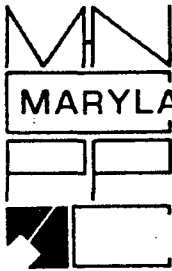


36/3-93A 8200 Meadowbrook Lane
Rock Creek Stables

26-34

Box 4



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

MEMORANDUM

TO: Robert Seely, Chief
 Division of Construction Codes Enforcement
 Department of Environmental Protection

FROM: Gwen Marcus, Historic Preservation Coordinator
 Urban Design Division
 M-NCPPC

DATE: 3.12.93

SUBJECT: Historic Area Work Permit Application

The Montgomery County Historic Preservation Commission, at their meeting of 3.10.93 reviewed the attached application by M-NCPPC for a Historic Area Work Permit. The application was:

+ Approved _____ Denied
 _____ Approved with Conditions: _____

The Building Permit for this project should be issued conditional upon adherence to the approved Historic Area Work Permit.

- Attachments:
1. _____
 2. _____
 3. _____
 4. _____
 5. _____

hawpok.dep



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER MEADOWBROOK PARK PARKING LOT TELEPHONE NO. _____
(Contract/Purchaser) (Include Area Code)

ADDRESS _____

CONTRACTOR AMISH CRAFTSMEN INC CITY _____ STATE _____ TELEPHONE NO. (301) 372-6040 ZIP _____

PLANS PREPARED BY BLUE PLANS / SITE PLAN - DOUG, JORDAN CONTRACTOR REGISTRATION NUMBER NOT APPLICABLE (FACTORY BUILT) TELEPHONE NO. (202) 263-5563
(Include Area Code)

REGISTRATION NUMBER N.A.

LOCATION OF BUILDING/PREMISE

House Number 8200 Street MEADOWBROOK LANE

Town/City CHEVY CHASE Election District WHEATON ELECTION DISTRICT NO. 1

Nearest Cross Street WASHINGTON STREET (SOUTH SIDE) EAST WEST HIGHWAY (NORTH SIDE)

Lot 24 Block UNIT No. ONE Subdivision HICKEY & OFFUTT SEE ATTACHMENT

Parcel TRICELS NUMBERED 4, 78, 9, 10

1A. TYPE OF PERMIT ACTION: (circle one)

| | | | | | | | | | |
|------------|------------|----------------|----------|-----------------|------|---------------------------------|-------------|-------|-------------------|
| Construct | Extend/Add | Alter/Renovate | Repair | Circle One: A/C | Slab | Room Addition | | | |
| Wreck/Raze | Move | Revocable | Revision | Porch | Deck | Fireplace | <u>Shed</u> | Solar | Woodburning Stove |
| | | | | | | Fence/Wall (complete Section 4) | Other | | |

* NOT ATTACHED TO BARN OR GROUND OR FREE STANDING STRUCTURE

1B. CONSTRUCTION COSTS ESTIMATE \$ 850

1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY NO ELECTRIC SUPPLIED TO THIS SHED - N.A.

1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL N.A.

| | |
|--------------|---------------|
| 01 () WSSC | 02 () Septic |
| 03 () Other | |

2B. TYPE OF WATER SUPPLY N.A.

| | |
|--------------|-------------|
| 01 () WSSC | 02 () Well |
| 03 () Other | |

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL N.A.

4A. HEIGHT _____ feet _____ inches

4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/Property line
- Entirely on land of owner
- On public right of way/easement (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (agent must have signature notarized on back) _____ Date 3-10-93

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature Albert B. Randall Date 3-10-93

APPLICATION/PERMIT NO: _____ FILING FEE: \$ _____

DATE FILED: _____ PERMIT FEE: \$ _____

DATE ISSUED: _____ BALANCE \$ _____

OWNERSHIP CODE: _____ RECEIPT NO: _____ FEE WAIVED: _____

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 8200 Meadowbrook Lane

Meeting Date: 3/10/93

Resource: Rock Creek Stables

Review: New Construction

Case Number: 36/3-93A

Tax Credit: No

Public Notice: 2/24/93

Report Date: 3/3/93

Applicant: M-NCPPC

Staff: Nancy Witherell

PROPOSAL: Construct shed

RECOMMEND: Approve

The application concerns the placement of a prefabricated wooden shed on an existing 10' x 10' concrete pad immediately adjacent to the south entrance of the horse barn. The shed would be used for feed storage.

The stables facility is listed as an individual site in the Master Plan because of its association with the early social and equitation history of Montgomery County. Constructed in 1930, the horse barn measures 170' x 70' and is clad with 12" board and batten on the south elevation, which has nine horse stalls that open directly to the outside. South of the barn is a fenced paddock and grassy area. Although there are several sheds nearby, this shed would be placed virtually against the barn near the south entrance. The gable end would face south. The lower edge of a pair of barn windows would be obscured by the placement of the shed.

The shed measures 10' x 10', is 9 feet in height, and is clad with white-painted T-111 on the walls and tan asphalt shingles on the gable roof. The shed comes with a double door and two jalousie windows with shutters.

STAFF RECOMMENDATION

The staff finds the shed an acceptable addition to the site and one that would not detract from the character of the barn or the site. It would be placed on an existing concrete pad that used to accommodate a metal shed. Since the shed is prefabricated and portable, the alteration is reversible.

The staff recommends that the design of the shed be altered to make it more consistent with the architectural character of the barn, specifically by the addition of thin battens over the grooves in the T-111, by the use of casement or sash windows rather than jalousies, and by the removal of the shutters.

With these recommendations, the staff recommends that the Commsision find the proposal consistent with the purposes of Chapter 24A, particularly 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Standard #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.



Historic Preservation Commission

51 Monroe Street, Suite 1001, Rockville, Maryland 20850
217-3625

APPLICATION FOR HISTORIC AREA WORK PERMIT

TAX ACCOUNT # _____

NAME OF PROPERTY OWNER MARYLAND NAT'L. CO. PARK & PLANNING COM. TELEPHONE NO. _____
(Contract/Purchaser) (Include Area Code)

ADDRESS _____

CONTRACTOR AMISH CRAFTSMEN INC CITY STATE TELEPHONE NO. (301) 372-6040 ZIP _____
TELEPHONE NO. (301) 372-6040

PLANS PREPARED BY BUD PLANK / SITE PLAN - DON L. BORDAN CONTRACTOR REGISTRATION NUMBER NOT APPLICABLE (FACTORY BUILT) TELEPHONE NO. (202) 363-5563
TELEPHONE NO. (202) 363-5563 (Include Area Code)

REGISTRATION NUMBER N.A.

LOCATION OF BUILDING/PREMISE

House Number 8200 Street MEADOWBROOK LANE

Town/City CHEVY CHASE Election District WHEATON SECTION DISTRICT No 13

Nearest Cross Street WASHINGTON STREET (SOUTH SIDE) EAST-WEST HIGHWAY (NORTH)

LOTS 24 - Pts 35 THRU 38
 Lots 34 Block UNIT No. ONE Subdivision HICKEY & OFFUTT SEE ATTACHMENT # _____
 No HF LISTED

Parcel PARCELS NUMBERED 4, 7, 9, 10,

Parcel 562 Folio 228

LOTS 26, 29-31, 36-38 & PRC

- 1A. TYPE OF PERMIT ACTION: (circle one)
- | | | | | | | | | | |
|------------|------------|-----------------|----------|---------------------------------|-------|---------------|------|-------|-------------------|
| Construct | Extend/Add | Alter/Reinstate | Repair | Circle One: A/C | Slab | Room Addition | | | |
| Wreck/Raze | Move | Install | Revision | Porch | Deck | Fireplace | Shed | Solar | Woodburning Stove |
| | | Revocable | | Fence/Wall (complete Section 4) | Other | | | | |
- * NOT ATTACHED TO BARN OR GROUND
 OR FREE STANDING STRUCTURE (REMOVABLE)
- 1B. CONSTRUCTION COSTS ESTIMATE \$ 850⁰⁰
- 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____
- 1D. INDICATE NAME OF ELECTRIC UTILITY COMPANY NO ELECTRIC SUPPLIED TO THIS SHED - N.A.
- 1E. IS THIS PROPERTY A HISTORICAL SITE? YES

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. TYPE OF SEWAGE DISPOSAL N.A.
- | | |
|--------------------|---------------|
| 01 () WSSC | 02 () Septic |
| 03 () Other _____ | |
- 2B. TYPE OF WATER SUPPLY N.A.
- | | |
|--------------------|-------------|
| 01 () WSSC | 02 () Well |
| 03 () Other _____ | |

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL N.A.

- 4A. HEIGHT _____ feet _____ inches
- 4B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/Property line _____
 - Entirely on land of owner _____
 - On public right of way/easement _____ (Revocable Letter Required).

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____

SUPPLEMENTAL APPLICATION FOR HISTORIC AREA WORK PERMIT
REQUIRED ATTACHMENTS

1. WRITTEN DESCRIPTION OF PROJECT:

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING STRUCTURE:

Meadowbrook stables, located at 8200 Meadowbrook Lane in Rock Creek Park, Chevy Chase, Maryland is the site of the proposed installation. The structure has served as a stable since its construction in 1930.

It is a wooden structure measuring 170' by 70' and at its highest point stands 35' high. The portion of the barn devoted to housing horses is 100' by 70'. The remaining portion of the structure is used as a tack room, office, rest rooms, boiler room and living quarters for the resident manager. The structure is quite beautiful with cedar shingles covering a complex roof with fifteen dormers that add aesthetic appeal. The outside walls of the barn are of twelve inch board and batten construction while the remaining portion of the structure is clad with horizontally applied twelve inch boards having an o'gee lower edge. All windows are of divided light (colonial) design with frames of wood construction. Some windows cannot be opened while others of "double hung" design can be. Along the north side of the barn you find stone construction to a height of about four feet adding still more appeal.

The interior of the barn has two levels. The first level contains "box stalls" and "standing" stalls. providing room for housing 58 horses. The stalls are arranged along two isles that run the length of the barn. There are 41 "box stalls" and 14 "standing stalls". Currently all stalls are filled and a sizable waiting list exists to fill any vacancy that ever develops. The second level contains a hay loft and bulk storage of feed, a tack shop, storage rooms and a large Club room that at one time was used by the then existing "Meadowbrook Club" to host social events for its members and their guests.

THE ENVIRONMENTAL SETTING:

The facility is located in Rock Creek Park just about 200 yards south of the intersection of East-West highway and Meadowbrook Lane. Rock Creek lies just 300 yards to the west of the structure. On the north side of the structure is a large open grass area while to the west you find a wooded area along the creek. To the south there are four "paddock" riding areas enclosed with white board fences. Still further to the south you find "Candy Cane" park with its tennis and basketball courts and ball fields and mature woodlands. On the east side of Meadowbrook Lane, across the street from the stable, you find private single

family housing. Much of this housing is of two story brick colonial design and was constructed well after the stable was built. Of the many houses in this subdivision 23 enjoy direct views of the stable.

HISTORICAL FEATURES AND SIGNIFICANCE:

The Meadowbrook Stable has from its origination in 1930 been a prominent facility and force in the sport of horse equitation in the United States. When first built it was one of the most modern horse facilities in the Washington area which according to a Washington Times article provided "accommodations for 58 horses and attractive club rooms for its members". The structure cost \$25,000 to construct and was described in the article as "an excellent piece of architecture, handsome, though making no attempt to conceal its identity as a stable". The article went on to describe the club which is attached to the west end of the barn as being "appropriately built in the style of an old Charlottesville tavern, with a brick terrace and a huge French provincial chimney". The article goes on to describe the "low walled stalls which enable the horse to see what's going on from one corner of the stable to the other". In the "club" section of the structure we would find flooring of "antique white pine and brick flagstone". According to the article "old Washington pavements of years ago yielded the material for the unique flagstone flooring" found in the club room. In addition to this beautiful club room this section housed an office, tack room and pantry.

The originator and driving force behind the construction of the stable was a man named John Gheen. Mr. Gheen was proprietor of the Shoreham Saddle Club which was located in the District. He selected the current site because of its natural beauty and lack of traffic. Some of the original members of the club were Signor Augusto Rosso, Italian Ambassador; Count Guido Roncalli di Montorio, First Secretary of the Italian Embassy; Signor Gueseppe Tommasi, Secretary of the Italian Embassy; Signor Andre Ferrero, Secretary of the Italian Embassy; Irwin Laughlin, former Ambassador to Spain, and his daughter Gertrude; Mrs. Truxton Beale and J.R. Poole. Later in its history the stable was used by such prominent people as Douglas McKay, Secretary of the Interior and General L.D. Kromer, Chief of Cavalry U.S. Army. In addition, the stable was the practice site for several olympic competitors; the site of the Inter-American Horse Show which brought into competition the military teams of Chile, Mexico, and the United States. For this event The Washington Herald reports they developed a "tremendous jumping layout" consisting of "every type of known jumping hazard, from "low-slung Aikens to dizzy liverpools and steep-banked runways. In all there were more than 20 jumps in the course. The facility provided seating for 4,200 spectators and suitable parking. Close to 300 top level riders competed in this event which was described to be by far the most ambitious event of its kind ever held in the region.

- b. General description of project and its impact on the historic resource(s), the environmental setting, and, where applicable, the historic district.

GENERAL DESCRIPTION OF THE PROJECT:

The project involves the simple placement of a prefabricated and moveable wooden shed on an already existing concrete slab that is located next to the south entrance of the barn. The shed will be used for the storage of feed and will not require any plumbing or electrical work. The shed, manufactured by Amish Craftsmen, Inc. of Bryantown, Md. will be delivered fully constructed and painted and placed on the existing 10' by 10' concrete slab.

IMPACT ON THE HISTORIC RESOURCE:

The shed should will in no way adversely affect the current historic structure. We propose that it be located next to the south entrance to the barn. This entrance to the barn is located in an indentation in the barn's structure and thus two walls of the shed will be only inches from the exterior walls of the barn leaving only two of the shed's four exterior walls will be visible. This proposed location will make the shed almost impossible to see from the road or houses across Meadow Brook Lane. The shed will not be attached to the barn or to the existing concrete slab on which it will stand and it calls for no modification or alteration of the existing structure.

Should, in the future, it be necessary to remove the shed from the property its small size and portability will allow this to be easily accomplished.

IMPACT ON THE ENVIRONMENTAL SETTING:

The shed's proposed placement should pose no adverse effect on the environment. The already existing concrete pad affords the structure an ideal foundation and thus will not be necessary to remove or grade the site, destroy or adversely affect any existing trees grass or other flora. Drainage of water off the shed's roof will be no different than the runoff currently taking place on the already existing concrete pad located at the south entrance of the barn. Furthermore, a well developed road to the site should prevent any damage to the grounds during delivery of the shed or subsequently during the delivery of feed that will be stored in the shed.

2. STATEMENT OF PROJECT INTENT:

a. THE PROPOSED DESIGN OF THE WORK:

The manufacturer, Amish Craftsmen, Inc., describes the shed as their "cottage" design. It comes with a gable roof, asphalt shingles, two Jalousie windows, shutters, and screens and a double door that provides wide access to the interior.

The shed is 10 ft. by 10 ft. in floor area and 8 ft. in height. It rests on four 4 in. x 4 in. pressure treated timbers. Other construction features are as follows: 2"x 4" construction is used to frame out all floors, walls and roof rafters; the flooring is of 5/8" exterior plywood while the roof is covered with 240 lb. self-sealing asphalt shingles; the siding is 5/8" textured 1-11 fir plywood with vertical grooving that mirrors the board and batten siding of the barn. It is covered with 3 coats of white paint to match that used on the barn. It has one double door located on the gable end of the building. All construction and materials are to the high standards that customers have come to expect of Amish Craftsmen.

b. THE RELATIONSHIP OF THIS DESIGN TO THE EXISTING RESOURCE:

The existing structure's exterior is of 12" board and batten design. The shed's exterior is plywood with vertical grooves that imitate the battens which cover the vertical seams of the barn's exterior. On close inspection you can see the difference between the barn's exterior construction and that of the shed, however from a distance they will look very much the alike. Also the gable end of the shed will look very much like the gable ends of the dormers found on the barn. All materials are of wood and painted to match the barn's paint. Overall, the shed will blend in very nicely with the existing structure.

c. THE WAY IN WHICH THE PROPOSED WORK CONFORMS TO THE SPECIFIC REQUIREMENTS OF THE ORDINANCE (CHAPTER 24A):

The work we propose in this request fully complies with the letter and intent of the ordinance (chapter 24A).

3. PROJECT PLAN:

- a. Site and environmental setting drawn to scale ----- Appendix A
- b. Dimensions and heights of all existing and proposed structures ----- Appendix B
- c. Brief Description and age of all structures ----- Appendix C
- d. Contour maps showing grading at no less than 5' intervals ----- Appendix D
- e. Site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment and landscaping. ----- Appendix E

4. TREE SURVEY, IF APPLICABLE:

The work proposed in this request will not affect any of the existing trees on the site and thus we have not included a tree survey with this request.

5. DESIGN FEATURES:

Construction plans drawn to scale at 1/8"=1'0" or 1/4"=1'0" indicating location, size and general type of walls, window and door openings, roof profiles, and other fixed features of:

- the existing structure ---- Attachment F
- the proposed structure ---- Attachment G

6. FACADES:

Elevation drawings drawn to scale at 1/8"=1'0" or 1/4"=1'0" describing the facade materials and fixtures for:

- the existing structure ---- Attachment H
- the proposed structure ---- Attachment I

7. MATERIALS SPECIFICATIONS:

General description of materials and manufactured items proposed for incorporation in the work of the project.

SHED CONSTRUCTION:

- Foundation: The shed will rest on 4" by 4" pressure treated timbers laid on an already existing 10' by 10' concrete slab.
- Subflooring: 2" by 4" floor joists 16" on center form the floor framing. These will also be pressure treated.
- Flooring: The floor will be of 5/8" exterior plywood.
- Wall Framing: 2" by 4" studs are used for wall framing.
- Exterior Siding: 5/8" exterior textured 1-11 Fir plywood.
- Doors: One door located on the gable end of the building with heavy-duty hinges and reinforced with 2" by 3" lumber.
- Roof: Gable roof design with 240 lb. self-sealing asphalt shingles. Shingle color will be tan to match the cedar shingles currently on the stable.

Windows: The shed will have two Jalousie windows, screens, and shutters painted to match the trim.

Paint: Three coats of high quality white exterior paint will be used. Trim color to match that currently on the stable.

Fastenings: All assembly will be done with steel nails of appropriate size for the application.

8. PHOTOS OF RESOURCES:

Clearly labeled color photographic prints of each facade of the existing resource, including details of the affected portions. All labels should be placed on the front of the photographs.

Please refer to Attachment "J" for these.

9. PHOTOS OF CONTEXT:

Clearly labeled color photographic prints of the resource as viewed from the public right-of-way and from adjoining properties, and of the adjoining and facing properties.

Please refer to Appendix "K" for these.

10. ADDRESSES OF ADJACENT PROPERTY OWNERS:

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question.

Property owners across Meadowbrook Lane who will be able to see only one gable end of the shed from their property:

1. Mario and G. Piccagli
8103 Meadowbrook Lane
Chevy Chase Md. 20815
2. Janice G. Hutchinson
2814 Abilene Drive
Chevy Chase Md. 20815

3. Abraham Berkman
2811 Washington Ave.
Chevy Chase Md. 20815
4. Herman and Z. Singer
2810 Washington Ave.
Chevy Chase Md. 20815
5. Robert B. Friedman
2813 Washington Ave.
Chevy Chase Md. 20815
6. Daniel H. Ullman
2808 Washington Ave.
Chevy Chase Md. 20815

Property owners across the street (Meadowbrook Lane) from the stable who will not be able to see any of the proposed shed from their property but who can see the stable property:

- | | |
|---|--|
| 1. James J. and L. Karson 8205 Meadowbrook Lane Chevy Chase Md. 20815 | 10. Massoud Mokhtari 4400 East-West Hwy. Bethesda Md. 20814 |
| 2. Edward F. and A. Barr 8207 Meadowbrook lane Chevy Chase Md. 20815 | 11. Bernard L. Frankel 2808 Abilene Drive Chevy Chase Md. 20815 |
| 3. Noel J. Agustyn 8209 Meadowbrook lane Chevy Chase Md. 20815 | 12. Harry V. Gelboin 2806 Abilene Drive Chevy Chase Md. 20815 |
| 4. Kent E. and D. Nichols 8211 Meadowbrook lane Chevy Chase Md. 20815 | 13. Edwin Rosenblatt 2804 Abilene Drive Chevy Chase Md. 20815 |
| 5. John C. Warner 8215 Meadowbrook lane Chevy Chase Md. 20815 | 14. Glen W. Pearson 2805 Abilene Drive Chevy Chase Md. 20815 |
| 6. Cheth Netivinyoo 2809 Abilene Drive Chevy Chase Md. 20815 | 15. Hope M. Daniels 2807 Washington Ave. Chevy Chase Md. 20815 |
| 7. C.A. Develle Degoyet 2812 Abilene Drive Chevy Chase Md. 20815 | 16. Bruce C. Elman Et. Al. 5421 Edgemoor Lane Bethesda, Md. 20814 (owns 2810 Washington Ave.) |
| 8. Charlotte Kramer 2810 Abilene Drive Chevy Chase Md. 20815 | 17. Lorida J. Jensen 2809 Washington Ave. Chevy Chase Md. 20815 |

APPENDIX "A"

SITE AND ENVIRONMENTAL SETTING
DRAWN TO SCALE

APPENDIX A

The environmental setting can be shown both with the topographic map seen in appendix "D" and by the map drawn for the sediment control and drainage improvement project undertaken in 1991. The site plan constructed for this project clearly shows elevations, creek location, tree location, sediment trap (pond), newly constructed berms to direct runoff of rain water, light poles, fences, sidewalks, stable, manure shed, steel pole barn/shed, 100 year flood plain, blacksmith shed, horse washing stall, dirt paths, gas lines light poles, drainage tubes, roads, residential lots across Meadowbrook Lane, and the "indentation" at the south side entrance to the barn (between pts. 2 & 3) where we propose to place the 10 ft. by 10 ft. feed storage shed.

APPENDIX "B"

DIMENSIONS AND HEIGHTS OF ALL
EXISTING AND PROPOSED STRUCTURES

APPENDIX B

The dimensions and heights for the existing structures are as follows:

Stable:

| | |
|--------------------------------|----------|
| Height at the barns peak ----- | 35 feet |
| Width of the structure ----- | 70 feet |
| Length of the structure ----- | 170 feet |

Manure Bin:

| | |
|--------------------------------|---------|
| Height at the bin's peak ----- | 20 feet |
| Width of the structure ----- | 36 feet |
| length of the structure ----- | 40 feet |

Metal pole shed:

| | |
|---------------------------------|---------|
| Height at the shed's peak ----- | 18 feet |
| Width of the structure ----- | 32 feet |
| length of the structure ----- | 40 feet |

Blacksmith's shop:

| | |
|---------------------------------|---------|
| Height at the shop's peak ----- | 14 feet |
| Width of the structure ----- | 10 feet |
| Length of the structure ----- | 16 feet |

The dimensions for the proposed shed are:

Proposed feed storage shed:

| | |
|-------------------------------|---------|
| height at the peak ----- | 9 feet |
| Width of the structure ----- | 10 feet |
| Length of the structure ----- | 10 feet |

APPENDIX "C"

BRIEF DESCRIPTION AND AGE
OF ALL STRUCTURES

APPENDIX "C"

Descriptions and age of the four existing structures:

Stable:

The stable is a wooden building built around 1930. It has 15 dormers on its roof, nine stalls with stall doors that exit directly out of the building on the south side. It has exterior walls of 12 inch board and batten construction, stall doors that are split in half so that the top half of the stall door can be opened while the bottom half remains closed. The roof material is cedar shingles except for the stalls on the south side of the building where the roofing material is galvanized steel. The barn structure is painted white and the window trim, doors and jambs are painted green. The first floor of the barn is used exclusively for the housing of horses with about 50 currently in residence.

The west end of the structure is devoted to providing room for an office, tack room, storage, rest rooms, and living facilities for the resident manager and the director of equestrian instruction. The exterior walls of this portion of the structure are 12 inch tongue and groove with an "Ogee" at the lower edge of each board. This portion of the structure is painted a very light yellow and the windows are done in green like those on the barn. The roof is covered with cedar shingles and also sports five small dormers with gable end roofs and one large dormer with a shed roof.

Manure Bin:

Construction of this was started in 1991 and the building was completed in 1992. It is a pole building with 8" by 8" pressure treated posts forming the walls of the structure. The exterior is covered with 3/4" pressure treated plywood with battens placed vertically to mirror the stables exterior surface. The structure as of this date has not been painted and remains the green color typical of pressure treated wood. The roof structure is formed by wooden trusses which are then tied together with 2" by 4" purlins spaced 2 ft. on center and these in turn are then covered with channel drain 29 guage galvanized metal roofing. This roofing material matches that found on the stalls located on the south side of the stable. Photos of this building are shown in the photo section of this application.

Storage Shed:

This pole building was constructed a number of years ago but well after the stable was built. I am unsure of exactly when it was built however I was told that the last operator of the stable constructed the building and they ran the stable for a period of about 15 years before the current operator took over operation in 1991. In any case the exterior walls are covered with vertically

applied metal siding while the roof is covered with galvanized roofing much the same as on the manure shed. Currently half the building is used to store sawdust/wood chips which is used as bedding for the horses. The remaining half is used to store equipment used for horse shows and other equestrian events.

APPENDIX "D"

CONTOUR MAPS SHOWING GRADING
AT NO LESS THAN 5 FT. INTERVALS

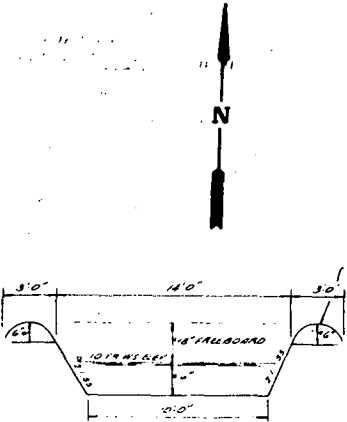
APPENDIX "D"

The contour map shown here is the result of a survey conducted by Sheladia and Associates, Inc. in September of 1990. This plat of a topographic survey of the Meadowbrook Stables property shows elevation/grade differentials on the property of as little as one foot.

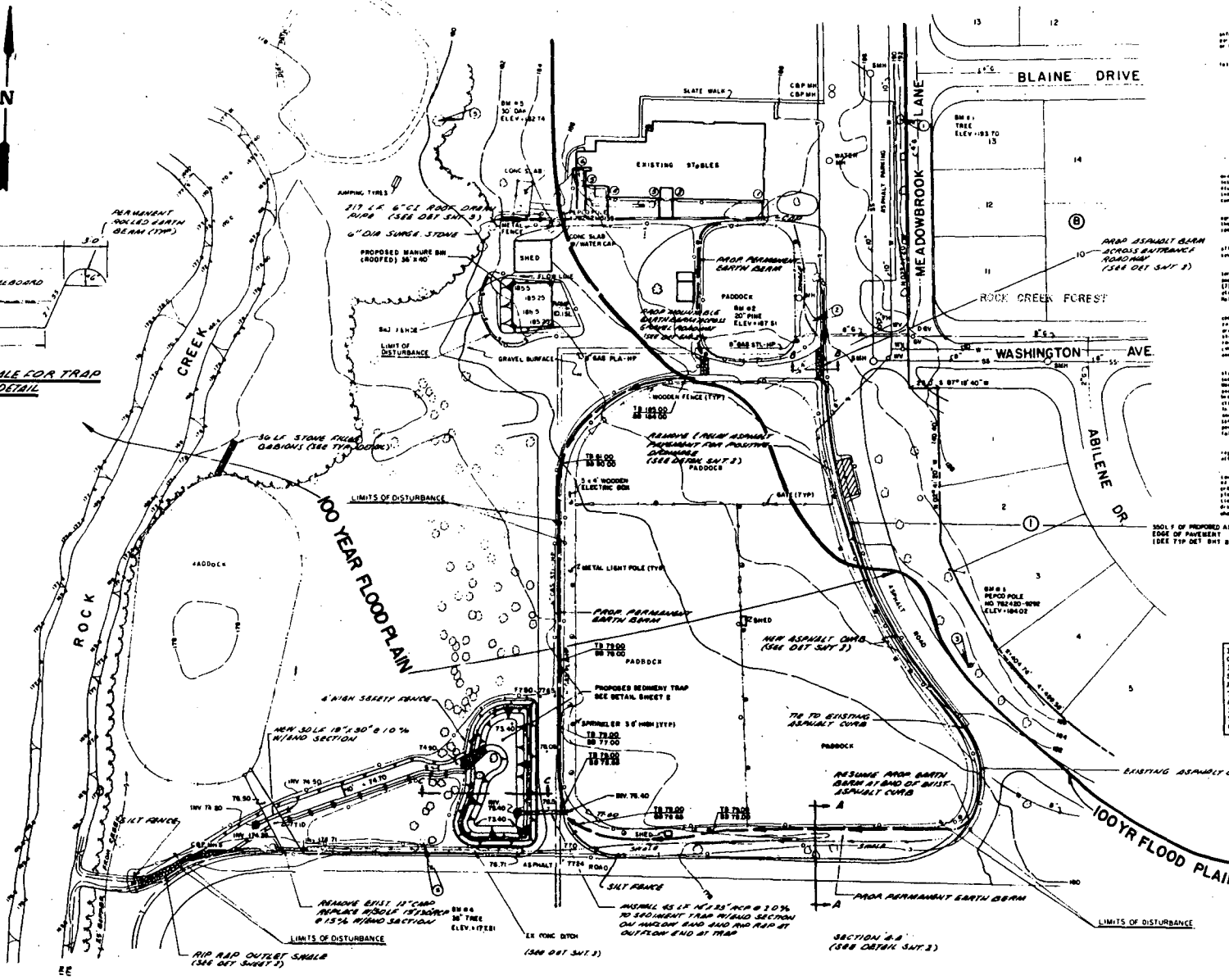
It shows the location of trees, light poles (wooden and metal) manholes, signs, gates, metal and wooden fences, sprinklers, water valves, paddocks, buildings, sidewalks and roads. The original blueprint drawing was on 24" by 36" paper and is here reduced to conform to the limit of 8.5" by 14" paper.

Stable

(2)



CROSS SECTION OF SWALE FOR TRAP
OUTFLOW DETAIL
NFS



1. The contractor shall notify the Department before starting any soil disturbing activities on the site.
2. The contractor shall obtain inspection and testing permits.
3. At the required presentation of the return investigation of the site and the required testing activities.
4. During the installation of a system management structure of the site, the contractor shall provide access to the site.
5. Prior to removal of materials at the site.
6. Prior to final site preparation.
7. The contractor shall maintain all areas of the site open and available for future inspection and approval by the Department. The contractor shall provide access to the site at all times during the construction process.
8. The contractor shall provide all materials to be used in the construction of the site.
9. The contractor shall provide all materials to be used in the construction of the site.
10. The contractor shall provide all materials to be used in the construction of the site.
11. The contractor shall provide all materials to be used in the construction of the site.
12. The contractor shall provide all materials to be used in the construction of the site.
13. The contractor shall provide all materials to be used in the construction of the site.
14. The contractor shall provide all materials to be used in the construction of the site.
15. The contractor shall provide all materials to be used in the construction of the site.
16. The contractor shall provide all materials to be used in the construction of the site.
17. The contractor shall provide all materials to be used in the construction of the site.
18. The contractor shall provide all materials to be used in the construction of the site.
19. The contractor shall provide all materials to be used in the construction of the site.
20. The contractor shall provide all materials to be used in the construction of the site.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE DEPARTMENT OF THE START OF CONSTRUCTION OF ALL UNDERGROUND UTILITIES. TRACTOR SHALL NOTIFY MEHO 1-800-263-3468 AND EDIE ARDOL 2469 88 HRS PRIOR TO START OF CONSTRUCTION OF ALL UNDERGROUND UTILITIES.

Rev. M. B. ...
Anthony W. ... 1-10-91

Checked by ...
Reviewed by ...



The Maryland-National Capital Park and Planning Commission
Department of Parks, Montgomery County

Project Headquarters
3940 Blaine Avenue
Silver Spring, Maryland 20910
(301) 495-7525

MEAD
Scale: 1" = 50'

APPENDIX "E"

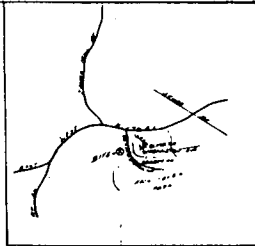
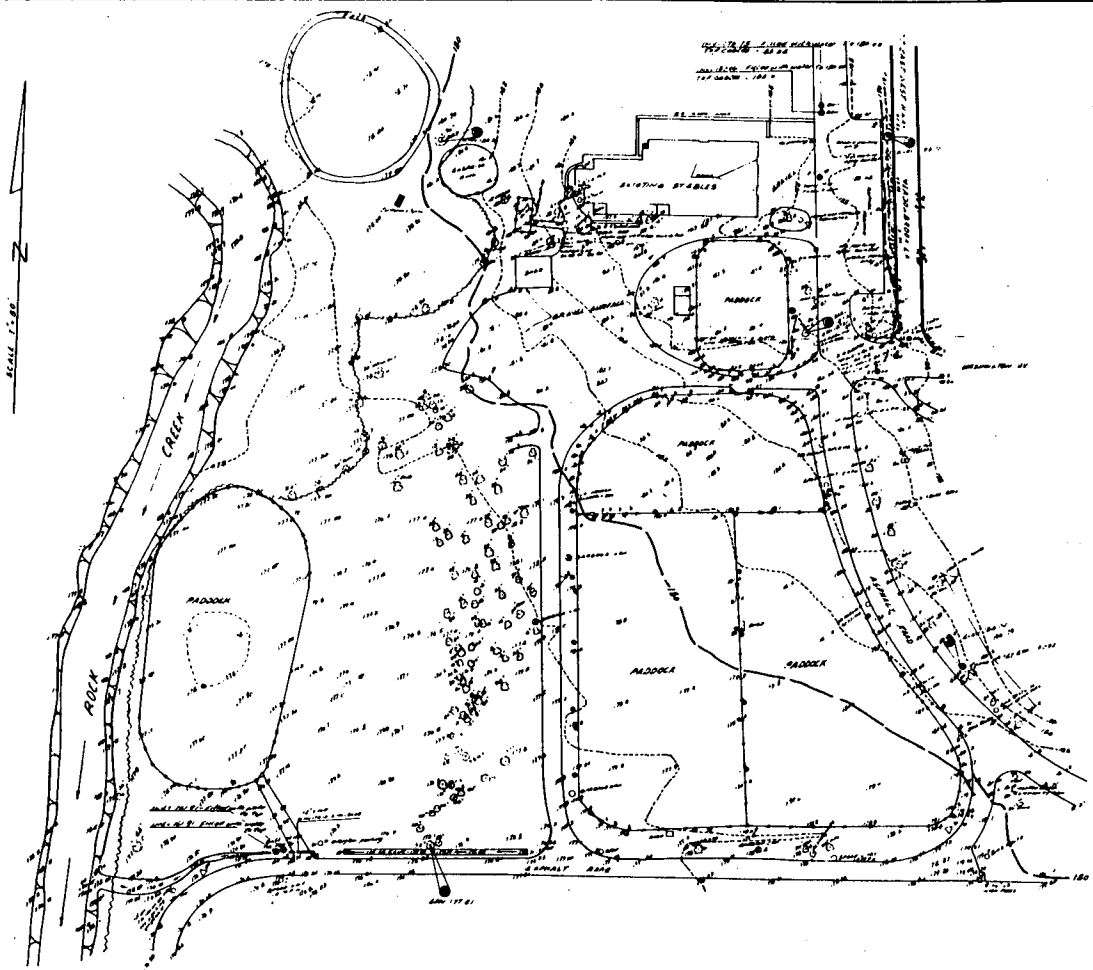
SITE FEATURES SUCH AS WALKS, DRIVES, FENCES,
PONDS, STREAMS, TRASH DUMPSTERS, MECHANICAL EQUIPMENT
AND LANDSCAPING

ATTACHMENT "E"

The site features such as walks, drives, fences, ponds, streams, trash dumpsters, mechanical equipment and landscaping are best shown by the drawings found in Attachments "A" and "D". As no better drawing of these features exist we ask the reader to refer to the plans shown in those two attachments for the details required in this section.

APPENDIX "F"

CONSTRUCTION PLANS DRAWN TO SCALE
FOR THE
EXISTING STRUCTURE



Legend

| | |
|-----------------------------|---|
| Traverse Station Shows True | • |
| Metal Light Pole | • |
| Wooden | • |
| Tree | ○ |
| Manhole | • |
| Signs | • |
| Gate | — |
| Metal Fence | — |
| Wooden | — |
| Sprinklers 26" High | • |
| Water Valve | • |
| Gas Valve | • |

Benchmark Data

| NO. | DATA (MSSD) | Description |
|-----|-------------|---|
| 1 | 19570 | A cut nail 1.5" above ground on north east face of 24" Oak |
| 2 | 18731 | A cut nail 2.5" above ground on east face 16" Pine |
| 3 | 18802 | A cut nail 1.5" above ground on west face 12" oak 788200-9226 |
| 4 | 17721 | A cut nail 1.5" above ground on south face 36" C. oak |
| 5 | 18874 | A cut nail 1.5" above ground on south east face 36" Oak |

NOTE: (1) No Sewer or Septic System was found
 (2) Mean Water Level - Rock Creek - on 05-23-20 at 10:10 AM
 was 170.90

PLAT OF TOPOGRAPHIC SURVEY
 MEADOWBROOK STABLES
 WILMINGTON ELECTION DISTRICT NO 13
 MONTGOMERY COUNTY, MARYLAND
 SCALE 1" = 50' DATE 09-14-90

24

PA

APPENDIX "G"

CONSTRUCTION PLANS DRAWN TO SCALE
FOR THE
PROPOSED STRUCTURE

APPENDIX "G"

Since the proposed shed is a factory built item that is not constructed on site or attached to the ground or any other structure construction drawings are not readily available.

APPENDIX "H"

ELEVATION DRAWINGS TO SCALE OF THE
EXISTING STRUCTURE

APPENDIX "H"

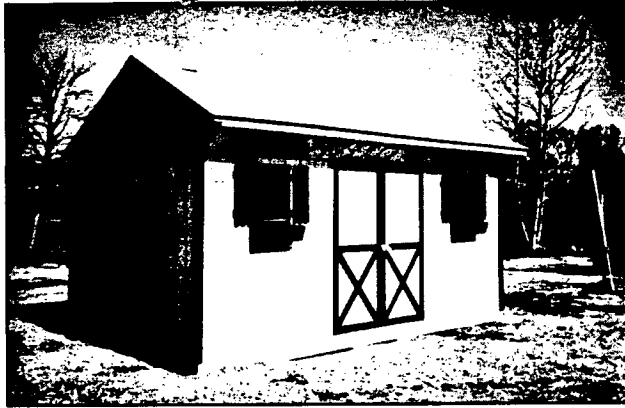
We have asked the MNCP&PC for their copies of the elevation drawings of the stable and they've told us they don't have any such drawings of the structure. We are sorry that we are unable to provide such and hope that the photos of the building will meet your needs.

APPENDIX "I"

ELEVATION DRAWINGS TO SCALE OF THE
PROPOSED STRUCTURE

APPENDIX "I"

Since the shed is a factory built item elevation drawings are not readily available. However we have supplied photos of the structure as provided to us by the manufacturer in his sales brochure. See the attached copy of this below.

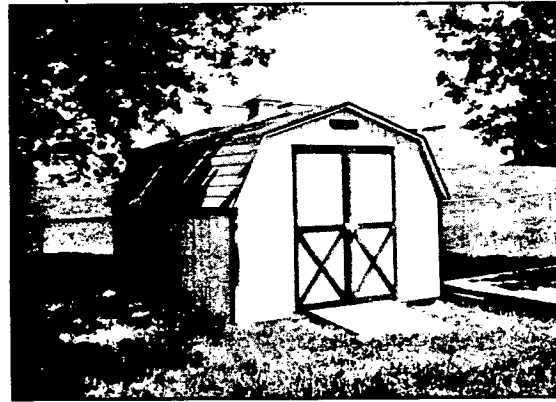


The Dutchess

One of our roomiest models, The Dutchess is an excellent sales office, pool cabana or general storage area for your home. Comes standard with two Jalousie windows, shutters and screens. The peak is 10' to accommodate upper shelves.

Lancaster

Our Lancaster and Dutch buildings are our most popular models. They will accommodate your every storage need while being an asset to your property. As shown with optional cupola and ramp.

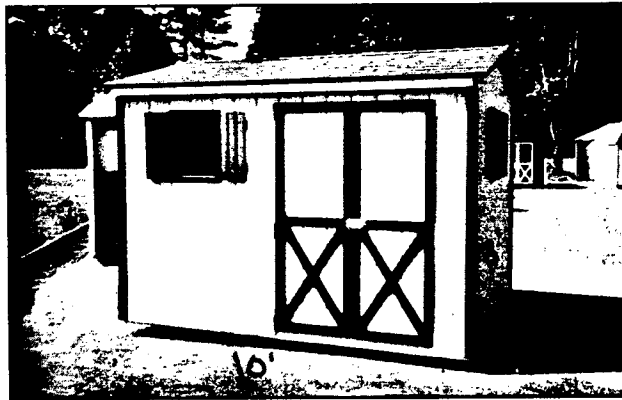


Amish Cro

... Constructs TO LAST! Our skill quality and value as not an advertising sl

Our versatile t functional 6' x 8' stor x 200' stable. All are your needs for dur function. The result compliment the appe enhance its value.

You will see the ence when you comp and discount prices.

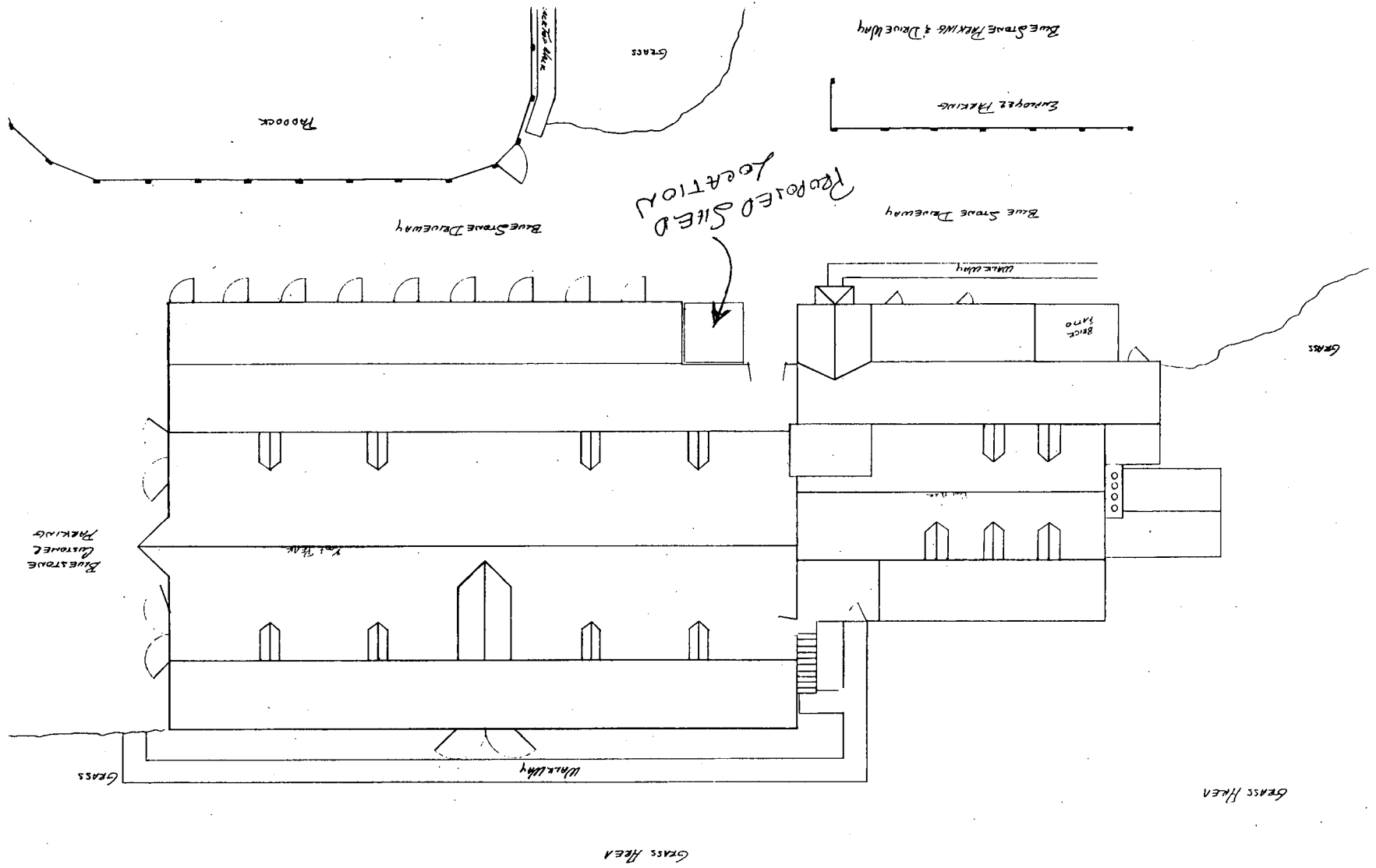


The Cottage (GABLE ROOF)

The Cottage can be used as a cabana, playhouse or utility shed. Comes standard with two Jalousie windows, shutters, and screens. Choose the size and options to suit your individual needs.

4 1/2 Pitch on Roof

ATTACHMENT "J"
PHOTOS OF RESOURCES



Scale 1" = 10ft
 8" = 15"
 Top View with Roof Detail

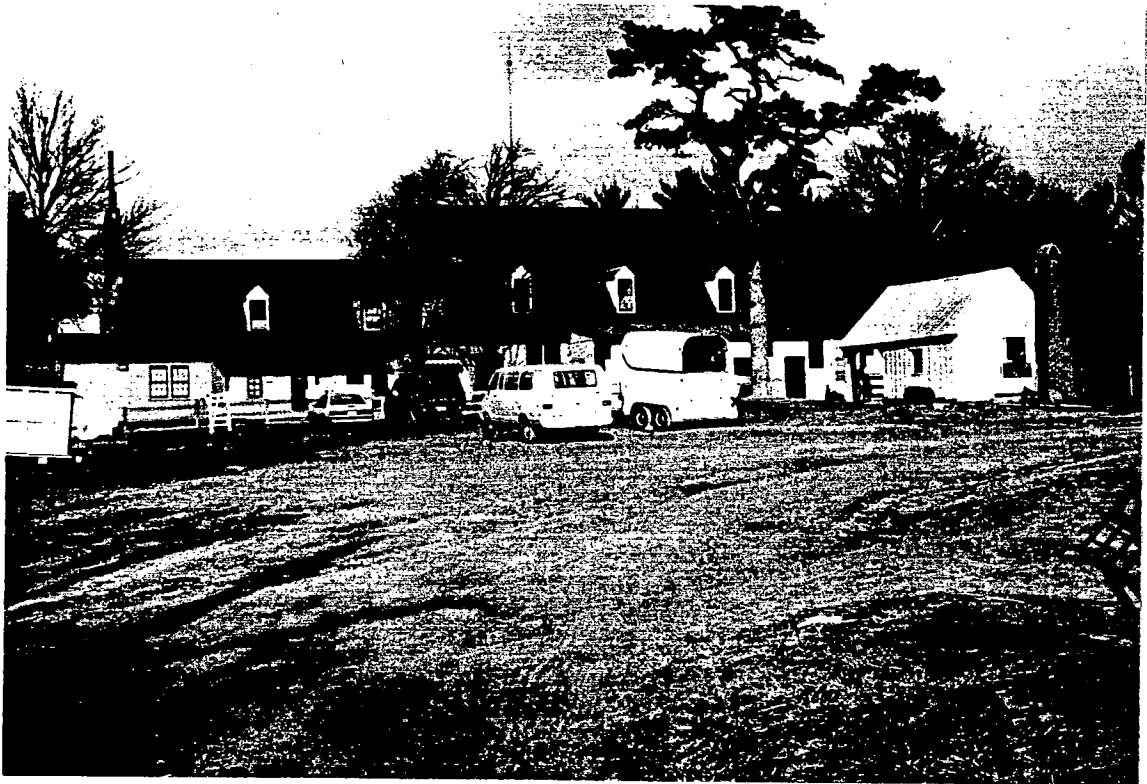
Grass Area

ATTACHMENT "J"

PHOTOS OF RESOURCES

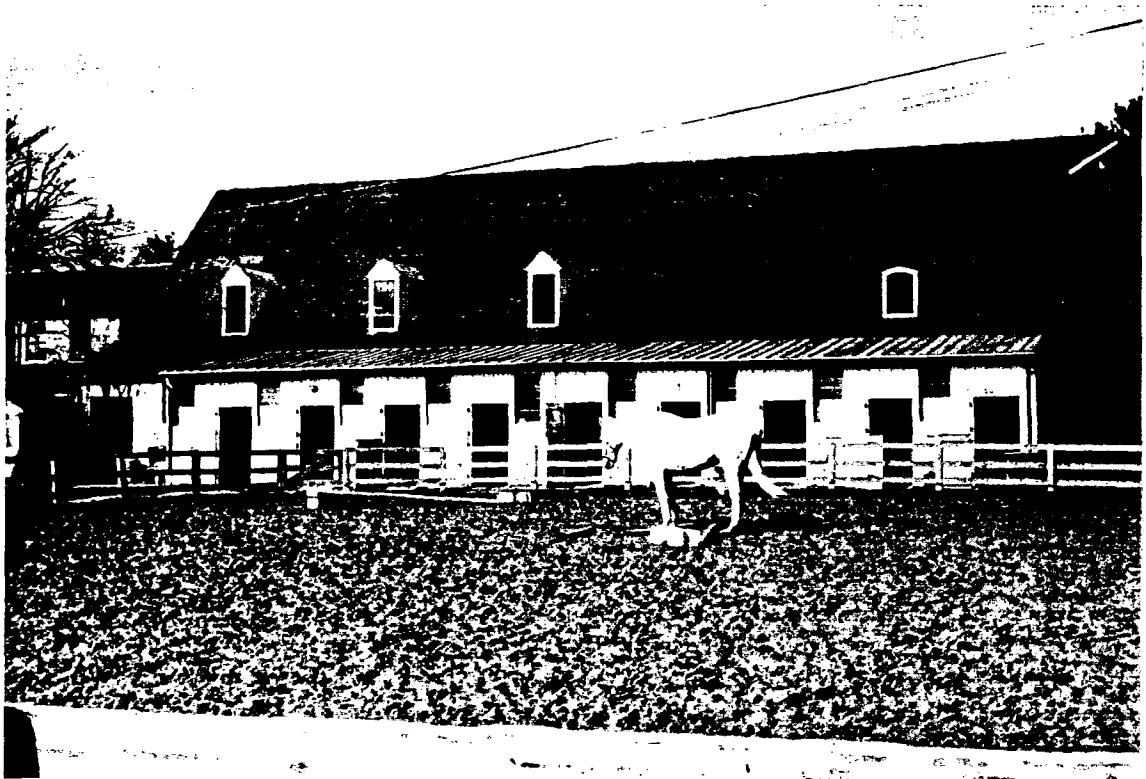
Clearly labeled color photographic prints of each facade of existing resource, including details of the affected portions.

PHOTO #1 - VIEW: South side of the stable. This view shows the farriers shed, to the right side of the photograph and the stable with the living quarters, office and tack room on the left side of the building painted a very light yellow and the barn portion of the structure on the right painted white. The shed will be located next to the barn behind the yellow van in this photo.



ATTACHMENT "J"

PHOTO = 2 - View: Again the south side of the stable but now showing primarily the stable portion of the structure with only a small portion of the office, tack room and living quarters showing on the far left side of the photo. You will note nine stall doors on this side of the building with a metal shed roof covering those the stalls. On the far left of the stable you will note a tall opening that forms the south entry to the stable. It is just to the right of that entry door and to the left of the metal roofed stall section of the stable that we propose to place the shed in a indentation in the current structure. The next photo will show a close up of that indentation.

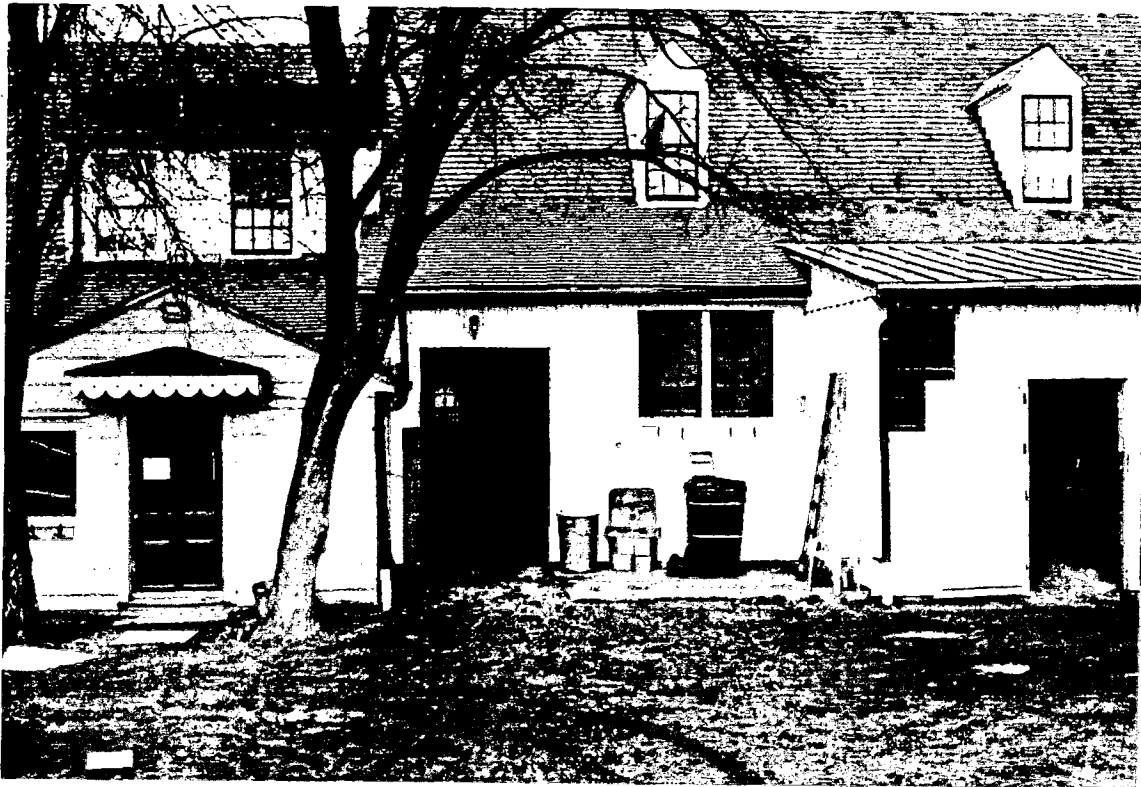


The proposed location of the shed in this indentation in the current structure will effectively hide it from view except from the south and south east.

ATTACHMENT "J"

PHOTO 3 - VIEW: This photo shows the indentation that we have been describing in discussion of the previous two photos. On the left you see the tack room entrance (yellow paint and green door). In the center of the photo you see the south entrance to the stable. To the right of that entrance you see the concrete pad on which we propose to place the shed. That concrete pad measures 10 ft. by 10 ft. 6 inches being a bit wider than it is deep. This is the former location of a metal bulk feed storage container. The double windows you see in the indentation are close to six feet off the concrete pad and extend to a height of about ten feet at their top.

The shed would have its gable end facing out as is the case with the gable end of the tack room in the photo.



ATTACHMENT "J"

Photo 4 - View: This photo shows an even closer view of the proposed site of the shed. It also shows the board and batten facade of the stable. It also shows the green trim of the windows on the barn. Note that these windows are not double hung and thus can't be opened in the summer months.

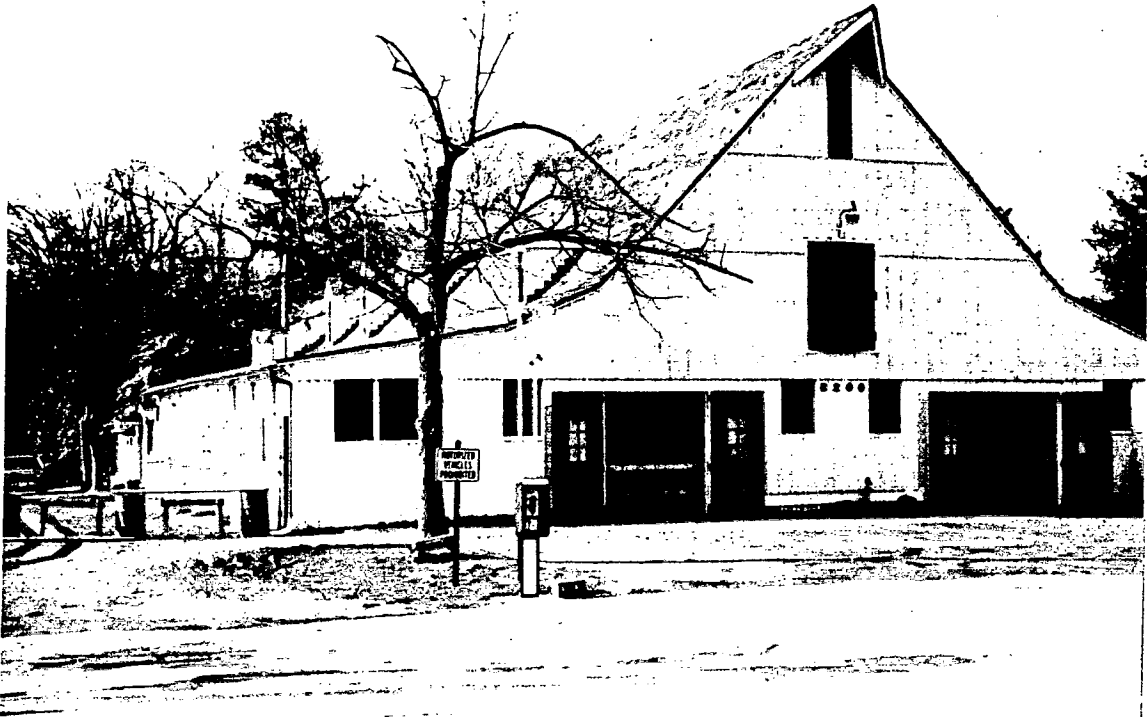
At the very far left of the photo you can just see the right side door jamb to the south entrance of the barn and on the far right of the photo the ladder leans against the west wall of the stalls on the barn's south side.



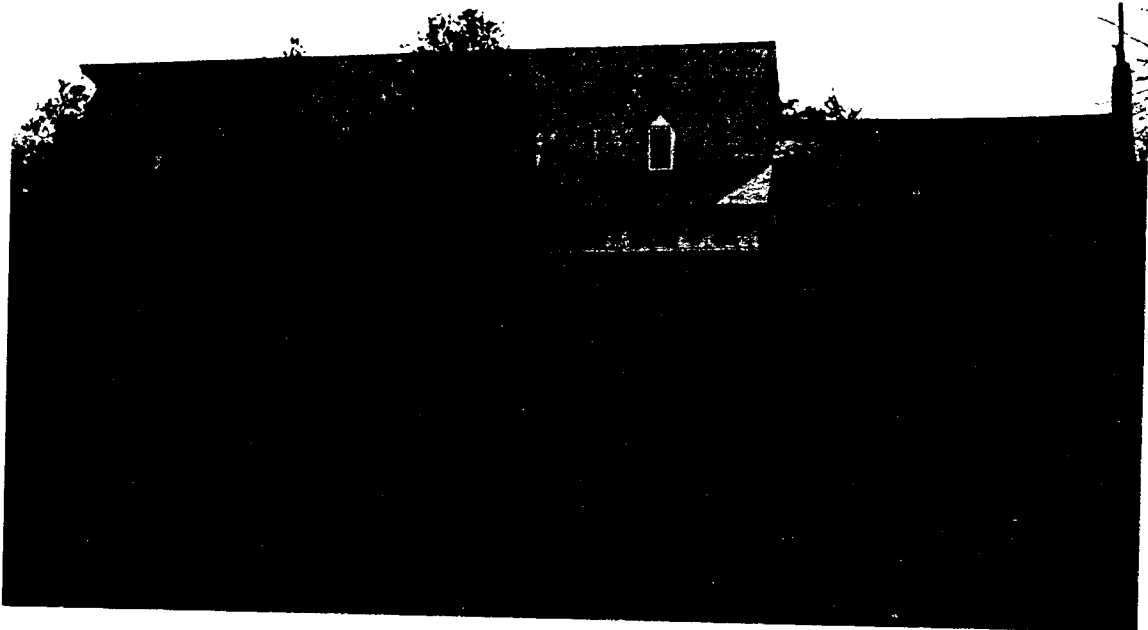
ATTACHMENT "J"

PHOTOS 5, 6 & 7 Views: The following three photos show the east, north and west sides of the stable. The shed will have no effect on these sides of the stable. In fact the stable itself will hide the shed from view from these three directions.

The stable from the east side:



The stable from the north side:



The stable from the west side:



APPENDIX "K"

PHOTOS OF CONTEXT

APPENDIX "K"

PHOTOS OF CONTEXT:

The following are photos of the resource as viewed from the public right of way and from adjoining properties and of adjoining and facing properties.

Photos of the adjoining/facing properties.

All the following photos are view of properties across the street (Meadowbrook Lane) from the stable property. They are single family homes the names of the owners and their addresses have been included in this filing.

We will start at the far south end of the stable property with photos taken from the center of the riding paddocks that are located directly across the street.

photo #1 -- taken from the riding paddock looking east and showing Meadowbrook Lane and the houses across the street. we are standing about 400 yards south of the stable for this photo.



Photo = 2 -- again looking east and taken from the riding paddock now about 300 yards south of the stable. Again showing Meadowbrook Lane and the single family houses across the street.



Photo = 3 -- Again taken from the riding paddock looking east and now about 200 yards south of the stable. Shows one empty lot and the single family house on its left.



Photo 4 -- Again looking east from the stable property and right up Washington St. which intersects with Meadowbrook Lane. Now only about 150 feet south of the stable.



Photo 5 -- This photo shows the south edge of the stable and the houses across the street (Meadowbrook Lane).



Photo # 7 -- This photo, again looking east across Meadowbrook Lane was taken from the northeast corner of the stable showing the properties directly across the street from the east end of the stable itself. In fact a corner of the stable can be seen at the far right of the photo.



Photo #8 -- This photo taken just a few feet north of the stable and looking east. You can still see the sidewalk that runs along the north side of the stable from the previous photo.



Photo 20 -- This is a composite of four photos taken from the same field just north of the station and looking east across Meadowbrook Lane. This photo includes all the properties that lie north and across Meadowbrook Lane from the station. The intersection of Meadowbrook Lane and East-west Highway would be just in the photo to the far left. The property shown in the extreme right of the photo would be just about 50 feet north of the north side of the square. Blaine drive is just off the photo on the right. The photo shows the properties located in Rock Creek Forest subdivision block "D" and from the back of the photo lots 12, 11, 11, and 10 all fronting on Meadowbrook Lane, and lot 10 of block "B" which fronts on Blaine drive.



Photo = 11 - View of the stable building from the
direction of the street to the west.
Photo = 12 - The same view from the
proposed location of the stable.



Photo = 11 - View of the stable building from the
direction of the street to the west.
Photo = 12 - The same view from the
proposed location of the stable.



110

PHOTO # 12 -- This was taken from a point just south of the intersection of Washington Avenue and Meadowbrook Lane. It shows the riding paddock just south of the stable, The farriers shed (blacksmiths shop), and the south side of the stable structure. In the foreground you see the intersection of Washington Avenue and Meadowbrook Lane. The picture was taken from block 1, lot 1 which fronts on Abilene Drive of the Rock Creek Forest subdivision.

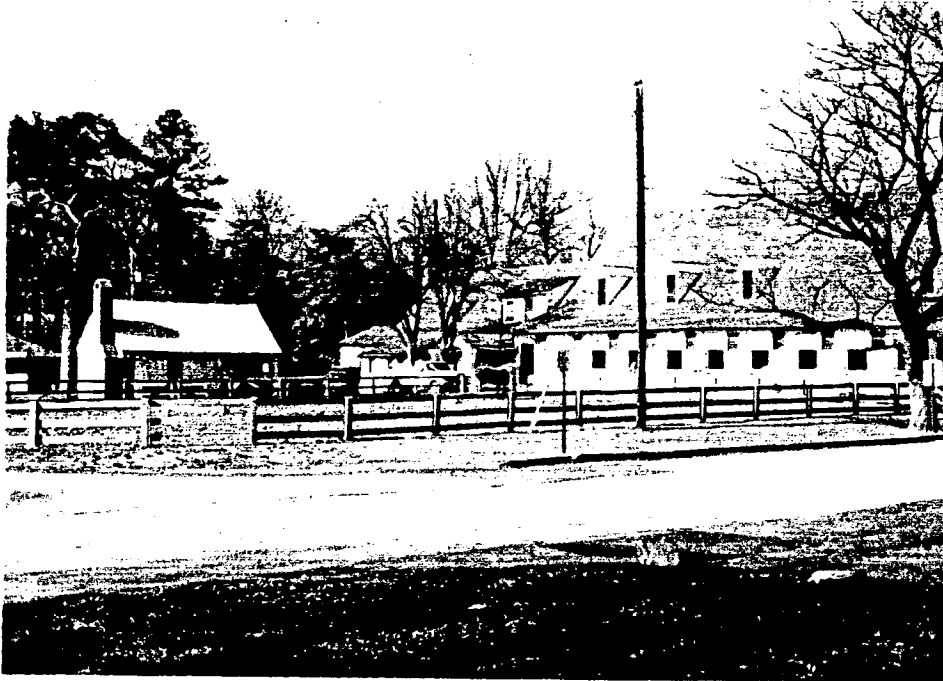
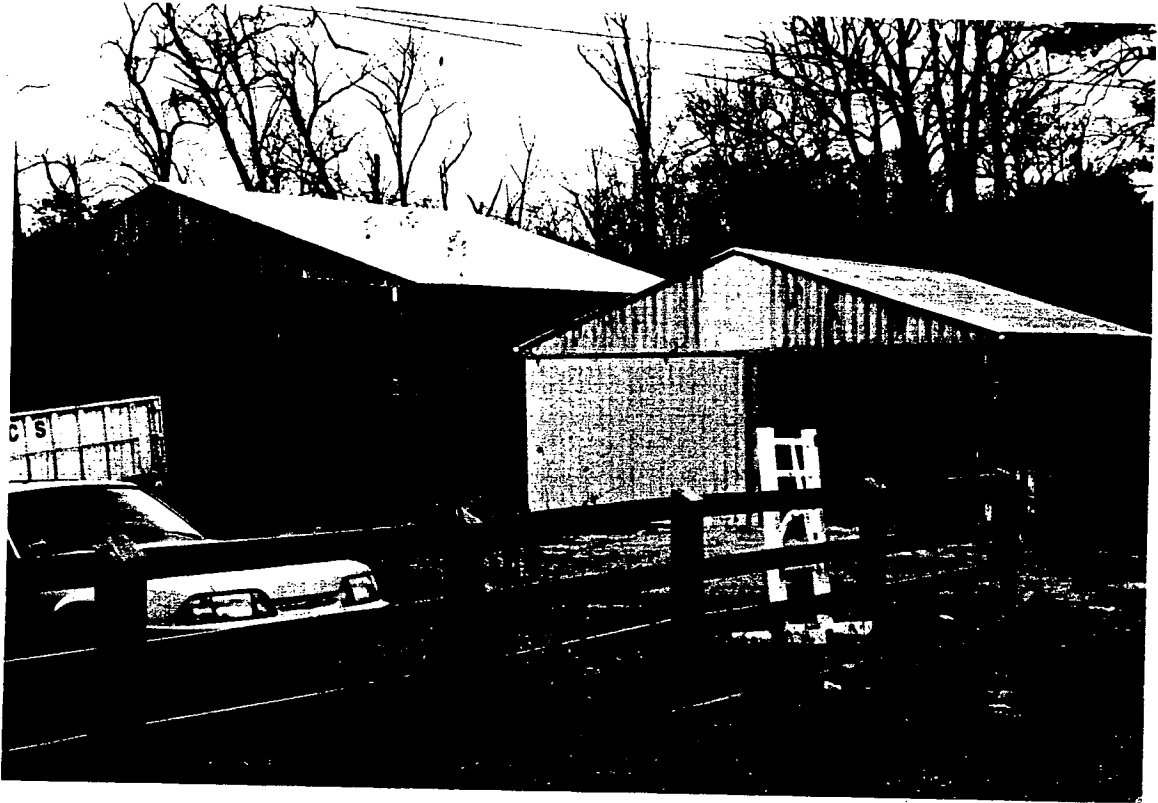
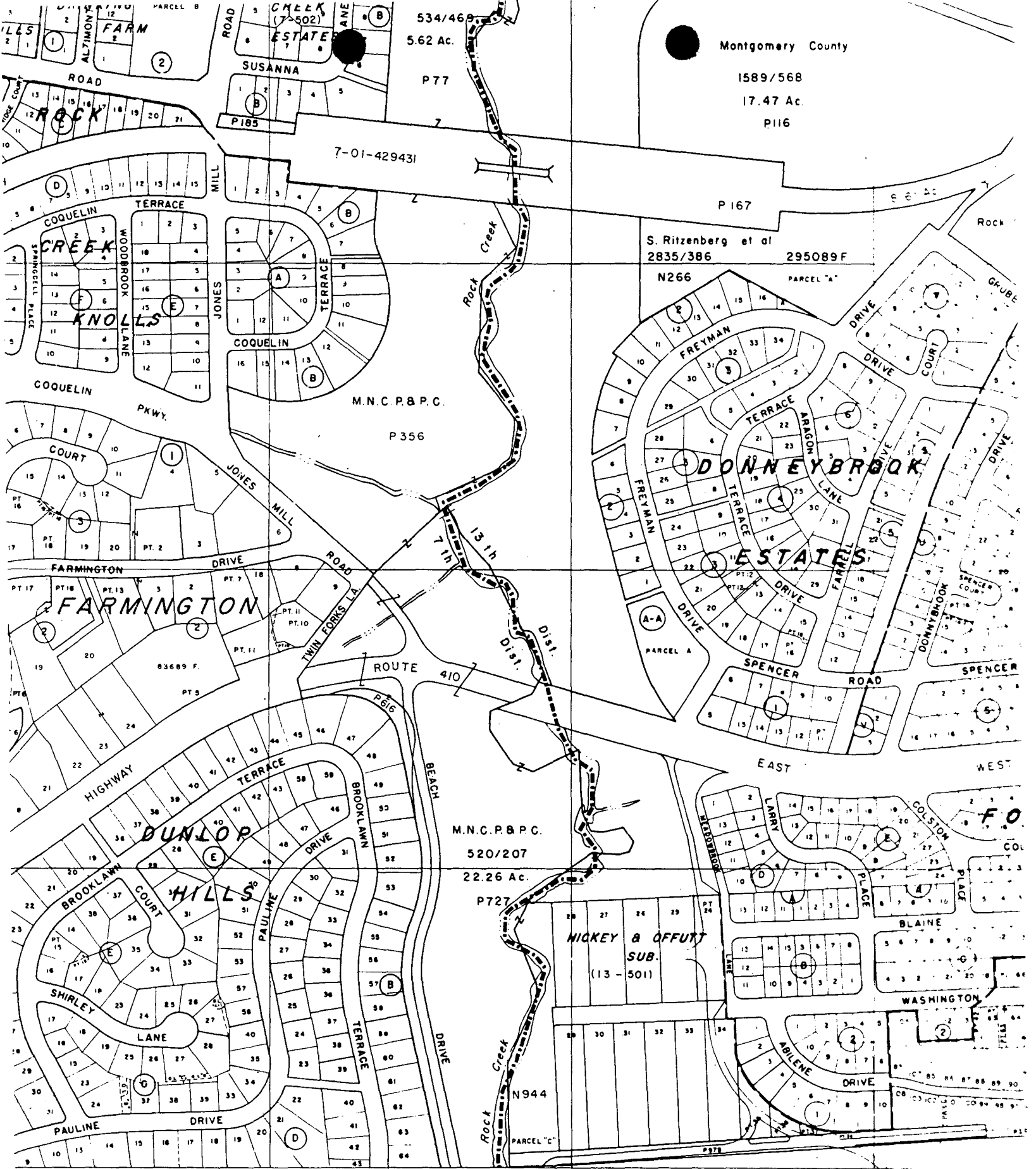


Photo = 13 -- the latest building to be constructed on the stable property is a pole barn structure that is faced with 5/8" pressure treated plywood with vertical battens for cosmetic effect. It is shown as part of the "context" of the stable's current environment.



PHOTO = 14 -- Also as part of the stable "context" we here show the metal clad pole barn that stands next to the recently constructed manure shed. Both structures lie about 150 feet to the south west of the stable.





Montgomery County

1589/568

17.47 Ac.

PI16

534/469
5.62 Ac.

7-01-429431

S. Ritzberg et al
2835/386

295089F

M.N.C.P.&P.C.

P356

**DONNEYBROOK
ESTATES**

M.N.C.P.&P.C.

520/207

22.26 Ac.

P727

**MICKY & OFFUTT
SUB.**
(13-501)

N944

HN 562

53:63

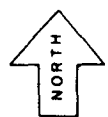
H5

H

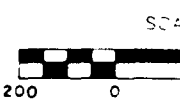
PLATS COMPILED BY
C. COORDINATE
M DEED
FIELD SURVEYS.
SECTION,
E. MARYLAND

LEGEND
 - - - - - ELECTION DISTRICT BOUNDARY
 - - - - - CORPORATE BOUNDARY
 P-768 OR N-768 PARCEL NO. IS USED FOR OWNERSHIP IDENTIFICATION AND MUST BE PRECEDED BY GRID REFERENCE READING FIRST BY COLUMN AND THEN BY ROW

THESE MAPS ARE PROTECTED BY COPYRIGHT. THEY MAY NOT BE COPIED OR REPRODUCED IN ANY FORM INCLUDING ELECTRONIC MEANS SUCH AS DIGITIZING, SCANNING, AND IMAGE PROCESSING, OR BY ANY SYSTEM NOW KNOWN OR TO BE INVENTED WITHOUT PERMISSION IN WRITING FROM THE PROPERTY MAP DIVISION.



| DIST. | CURRENT TO |
|-------|------------|
| 7 | 1992 |
| 13 | " |



(AP)

① Unit No. ONE
Parcel No. 8

Acreage .946

Grantor(s) JACOB ZELLAN
L/F 540-319

Cost of Land \$ 1,500.00
Settlement Costs 43.50
Survey Costs _____
CONDEMNATION FEE 100.00
LOT 24

Total Costs \$ 1,643.50

CAPPER-CRAMTON PARK #?

Park ROCK CREEK pt 54
Unit No. ONE
Parcel No. 4

③ Acreage .946

Grantor(s) ANNIE O'NEILL
L/F 528-185

Cost of Land \$ 1,000.00
Settlement Costs 37.00
Survey Costs _____
LOT 27

Total Costs \$ 1,037.00

CAPPER-CRAMTON PARK #?

② Unit No. ONE
Parcel No. 7

Acreage 1.892

Grantor(s) SAM FIG
L/F 540-230

Cost of Land \$ 3,000.00
Settlement Costs 43.50
Survey Costs _____
LOT 25, 26

Total Costs \$ 3,043.50

CAPPER-CRAMTON PARK #?

Park ROCK CREEK pt 59
Unit No. ONE
Parcel No. 9

④ Acreage .946

Grantor(s) MARY C. PIERCE
L/F 542-475

Cost of Land \$ 750.00
Settlement Costs _____
Survey Costs _____
LOT 28

Total Costs _____

CAPPER-CRAMTON PARK #?

D.C. 1-32-4

D.C. 1-31-4

D.C. 1-32-3

D.C. 1-32-5

50

PARK NAME ROCK CREEK
STREAM VALLEY PARK

UNIT NO. 1 PARCEL NO. _____

ACREAGE 3.5207

GRANTORS CAROLINE M. &
HENRY BAUMGARTEN

LIBER 562 FOLIO 228

DATE RECORDED 2, 13, 34

DATE RECEIVED _____

ACQUISITION COST _____

NOTES HICKEY & OFFUTT SUB.

(2.8628 AC. .6579 AC.)
LOTS 29, 30, 31, PART OF 35, 36, 37
PARCEL I.D. 968692 38
TAX MAP HN63
FUNDING _____

Parcel No. 10

Acreeage 2.862

Grantor(s) JOHN A. KINGDON (TRUSTEE)
L/F 544-158

Cost of Land \$ 3,600.00

Settlement Costs 417.43

Survey Costs _____

LOTS 32, 33, 34

Total Costs \$ 4,017.43

CAPPER - CRAMTON PARK #?

R.C. 1-3206

MICROFICHE OF TAX MAP INFO. --

HN 63-0000 024
Lts. 24 thru. 34 & Pts. 35 thru. 38
NO L/F LISTED
ACCT. # 00968670
11.0 AC.
HN 63-0000 025
Lts. 26, 29-31, 36-38, & Pt 35
L 562 / F 228
ACCT. # 00968692
4.8 AC.

2700/408 IS THE CENSUS TRACT & BLOCK

**THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION
8787 GEORGIA AVENUE
SILVER SPRING, MARYLAND 20907**