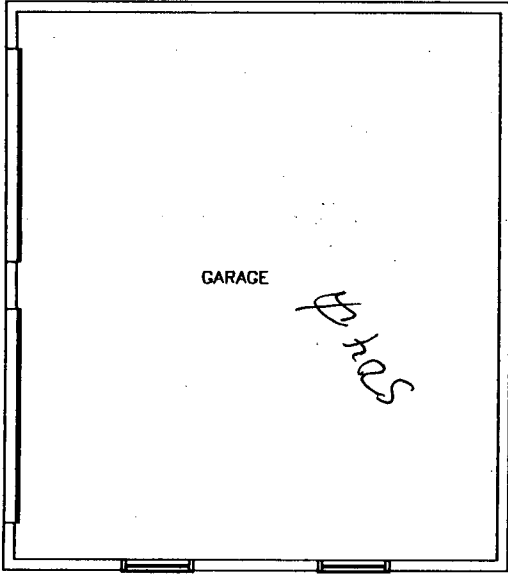
~~21~~

588

336



FIRST FLOOR



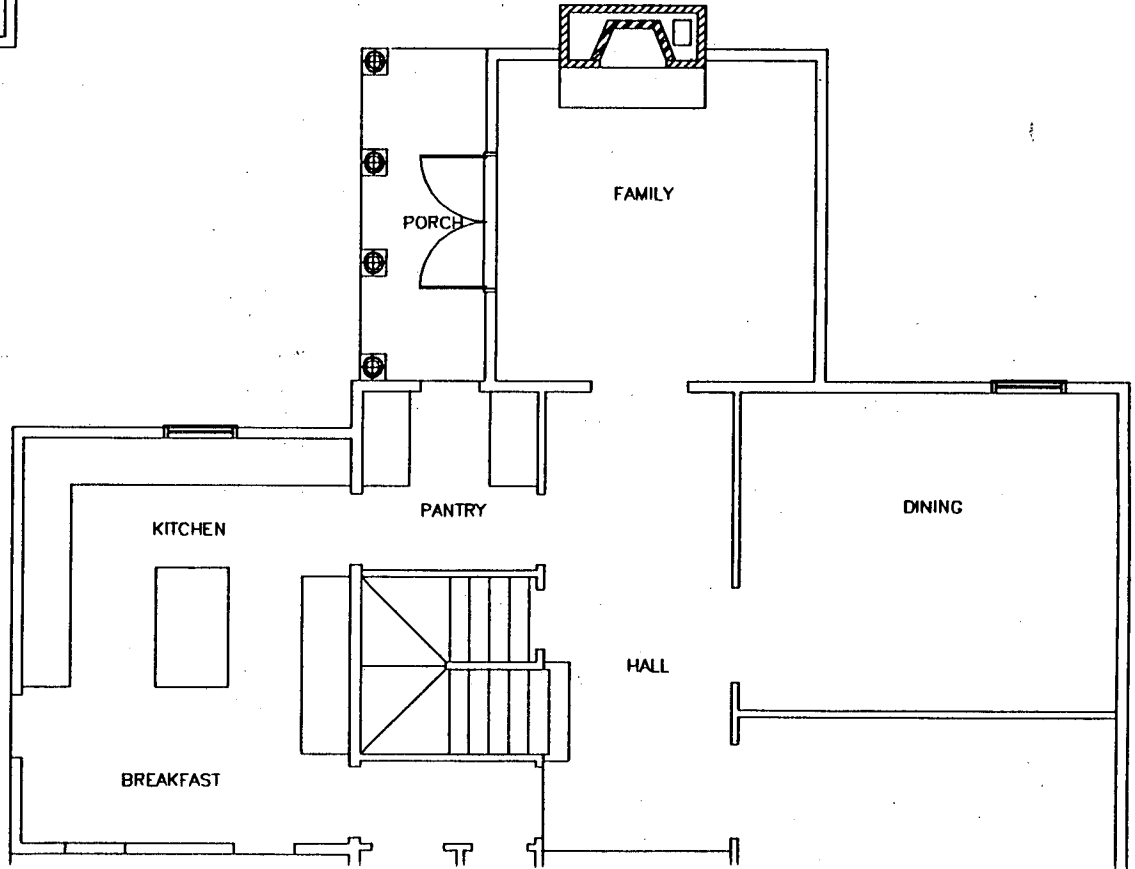
GARAGE

21

Garage

22

22



KITCHEN

BREAKFAST

PANTRY

PORCH

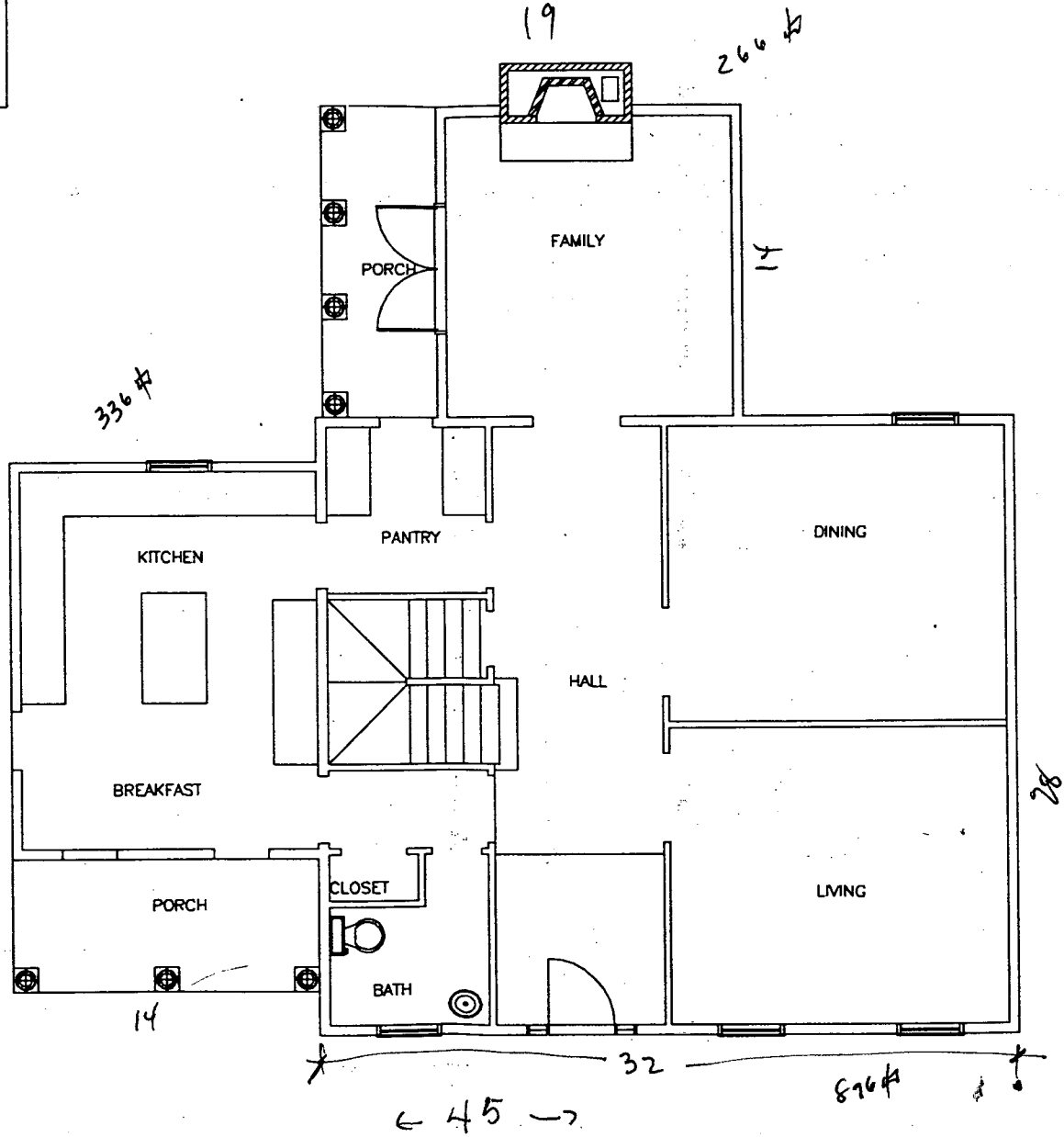
FAMILY

DINING

HALL

GARAGE

1498 #  
1533 #



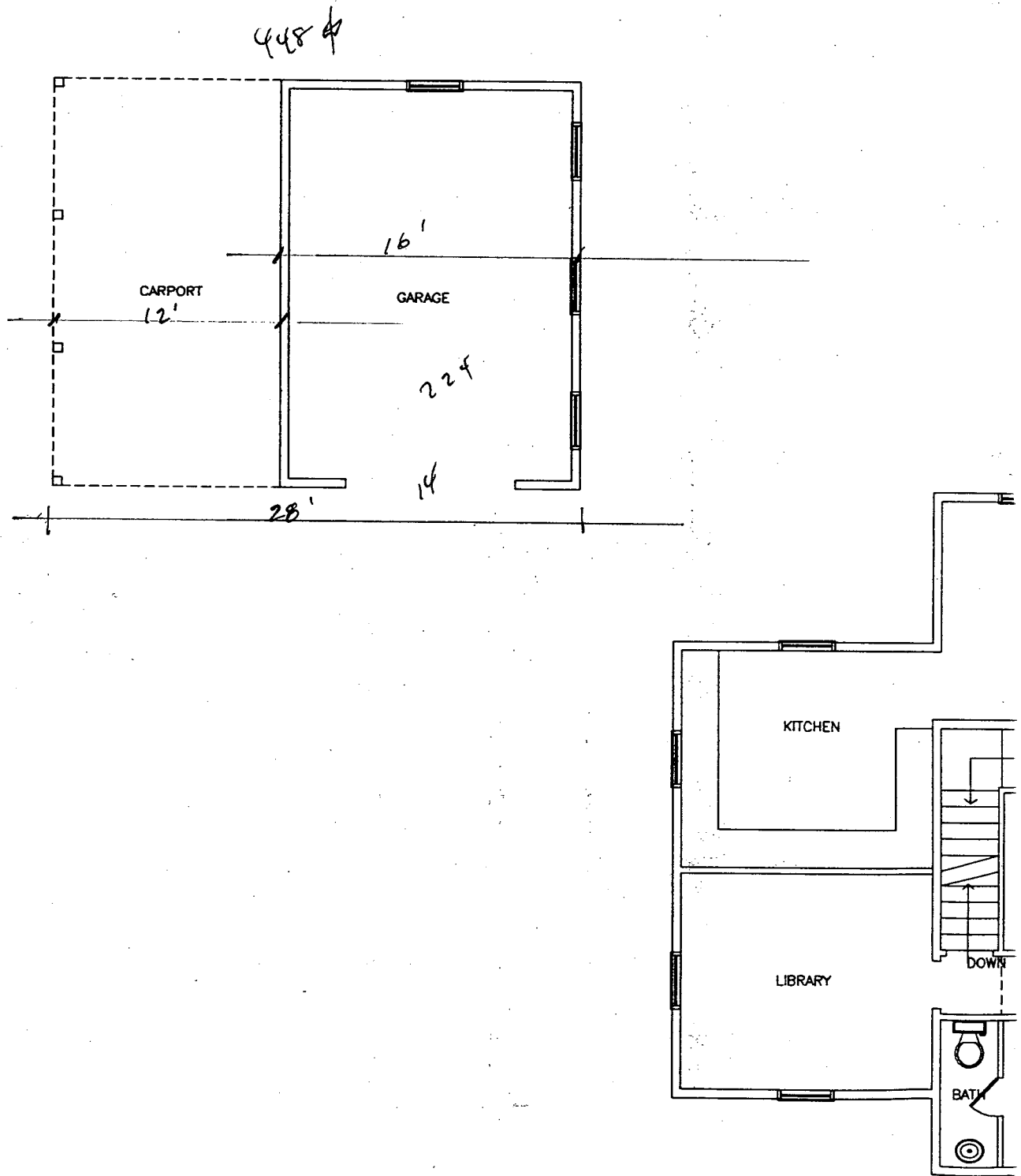
FIRST FLOOR PLAN

Lot 2, 1345 sf

1/4"=1'-0"

3

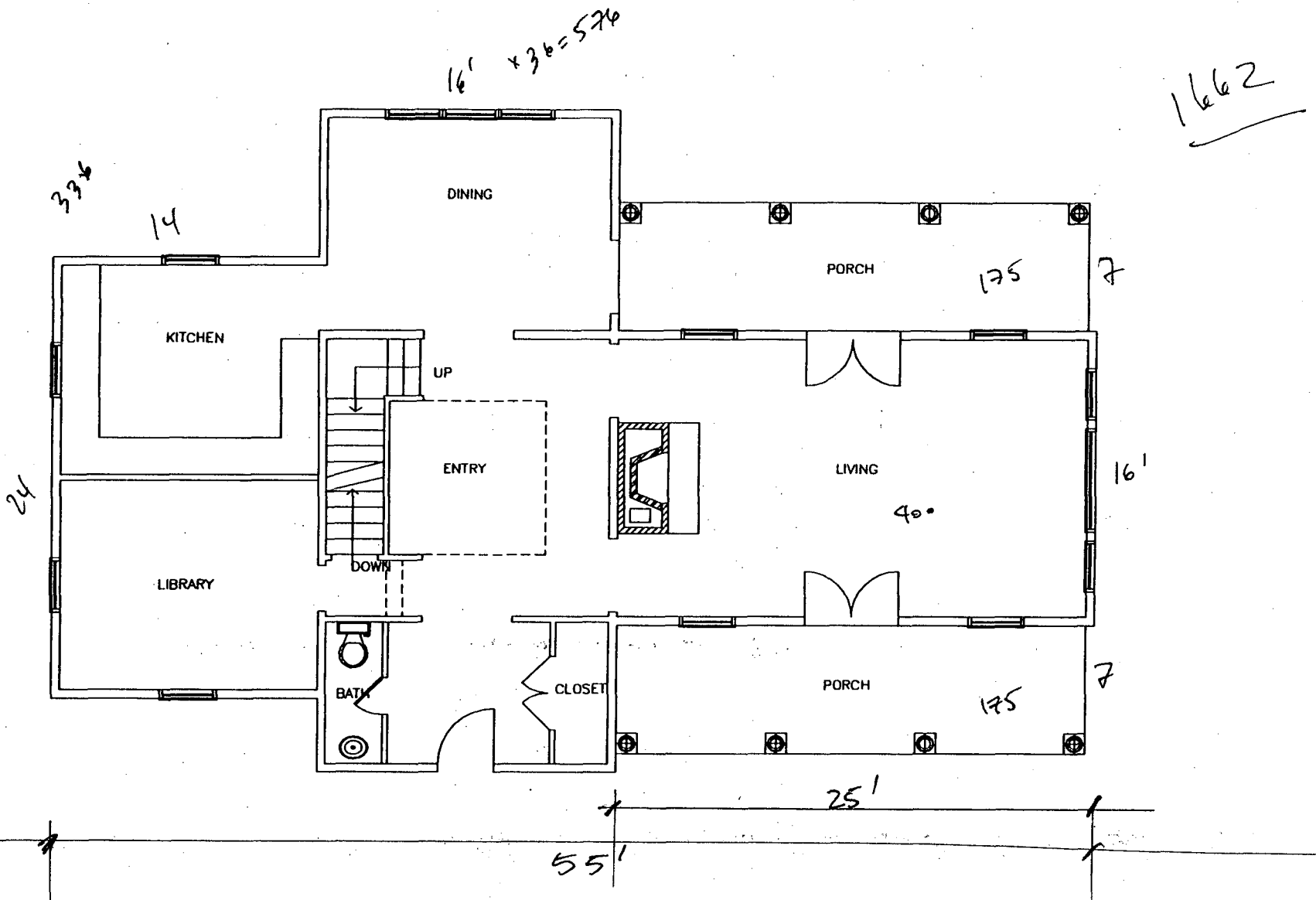
1/8" scale



FIRST FLOOR PLAN

Lot

1/4" = 1'-0"



FIRST FLOOR PLAN

Lot 3, 1290 sf

1/4"=1'-0"

FLOOR PLAN

PROPOSED PLAN FOR  
ROTTER PROPERTY, LOT 3  
HIGH STREET  
BROOKVILLE, MARYLAND



**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**

301-563-3400

**WEDNESDAY  
November 14, 2001**

MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
MRO AUDITORIUM  
8787 GEORGIA AVENUE  
SILVER SPRING, MARYLAND 20910

**PLEASE NOTE:** The HPC agenda is subject to change any time after printing or during the commission meeting. Please contact the Historic Preservation Commission at the number above to obtain current information. If your application is included on this agenda, you or your representative is expected to attend.

I. HPC WORKSESSION - 7:00 p.m.

II. HISTORIC PRESERVATION EASEMENT - 7:30 p.m. in MRO Auditorium.

R

✓ A. James B. Graham and Victoria Clarke, for **Montgomery County Historic Preservation Easement** donation at 4728 Dorset Avenue, Chevy Chase (Somerset Historic District).

III. HISTORIC AREA WORK PERMITS - 7:40 p.m. in MRO Auditorium.

P

A. Four Streams Golf Associates (Joseph Meyerhoff, Agent), for rehabilitation and new construction at 19501 Darnestown Road, Beallsville (HPC Case No. 17/02-01A **Retroactive**) (*Master Plan #17/02, Charline Manor /Hanover*).

M

B. Susan & Charlie Tate, for rear/side addition at 5904 Connecticut Avenue, Chevy Chase (HPC Case No 35/13-01Z) (Chevy Chase Village Historic District).

M

C. Laura Welch, for fence installation at 7118 Cedar Avenue, Takoma Park (HPC Case No. 37/3-01NN) (Takoma Park Historic District).

M

D. Robert J. & Marjorie S. Biersher, for fence installation at 9914 Capitol View Avenue, Silver Spring (HPC Case No. 31/7-01J) (Capitol View Park Historic District).

P

E. Susan Diamond & Samuel Hazelett (Holt Jordan, Agent), for fence modifications at 10110 Day Avenue, Silver Spring (HPC Case No. 31/7-01K) (Capitol View Park Historic District).

(OVER)

IV. PRELIMINARY CONSULTATION - 8:00 p.m. at MRO Auditorium.

- P A. George Myers, for rear addition, garage replacement, tree removal at 10314 Fawcett Street, Kensington (Kensington Historic District).
- R B. Ruffin Maddox & Rory Coakley (Tom Taltavull, Agent), for new construction on the Rotter Property on High Street in Brookeville (Brookeville Historic District).
- R C. W. Eric and Suzanne C. Pilsk, for demolition of rear sleeping porch and construction of rear addition at 15 Philadelphia Avenue, Takoma Park (Takoma Park Historic District).

IV. SUBDIVISION - 9:30 at MRO Auditorium.

- R A. H. Gue House, *Locational Atlas* Resource #10/46, at Stringtown Road and Kingsley Road. Montgomery County Firefighters, for subdivision to accommodate a private club.

V. MINUTES

- A. October 10, 2001

VI. OTHER BUSINESS

- A. Commission Items
- B. Staff Items

VII. ADJOURNMENT

G:\Agendas\11-14agn.doc

**THOMAS J. TALTAVULL**



**ARCHITECT**

20650 Plum Creek Court  
Gaithersburg, Maryland 20882  
301.840.1847

**Transmittal Letter**

---

To: Robin Ziek  
M-NCPPC  
Montgomery County \\  
Department of Park and Planning  
Silver Spring, Maryland

Date: October 24, 2001

Attention: Robin

Project: Rotter Property

---

Remarks:

Dear Robin,

Enclosed please find schematic plans for the proposed development of the Rotter property for submission to the Historic Planning Commission for the initial review.

The surveyor has field verified that the Rotter house has a footprint of 1920 square feet, and the height to the top of the fascia is 23' and to the top of ridge is 28'. The Montgomery house footprint is 2340 square feet and the height to the top of the fascia is 23.5' and to the top of ridge is 30.5'.

Please call if you have questions or comments.

Sincerely,

Thomas J. Taltavull

Copy to: file

Signed: Thomas J. Taltavull, Architect

---

Margaret C Kay  
313 Market Street  
Brookeville, Maryland 20833-2505

Sidney D Wells 3<sup>rd</sup>  
309 Market Street  
Brookeville, Maryland 20833

Robert K & DH Heritage  
307 Market Street  
Brookeville, Maryland 20833

Mark T & Al Ennes  
316 Market Street  
Brookeville, Maryland 20833

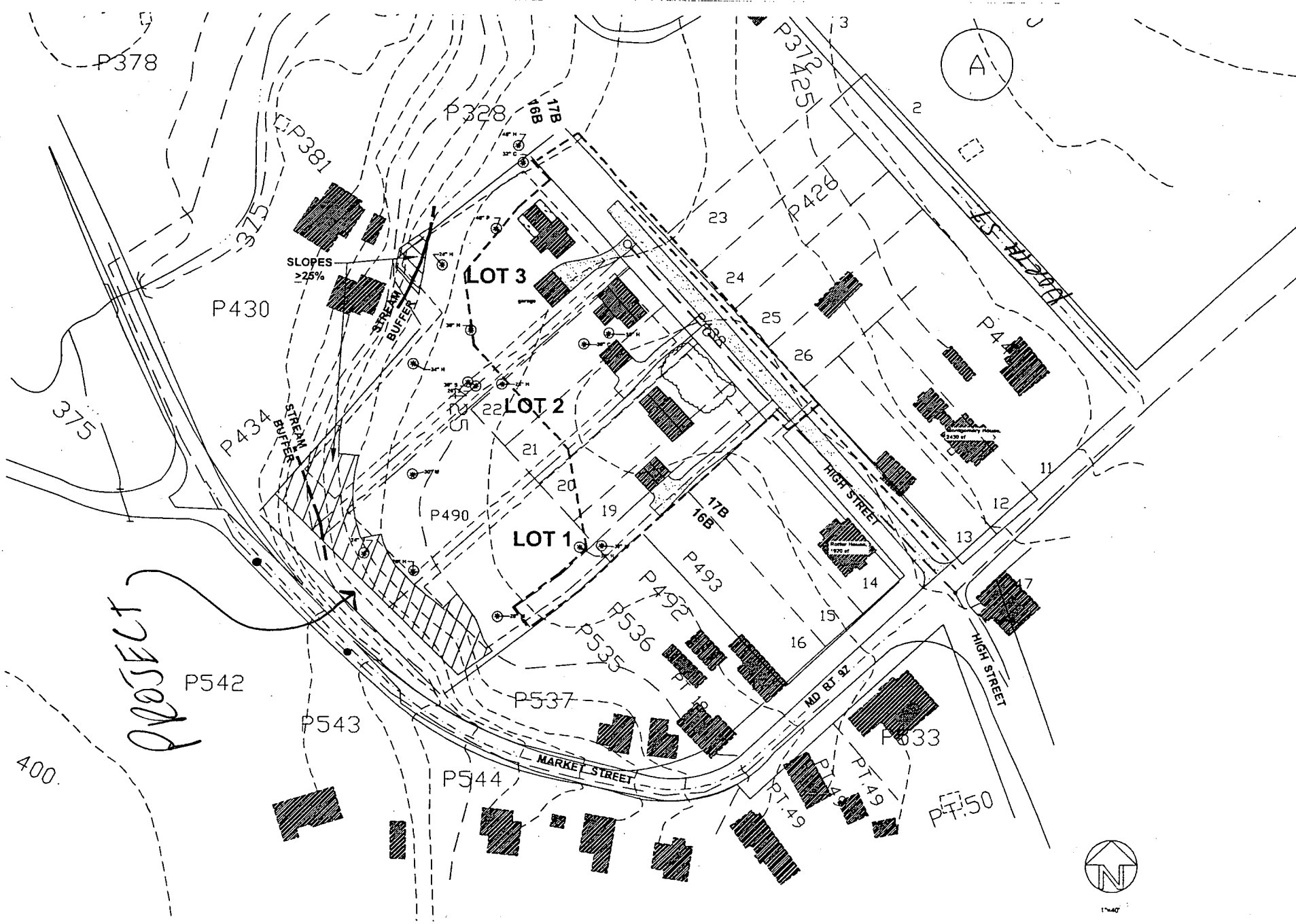
William J Patton &  
Deborah A Harrington-Patton  
318 Market Street  
Brookeville, Maryland 20833-2501


David C & Ea Yinger  
19801 Georgia Ave  
Brookeville, Maryland 20833

J Gordon & P G Lowder  
North Street  
P.O. Box 244  
Brookeville, Maryland 20833

Harry E & KS Montgomery  
211 Market Street  
P.O. Box 68  
Brookeville, Maryland 20833

*Sidney Potter  
301 Market Street  
Brookeville, MD. 20833*

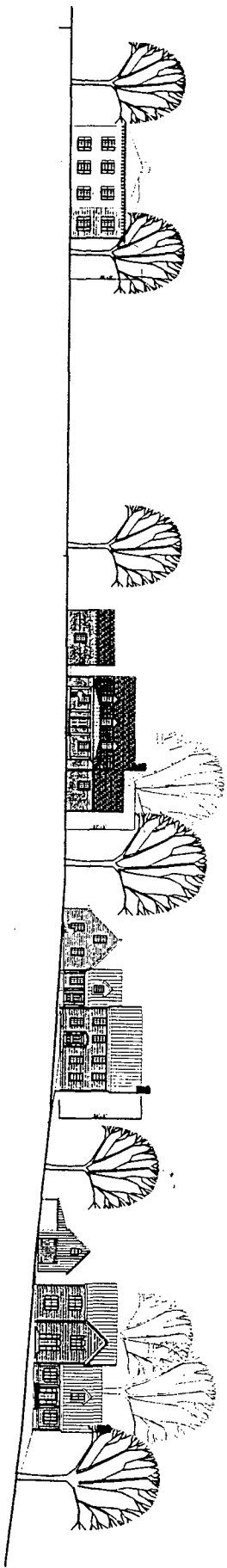


  
**THOMAS J. TALTAVULL**  
 ARCHITECT  
 LLC  
 20650 Plain Creek Court  
 Gaithersburg, Maryland 20878  
 (301) 241-1001

10.24.2001

PROPOSED SITE DEVELOPMENT FOR  
**ROTTER PROPERTY**  
 HIGH STREET  
 BROOKZVILLE, MARYLAND

SP1



EAST ELEVATION, HIGH STREET  
 1" = 20'

PROPOSED ELEVATION FOR HIGH STREET  
 ROTTER PROPERTY  
 HIGH STREET  
 BROOKEVILLE, MARYLAND

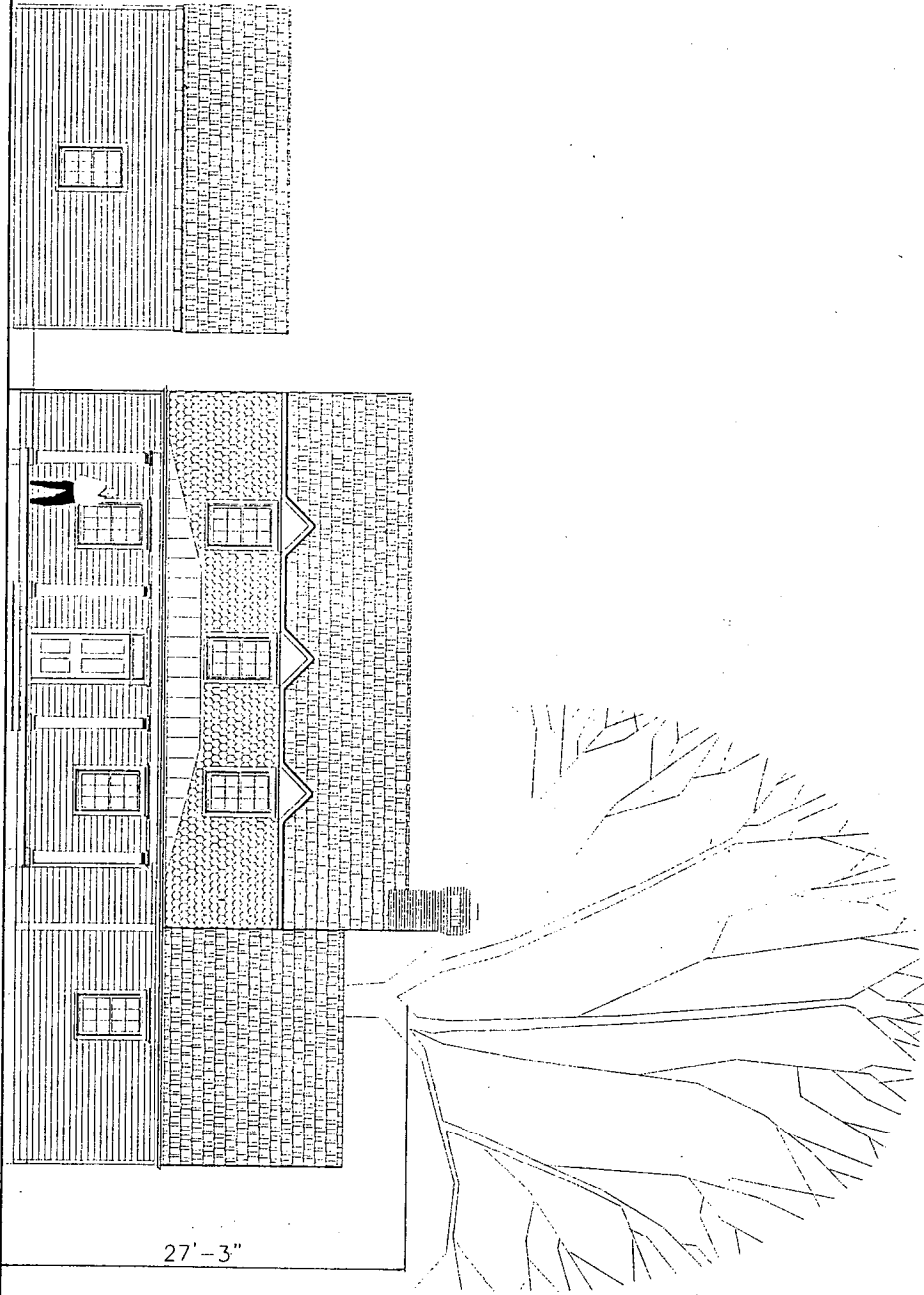
ELEVATIONS

10.24.2005

THOMAS J. TALTAVULL  
 ARCHITECT  
 P P P  
 20650 Plum Creek Court  
 Gaithersburg, Maryland 20882  
 301 840 1847



EAST ELEVATION  
1/8"=1'-0"



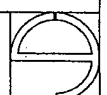
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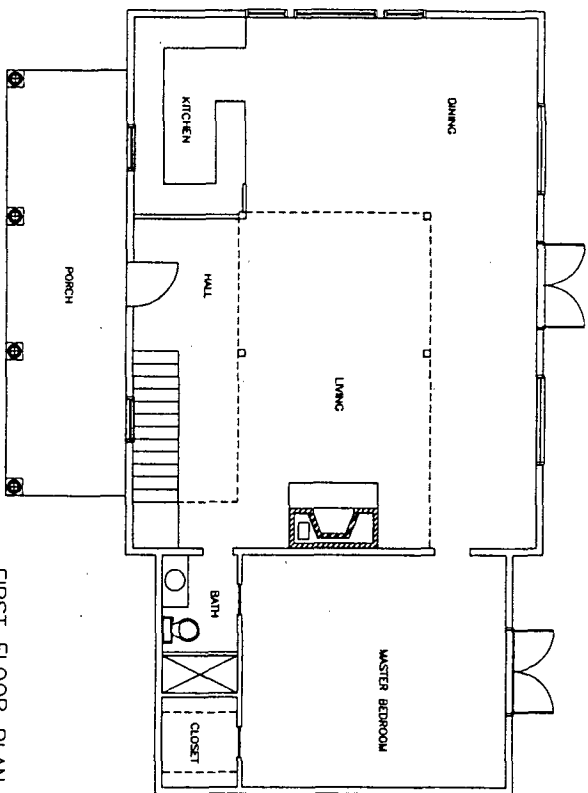
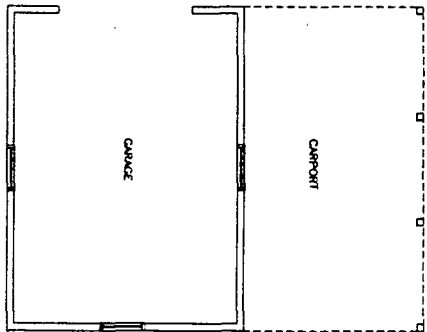
PROPOSED ELEVATIONS FOR LOT 1  
ROTTER PROPERTY  
HIGH STREET  
BROOKVILLE, MARYLAND

ELEVATIONS

10.24.2001

THOMAS J. TALTAVULL  
ARCHITECT  
20850 Plum Creek Court  
Coffersburg, Maryland 20882  
301 840 1947



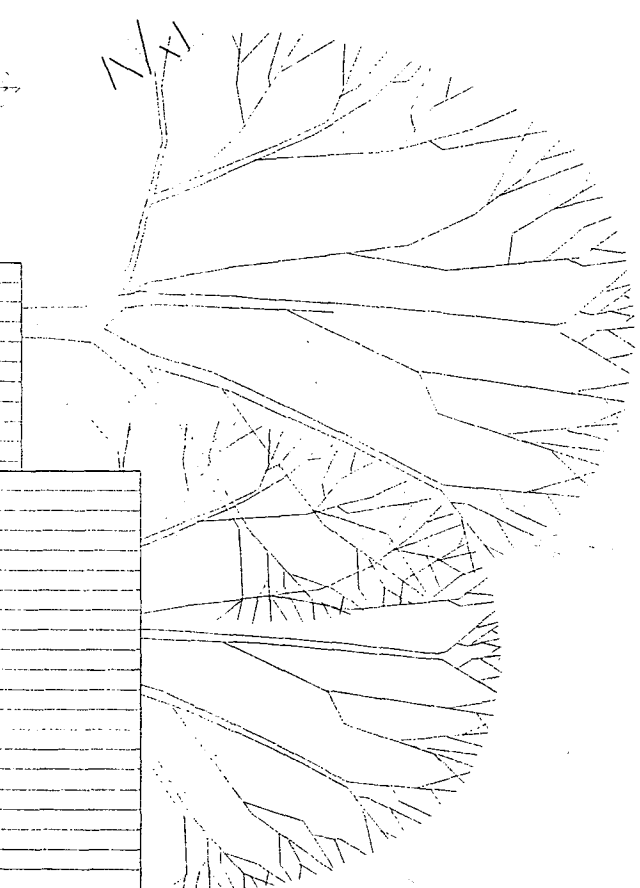
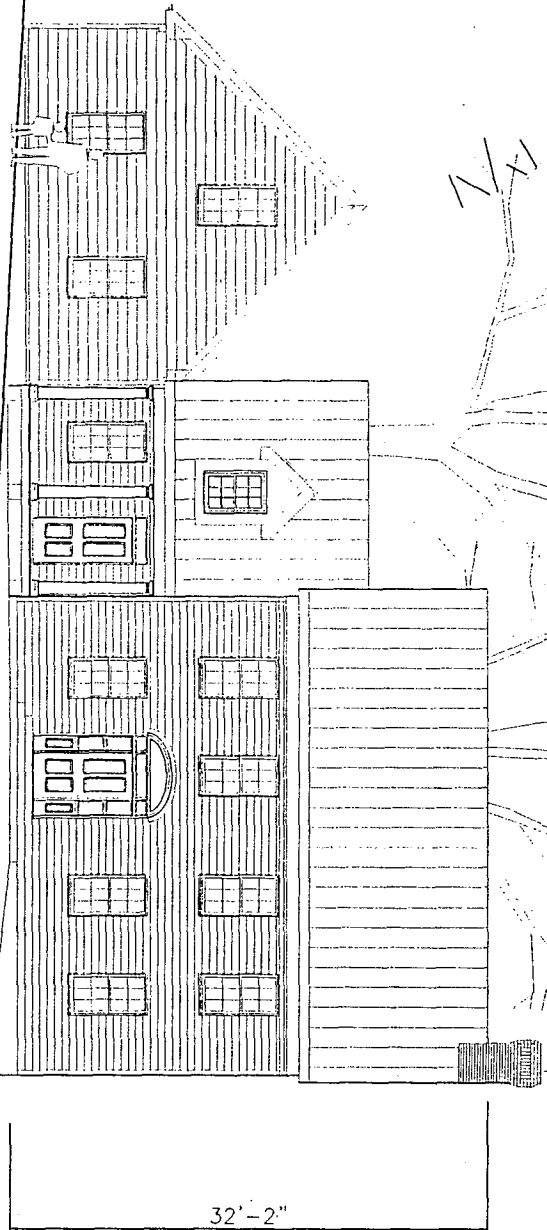


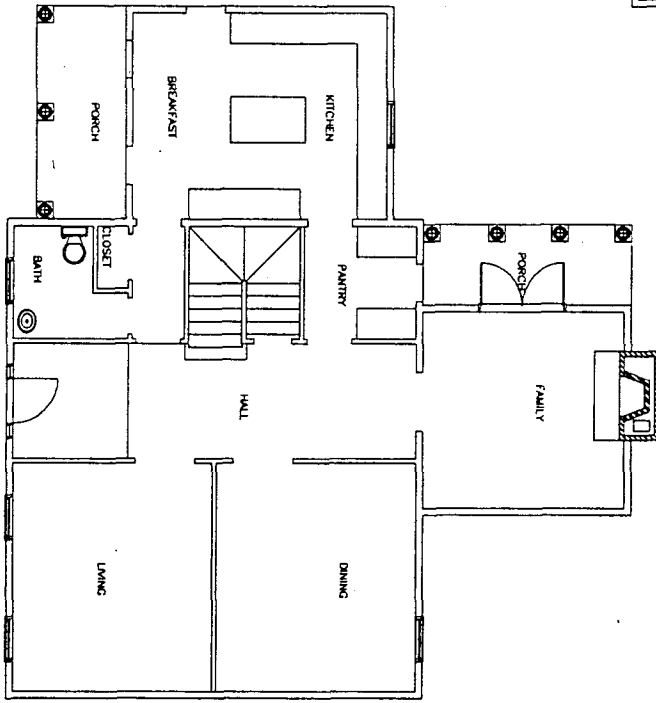
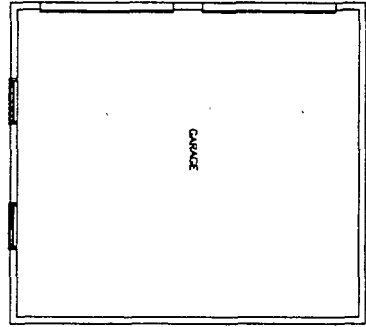
FIRST FLOOR PLAN Lot 1, 1390 sf  
1/4"=1'-0"





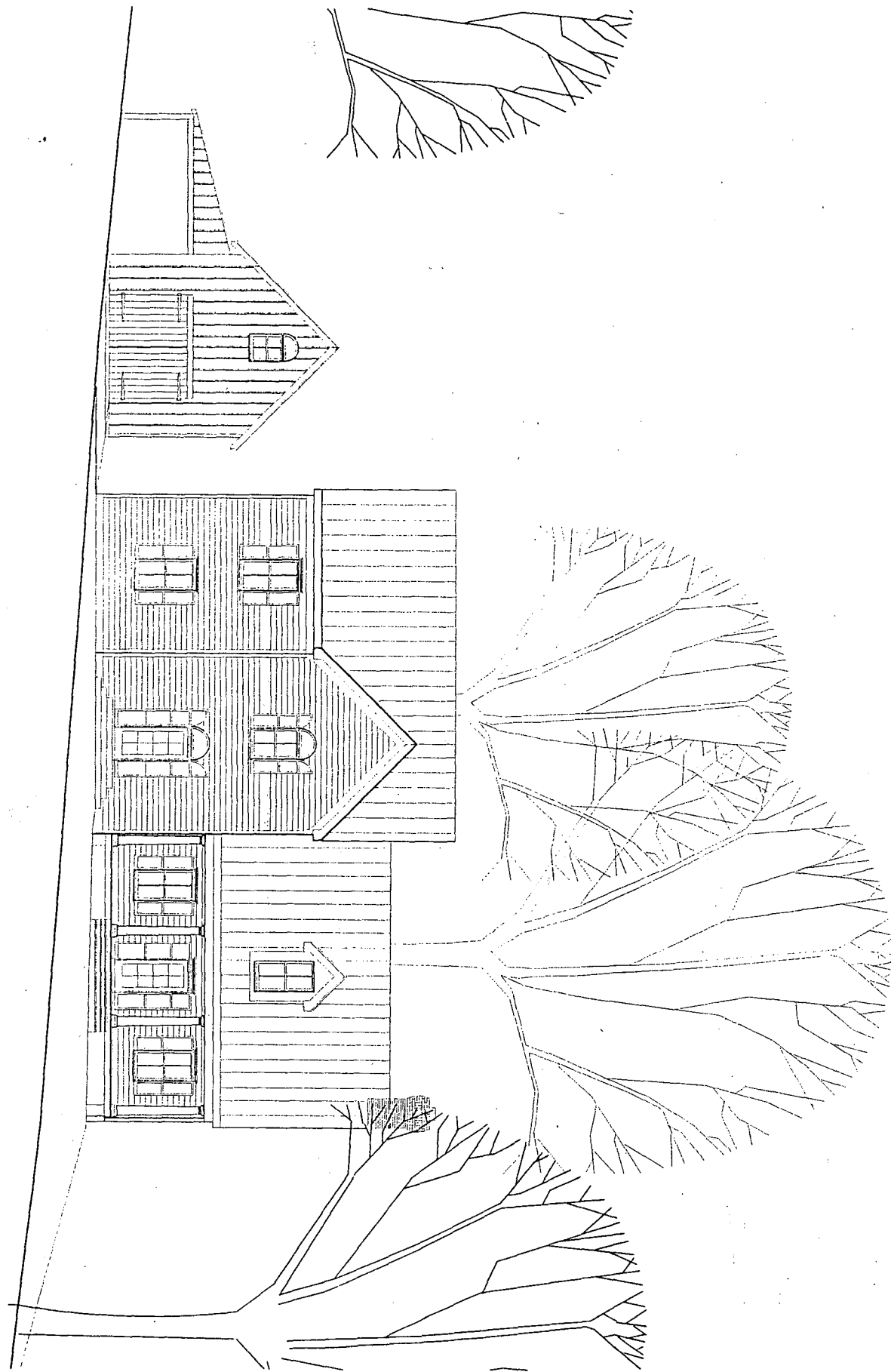
EAST ELEVATION  
1/4"=1'-0"





FIRST FLOOR PLAN Lot 2, 1345 sf  
 1/4"=1'-0"





3

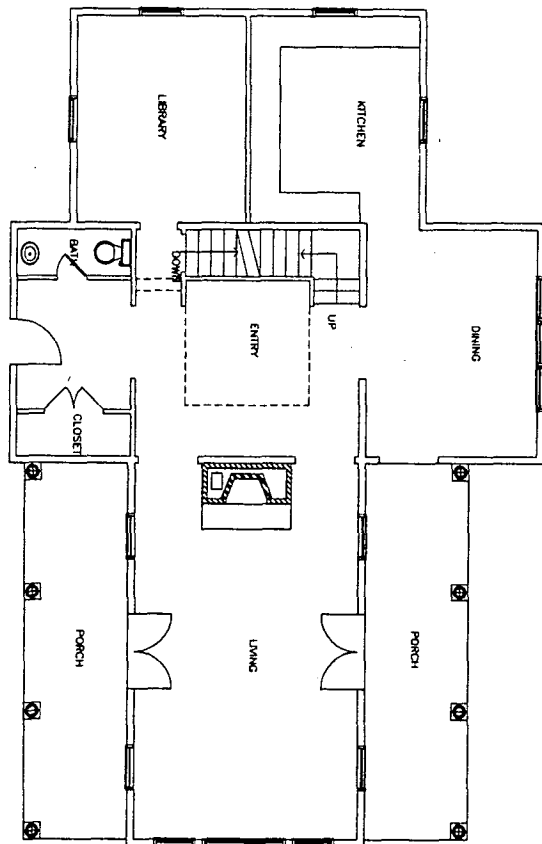
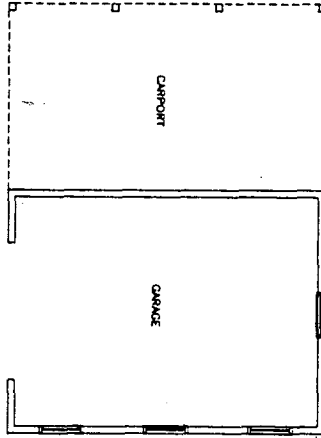
PROPOSED ELEVATIONS FOR  
ROTTER PROPERTY, LOT 3  
HIGH STREET  
BRDOKEVILLE, MARYLAND

ELEVATION

10.24.2001

THOMAS J. TALTAVULL  
ARCHITECT  
20650 Palm Creek Court  
Gethersburg, Maryland 20882  
301 840 1947





FIRST FLOOR PLAN Lot 3, 1290 sf  
1/4"=1'-0"

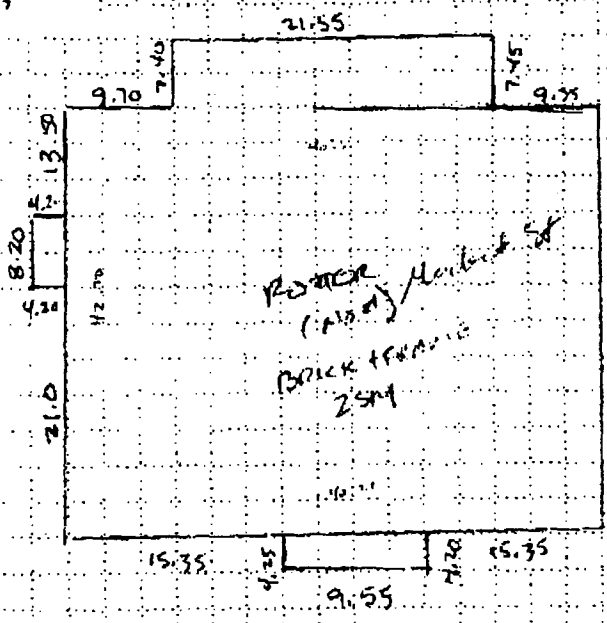


K.A.  
J.W.  
A.G.

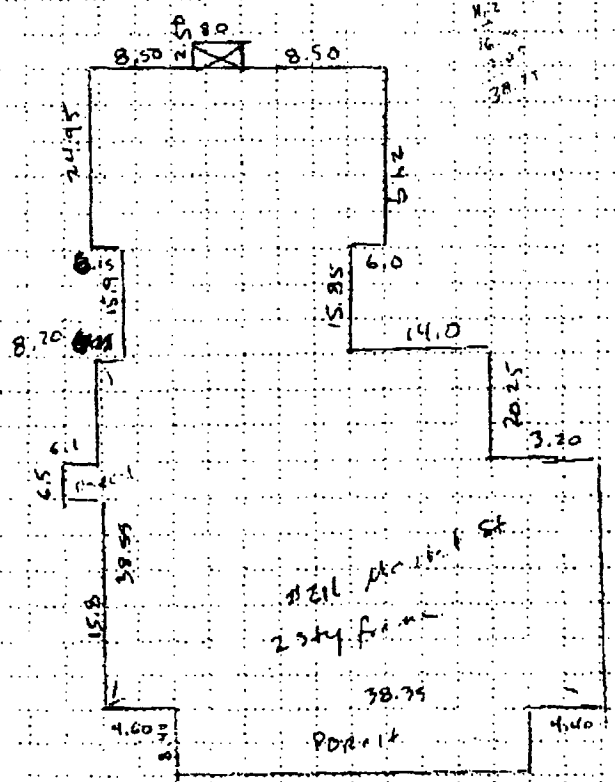
Houses

THOMAS A. MADDOX  
PROFESSIONAL LAND SURVEYOR  
8931 Shady Grove Court  
Gaithersburg, MD 20877  
(301) 984-3884

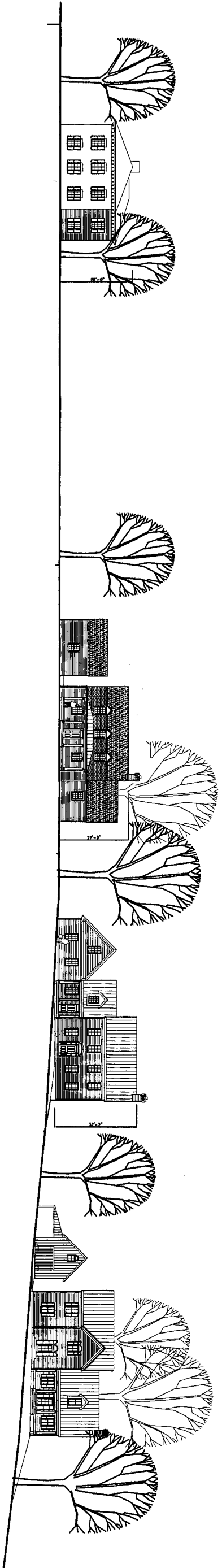
CALL SPOTLINE



23' facade  
28' to peak



23.5' facade  
30.5' to peak



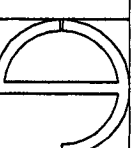
EAST ELEVATION, HIGH STREET  
 1" = 20'

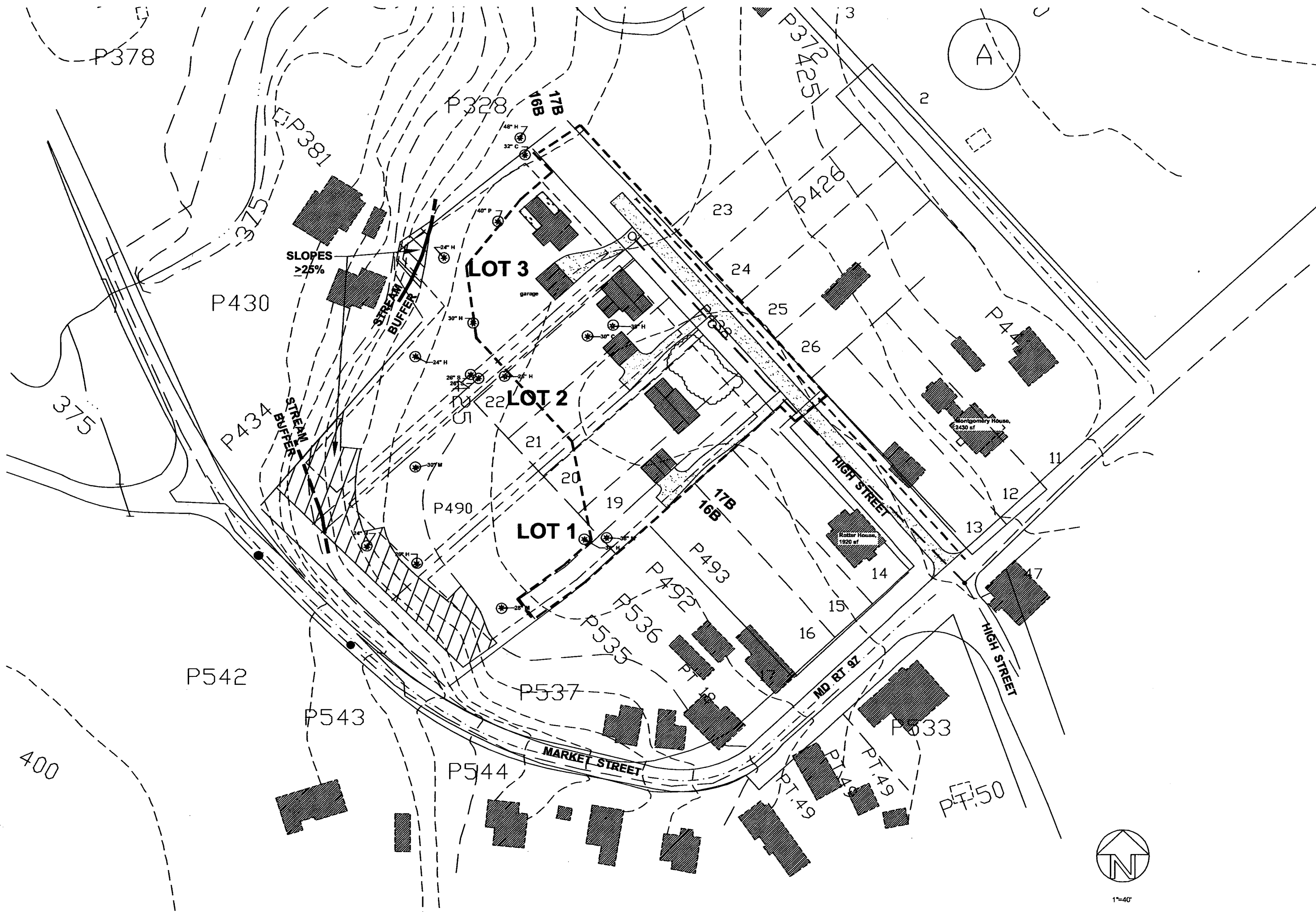
PROPOSED ELEVATION FOR HIGH STREET  
 ROTTER PROPERTY  
 HIGH STREET  
 BROOKEVILLE, MARYLAND

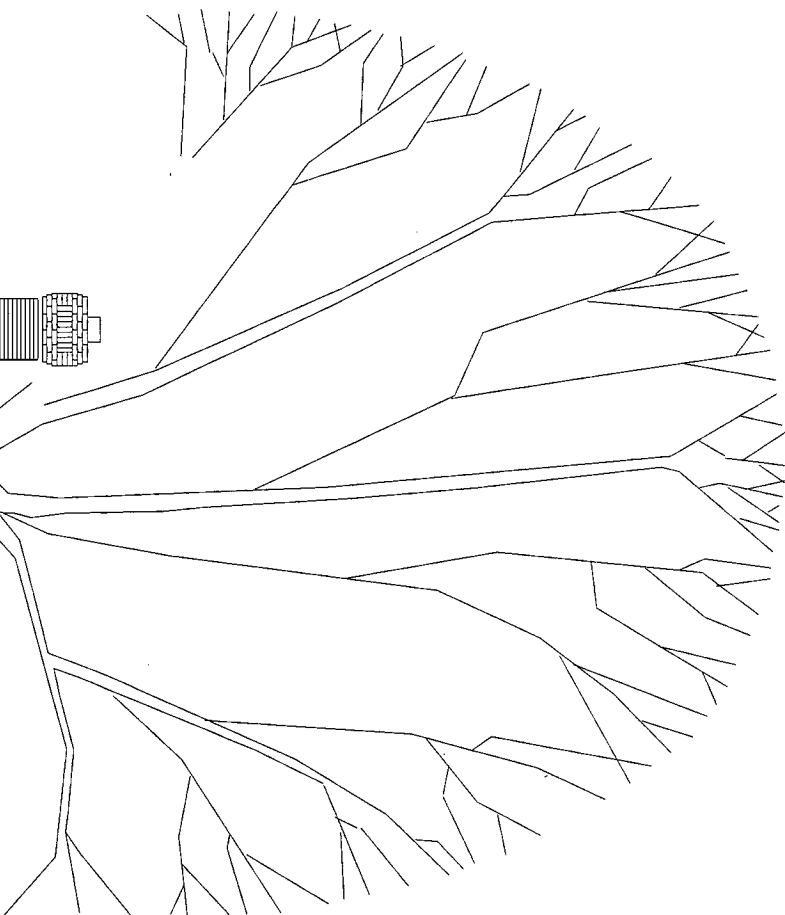
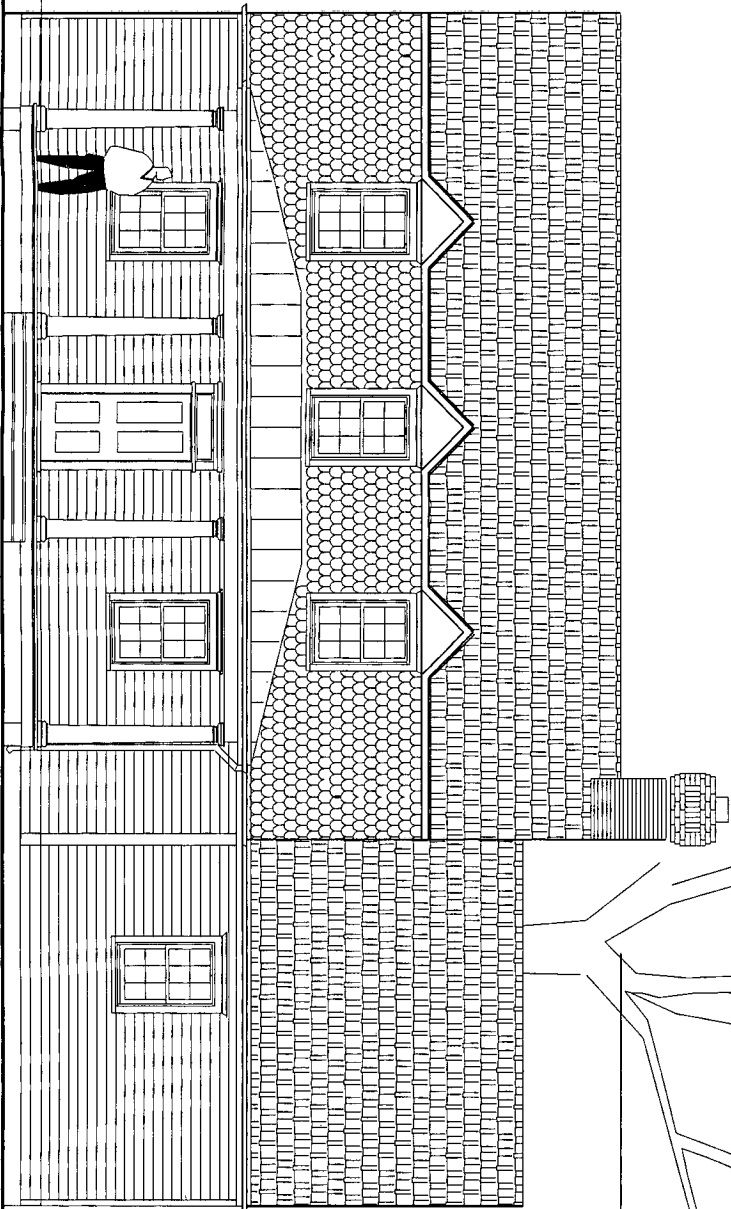
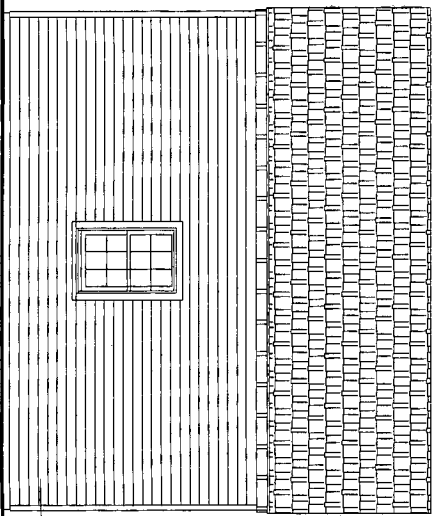
ELEVATIONS

10.24.2001

THOMAS J. TALTAVULL  
 ARCHITECT  
 20650 Plum Creek Court  
 Gaithersburg, Maryland 20882  
 301.840.1847

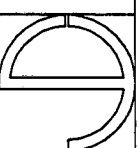




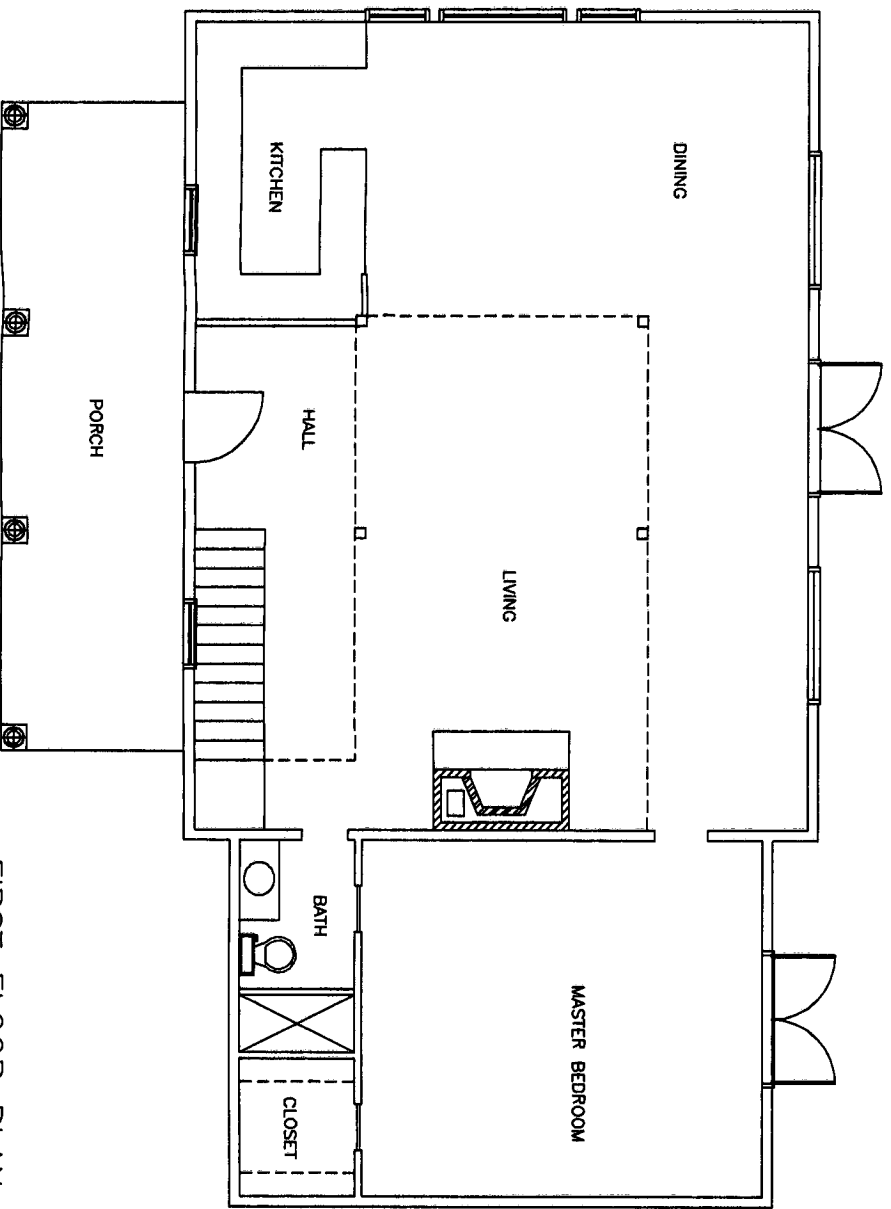
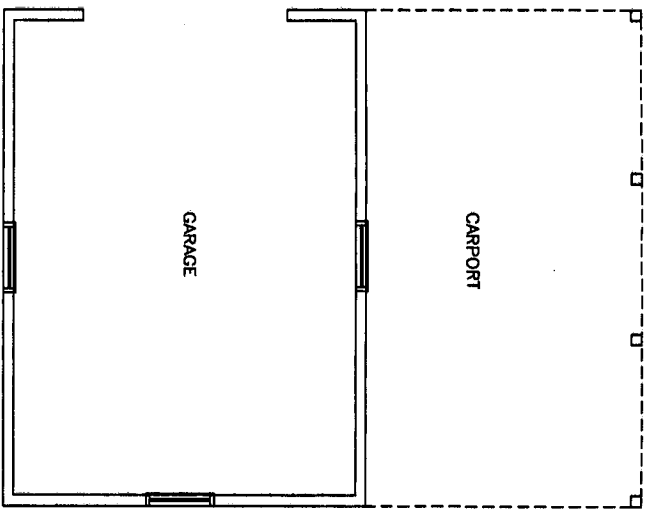


27'-3"

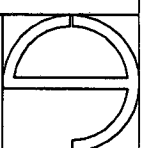
E A S T E L E V A T I O N  
1/4"=1'-0"







FIRST FLOOR PLAN Lot 1, 1390 sf  
 1/4"=1'-0"



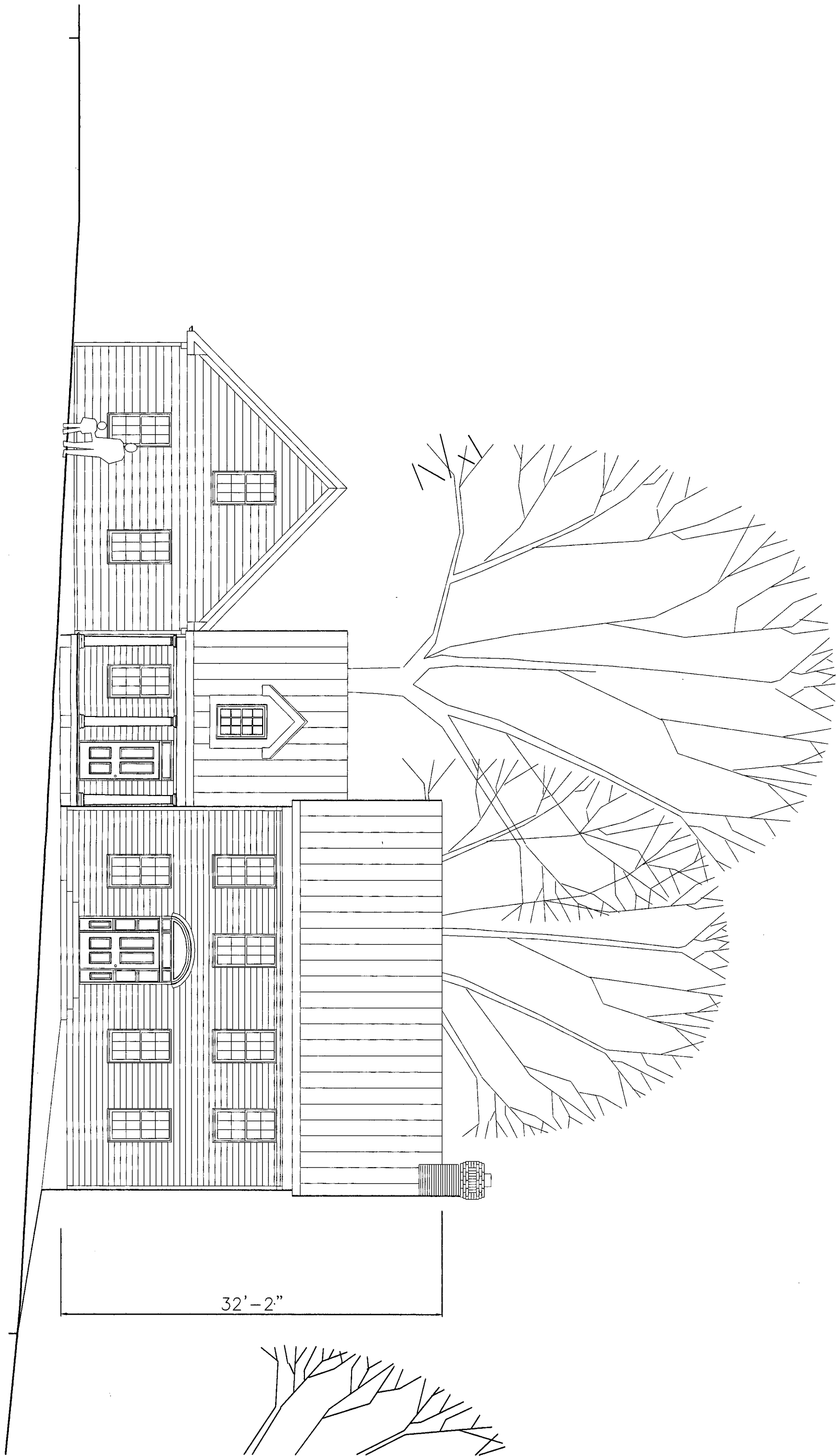
**THOMAS J. TALTAVULL**  
 ARCHITECT  
 20650 Plum Creek Court  
 Gaithersburg, Maryland 20882  
 301.840.1847

10.24.2001

FLOOR PLAN

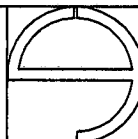
PROPOSED PLAN FOR  
**ROTTER PROPERTY, LOT 1**  
 HIGH STREET  
 BROOKEVILLE, MARYLAND

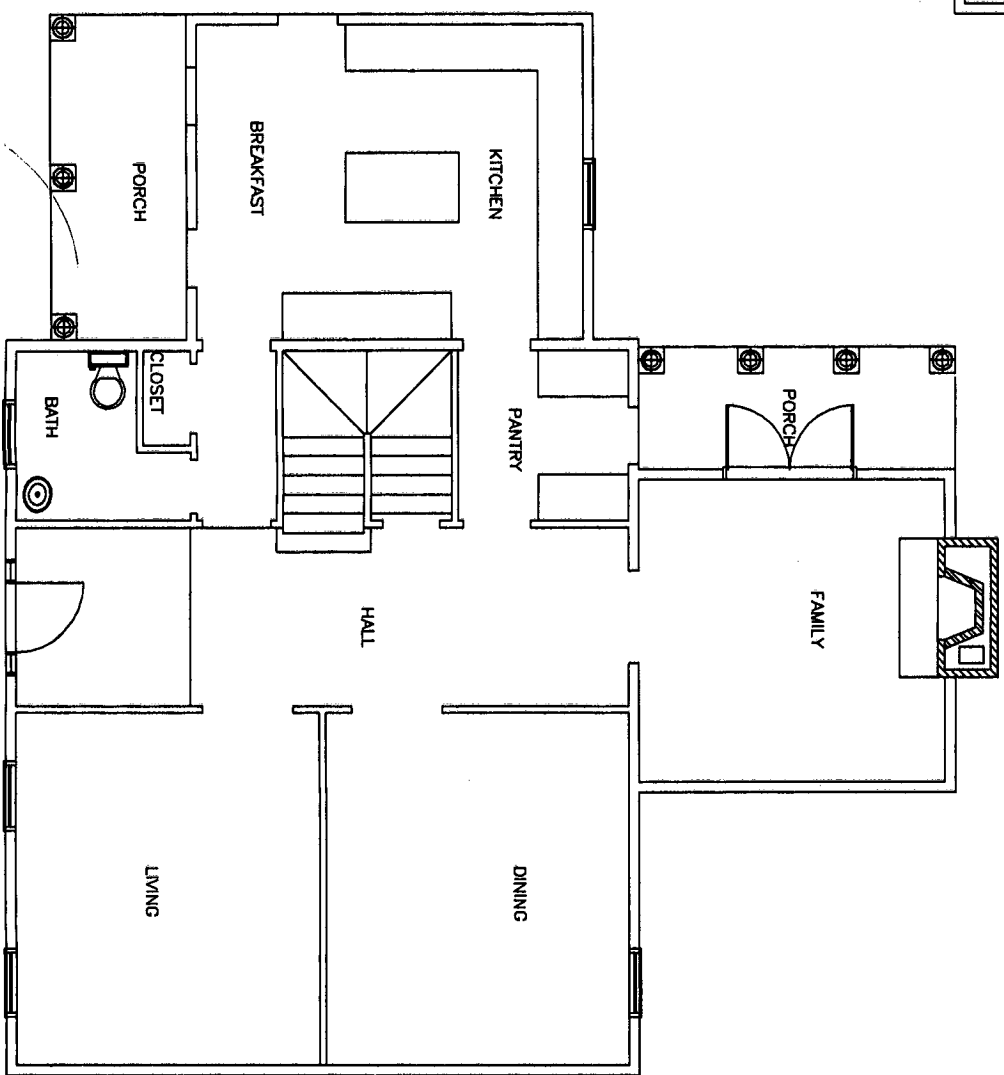
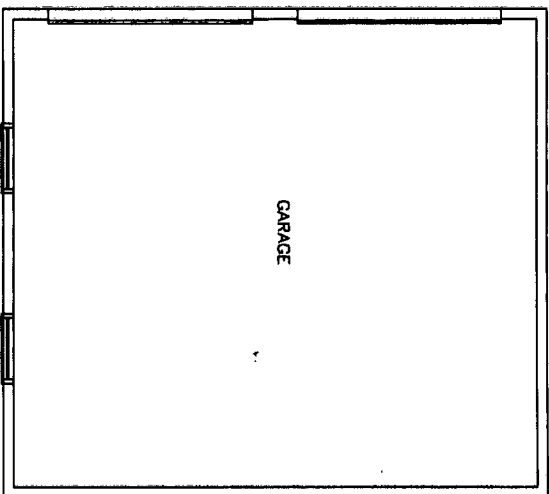
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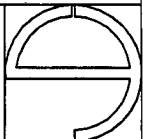
E A S T E L E V A T I O N  
1/4"=1'-0"

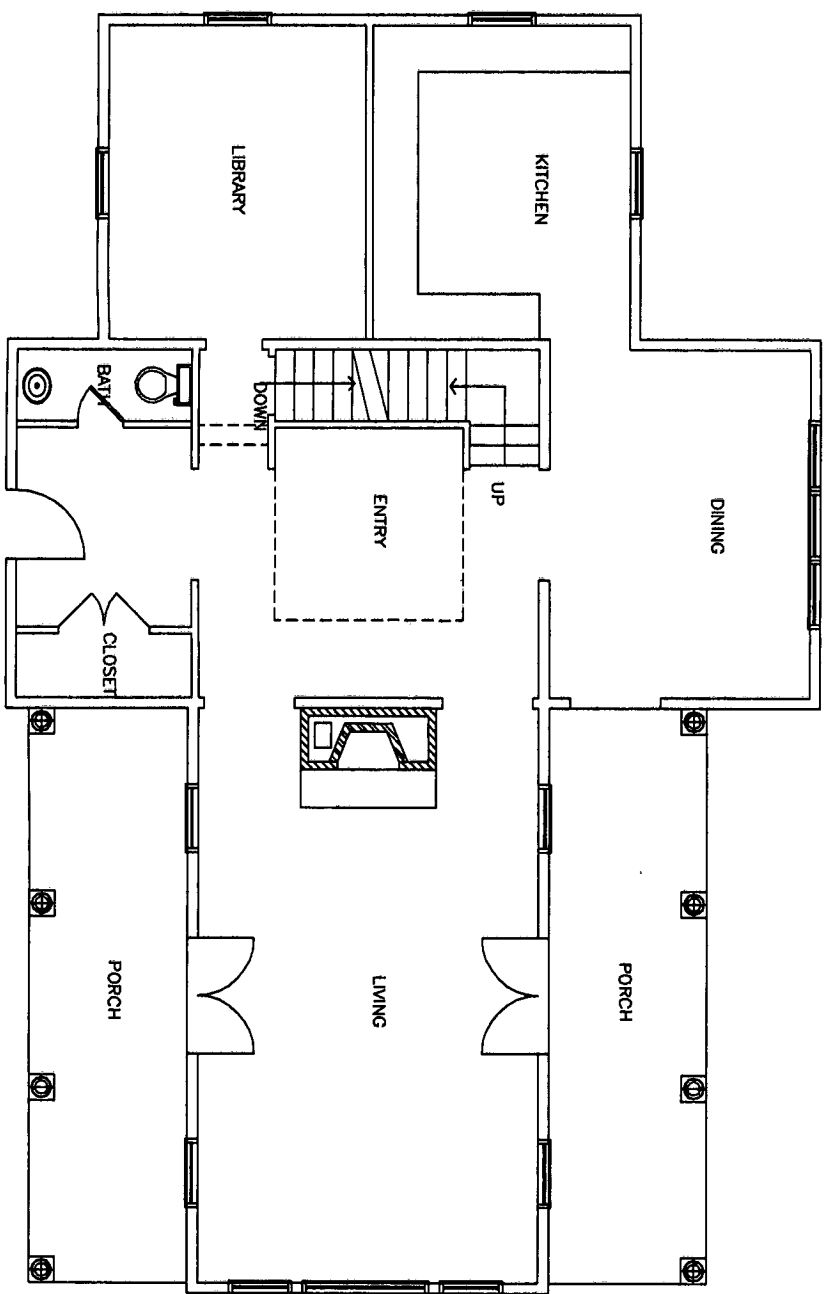
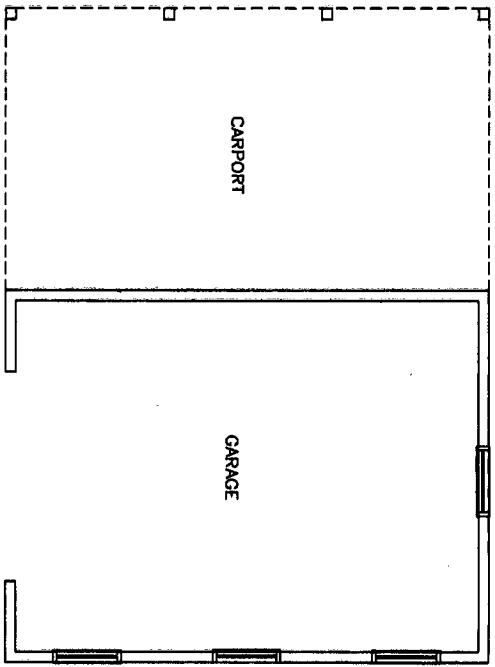
32'-2"



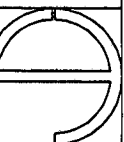


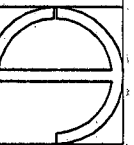
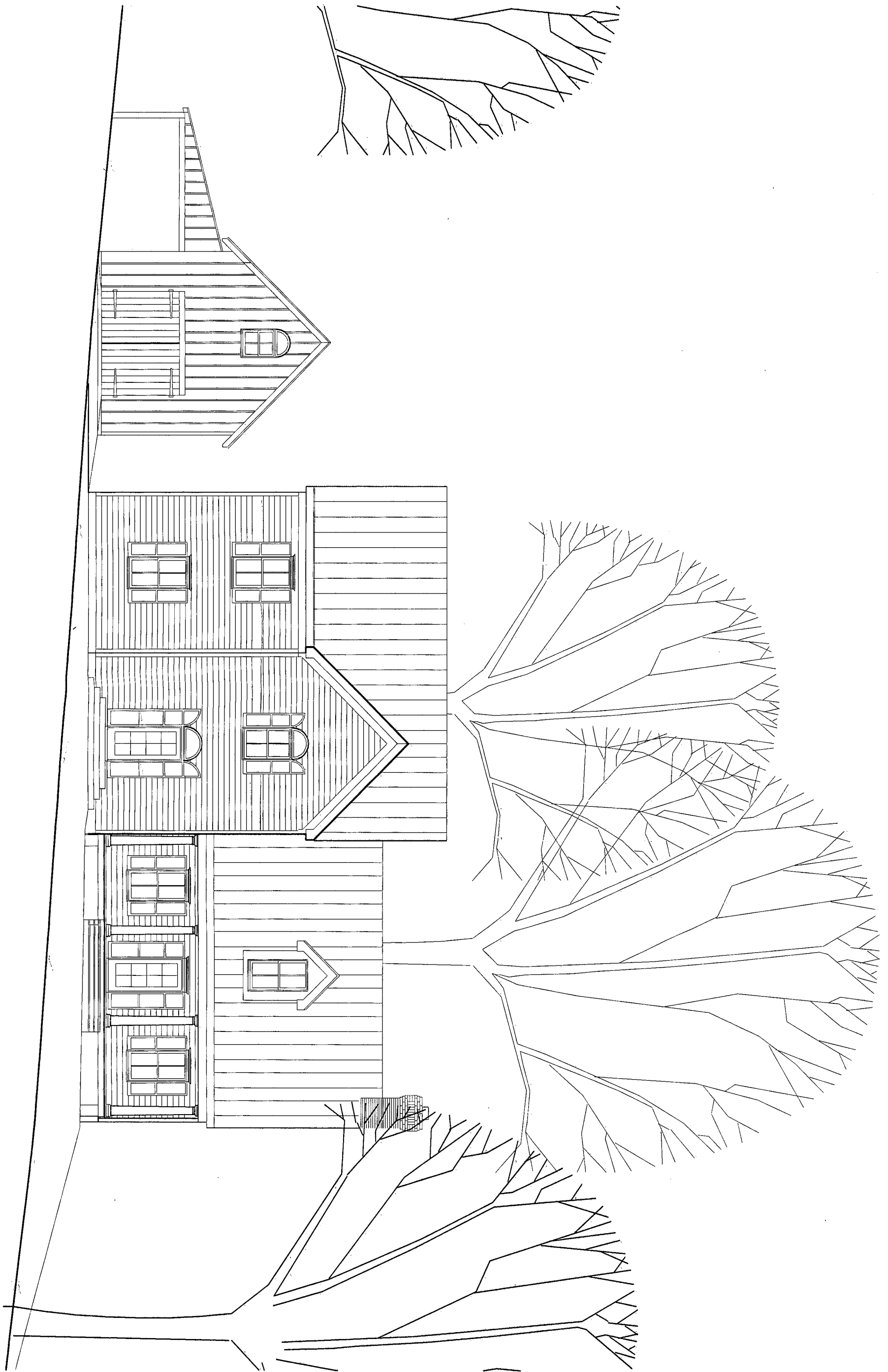
FIRST FLOOR PLAN Lot 2, 1345 sf  
 1/4"=1'-0"





FIRST FLOOR PLAN Lot 3, 1290 sf  
1/4"=1'-0"





SUBDIVISION



10/16/01

Tom  
Rory Cookly.  
Gus Bannum  
Dave McKee

---

Temp: Dec 5, 19 ?  
Jan 9.

Phel info on new houses for ef-age.

Check screening along 97 to the left of Rotten House, re:  
visibility of new houses.

Doug Lowmeyer - Costerman ex-patriot. Planner or  
Contractor of town of Brooksville.

Cat. I. Conservation Easement for forest on lots 1, 2, 3.

→ November 14, 2001 - Preliminary Consultation

10/16/01

August 22, 2001

Lot One House area

Main house  $36' \times 28' = 1008$  sf  
Bedroom wing  $16' \times 24' = 384$  sf  
Total first floor area = 1392 sf

Lot Two House area

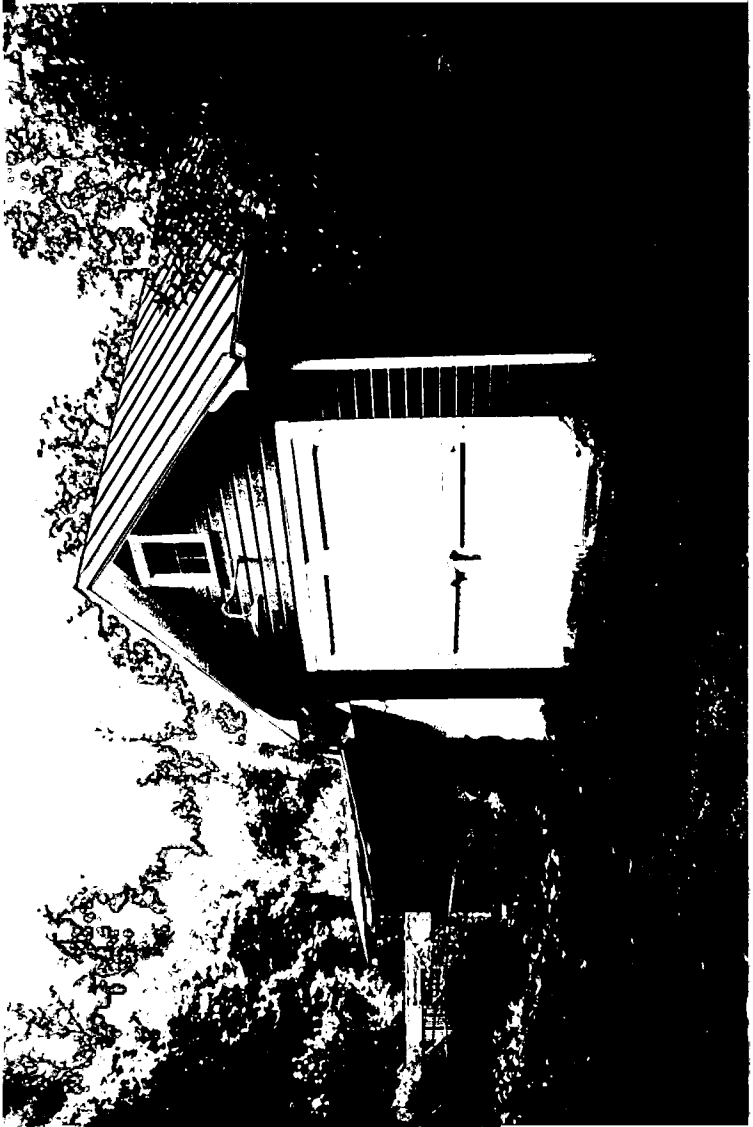
Main house  $32' \times 28' = 896$  sf  
Kitchen wing  $14' \times 20' = 280$  sf  
Family room  $14' \times 14' = 196$  sf  
Total first floor area = 1372 sf

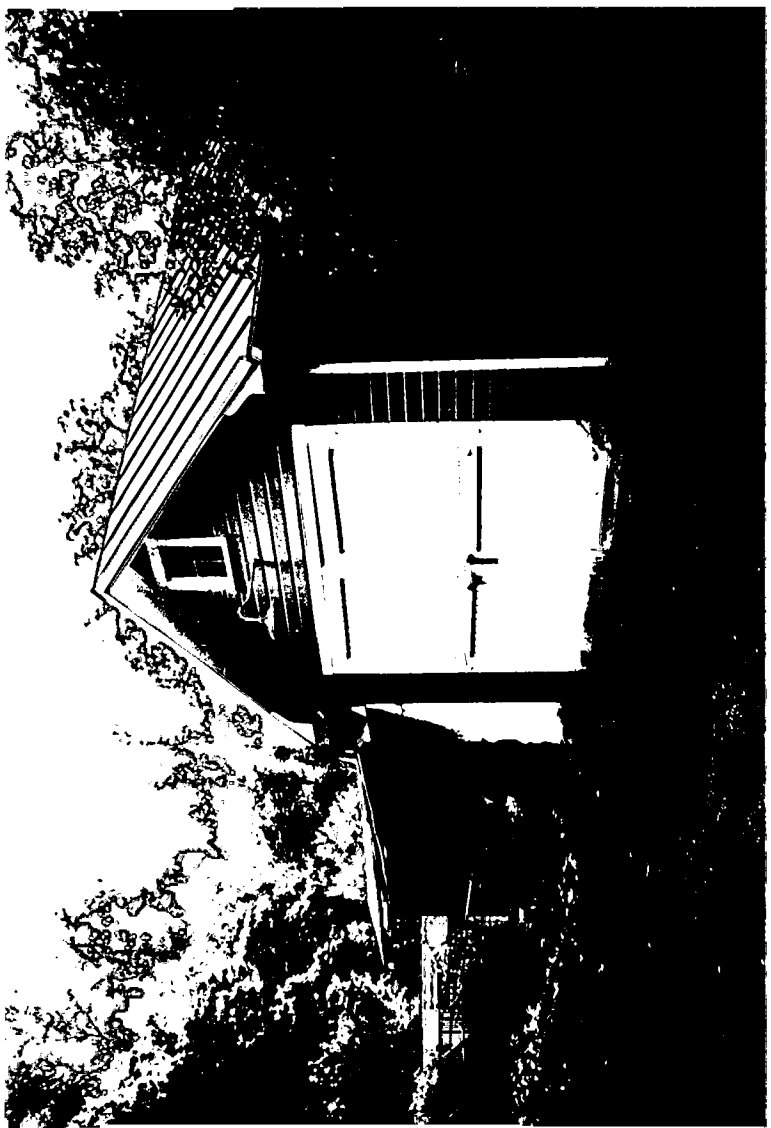
Lot Three House area

Main house  $24' \times 44' = 1056$  sf  
Entry and dining wing  $16' \times 16' = 256$  sf  
Total first floor area = 1312 sf

Garages  $24 \times 24$  side loaded in The 1<sup>st</sup> Scenario





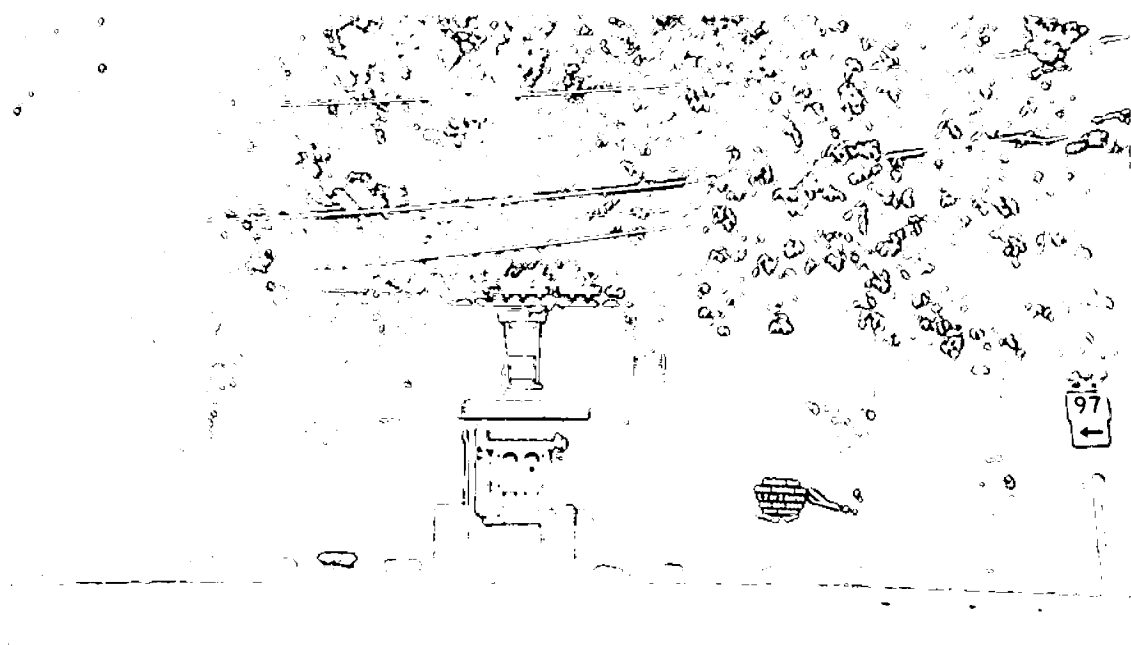


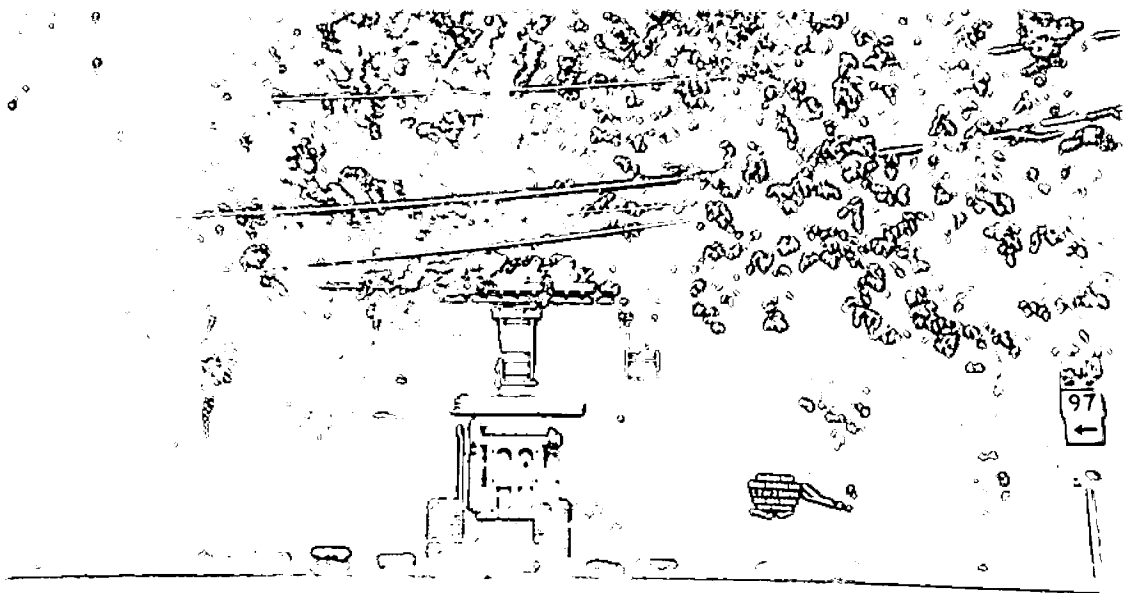
















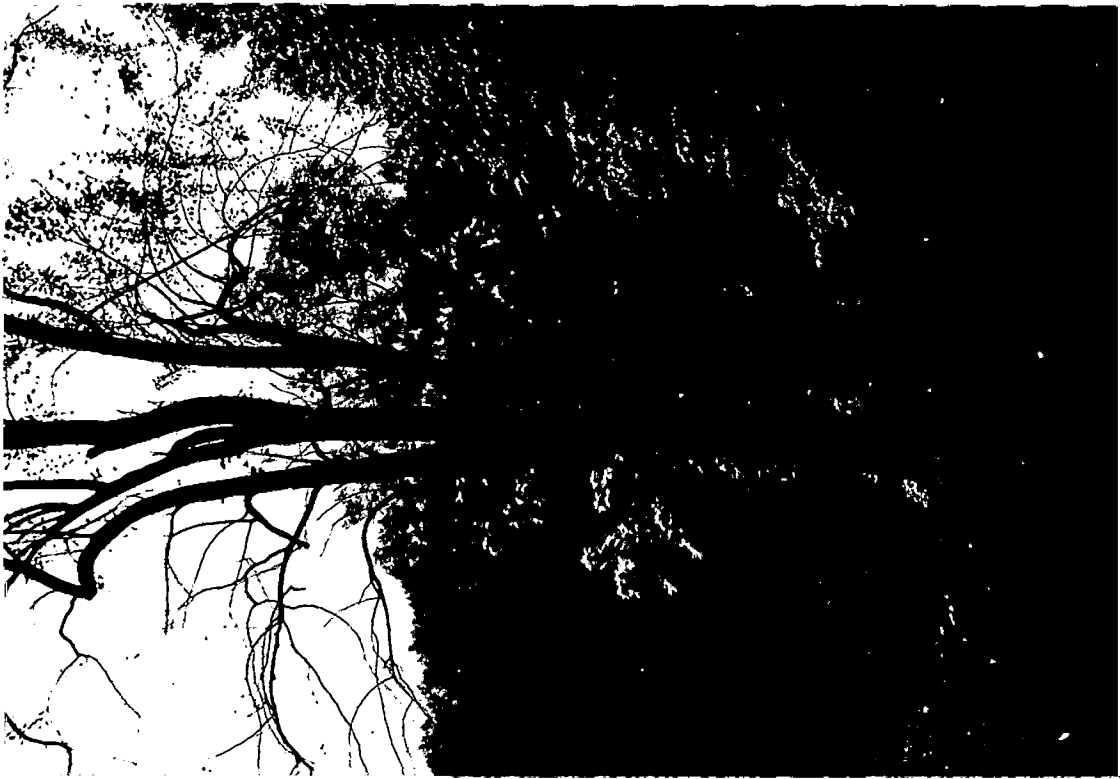








































### COAKLEY REALTY

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- Development Management
- Feasibility Analysis
- Litigation Support
- 

CALL Rory S. Coakley for further inquiries at 301·340·8700 ext. 101

MESSAGE:

Date 9/11/01

TO: Robin Zick

Fax (301)563-3412

Phone \_\_\_\_\_

FROM: Rory x101

Phone 301·340·8700

Fax 301·340·6380

Total Pages Including Cover 5

**MONTGOMERY CONSULTING**

17929 Dumfries Circle · Olney, MD 20832 · Tel: 301-774-5219 · Fax: 301-774-1849

Robin Zick

563-3412

FAX  
TRANSMITTAL  
COVER SHEET

Date: 9/6/01

To: DAVE McKEE

From: DOUG LOHMEYER

Number of pages including cover sheet: 4

Comments:

MY RECOMMENDATIONS ARE TO THE  
PLANNING COMMISSION. THEY HAVE  
THE RIGHT TO ADOPT, REVISE, AND  
AMEND THE CONDITIONS.

DOUG

THIS FAX TRANSMITTAL IS PRIVILEGED AND CONFIDENTIAL.  
THE INFORMATION IS SOLELY INTENDED FOR THE PERSON TO  
WHOM THIS FAX TRANSMITTAL IS ADDRESSED. IF YOU DID  
NOT RECEIVE ENTIRE FAX, PLEASE CALL 301 774 5219.

**MONTGOMERY CONSULTING**

17929 Dumfries Circle • Olney, MD 20832 • Tel: 301-774-5219 • Fax: 301-774-1849

**TO:** The Planning Commission for The Town of Brookeville  
**FROM:** Montgomery Consulting  
**SUBJECT:** Roter Property Preliminary Plan Recommendations  
**DATE:** September 6, 2001

The following are Montgomery Consulting's recommendations to The Town of Brookeville's Planning Commission regarding the pending Roter Property Preliminary Plan.

1. The plan should be approved for three residential lots, with a minimum of 10,000 square feet per lot.
2. The dedication of a 50-foot right of way for High Street, from the northern end of the existing right of way, north along the entire eastern end of the Roter Property.
3. The dedication of a new 25-foot right of way along the southern end of the property, from the High Street right of way to a point at the western end of the adjacent existing Lot 18.
4. The Record Plat to grant a 10 foot Public Utility Easement (PUE) parallel, contiguous, and adjacent to the western side of the dedication of High Street and parallel, contiguous, and adjacent to the northern side of the dedication of the new 25 foot right of way, along the proposed Lot 1.
5. The Preliminary Plan will be subject to the conditions stated in the Natural Resources Inventory / Forest Stand Delineation and the Forest Conservation Plan memos, dated September 4, 2001, from the Environmental Planning Division of the Maryland National Capital Park and Planning Commission.
6. The Record Plat will place a Category 1 Conservation Easement on the rear of Lots 1, 2, and 3. The final limits of that easement will be determined during the Site Plan review process.
7. The developer will construct an engineered gravel roadway within the High Street right of way from the existing concrete apron at Market Street to the northern end of High Street, at the end of the proposed Lot 3, on the Roter Property.

8. The engineer will submit the typical section and vertical profile for High Street, with the Site Plan Submission. The vertical profile for High Street will start at the existing concrete apron at Market Street and continue to loop to the east, until it ties into the existing end of the gravel roadway at the northern end of North Street.
9. The Site Plan submission will include field run topography with two-foot contours. It will also include a survey of all trees, six inches and greater in diameter (dbh), within the proposed grading/clearing limits and at least 25 feet into the proposed conservation easement.
10. The Site Plan submission will include schematic architectural plans and elevations for the proposed residential units, for Planning Commission and Historical Commission review.
11. The developer will construct all the proposed utilities, including water and sewer, for the full length of High Street to the northern end of the proposed Lot 3. All proposed utilities will be constructed underground, per The Town Of Brookeville's Ordinance.
12. The conditions of the Montgomery County Department of Permitting Services (MCDPS), Stormwater Management memo, dated April 23, 2001 will apply.
13. The conditions of the WSSC letter, dated July 30, 2001, will apply.
14. A water and sewer category change was applied for on August 7, 2001. The Mont. Co. Department of Environmental Protection is reviewing the application and is scheduled to act on the category change in late October. All the conditions of the MCDEP Category Change will apply.
15. The proposed residential units will be served by utilities from High Street. No utility connections will be allowed through the proposed Conservation Easement.
16. The siting of the proposed residential units and final grading will minimize the clearing of existing trees.

**MONTGOMERY CONSULTING**

17929 Dumfries Circle • Olney, MD 20832 • Tel: 301-774-5219 • Fax: 301-774-1849

Page Three

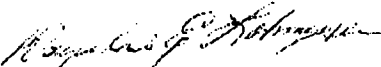
Rotter Property Preliminary Plan Recommendations

September 6, 2001

17. Lot 3 will be sewered by a grinder pump system, per WSSC regulations and approval.
18. The Record Plat cannot be recorded until the Planning Commission and the Historical Commission approve the Site Plan.
19. No Clearing or grading until all three conditions have been met: Record Plat recordation; approval of a Sediment Control Plan and issuance of a Permit from MCDPS; and approval of the Final Forest Conservation Plan from the Environmental Planning Division at MNCP&PC.
20. The engineer will submit copies of the certified Wall Check and the Final House Location Survey to the MCDPS and to The Town of Brookeville.
21. The applicant will submit a Final Forest Conservation Plan with the Site Plan submission.

Please review these recommendations and if you have any questions please call me.

Sincerely,  
Montgomery Consulting



Douglas E. Lohmeyer, P.E.  
President

---

# **BENNING & ASSOCIATES, INC**

## **LAND PLANNING CONSULTANTS**

**8933 SHADY GROVE COURT  
GAITHERSBURG, MD 20877**

**Phone: (301) 948-0240**

**Fax: (301) 948-0241**

To: Ms. Gwen Wright

Date: 6/14/01

M-NCP&PC

Project: Rotter Property

8787 Georgia Avenue

(Town of Brookeville)

Silver Spring, MD 20910

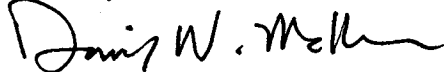
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Gwen:

As discussed at our meeting with you several weeks ago, attached are copies of a "Tree Survey" for the subject property. In addition, as per our discussion, the houses and garages have been removed from the Preliminary Plan so that the focus at this time is on the subdivision of the property only. We are showing a conservation easement line on the plan for the purpose of protecting a substantial amount of the forest on-site and most of the larger trees while still allowing for some flexibility in siting the three future homesites.

Please call me if you need anything else at this time.

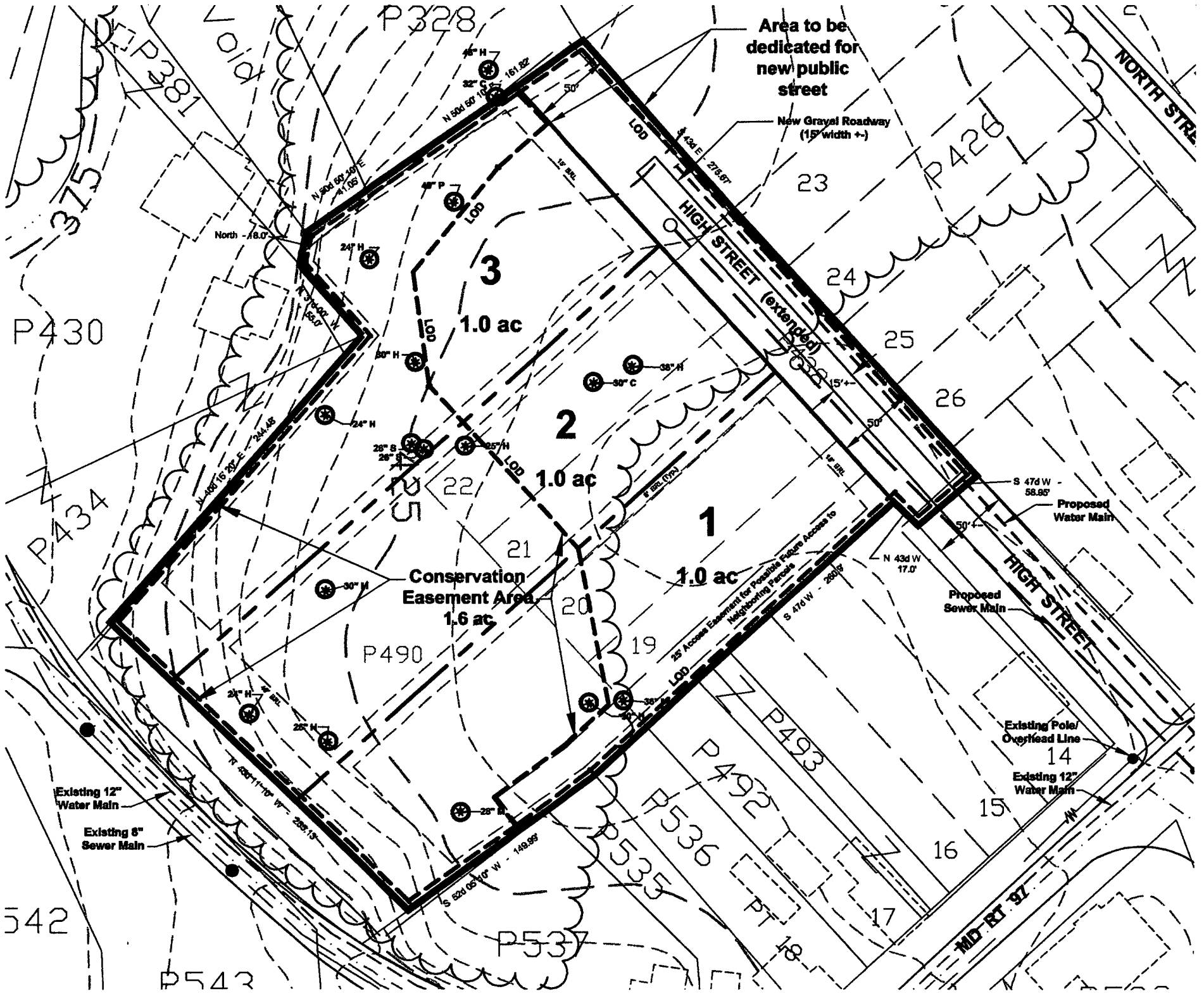
Sincerely,

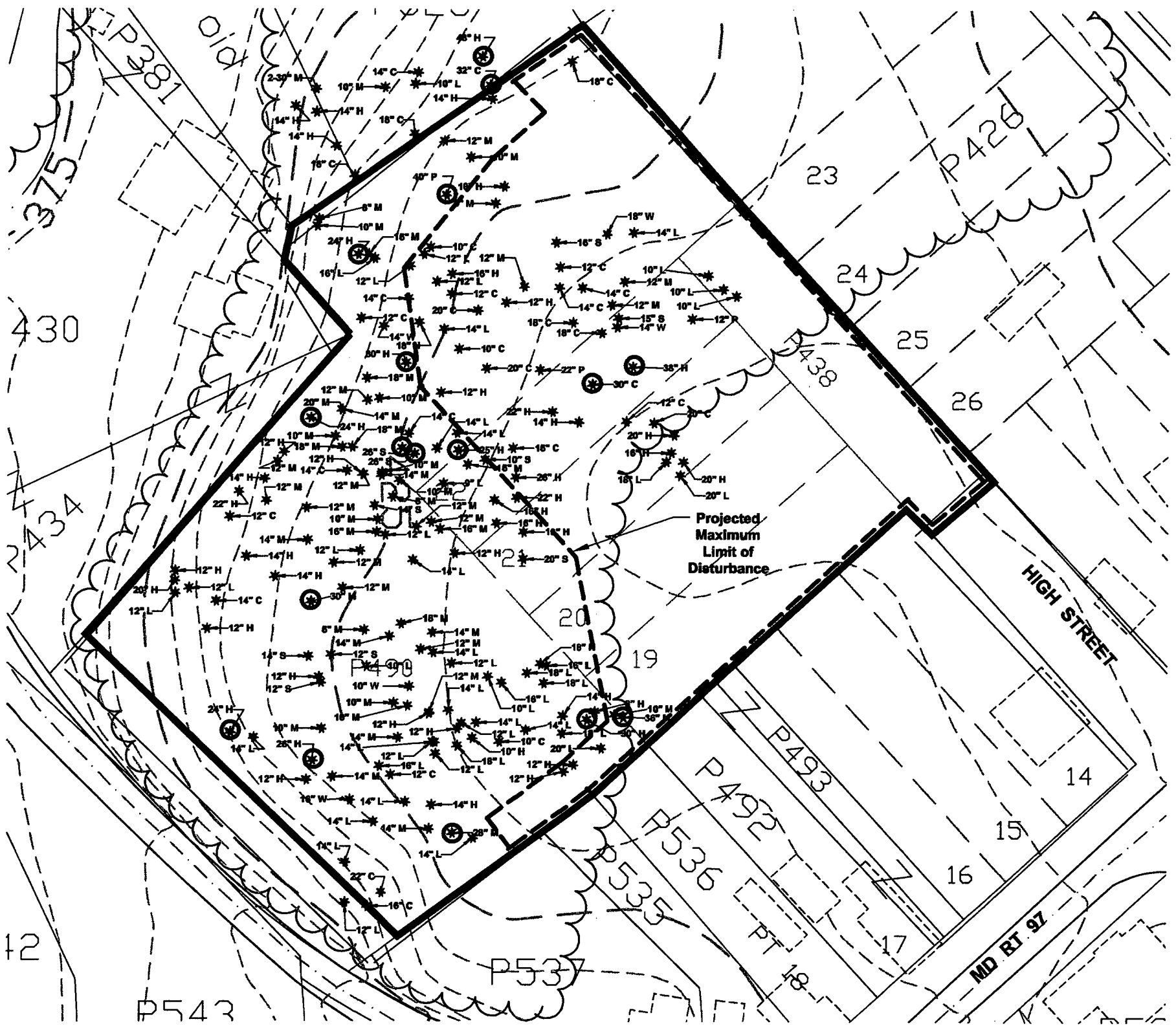


David W. McKee

cc. R. Maddox  
R. Coakley  
G. Bauman



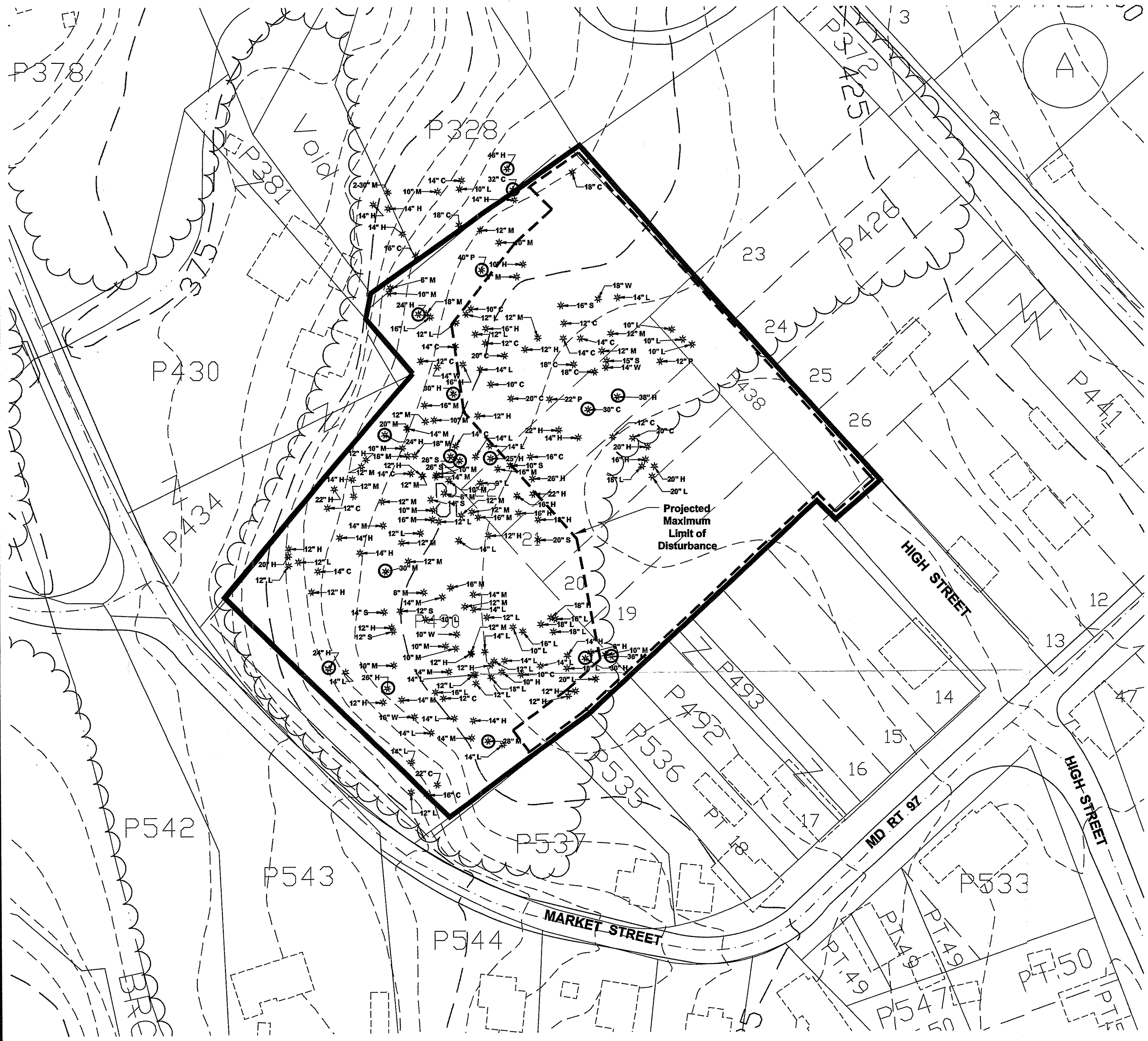




Projected  
Maximum  
Limit of  
Disturbance



HIGH STREET

MD RT 97

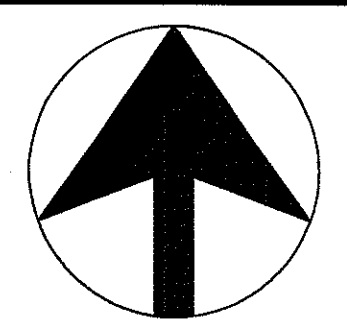


**NOTE:**  
 TREES FIELD LOCATED AND IDENTIFIED  
 BY THOMAS A. MADDOX, PROFESSIONAL  
 LAND SURVEYOR, JUNE 2001.

**LEGEND:**

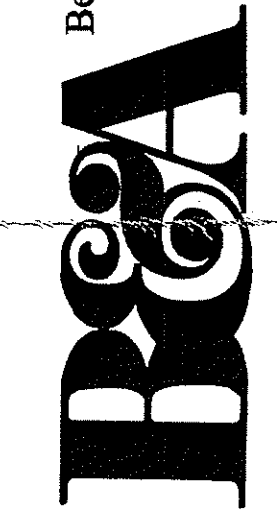
- TREES ≥ 24" DBH 
- TREES 8-23" DBH 
- C - CHERRY
- H - HICKORY
- L - LOCUST
- M - MAPLE
- P - POPLAR
- S - SYCAMORE
- W - WALNUT

Revisions

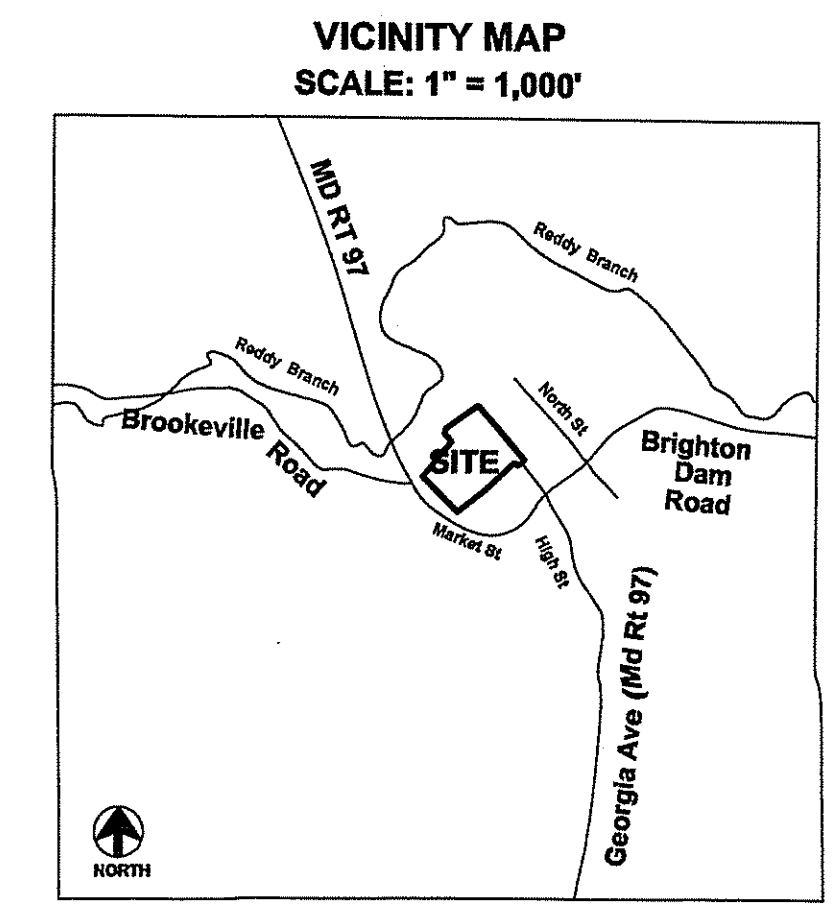



date: June 2001  
 scale: 1" = 50'

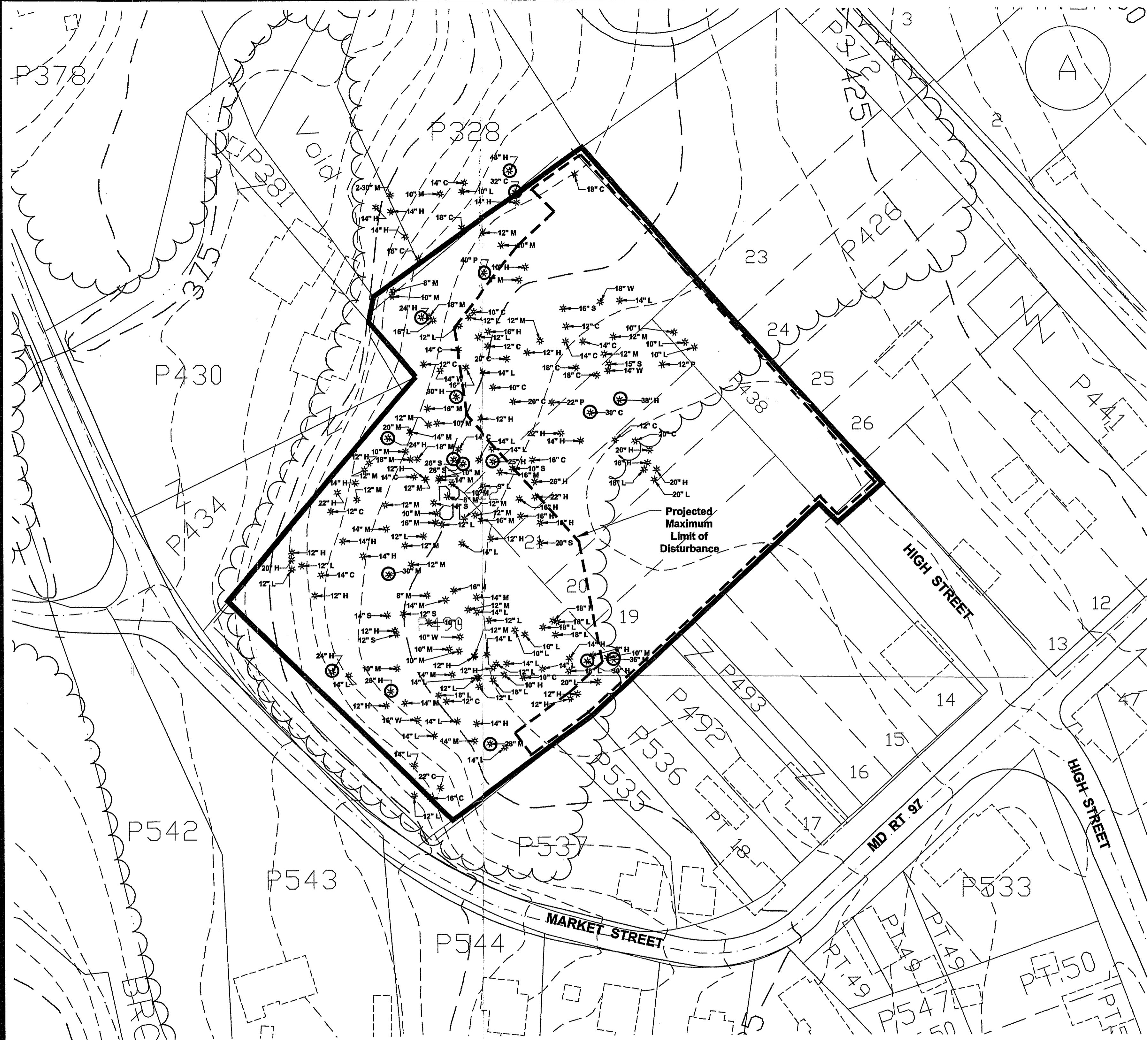
Benning & Associates, Inc.  
 Land Planning Consultants  
 8933 Shady Grove Court  
 Gaithersburg, MD 20877  
 (301)948-0240



Contract Purchasers:  
**Ruffin Maddox / Rory Coakley**  
 20 Court House Square  
 Rockville, MD 20850  
 301-340-8700



TREE SURVEY  
**ROTTER PROPERTY**  
 Town of Brookeville, Maryland



**NOTE:**  
 TREES FIELD LOCATED AND IDENTIFIED  
 BY THOMAS A. MADDOX, PROFESSIONAL  
 LAND SURVEYOR, JUNE 2001.

**LEGEND:**

TREES ≥ 24" DBH

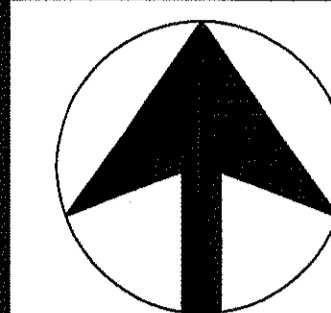


TREES 8-23" DBH



- C - CHERRY
- H - HICKORY
- L - LOCUST
- M - MAPLE
- P - POPLAR
- S - SYCAMORE
- W - WALNUT

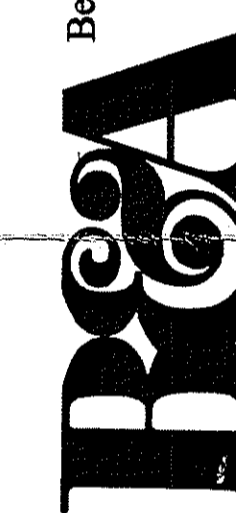
Revisions

date: June 2001

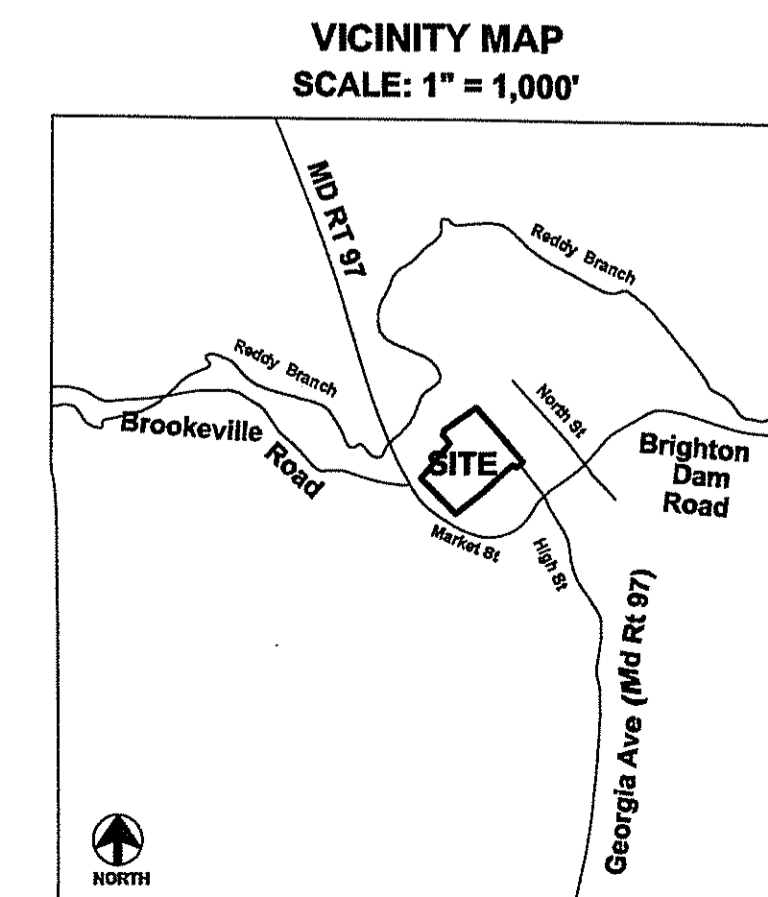
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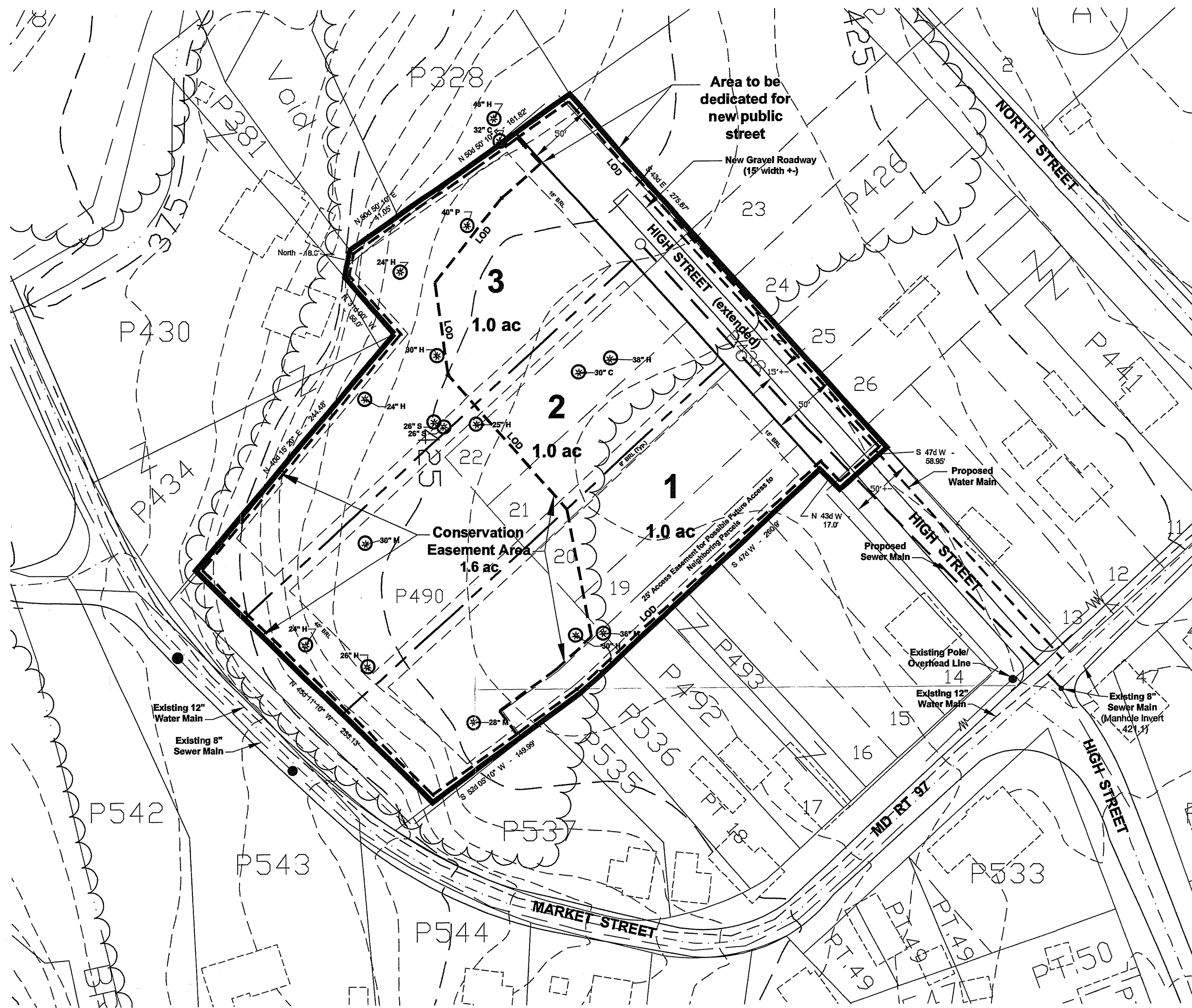
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 8933 Shady Grove Court  
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TREE SURVEY  
**ROTTER PROPERTY**  
 Town of Brookeville, Maryland

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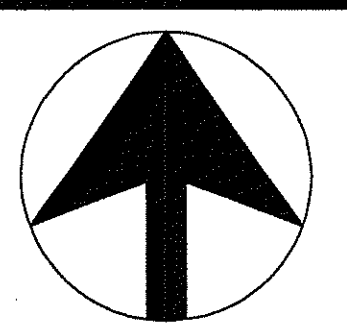




**NOTES:**

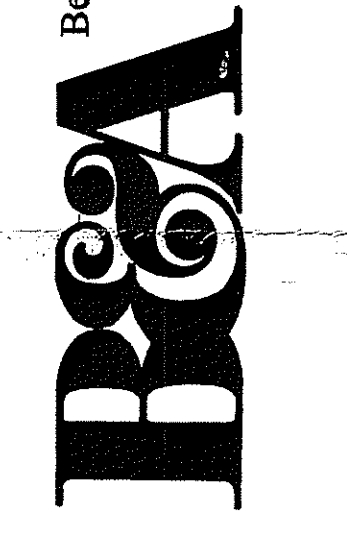
- 1. AREA OF PROPERTY - 3.3 ACRES
- 4. EXISTING ZONING - HVR (Historic Village Residential)
- 6. PERMITTED DENSITY - 1 DWELLING UNIT PER ACRE
- 7. NUMBER OF LOTS SHOWN - 3
- 8. MINIMUM LOT SIZE PERMITTED - 10,000 SF
- 9. MINIMUM LOT SIZE SHOWN - 1.0 AC +/-
- 12. REQUIRED SETBACKS:
  - Frontyards - 15'
  - Sideyards - 8'
  - Rearyards - 40'
- 13. SITE TO BE SERVED BY PUBLIC WATER & SEWER (WSSC)
- 14. EXISTING SEWER & WATER SERVICE CATEGORIES: S-1; W-1

Revisions

date: March 2001  
Revised 6/13/01  
scale: 1" = 50'

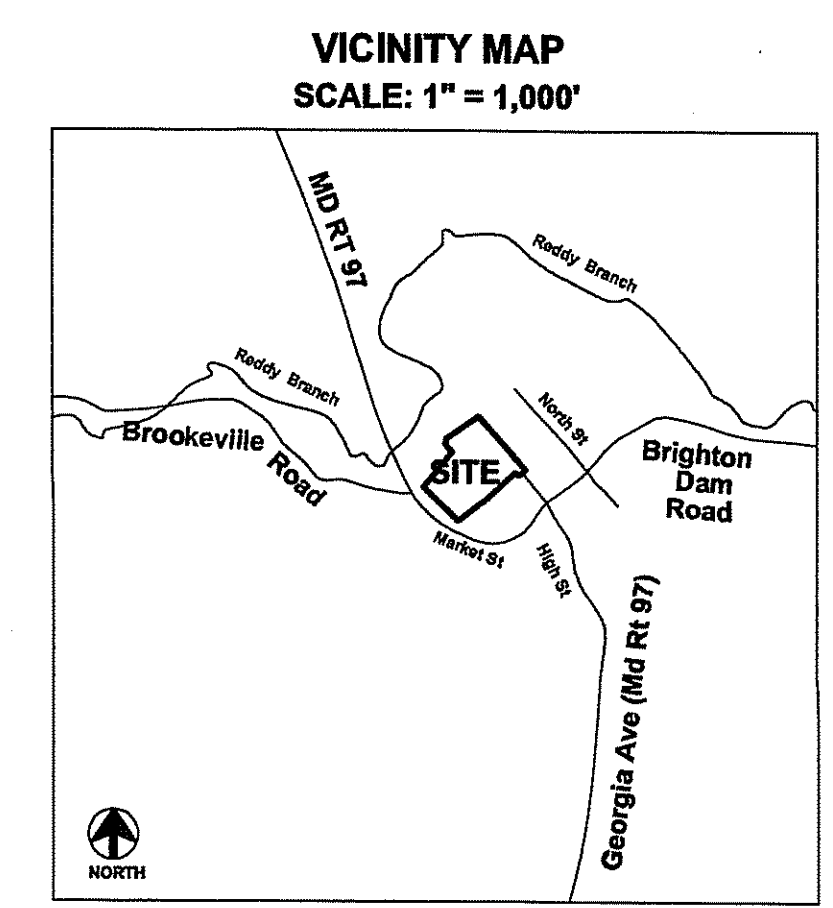
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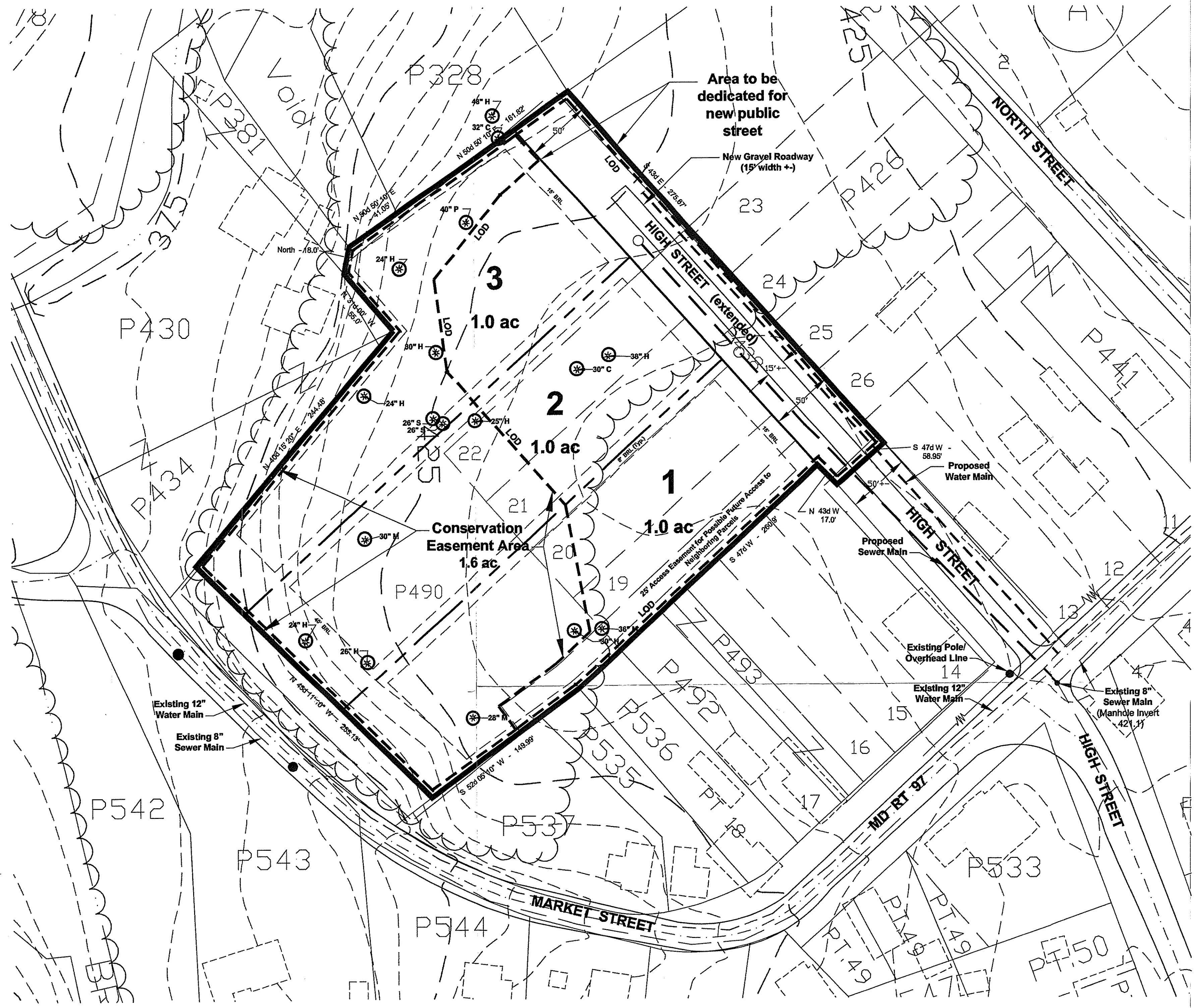
**Surveyor's Certificate:**  
I hereby certify that the boundary shown hereon is correct to my best knowledge and belief based upon existing records and visual observations.  
*[Signature]* 3/19/01  
Signature Date

Source of Topography:  
M-NCPPP, 5-foot contour interval  
maps; sheets 227NW03

Contract Purchasers:  
**Ruffin Maddox / Rory Coakley**  
20 Court House Square  
Rockville, MD 20850  
301-340-8700



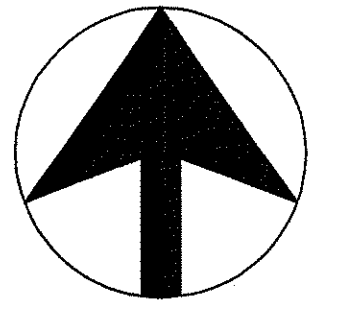
PRELIMINARY PLAN  
**ROTTER PROPERTY**  
Town of Brookeville, Maryland



**NOTES:**

1. AREA OF PROPERTY - 3.3 ACRES
4. EXISTING ZONING - HVR (Historic Village Residential)
6. PERMITTED DENSITY - 1 DWELLING UNIT PER ACRE
7. NUMBER OF LOTS SHOWN - 3
8. MINIMUM LOT SIZE PERMITTED - 10,000 SF
9. MINIMUM LOT SIZE SHOWN - 1.0 AC +/-
12. REQUIRED SETBACKS:
  - Frontyards - 15'
  - Sideyards - 8'
  - Rearyards - 40'
13. SITE TO BE SERVED BY PUBLIC WATER & SEWER (WSSC)
14. EXISTING SEWER & WATER SERVICE CATEGORIES: S-1; W-1

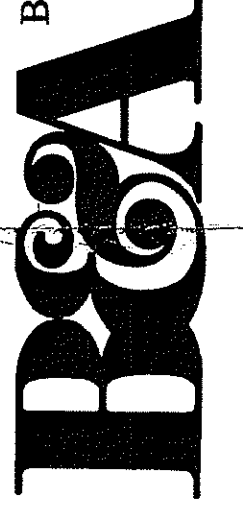
Revisions

date: March 2001  
Revised 6/13/01

scale: 1" = 50'

Benning & Associates, Inc.  
Land Planning Consultants  
8935 Sandy Grove Court  
Gaithersburg, MD 20877  
(301)948-0240

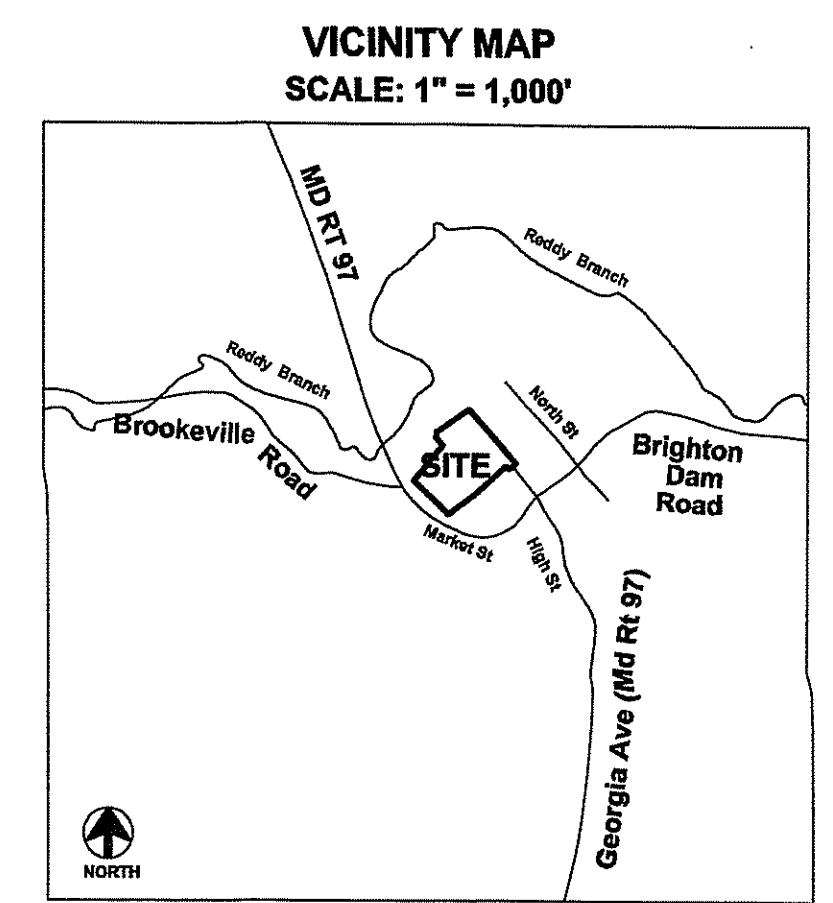


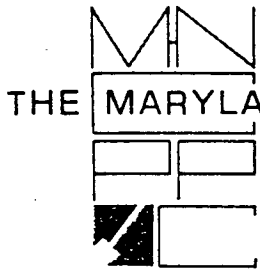
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Town of Brookeville, Maryland

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maps; sheets 227NW03

Contract Purchasers:  
**Ruffin Maddox / Rory Coakley**  
20 Court House Square  
Rockville, MD 20850  
301-340-8700





FAX TRANSMITTAL SHEET

Historic Preservation Office  
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: Chris Scanlon  
Miche Booz FAX NUMBER: 301-774-1908 (niche)

FROM: Room 2ek

DATE: 6/27/01

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 3

NOTE:

I Thought This had been mailed to  
you last week! But I have to apologize  
Call me with any questions -  
Room

@ July 10<sup>th</sup> Brookeville  
Planning Bd.

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address:	High Street - Extended	Meeting Date:	6/27/01 [4/25/01]
Applicant:	Ruffin Maddox & Rory Coakley (David McKee, Agent)	Report Date:	6/20/01 [4/18/01]
Resource:	Brookeville Historic District	Public Notice:	6/13/01 [4/11/01]
Review:	<b>SUBDIVISION</b>	Tax Credit:	No
District Number:	#23/65	Staff:	Robin D. Ziek

**PROPOSAL:** Subdivide the Rotter Property, creating three 1-acre home sites.

**RECOMMEND:** Support proposed subdivision

This Subdivision was initially scheduled for the 4/25/01 HPC agenda, but was postponed at the request of the applicant. At this time, there is additional information provided with a tree survey, and the tree conservation area has been studied and refined.

**Administrative Background**

The Town of Brookeville has undertaken, in the past several years, the termination of the 1959 Agreement with M-NCPPC. With this action, the Town takes up the exercise of its planning and zoning authority. This subdivision proposal of the Rotter Property is the first to be reviewed by the HPC in conjunction with the Planning Commission of Brookeville rather than Montgomery County's Planning Board.

As with the Montgomery County Planning Board, the HPC works in an advisory capacity on the subdivision plan. With this opportunity, the HPC can provide its comments on the lot layout and development, especially to the extent that the subdivision plan will shape the future construction on the site. When the Planning Commission of Brookeville takes action on the proposed subdivision, they can take the opportunity to provide comments to the HPC in consideration of the HPC preservation and architectural review of the upcoming proposal[s].

As the *Comprehensive Plan for the Town of Brookeville* (adopted in 1994) describes, the Town has a large *Master Plan* Historic District, and continues to work with the county under Chapter 24A. As with all historic districts, the HPC has review and approval authority over exterior alterations of existing structures and provides design review of new construction to assure compatible new development. The HPC review includes architectural elevations, building size and siting, and landscaping. The *Comprehensive Plan* provides some guidance for the HPC about Town concerns for preservation and compatible development, including the preservation of



significant vistas and natural or historical features. Brookeville is notable for its concentration of 19<sup>th</sup> and 20<sup>th</sup> century structures (mostly residential), and for its existing open areas which were not previously developed due to environmental constraints such as steep slopes, wetlands, in conjunction with the Reddy Branch and tributaries which flow at the edge of town. In addition, there are known archaeological sites, such as the two mills at either end of town, and a church site at the end of North Street; and there is high archaeological potential in various areas of the Town.

## **SITE DESCRIPTION**

The Town of Brookeville was laid out with main streets – High Street and Market Street, and minor streets – North and South Streets, and High Street [extended]. Until fairly recently, the minor streets were used mostly as shared driveways and had the general character of alleys, or “village lanes”. Recently, three new homes were constructed on North Street. That subdivision proposal developed from an analysis of the existing layout of Brookeville, and an identification of character defining features. With this, the feel and character of the narrow gravel lane was preserved and the new construction was integrated into the existing historic plan of the Town.

The proposed new development is on the west side of High Street [extended]. Today, this street appears to be a private driveway shared by the adjacent property owners at 211 and 301 Market Street. The brick house at 301 Market Street dates to the 1<sup>st</sup> quarter of the 19<sup>th</sup> century. It began as a Federal style house, but was renovated in the Italianate style in the middle of the 19<sup>th</sup> century. The prominent brackets and flat roof are notable features. This house is sited close to the intersection of Market Street and High Street [extended], and its east side elevation will be highly visible. The owner currently parks alongside his house, with High Street [extended] serving as the driveway.

The property at 211 Market Street includes a prominent wood frame house which developed from a small cottage, constructed ca. 1820, and was enlarged as a Gothic Revival style house in 1863. Access to the garage associated with this property is from High Street [extended]; and, an in-ground pool behind the garage was recently approved by the HPC. The view north along High Street [extended] provides a sense of the rural landscape surrounding Brookeville. This includes the row of outbuildings (associated with 301 Market Street), open fields, a small apple orchard, woods extending into the Reddy Branch park area, and a sheep barn and exercise area associated with 211 Market Street on the east side of the road.

A large percentage of the subject property is relatively flat, with steeper slopes at the north and west edges. The forest covers the back and west half of the property, which is bounded on the west side by Georgia Avenue. To the north, the property abuts parkland associated with the stream valley of the Reddy Branch which is owned by M-NCPPC and by Montgomery County. Trails are being planned by the county for this parkland.

## **PROPOSAL**

The applicant proposes to subdivide the three-acre property into three one-acre building lots. They would all have access from High Street [extended], which will be fully dedicated as a public road to the Town of Brookeville (see Circle 12 ). At this time, the applicant is

proposing only the subdivision of the property, with the understanding that any new construction proposals will come before the HPC in the future for review and approval.

In the original layout for Brookeville (see Circle 10), four narrow lots were proposed on the subject property, but this was never platted. The new zoning ordinance (Section 10-301(a)) stipulates that the minimum lot size in this area will have a maximum density of one dwelling per acre. As the subject property includes 3 acres, the applicant proposes three lots of relatively equal size (see Circle 12). In addition, an alley is proposed, in the form of a 25' "Access Easement" to run at the back of the neighboring lots which front Market Street and provide safer access to these lots from the rear. Two homes in the curve of Market Street, #311, and #313, do not currently have any driveway access off of Market Street.

The tree survey demonstrates that this is a new growth forest. Of the 15 trees of substantial size, 13 are within the proposed Conservation Easement Area (see Circle 13). The proposed conservation area would assure the preservation of the tree buffer along the north and west edges of the property.

### STAFF DISCUSSION

For all its small size, Brookeville has a diverse landscape and each building site has unique characteristics. The subdivision process is the precursor of new construction, which has been approved within the Town of Brookeville on a limited basis. In each case, the design and development has been tailored to the site-specific conditions. In all cases, the goal is to promote the integration of the new development into the existing conditions of the historic district.

This proposed new subdivision is consistent with general conditions in the Town, and the applicants have taken steps to respond to concerns expressed in meetings with HPC staff. This includes the extensive conservation easement area and the establishment of lots which conform with the existing lots patterns in town.

The proposed **tree conservation area** will help to address a major concern which is voiced in the *Brookeville Master Plan*, and which HPC staff reiterated, which is the desire to maintain a natural edge as a buffer around Brookeville. This serves to preserve town identity and ambiance, especially with all the new development in the area. This project should be viewed from all directions, especially as the north and west edges of the property are visible from Georgia Avenue, the north gateway entrance into town. In addition, everyone driving north on Georgia Avenue has a straight view into the proposed development area.

The proposal indicates a tree conservation area which will preserve the town's forested edge in this area. The final plat should contain more specific language for future owners that more clearly defines this as a "no-build" area, where the trees may not be removed for anything other than forest conservation purposes.

The alley will provide access only for existing properties. All of the properties which back up to the proposed alley are under one acre and there is no additional development which can occur because there is an alley. That said, the alley will be dedicated only to a point sufficient to

provide access for 313 Market Street. This will preserve a maximum amount of forest at this edge along Market Street. The alley should be maintained as a gravel road, in keeping with the character of the other small roads and lanes.

With the dedication of **High Street [extended]**, consideration should be given to future development (Lauder Property, with its potential for two additional homes to the northeast, and of the Montgomery Property, with the potential for 1 additional home to the east). This roadway dedication could be built as a narrow gravel road to the end of the property, or could be partially developed as a walking path for residents that would loop over to North Street, or to connect to trails in the parkland.

The extension of High Street [extended] will have the effect of changing two middle-of-the-block historic properties into two corner lots. The existing collection of outbuildings associated with the Rotter Property will become highly visible. These outbuildings are in varying levels of disrepair, and this will need to be addressed from a public safety point of view once public access to this area is provided. Staff would not encourage the demolition of these outbuildings, but would urge repairs and stabilization of the buildings as soon as possible. Outbuildings and farm buildings are characteristic of Brookeville, with the variety of ancillary buildings such as barns, hen houses and privies.

#### **STAFF RECOMMENDATION**

Staff recommends that the HPC support the subdivision proposal.



**Benning & Associates, Inc.**  
Land Planning Consultants

8933 Shady Grove Court  
Gaithersburg, Md. 20877  
(301) 948-0240

March 8, 2001

Ms. Robin Ziek  
Historic Preservation Staff  
M-NCP&PC  
8787 Georgia Avenue  
Silver Spring, MD 20910

Re: Rotter Property - Town of Brookeville

Dear Robin,

Attached is an application for "Historic Area Work Permit" for the subject property. Several weeks ago, my clients and I met with you to discuss the planned subdivision of the property. The plans being submitted to you today are very much like we talked about at the meeting.

Three single family homes are proposed with detached garages on the more than three acres of land. The new road to serve the three lots will be a gravel road similar to North Street in keeping with the character of the Town and the wishes of the Town Planning Commission. The plans are being submitted to the Town for concurrent review and approval.

Please let us know if you need anything else at this time.

Sincerely,

A handwritten signature in cursive script that reads 'David W. McKee'.

David W. McKee

5

**BENNING & ASSOCIATES, INC**  
**LAND PLANNING CONSULTANTS**

**8933 SHADY GROVE COURT**  
**GAITHERSBURG, MD 20877**

**Phone: (301) 948-0240**

**Fax: (301) 948-0241**

To: Ms. Gwen Wright

Date: 6/14/01

M-NCP&PC

Project: Rotter Property

8787 Georgia Avenue

(Town of Brookeville)

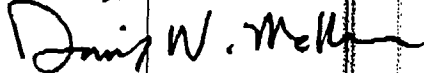
Silver Spring, MD 20910

Gwen:

As discussed at our meeting with you several weeks ago, attached are copies of a "Tree Survey" for the subject property. In addition, as per our discussion, the houses and garages have been removed from the Preliminary Plan so that the focus at this time is on the subdivision of the property only. We are showing a conservation easement line on the plan for the purpose of protecting a substantial amount of the forest on-site and most of the larger trees while still allowing for some flexibility in siting the three future homesites.

Please call me if you need anything else at this time.

Sincerely,



David W. McKee

cc. R. Maddox  
 R. Coakley  
 G. Bauman

(6)

Margaret C Kay  
313 Market Street  
Brookeville, Maryland 20833-2505

Sidney D Wells 3<sup>rd</sup>  
309 Market Street  
Brookeville, Maryland 20833

Robert K & DH Heritage  
307 Market Street  
Brookeville, Maryland 20833

Mark T & Al Ennes  
316 Market Street  
Brookeville, Maryland 20833

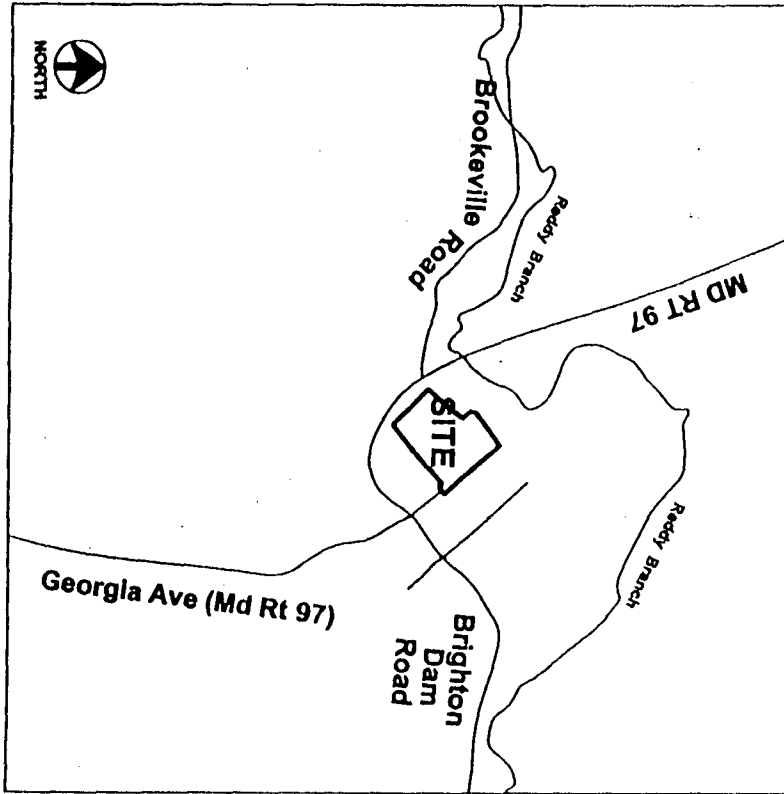
William J Patton &  
Deborah A Harrington-Patton  
318 Market Street  
Brookeville, Maryland 20833-2501

David C & Ea Yinger  
19801 Georgia Ave  
Brookeville, Maryland 20833

J Gordon & P G Lowder  
North Street  
P.O. Box 244  
Brookeville, Maryland 20833

Harry E & KS Montgomery  
211 Market Street  
P.O. Box 68  
Brookeville, Maryland 20833

*Sidney Potter  
301 Market Street  
Brookeville, MD. 20833*

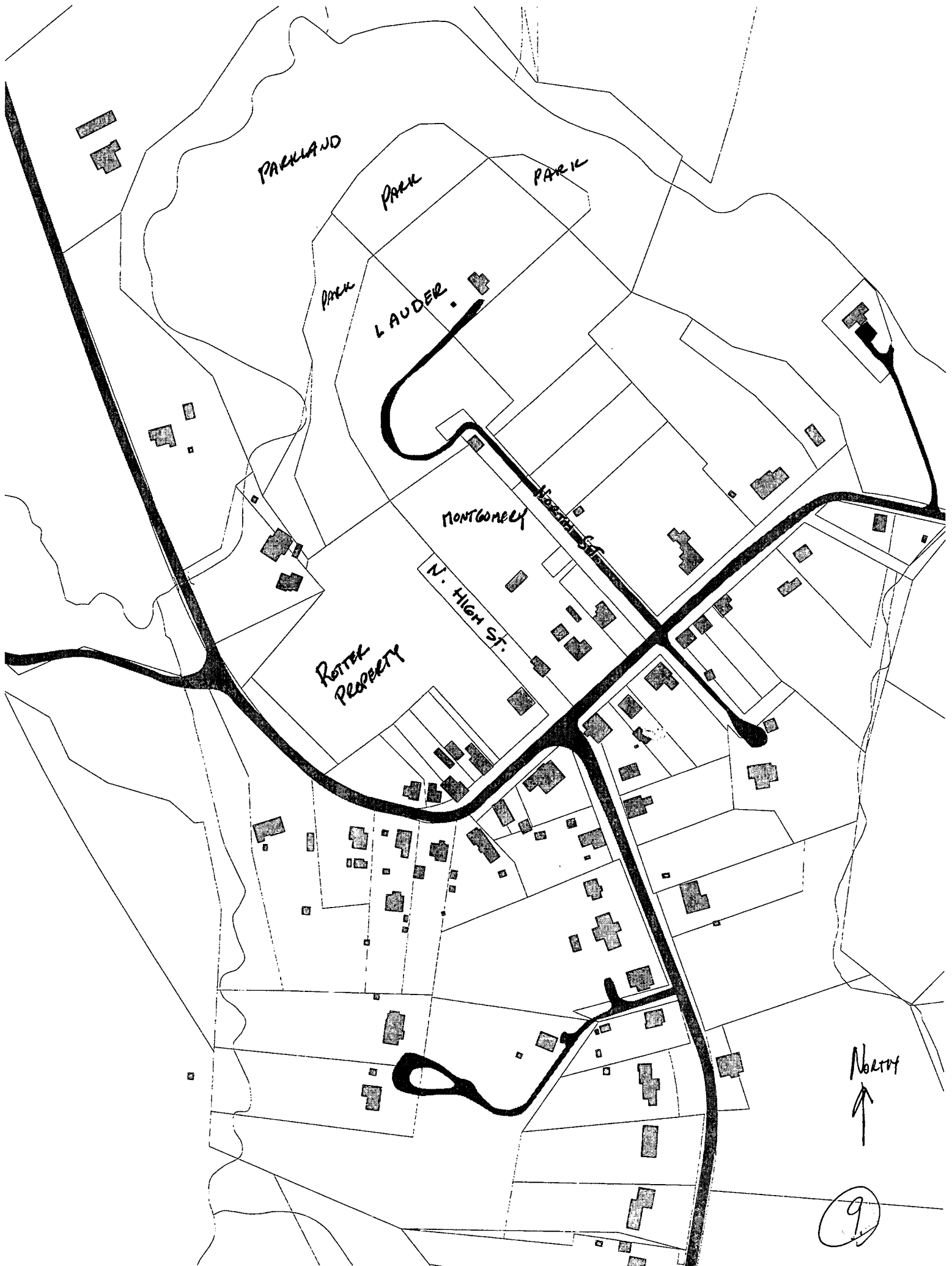


VICINITY MAP  
SCALE: 1" = 1,000'

PRELIMINARY PLAN  
**ROTTER PROPERTY**

Town of Brookeville, Maryland

8



PACHICO PARK

PARK

PARK

PARK

LAUDER

MONTGOMERY

Montgomery St.

N. HIGH ST.

Rotek Property

North

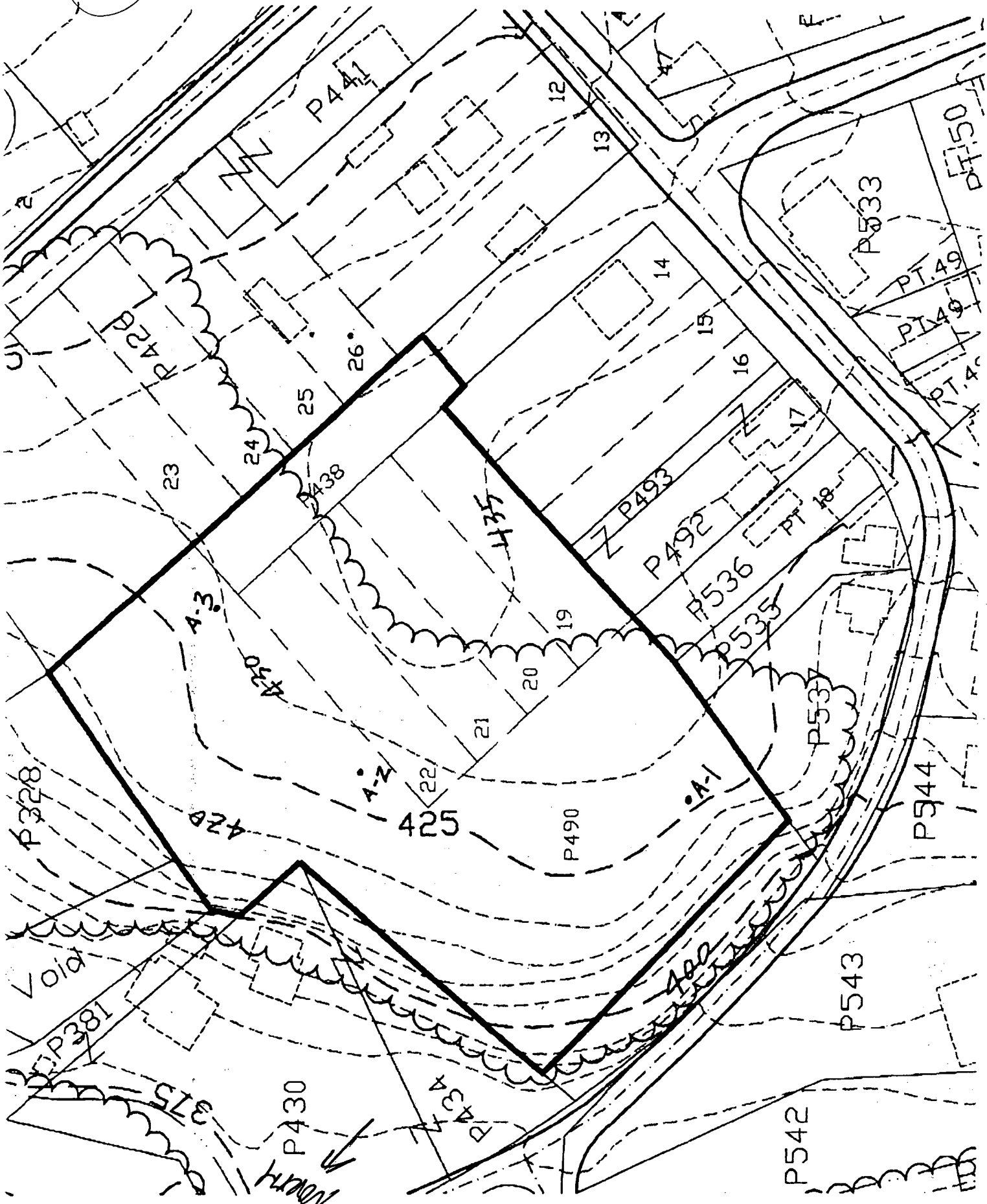


9



EXISTING

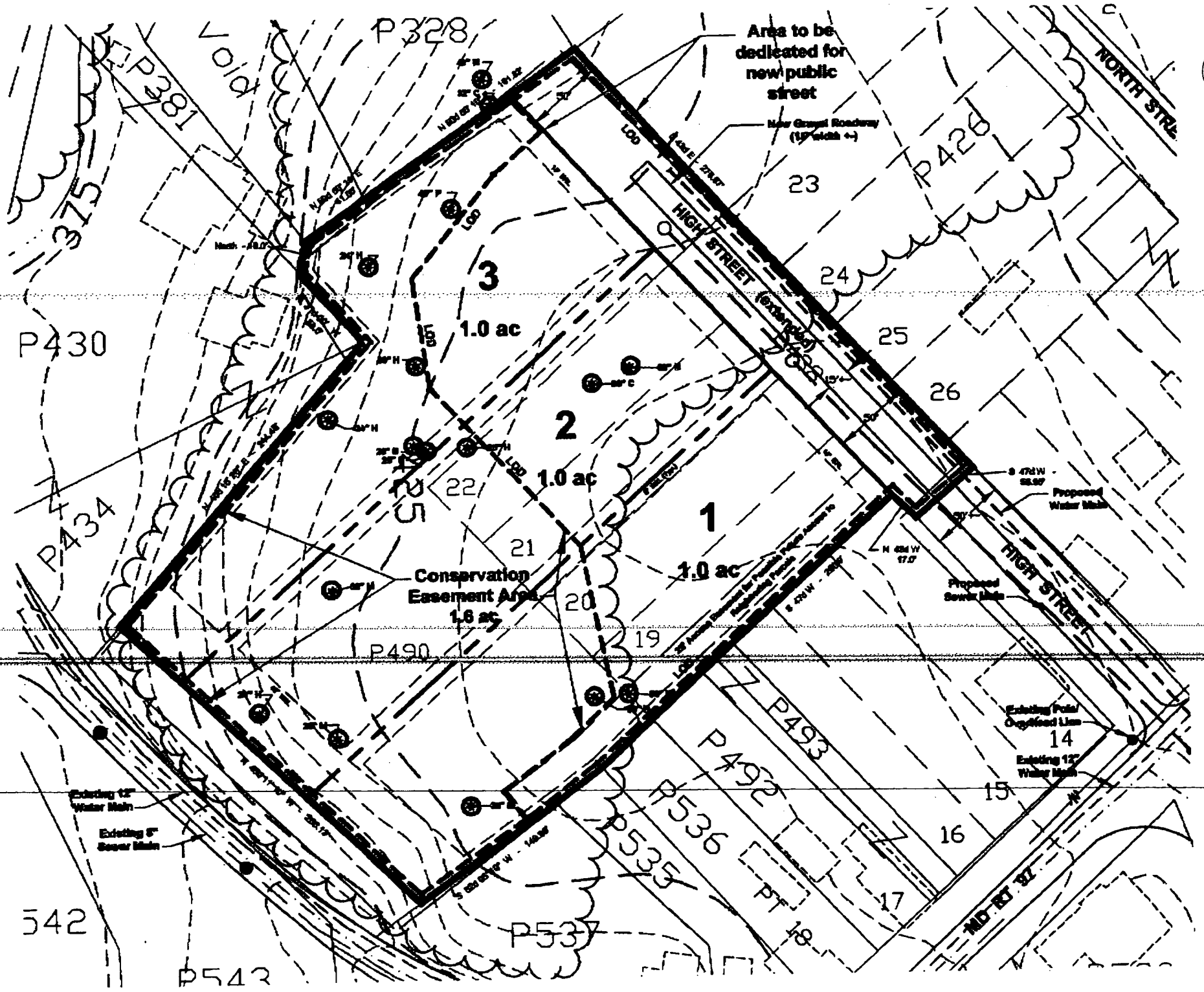
10



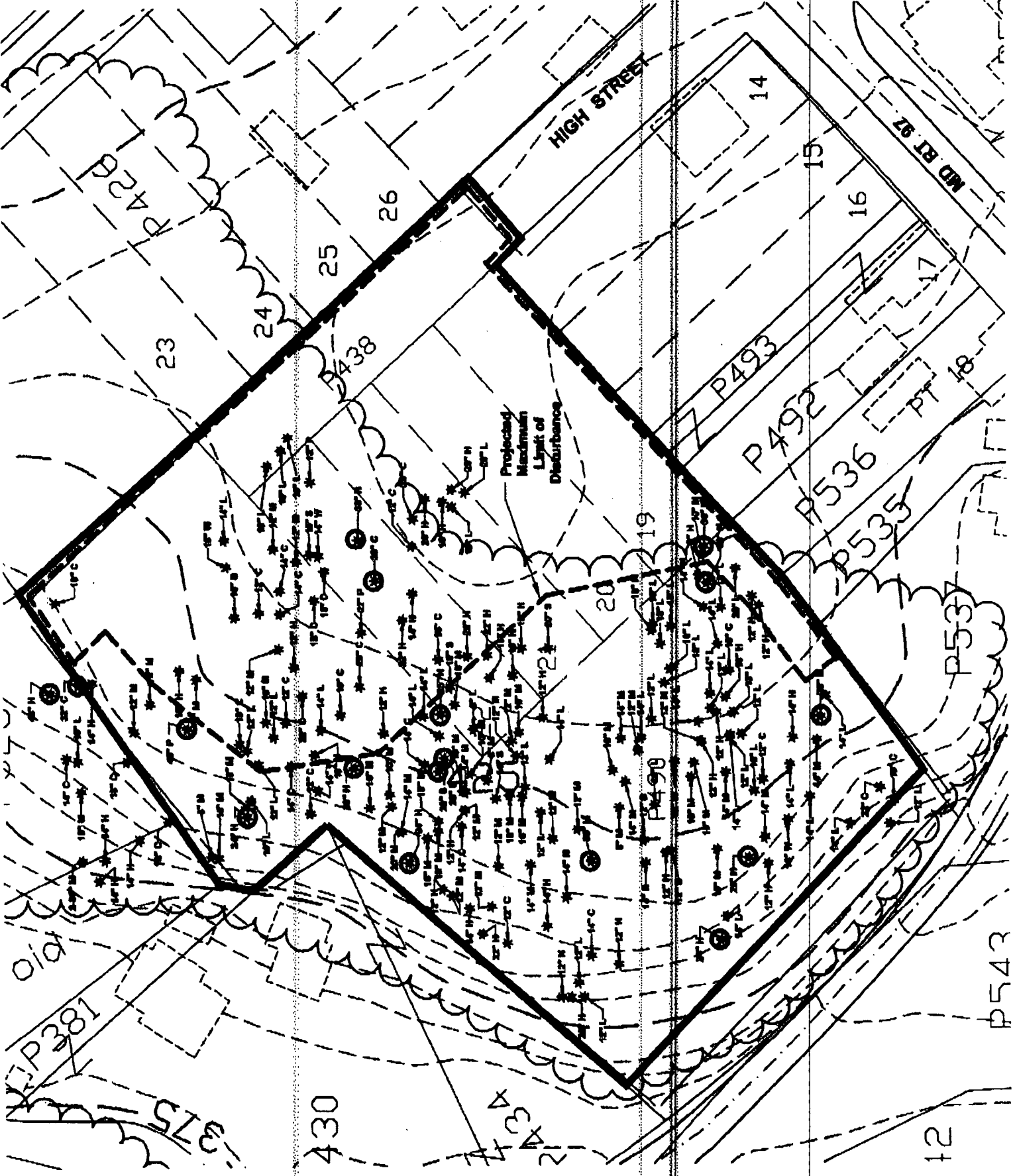
NORTH

## NOTES:

1. AREA OF PROPERTY - 3.3 ACRES
4. EXISTING ZONING - HVR (Historic Village Residential)
6. PERMITTED DENSITY - 1 DWELLING UNIT PER ACRE
7. NUMBER OF LOTS SHOWN - 3
8. MINIMUM LOT SIZE PERMITTED - 10,000 SF
9. MINIMUM LOT SIZE SHOWN - 1.0 AC +/-
12. REQUIRED SETBACKS:
  - Frontyards - 15'
  - Sideyards - 8'
  - Rearyards - 40'
13. SITE TO BE SERVED BY PUBLIC WATER & SEWER (WSSC)
14. EXISTING SEWER & WATER SERVICE CATEGORIES: S-1; W-1



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State Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

### Figure B-2 Forest Stand Summary Worksheet

Property Name: ROTTER PROPERTY  
 Location: BROOKVILLE, MONTGOMERY CO. MAP#21; F-2  
(Town, County, AEG Map #, and Grid Coordinates)  
 Prepared By: LOSH MAISEL PLA#3011 Date: 03.07.01

Stand Variable	Stand # <u>A</u> <u>12.7</u> acres	Stand # <u>1</u> acres
1. Dominant species/Codominant species	BLACK LOCUST & SYCAMORE	
2. Successional stage	PIONEER	
3. Basal area in s.f. per acre	170	
4. Size class of dominant species	6-11.9"	
5. Percent of canopy closure	N/A - WINTER	
6. Number of tree species per plot	6	
7. Common understorey species 3' to 20' tall	SPICE BUSH FLOWERING DOGWOOD	
8. Percent of understorey cover 3' to 20' tall	100%	
9. Number of woody plant species 3' to 20' tall	3	
10. Common herbaceous species 0' to 3' tall	JAPANESE HONEYSUCKLE ENGLISH IVY POISON IVY	
11. Percent of herbaceous & woody plant cover 0' to 3' tall	N/A - WINTER	
12. List of major invasive plant species & percent of cover	JAPANESE HONEY-SUCKLE, ENGLISH IVY TREE-OF-HEAVEN 4%	
13. Number of standing dead trees 6" dbh or greater	15	
14. Comments	OPENINGS IN CANOPY CLOSE TO ROAD	

Sheet 1 of 4

Source: DNR

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State Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

Figure B-1 Forest Sampling Data Worksheet

Property: LOTTER PROPERTY Prepared By: JOHN MAIBEL  
Stand #: A Plot #: 1 Plot Size: 1/10 AC Date: 03-07-01

Tree Species	Size Class of Trees > 20' Height within Sample Plot															
	Number of Trees 2-5.9" dbh			Number of Trees 6-11.9" dbh			Number of Trees 12-19.9" dbh			Number of Trees 20-29.9" dbh			Number of Trees > 30" dbh			
Canopy Position	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Total
BLACK CHERRY			1			1						1				3
BLACK LOCUST				3			3									6
RED MAPLE					2											2
SYCAMORE	3			5			1									9
TULIP POPLAR					1											1
FLOWERING DOGWOOD			1													1
SCARLET OAK					2											2
Total Number of Trees per Size Class	5			14			4			1			0			24
Number & Size of Standing Dead Trees	1			7			0			0			0			8
List of Common Understory Species 3'-20': SPICE BUSH CHERRY SPS TULIP POPLAR	Percent of Canopy Closure						Percent of Invasive Cover per Plot (All Layers):			Plot Successional Stage:						
	C	N	E	S	W	Total	5%			PIONEER						
	W	I	N	T	E	R										
	Percent of Understory Cover 3'-20'															
	C	N	E	S	W	Total										
	Y	Y	Y	Y	Y	100%										
List of Herbaceous Species 0'-3': FERNS JAPANESE HONEY SUCKLE WILD ONION GRAPE VINE ENGLISH IVY POISON IVY	Percent of Herbaceous Cover 0'-3'						List of Major Invasive Species per Plot (All Layers):									
	C	N	E	S	W	Total	JAPANESE HONEY-SUCKLE, ENGLISH IVY									
	W	I	N	T	E	R										
Comments	CLOSE TO OPENING IN CANOPY POINT AT TOP OF SLOPE LOTS OF DEER DROPPINGS CAN SEE ROAD IVY ENGULFING TREES SONG BIRDS & CROWS															

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State Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

# Figure B-1 Forest Sampling Data Worksheet

Property: ROTTER PROPERTY Prepared By: JOSH MAISEL

Stand #: A Plot #: Z Plot Size: 1/10 AC Date: 03-07-01

Tree Species	Number of Trees 2-5.9" dbh			Number of Trees 6-11.9" dbh			Number of Trees 12-19.9" dbh			Number of Trees 20-29.9" dbh			Number of Trees > 30" dbh			Total
	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	
BLACK LOCUST				2			2									4
SYCAMORE		5		2			3									10
BLACK CHERRY				2			3									5
RED MAPLE			1		9			5								15
TULIP POPLAR					2											2
TREE-OF-HEAVEN			2		1											3
<b>Total Number of Trees per Size Class</b>	8			18			13			0			0			39
<b>Number &amp; Size of Standing Dead Trees</b>	7			3			1			0			0			11
List of Common Understory Species 3'-20': SPICE BUSH RED MAPLE FLOWERING DOGWOOD				Percent of Canopy Closure C N E S W Total W I N T E R						Percent of Invasive Cover per Plot (All Layers): 3%			Plot Successional Stage: PIONEER			
List of Herbaceous Species 0'-3': WILD ONION ENGLISH IVY POISON IVY				Percent of Understory Cover 3'-20' C N E S W Total Y Y Y Y Y 100%						List of Major Invasive Species per Plot (All Layers): TREE-OF-HEAVEN ENGLISH IVY						
Comments: DENSE SHRUB LAYER MANY SNAGS SONG BIRDS				ROAD NOISE CAN SEE ROAD DEER DROPPINGS UP GRADE OF ADJACENT HOUSE						SMALL AMOUNT OF ENGLISH IVY DEER RUB						

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State Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

Figure B-1 Forest Sampling Data Worksheet

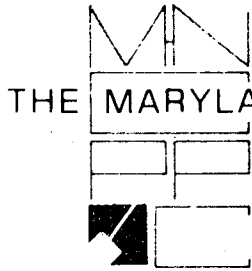
Property: ROTTER PROPERTY Prepared By: JOSH MAISEL  
Stand #: A Plot #: 3 Plot Size: 1/10 AC Date: 03-07-01

Tree Species	Size Class of Trees > 20' Height within Sample Plot					Total										
	Number of Trees 2-5.9" dbh			Number of Trees 6-11.9" dbh			Number of Trees 12-19.9" dbh			Number of Trees 20-29.9" dbh			Number of Trees > 30" dbh			
Crown Position	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Total
BLACK CHERRY				4			3			1						8
BLACK LOCUST					1		1									2
RED MAPLE			1		4											5
SYCAMORE	2						6									8
SCARLET OAK								1								1
Total Number of Trees per Size Class	3			9			11			1			0			24
Number & Size of Standing Dead Trees	0			5			3			0			0			8
List of Common Understory Species 3'-20': SPICE BUSH FLOWERING DOGWOOD				Percent of Canopy Closure C N E S W Total W I N T E R						Percent of Invasive Cover per Plot (All Layers): 5%			Plot Successional Stage: PIONEER			
List of Herbaceous Species 0'-3': POISON IVY ENGLISH IVY JAPANESE HONEYSUCKLE RUBUS SPS				Percent of Understory Cover 3'-20' C N E S W Total Y Y Y Y Y 100%						List of Major Invasive Species per Plot (All Layers): ENGLISH IVY JAPANESE HONEY-SUCKLE						
Comments: VERY DENSE SHRUB CAN HEAR ROAD NOISE OPENING IN CANOPY Sheet 1 of 4				ENGLISH IVY ENGULFING TREES LOTS OF DOWNED TREES SONG BIRDS DEER DROPPINGS												

Source: DNR

17





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

**MEMORANDUM**

TO: LAP, Brookeville

FROM: *RZ* Robin D. Ziek, HPC Staff

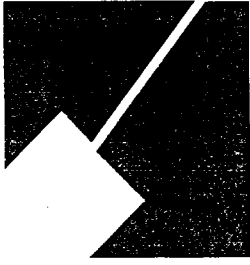
SUBJECT: HPC review of Subdivision of Rotter Property

DATE: June 14, 2001

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The staff report for the HPC April 25, 2001 agenda was previously distributed to you for that meeting. **Copies of any revisions or additional material which the applicant will provide to us to incorporate in a revised staff report for the upcoming June 27, 2001 meeting shall be provided directly to you by the applicant this week.** A revised staff report will be issued on June 20, 2001 that will incorporate any new material to be considered by the HPC, and this will be mailed to you directly by the HPC staff at that time. If you have any questions, please call our office at 301-563-3400.

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK & PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

June 13, 2001

MEMORANDUM

TO: Local Advisory Panel/Town Government

FROM: Robin Ziek, Historic Preservation Planner  
Perry Kephart, Historic Preservation Planner  
Michele Naru, Historic Preservation Planner  
Historic Preservation Section  
M-NCPPC

SUBJECT: Historic Area Work Permit Application Review

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The Historic Preservation Commission has received a Historic Area Work Permit (HAWP) application for a property in your neighborhood. The enclosed agenda lists the HAWP applications currently under review. Please note the Commission's meeting date, time, and location on the agenda.

The enclosed copy of a HAWP application is forwarded for your review. You may submit comments in writing, if you wish, and/or attend the HPC meeting to speak directly with Commissioners. Please let us know if you plan to attend the meeting. You may call with your comments, mail comments to us at the letterhead address, or fax them to us at 301-563-3412.

For further information, please call either of us at 301-563-3400. Thank you very much for your time and interest in assisting the HPC with its review.

c:\lap.wpd

**\*\*Please Note Change in Meeting Location\*\***

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**

301-563-3400

**WEDNESDAY**

**June 27, 2001**

**CHEVY CHASE VILLAGE HALL  
5906 CONNECTICUT AVENUE  
CHEVY CHASE, MARYLAND**

**PLEASE NOTE:** The HPC agenda is subject to change anytime after printing or during the commission meeting. Please contact the Historic Preservation Commission at the number above to obtain current information. If your application is included on this agenda, you or your representative is expected to attend.

**I. OPEN DISCUSSION - 6:00 p.m.**

The HPC invites interested citizens to meet informally with the commission to discuss ideas and concerns about the county's preservation program.

**II. HPC WORKSESSION - 7:00 p.m.**

**III. HISTORIC AREA WORK PERMITS - 7:30 p.m.**

- A. Jeanie & Scott Greene, for driveway paving, screen and garage door replacements, fence installation at 2201 Salisbury Road, Silver spring (HPC Case No. 36/02-01B) (Linden Historic District).
- B. Montgomery County Department of Public Works & Transportation (Sogand Seirafi, Agent), for sidewalk and curb installation on north side of Holman Avenue, west side of Rosensteel Avenue, Silver Spring (HPC Case No. 31/8-01B) (Forest Glen Historic District).
- C. John T. Collins, for fencing at 13 Montgomery Avenue, Takoma Park (HPC Case No. 37/3-01T) (Takoma Park Historic District).
- D. James Belikove & Vanessa Piala, for fence installation at 4811 Cumberland Avenue, Chevy Chase (HPC Case No. 35/36-01C) (Somerset Historic District).
- E. M-NCPPC (Leland Edgecombe, Architect), for barn reconstruction, paving, new construction at 18400 Muncaster Road, Derwood (HPC Case No. 22/07-01B) (*Master Plan Site #22/7. Bussard Farm/Agricultural History Farm Park*).

(OVER)

IV. SUBDIVISION - 8:30 p.m.

- A. Ruffin Maddox & Rory Coakley (David McKee, Agent), for subdivision at 301 Market Street, Brookeville (Brookeville Historic District).

V. HISTORIC PRESERVATION TAX CREDIT REVIEW - 9:00 p.m.

VI. MINUTES

- A. May 23, 2001

VII. OTHER BUSINESS

- A. Commission Items
- B. Staff Items

VIII. ADJOURNMENT

**BENNING & ASSOCIATES, INC**  
**LAND PLANNING CONSULTANTS**

**8983 SHADY GROVE COURT**  
**GAITHERSBURG, MD 20877**

**Phone: (301) 948-0240**

**Fax: (301) 948-0241**

To: Gwen Wright

Date: 6/15/01

M-NCP&PC

Project: Rotter (Brookeville)

8787 Georgia Avenue

No. of Pages (Inc. Cover): 4

Silver Spring, MD 20910

301-563-3412

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Hard copy with full size prints to be hand delivered on Monday

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address:	N. High Street	Meeting Date:	4/25/01
Applicant:	Ruffin Maddox & Rory Coakley (David McKee, Agent)	Report Date:	4/18/01
Resource:	Brookeville Historic District	Public Notice:	4/11/01
Review:	<b>SUBDIVISION</b>	Tax Credit:	No
District Number:	#23/65	Staff:	Robin D. Ziek

**PROPOSAL:** Subdivide the Rotter Property, creating three 1-acre home sites.

**RECOMMEND:** Modify layout

**Administrative Background**

The Town of Brookeville has undertaken, in the past several years, the termination of the 1959 Agreement with M-NCPPC. With this action, the Town takes up the exercise of its planning and zoning authority. This subdivision proposal of the Rotter Property is the first to be reviewed by the HPC in conjunction with the Planning Commission of Brookeville rather than Montgomery County's Planning Board.

As with the Montgomery County Planning Board, the HPC works in an advisory capacity on the subdivision plan. With this opportunity, the HPC can provide its comments on the lot layout and development, especially to the extent that the subdivision plan will shape the future construction on the site. When the Planning Commission of Brookeville takes action on the proposed subdivision, they can take the opportunity to provide comments to the HPC in consideration of the HPC preservation and architectural review of the upcoming proposal[s].

As the *Comprehensive Plan for the Town of Brookeville* (adopted in 1994) describes, the Town has a large *Master Plan* Historic District, and continues to work with the county under Chapter 24A. As with all historic districts, the HPC has review and approval authority over exterior alterations of existing structures and provides design review of new construction to assure compatible new development. The HPC review includes architectural elevations, building size and siting, and landscaping. The *Comprehensive Plan* provides some guidance for the HPC about Town concerns for preservation and compatible development, including the preservation of significant vistas and natural or historical features. Brookeville is notable for its concentration of 19<sup>th</sup> and 20<sup>th</sup> century structures (mostly residential), and for its existing open areas which were not previously developed due to environmental constraints such as steep slopes, wetlands, in conjunction with the Reddy Branch and tributaries which flow at the edge of town. In addition,

there are known archaeological sites, such as the two mills at either end of town, and a church site at the end of North Street; and there is high archaeological potential in various areas of the Town.

## **SITE DESCRIPTION**

The Town of Brookeville was laid out with two main streets – High Street and Market Street, and two minor streets – North/South Street, and N. High Street. Until fairly recently, the minor streets were used mostly as shared driveways and had the general character of alleys, or “village lanes”. Most recently, three new homes were constructed on North Street. The proposal developed after an analysis of the existing layout of Brookeville, and an identification of character defining features. With this, the feel and character of the narrow gravel lane was preserved and the new construction was integrated into the existing historic plan of the Town.

The proposed new development is on the west side of N. High Street. Today, N. High Street appears to be a private driveway shared by the adjacent property owners at 211 and 301 Market Street. The brick house at 301 Market Street dates to the 1<sup>st</sup> quarter of the 19<sup>th</sup> century. It began as a Federal style house, but was renovated in the Italianate style in the middle of the 19<sup>th</sup> century. The prominent brackets and flat roof are notable features. This house is sited close to the intersection of Market Street and N. High Street, and its east side elevation will be highly visible. The owner parks alongside the house, using North High Street as the driveway.

The property at 211 Market Street includes a prominent wood frame house which developed from a small cottage, constructed ca. 1820, and was enlarged as a Gothic Revival style house in 1863. The garage for this property sits adjacent to N. High Street, and an in-ground pool behind the garage was recently approved by the HPC. The view north along N. High Street provides a sense of the rural landscape surrounding Brookeville, with a row of outbuildings (associated with 301 Market Street), open fields, a small apple orchard, woods extending into the Reddy Branch park area, and a sheep barn and exercise area associated with 211 Market Street on the east side of the road.

A large percentage of the subject property is relatively flat, with steeper slopes at the north and west edges. The forest covers the back and west half of the property, which is bounded on the west side by Georgia Avenue. To the north, the property abuts parkland associated with the stream valley of the Reddy Branch, which is owned by M-NCPPC and by Montgomery County. Trails are being planned by the county for this parkland.

## **PROPOSAL**

The applicant proposes three homes fronting the N. High Street, as a developed public road. Separate two-car garages are shown towards the rear of each house. The homes are shown with a footprint of 1800 sf, and the two-car garages have 660 sf. Staff has discussed a reduced building footprint with the applicant, noting that their proposed size was on the high side. The applicant notes house and garage locations for planning purposes only, acknowledging that this does not restrict the HPC in anyway in their future consideration of new construction at this site.

Staff continues to urge the applicant to show smaller footprints in their proposal so as not be to misleading to any future property owners.

In the original layout for Brookeville, four narrow lots were proposed on the subject property, but this was never platted. The new zoning ordinance (Section 10-301(a) stipulates that the minimum lot size in this area will have a maximum density of one dwelling per acre. As the subject property includes 3 acres, the applicant proposes three lots of relatively equal size (see Circle 3 ). In addition, an alley is proposed, in the form of a 25' "Access Easement" which would run at the back of the neighboring lots, to offer rear access to these lots fronting Market Street. Two homes in the curve of Market Street, #311, and #313, do not have driveway access off of Market Street, and the traffic here also would make it very difficult if there were driveways for these two properties.

### STAFF DISCUSSION

For all its small size, Brookeville has a diverse landscape and each building site has unique characteristics. New construction has been approved within the Town of Brookeville, and in each case, the design and development has been tailored to the site specific conditions. Most recently, a new house was reviewed at the end of Church Lane which could not have been approved had it been in a more visible location. Staff notes that the development of three new homes along North Street was a long and involved process which promoted the integration of the new development into the existing conditions of the historic district.

Similarly, this proposed new development is in a highly sensitive and visible area in the historic district core. The new homes will necessarily be built behind highly significant historic structures. This will alter the existing backdrop for these historic properties. The challenge is to meld the new construction into the town fabric so that the new construction becomes an extension of this wonderful district and not a distraction. Some concerns which should be discussed include the degree of road construction necessary, the amount of forest disturbance required, the degree to which steps taken with this development will shape future development proposals at adjacent properties (see Circle 1 ( ) ).

A major concern which is voiced in the Brookeville Master Plan, and which staff reiterates, is the desire to maintain a natural edge as a buffer around Brookeville. This serves to preserve town identity and ambiance, especially with all the new development in the area. This project should be viewed from all directions, especially as the north and west edges of the property are visible from the north gateway entrance into town. In addition, everyone coming north on Georgia Avenue who stops at the stop sign by the old post office will have a straight view north along N. High Street.

- 1) **Alley:** Apparently, all of the properties which back up to the proposed alley are under one acre and there is no additional development which can occur because there is an alley. That said, the alley should be deeded to go only as far as the east edge of the property for 313 Market Street. This would assure the potential for this rear access, and preserve a maximum amount of forest at this edge along Market Street. The alley should be maintained as a gravel road, in keeping with the character of the other small roads and



lanes. Staff recommends that the alley be shown for future development, but that the smallest amount of clearing and “paving” should occur to support the immediate activities only. As needed in the future, the alley extension could be cleared.

- 2) **N. High Street:** The layout of this proposal should relate to future development of the Lauder Property (potential for two additional homes) to the northeast, and of the Montgomery Property (1 additional home) to the east. There are a number of scenarios which would work well, but the layout of the street and the houses would vary.

Currently, Lots 2 and 3 are wooded as is the area of the proposed extension of N. High Street past these two lots. **Clearing of the woods could be minimized if the driving area of the road was held to the property line for Lot 3.** This would reduce the length of the road by approximately 130'. The house on Lot 3 could be re-sited as a house in the woods, rather than one along the public road (see Circle 14 ). By shifting the house, and perhaps moving the garage to the south side, one would be able to also preserve more of the forest behind the new house.

This forest area should be preserved to the maximum extent possible because it serves as the buffer between Georgia Avenue, and also the Yinger Property which sits at the lower grade below the Rotter Property. The new buildings on the Rotter Property should be so sited as to minimize their visibility from Georgia Avenue as one is entering the Town from the north.

The possibility remains of connecting N. High Street with the driveway loop in the Lauder Property in the future. This could provide a walking path for residents that would loop over to North Street, or to connect to trails in the parkland.

- 3) **Forest Conservation:** The proposal indicates an undefined area of “Tree Preservation.” along the west side of the property. The applicant has surveyed the existing forest cover (see Circle 16-19 ). This is part of the edge/buffer for the Town of Brookeville and, as such, should be retained to the maximum extent possible.

The final plat should reflect a conservation easement for forest preservation over most of the undeveloped property to protect the steep slopes and stream valley. This should be shown on the drawing, and should include the northwest corner of Lot 3 where this property comes closest to P430, with its existing brick home fronting Georgia Avenue. conservation delineated on the property. This should be stipulated as a “no-build” area, where the trees could not be removed for anything other than forest conservation purposes.

- 4) The extension of North High Street will have the effect of changing two middle-of-the-block properties into two corner lots. The existing collection of outbuildings associated with the Rotter Property will become highly visible. These outbuildings are in varying levels of disrepair, and this will need to be addressed from a public safety point of view

once public access to this area is provided. Staff would not encourage the demolition of these outbuildings, but would urge repairs and stabilization of the buildings as soon as possible. Outbuildings and farm buildings are characteristic of Brookeville, with the variety of ancillary buildings such as barns, hen houses and privies. The town also has a variety of topographic features, including fields/meadows and hedge rows. The new development should reflect this diversity in some fashion.

- 6) Finally, the layout and size of the proposed new structures needs to be adjusted. It would be misleading to any purchaser to show a house of the current size (1800 sf) when this is not likely to be approved by the HPC. In addition, it is not a given that two-car garages will be approved, as projects are reviewed on a case-by-case basis. This, too, would be misleading to any future purchaser.

As a general rule, the new homes should not compete with the historic homes along Market Street. While there is a range of building sizes and styles in Brookeville, new large homes can easily overwhelm a district with sheer size and serve as a distraction to the overall character of the district. As the new development on North Street was being planned, the house footprint size was restricted to approximately 1100 sf. Staff notes that, now that the new homes on North Street have been built and had time to “settle” in, they are prominent. Not only are they visible from Market Street, but also the new homes on North Street are visible from the project site on N. High Street because of the great degree of permeability of this open rural district. It would be misleading for the applicant to propose new structures with 1800 sf when that would be inconsistent with previous HPC approvals.

The applicant should show a much reduced size, and should leave off any dimensions which might be misleading in the future. Size is an element which the HPC will consider in their review of new construction, and it is premature for the applicant to indicate a building [and garage] size at this point.

### **STAFF RECOMMENDATION**

Staff recommends that the subdivision be redrawn to reflect the following:

- 1) The reduced length of N. High Street;
- 2) A conservation easement that follows the topography and reflects maximum protection of the forest edge of Brookeville;
- 3) The removal of the label “two-car garage”, reduction of the footprint of the house to approximately 1100 sf, reduction of the size of the garage, and removal of any dimensions for the buildings at this point;
- 4) Reconfiguration of the layout of Lot 3 to reflect the comments above (see Item 2).



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: David W. McKee

Daytime Phone No.: 301-948-0240

Tax Account No.: 731871 / 731882

Name of Property Owner: Ruffin Maddox / Rory Cookley Daytime Phone No.: 301-340-8700

Address: 20 Court House Square <sup>(Contract purchaser)</sup> Rockville, MD 20890

Contractor: N/A Phone No.: N/A

Contractor Registration No.: N/A

Agent for Owner: N/A Daytime Phone No.: N/A

Address: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: \_\_\_\_\_ Street: High Street

Town/City: Brookville Nearest Cross Street: Market Street

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: 490 / 438

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |                                    |                                  |   |  |   |  |   |                               |                               |
|------------------------------------|----------------------------------|---|--|---|--|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab                                 | <input type="checkbox"/> Room Addition     | <input type="checkbox"/> Porch                    | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move      | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Teaze    | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace                            | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision  | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable      | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input checked="" type="checkbox"/> Other: <u>Subdivision</u> |  |   |                               |                               |

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David W. McKee 3/7/01  
Signature of Owner or authorized agent

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

7

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

There are no existing structures on the subject property. The entire property is located within the Town of Brookville, a Historic District.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The site is proposed to be subdivided into 3 lots per the zoning ordinance of the Town. The plan is meant to be in keeping with the general layout of the town.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date; ✓  
b. dimensions of all existing and proposed structures; and ✓  
c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping. ✓

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 0.1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.  
b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.  
b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

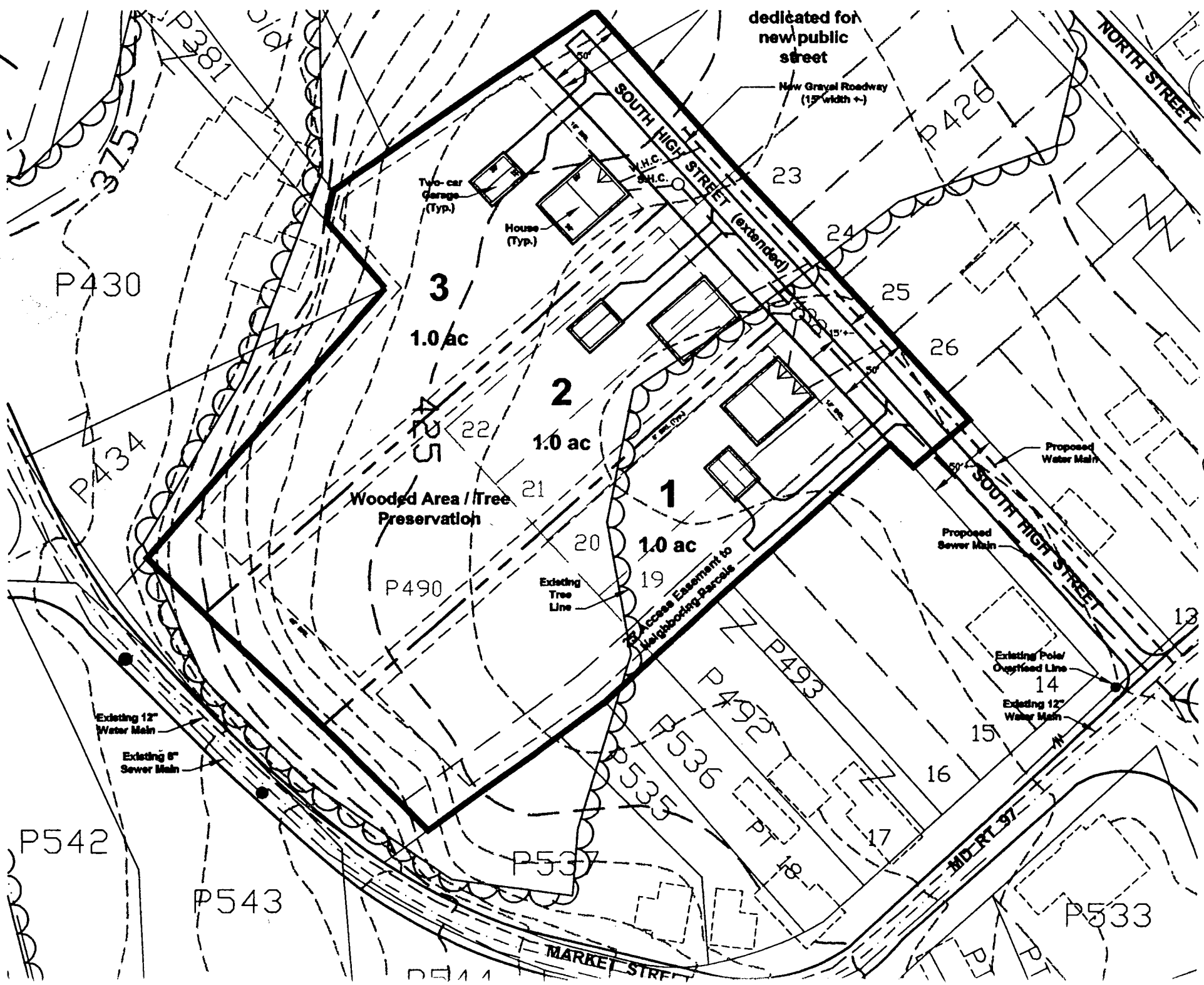
**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301) 279-1355).

North

13

Proposed



dedicated for new public street

New Gravel Roadway (15' width)

Two-car Garage (Typ.)

House (Typ.)

3  
1.0 ac

2  
1.0 ac

Wooded Area / Tree Preservation

1  
1.0 ac

20' Access Easement to Neighboring Parcels

Existing Tree Line

Proposed Water Main

Proposed Sewer Main

Existing Pole/Overhead Line

Existing 12" Water Main

Existing 12" Water Main

Existing 8" Sewer Main

P542

P543

P533

P535

P536

P492

P493

P490

P430

P434

P381

375

P428

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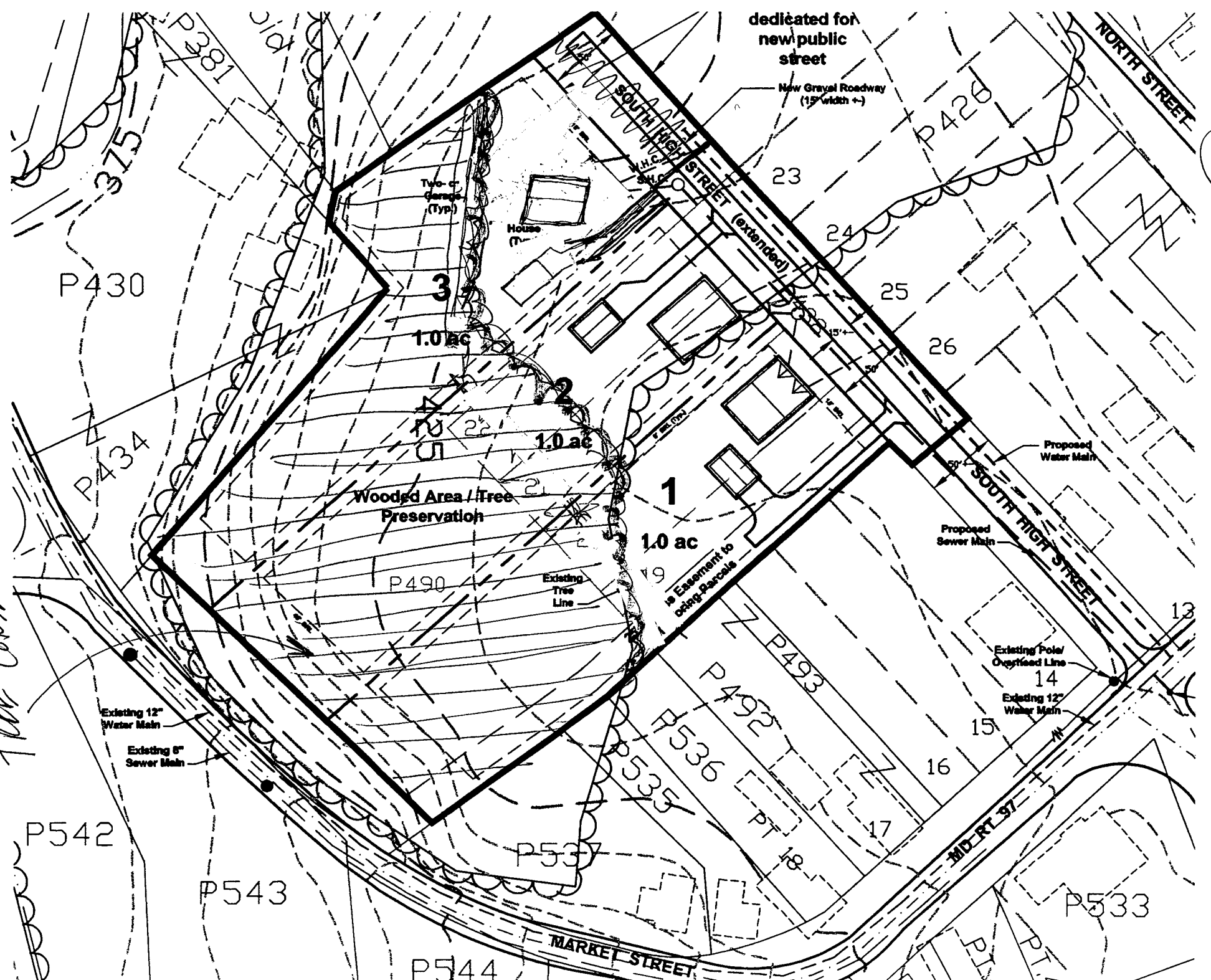
MARKET STREET

MID-RT ST

P533

P544

TREE CONSERVATION AREA



14

STAFF MODIFICATIONS



# BENNING & ASSOCIATES, INC

## LAND PLANNING CONSULTANTS

**8933 SHADY GROVE COURT  
GAITHERSBURG, MD 20877**

**Phone: (301) 948-0240**

**Fax: (301) 948-0241**

To: Ms. Robin Ziek

Date: 4/23/01

M-NCP&PC

Project: Rotter Property

8787 Georgia Avenue

No. of Pages (Inc. Cover):

Silver Spring, MD 20910

301-563-3412

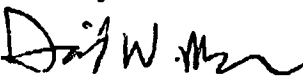
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Robin:

We received a copy of your report on Friday and I sent it on to my clients for their review. This morning I received a call from Ruffin Maddox asking me to postpone the meeting before the HPC in light of your comments. Most notably, Mr. Maddox is upset that your report calls for a reduction in the footprints of houses to 1,100 square feet. He does not remember this as being even close to the number that was talked about when we met with you some time ago. Because of this, he would like to regroup and meet with you further to discuss this issue before going before the HPC.

I mentioned to Mr. Maddox that the meeting before the HPC is for advisory purposes only and that the issue in question does not affect the subdivision of the property; however, he feels strongly that we should work with you further before going on to the Board. As such, I am requesting a postponement of the meeting until your next available date subject to our being able to meet with you in the meantime.

Sincerely,



David W. McKee



# Legacy

Sandy Spring Museum Newsletter



Volume 21, No. 1

Winter, 2001

Sandy Spring, Maryland

*Crossroads Series*

## Early Brookeville

By Sylvia K. Nash

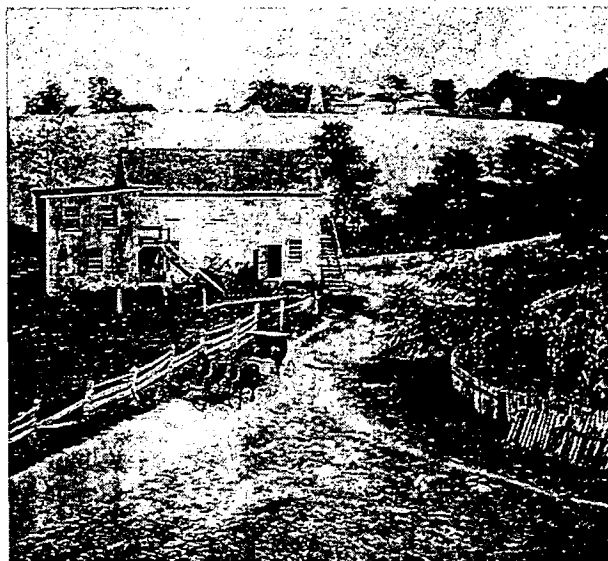
At the time of the American Revolution there was no village big enough to have a name in the entire newly formed Montgomery County. But there was a community of farm holdings in this area whose increasing numbers and prosperity virtually called into being, and continued to support for a century or more, the busy little town of Brookeville.

Development of this area goes back to about 1720 when the land of hardwood forest and clear streams, of gentle rolling hills and pleasant valleys was opened up for settlement. Patents for land were granted by Lord Baltimore out of his Lordship's Land Office for the Western Shore.

First came the speculators, then as now, men like Colonel John Bradford, Charles Beall, Richard Snowden, Daniel Dulaney. They obtained the original patents to more than 3,000 acres in the future Brookeville area.

These speculators soon sold to the new settlers, who came from Anne Arundel County, where they had been neighbors and kin. They came in the period of a few years and continued to live as neighbors and to intermarry. They bore names like Dorsey and Gaither, Riggs and Davis, Griffith and Waters. They were planters and slave owners, and they belonged to the Church of England.

The greatest landowner in this area—in the whole county in fact—was James Brooke II, a convert to Quakerism and a founder



Old Grange Hall, looking east from Shaw's Mill on Brookeville Road, ca. 1890

of the Sandy Spring community. His land stretched, not always contiguously, for miles, to beyond Seneca Creek, and it included the future site of Brookeville.

This was the fringe of Tidewater. The people from Anne

See BROOKEVILLE, page 5

## Betsy Lea's Best Seller

By Tom Canby

Because she had married early, Elizabeth Ellicott Lea confessed that she was "frequently embarrassed by her ignorance of domestic affairs." To spare those who would follow she offered her "young countrywomen this Work"—her Quaker Woman's Cookbook, originally titled *Domestic Cookery, Useful Receipts and Hints to Young Housekeepers*.

Published in 1845 at her own expense, it became a Sandy Spring best seller, running through 19 editions in little more than a quarter century.

Today that cookbook is little followed by chefs but is prized by scholars as a unique insight into the folk culture of two centuries ago. This is because Betsy Lea catered not to the appetite of the wealthy but recorded instead the everyday dishes of ordinary, penny-

See LEA, page 7

## Brookeville's Malodorous Tanneries

By Tom Canby

One festers at the town's east end, another at the west end. From each oozes the stench and offal of rotting flesh. Yet, a century and a half ago, these leather factories are essential nuisances—sole providers of footwear and the harness and saddles necessary to a horse economy.

These are Brookeville's busy tanneries, or tanyards, one located at the mill best known as Thomas's, the other at Newlin's mill. The tanneries rely on the mills to grind the bark that yields the tanning agent, tannin. And they need the abundant mill waters of Reddy Branch to fill their soaking vats—20 or 30 at each tanyard.

Allow yourself to step back in time, to this Brookeville of 150 years ago. Riding in on horseback from your nearby farm, you have paused to observe the tannery scene—staying upwind if you are smart.

Wagons creak in along Market  
See TANNERIES, page 4

## Well Diggers Faced Perils

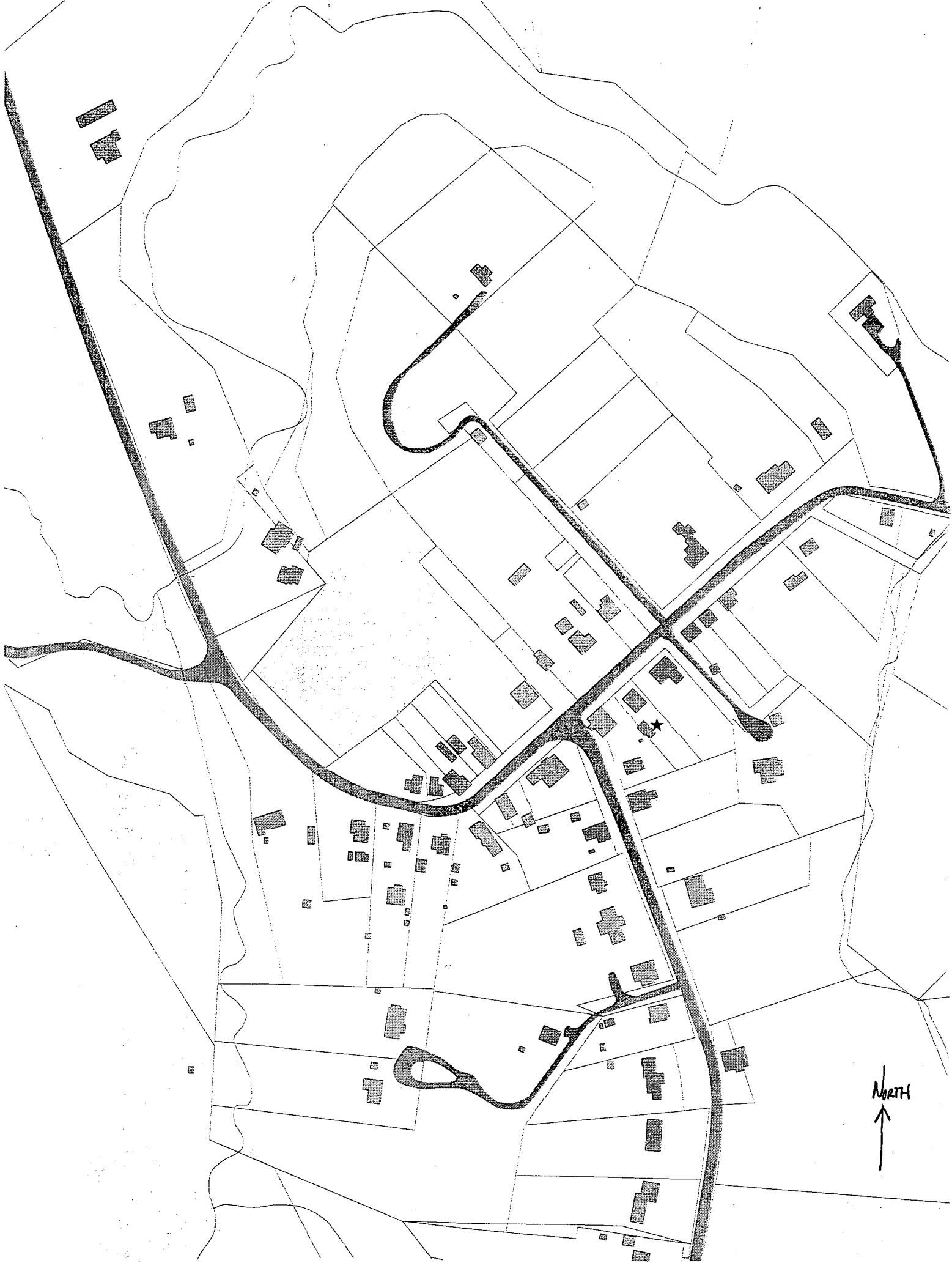
By Leonard Allen Becraft

My father Austin Allen Becraft started digging wells in 1928 in this area and didn't stop until 1970, when the drillers took over.

He used a pick and shovel and a homemade tripod windlass with hemp rope and pulley to raise the buckets of dirt and mud to the surface. Two helpers cranked the wooden windlass handle to raise and lower him and the buckets. His deepest well was 116 feet.

To keep the sides from caving as he descended to greater depths, he used wooden casings 16 feet long, which he built. On reaching the water stream he would continue digging six or eight feet deeper if possible to create a reservoir. He charged \$2 a foot in the early years and finally \$6, plus the cost of concrete pipe.

Early wells were lined to the top with fieldstone gathered in the fields. Later bricks were used and then terracotta or concrete pipe 36 inches in diameter. My father returned to many wells years after digging  
See DIGGERS, page 4



NORTH  
↑

**BENNING & ASSOCIATES, INC**  
**LAND PLANNING CONSULTANTS**

**8933 SHADY GROVE COURT**  
**GAITHERSBURG, MD 20877**

**Phone: (301) 948-0240**

**Fax: (301) 948-0241**

To: Ms. Robin Ziek

Date: 4/6/01

M-NCP&PC

Project: Rotter - Brookeville

8787 Georgia Avenue

No. of Pages (Inc. Cover): 6

Silver Spring, MD 20910

301-563-3412

---

Robin:

Attached is the information we talked about the other day. I may have faxed this to you yesterday but can't remember.

Sincerely,



David W. McKee

State Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

## Figure B-2 Forest Stand Summary Worksheet

Property Name: ROTTER PROPERTY

Location: BROOKVILLE, MONTGOMERY CO. MAP#21; F-2  
(From County, ADO Map K, and GSA Coordinates)

Prepared By: JOSH MAISEL EIA#3041 Date: 03.07.01

Stand Variable	Stand # <u>A</u> <u>12.7</u> acres	Stand # <u>1</u> acres
1. Dominant species/Codominant species	BLACK LOCUST & SYCAMORE	
2. Successional stage	PIONEER	
3. Basal area in s.f. per acre	170	
4. Size class of dominant species	6-11.9"	
5. Percent of canopy closure	N/A - WINTER	
6. Number of tree species per plot	6	
7. Common understory species 3' to 20' tall	SPICE BUSH FLO WERING DOG WOOD	
8. Percent of understory cover 3' to 20' tall	100%	
9. Number of woody plant species 3' to 20' tall	3	
10. Common herbaceous species 0' to 3' tall	JAPANESE HONEYGUARD ENGLISH IVY POISON IVY	
11. Percent of herbaceous & woody plant cover 0' to 3' tall	N/A - WINTER	
12. List of major invasive plant species & percent of cover	JAPANESE HONEY - SUCKLE, ENGLISH IVY TREE-OF-HEAVEN 4%	
13. Number of standing dead trees 6" dbh or greater	15	
14. Comments	OPENNINGS IN CANOPY CLOSE TO ROAD	
Sheet <u>1</u> of <u>4</u>		Source: DNR

Slate Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

Figure B-1 Forest Sampling Data Worksheet

Property: ROTTER PROPERTY Prepared By: JOHN MAIGEL

Stand #: A Plot #: 1 Plot Size: 1/10 AC Date: 03-07-01

Basal Area in Square Feet per Acre: <b>170</b>		Size Class of Trees > 20' Height within Sample Plot														
Tree Species	Number of Trees 2-5.9" dbh			Number of Trees 6-11.9" dbh			Number of Trees 12-19.9" dbh			Number of Trees 20-29.9" dbh			Number of Trees > 30" dbh			Total
	Dead	CoD	Other	Dead	CoD	Other	Dead	CoD	Other	Dead	CoD	Other	Dead	CoD	Other	
BLACK CHERRY			1			1									1	3
BLACK LOCUST						3			3							6
RED MAPLE						2										2
SYCAMORE			3			5			1							9
TULIP POPLAR						1										1
FLORING DOGWOOD			1													1
SCARLET OAK						2										2
Total Number of Trees per Size Class	5			14			4			1			0			24
Number & Size of Standing Dead Trees	1			7			0			0			0			8
List of Common Understory Species 3'-20': SPICE BUSH CHERRY SPS TULIP POPLAR				Percent of Canopy Closure						Percent of Invasive Cover per Plot (All Layers):			Plot Successional Stage:			
				C	N	E	S	W	Total	5%			PIONEER			
				W	I	N	T	E	R							
				Percent of Understory Cover 3'-20'												
				C	N	E	S	W	Total							
				Y	Y	Y	Y	Y	100%							
List of Herbaceous Species 0'-3': FERNS JAPANESE HONEY SUCKLE WILD ONION GRAPE VINE ENGLISH IVY POISON IVY				Percent of Herbaceous Cover 0'-3'						List of Major Invasive Species per Plot (All Layers):						
				C	N	E	S	W	Total	JAPANESE HONEY-SUCKLE, ENGLISH IVY						
				W	I	N	T	E	R							
Comments POINT AT TOP OF SLOPE CAN SEE ROAD SONG BIRDS & CROWS				CLOSE TO OPENING IN CANOPY LOTS OF DEER DROPPINGS IVY ENGULFING TREES												
Sheet <u>2</u> of <u>4</u>				Source: DNR												

State Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

# Figure B-1 Forest Sampling Data Worksheet

Property: ROTTER PROPERTY Prepared By: JOSH MAISEL

Stand #: A Plot #: Z Plot Size: 1/10 AC Date: 03-07-01

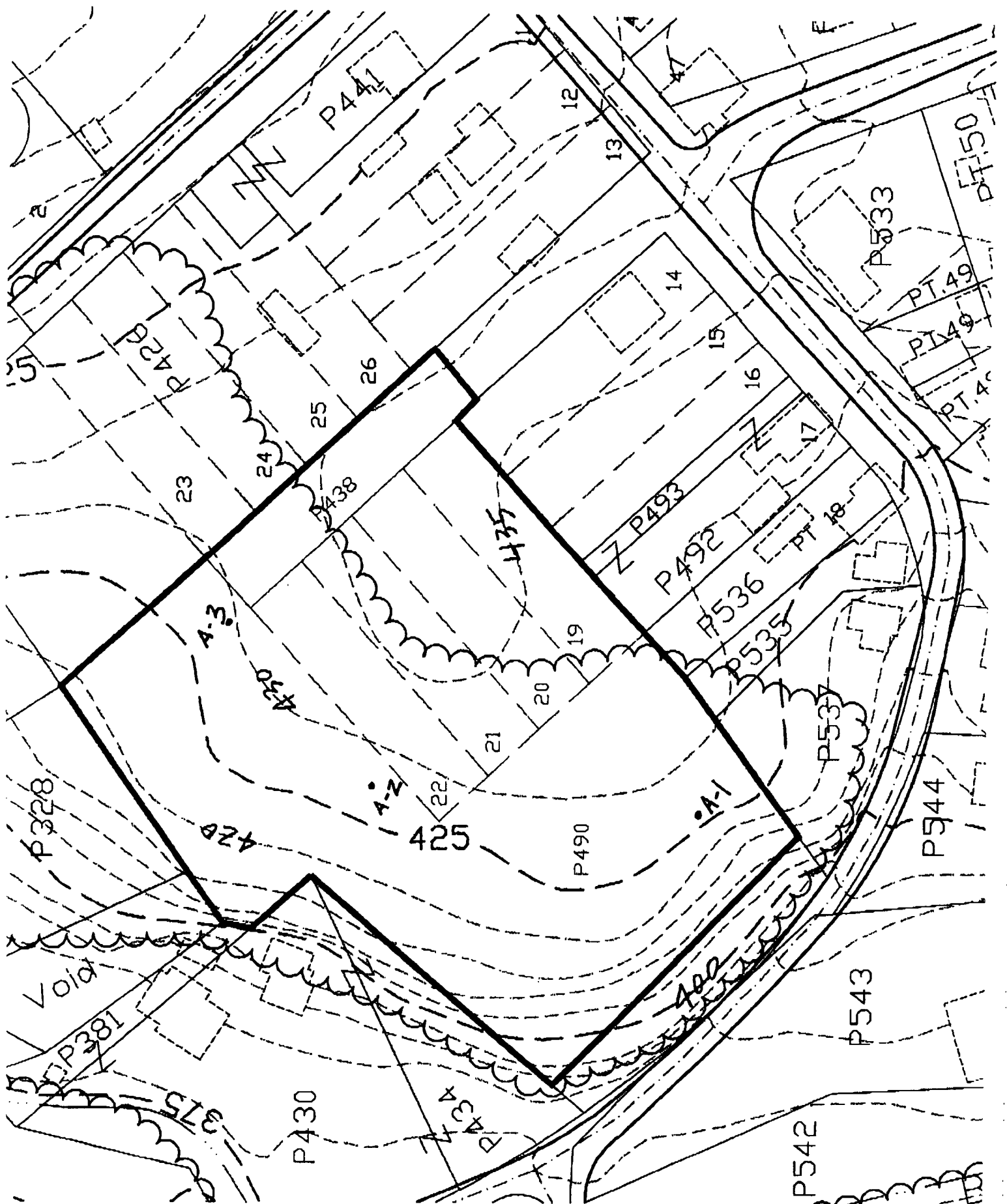
Tree Species	Size Class of Trees > 20' Height within Sample Plot					Total							
	Number of Trees 2-5.9" dbh			Number of Trees 6-11.9" dbh			Number of Trees 12-19.9" dbh		Number of Trees 20-29.9" dbh		Number of Trees > 30" dbh		
Canopy Position	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Total
BLACK LOCUST				2			2						4
SYCAMORE	5			2			3						10
BLACK CHERRY				2			3						5
RED MAPLE			1		9			5					15
TULIP POPLAR					2								2
TREE-OF-HEAVEN			2		1								3
Total Number of Trees per Size Class	8			18		13		0		0		39	
Number & Size of Standing Dead Trees	7			3		1		0		0		11	
List of Common Understory Species 3'-20': SPICE BUSH RED MAPLE FLOWERING DOGWOOD				Percent of Canopy Closure C N E S W Total W I N T E R					Percent of Invasive Cover per Plot (All Layers): 3%		Plot Successional Stage: PIONEER		
List of Herbaceous Species 0'-3': WILD ONION ENGLISH IVY POISON IVY				Percent of Understory Cover 3'-20' C N E S W Total Y Y Y Y Y 100%					List of Major Invasive Species per Plot (All Layers): TREE-OF-HEAVEN ENGLISH IVY				
Comments DENSE SHRUB LAYER MANY SNAGS SONG BIRDS				ROAD NOISE CAN SEE ROAD DEER DROPPINGS UP GRADE OF ADJACENT HOUSE					SMALL AMOUNT OF ENGLISH IVY DEER RUB				

State Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

Figure B-1 Forest Sampling Data Worksheet

Property: ROTTER PROPERTY Prepared By: JOSH MAISEL  
Stand #: A Plot #: 3 Plot Size: 1/10 AC Date: 03-07-01

Tree Species	Size Class of Trees > 20' Height within Sample Plot					Total							
	Number of Trees 2-5.9" dbh			Number of Trees 6-11.9" dbh			Number of Trees 12-19.9" dbh		Number of Trees 20-29.9" dbh		Number of Trees > 30" dbh		
Canopy Position	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Total
BLACK CHERRY				4			3			1			8
BLACK LOCUST					1		1						2
RED MAPLE			1		4								5
SYCAMORE	2						6						8
SCARLET OAK								1					1
Total Number of Trees per Size Class	3			9		11		1		0		24	
Number & Size of Standing Dead Trees	0			5		3		0		0		8	
List of Common Understory Species 3'-20': SPICE BUSH FLOWERING DOGWOOD				Percent of Canopy Closure C N E S W Total W I N T E R					Percent of Invasive Cover per Plot (All Layers): 5%			Plot Successional Stage: PIONEER	
List of Herbaceous Species 0'-3': POISON IVY ENGLISH IVY JAPANESE HONEYSUCKLE RUBUS SPS				Percent of Understory Cover 3'-20' C N E S W Total Y Y Y Y Y 100%					List of Major Invasive Species per Plot (All Layers): ENGLISH IVY JAPANESE HONEYSUCKLE				
Comments VERY DENSE SHRUB CAN HEAR ROAD NOISE OPENING IN CANOPY Sheet 4 of 4				Percent of Herbaceous Cover 0'-3' C N E S W Total W I N T E R									
ENGLISH IVY ENGULFING TREES LOTS OF DOWNED TREES SONG BIRDS DEER DROPPINGS Source: DNR													





**BENNING & ASSOCIATES, INC**  
**LAND PLANNING CONSULTANTS**

**8933 SHADY GROVE COURT**  
**GAITHERSBURG, MD 20877**  
**Phone: (301) 948-0240**  
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Robin:

Attached is the information we talked about the other day. I may have faxed this to you yesterday but can't remember.

Sincerely,



David W. McKee



**Benning & Associates, Inc.**  
Land Planning Consultants

8933 Shady Grove Court  
Gaithersburg, Md. 20877  
(301) 948-0240

March 8, 2001

Ms. Robin Ziek  
Historic Preservation Staff  
M-NCP&PC  
8787 Georgia Avenue  
Silver Spring, MD 20910

Re: Rotter Property - Town of Brookeville

Dear Robin,

Attached is an application for "Historic Area Work Permit" for the subject property. Several weeks ago, my clients and I met with you to discuss the planned subdivision of the property. The plans being submitted to you today are very much like we talked about at the meeting.

Three single family homes are proposed with detached garages on the more than three acres of land. The new road to serve the three lots will be a gravel road similar to North Street in keeping with the character of the Town and the wishes of the Town Planning Commission. The plans are being submitted to the Town for concurrent review and approval.

Please let us know if you need anything else at this time.

Sincerely,

A handwritten signature in black ink that reads 'David W. McKee'.

David W. McKee



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
266 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: David W. McKee  
Daytime Phone No.: 301-948-0240

Tax Account No.: 731871 / 731882  
Name of Property Owner: Ruffin Maddox / Rory Coakley Daytime Phone No.: 301-340-8700  
Address: 20 Court House Square, Rockville, MD 20850  
Street Number City State Zip Code  
Contractor: N/A Phone No.: N/A  
Contractor Registration No.: N/A  
Agent for Owner: N/A Daytime Phone No.: N/A  
Address: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: \_\_\_\_\_ Street: High Street  
Town/City: Brookville Nearest Cross Street: Market Street  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: 490 / 438

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Flaze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: Subdivision

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

David W. McKee 3/7/01  
Signature of owner or authorized agent  
Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

There are no existing structures on the subject property. The entire property is located within the Town of Brookville, a Historic District.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The site is proposed to be subdivided into 3 lots per the zoning ordinance of the Town. The plan is meant to be in keeping with the general layout of the Town.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date; ✓  
b. dimensions of all existing and proposed structures; and ✓  
c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping. ✓

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.  
b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.  
b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

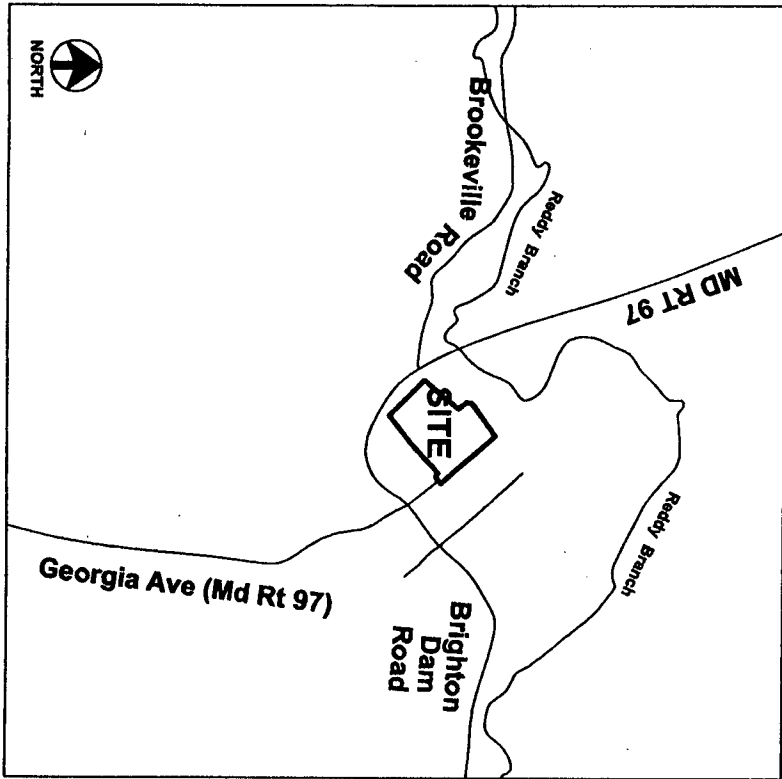
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PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

## NOTES:

1. AREA OF PROPERTY - 3.3 ACRES
4. EXISTING ZONING - HVR (Historic Village Residential)
6. PERMITTED DENSITY - 1 DWELLING UNIT PER ACRE
7. NUMBER OF LOTS SHOWN - 3
8. MINIMUM LOT SIZE PERMITTED - 10,000 SF
9. MINIMUM LOT SIZE SHOWN - 1.0 AC +/-
12. REQUIRED SETBACKS:
  - Frontyards - 15'
  - Sideyards - 8'
  - Rearyards - 40'
13. SITE TO BE SERVED BY PUBLIC WATER & SEWER (WSSC)
14. EXISTING SEWER & WATER SERVICE CATEGORIES: S-1; W-1

27



VICINITY MAP  
SCALE: 1" = 1,000'

# PRELIMINARY PLAN ROTTER PROPERTY

Town of Brookeville, Maryland



**Benning & Associates, Inc.**  
Land Planning Consultants

8933 Shady Grove Court  
Gaithersburg, Md. 20877  
(301) 948-0240

March 8, 2001

Ms. Robin Ziek  
Historic Preservation Staff  
M-NCP&PC  
8787 Georgia Avenue  
Silver Spring, MD 20910

Re: Rotter Property - Town of Brookeville

Dear Robin,

Attached is an application for "Historic Area Work Permit" for the subject property. Several weeks ago, my clients and I met with you to discuss the planned subdivision of the property. The plans being submitted to you today are very much like we talked about at the meeting.

Three single family homes are proposed with detached garages on the more than three acres of land. The new road to serve the three lots will be a gravel road similar to North Street in keeping with the character of the Town and the wishes of the Town Planning Commission. The plans are being submitted to the Town for concurrent review and approval.

Please let us know if you need anything else at this time.

Sincerely,

A handwritten signature in cursive script that reads 'David W. McKee'.

David W. McKee

Margaret C Kay  
313 Market Street  
Brookeville, Maryland 20833-2505

Sidney D Wells 3<sup>rd</sup>  
309 Market Street  
Brookeville, Maryland 20833

Robert K & DH Heritage  
307 Market Street  
Brookeville, Maryland 20833

Mark T & Al Ennes  
316 Market Street  
Brookeville, Maryland 20833

William J Patton &  
Deborah A Harrington-Patton  
318 Market Street  
Brookeville, Maryland 20833-2501

David C & Ea Yinger  
19801 Georgia Ave  
Brookeville, Maryland 20833

J Gordon & P G Lowder  
North Street  
P.O. Box 244  
Brookeville, Maryland 20833

Harry E & KS Montgomery  
211 Market Street  
P.O. Box 68  
Brookeville, Maryland 20833





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

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Daytime Phone No.: 301-948-0240

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David W. McKee 3/7/01  
Signature of Applicant or Authorized Agent

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
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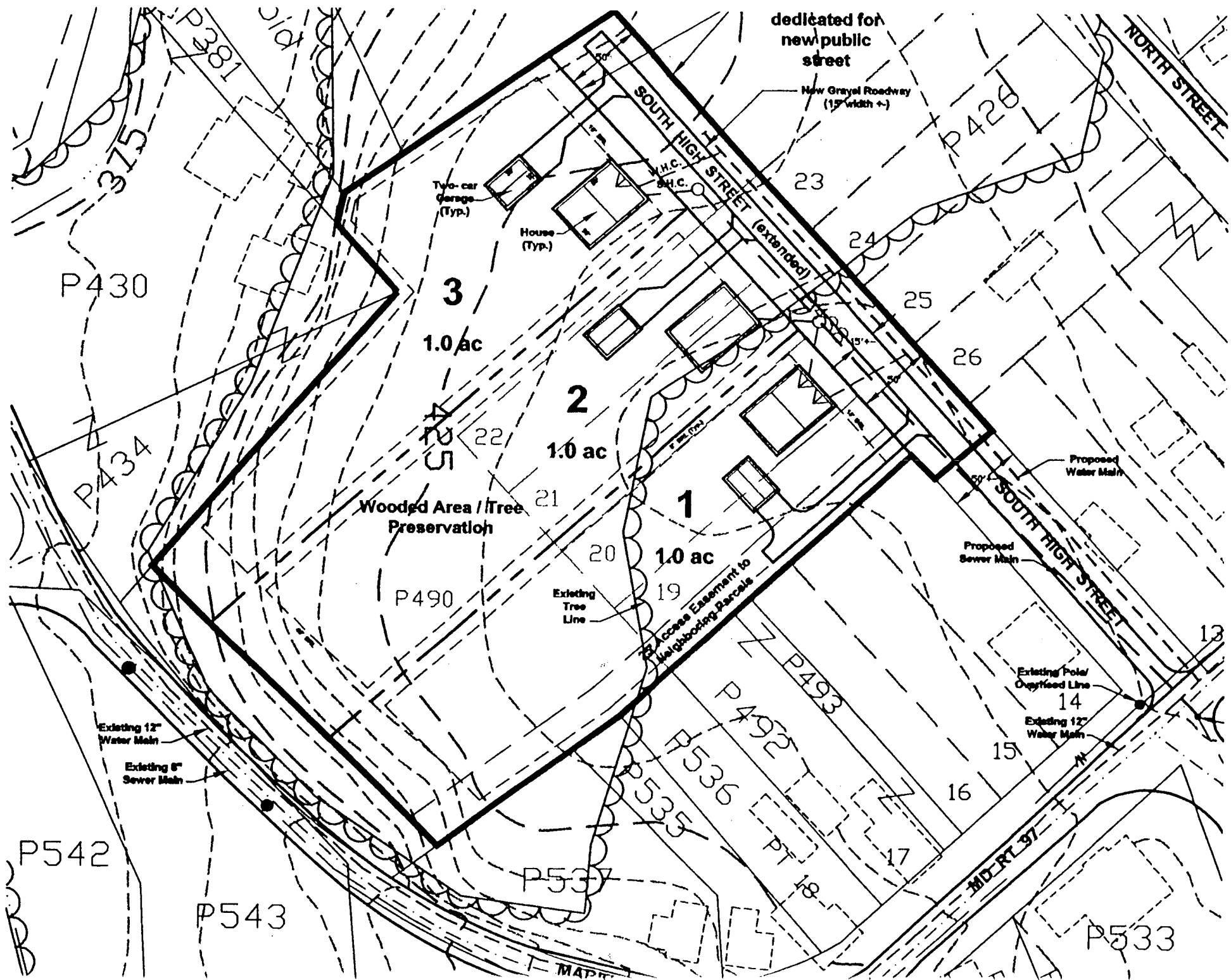
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    - Rearyards - 40'
  13. SITE TO BE SERVED BY PUBLIC WATER & SEWER (WSSC)
  14. EXISTING SEWER & WATER SERVICE CATEGORIES: S-1; W-1
-



dedicated for  
new public  
street

New Gravel Roadway  
(15' width +/-)

Two-car  
Garage  
(Typ.)

House  
(Typ.)

3

1.0 ac

2

1.0 ac

1

1.0 ac

Wooded Area / Tree  
Preservation

Existing  
Tree  
Line

25' Access Easement to  
Neighboring Parcels

Proposed  
Water Main

Proposed  
Sewer Main

Existing Pole/  
Overhead Line

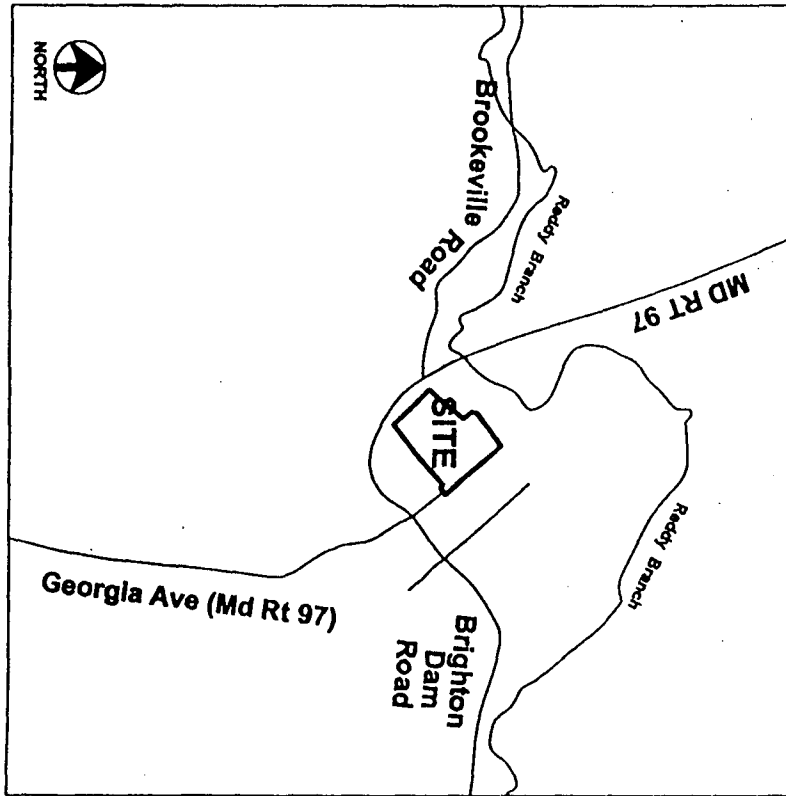
Existing 12"  
Water Main

Existing 12"  
Water Main

Existing 6"  
Sewer Main

MD RT 97

MAP



PRELIMINARY PLAN  
**ROTTER PROPERTY**

Town of Brookeville, Maryland



**BENNING & ASSOCIATES, INC**  
**LAND PLANNING CONSULTANTS**

**8933 SHADY GROVE COURT**  
**GAITHERSBURG, MD 20877**

**Phone: (301) 948-0240**

**Fax: (301) 948-0241**

To: Ms. Robin Ziek

Date: 4/6/01

M-NCP&PC

Project: Rotter - Brookeville

8787 Georgia Avenue

No. of Pages (Inc. Cover): 6

Silver Spring, MD 20910

301-563-3412

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Robin:

Attached is the information we talked about the other day. I may have faxed this to you yesterday but can't remember.

Sincerely,



David W. McKee

State Forest Conservation Manual  
 Appendix B: Worksheet and Preparation Guidelines

### Figure B-2 Forest Stand Summary Worksheet

Property Name: POTTER PROPERTY  
 Location: BROOKVILLE, MONTGOMERY CO. MAP# 21; F-2  
(Town, County, ADO Map #, and Soil Classification)  
 Prepared By: JOSH MAISEL PLA# 3041 Date: 03-07-01

Stand Variable	Stand # <u>A 12.7</u> acres	Stand # <u>1</u> acres
1. Dominant species/Codominant species	BLACK LOCUST & SYCAMORE	
2. Successional stage	PIONEER	
3. Basal area in s.f. per acre	170	
4. Size class of dominant species	6-11.9"	
5. Percent of canopy closure	N/A - WINTER	
6. Number of tree species per plot	6	
7. Common understory species 3' to 20' tall	SPICE BUSH FLOWERING DOGWOOD	
8. Percent of understory cover 3' to 20' tall	100%	
9. Number of woody plant species 3' to 20' tall	3	
10. Common herbaceous species 0' to 3' tall	JAPANESE HONEYCREEPER ENGLISH IVY POISON IVY	
11. Percent of herbaceous & woody plant cover 0' to 3' tall	N/A - WINTER	
12. List of major invasive plant species & percent of cover	JAPANESE HONEY-SUCKLE, ENGLISH IVY TREE-OF-HEAVEN 4%	
13. Number of standing dead trees 6" dbh or greater	15	
14. Comments	OPENINGS IN CANOPY CLOSE TO ROAD	

Sheet 1 of 4

Source: DNR



State Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

# Figure B-1 Forest Sampling Data Worksheet

Property: ZOTTER PROPERTY Prepared By: JOHN MAIBEL

Stand #: A Plot #: 1 Plot Size: 1/10 AC Date: 03-07-01

Basal Area in Square Feet per Acre: <u>170</u>	Size Class of Trees > 20' Height within Sample Plot															
Tree Species	Number of Trees 2-5.9" dbh			Number of Trees 6-11.9" dbh			Number of Trees 12-19.9" dbh			Number of Trees 20-29.9" dbh			Number of Trees > 30" dbh			Total
	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	
BLACK CHERRY			1			1										3
BLACK LOCUST						3			3							6
RED MAPLE						2										2
SYCAMORE			3			5			1							9
TULIP POPLAR						1										1
FLORING DOGWOOD			1													1
SCARLET OAK						2										2
<b>Total Number of Trees per Size Class</b>	<b>5</b>			<b>14</b>			<b>4</b>			<b>1</b>			<b>0</b>			<b>24</b>
<b>Number &amp; Size of Standing Dead Trees</b>	<b>1</b>			<b>7</b>			<b>0</b>			<b>0</b>			<b>0</b>			<b>8</b>
List of Common Understory Species 3'-20': SPICE BUSH CHERRY SPS TULIP POPLAR				Percent of Canopy Closure C N E S W Total W I N T E R						Percent of Invasive Cover per Plot (All Layers): 5%			Plot Successional Stage: PIONEER			
List of Herbaceous Species 0'-3': FERNS JAPANESE HONEY SUCKLE WILD ONION GRAPVINE ENGLISH IVY POISON IVY				Percent of Understory Cover 3'-20' C N E S W Total Y Y Y Y Y 100%						List of Major Invasive Species per Plot (All Layers): JAPANESE HONEY-SUCKLE, ENGLISH IVY						
Comments: POINT AT TOP OF SLOPE CAN SEE ROAD SONG BIRDS & CROWS				CLOSE TO OPENING IN CANOPY LOTS OF DEER PROPPINGS IVY ENGULFING TREES												

State Forest Conservation Manual  
Appendix B: Worksheet and Preparation Guidelines

# Figure B-1 Forest Sampling Data Worksheet

Property: ROTTER PROPERTY Prepared By: JOSH MAISEL

Stand #: A Plot #: Z Plot Size: 1/10 AC Date: 03-07-01

Basal Area in Square Feet per Acre: <u>170</u>		Size Class of Trees > 20' Height within Sample Plot															
Tree Species	Number of Trees 2-5.9" dbh			Number of Trees 6-11.9" dbh			Number of Trees 12-19.9" dbh			Number of Trees 20-29.9" dbh			Number of Trees > 30" dbh			Total	
	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other	Dom	CoD	Other		
BLACK LOCUST				2			2									4	
SYCAMORE		5		2			3									10	
BLACK CHERRY				2			3									5	
RED MAPLE			1			9			5							15	
TULIP POPLAR						2										2	
TREE-OF-HEAVEN			2			1										3	
Total Number of Trees per Size Class		8			18			13			0			0			39
Number & Size of Standing Dead Trees		7			3			1			0			0			11
List of Common Understory Species 3'-20': SPICE BUSH RED MAPLE FLOWERING DOGWOOD				Percent of Canopy Closure C N E S W Total W I N T E R						Percent of Invasive Cover per Plot (All Layers): 3%			Plot Successional Stage: PIONEER				
List of Herbaceous Species 0'-3': WILD ONION ENGLISH IVY POISON IVY				Percent of Understory Cover 3'-20' C N E S W Total Y Y Y Y Y 100%						List of Major Invasive Species per Plot (All Layers): TREE-OF-HEAVEN ENGLISH IVY							
Comments: DENSE SHRUB LAYER MANY SNAGS SONG BIRDS Sheet <u>3</u> of <u>4</u>				ROAD NOISE CAN SEE ROAD DEER DROPPINGS UP GRADE OF ADJACENT HOUSE						SMALL AMOUNT OF ENGLISH IVY DEER RUB							

Source: DNR

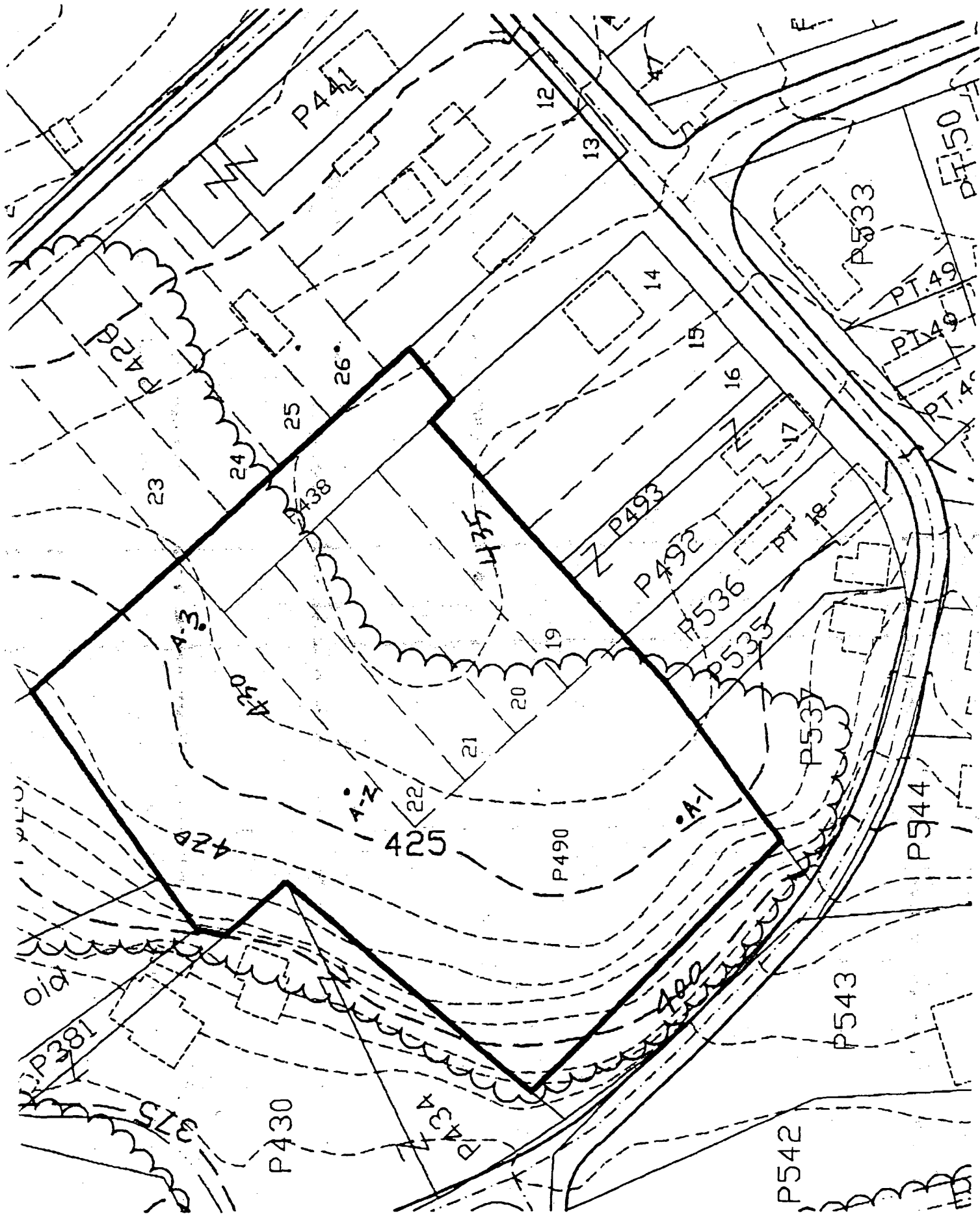
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Figure B-1 Forest Sampling Data Worksheet

Property: ROTTER PROPERTY Prepared By: JOSH MAISEL

Stand #: A Plot #: 3 Plot Size: 1/10 AC Date: 03-07-01

Tree Species	Size Class of Trees > 20' Height within Sample Plot					Total							
	Number of Trees 2-5.9" dbh			Number of Trees 6-11.9" dbh			Number of Trees 12-19.9" dbh		Number of Trees 20-29.9" dbh		Number of Trees > 30" dbh		
Common Name	Dead	CoD	Other	Dead	CoD	Other	Dead	CoD	Other	Dead	CoD	Other	Total
BLACK CHERRY				4			3			1			8
BLACK LOCUST					1			1					2
RED MAPLE			1		4								5
SYCAMORE	2						6						8
SCARLET OAK								1					1
Total Number of Trees per Size Class	3			9		11		1		0		24	
Number & Size of Standing Dead Trees	0			5		3		0		0		8	
List of Common Understory Species 3'-20':				Percent of Canopy Closure					Percent of Invasive Cover per Plot (All Layers):		Plot Successional Stage:		
SPICE BUSH				C	N	E	S	W	Total	5%		PIONEER	
FLOWERING DOGWOOD				W	I	N	T	E	R				
List of Herbaceous Species 0'-3':				Percent of Understory Cover 3'-20'					List of Major Invasive Species per Plot (All Layers):				
POISON IVY				C	N	E	S	W	Total	ENGLISH IVY		JAPANESE HONEY-SUCKLE	
ENGLISH IVY				Y	Y	Y	Y	Y	100%				
JAPANESE HONEYSUCKLE				Percent of Herbaceous Cover 0'-3'									
RUBUS SPS				C	N	E	S	W	Total				
				W	I	N	T	E	R				
Comments				ENGLISH IVY ENGULFING TREES									
VERY DENSE SHRUB				LOTS OF DOWNED TREES									
CAN HEAR ROAD NOISE				SONG BIRDS									
OPENNING IN CANOPY				DEER DROPPINGS									
Sheet 4 of 4												Source: DNR	





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- Slab
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- Move
- Install
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Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

There are no existing structures on the subject property. The entire property is located within the Town of Brookside, a Historic District.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The site is proposed to be subdivided into 3 lots per the Zoning Ordinance of the Town. The plan is meant to be in keeping with the general layout of the town.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date; ✓
- b. dimensions of all existing and proposed structures; and ✓
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping. ✓

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades) with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



**Benning & Associates, Inc.**  
Land Planning Consultants

8933 Shady Grove Court  
Gaithersburg, Md. 20877  
(301) 948-0240

March 8, 2001

Ms. Robin Ziek  
Historic Preservation Staff  
M-NCP&PC  
8787 Georgia Avenue  
Silver Spring, MD 20910

Re: Rotter Property - Town of Brookeville

Dear Robin,

Attached is an application for "Historic Area Work Permit" for the subject property. Several weeks ago, my clients and I met with you to discuss the planned subdivision of the property. The plans being submitted to you today are very much like we talked about at the meeting.

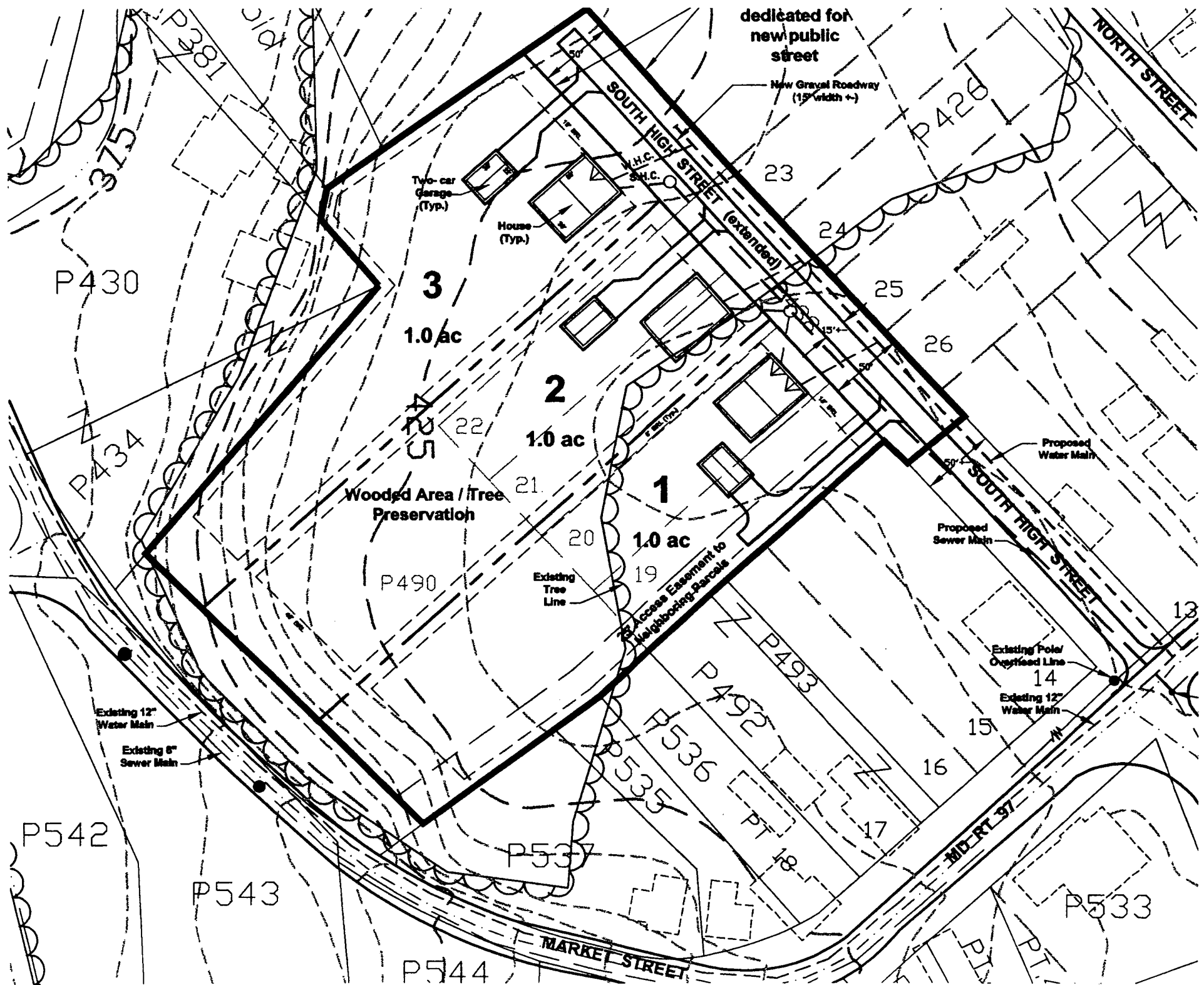
Three single family homes are proposed with detached garages on the more than three acres of land. The new road to serve the three lots will be a gravel road similar to North Street in keeping with the character of the Town and the wishes of the Town Planning Commission. The plans are being submitted to the Town for concurrent review and approval.

Please let us know if you need anything else at this time.

Sincerely,

A handwritten signature in black ink that reads 'David W. McKee'.

David W. McKee



dedicated for  
new public  
street

New Grayal Roadway  
(15' width ←)

Two-car  
Garage  
(Typ.)

House  
(Typ.)

**3**

1.0 ac

**2**

1.0 ac

**1**

1.0 ac

Wooded Area / Tree  
Preservation

Existing  
Tree  
Line

Access Easement to  
Neighboring parcels

Proposed  
Water Main

Proposed  
Sewer Main

Existing Pole/  
Overhead Line

Existing 12"  
Water Main

Existing 12"  
Water Main

Existing 6"  
Sewer Main

P430

P434

P490

P542

P543

P544

P492

P493

P535

P536

P537

P533

MARKET STREET

MD-RT 97

SOUTH HIGH STREET  
(extended)

SOUTH HIGH STREET

NORTH STREET

P381

375

P428

23

24

25

26

13

16

17

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22

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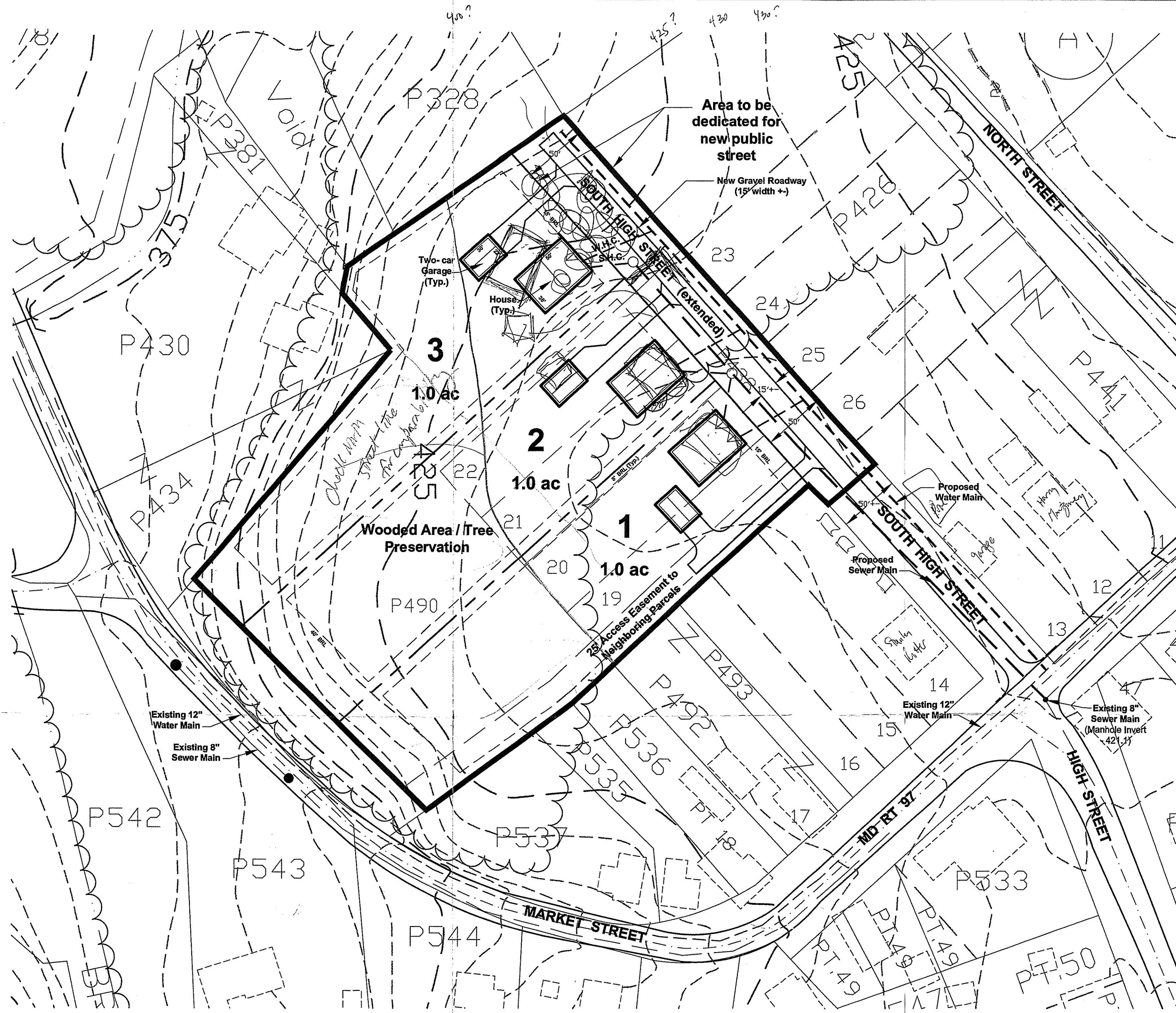
17

18

PT

PT

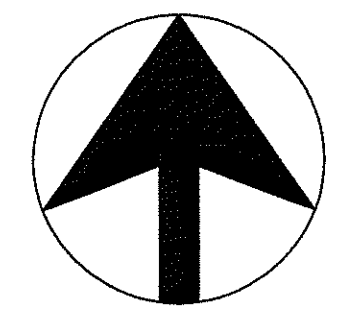




**NOTES:**

- 1. AREA OF PROPERTY - 3.3 ACRES
- 4. EXISTING ZONING - HVR (Historic Village Residential)
- 6. PERMITTED DENSITY - 1 DWELLING UNIT PER ACRE
- 7. NUMBER OF LOTS SHOWN - 3
- 8. MINIMUM LOT SIZE PERMITTED - 10,000 SF
- 9. MINIMUM LOT SIZE SHOWN - 1.0 AC +/-
- 12. REQUIRED SETBACKS:  
 Frontyards - 15'  
 Sideyards - 8'  
 Rearyards - 40'
- 13. SITE TO BE SERVED BY PUBLIC WATER & SEWER (WSSC)
- 14. EXISTING SEWER & WATER SERVICE CATEGORIES: S-1; W-1

Revisions

date: March 2001  
 scale: 1" = 50'

Bearing & Associates, Inc.  
 Land Planning Consultants  
 8933 Shady Grove Court  
 Gaithersburg, MD 20877  
 (301)948-0240

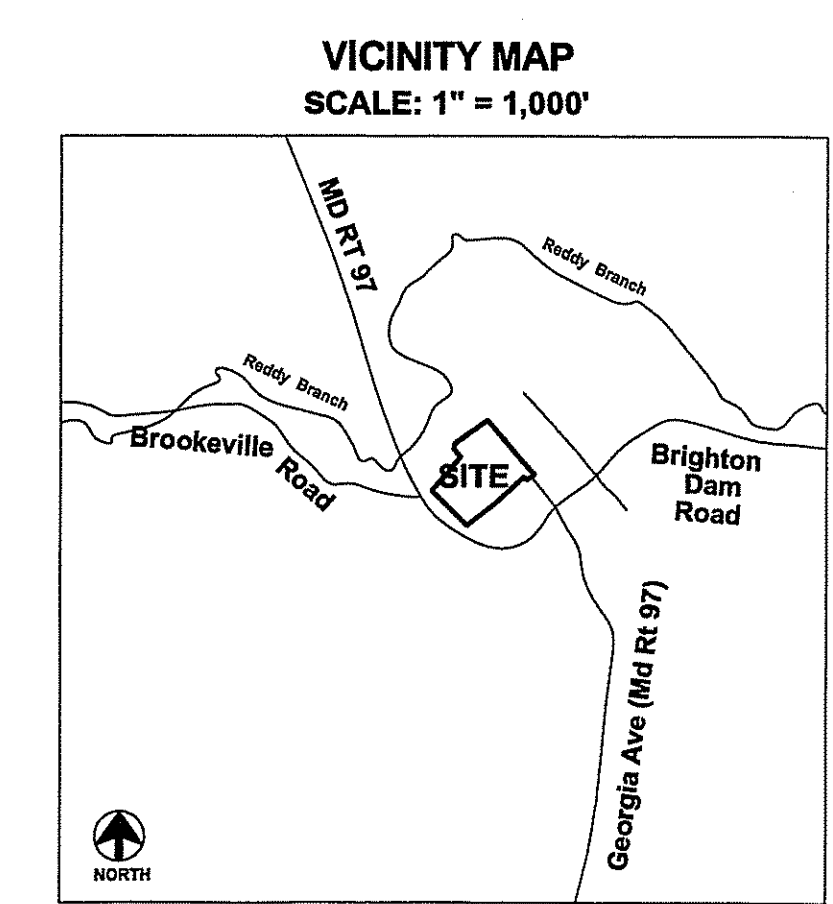
**Surveyor's Certificate:**  
 I hereby certify that the boundary shown hereon is correct to my best knowledge and belief based upon existing records and visual observations.

Signature \_\_\_\_\_ Date \_\_\_\_\_

**Source of Topography:**  
 M-NCPPC, 5-foot contour interval maps; sheets 227NW03

*36  
 15'00"  
 15'00"  
 15'00"*

*Check Topos + grade.*



Contract Purchaser:  
**Ruffin Maddox / Rory Coakley**  
 20 Court House Square  
 Rockville, MD 20850  
 301-340-8700

**PRELIMINARY PLAN**  
**ROTTER PROPERTY**  
 Town of Brookeville, Maryland

EXISTING

